2044 ALTON ROAD
Miami, Fl 33140

DRB21-0638

MAP OF BOUNDARY SURVEY

GRAPHIC SCALE

30' 15' 0 15' 30'

(IN FEET)
1 INCH = 30 FT.

LEGAL DESCRIPTION:

LOT 9, BLOCK 16, OF "AMENDED PLAT OF SUNSET LAKE", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS:

FOLIO NO. 02-3227-008-1481

2044 ALTON ROAD,
MIAMI BEACH, FLORIDA 33140

AREA OF PROPERTY: 7,305 SQUARE FEET AND/OR 0.168 ACRES MORE OR LESS.

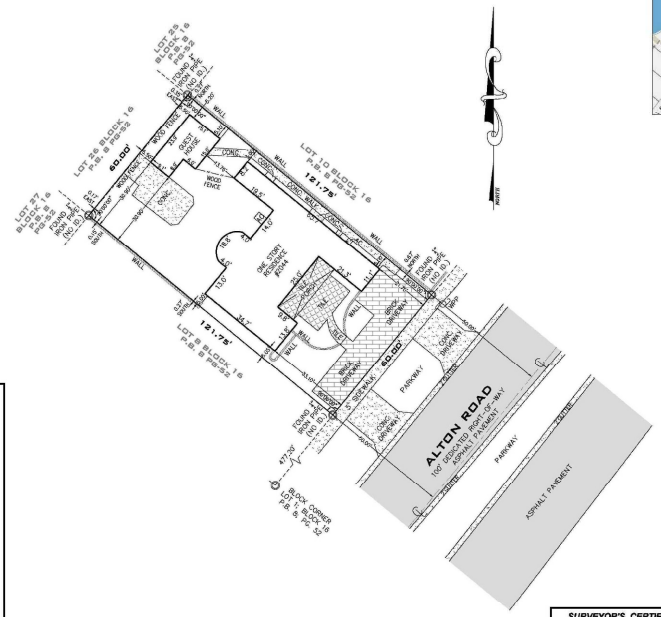
CERTIFIED TO:

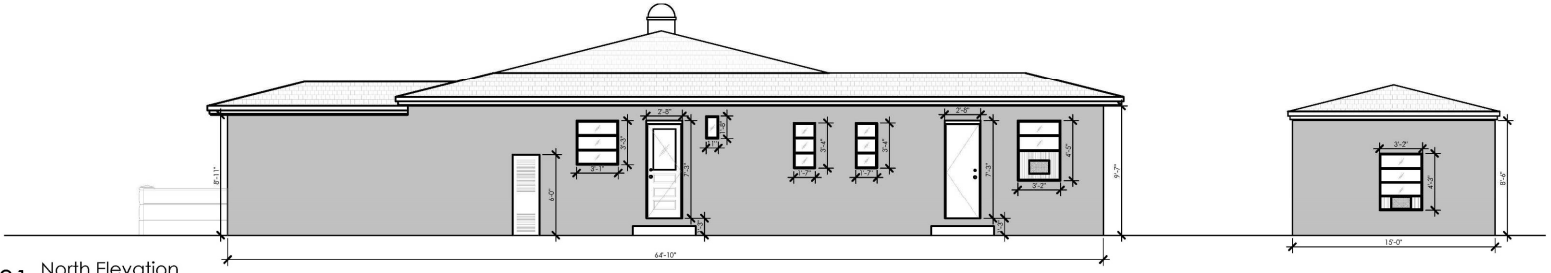
THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.

-YITZCHAK AND SHARON ZWEIG

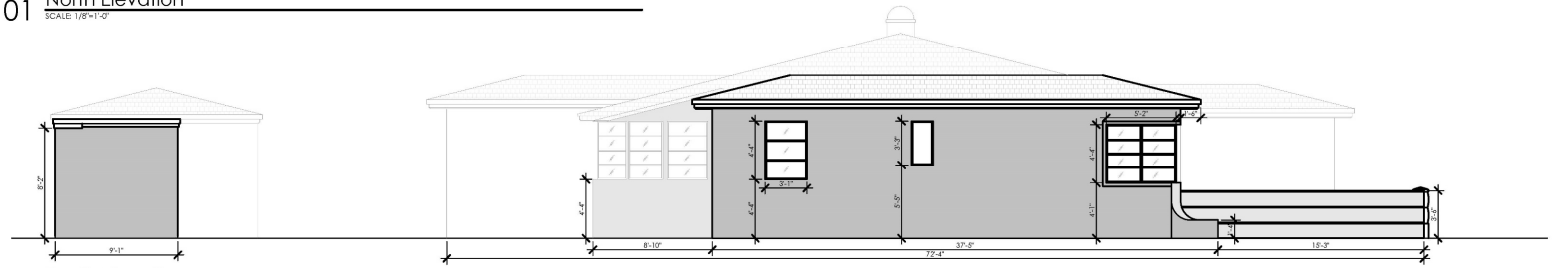
SURVEYOR'S NOTES:

1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION PROVIDED BY CLIENT.
2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.
3.) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY. EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY AFFECTING THIS PROPERTY.
4.) ACCURACY: THE EXPECTED USE OF THE LAND, AS CLASSIFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17.051(3)), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
5.) FOUNDATIONS AND/OR FOOTINGS THAT MAY CROSS BEYOND THE BOUNDARY LINES OF THE PARCEL HEREIN DESCRIBED ARE NOT SHOWN.
6.) TYPE OF SURVEY: BOUNDARY SURVEY.
7.) ELEVATIONS SHOWN HEREON ARE BASED ON TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.29)
8.) ALL MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT.
9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HEREIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.
10.) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
11.) ENCUMBRANCES NOT SHOWN ON THE PLAT.
12.) THE WRITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS MORE NOT LOCATED.
13.) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
14.) WALL TIES ARE TO THE FACE OF THE WALL.
15.) FENCE OWNERSHIP NOT DETERMINED.
16.) BASIS OF BEARINGS REFERENCED TO LINE NOTED AS B.B.
17.) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.
18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY IS "AMENDED PLAT OF SUNSET LAKE" RECORDED IN PLAT BOOK 8, AT PAGE 52.
20.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE INCH EQUALS 30 FEET OR SMALLER.

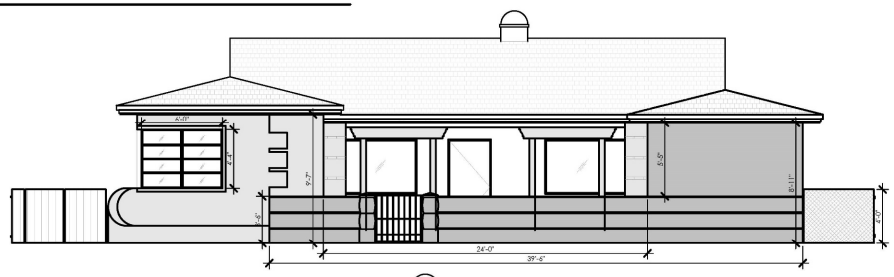

LOT 27 BLOCK 16 P.B. 8 PG52
LOT 26 BLOCK 16 P.B. 8 PG52
LOT 25 BLOCK 16 P.B. 8 PG52
LOT 10 BLOCK 16 P.B. 8 PG52
LOT 8 BLOCK 16 P.B. 8 PG52
FOUND PK NAIL (NO ID.)
FOUND PIPE (NO ID.)
FOUND PIPE (NO ID.)
FOUND PIPE (NO ID.)
FOUND PK NAIL (NO ID.)
FOUND PK NAIL (NO ID.)
FOUND PK NAIL



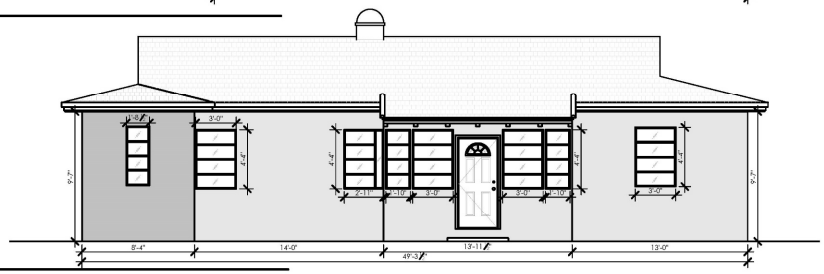
01 North Elevation
SCALE: 1/8"=1'-0"



02 South Elevation
SCALE: 1/8"=1'-0"



03 East Elevation
SCALE: 1/8"=1'-0"



04 West Elevation
SCALE: 1/8"=1'-0"

21ArchD studio

PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

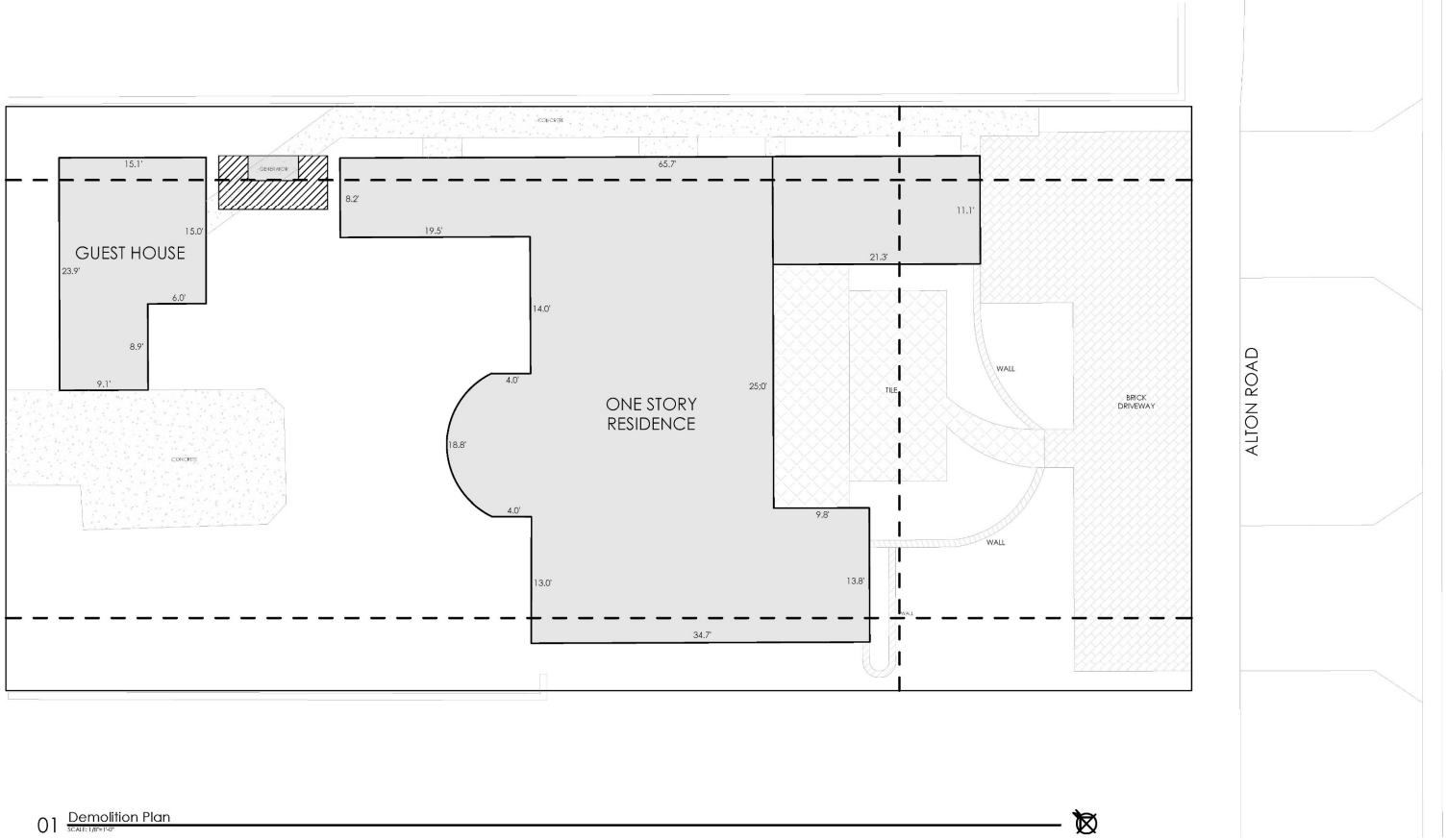
ARIEL VALDES, AIA
PROJECT ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

AR94144

PROJECT NUMBER
21010

SHEET TITLE
EXISTING ELEVATIONS

SHEET NUMBER
A002



01 Demolition Plan
SCALE: 1/8"=1'-0"

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Tel: (786) 229-0166
(305) 323-0550

AR94144

PROJECT NUMBER
21010

SHEET TITLE
DEMOLITION PLAN

SHEET NUMBER
A003

SITE DATA:

GENERAL DATA

PROJECT LOCATION	2044 ALTON RD MIAMI BEACH, FL 33140
FOLIO No.	02-3227-008-1481
OCCUPANCY	RS-4 SINGLE FAMILY - GENERAL

FLOOD MANAGEMENT INFO	
FLOOD ZONE	AE
BASE FLOOD ELEVATION (BFE):	8.00 NGVD
DESIGN FLOOD ELEVATION (DFE):	9.00 NGVD
GARAGE TOP OF SLAB ELEVATION(LF):	5.95 NGVD
LOWEST TOS ELEVATION OF HABITABLE SPACE :	9.00 NGVD
NEXT HIGHER FLOOR ELEVATION :	21.00 NGVD
LOWEST GRADE ELEVATION: ADJ. TO THE BUILDING (LAG)	6.56 NGVD
HIGHEST GRADE ELEVATION: ADJ. TO THE BUILDING (HAG)	6.56 NGVD
LOWEST ELEVATION OF EQUIPMENT: SERVICING THE BUILDING	9.00 NGVD
CROWN OF ROAD ELEVATION :	3.29 NGVD
ADJUSTED GRADE ELEVATION :	5.64 NGVD
F.I.R.M MAP NUMBER:	9.00 NGVD
FLOOD DESIGN CLASS PER ASCE 24-14 TABLE 1-1 (FBC 2017, 1604.5) :	CLASS 2

ZONING DATA

LOT AREA	7,305 SQ.FT.
LEGAL DESCRIPTION	27-34 53 42 SUNSET LAKE SUB AMD PL PB 8-52 LOT 9 BLK 16 LOT SIZE 60.000 X 122 OR 19198-2256 07 2000 1
MIN. LOT AREA	6,000 SQ.FT. (ACTUAL 7,305 SQ.FT.)
MIN. LOT WIDTH	50 FT. (ACTUAL = 60 FT.)
MIN. UNIT SIZE	1,800 SQ.FT.
MAX. UNIT SIZE	50% OF THE LOT (7,305)=3,652 SQ.FT. ALLOWED PROVIDED = (2,684 SQ.FT.) 1st FLOOR = 1,480 SQ.FT. 2nd FLOOR = 1,204 SQ.FT. TOTAL = 2,684 SQ.FT.
MAX. STORIES	The maximum number of stories shall not exceed two (2) above the base flood elevation, plus freeboard
MAX. HEIGHT	24 FT. FOR FLAT ROOFS 27 FT. FOR SLOPED ROOFS

SETBACKS

FRONT	20 FT. GROUND FLOOR MIN. 30 FT. SECOND FLOOR MIN. 50 FT. MAXIMUM
SIDES	THE SUM OF THE REQUIRED SIDE YARD SHALL BE AT LEAST 25% OF THE LOT WIDTH (60 SQ.FT.)= 15 FT. (7.5 FT. ON EACH SIDE)
EXISTING LOT COVERAGE	2,196 SQ.FT. (AS PER MIAMI-DADE RECORDS)
MAX. LOT COVERAGE	1st FLOOR = 30% OF (7,305)=2,191.5 ALLOWED = 1,919 SQ.FT. 2nd FLOOR = 1,204 SQ.FT. TOTAL = 3,124 SQ.FT.
	2nd FLOOR ELEVATION = 45' MIN. 35% OF (45') = 15'-9"

POOL SETBACKS

REAR	6 FT. TO DECK 7.5 FT. TO WATERLINE 7.5 FT. TO DECK, 9 FT. TO WATERLINE

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

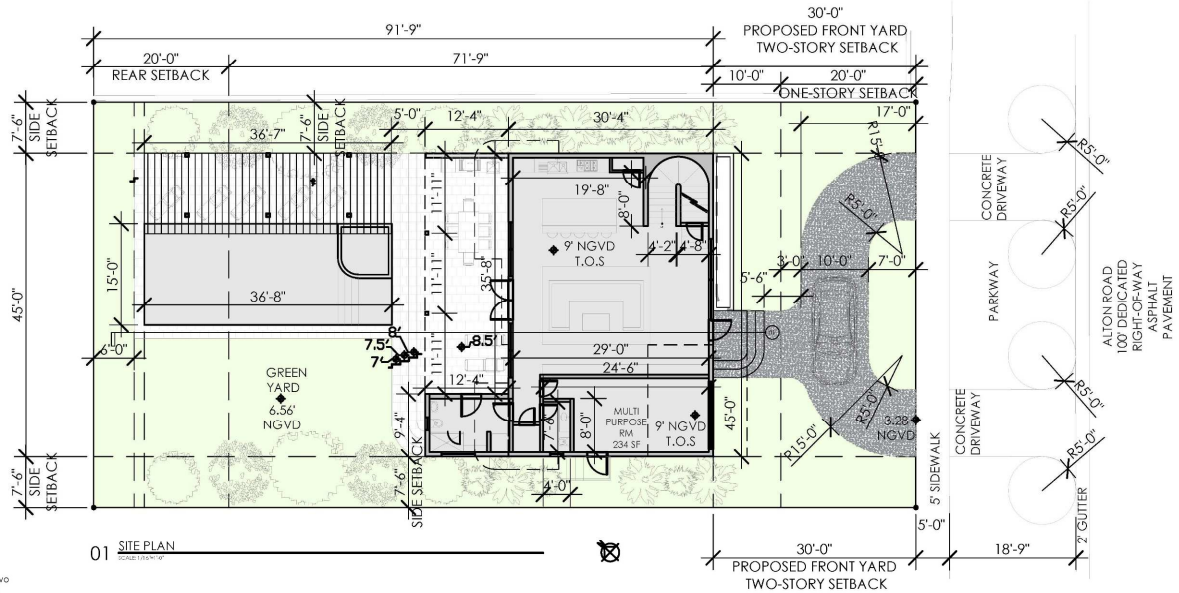
CALCULATING LOT COVERAGE
SEC.142-1105(b)(c) THE EAVES, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC.142-1004(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SETBACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

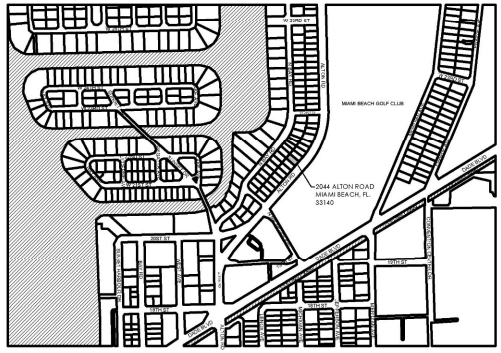
ROOF DECKS
SEC. 142-1111(a). ROOF DECKS SHALL NOT EXCEED 5ØK INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW. REGARDLESS OF DECK HEIGHT, ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRB OR HPB MAY FORGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-1113 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

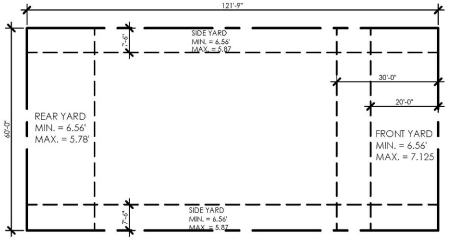
PROJECTIONS
SEC. 142-1113(1) EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.
a. BELT COURSES.
b. CHIMNEYS.
c. CORNICES.
d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
e. ORNAMENTAL FEATURES, ETC.



01 SITE PLAN
SCALE: 1/16"=1'-0"



02 CONTEXT LOCATION PLAN
SCALE: N.T.S.



03 GRADE CALCULATIONS
SCALE: 1/32"=1'-0"

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ISSUE/REVISION RECORD

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CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY

SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

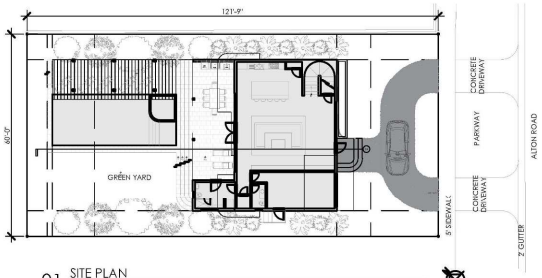
ARIEL VALDES, AIA
PROJECT ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

AR94144

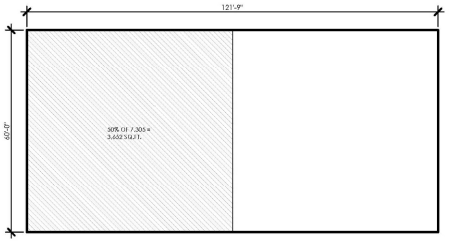
PROJECT NUMBER
21010

SHEET TITLE
SITE PLAN

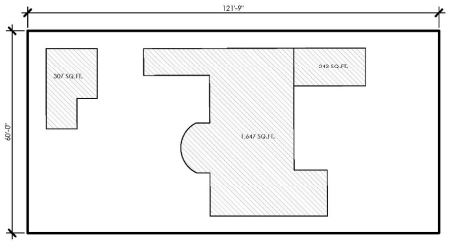
SHEET NUMBER
A004



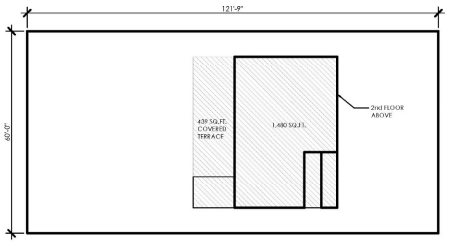
01 SITE PLAN
SCALE: 1/32"=1'-0"



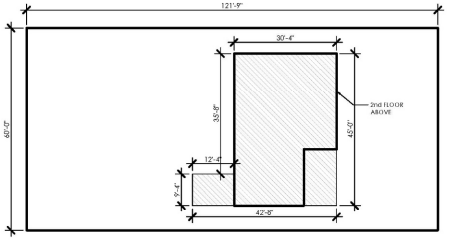
02 UNIT SIZE ALLOWED = 3,652 SF
SCALE: 1/32"=1'-0"



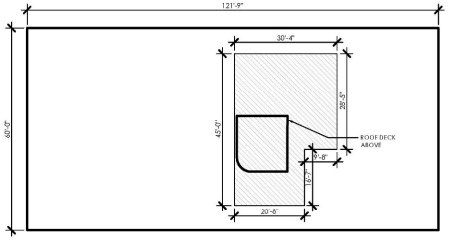
03 EXISTING LOT COVERAGE
SCALE: 1/32"=1'-0"



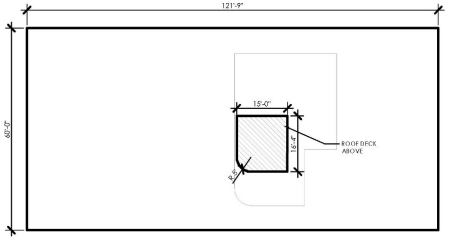
04 PROPOSED LOT COVERAGE 1,919 SQ.FT.
SCALE: 1/32"=1'-0"



05 UNIT SIZE GROUND FLOOR=1,480 SQ.FT.
SCALE: 1/32"=1'-0"



06 UNIT SIZE SECOND FLOOR=1,204 SQ.FT.
SCALE: 1/32"=1'-0"



07 ROOF DECK = 242 SQ.FT.
SCALE: 1/32"=1'-0"

GROUND FLOOR = 1,480 SQ.FT.
SECOND FLOOR = 1,204 SQ.FT.
TOTAL UNIT SQ.FT. = 2,684 SQ.FT.

21ArchD studio

PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

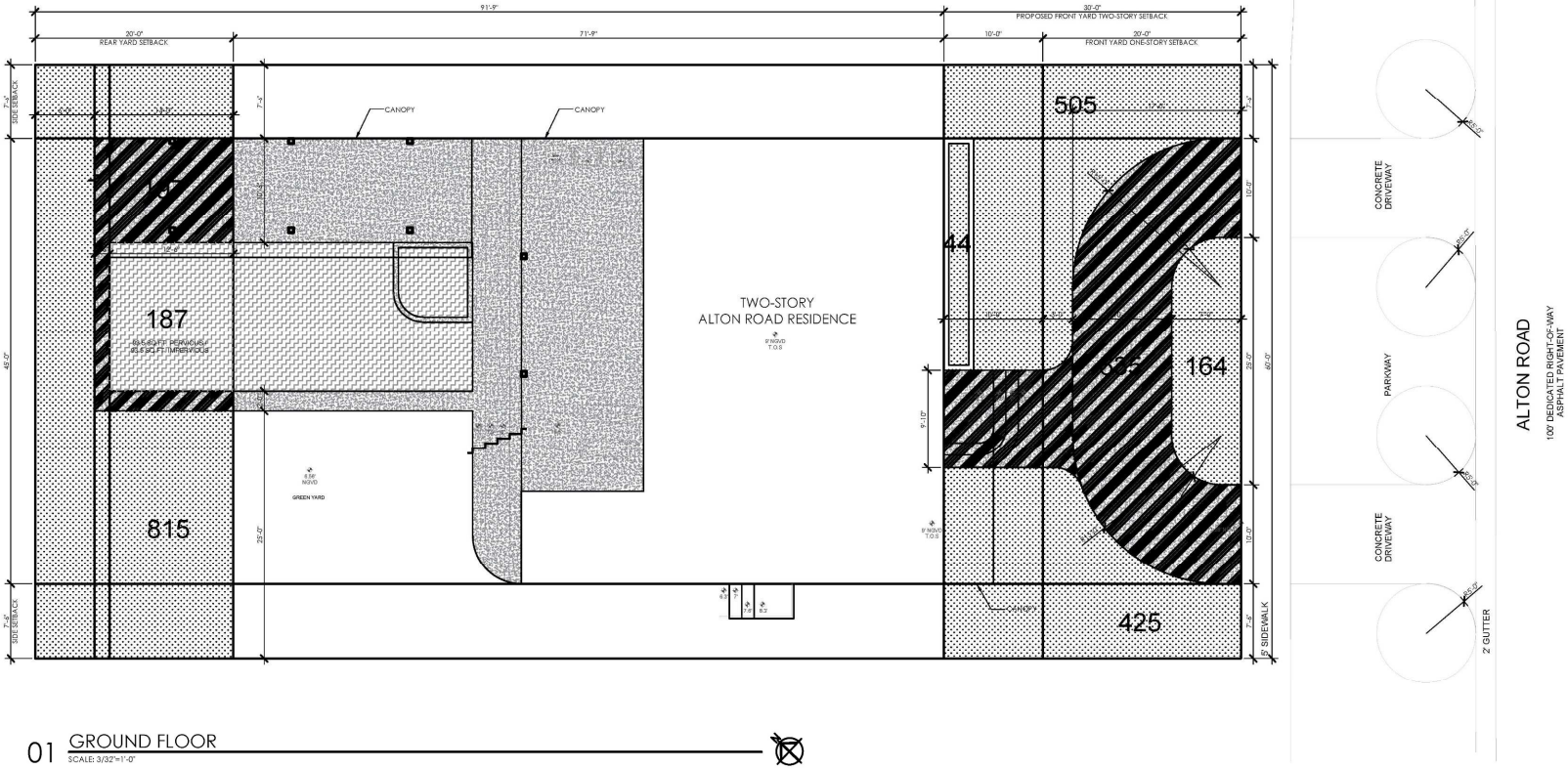
ARIEL VALDES, AIA
PROJECT ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

AR94144

PROJECT NUMBER
21010

SHEET TITLE
LOT COVERAGE
UNIT SIZE
DIAGRAMS

SHEET NUMBER
A005



01 GROUND FLOOR
SCALE: 3/32"=1'-0"

OPEN SPACE CALCULATIONS

FRONT YARD AREA = 30' X 60' = 1,800 SQ.FT.
MIN. ALLOWABLE OPEN SPACE = 50%
1,138 / 1,800 = .63 OR 63% **PROVIDED**

PERVIOUS = 164 + 505 + 425 + 44 = 1,138 SQ.FT.

IMPERVIOUS = 635 SQ.FT.

REAR YARD 20' X 60' = 1200 SQ.FT.
MIN. ALLOWABLE OPEN SPACE = 70%
908.5 / 1200 = .75 OR 75% **PROVIDED**

PERVIOUS = 815 + 93.5 = 908.5 SQ.FT.

IMPERVIOUS = 197 SQ.FT.

PERVIOUS = 50% OF 187 = 93.5 SQ.FT.

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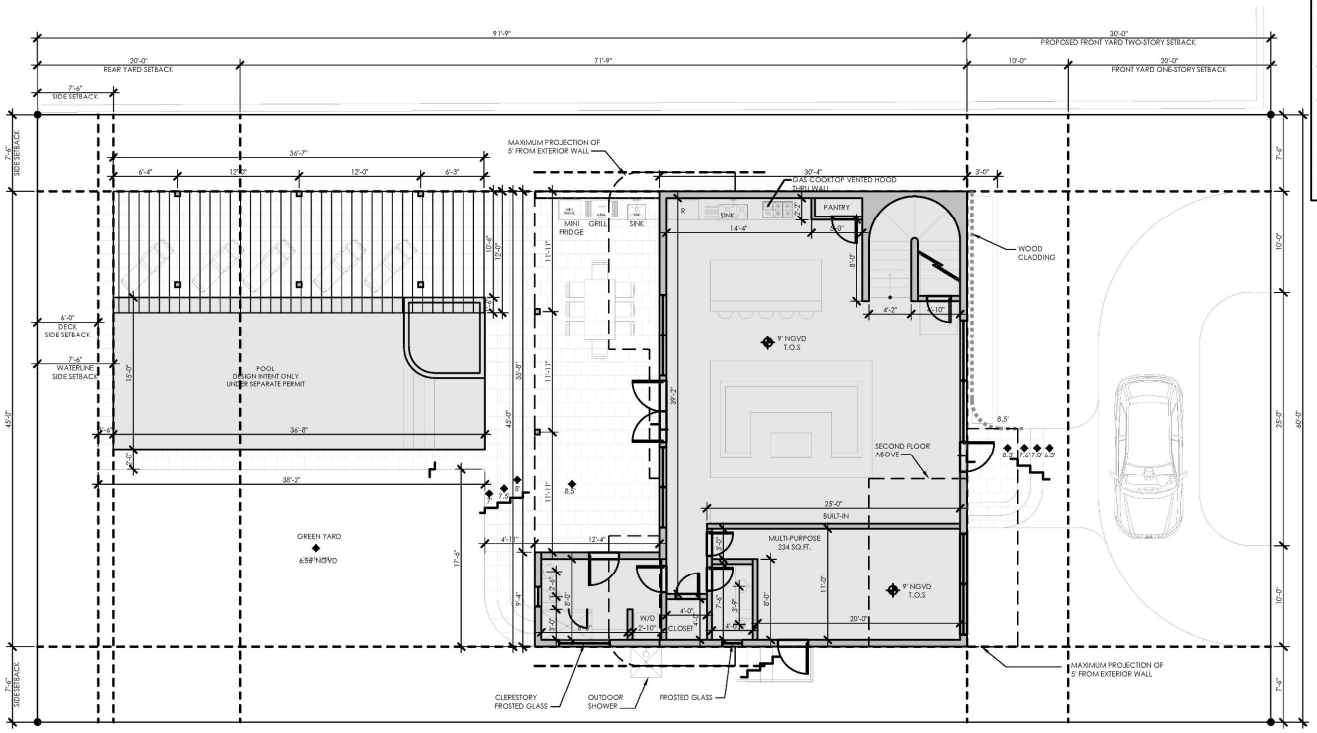
Tel: (786) 229-0166
(305) 323-0150

A09-0144

PROJECT NUMBER
21010

SHEET TITLE
OPEN SPACE CALCULATIONS

SHEET NUMBER
A006



01 GROUND FLOOR PLAN

SCALE: 3/32"=1'-0"

GROUND FLOOR	= 1,480 SQ.FT.
SECOND FLOOR	= 1,204 SQ.FT.
TOTAL UNIT SQ.FT.	**= 2,684 SQ.FT.**

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE
SEC. 142-105(3)(b) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS
SEC. 142-105(6). ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(1)(EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

a. BELT COURSES.
b. CHIMNEYS.
c. CORNICES.
d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
e. ORNAMENTAL FEATURES, ETC.

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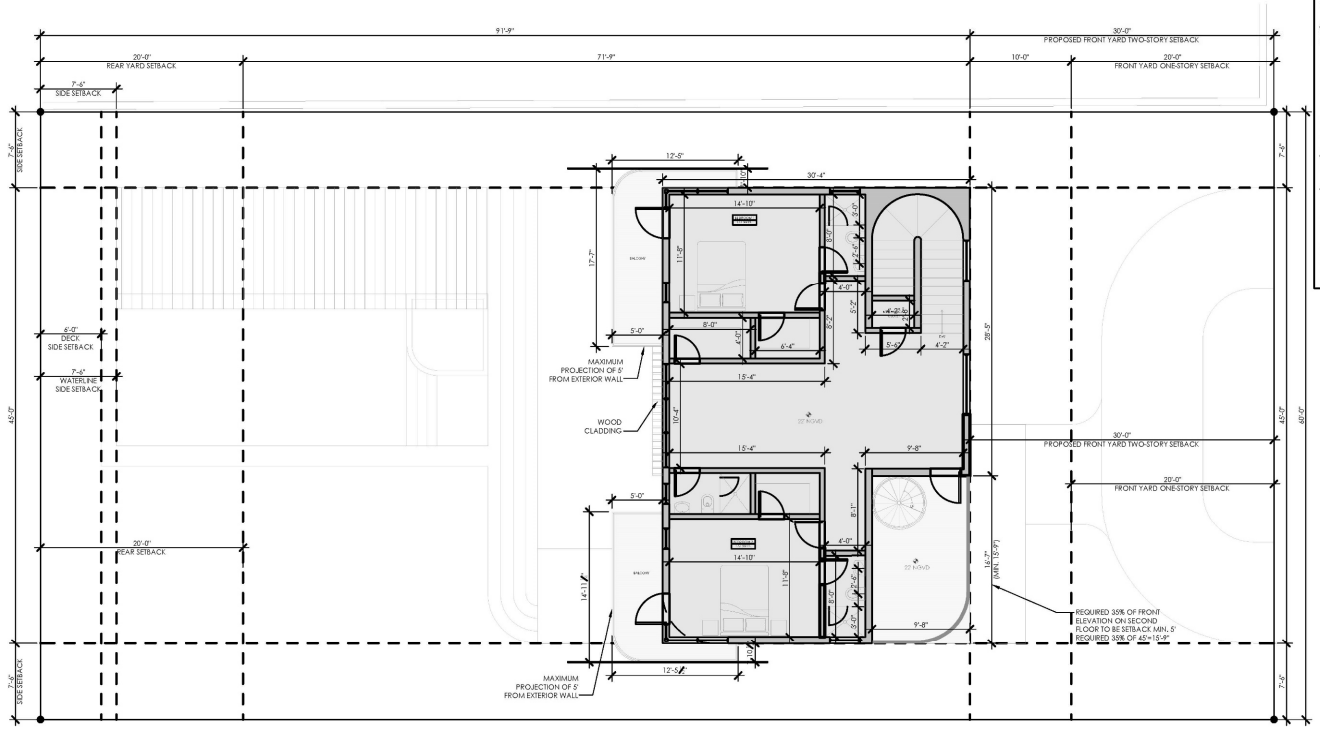
ARIEL VALDES, AIA
PROFESSIONAL ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

AR95144

PROJECT NUMBER
21010

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
A101



01 SECOND FLOOR PLAN

SCALE: 3/32"=1'-0"

GROUND FLOOR	= 1,480 SQ.FT.
SECOND FLOOR	= 1,204 SQ.FT.
TOTAL UNIT SQ.FT.	**= 2,684 SQ.FT.**

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE
SEC. 142-105(5)(c) CHIMNEY, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS
SEC. 142-105(a). ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-103 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(13)EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

a. BELT COURSES.
b. CHIMNEYS.
c. CORNICES.
d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
e. ORNAMENTAL FEATURES, ETC.

21ArchD studio

PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA
PROFESSIONAL ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

AR94144

PROJECT NUMBER
21010

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
A102

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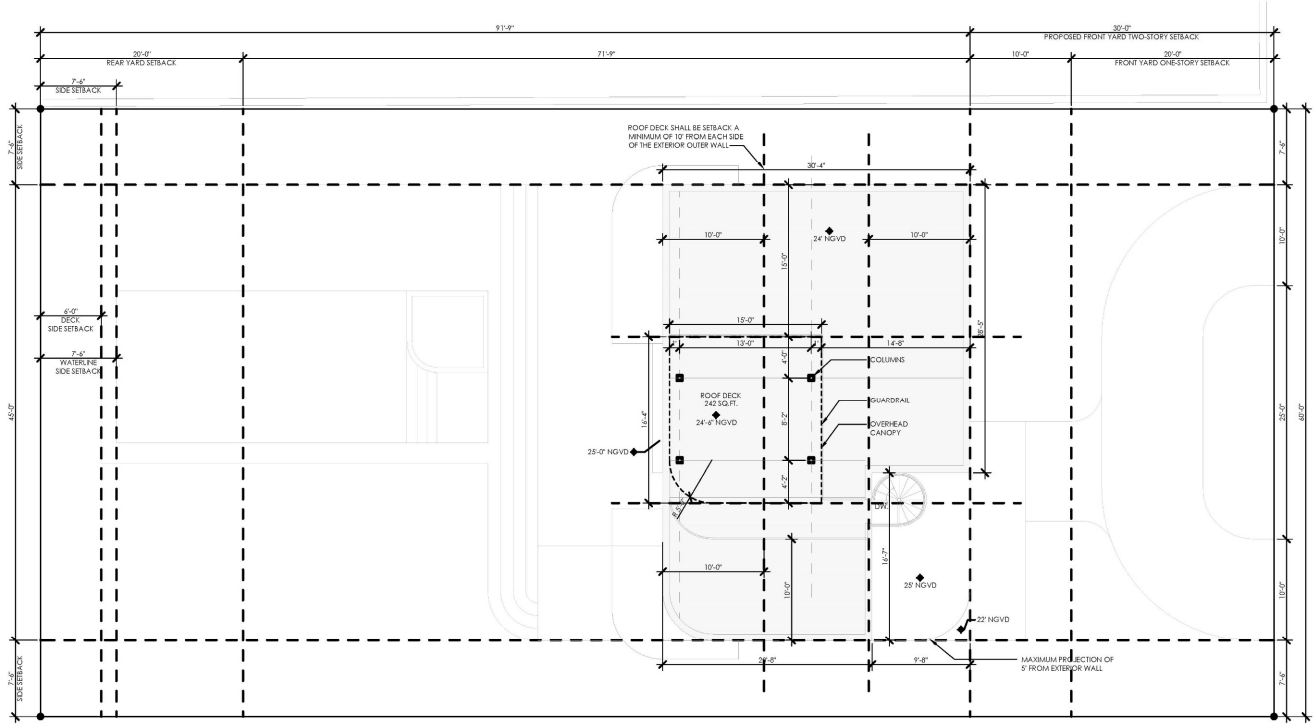

01 Roof Deck Floor Plan

SCALE: 3/32"=1'-0"

EXTEND ROOF CANOPY BEYOND 25% TOWARDS REAR SETBACK - WITH VARIANCE
EXTEND ROOF DECK BEYOND 20% TOWARDS REAR SETBACK. - WITH WAIVER

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE
SEC.142-105(5)(C) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC.142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS
SEC. 142-105(6). ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(1)(EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

a. BELT COURSES.
b. CHIMNEYS.
c. CORNICES.
d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
e. ORNAMENTAL FEATURES, ETC.

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PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY

SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA
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Tel: (786) 229-0166
(305) 323-0550

AR94144

PROJECT NUMBER

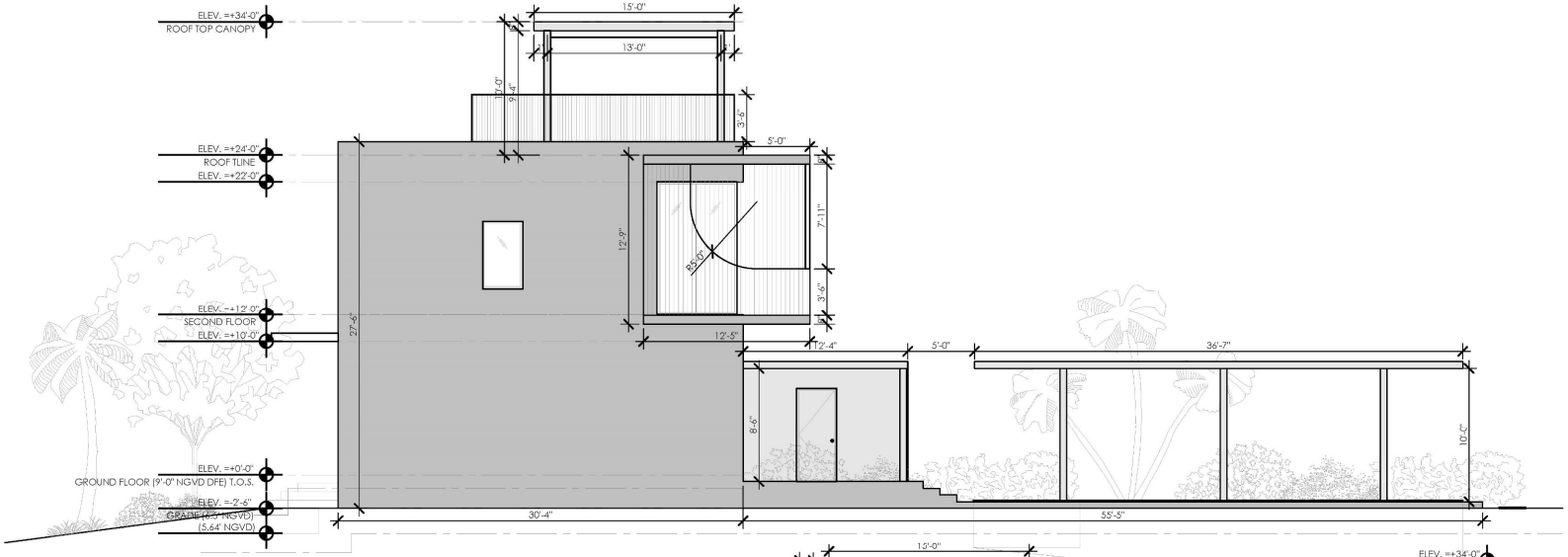
21010

SHEET TITLE

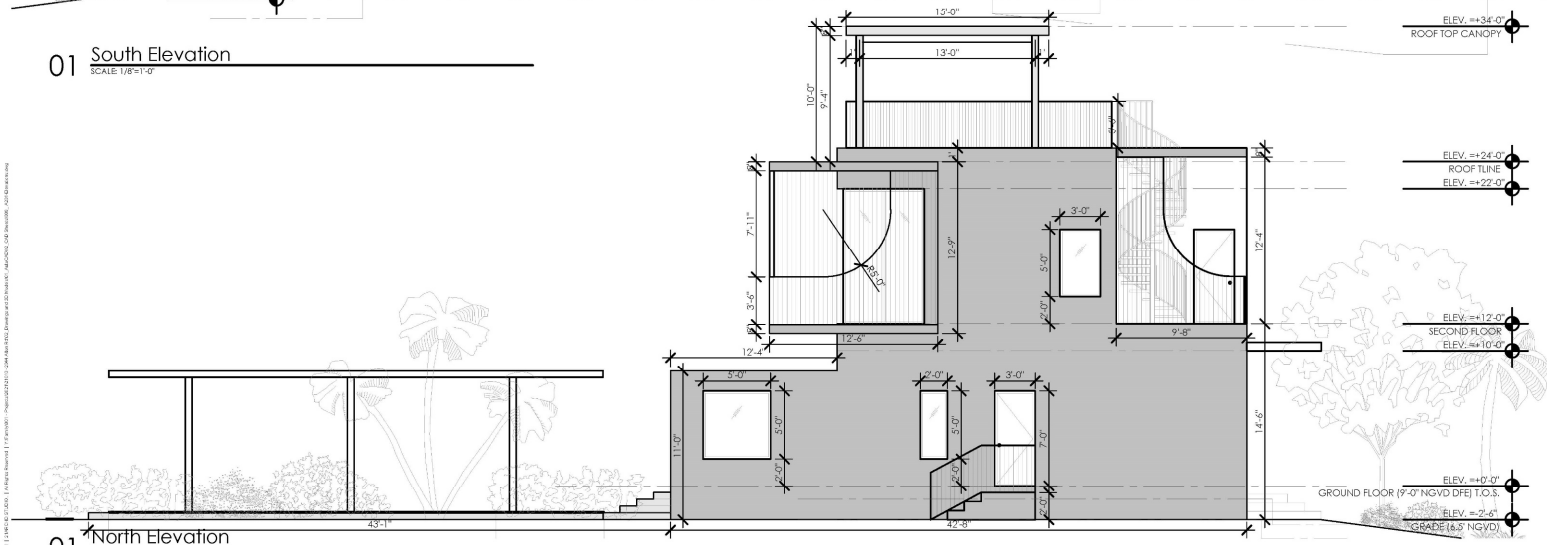
ROOF DECK FLOOR PLAN

SHEET NUMBER

A103



01 South Elevation
SCALE: 1/8"=1'-0"



01 North Elevation
SCALE: 1/8"=1'-0"

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PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

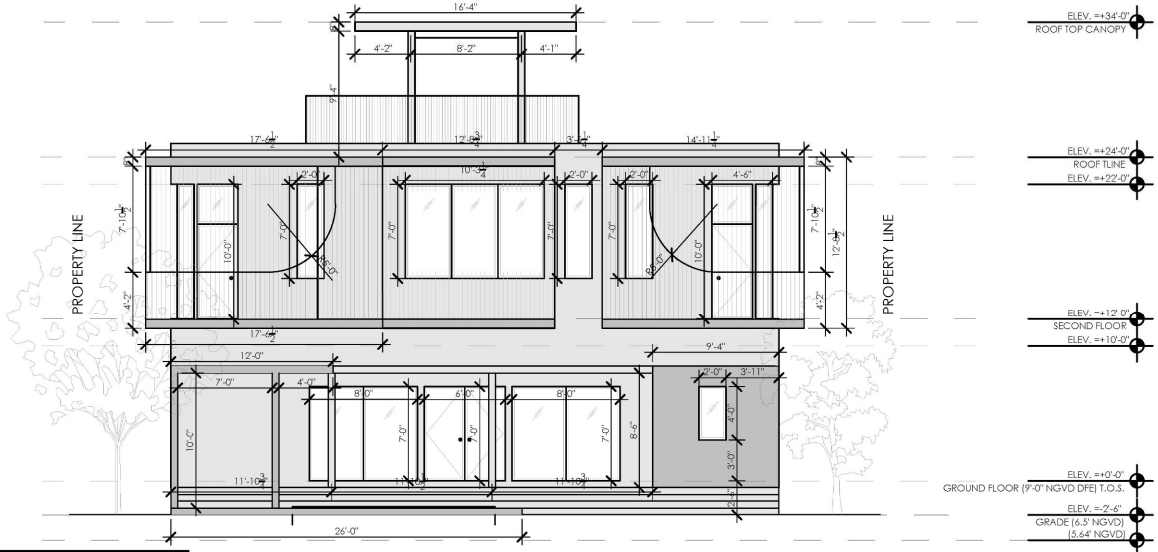
ARIEL VALDES, AIA
PROFESSIONAL ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

A09-01-01

PROJECT NUMBER
21010

SHEET TITLE
ELEVATION

SHEET NUMBER
A201



01 East Elevation
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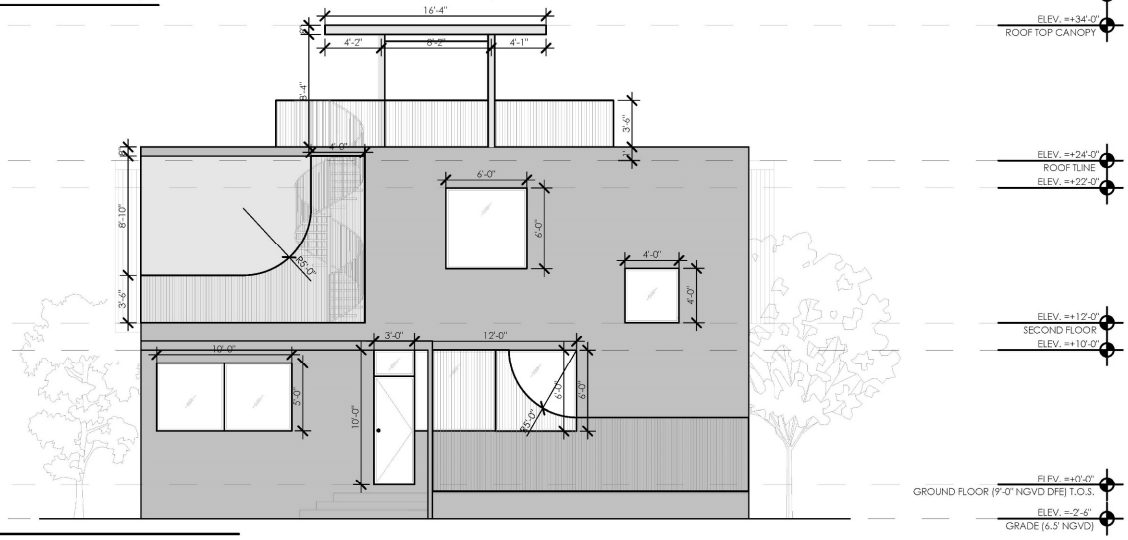

01 West Elevation
SCALE: 1/8"=1'-0"

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PLANS PREPARED FOR:

ISSUE/REVISION RECORD

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PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA
PROJECT ARCHITECT
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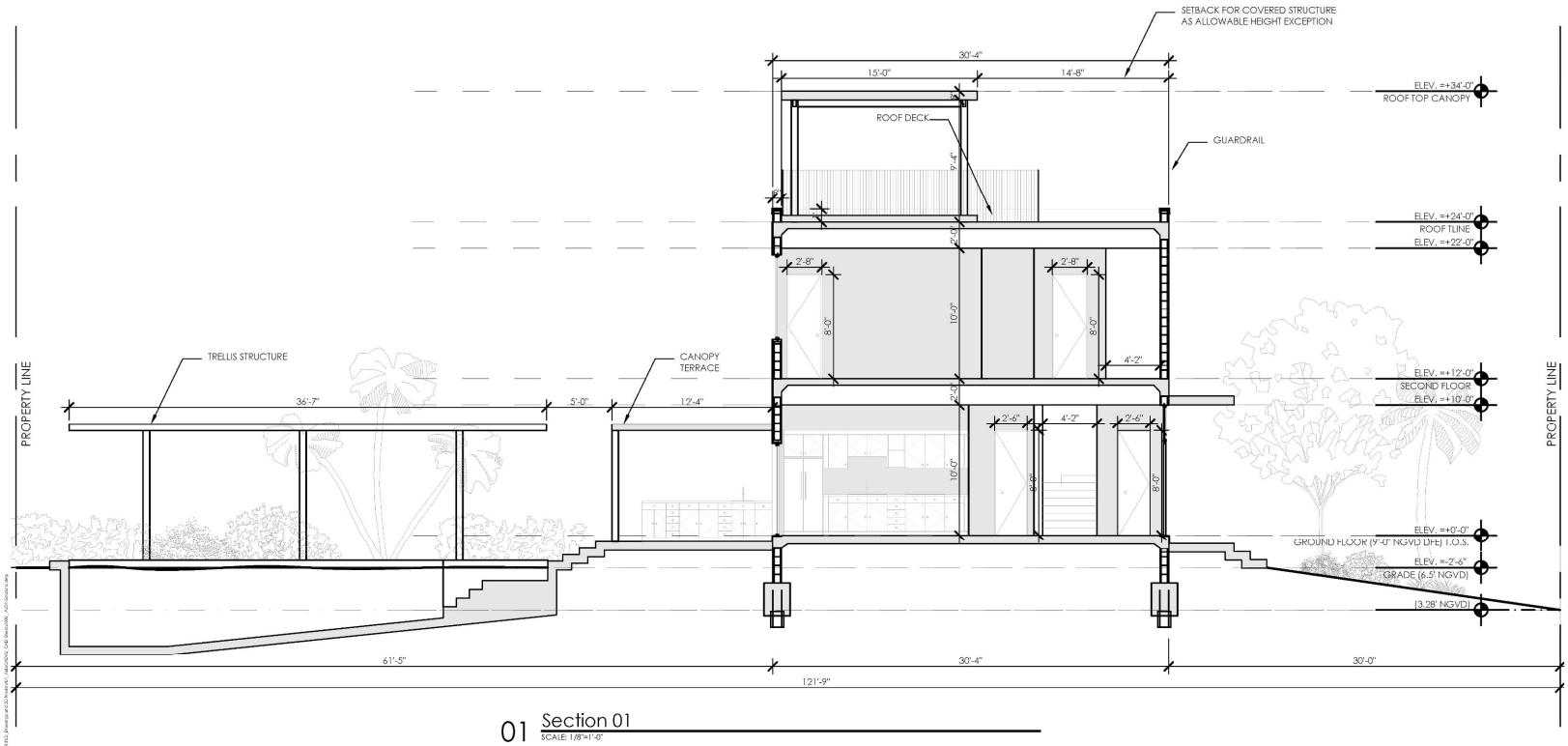
AR94144

PROJECT NUMBER
21010

SHEET TITLE
ELEVATION

SHEET NUMBER
A202



01 Section 01
SCALE: 1/8"=1'-0"

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PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

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ARIEL VALDES, AIA
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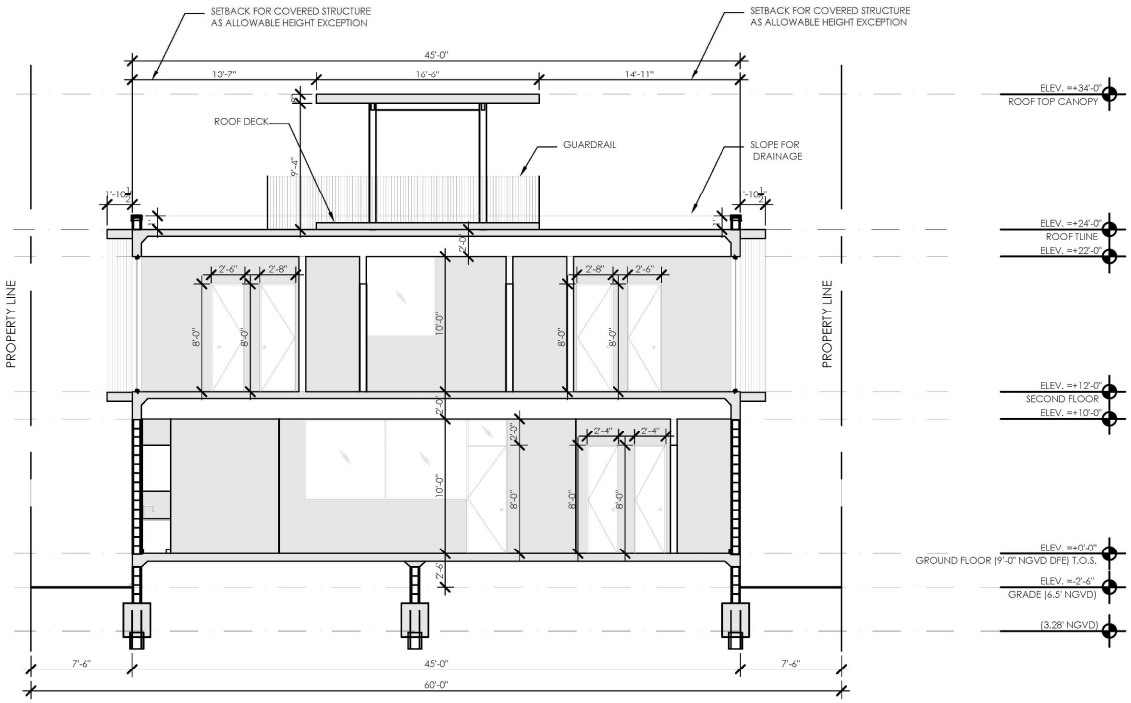
A9041.44

PROJECT NUMBER
21010

SHEET TITLE
SECTIONS

SHEET NUMBER
A301



01 Section 02
SCALE: 1/8"=1'-0"

21ArchD studio

PLANS PREPARED FOR:

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DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY

SPB NO. N/A **DATE** N/A

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ARIEL VALDES, AIA
PROJECT ARCHITECT
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A0501.01

PROJECT NUMBER
21010

SHEET TITLE

SECTIONS

SHEET NUMBER

A302

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01 Front 3D View - By Right
SCALE: 1/8"=1'-0"

02 Rear 3D View - By Right
SCALE: 1/8"=1'-0"

01 Front 3D View - With Variance
SCALE: 1/8"=1'-0"

02 Rear 3D View - With Variance
SCALE: 1/8"=1'-0"

21ArchD studio

PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
☐ NO MODIFICATIONS APPLIED
☐ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA
info@21archd.com
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(305) 323-4080

AR96144

PROJECT NUMBER
21010

SHEET TITLE
RENDERINGS

SHEET NUMBER
A501

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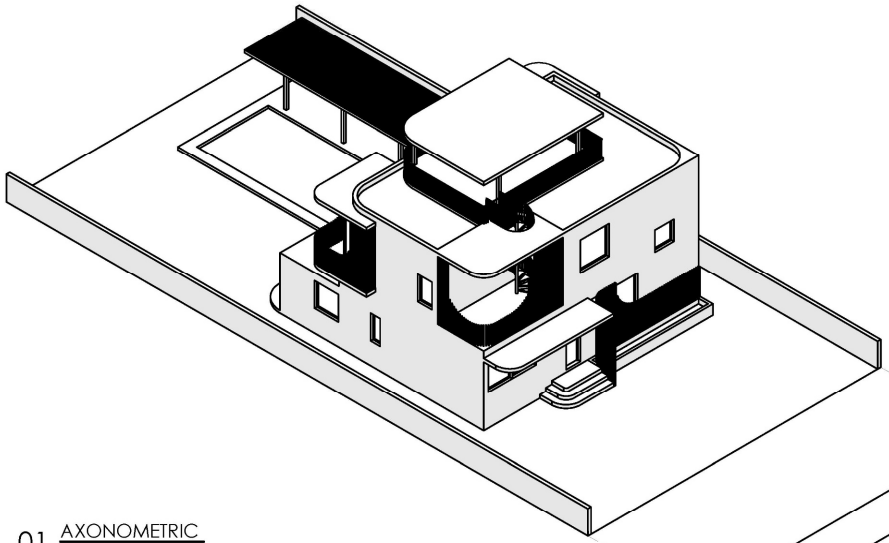

01 AXONOMETRIC
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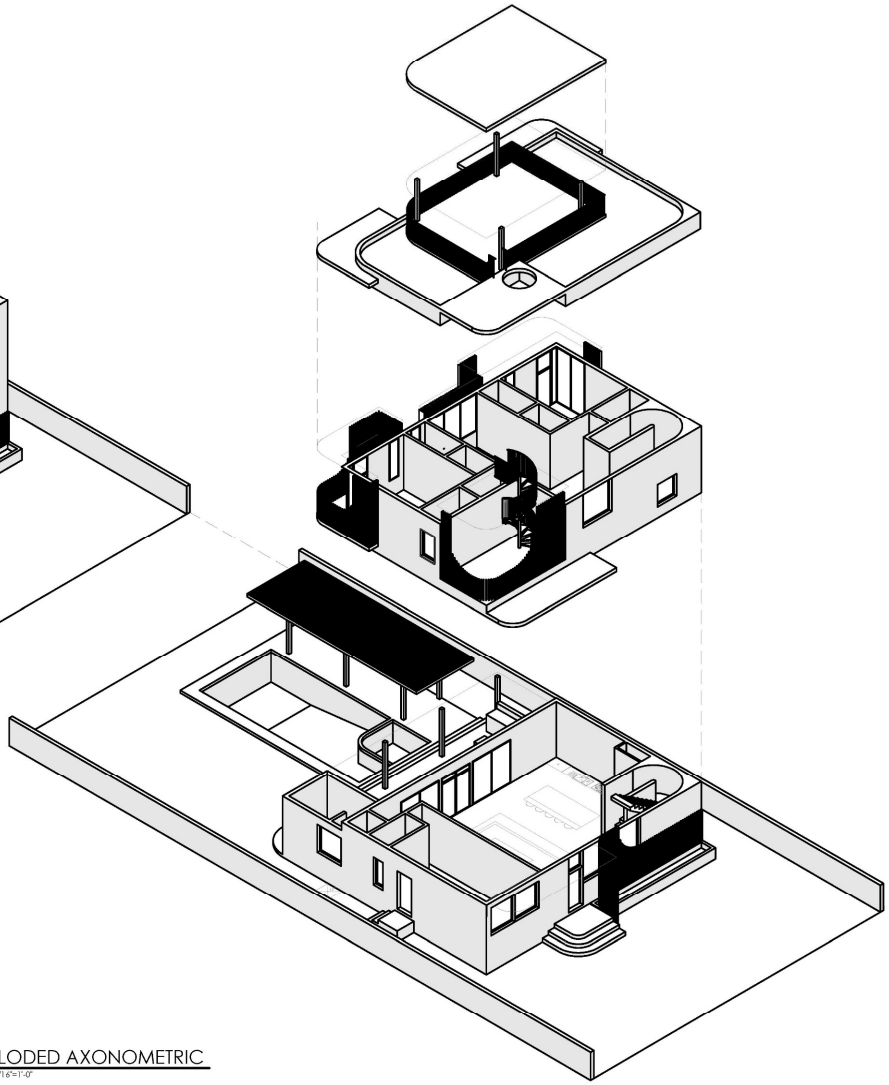


02 EXPLODED AXONOMETRIC
SCALE: 1/16"=1'-0"

21ArchD studio

PLANS PREPARED FOR:

ISSUE/REVISION RECORD

DATE	DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE
■ NO MODIFICATIONS APPLIED
□ MODIFICATIONS APPLY

SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA
PROJECT ARCHITECT
Tel: (786) 229-0166
(305) 323-0550

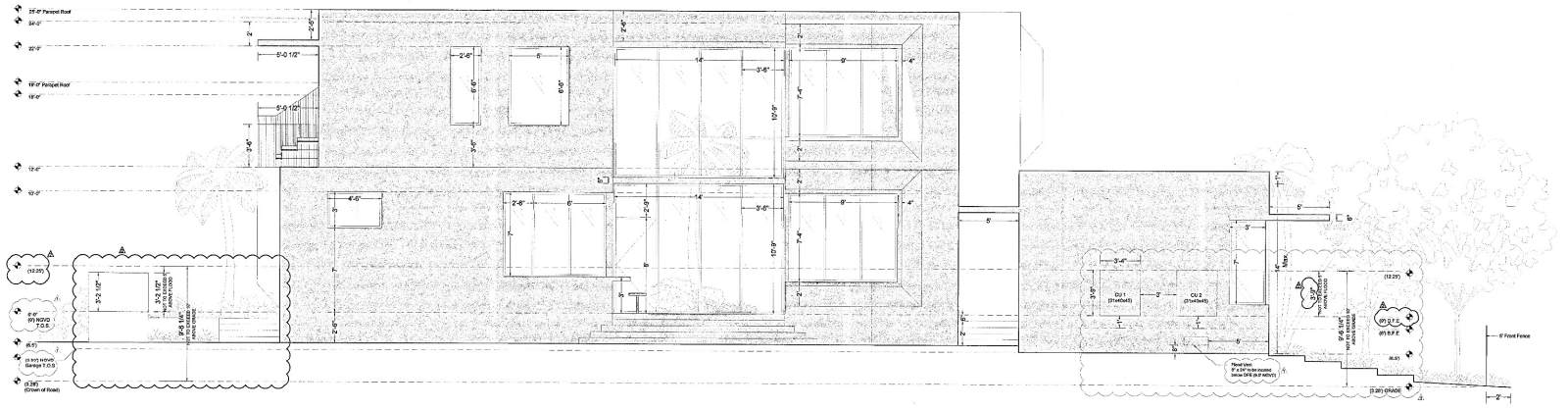
A89344

PROJECT NUMBER
21010

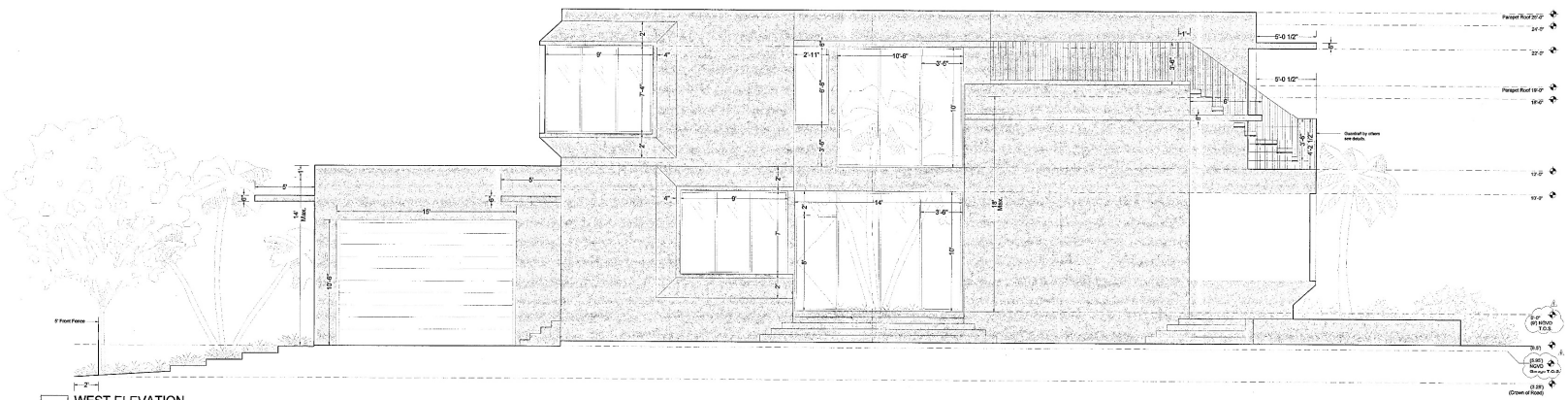
SHEET TITLE
EXPLODED
AXONOMETRIC DGRM.

SHEET NUMBER
A502

2053 N BAY ROAD
Miami Beach, Fl 33140



01 EAST ELEVATION
1/8" = 1'



02 WEST ELEVATION
1/8" = 1'

MIAMIBEACH
REVIEWED FOR
CODE COMPLIANCE

FLOOD VENT REQ'

- Openings shall be in all directions as well.
- The bottom of the openings higher than one higher of the exterior grade or finished adjacent grade.

3.
4.
5.
6.
7.
8.
9.
10.

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING AND ARE OWNED BY, AND THE PROPERTY OF THE ARCHITECT WHO HAS NOT GIVEN, SOLD, OR OTHERWISE TRANSFERRED THE LEGAL AND EXCLUSIVE RIGHT TO BE THE ARCHITECT IN REGARD TO THE PROJECT FOR WHICH THEY WERE PREPARED, AND ARE NOT TO BE USED BY ANYONE EXCEPT THE ARCHITECT AND PLANS SHALL NEVER BE USED, DISCLOSED TO, OR OTHERWISE MADE AVAILABLE TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN AUTHORIZATION OF RWB LINARES ARCHITECTURAL INC.

Chetek Residence
2053 N. BAY ROAD
MIAMI BEACH, FL. 33140

RWB Linares ARCHITECTURE
1600 SOUTH DIXIE HWY., STE. 400
BOCA RATON, FL. 33432
PHONE: 561-391-0200 FAX: 561-391-0065
EMAIL: mail@rwb-arch.com

PROJECT # Chetek Residence
DATE 6/7/19
SHEET # A-201

LICENSED PROFESSIONAL
STATE OF FLORIDA
ARNALDO LINARES
ARN 17358
REGISTERED ARCHITECT
LICENSE NUMBER
AA26006640
JUL 09 2019

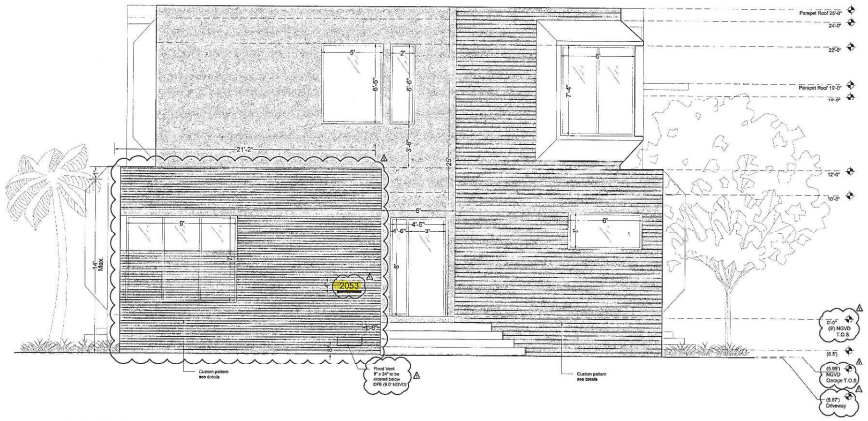
MIAMIBEACH
REVIEWED FOR
CODE COMPLIANCE

NOTES	FLOOD VENT
• 6" high address numbers in new and existing buildings, visible and legible from the street. Per FBCR 319	• Openings a in any direction. • The bottom of the frame of the flood vent shall be at or above the adjacent grade or floor immediately below the opening.

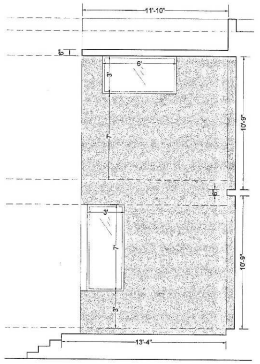
1.
2.
3.
4.
5.
6.
7.
8.
9.
10.

ALL DESIGNS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND PROPERTY OF THIS OFFICE, AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THESE DESIGNS, DESIGNS, ARRANGEMENTS, AND PLANS SHALL BE USED BY, OR DISCLOSED TO, ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION OF RWB LINARES ARCHITECTURE, INC.

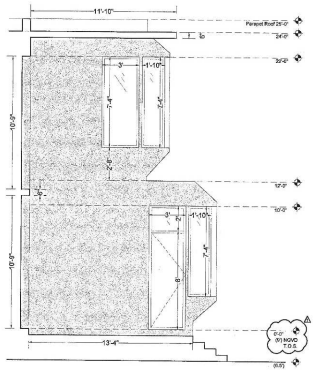
Chetek Residence
2053 N. BAY ROAD
MIAMI BEACH, FL. 33140



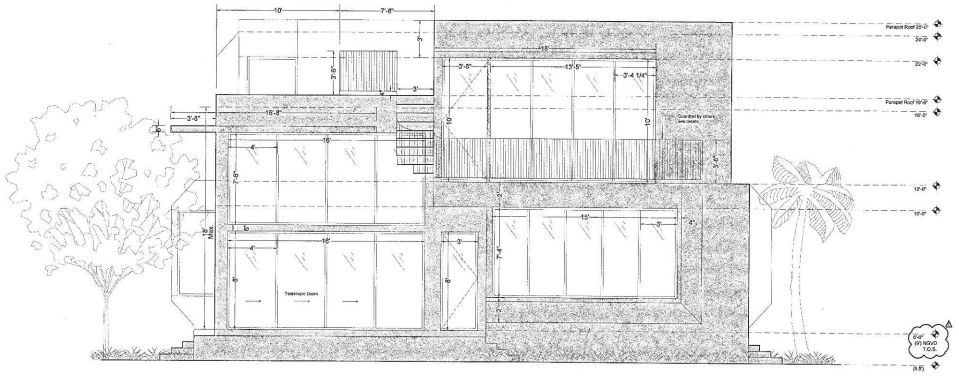
01 FRONT ELEVATION
1/4" = 1'



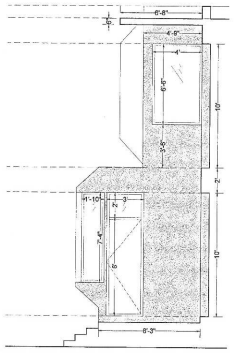
03 INTERIOR OPEN SPACE SIDE ELEVATION
1/4" = 1'



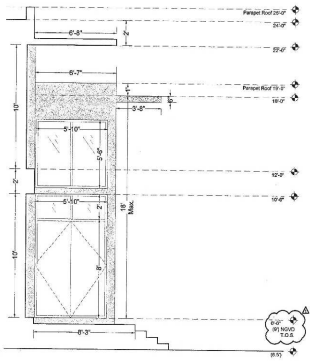
04 INTERIOR OPEN SPACE SIDE ELEVATION
1/4" = 1'



02 REAR ELEVATION
1/4" = 1'



05 PORCH 2 SIDE ELEVATION
1/4" = 1'

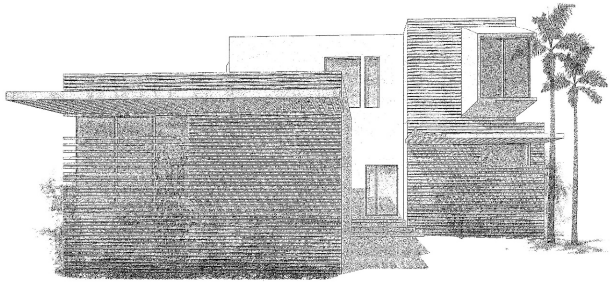


06 PORCH 2 SIDE ELEVATION
1/4" = 1'

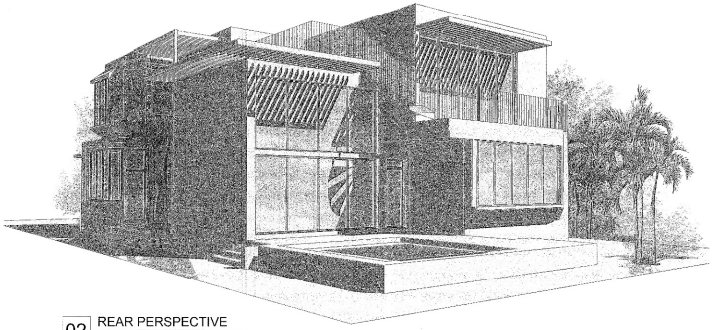
RWB Linares ARCHITECTURE
1601 SOUTH DIXIE HWY., STE. 400
BOCA RATON, FL. 33432
PHONE 561-391-0081 FAX 561-391-0085
EMAIL mail@rwb-arch.com

PROJECT # Chetek Residence
DATE 6/7/19
SHEET # A-202

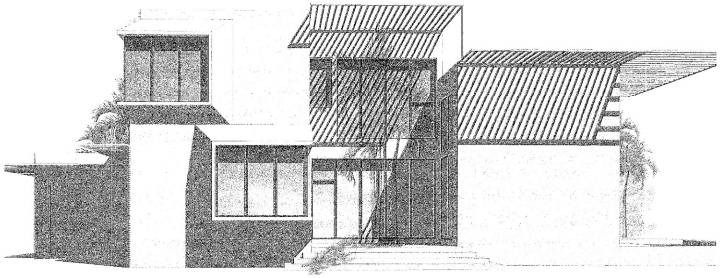
SIGNATURE OF REGISTERED ARCHITECT
JUAN C. LINARES
AA 0003640
JUN 11 2019



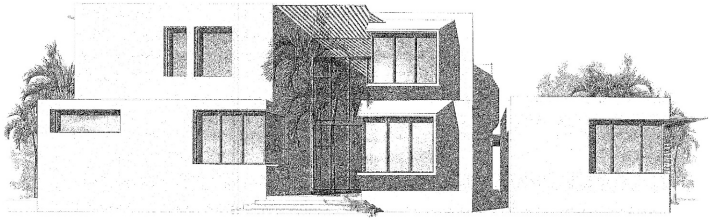
01 FRONT PERSPECTIVE
N.T.S.



02 REAR PERSPECTIVE
N.T.S.



03 EAST PERSPECTIVE
N.T.S.



04 WEST PERSPECTIVE
N.T.S.

MIAMIBEACH
REVIEWED FOR
CODE COMPLIANCE

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DATE 5/4/19
SHEET #

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JUAN C. LINARES
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