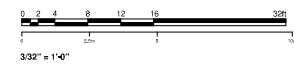


1 SITE PLAN
3/32" = 1'-0"



OWNER
4540 NBR. LLC
4540 NORTH BAY ROAD,
MIAMI BEACH, FL 33140

ARCHITECT
AA 20000986
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TERRA CIVIL ENGINEERING
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ADDRESS
TELEPHONE
MEP/FP ENGINEER
NAME
ADDRESS
TELEPHONE

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PROJECT

4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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KEY PLAN

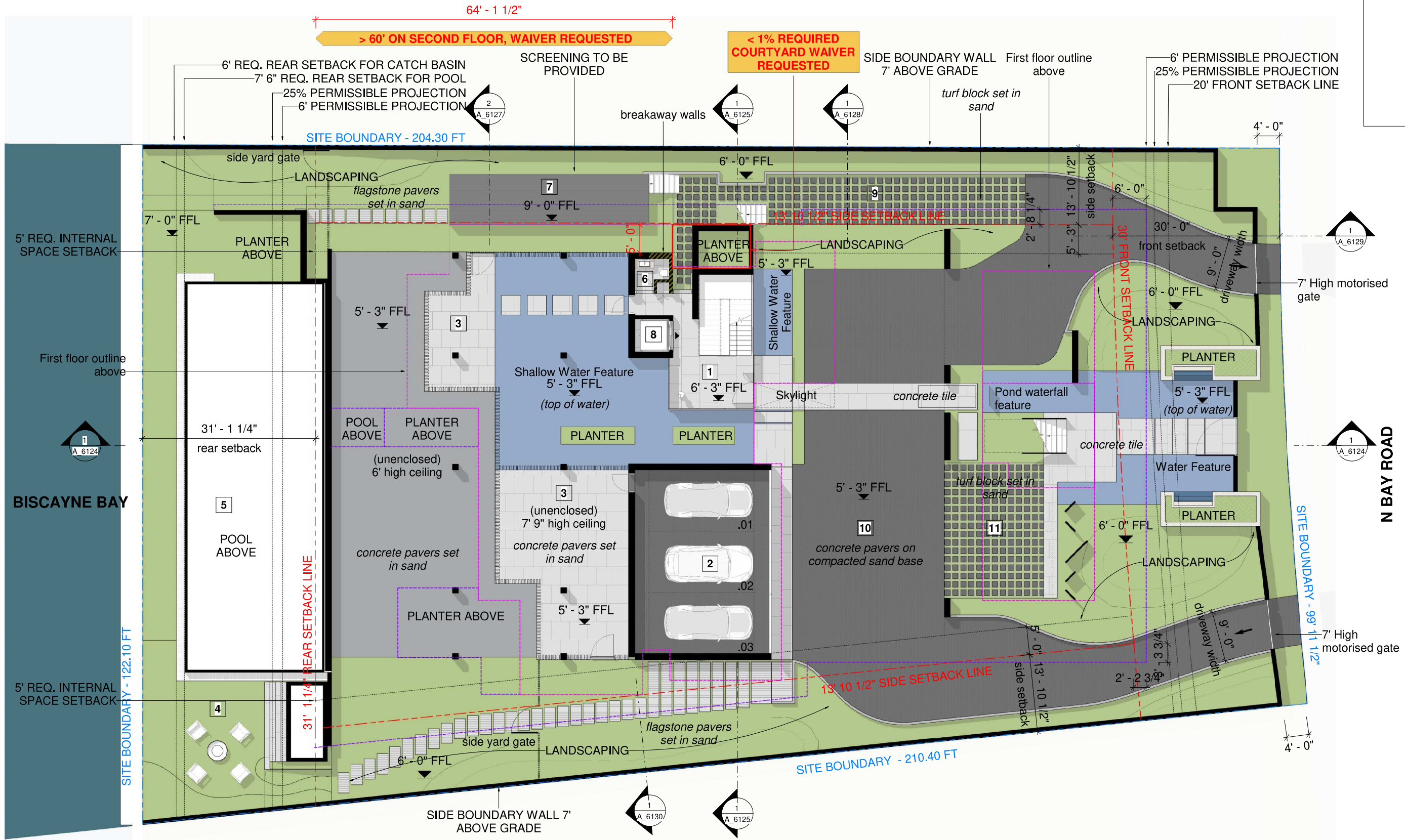
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SITE PLAN

SHEET NO.
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1 UNDERSTORY PLAN
1/8" = 1'-0"

KEY					
1	Lobby	6	Powder Room 01	11	Guest Parking
2	Garage	7	Pool Equipment		
3	Store Room	8	Elevator		
4	Fire Pit Seating	9	Service Driveway		
5	Pool	10	Motor Court		



OWNER
4540 NBR LLC
4540 NORTH BAY ROAD
MIAMI BEACH, FL 33140

ARCHITECT
AA 2000096
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NAME
ADDRESS
TELEPHONE

MER/FP ENGINEER
NAME
ADDRESS
TELEPHONE

KURT DANNWOLF
FL ARCHITECT REG. NO.
AR2042

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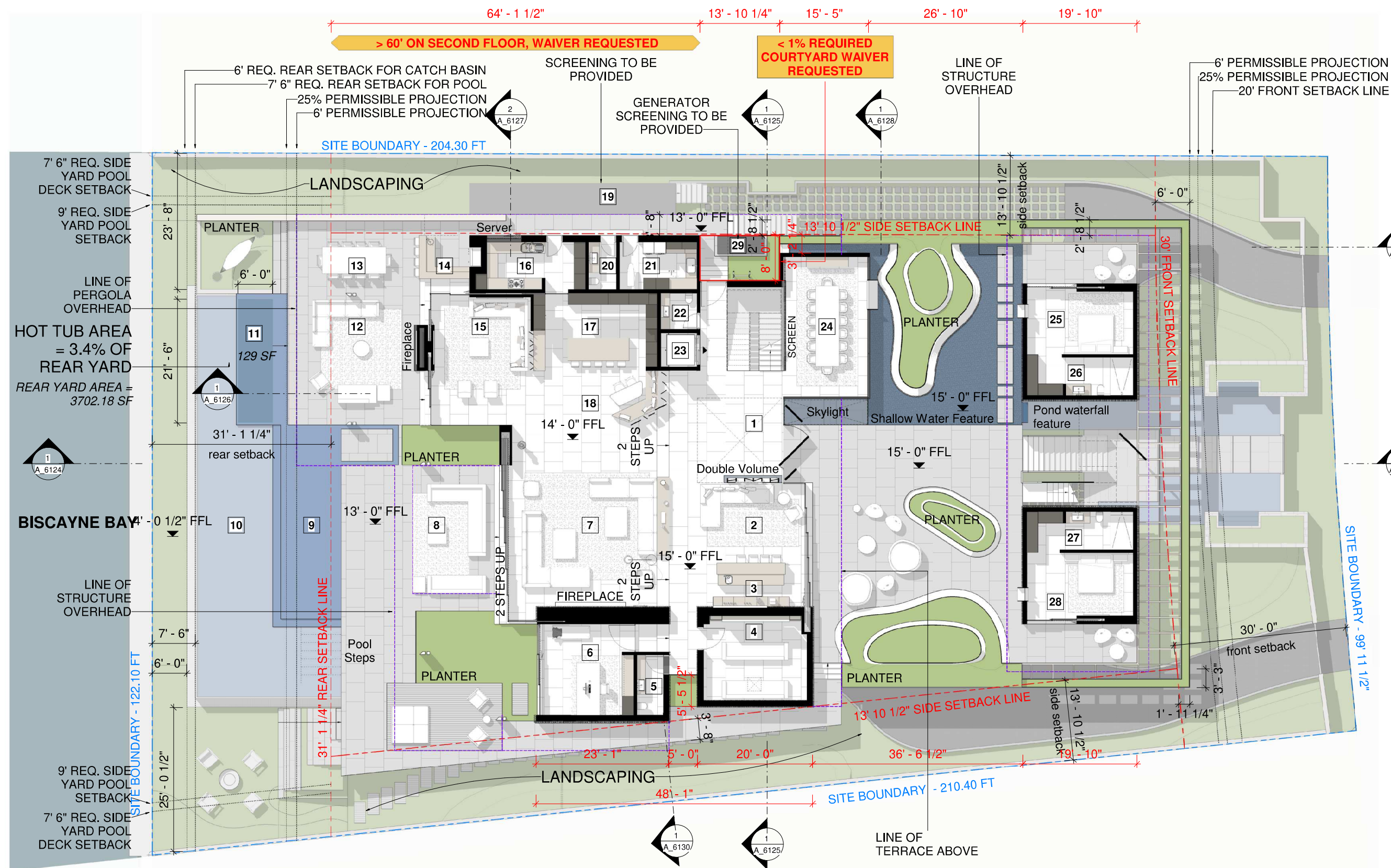
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08-02-21 DRB Final Submittal

KEY PLAN

SCALE:
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UNDERSTORY PLAN
SHEET NO.
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KEY

1	Entry	6	Office	11	Hot Tub	16	BOH Kitchen	21	Laundry	26	Guest ES 01
2	Bar Lounge	7	Great Room	12	Outdoor Lounge 02	17	FOH Kitchen	22	Powder Room 04	27	Guest ES 02
3	Bar	8	Outdoor Lounge 01	13	Outdoor Dining	18	Breakfast Dining	23	Elevator	28	VIP Guest 02
4	Media Room	9	Baja Shelf	14	Outdoor Bar	19	Pool Equipment	24	Dining Room		
5	Powder Room 02	10	Pool	15	Family Room	20	Powder Room 03	25	VIP Guest 01		

1 FIRST FLOOR PLAN
1/8" = 1'-0"

OWNER
ARMSTRONG, LLC
4540 NORTH BAY ROAD
IRVINE, CA, 92614

ARCHITECT
AIA 2002000900
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T 02101.440.4401

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T 786.596.6777


CIVIL ENGINEER
TERRA CIVIL ENGINEERING
4011 W. FLAGLER ST. SUITE 400, MIAMI, FL 33134
T 305.489.5010

STRUCTURAL ENGINEER
NAME _____
FIRM _____
PHONE _____

MEP/FP ENGINEER
NAME _____
FIRM _____
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PROJECT
4540 NORTH BAY RD
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KEY PLAN

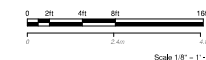
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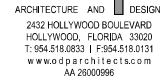
FIRST FLOOR PLAN

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A 6110



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KEY PLAN

SCALE:

DATE: 08/02/21

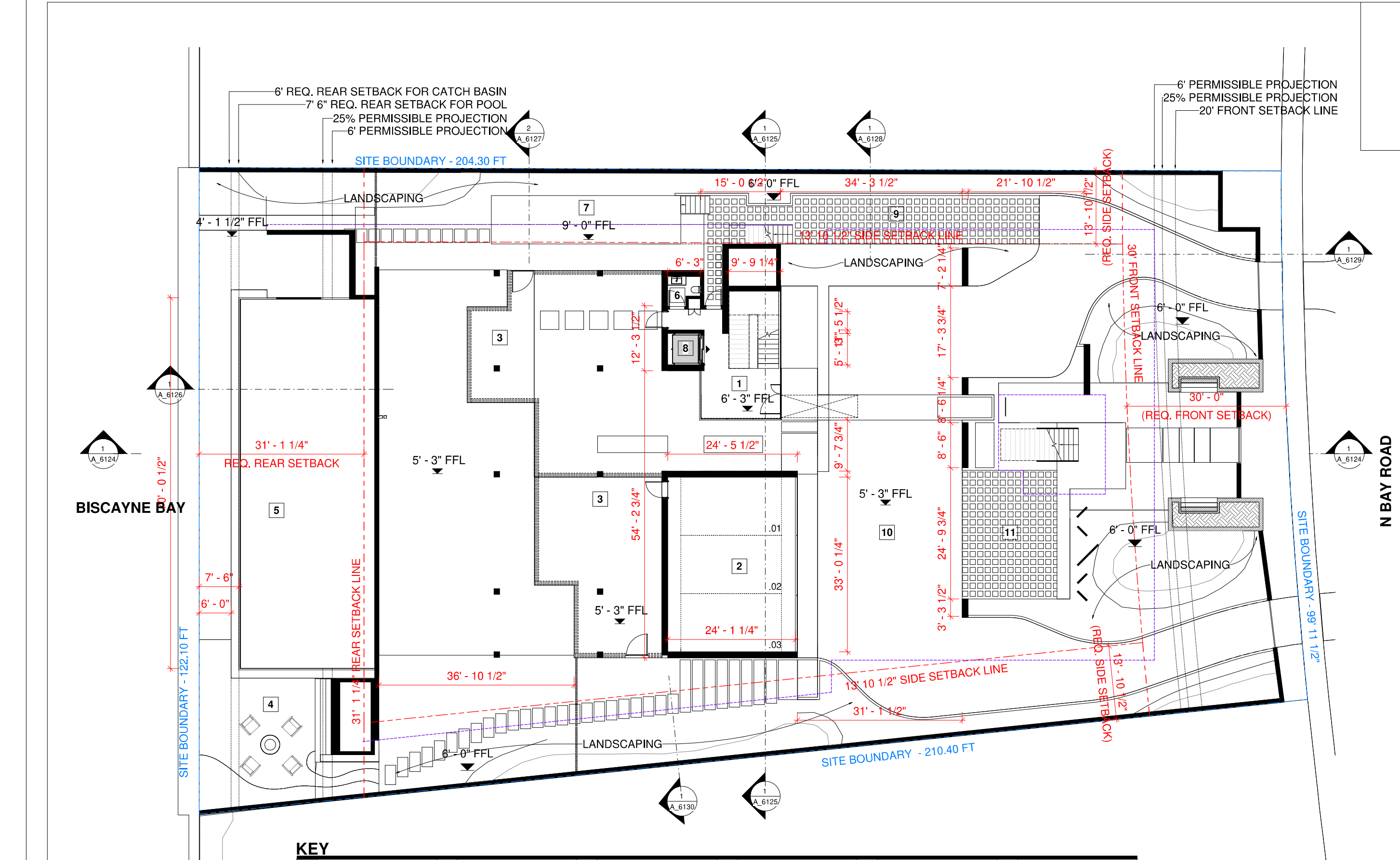
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FIRST FLOOR PLAN

SHEET NO. _____

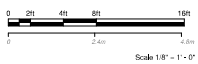
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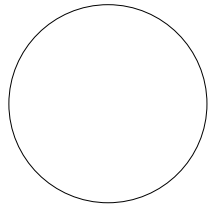
1 UNDERSTOREY: DIM PLAN
1/8" = 1'-0"

KEY

1	Lobby	6	Powder Room 01	11	Guest Parking
2	Garage	7	Pool Equipment		
3	Store Room	8	Elevator		
4	Fire Pit Seating	9	Service Driveway		
5	Pool	10	Motor Court		



OWNER	4540 NBR LLC 4540 NORTH BAY ROAD MIAMI BEACH, FL 33140
ARCHITECT	AA 2000096 O'DONNELL, DANNWOLF AND PARTNERS ARCHITECTS INC. 2432 HOLLYWOOD BOULEVARD, FL 33020 T: 954.518.0833 F: 954.518.0833
LEAD DESIGNER	SAOTA PVTY LTD 109 HATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA T: 021 468 4400
LANDSCAPE ARCHITECT	RAYMOND JUNGLES, INC. 2864 AVIATION AVENUE, COCONUT GROVE, FL 33133 T: 305.858.8777
CIVIL ENGINEER	TECHNICAL ENGINEERING 4011 W. FLAGLER ST., SUITE 400, MIAMI, FL 33134 T: 305.499.5010
STRUCTURAL ENGINEER	NAME ADDRESS TELEPHONE
MER/IFP ENGINEER	NAME ADDRESS TELEPHONE



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PROJECT
4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS	
08-02-21	DRB Final Submittal

KEY PLAN

SCALE:

DATE: 08/02/21

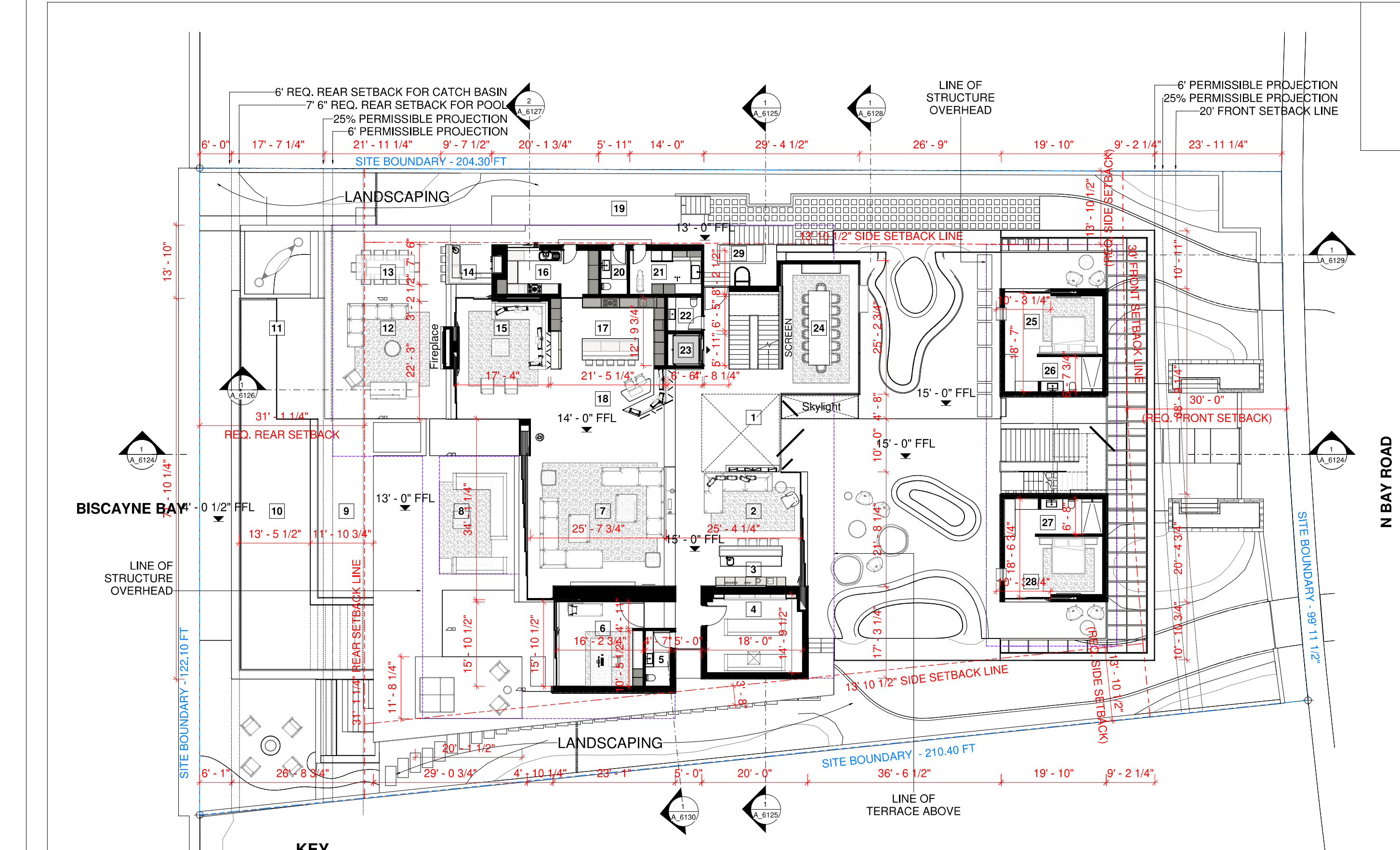
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DRAWING TITLE:

B1 DIM PLAN

SHEET NO.

A_6113



1 FIRST FLOOR: DIM PLAN
1/8" = 1'-0"

KEY					
1	Entry	6	Office	11	Hot Tub
2	Bar Lounge	7	Great Room	12	Outdoor Lounge 02
3	Bar	8	Outdoor Lounge 01	13	Outdoor Dining
4	Media Room	9	Baja Shelf	14	Outdoor Bar
5	Powder Room 02	10	Pool	15	Family Room
16	BOH Kitchen	21	Laundry	26	Guest ES 01
17	FOH Kitchen	22	Powder Room 04	27	Guest ES 02
18	Breakfast Dining	23	Elevator	28	VIP Guest 02
19	Pool Equipment	24	Dining Room		
20	Powder Room 03	25	VIP Guest 01		



OWNER
4540 NBR LLC
4540 NORTH BAY ROAD,
MIAMI BEACH, FL 33140

ARCHITECT
AA 20002898
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STRUCTURAL ENGINEER
NAME
ADDRESS
TELEPHONE

MEP/FP ENGINEER
NAME
ADDRESS
TELEPHONE

KURT DANNWOLF
FL ARCHITECT REG. NO.
AR92042

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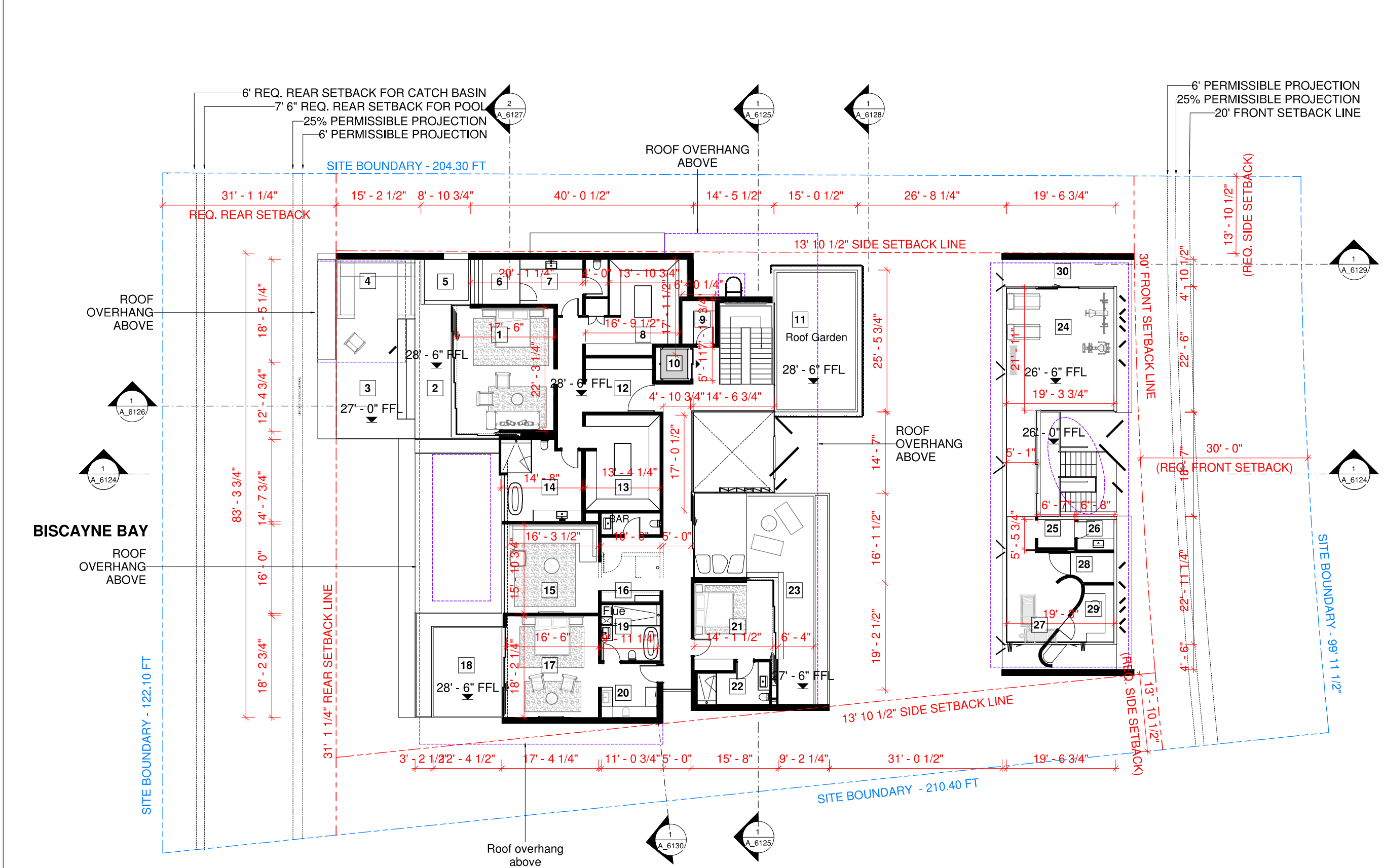
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KEY PLAN

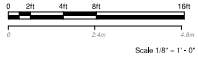
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L1 DIM PLAN
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1 SECOND FLOOR: DIM PLAN
1/8" = 1'-0"

KEY					
1 Master Bedroom	6 Shower Wet Room	11 Roof Garden	16 Powder Room 05	21 Guest Bedroom 04	26 Powder Room 06
2 Covered Terrace	7 En Suite 01	12 Entry	17 VIP Guest 03	22 En Suite 04	27 Massage
3 Terrace	8 Walk-in Closet 01	13 Walk-in Closet 02	18 Covered Terrace	23 Sunrise Deck	28 Sauna
4 Covered Terrace	9 Store Room	14 En Suite 02	19 Walk-in Closet 03	24 Gym	29 Steam Shower
5 Hot Tub	10 Elevator	15 Lounge	20 En Suite 03	25 Change Room	30 Covered Terrace



OWNER
4540 NBR LLC
4540 NORTH BAY ROAD,
MIAMI BEACH, FL 33140

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TERRA CIVIL ENGINEERING
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STRUCTURAL ENGINEER
NAME
ADDRESS
TELEPHONE

MEP/FP ENGINEER
NAME
ADDRESS
TELEPHONE

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FL ARCHITECT REG. NO.
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AA 2000096

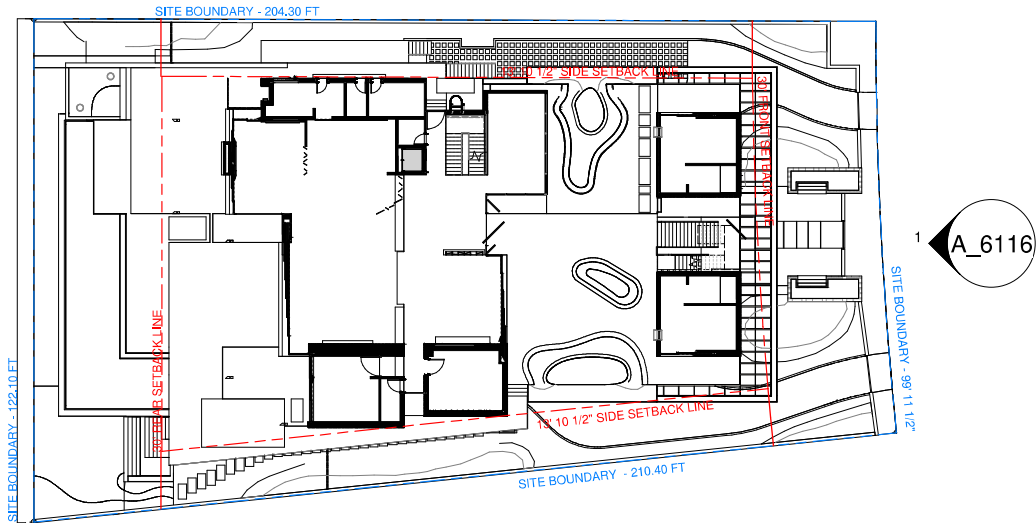
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PROJECT
4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140

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KEY PLAN

SCALE:
DATE: 08/02/21
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DRAWING TITLE:
L2 DIM PLAN
SHEET NO.
A_6115



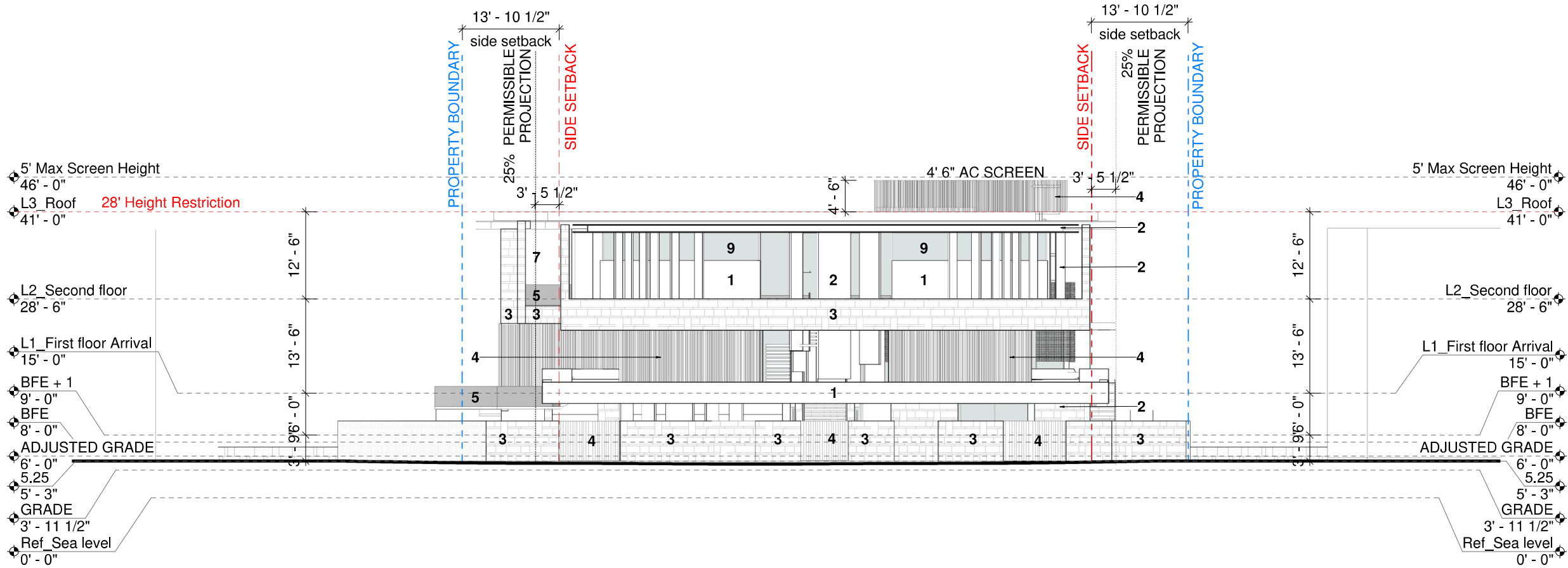
2 KEY PLAN
3/64" = 1'-0"

MATERIAL PALLETE

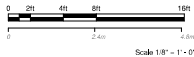


KEY

1	Basalt Stone	6	Concrete
2	Blackened Steel	7	Light Grey Venetian Plaster
3	Tiled Limestone	8	Lava Stone
4	Timber Slats	9	Matt Black Alu. Frame & Clear Glazing
5	Toughened Clear Glass		



1 FRONT (EAST) ELEVATION
1/8" = 1'-0"



OWNER
4540 NBR LLC
4540 NORTH BAY ROAD,
MIAMI BEACH, FL 33140

ARCHITECT
AA 2000096
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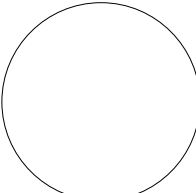
LEAD DESIGNER
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TERRA-CIVIL ENGINEERING
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T: 305.499.5010

STRUCTURAL ENGINEER
NAME
ADDRESS
TELEPHONE

MEP/FP ENGINEER
NAME
ADDRESS
TELEPHONE



KURT DANNWOLF
FL ARCHITECT REG. NO.
AR92042

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REVISIONS

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KEY PLAN

SCALE:

DATE: 08/02/21

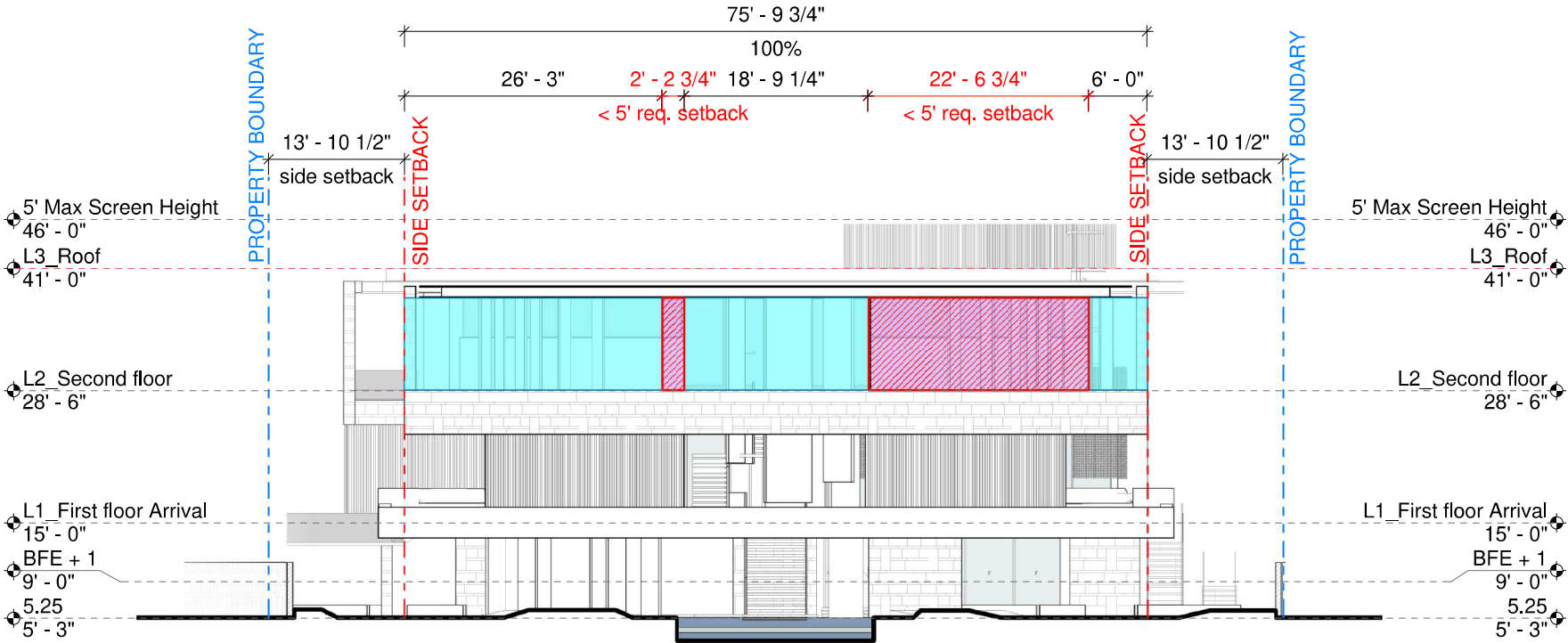
STARTED BY:

DRAWING TITLE:

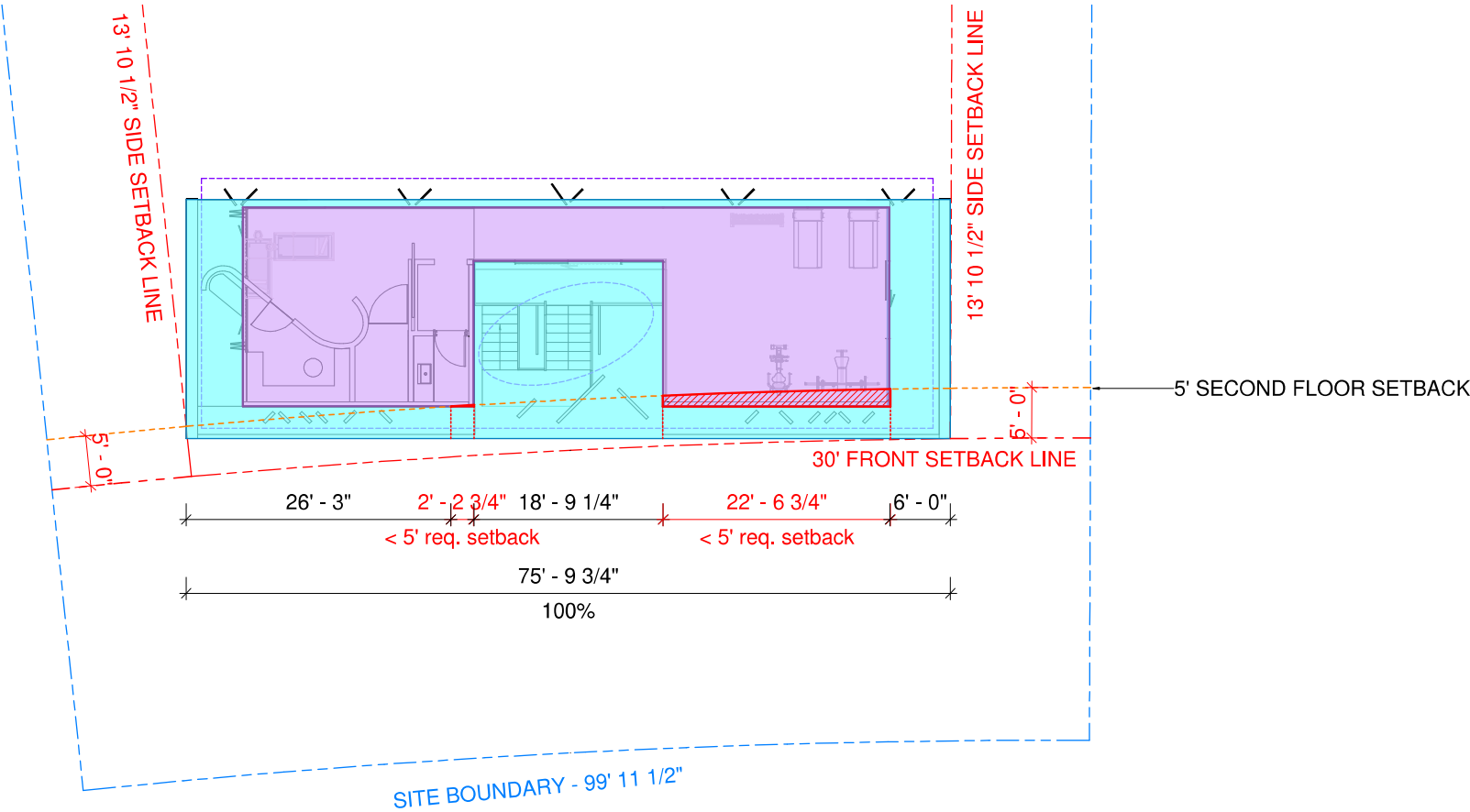
EAST ELEVATION

SHEET NO.

A_6116



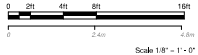
2 SECOND FLOOR: 35% SETBACK ELEVATION
1/8" = 1'-0"



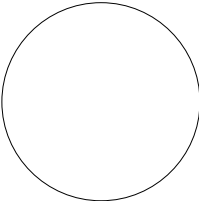
1 SECOND FLOOR: 35% SETBACK PLAN
1/8" = 1'-0"

35% SECOND FLOOR SETBACK (For CITY Compliance) (5' Setback from required front setback line)	
MIN REQUIRED SETBACK	35%
EXTERNAL AREA	51.02 F
INTERNAL AREA (< req. 5' setback)	24.79 F
TOTAL LENGTH	75.82 F
> 5' REQUIRED SETBACK	67.29%

INTERNAL AREA
(> req. 5' setback)



OWNER	4540 NBR LLC 4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140
ARCHITECT	AA 2000096 O'DONNELL, DANNWOLF AND PARTNERS ARCHITECTS INC. 2432 HOLLYWOOD BLVD HOLLYWOOD, FL 33020 T: 954.518.0833
LEAD DESIGNER	SAOTA PTY LTD 109 HATFIELD STREET, GARDENS, CAPE TOWN, 8001 SOUTH AFRICA +27(0)21 468 4400
LANDSCAPE ARCHITECT	RAYMOND JUNGLES, INC. 2864 AVANTON AVENUE, COCONUT GROVE, FL 33133 T: 305.89.8777
CIVIL ENGINEER	TECHNICAL ENGINEERING 4011 W. FLAGLER ST., SUITE 400, MIAMI, FL 33134 T: 305.499.5010
STRUCTURAL ENGINEER	NAME ADDRESS TELEPHONE
ME/P/E ENGINEER	NAME ADDRESS TELEPHONE



KURT DANNWOLF
FL ARCHITECT REG. NO.
AR92042
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PROJECT
4540 NORTH BAY RD.
4540 NORTH BAY ROAD, MIAMI BEACH, FL 33140

REVISIONS	
08-02-21	DRB Final Submittal

KEY PLAN

SCALE:
DATE: 08/02/21
STARTED BY:
DRAWING TITLE:

35% FRONT SETBACK
SHEET NO.
A_6117