

# BISCAYNE POINT FOURPLEX - FINAL SUBMITTAL

at

800 84 STREET  
MIAMI BEACH, FL 33141

for

6BM, LLC



## SCOPE OF WORK:

- TWO NEW SIDE-BY-SIDE TWO-DWELLING UNIT, FOUR-STORY RESIDENTIAL BUILDINGS DIVIDED BY A FIRE WALL ABOVE AN OPEN PARKING GARAGE, ON CURRENTLY VACANT LOT, FOR A TOTAL OF FOUR DWELLING UNITS.

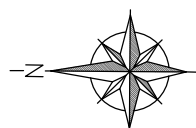
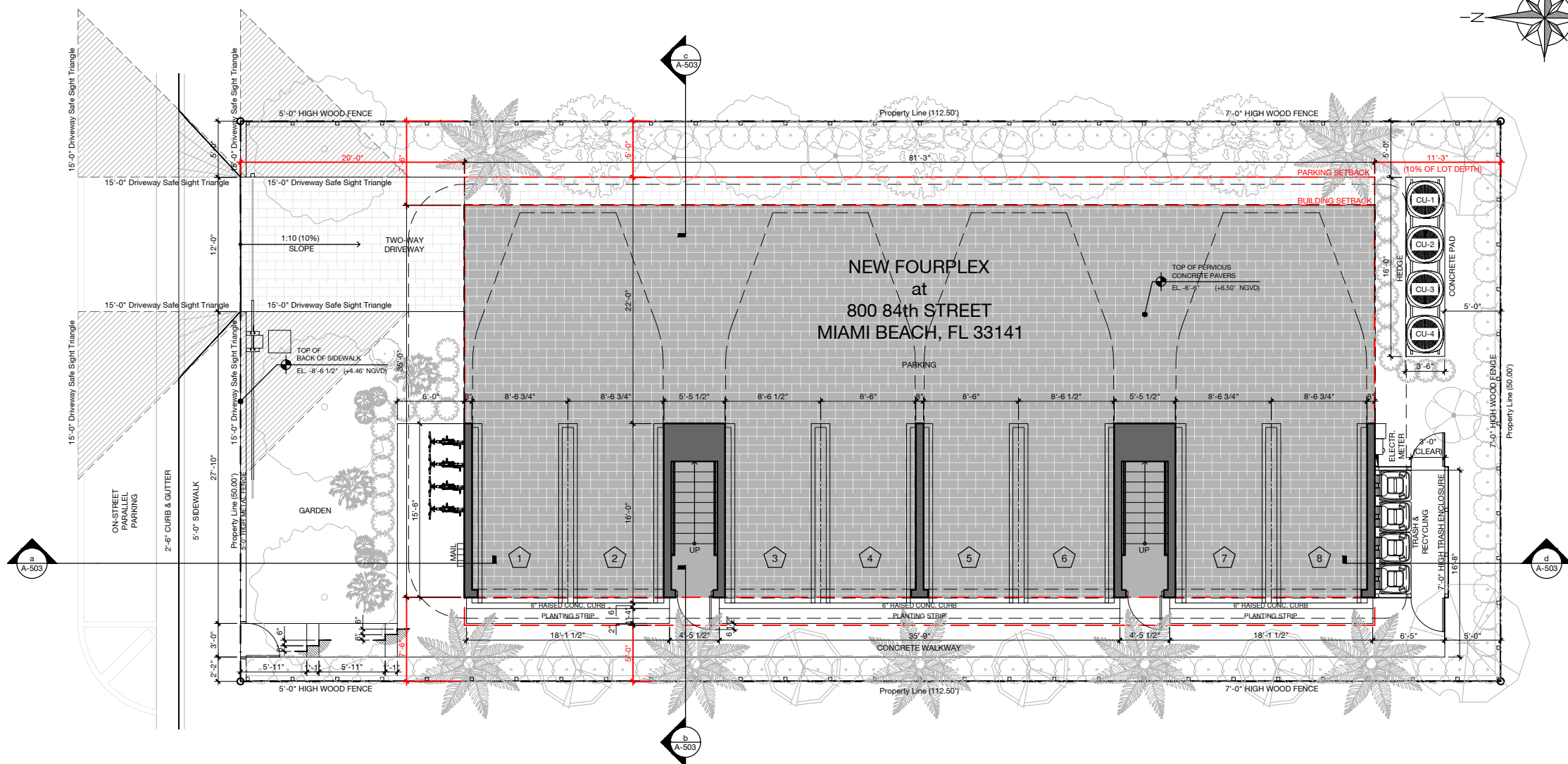
## ARCHITECTURE

CDS | ARCHITECTURE AND PLANNING  
1 ALHAMBRA PLAZA, PH FLOOR  
CORAL GABLES, FLORIDA 33134  
(305) 300-7438 | info@cds-ap.com | www.cds-ap.com

AUGUST 2, 2021



84th STREET  
(50'-0" R.O.W.)



**GENERAL NOTES**

**FIELD VERIFICATION OF CONDITIONS**  
Contractor shall visit the site and become familiar with the existing building, existing conditions and extent of the work prior to preparing a proposal. This plan is to provide a general scale and overall layout of the work. Contractor shall pay for, and be responsible for all removal and disposal requirements, dumping fees, permit fees and direct and indirect costs pertaining to the removal and disposal of materials from the building.

**NOTE:**  
Building shall have a pre-construction treatment protection against subterranean termites. The rules and laws as established by the Florida Department of Agriculture and Consumer Services shall be deemed as approved with respect to preconstruction soil treatment for protection against subterranean termites. A certificate of compliance shall be issued to the building department by the licensed pest control company that contains the following statement: "The building has received a complete treatment for the prevention of subterranean termites. Treatment is in accordance with rules and laws established by the Florida Department of Agriculture and Consumer Services."

**NOTE:**  
Provide a weather-resistant, job-site posting board to receive duplicate treatment certificates as each required treatment for prevention of Termites is completed. The treatment certificate shall provide the product used, identity of the applicator, time and date of the treatment, site location, area treated, chemical used, percent concentration and number of gallons used. A permanent sign which identifies the treatment provider and need for inspection and treatment contract renewal shall be posted near the water heater or electric panel.

**NOTE:**  
Fences and gates, doors and windows, as well as the scope of work within the 84th Street right-of-way, shall be UNDER SEPARATE PERMITS.

**NOTE:**  
All new and relocated A/C condensing units, water heater and all electrical, mechanical and plumbing equipment shall have their bottom at or above base flood elevation of +9.00 Ft. NGVD. See Plumbing, Electrical and Mechanical drawings for additional info.

**ZONING ANALYSIS**

**REQUIRED / ALLOWED**

**FLOOR AREA:** 7,031.25 SF (1.25 FAR Max.)  
**LOT AREA:** 5,625 SF Min.  
**LOT WIDTH:** 50'-0" Min.  
**LOT COVERAGE:** N/A  
**LOT AGGREGATION:** Two platted lots Max.  
**UNIT SIZE:** 550 SF Min. (New Construction) | 800 SF Ave. Min.  
**BUILDING HEIGHT:** 55'-0" (From Max. Freeboard) | 5 Stories  
**BUILDING SETBACKS:**  
FRONT: 20'-0"  
SIDE, INTERIOR: 7'-6"  
REAR: 11'-3" (10% of Lot depth)  
**PARKING SETBACKS:**  
FRONT: 20'-0"  
SIDE, INTERIOR: 5'-0"  
REAR: 11'-3" (10% of Lot depth)  
**ENCROACHMENTS:**  
Cornices, Ornamental features and Overhangs: 25% of Min. Required Yards  
**MIN. YARD ELEVATION:** +6.56' NGVD  
**MAX. YARD ELEVATION:** +6.96' NGVD (30" above Grade)  
**PARKING:** N/A  
**MAIN USES:** Single-Family detached dwellings, Townhomes, Apartments

**PROPOSED**

**FLOOR AREA:** 6,434 SF  
**LOT AREA:** 5,625 SF  
**LOT WIDTH:** 50'-0"  
**LOT COVERAGE:** N/A  
**LOT AGGREGATION:** One platted lot  
**UNIT SIZE:** 1,516 SF Min. | 1,531 SF Ave.  
**BUILDING HEIGHT:** 39'-10" | 4 Stories  
**BUILDING SETBACKS:**  
FRONT: 20'-0"  
SIDE, INTERIOR: 7'-6"  
REAR: 11'-3" (10% of Lot depth)  
**PARKING SETBACKS:**  
FRONT: 20'-0"  
SIDE, INTERIOR: 5'-0"  
REAR: 11'-3" (10% of Lot depth)  
**ENCROACHMENTS:**  
OVERHANGS: 5'-0" (25% Front Yard) | 1'-10 1/2" (25% Side Yards) | 2'-9 3/4" (25% Rear Yard)  
**MIN. YARD ELEVATION:** +6.56' NGVD  
**MAX. YARD ELEVATION:** +6.56' NGVD  
**PARKING:** 8 Parking Spaces  
**MAIN USES:** Two (2) Side-by-Side Two-Family Residences (Apartments)

**PROPERTY INFORMATION**

**LEGAL DESCRIPTION:**  
BISCAYNE BEACH SUB PB 44-67, LOT 6 BLK 7, LOT SIZE 50,000 X 113  
COC 26066-2404 11 2007 1

**ZONING DISTRICT:** RM-1 Residential Multifamily Low Intensity

**FLOODING INFO**  
Flood Zone: AE Panel No.: 12086C0307L  
Community Name/No.: City of Miami Beach / 120651  
Base Flood Elevation: +8.00' NGVD

**GRADE:** +4.46' NGVD (City sidewalk elevation at the centerline of the front of the property)

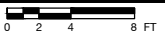
**OCCUPANCY**

OCCUPANCY: R-3

**CODES IN EFFECT**

FLORIDA BUILDING CODE 7th EDITION (2020) BUILDING  
FLORIDA BUILDING CODE 7th EDITION (2020) PLUMBING  
FLORIDA BUILDING CODE 7th EDITION (2020) MECHANICAL  
FLORIDA FIRE PREVENTION CODE, 7th EDITION (2020)  
NFPA 101 LIFE SAFETY CODE, 2021 EDITION

**SITE PLAN**



**NOTE:**  
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**PROJECT:**  
BISCAYNE POINT  
FOURPLEX

**CLIENT:**  
6BM, LLC

**ADDRESS:**  
800 84 STREET  
MIAMI BEACH, FL 33141

**ISSUED ON:**  
08.02.2021

**JOB NO.:**  
21006

**TITLE:**  
SITE PLAN

**SCALE:**  
SEE GRAPHIC BAR

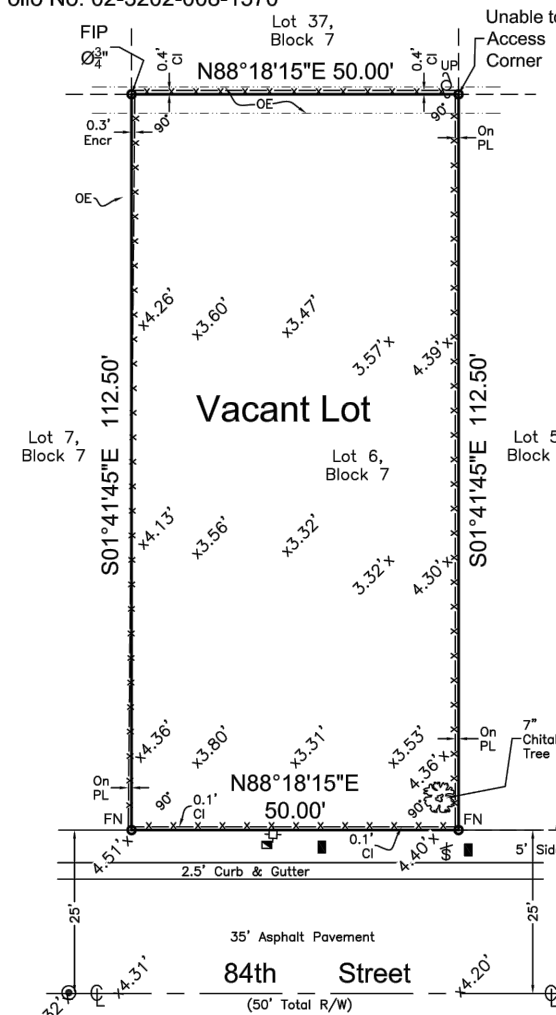
**SHEET:**  
A-101

7210 SW 126th Court, Miami, Florida 33183  
**Aniano J. Garcia, PLSM** Ph (305) 856-4566  
 Land Surveyor & Planner agarcia297@aol.com

Property Address: 800 84th Street, Miami Beach, Florida 33141  
 Legal Description: Lot 6, Block 7, Biscayne Beach Sub., according to the Plat thereof as recorded in Plat Book 44, at Page 67, Public Records of Miami-Dade County, Florida.  
 Folio No: 02-3202-008-1570

**Boundary Survey**  
 Scale 1"= 20'

There may be easements and/or other instruments affecting this property, recorded in the Public Records not shown on this survey



- Legend:**
- ☐ Concrete Utility Pole
  - Manhole
  - ⚡ Traffic Signal
  - Water Meter
  - ◻ Utility Hand Hole
  - Utility Pole



**Aniano J. Garcia**  
 Digitally signed by Aniano J. Garcia  
 Date: 2021.07.08  
 19:49:14 -04'00'

**Flood Plain Information:**  
 Flood Zone: AE; Base Flood: 8.0 ft;  
 Panel No: 12086C0307L, effective 09-11-2009; Community Name / No: City of Miami Beach / 120651

**Reference Bench Marks:**  
 City BM No 85 02R, Elev=4.62 ft & County BM No D-180, Elev=3.51 ft NGVD 1929

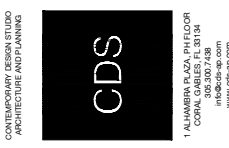
<b>LEGAL NOTES</b>		Date of Field Work 07-02-2021	For: 6BM LLC
This Survey does not reflect or determine ownership; Examination of the Abstract of Title will have to be made to determine Recorded Instruments, if any, affecting the property; This Survey is subject to dedications, limitations, restrictions, reservations or easements of records; Legal Description provided by client; The Liability of this Survey is limited to the cost of the Survey; Underground Encroachments, if any, are not shown; This firm has not attempted to locate existing and/or foundations and/or underground improvements of any nature; If shown, Bearings are referred to an Assumed Meridian; if shown, Elevations are referred to National Geodetic Vertical Datum of 1929 (NGVD 1929); Unless otherwise noted, found corners have no identification		Aniano J. Garcia PLSM 5105	Order No 21-0217
		Not valid without the signature and the original seal of a Florida licensed surveyor and mapper	

**LEGEND AND ABBREVIATIONS**

A = Arc Length; AC = Air Conditioner; AE = Anchor Easement; BC = Block Corner; BM = Bench Mark; BOB = Basis Of Bearings; (C) = Calculated Dimension; CB = Catch Basin; CBS = Concrete Block Structure; CFW = Concrete Fence Wall; CH = Chord Length; CHB = Chord Bearing; CI = Clear; CML = City Monument Line; CME = Canal Maintenance Easement; Conc = Concrete; DE = Drainage Easement; DME = Drainage & Maintenance Easement; Dr = Drive; E = East; Elev = Elevation; ENCR = Encroached; ETP = Electric Transformer; FDI = Found Drill Hole; FIR = Found Iron Rod; FFE = Finished Floor Elevation; FH = Fire Hydrant; FIP = Found Iron Pipe; FN = Found Nail; FT = Feet; LME = Lake Maintenance Easement; LB = Licensed Business; LFE = Lowest Floor Elevation; LP = Light Pole; (M) = Measured Dimension; ME = Maintenance Easement; MON = Monument; N = North; NGVD 1929 = National Geodetic Vertical Datum of 1929; NTS = Not To Scale; OE = Overhead Cable; OH = Over Hang; ORB = Official Record Book; O/S = Off Set; Pb = Plat Book; PC = Point of Curvature; POC = Point of Commencement; POOR = Property Corner; POP = Permanent Control Point; Pg = Page; PL = Planter or Property Line; PLS = Professional Land Surveyor; PLSM = Professional Land Surveyor and Mapper; POB = Point Of Beginning; POC = Point Of Commencement; PRC = Point Of Reverse Curve; PRM = Permanent Reference Monument; PT = Point Of Tangency; R = Radius; (R) = Recorded Dimension; RLS = Registered Land Surveyor and Mapper; R/R = Rail Road; R/W = Right Of Way; Sec = Section; T = Tangent; S = South; SIP = Set Iron Pipe With Cap Stamped PLS 5105; UE = Utility Easement; UP = Utility Pole; UTU = Utility; W = West; WF = Wood Fence; WM = Water Meter; WV = Water Valve; C = Centerline; --- = Chain Link Fence; LZZZZ = Concrete Wall; ° = Degrees; Δ = Central Angle; Ø = Diameter; x0.00 = Existing Elevation; ' = Minutes; " = Seconds; --- = Wood Fence; Metal Fence = ---



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**BISCAYNE POINT FOURPLEX**  
 6BM, LLC  
 800 84 STREET  
 MIAMI BEACH, FL 33141  
 08.02.2021  
 21006

**PROJECT:** BISCAYNE POINT FOURPLEX  
**CLIENT:** 6BM, LLC  
**ADDRESS:** 800 84 STREET MIAMI BEACH, FL 33141  
**ISSUED ON:** 08.02.2021  
**JOB NO:** 21006

**REVISIONS:**

**TITLE:** BOUNDARY SURVEY  
**SCALE:** N.T.S.  
**SHEET:** A-102



Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

**MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET**

ITEM #	Zoning Information			
1	Address:	800 84 Street, Miami Beach, FL 33141		
2	Board and file numbers :			
3	Folio number(s):	02-3202-008-1570		
4	Year constructed:	Zoning District:	RM-1 (Amended)	
5	Based Flood Elevation:	+8.00' NGVD	Grade value in NGVD:	
6	Adjusted grade (Flood+Grade/2):		Lot Area:	5,625 SF
7	Lot width:	50'-0"	Lot Depth:	112'-6"
8	Minimum Unit Size	1,488 SF	Average Unit Size	1,531 SF
9	Existing use:	N/A	Proposed use:	Apartments

	Maximum	Existing	Proposed	Deficiencies
10	Height	55'-0"	N/A	39'-10"
11	Number of Stories	5	N/A	4
12	FAR	7,031.25 (1.25 FAR)	N/A	6,434.00
13	Gross square footage			11,336.00
14	Square Footage by use	N/A		N/A
15	Number of units Residential	N/A		4
16	Number of units Hotel	N/A		N/A
17	Number of seats	N/A		N/A
18	Occupancy load	N/A		168

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>					
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
<b>At Grade Parking:</b>					
24	Front Setback:	20'-0"	N/A	20'-0"	
25	Side Setback:	5'-0"	N/A	5'-0"	
26	Side Setback:	5'-0"	N/A	5'-0"	
27	Side Setback facing street:	N/A	N/A	N/A	
28	Rear Setback:	11'-3"	N/A	11'-3"	
<b>Pedestal:</b>					
29	Front Setback:	20'-0"	N/A	20'-0"	
30	Side Setback:	7'-6"	N/A	7'-6"	
31	Side Setback:	7'-6"	N/A	7'-6"	
32	Side Setback facing street:	N/A	N/A	N/A	
33	Rear Setback:	11'-3"	N/A	11'-3"	
<b>Tower:</b>					
34	Front Setback:	N/A	N/A	N/A	
35	Side Setback:	N/A	N/A	N/A	



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Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

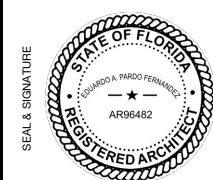
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	N/A	N/A	N/A	
38	Rear Setback:	N/A	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	N/A	N/A	8	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)				
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)				
43	Parking Space Dimensions	8'-6" x 18'-0" Min.	N/A	8'-6" x 16'-0"	
44	Parking Space configuration (45o,60o,90o,Parallel)	Any	N/A	90-degree	
45	ADA Spaces	N/A	N/A	0	
46	Tandem Spaces	N/A	N/A		
47	Drive aisle width	22'-0"	N/A	22'-0"	
48	Valet drop off and pick up			No	
49	Loading zones and Trash collection areas				
50	Bicycle parking location & number of racks			4	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Number of seats located outside on private property				
53	Number of seats inside				
54	Total number of seats				
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)				
56	Total occupant content				
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)				

58	Proposed hours of operation				
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)				
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)				
61	Is this a contributing building?		N/A		
62	Located within a Local Historic District?		N/A		

**Notes:**  
If not applicable write N/A  
All other data information may be required and presented like the above format.

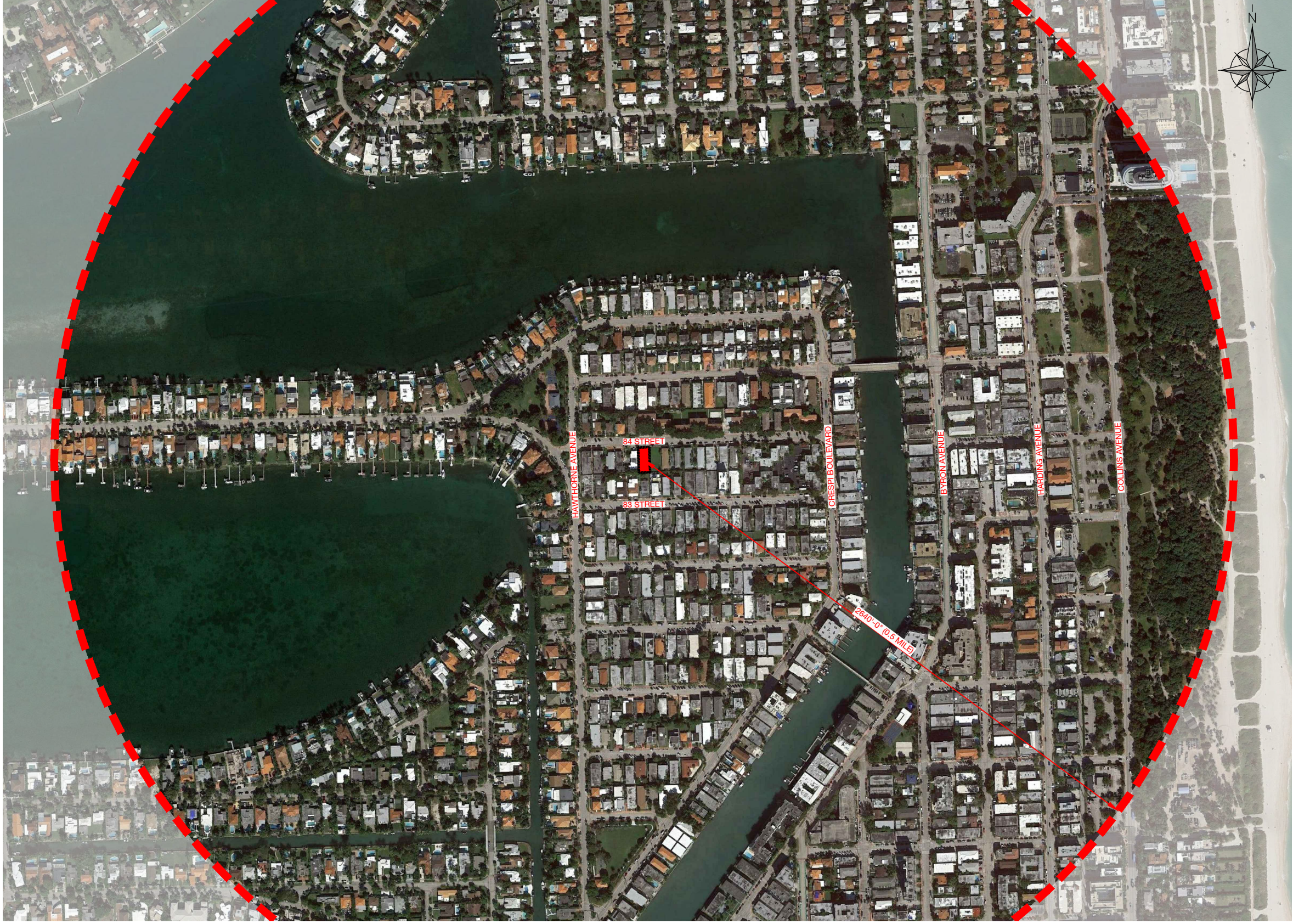


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**BISCAYNE POINT FOURPLEX**  
6BM, LLC  
CLIENT:  
ADDRESS: 800 84 STREET MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

REVISIONS:  
TITLE: ZONING DATA SHEET  
SCALE: N.T.S.  
SHEET: A-103



TITLE: CONTEXT LOCATION PLAN

SCALE: SEE GRAPHIC BAR

SHEET: A-104

REVISIONS:

PROJECT:

**BISCAYNE POINT  
FOURPLEX**

CLIENT: 6BM, LLC

ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141

ISSUED ON: 08.02.2021

JOB No: 21006

CONTRIBUTOR: DESIGN STUDIO ARCHITECTURE AND PLANNING



1 ALHAMBRA PLAZA, 9TH FLOOR  
CORAL GABLES, FL 33134  
info@cds-ep.com  
www.cds-ep.com

SEAL & SIGNATURE



EDUARDO A. PRODAN-FERNANDEZ, P.A.  
REGISTERED ARCHITECT

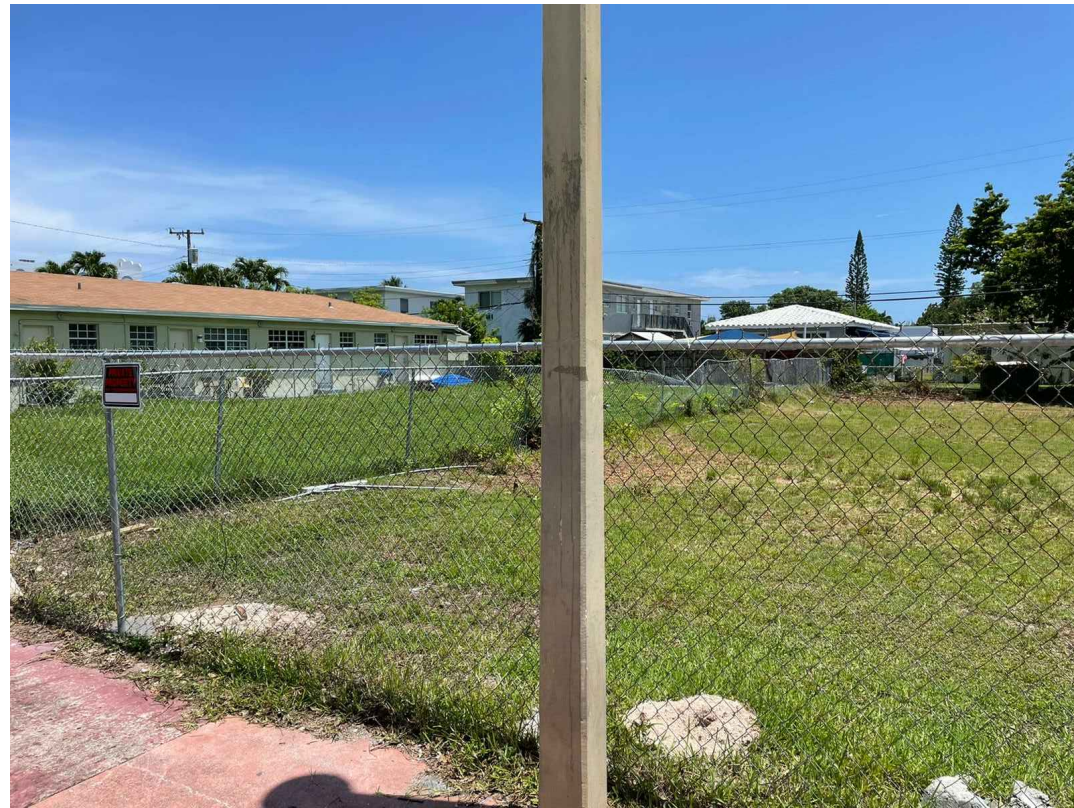
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SITE VIEW LOOKING SW FROM 84 STREET



SITE VIEW LOOKING SE FROM 84 STREET



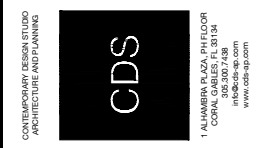
SITE AND ADJACENT CURRENTLY VACANT LOT



SITE DEPTH AS SEEN FROM SIDEWALK. NOTICE PUBLIC UTILITY (FPL) ALONG REAR PROPERTY LINE



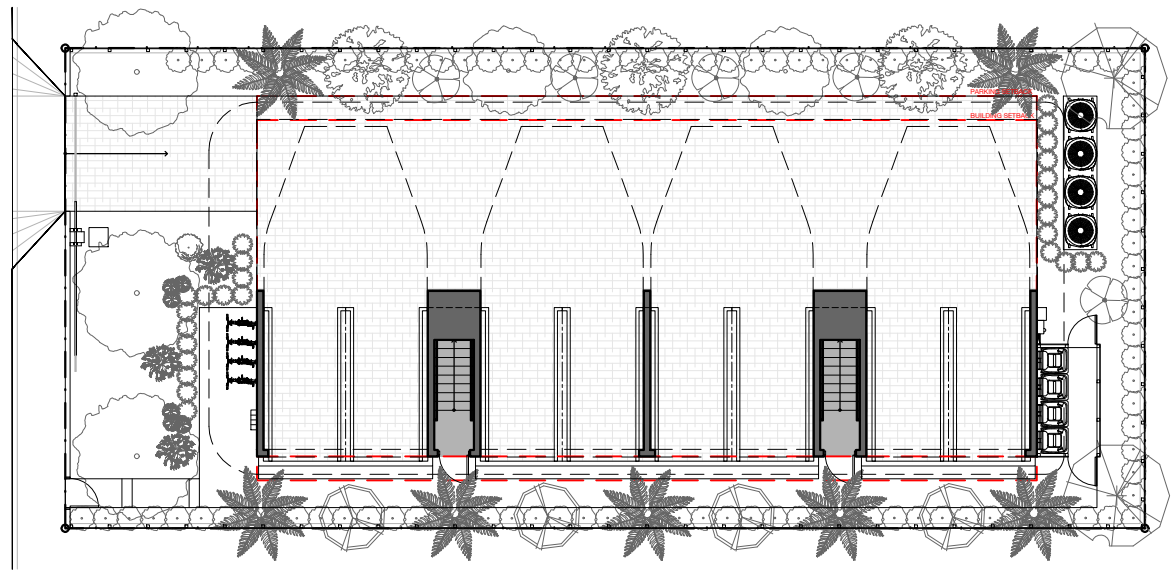
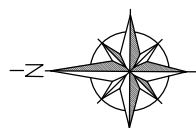
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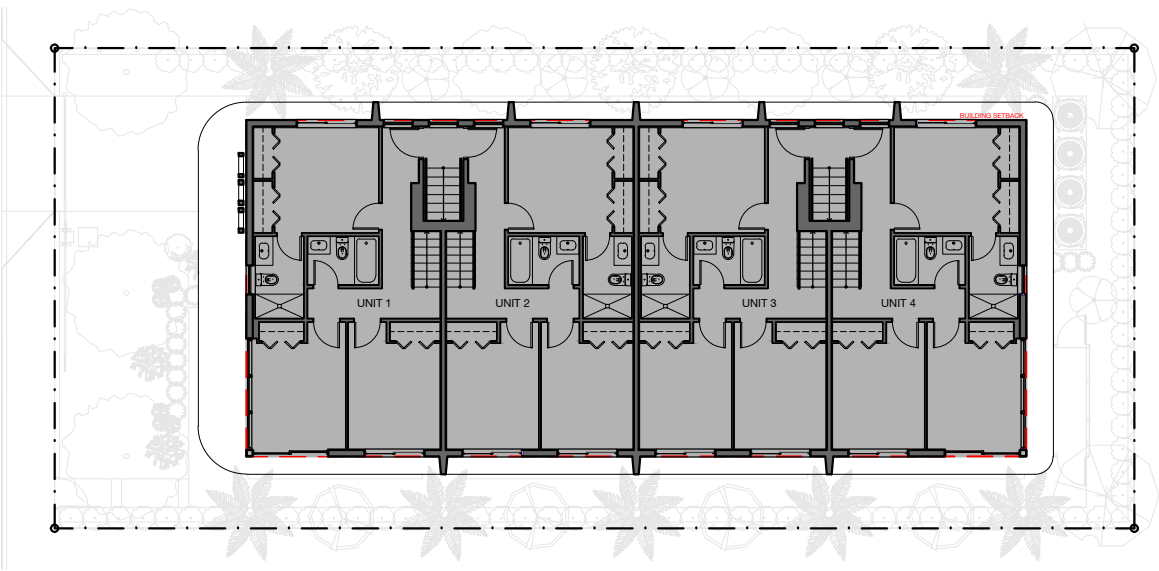
PROJECT: **BISCAYNE POINT  
FOURPLEX**  
CLIENT: **6BM, LLC**  
ADDRESS: **800 84 STREET  
MIAMI BEACH, FL 33141**  
ISSUED ON: **08.02.2021**  
JOB No: **21006**

REVISIONS:

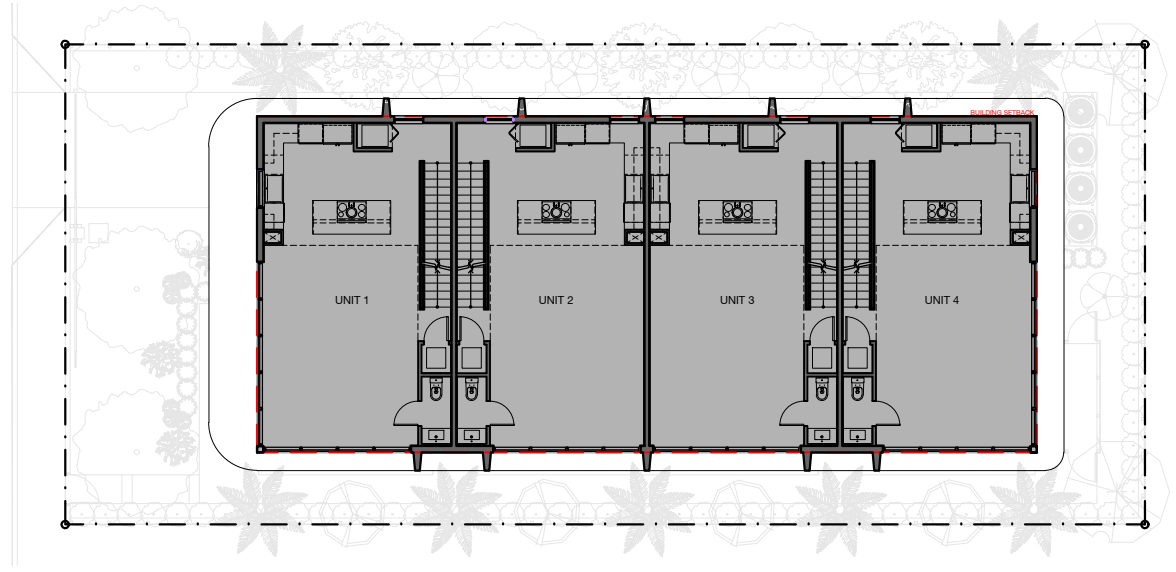
TITLE: **SITE CURRENT  
COLOR  
PHOTOGRAPHS**  
SCALE: **N.T.S.**  
SHEET: **A-105**



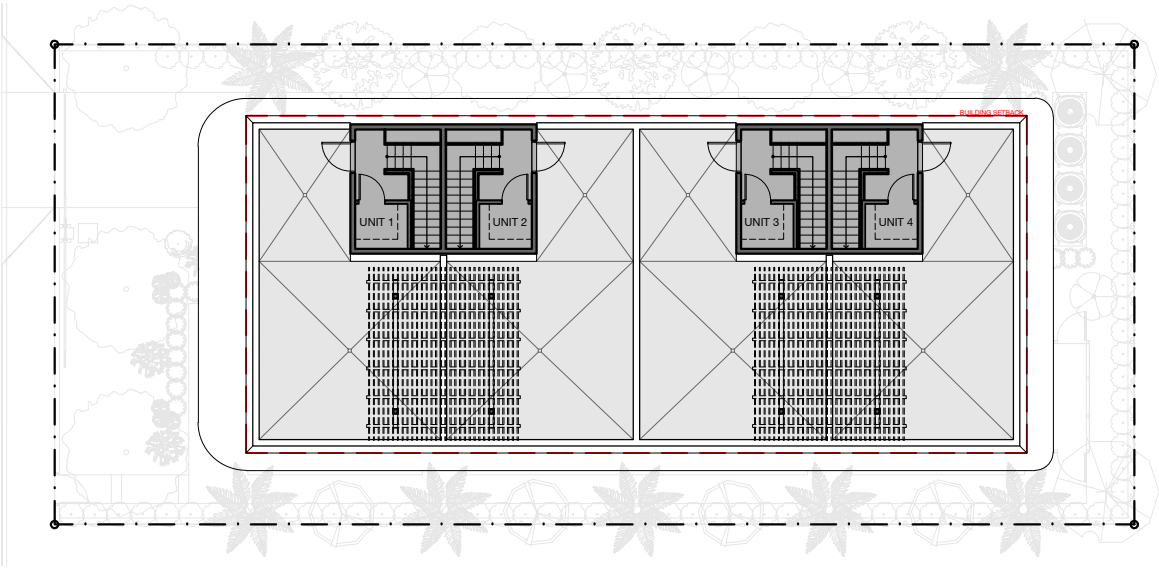
GROUND FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



FOURTH FLOOR/ROOF PLAN

**UNIT SIZE CALCULATION**

UNIT	QUANTITY	UNIT AREA	TOTAL
1	1	1,546 SF	1,546 SF
2	1	1,516 SF	1,516 SF
3	1	1,516 SF	1,516 SF
4	1	1,546 SF	1,546 SF
<b>TOTAL</b>	<b>4</b>		<b>6,124 SF</b>

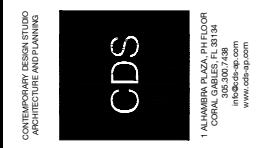
**FLOOR AREA CALCULATION**

GROUND FLOOR:	224 SF
SECOND FLOOR:	2,844 SF
THIRD FLOOR:	2,844 SF
FOURTH FLOOR/ROOF:	522 SF
<b>TOTAL:</b>	<b>6,434 SF</b>

NOTE: MAXIMUM ALLOWED FAR IS 7,031.25 SF (50 Ft x 112.5 Ft x 1.25)



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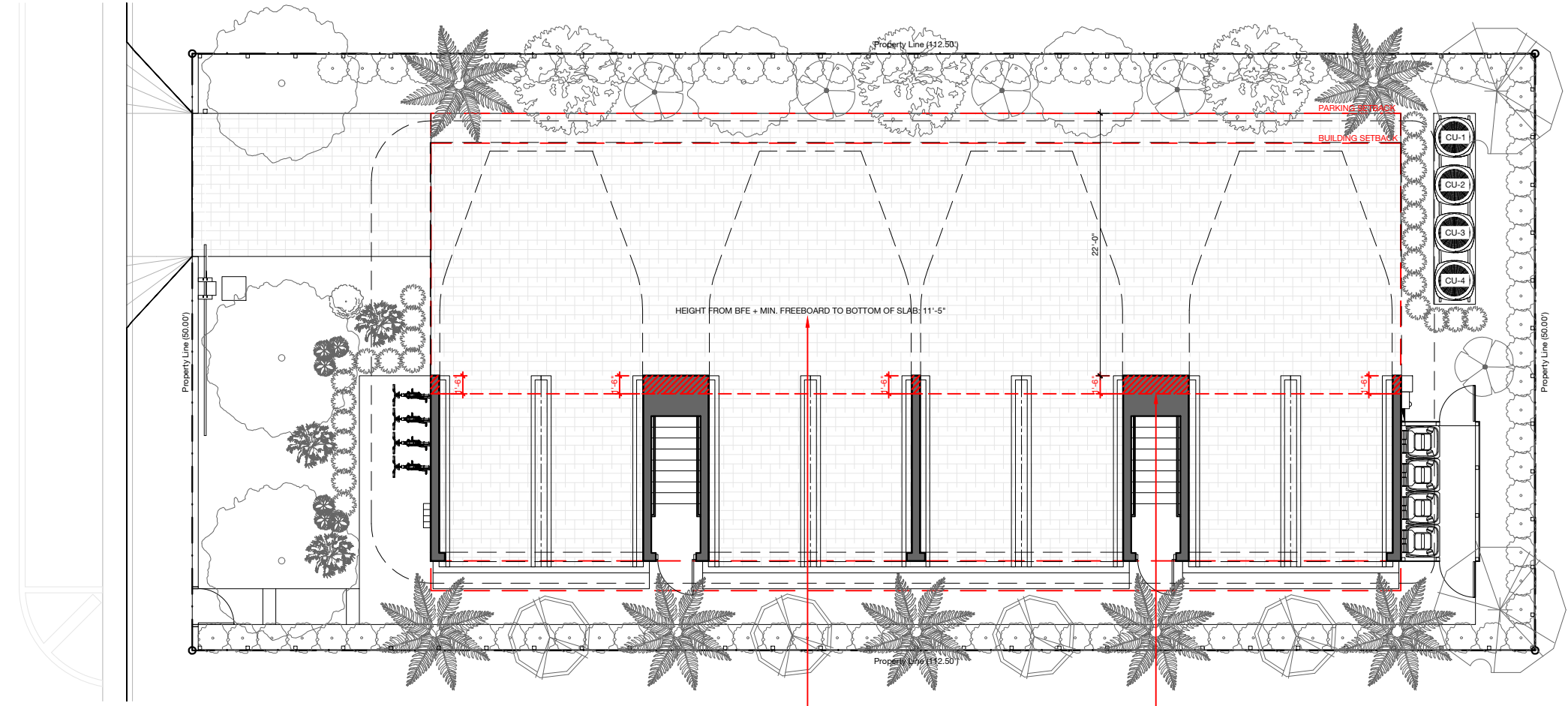
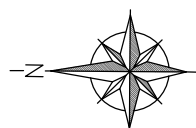
**BISCAYNE POINT  
FOURPLEX**  
6BM, LLC  
800 84 STREET  
MIAMI BEACH, FL 33141

PROJECT:  
CLIENT:  
ADDRESS:  
ISSUED ON: 08.02.2021  
JOB No: 21006

REVISIONS:

TITLE: PROPOSED FAR SHADED DIAGRAMS  
SCALE: SEE GRAPHIC BAR  
SHEET: A-201





A WAIVER OF UP TO ZERO FOOT SEVEN INCHES (0'-7") FROM SECTION 142-155(A)(3)F.1. OF THE CITY OF MIAMI BEACH CODE OF ORDINANCES, SUBPART B-LAND DEVELOPMENT REGULATIONS, REQUIRING A MINIMUM HEIGHT OF TWELVE FEET (12'-0") TO BE PROVIDED, AS MEASURED FROM BASE FLOOD ELEVATION PLUS MINIMUM FREEBOARD TO THE UNDERSIDE OF THE FIRST FLOOR SLAB. THE DESIGN REVIEW BOARD OR HISTORIC PRESERVATION BOARD, AS APPLICABLE, MAY WAIVE THIS HEIGHT REQUIREMENT BY UP TO TWO FEET, IN ACCORDANCE WITH THE DESIGN REVIEW OF CERTIFICATE OF APPROPRIATENESS CRITERIA, AS APPLICABLE.

A VARIANCE OF UP TO ONE FOOT SIX INCHES (1'-6") FROM SECTION 130-63 OF THE CITY OF MIAMI BEACH CODE OF ORDINANCES, SUBPART B-LAND DEVELOPMENT REGULATIONS, REQUIRING COLUMNS PARALLEL TO THE INTERIOR DRIVE ON EACH SIDE OF THE REQUIRED DRIVE, SET BACK AN ADDITIONAL ONE FOOT SIX INCHES (1'-6"), MEASURED FROM THE EDGE OF THE REQUIRED INTERIOR DRIVE TO THE FACE OF THE COLUMN.

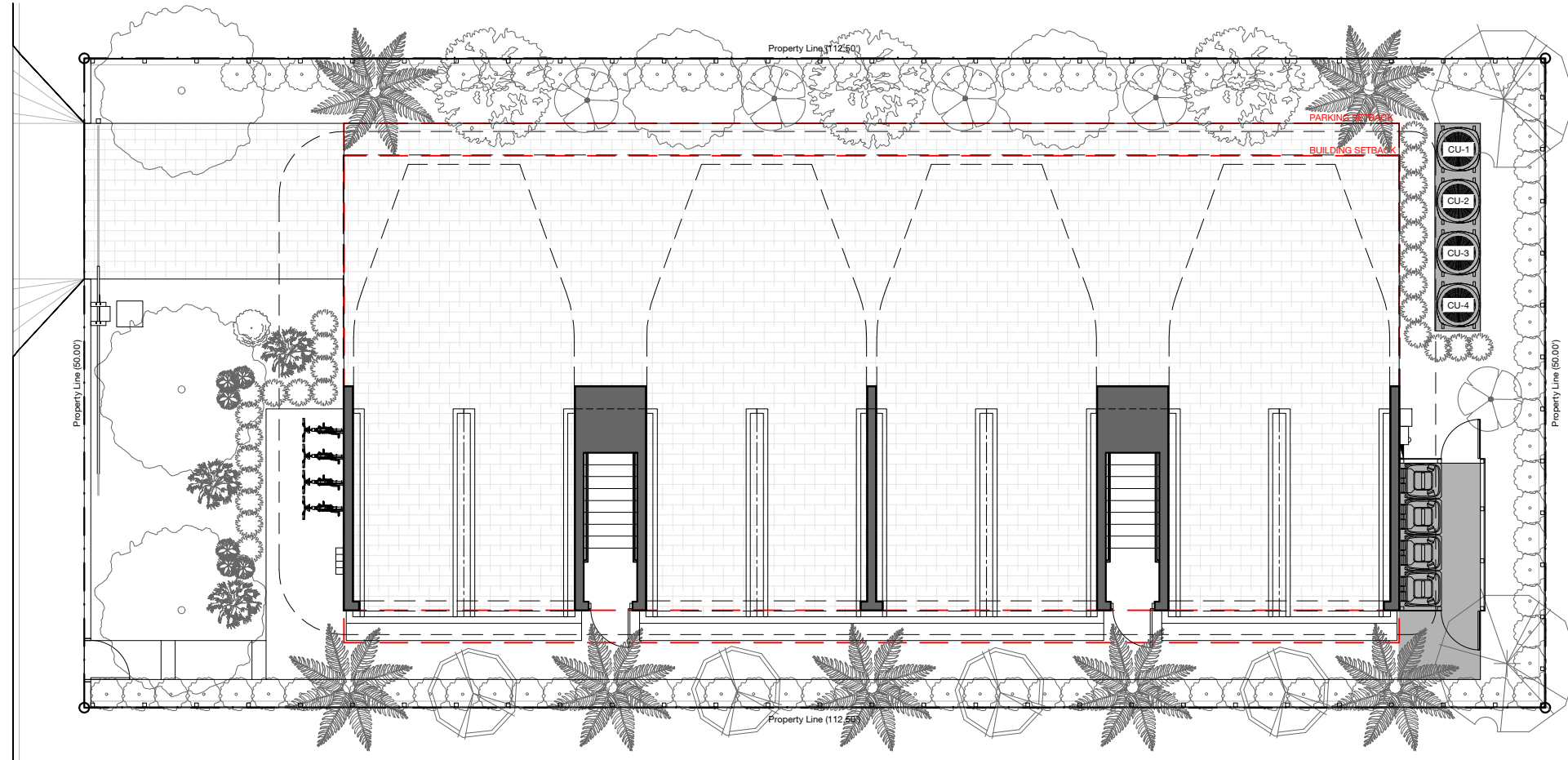


NOTE:  
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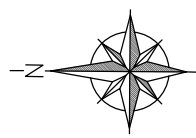
PROJECT: **BISCAYNE POINT FOURPLEX**  
 CLIENT: **6BM, LLC**  
 ADDRESS: **800 84 STREET MIAMI BEACH, FL 33141**  
 ISSUED ON: **08.02.2021**  
 JOB No: **21006**

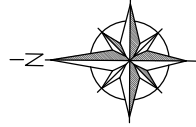
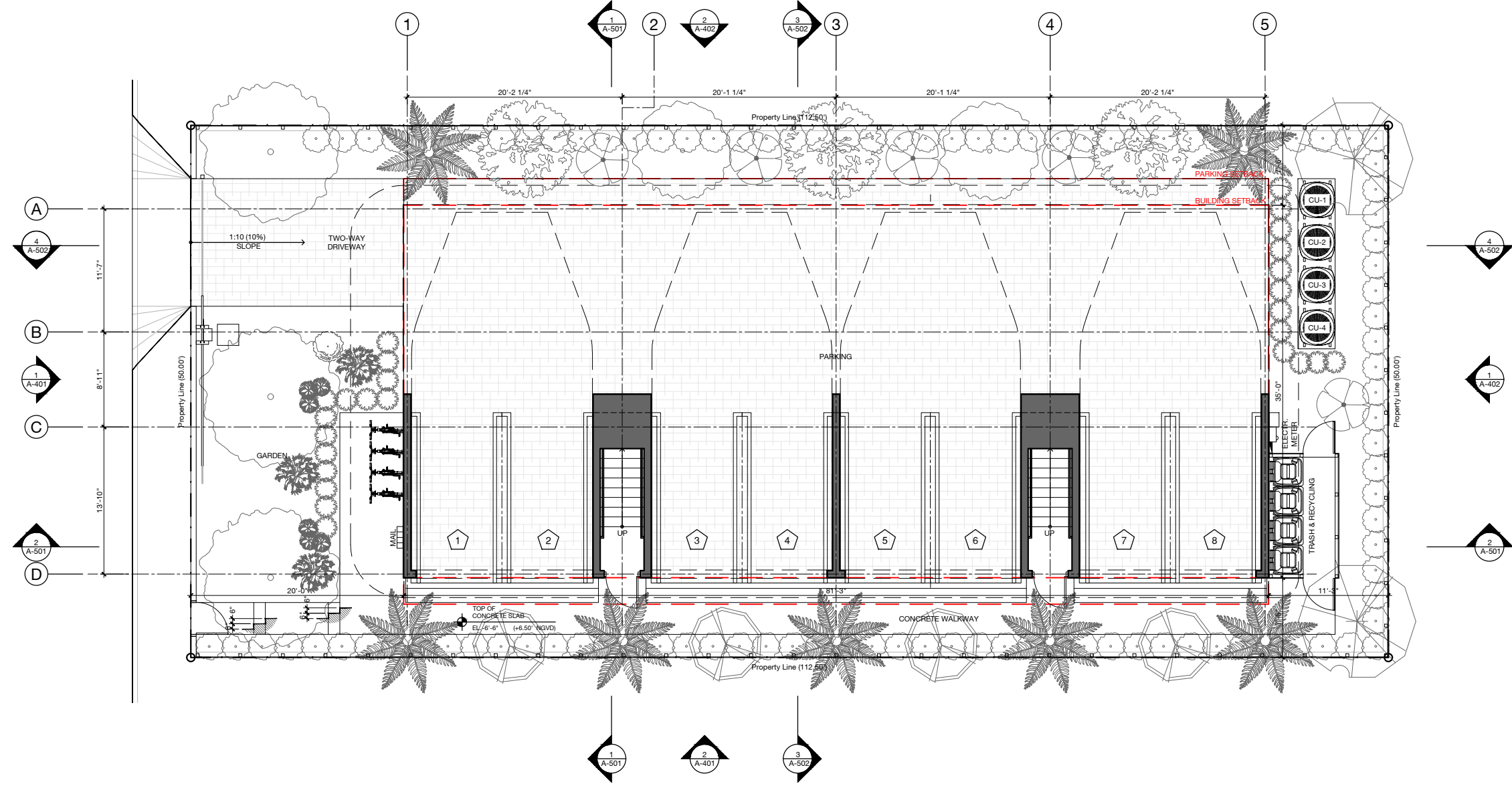
TITLE: **WAIVER AND VARIANCE DIAGRAM**  
 SCALE: **SEE GRAPHIC BAR**  
 SHEET: **A-202**



REAR YARD IMPERVIOUS AREA: 160 SF

MAXIMUM ALLOWED IMPERVIOUS AREA: 169 SF (30% OF REQUIRED REAR YARD)





TITLE: PROPOSED GROUND FLOOR PLAN

REVISIONS:

SCALE: SEE GRAPHIC BAR

SHEET: A-301

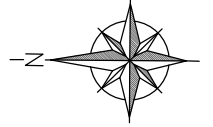
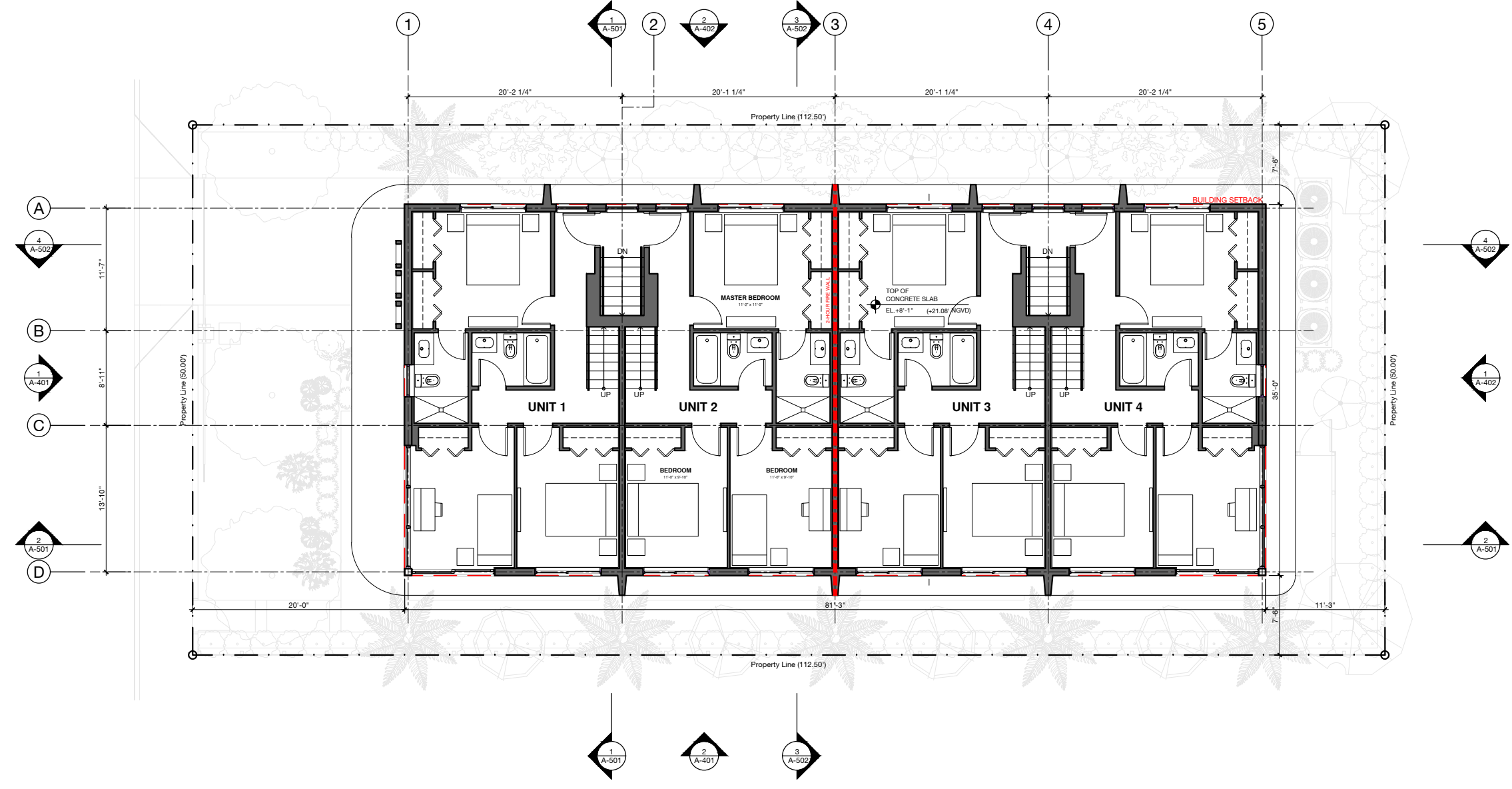
PROJECT: BISCAYNE POINT FOURPLEX

CLIENT: 6BM, LLC  
 ADDRESS: 800 84 STREET MIAMI BEACH, FL 33141  
 ISSUED ON: 08.02.2021  
 JOB No: 21006

CONSULTANTS: DESIGN STUDIO ARCHITECTURE AND PLANNING  
**CDS**  
 1 ALHAMBRA PLAZA, 9TH FLOOR  
 CORAL GABLES, FL 33134  
 info@cds-ep.com  
 www.cds-ep.com

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TITLE: PROPOSED SECOND FLOOR PLAN

REVISIONS:

SCALE: SEE GRAPHIC BAR  
SHEET: A-302

PROJECT: BISCAYNE POINT FOURPLEX  
CLIENT: 6BM, LLC

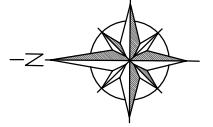
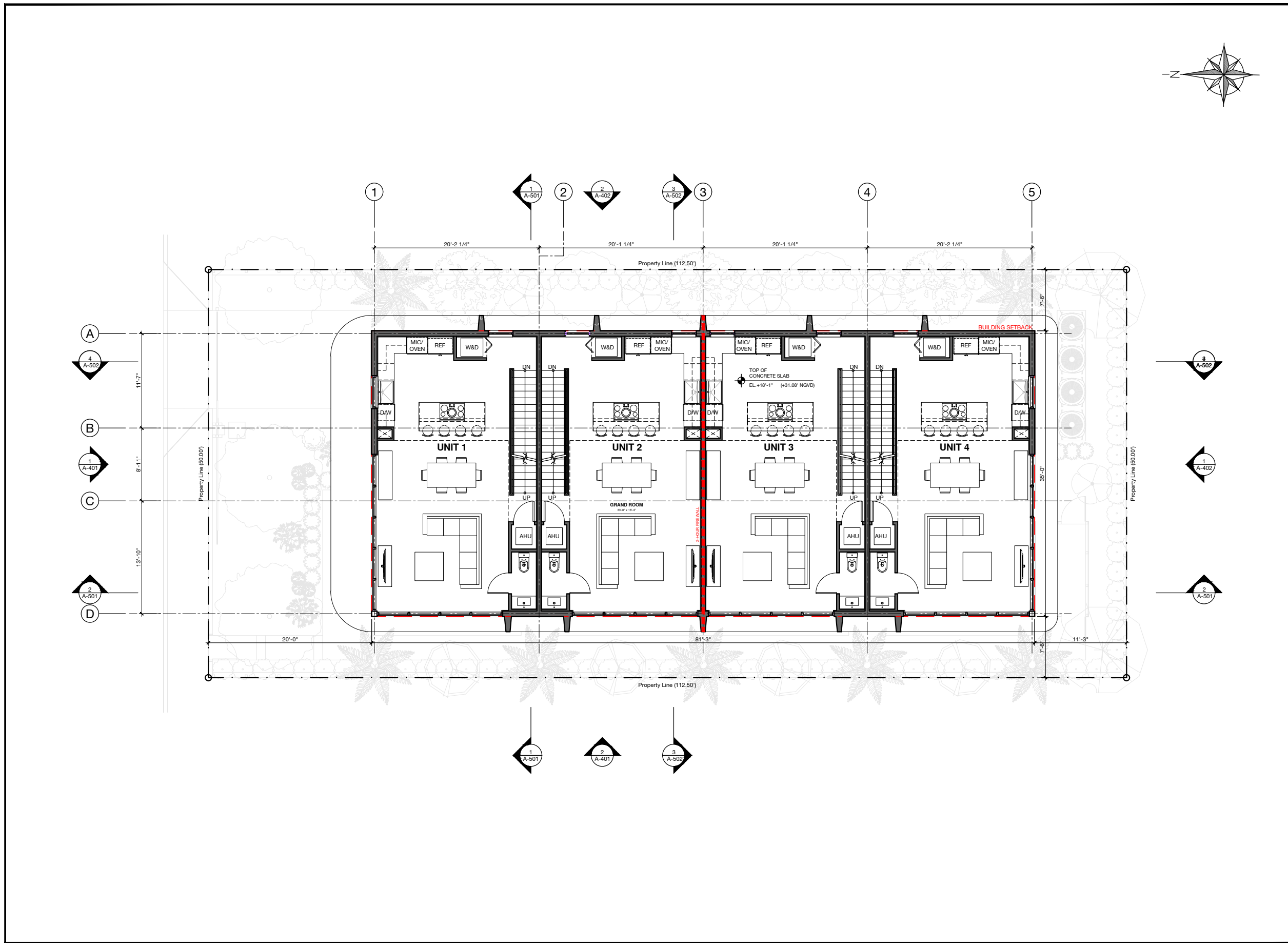
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141

ISSUED ON: 08.02.2021  
JOB No: 21006



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TITLE: PROPOSED THIRD FLOOR PLAN

SCALE: SEE GRAPHIC BAR

SHEET: A-303

REVISIONS:

PROJECT:

BISCAYNE POINT FOURPLEX

CLIENT:

6BM, LLC

ADDRESS:

800 84 STREET MIAMI BEACH, FL 33141

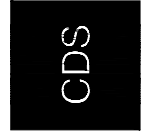
ISSUED ON:

08.02.2021

JOB No:

21006

CONSULTING BY DESIGN STUDIO ARCHITECTURE AND PLANNING



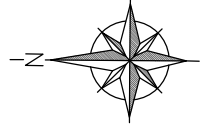
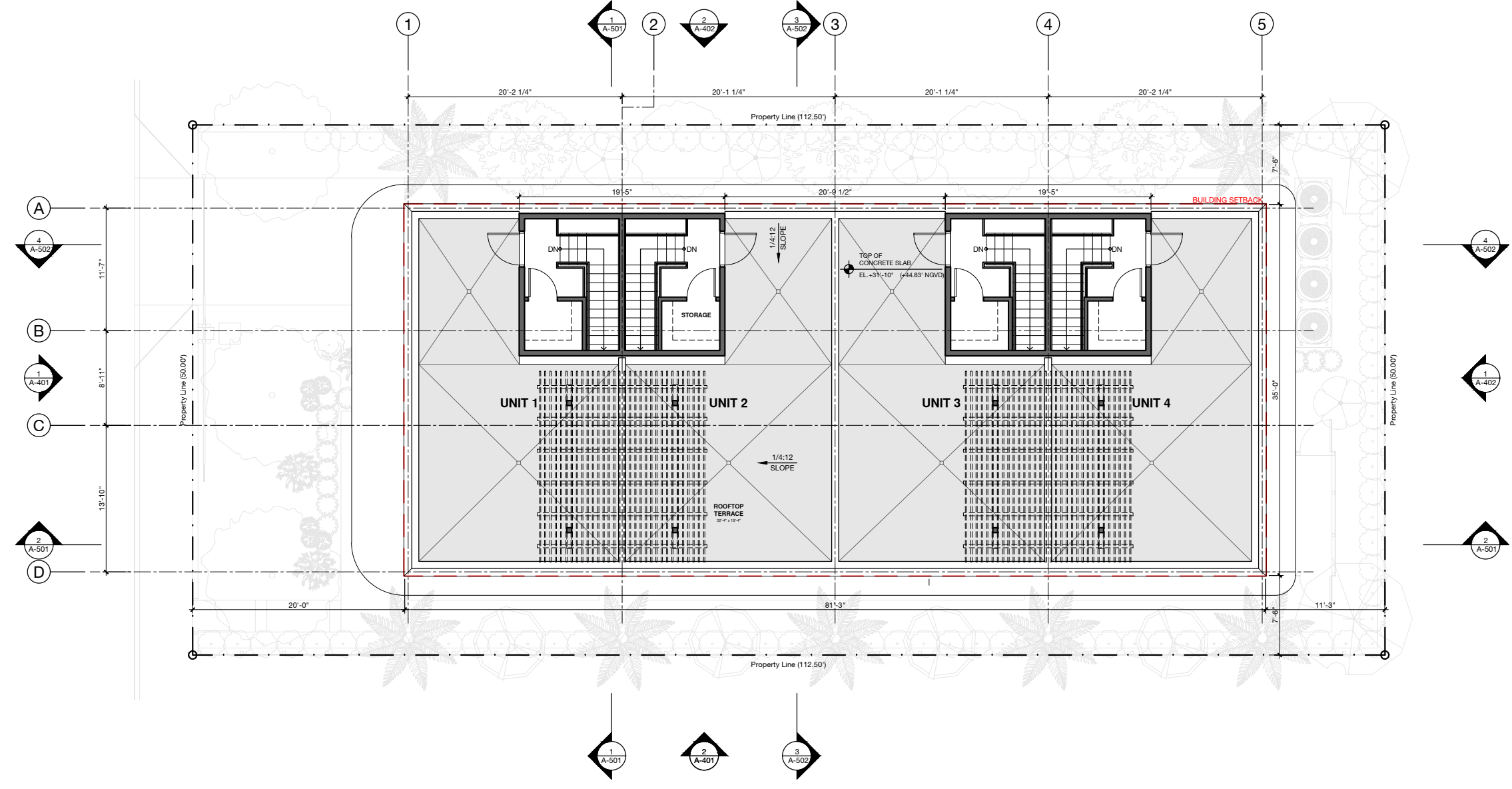
1 ALHAMBRA PLAZA, 19TH FLOOR  
CORAL GABLES, FL 33134  
info@cds-ep.com  
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SEAL & SIGNATURE



EDUARDO A. PRADO-FERNANDEZ, P.A.  
ARCHITECT



TITLE: PROPOSED ROOF PLAN

SCALE: SEE GRAPHIC BAR

SHEET: A-304

REVISIONS:

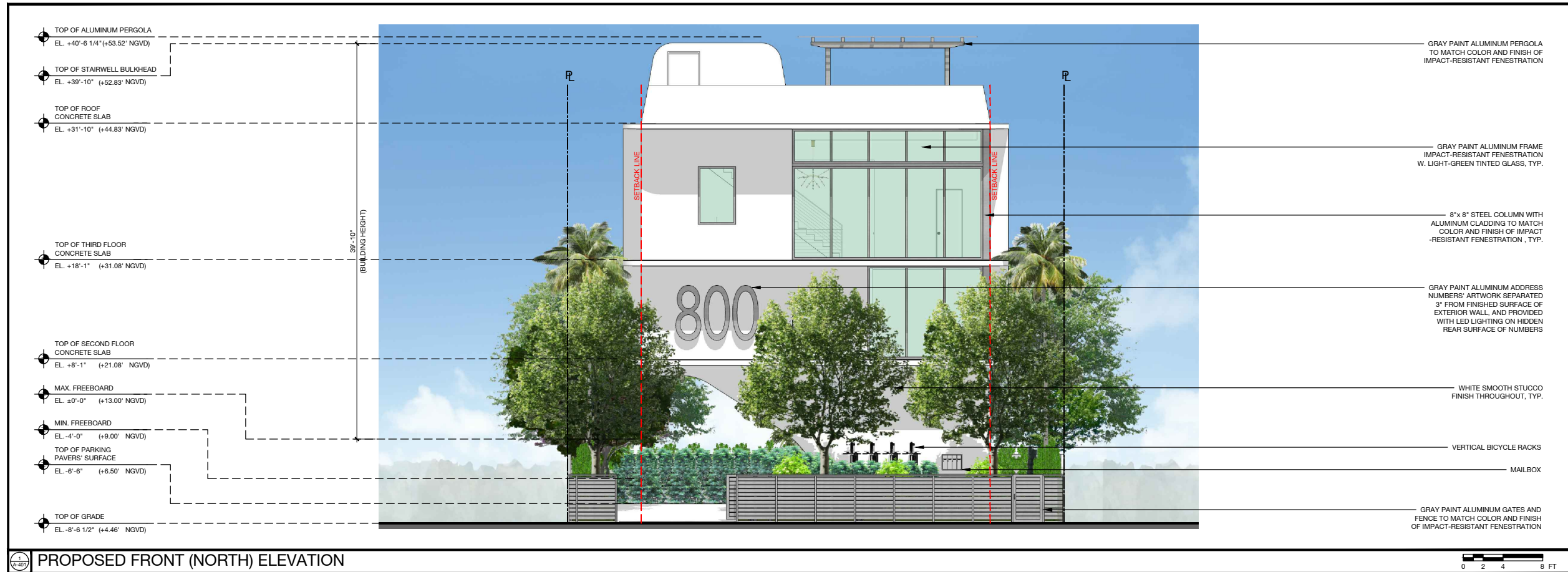
PROJECT: BISCAYNE POINT FOURPLEX  
 CLIENT: 6BM, LLC  
 ADDRESS: 800 84 STREET MIAMI BEACH, FL 33141  
 ISSUED ON: 08.02.2021  
 JOB No: 21006

CONSULTING ARCHITECTS AND PLANNERS

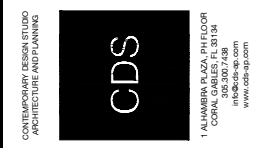


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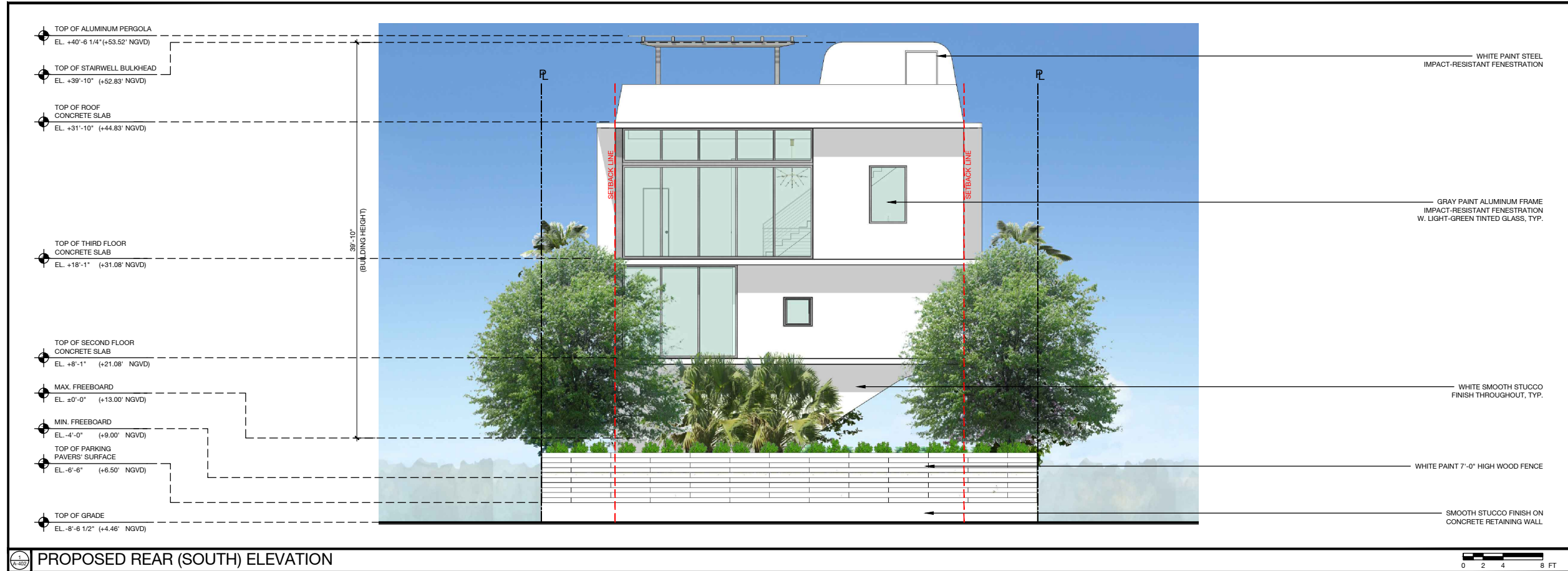


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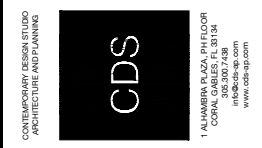


**BISCAYNE POINT  
FOURPLEX**  
6BM, LLC  
800 84 STREET  
MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

TITLE: **PROPOSED ELEVATIONS**  
SCALE: SEE GRAPHIC BAR  
SHEET: **A-401**



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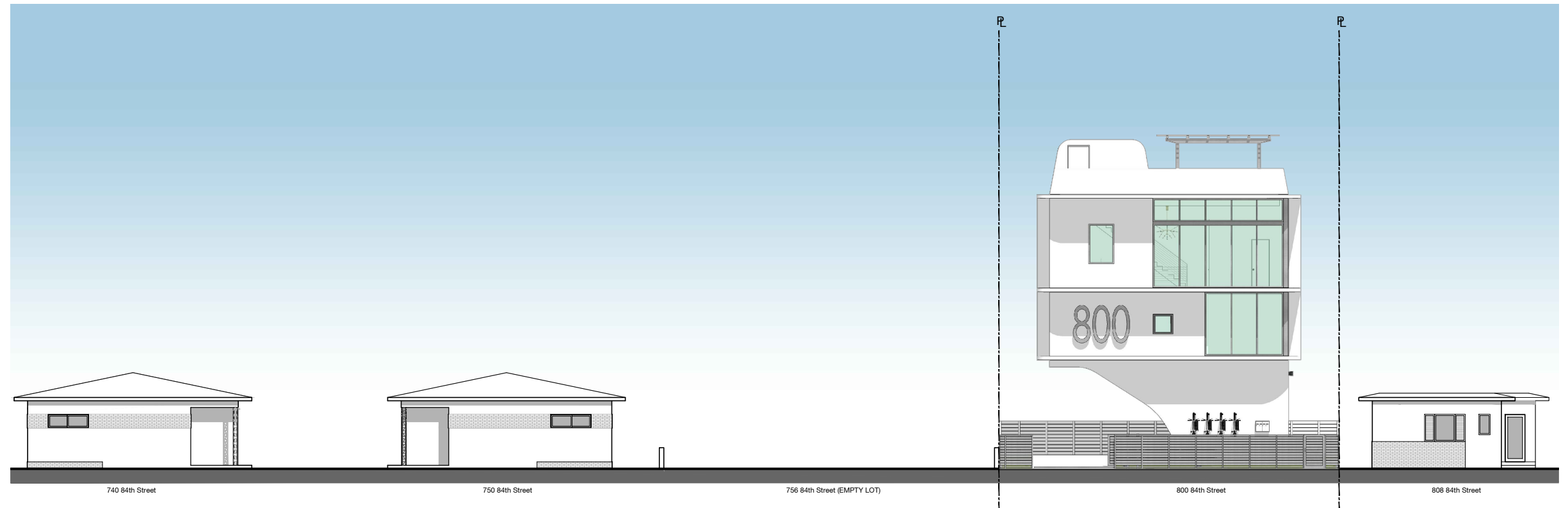


**BISCAYNE POINT  
 FOURPLEX**  
 CLIENT: 6BM, LLC  
 ADDRESS: 800 84 STREET, MIAMI BEACH, FL 33141  
 ISSUED ON: 08.02.2021  
 JOB No: 21006

TITLE: **PROPOSED ELEVATIONS**  
 SCALE: SEE GRAPHIC BAR  
 SHEET: **A-402**



PROPOSED FRONT (NORTH) CONTEXTUAL ELEVATION



TITLE: CONTEXTUAL ELEVATION

REVISIONS:

SCALE: SEE GRAPHIC BAR

SHEET: A-403

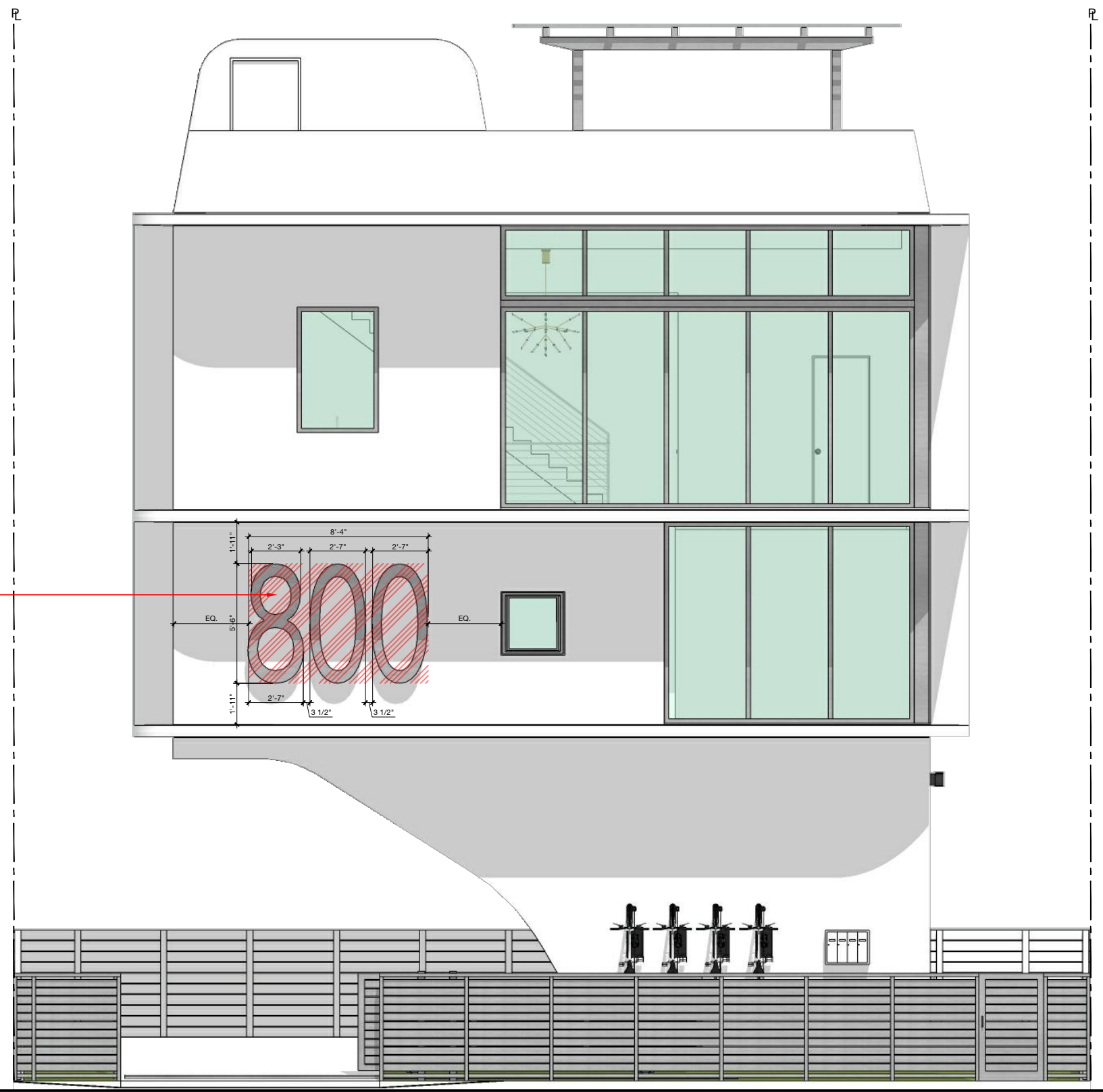
PROJECT: BISCAYNE POINT FOURPLEX  
 CLIENT: 6BM, LLC  
 ADDRESS: 800 84 STREET MIAMI BEACH, FL 33141  
 ISSUED ON: 08.02.2021  
 JOB No: 21006

CONTRIBUTOR: DESIGN STUDIO ARCHITECTURE AND PLANNING  
**CDS**  
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 CORAL GABLES, FL 33134  
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ART INSTALLATION AREA: 45.8 SF



TITLE: ADDRESS ART INSTALLATION

SCALE: SEE GRAPHIC BAR

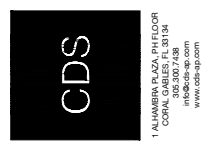
SHEET: A-404

REVISIONS:

PROJECT: BISCAYNE POINT  
FOURPLEX  
6BM, LLC

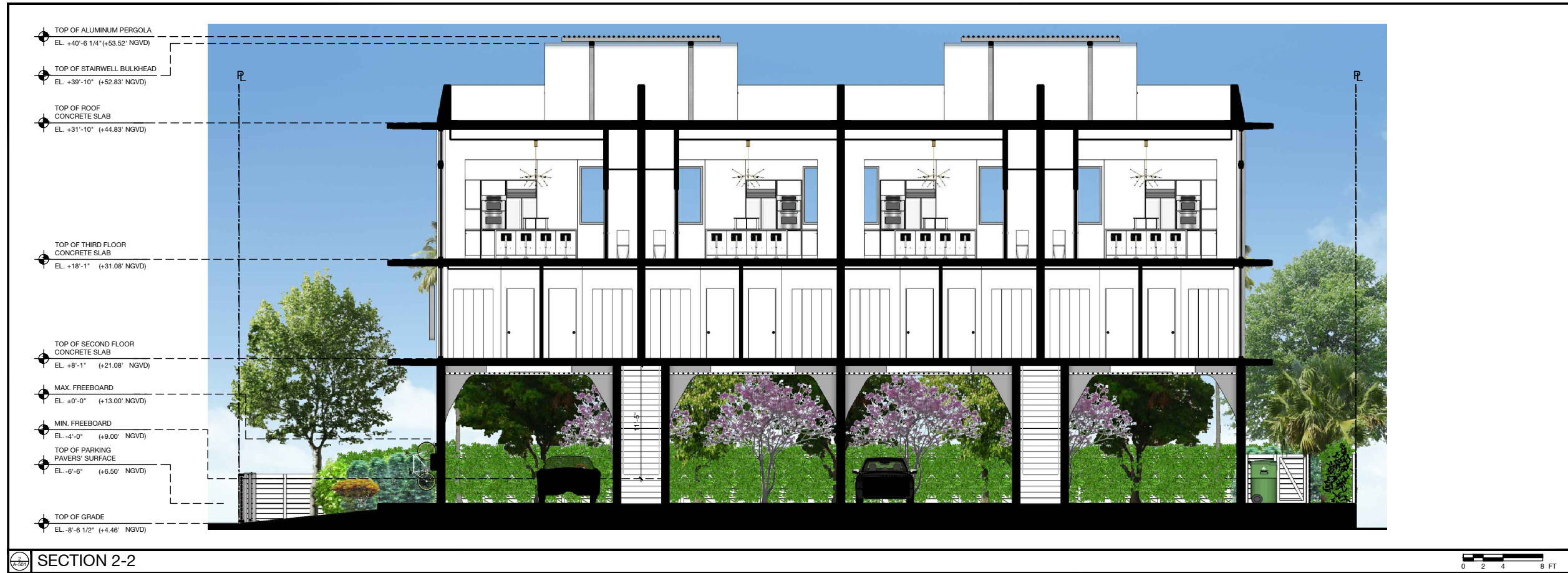
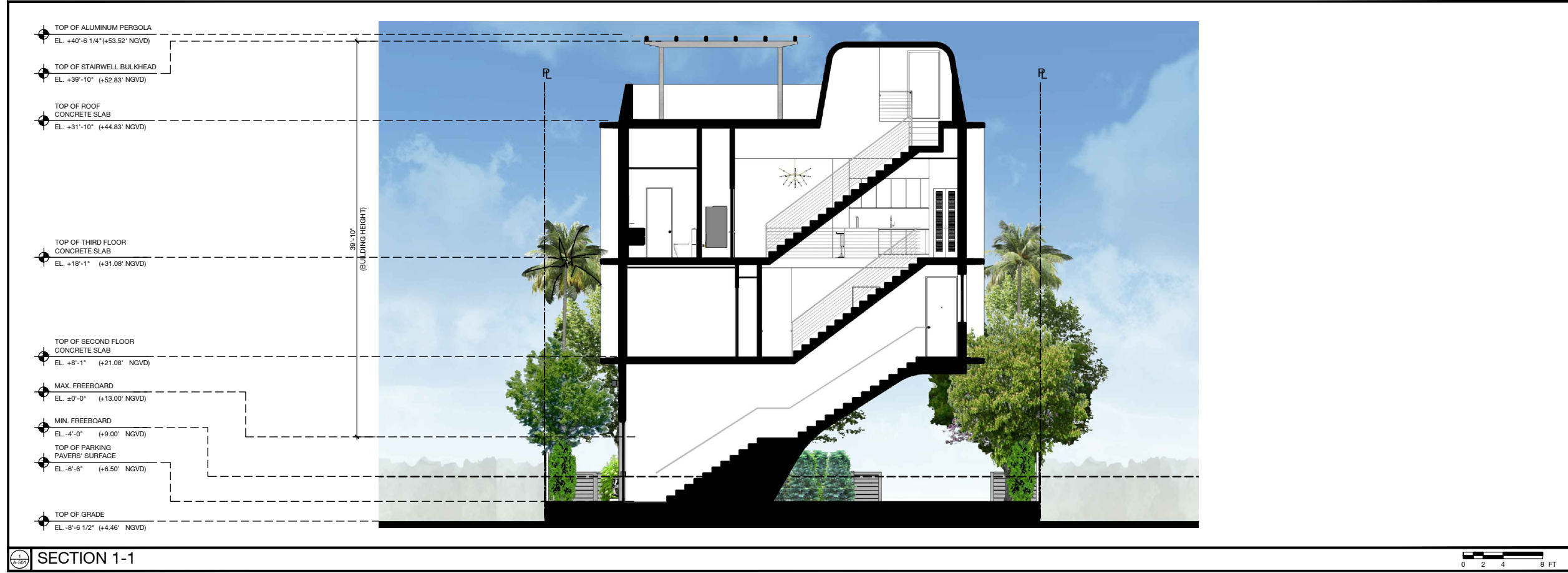
CLIENT: 6BM, LLC  
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

CONTRIBUTOR: DESIGN STUDIO ARCHITECTURE AND PLANNING

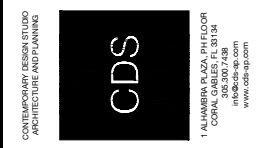


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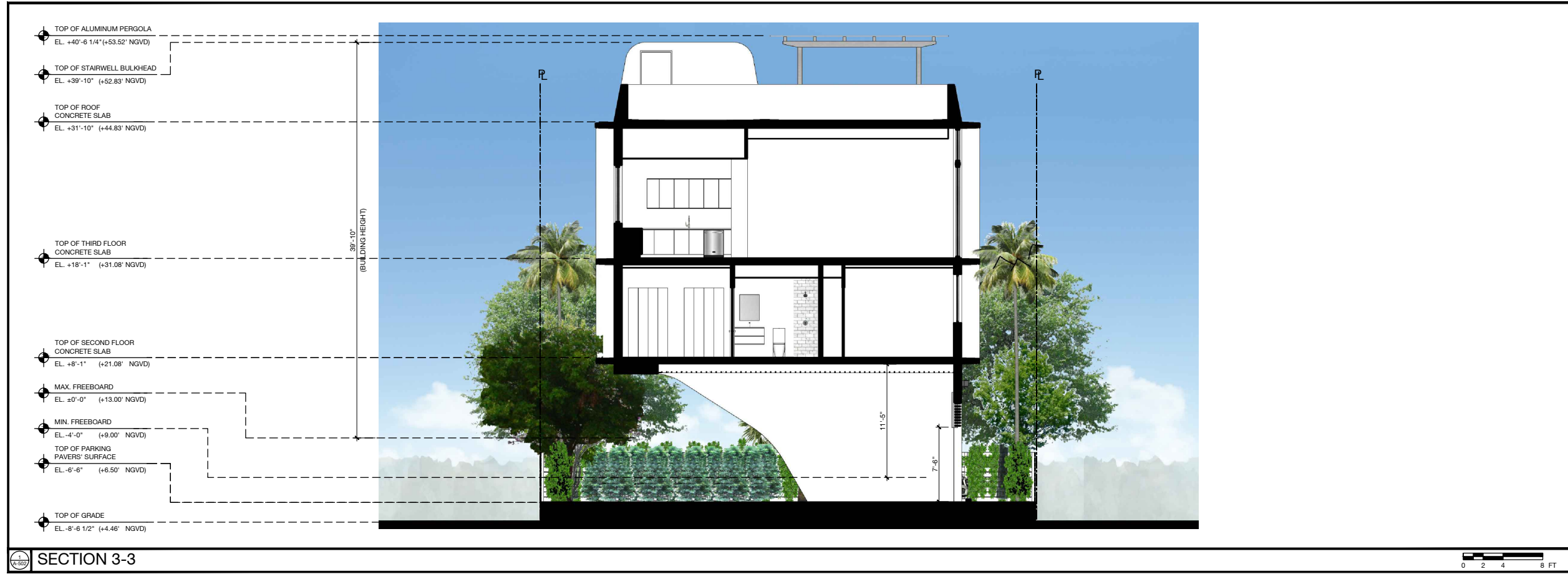


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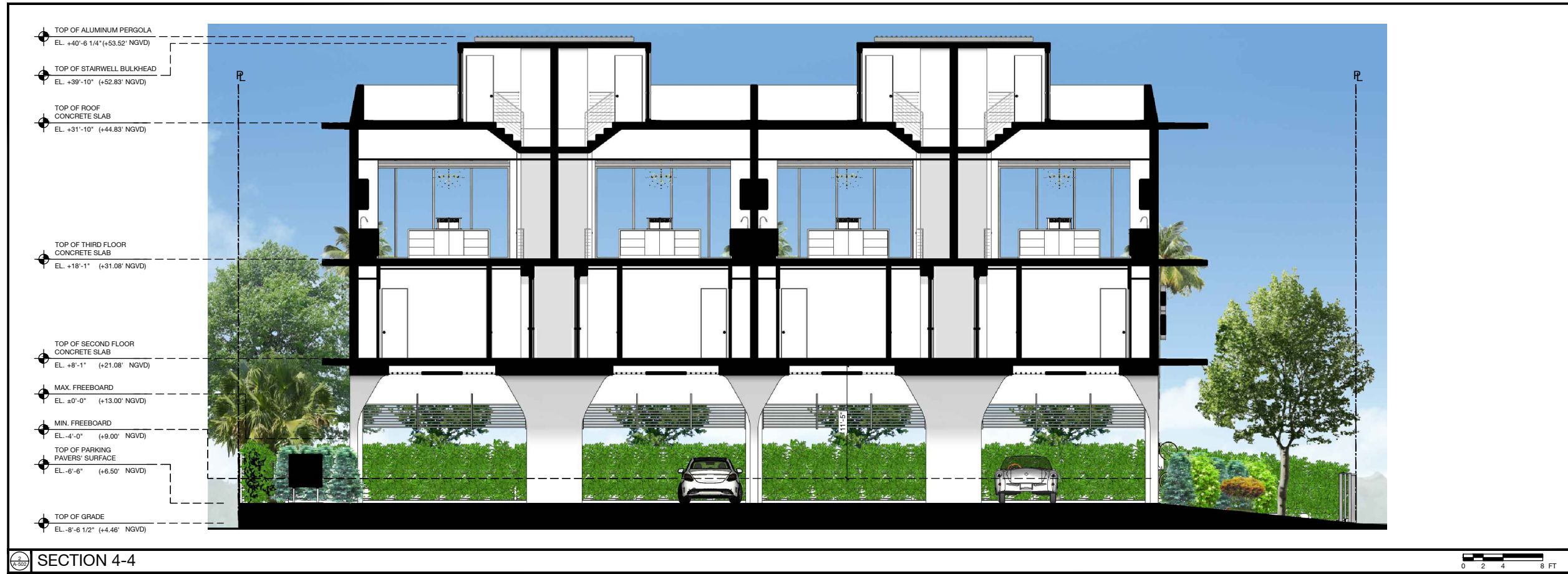


PROJECT: **BISCAYNE POINT  
FOURPLEX**  
 CLIENT: **6BM, LLC**  
 ADDRESS: **800 84 STREET  
MIAMI BEACH, FL 33141**  
 ISSUED ON: **08.02.2021**  
 JOB No: **21006**

TITLE: **PROPOSED  
SECTIONS**  
 SCALE: **SEE GRAPHIC BAR**  
 SHEET: **A-501**



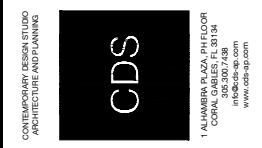
SECTION 3-3



SECTION 4-4



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PROJECT: **BISCAYNE POINT FOURPLEX**  
 CLIENT: **6BM, LLC**  
 ADDRESS: **800 84 STREET MIAMI BEACH, FL 33141**  
 ISSUED ON: **08.02.2021**  
 JOB No: **21006**

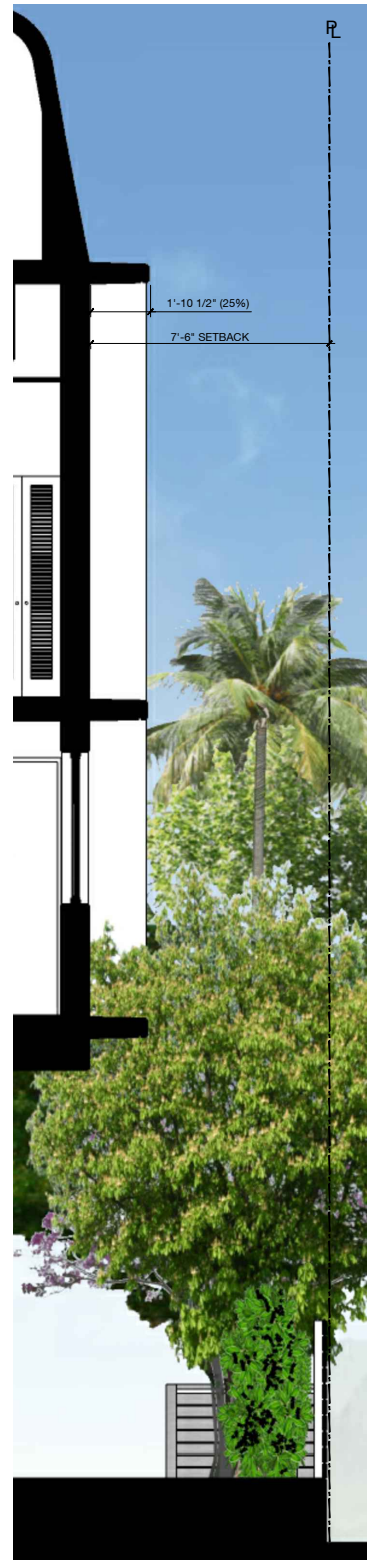
TITLE: **PROPOSED SECTIONS**  
 SCALE: **SEE GRAPHIC BAR**  
 SHEET: **A-502**



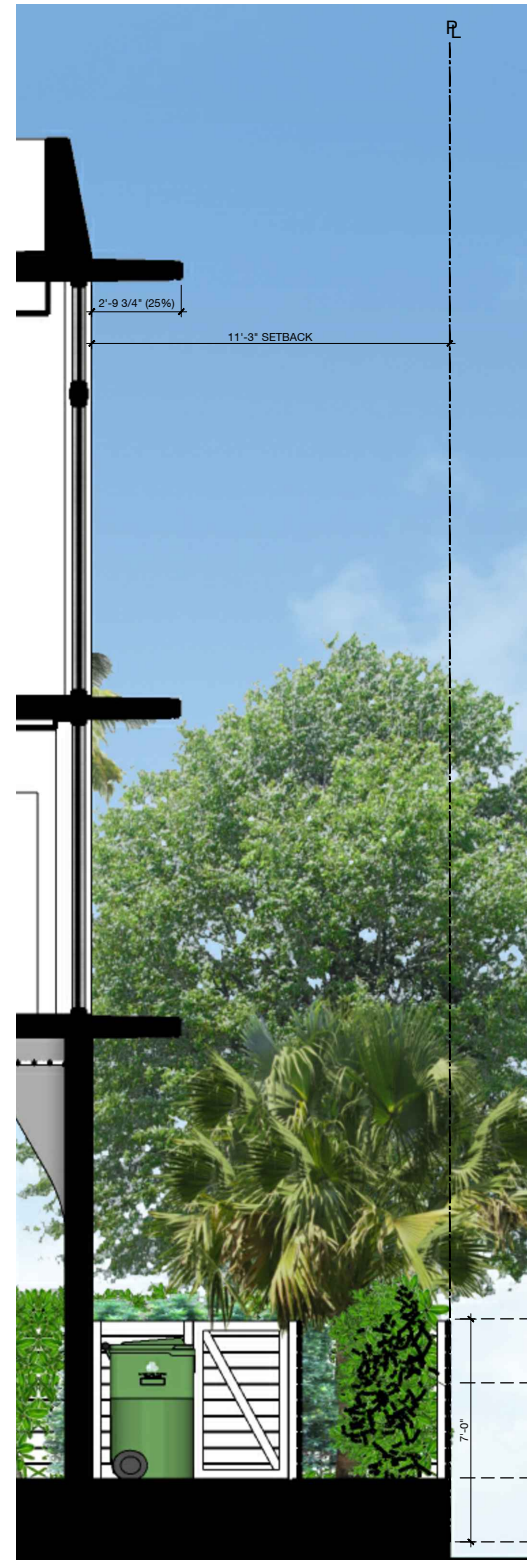
FRONT YARD SECTION (a)



SIDE YARD SECTION (b)

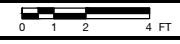


SIDE YARD SECTION (c)

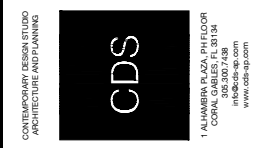


REAR YARD SECTION (d)

- TOP OF HIGHER WOOD FENCE  
EL. -1'-6 1/2" (+11.46' NGVD)
- TOP OF LOWER WOOD FENCE  
EL. -3'-6 1/2" (+9.46' NGVD)
- TOP OF PARKING PAVERS' SURFACE  
EL. -6'-6" (+6.50' NGVD)
- TOP OF GRADE  
EL. -8'-6 1/2" (+4.46' NGVD)



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PROJECT: **BISCAYNE POINT FOURPLEX**  
 CLIENT: **6BM, LLC**  
 ADDRESS: **800 84 STREET MIAMI BEACH, FL 33141**  
 ISSUED ON: **08.02.2021**  
 JOB No: **21006**

TITLE: **PROPOSED YARD SECTIONS**  
 SCALE: **SEE GRAPHIC BAR**  
 SHEET: **A-503**



BIRD'S EYE VIEW FROM THE NORTHWEST

N.T.S.

TITLE: ILLUSTRATION REVISIONS:

SCALE: N.T.S.

SHEET: A-901

PROJECT:

**BISCAYNE POINT  
FOURPLEX**

CLIENT:

6BM, LLC

ADDRESS:

800 84 STREET  
MIAMI BEACH, FL 33141

ISSUED ON:

06.02.2021

JOB No:

21006

CONCEPTS BY DESIGN STUDIO  
ARCHITECTURE AND PLANNING



1 ALHAMBRA PLAZA, 19TH FLOOR  
CORAL GABLES, FL 33134  
info@cds-ep.com  
www.cds-ep.com

SEAL & SIGNATURE



EDUARDO A. PRADO-FERNANDEZ, P.A.  
REGISTERED ARCHITECT

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FRONT FACADE FROM 84 STREET - DAYTIME

N.T.S.



SEAL & SIGNATURE

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CONTEMPORARY DESIGN STUDIO  
ARCHITECTURE AND PLANNING

**BISCAYNE POINT  
FOURPLEX**

CLIENT: 6BM, LLC  
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

TITLE: ILLUSTRATION REVISIONS:

SCALE: N.T.S.  
SHEET: A-902



FRONT FACADE FROM 84 STREET - SUNSET

N.T.S.



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CONSENT OF THE ARCHITECT.

CONTEMPORARY DESIGN STUDIO  
ARCHITECTURE AND PLANNING



1 ALHAMBRA PLAZA, 9TH FLOOR  
CORAL GABLES, FL 33134  
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www.cdsap.com

**BISCAYNE POINT  
FOURPLEX**

6BM, LLC

CLIENT:  
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141

ISSUED ON: 08.02.2021

JOB No: 21006

REVISIONS:

ILLUSTRATION

SCALE: N.T.S.

SHEET: **A-903**





TITLE: ILLUSTRATION REVISIONS:

PROJECT: BISCAYNE POINT  
FOURPLEX

CLIENT: 6BM, LLC  
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

CONTRIBUTOR: DESIGN STUDIO  
ARCHITECTURE AND PLANNING



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CORAL GABLES, FL 33134  
info@cdsap.com  
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REGISTERED ARCHITECT

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WITHOUT THE WRITTEN  
CONSENT OF THE ARCHITECT.



ENTRY WALKWAY

N.T.S.

TITLE: ILLUSTRATION REVISIONS:

PROJECT: BISCAYNE POINT  
FOURPLEX

CLIENT: 6BM, LLC  
ADDRESS: 800 84 STREET  
MIAMI BEACH, FL 33141  
ISSUED ON: 08.02.2021  
JOB No: 21006

CONTRIBUTOR: DESIGN STUDIO  
ARCHITECTURE AND PLANNING



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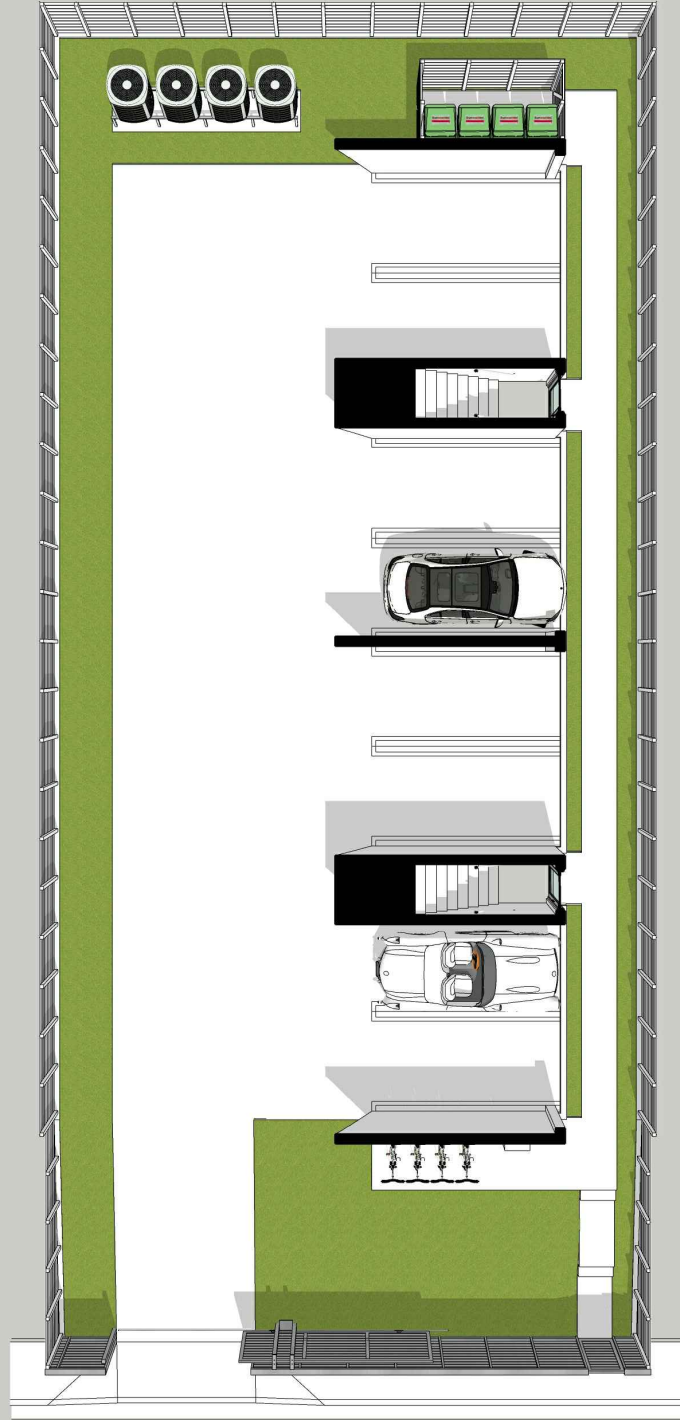
EDUARDO A. PRADO-FERNANDEZ, P.A.  
ARCHITECT

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SCALE: N.T.S.

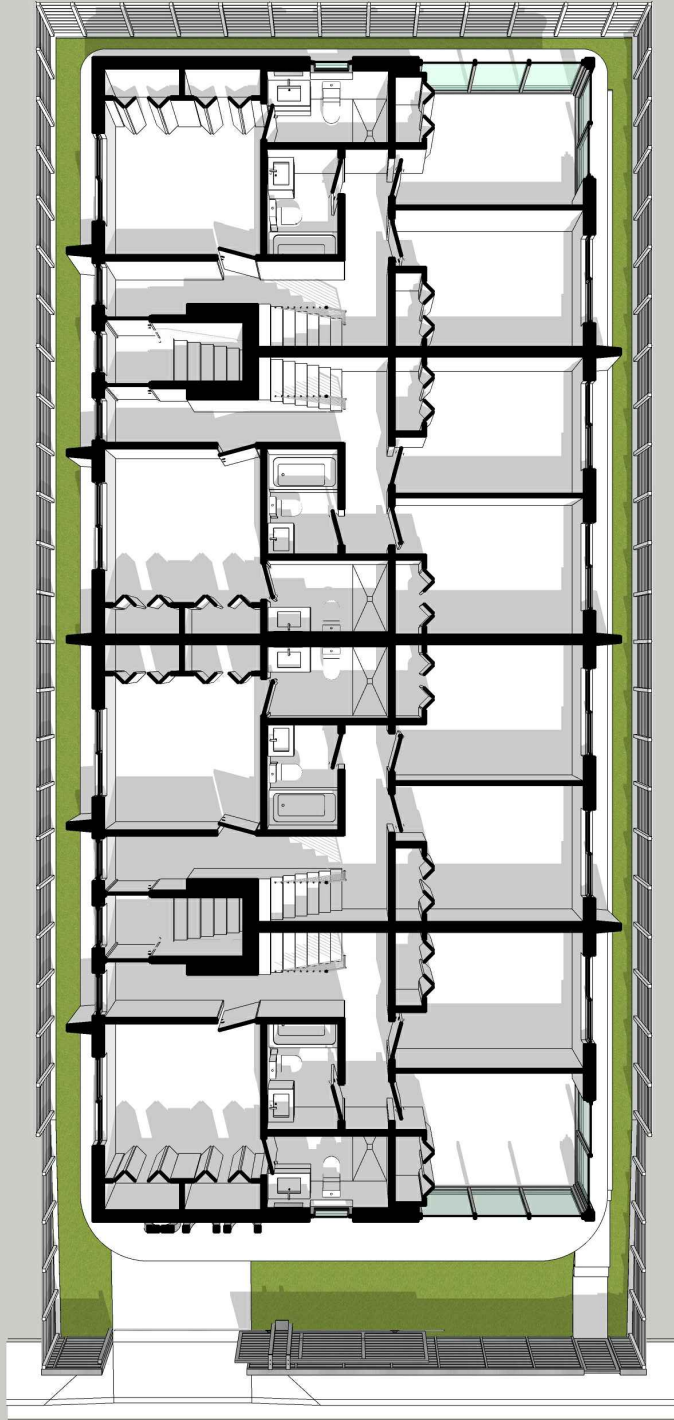
SHEET: A-905

GROUND FLOOR PLAN



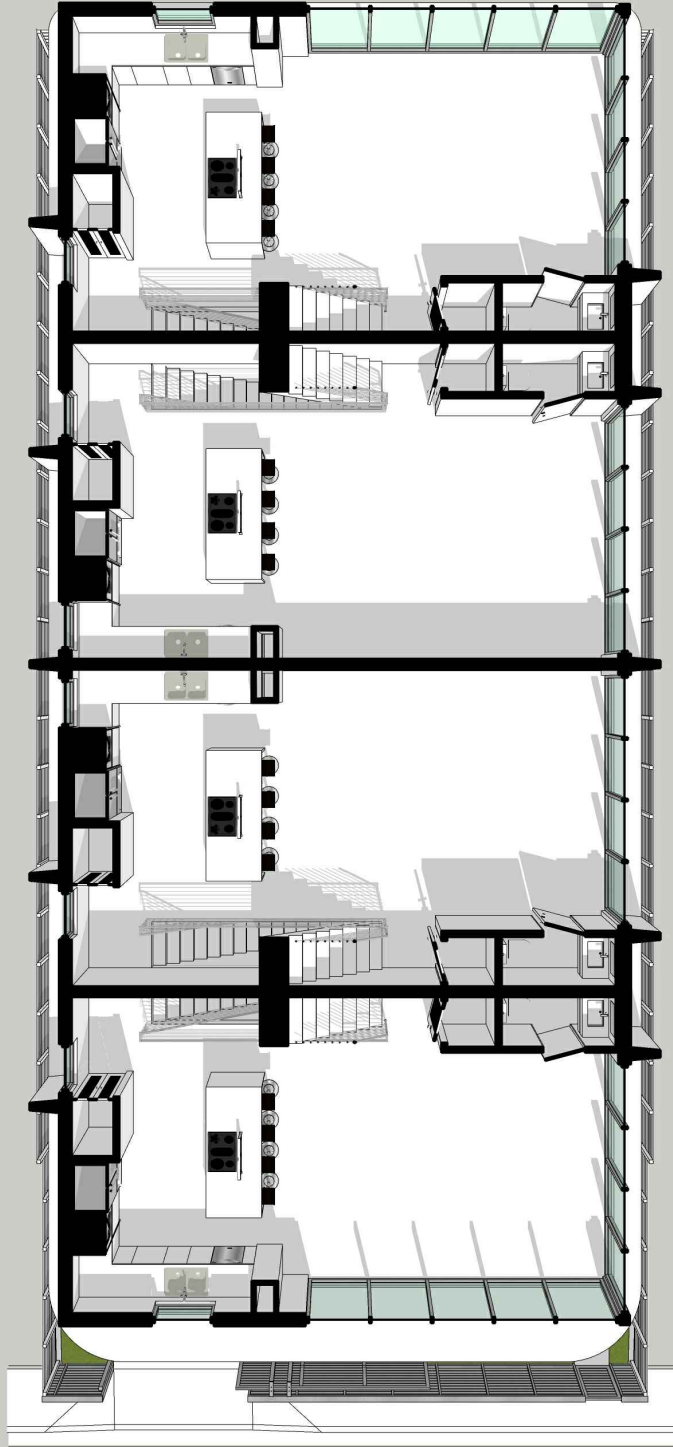
84 STREET

SECOND FLOOR PLAN



84 STREET

THIRD FLOOR PLAN



84 STREET

