

PRIVATE RESIDENCE

5212 N BAY RD
MIAMI BEACH, FL 33140

DRB 21-0685 PRESENTATION- 09-10 - 2021

SCOPE OF WORK:
NEW 2-STORY SINGLE FAMILY RESIDENCE
SEEKING A 4' HEIGHT WAIVER
SEEKING AN ADD. OPEN SPACE - COURTYARD WAIVER
TO REPLACE AN EXISTING PRE-1942 RESIDENCE



ARCHITECT
KOBİ KARP ARCHITECTURE
AND INTERIOR DESIGN, INC.
571 NW 28TH ST MIAMI, FL 33127
T: 305.573.1818

LANDSCAPE ARCHITECT
CLAD
LANDSCAPE ARCHITECTURE & DESIGN
8020 NE 4TH AVE., STUDIO 113, MIAMI, FL 33138
T: 786.536.6076

Rev.	Date	Rev.	Date

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UNPUBLISHED WORK OF KOBİ KARP AIA, AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF KOBİ KARP ARCHITECTURE & INTERIOR DESIGN, INC. AIA 02288

ZONING
FINAL DRB 21-0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

Consultant:
Name:
Address:
Address:
Tel:
Email:

Consultant:
Name:
Address:
Address:
Tel:
Email:

Landscape Architect:
CLAD Landscape Architecture & Design
8020 NE 4th Ave., Suite 113
Miami, FL 33138
Tel: +1(305) 573 1818
Tel: +1(786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1(305) 573 1818
Fax: +1(305) 573 3786

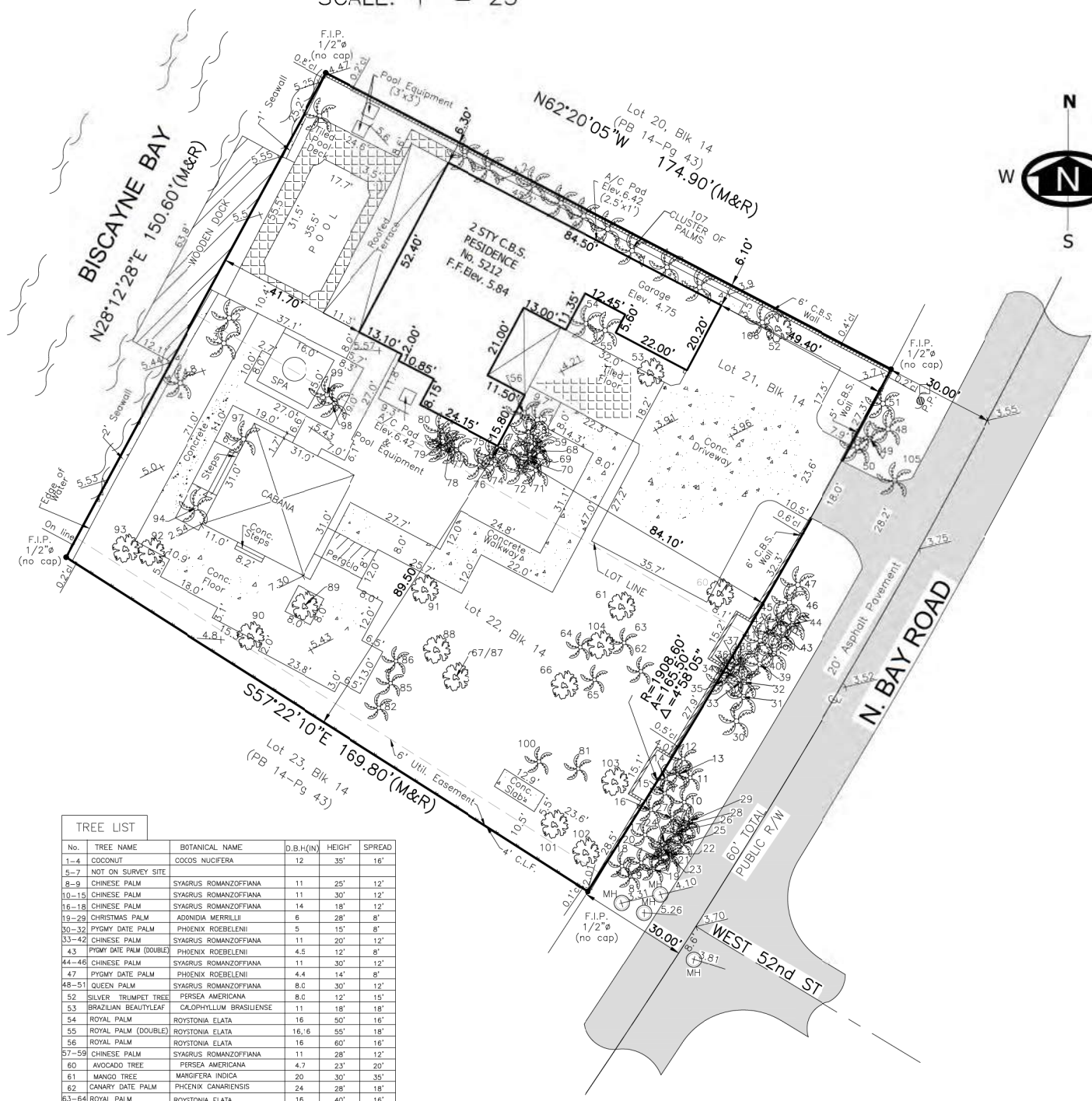


COVER **SLIDE 1**

Date	07/05/2021	Sheet No.	A0.00
Scale	AS MENTIONED		
Project	2030		

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'



No.	TREE NAME	BOTANICAL NAME	D.B.H.(IN)	HEIGHT	SPREAD
1-4	COCONUT	COCOS NUCIFERA	12	35'	16'
5-7	NOT ON SURVEY SITE				
8-9	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	25'	12'
10-15	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
16-18	CHINESE PALM	SYAGRUS ROMANZOFFIANA	14	18'	12'
19-29	CHRISTMAS PALM	ADONIDIA MERRILLII	6	28'	8'
30-32	PYGMY DATE PALM	PHOENIX ROEBELENI	5	15'	8'
33-42	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	20'	12'
43	PINK DATE PALM (DOUBLE)	PHOENIX ROEBELENI	4.5	12'	8'
44-46	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
47	PYGMY DATE PALM	PHOENIX ROEBELENI	4.4	14'	8'
48-51	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	30'	12'
52	SILVER TRUMPET TREE	PERSEA AMERICANA	8.0	12'	15'
53	BRAZILIAN BEAUTYLEAF	CALOPHYLLUM BRASILIENSE	11	18'	18'
54	ROYAL PALM	ROYSTONIA ELATA	16	50'	16'
55	ROYAL PALM (DOUBLE)	ROYSTONIA ELATA	16.6	55'	18'
56	ROYAL PALM	ROYSTONIA ELATA	16	60'	16'
57-59	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	28'	12'
60	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	20'
61	MANGO TREE	MANGIFERA INDICA	20	30'	35'
62	CANARY DATE PALM	PHOENIX CANARIENSIS	24	28'	18'
63-64	ROYAL PALM	ROYSTONIA ELATA	16	40'	16'
65	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	18'	12'
66	JASMINE TREE	RADERMACHERA SPP.	16	25'	20'
67	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	18'
68-74	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	30'	12'
75-76	CHINESE PALM	SYAGRUS ROMANZOFFIANA	11	10'	12'
77-80	SENEGAL DATE PALM	PHOENIX RECLINATA	CLUSTER	25'	25'
81	SENEGAL DATE PALM	PHOENIX RECLINATA	CLUSTER	16'	20'
82	SABAL PALM	SABAL PALMETTO	12	35'	10'
83-84	NOT ON SURVEY SITE				
85-86	SABAL PALM	SABAL PALMETTO	12	30'	10'
87	AVOCADO TREE	PERSEA AMERICANA	4.7	23'	18'
88	SAPODILLA	MANIKARA ZAPTOA	6.12	20'	25'
89	MAMEY TREE	POITERIA SAPOTA	7.5	20'	20'
90	TRAVELER'S PALM	RAVENALA MADAGASCARIENSIS	CLUSTER	30'	18'
91	SCREWPIPE	PANANUS SSP.	7.0	20'	10'
92-93	SEAGRAPE	COCCOLOBA UVIFERA	5.10	20'	25'
94	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	10'
95-96	NOT ON SURVEY SITE				
97	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	12'
98-99	QUEEN PALM	SYAGRUS ROMANZOFFIANA	8.0	25'	8'
100	PINK TRUMPET TREE	TAREBIJA HETEROPHYLLA	4.0	16'	10'
101-102	LIME	CTRUS SPP	3.5	8'	10'
103	STRAWBERRY GUAVA	PSIDUM CATTLEIANUM	8.0	10'	15'
104	JAVA PLUM	SYZIGIUM CUMINI	20	20'	5'
105	PYGMY DATE PALM	PHOENIX ROEBELENI	5	15'	10'
106	ARECA PALM	DIPSIS LUTESCENS	CLUSTER	23'	18'
107	ARECA PALM	DIPSIS LUTESCENS	CLUSTER	20'	8'



- ABBREVIATION (IF ANY APPLIED)**
- A = CURVE
 - A/C = AIR CONDITIONING UNIT
 - ASPH = ASPHALT
 - BLK/CH = BLOCK CORNER
 - CALC(C) = CALCULATED
 - CB = CATCH BASIN
 - C.B.S. = CONCRETE BLOCK STRUCTURE
 - CL = CLEAR
 - CONC = CONCRETE
 - D.M.E. = DRAINAGE MANT. EASEMENT
 - Ø = DIAMETER
 - EASMT. = EASEMENT
 - CLV = ELEVATION
 - ENC. = ENCROACHMENT
 - F.H. = FOUND HOLE
 - F.I. = FIRE HYDRANT
 - F.N/D = FOUND NAIL AND DISC
 - F.I.P. = FOUND IRON PIPE
 - F.S. = FOUND SPIKE
 - LI = LIGHT POLE
 - MEAS(W) = MEASURED
 - MH = MANHOLE
 - M = MONUMENT
 - NTS = NOT TO SCALE
 - P/W = PARKWAY
 - P.O.B. = POINT OF BEGINNING
 - P.O.C. = POINT OF CURVATURE
 - P.I. = POINT OF INTERSECTION
 - P = PROPERTY LINE
 - P.P. = POWER POLE
 - P.R.M. = PERMANENT REFERENCE MONUMENT
 - P.T. = POINT OF TANGENCY
 - RAD. = RADIAL
 - REC. (B) = RECORDED
 - RES. = RESIDENCE
 - R.O.W. = RIGHT OF WAY
 - SEC. = SECTION
 - S.D.H. = SET DRILL HOLE
 - S.V.D. = SET NAIL AND DISC
 - S.I.P. = SET IRON PIPE
 - S.R.B. = SET REBAR
 - STY = STORY
 - SWK = SIDEWALK
 - T.O.P. = TOP OF BANK
 - U.E. = UTIL. EASEMENT
 - W.P. = WOODEN PILE
 - WM = WATER METER
 - CL = SECTION LINE

- SURVEYOR'S LEGEND (IF ANY APPLIED)**
- BOUNDARY LINE
 - STRUCTURE (BLDG.)
 - CONCRETE BLOCK WALL
 - METAL FENCE
 - WOODEN FENCE
 - CHAIN LINK FENCE
 - WOOD DECK/DOCK
 - ASPHALTED AREAS
 - CONCRETE
 - BRICKS OR PAVERS
 - ROOFED AREAS
 - WATER (EDGE OF WATER)
 - CATCH BASIN
 - MANHOLE
 - OVERHEAD ELECT.
 - POWER POLE
 - LIGHT POLE
 - HANDICAP SPACE
 - FIRE HYDRANT
 - EASEMENT LINE
 - WATER VALVE
 - TV-CABLE BOX
 - WM WATER METER
 - CONC. LIGHT POLE

CERTIFIED TO:
BART REINES

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. 120651-0389L, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **27,334 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI-DADE COUNTY **BENCH MARK No. D-133**, WITH AN ELEVATION OF **3.7 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF S.00°43'27"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF ALTON ROAD., AS SHOWN ON PLAT BOOK 14 AT PAGE 43 OF THE PUBLIC RECORD OF MIAMI-DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:
NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.
SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.
UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.
THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 3/16 FOOT FOR NATURAL GROUND SURFACES AND 1/160 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:
LOTS 21 AND 22, BLOCK 14, OF LA GORCE GOLF SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 14 AT PAGE 43, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SITE ADDRESS: 5212 N BAY ROAD, MIAMI BEACH, FL. 33140
JOB NUMBER: 20-834
DATE OF SURVEY: SEPTEMBER 6, 2020 / MAY 3, 2021 (UPDATE)
FOLIO NUMBER: 02-3215-003-1940

ENCROACHMENTS AND OTHER POINTS OF INTEREST:
-THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
-THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
-THERE IS A 6' UTIL. EASEMENT ON THE SIDE OF THE SUBJECT PROPERTY

SLIDE 9

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FO THE FLORIDA STATUTES.

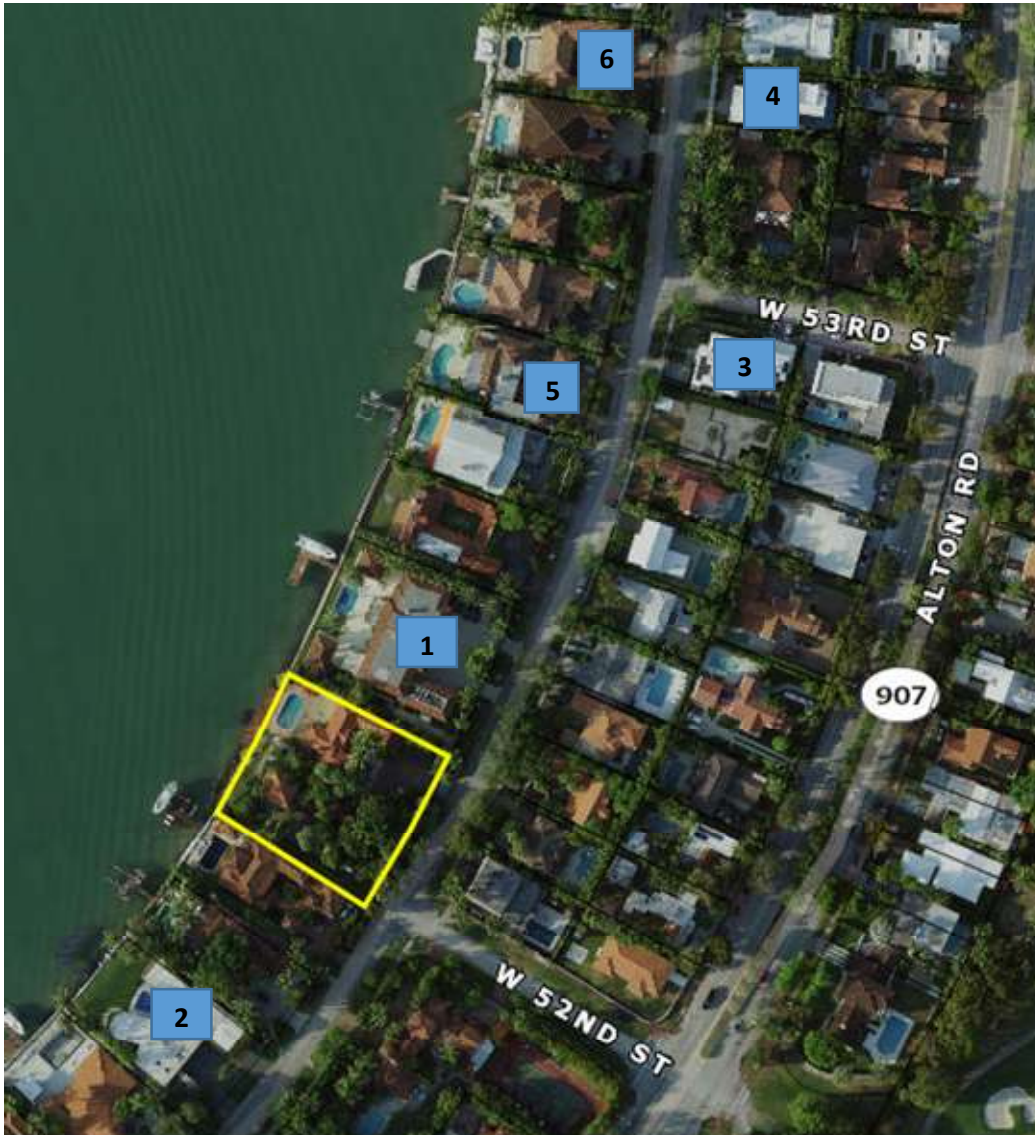
American Services of Miami, Corp.
Consulting Engineers . Planners . Surveyors

LB 6683

3195 PONCE DE LEON BLVD, SUITE 200
CORAL GABLES, FL 33134
PHONE: (305)598-5101 FAX: (305)598-8627
ASOMIAMI.COM

Ed P. Ino
PROFESSIONAL LAND SURVEYOR
AND MAPPER No. 6771
STATE OF FLORIDA
DATE: MAY 10, 2021

Neighbor Support
5212 North Bay Road
DRB21-0685



#	Property Address	Owner
1.	5222 N Bay Road	Oscar Feldenkreis
2.	5160 N Bay Road	Alberto Eiber
3.	5251 N Bay Road	David Kaiserman
4.	5327 N Bay Road	David Deshe
5.	5242 N Bay Road	Andrew Pollack
6.	5328 N Bay Road	Kobi Karp
7.*	4350 N Bay Road	David Deshe
8.*	4750 N Bay Road	Kobi Karp
9.*	4715 N Bay Road	Kobi Karp
10.*	4645 N Bay Road	Kobi Karp
11.*	4565 N Bay Road	Kobi Karp
*Nearby property not shown on aerial		

July 26, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach**
Letter of Support

Dear Board Members:

I am the owner of the property located at 5222 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – Oscar Feldenkreis

8/06/21

Date

July 12, 2021

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter _____ of
Support _____

Dear Board Members:

I am the owner of the property located at 5160 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – Alberto Eiber

Date

8/1/2021

August 23, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach**
Letter of Support

Dear Board Members:

I am the owner of the property located at 5251 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – David Kaiserman

Date

July 7, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

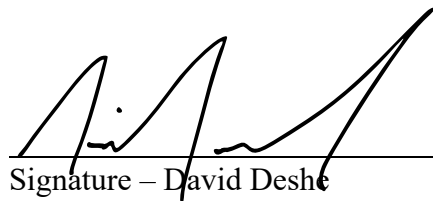
Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of the property located at 5327 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – David Deshe

7-18-21

Date

Sept. 3rd, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685 – Single-Family Home at 5212 N. Bay Road, Miami Beach**
Letter of Support

Dear Board Members:

I am the owner of 5242 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature

Andrew Pollack

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 5328 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:


BF9AE1D998544E...

Signature

Kobi Karp

Print name

July 7, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

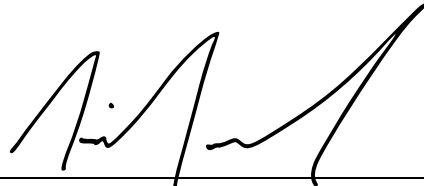
Re: **DRB21-0685** – Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of the property located at 4350 N Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,



Signature – David Deshe

7-18-21
Date

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4750 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:


Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4715 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant's representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:

DF0AE1D9885441E...

Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4645 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant s representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant s new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

DocuSigned by:


Signature

Kobi Karp

Print name

September 3, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: **DRB21-0685** Single-Family Home at 5212 N. Bay Road, Miami Beach
Letter of Support

Dear Board Members:

I am the owner of 4565 North Bay Road, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant s representative and reviewed plans, renderings and waiver requests for the proposed single-family residence. The home is beautifully-designed and due to the large size of the property and ample setbacks, it will be in context with the other homes and a welcome addition to our neighborhood.

Based on the foregoing, I fully support the applicant s new home and ask the Design Review Board to grant the design review approval with all associated waiver requests.

Sincerely,

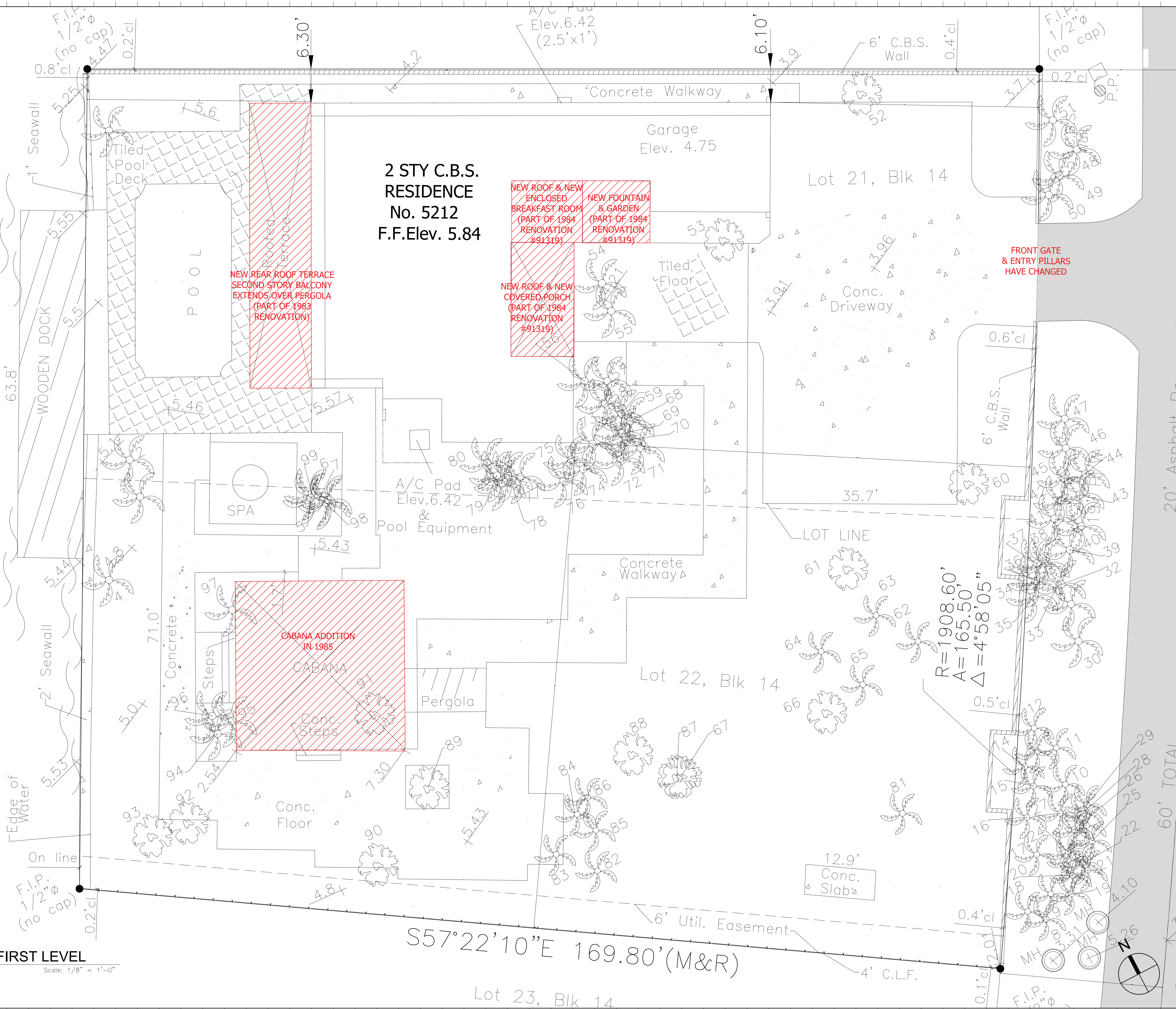
DocuSigned by:


Signature

Kobi Karp

Print name

N28°12'28"E 150.60'(M&R)



2 STY C.B.S. RESIDENCE
No. 5212
F.F.Elev. 5.84

NEW ROOF & NEW ENCLOSED BREAKFAST ROOM (PART OF 1984 RENOVATION #91319)

NEW FOUNTAIN & GARDEN (PART OF 1984 RENOVATION #91319)

NEW ROOF & NEW COVERED PORCH (PART OF 1984 RENOVATION #91319)

NEW REAR ROOF TERRACE SECOND STORY BALCONY EXTENDS OVER PERGOLA (PART OF 1983 RENOVATION)

CABANA ADDITION IN 1985

FRONT GATE & ENTRY PILLARS HAVE CHANGED

1 FIRST LEVEL
 Scale: 1/8" = 1'-0"

S57°22'10"E 169.80'(M&R)

Rev.	Date	Rev.	Date

ZONING

FINAL DRB 21-0685 SUBMITTAL

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EXISTING ANALYSIS

Date	07/05/2021	Sheet No.	
Scale	AS MENTIONED		A1.06
Project	2030		



1 CURRENT DAY PHOTO
Scale: N.T.S



1 1984 RENOVATION PHOTO
Scale: N.T.S
TO ADD COVERED PORCH, BREAKFAST ROOM,
FOUNTAIN/GARDEN



2 CURRENT DAY PHOTO
Scale: N.T.S



2 1985 PHOTO OF CABANA UNDER CONSTRUCTION
Scale: N.T.S



3 CURRENT DAY PHOTO
Scale: N.T.S



3 1965 PHOTO
Scale: N.T.S



3 1985 RENOVATION PHOTO
Scale: N.T.S

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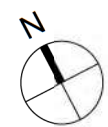
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EXISTING ANALYSIS
SLIDE 11

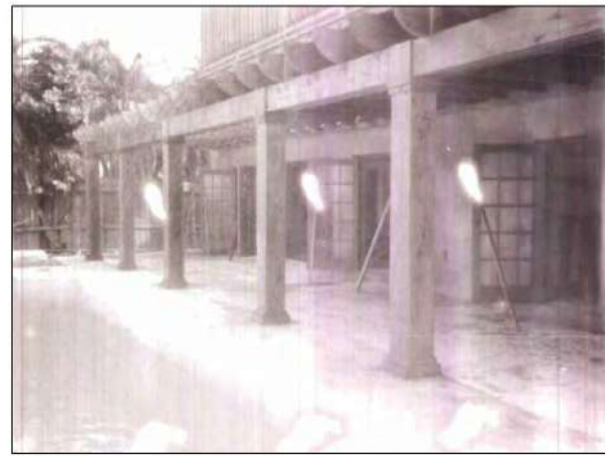
Date	07/05/2021	Sheet No.	A1.06A
Scale	AS MENTIONED		
Project	2030		





4 CURRENT DAY PHOTO
Scale: N.T.S

*TODAY SECOND STORY BALCONY EXTENDS OVER THE PERGOLA



4 1983 PHOTO OF WOOD PERGOLA WITHOUT SECOND STORY BALCONY
Scale: N.T.S



5 CURRENT DAY PHOTO
Scale: N.T.S



5 CURRENT DAY PHOTO
Scale: N.T.S



5 1972 PHOTO OF METAL AWNING AND A WHITE POURED CONCRETE PATIO
Scale: N.T.S

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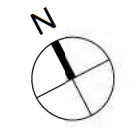
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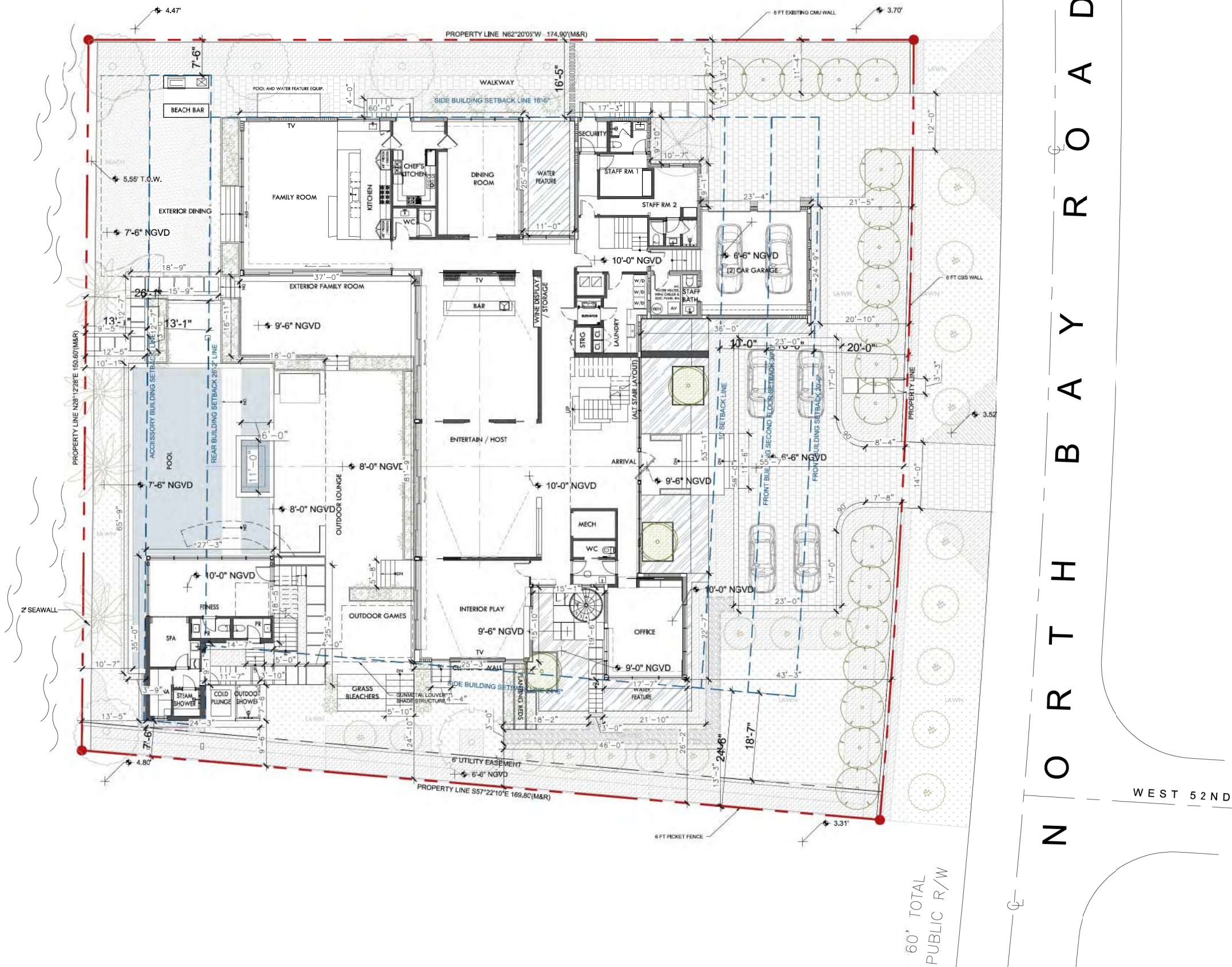
EXISTING ANALYSIS
SLIDE 12

Date	07/05/2021	Sheet No.	A1.06B
Scale	AS MENTIONED		
Project	2030		



B I S C A Y N E B A Y

N O R T H B A Y R O A D



1 SITE PLAN
Scale: 3/32" = 1'-0"

Rev.	Date Rev.	Date

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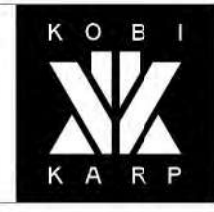
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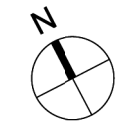
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SITE PLAN
SLIDE 13

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A2.01
Project	2030	



ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

BISCAYNE BAY



WEST 52nd ST.

NORTH BAY ROAD

174.90'

150.60'

169.80'

165.50'

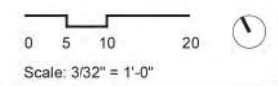
- DWARF WILD COFFEE
- JUNIPER BORDER
- STAR JASMINE VINE
- PODOCARPUS HEDGE 8' HT
- HORIZONTAL COCOPLUM
- JAPANESE FERN TREE

- AFRICAN IRIS
- PHILODENDRON HOPE
- WHITE CRAPE MYRTLE TREE
- DWARF WILD COFFEE
- MADAGASCAR DRAGON TREE
- PHILODENDRON HOPE

- 5' EASEMENT
- CANELLA HEDGE 8' HT
- WHITE CRAPE MYRTLE TREE
- MONDO GRASS
- GREEN SUTTONWOOD TREE
- WHITE MEXICAN BLUEBELL

- ASIATIC JASMINE
- WHITE MEXICAN BLUEBELL
- JUNIPER BORDER
- PHILODENDRON HOPE
- AFRICAN IRIS

- STAR JASMINE VINE
- PIGEON PLUM TREE
- WART FERN
- AFRICAN IRIS
- JUNIPER BORDER
- PODOCARPUS HEDGE
- GREEN WALL
- ASIATIC JASMINE
- LILYTURF
- LIGUSTRUM TREE
- BLUE DAZE
- CREEPING FIG
- LILYTURF
- LILYTURF
- LIGUSTRUM TREE
- ASIATIC JASMINE
- BLUE DAZE
- 15' x 15' SIGHT TRIANGLE
- WHITE CRAPE MYRTLE TREE
- AFRICAN IRIS
- WHITE CRAPE MYRTLE TREE
- WART FERN
- PIGEON PLUM TREE
- PODOCARPUS HEDGE
- LILYTURF
- CREEPING FIG





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RENDERING **SLIDE 15**

Date	07/05/2021	Sheet No.	A6.01
Scale	AS MENTIONED		
Project	2030		

1 FRONT RENDERING
Scale: N.T.S



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RENDERING **SLIDE 16**

Date	07/05/2021	Sheet No.	A6.02
Scale	AS MENTIONED		
Project	2030		

1 REAR RENDERING
Scale: N.T.S.









1 FRONT ELEVATION - EAST
Scale: 1/8"=1'-0"



2 REAR ELEVATION - WEST
Scale: 1/8"=1'-0"

ELEVATION MATERIAL Legend

- 
1. PLANTERS
- 
2. GREENWALL
- 
3. ARCHITECTURAL LOUVERS
- 
4. TRAVERTINE
- 
5. WOOD SOFFIT
- 
6. BLACK METAL RAILING W/ WOOD CAP
- 
7. GUNMETAL FRAME GLAZING SYSTEM
- 
8. EXPOSED BOARD FORM CONCRETE
- 
9. PAINTED SMOOTH STUCCO WHITE

Rev.	Date	Rev.	Date

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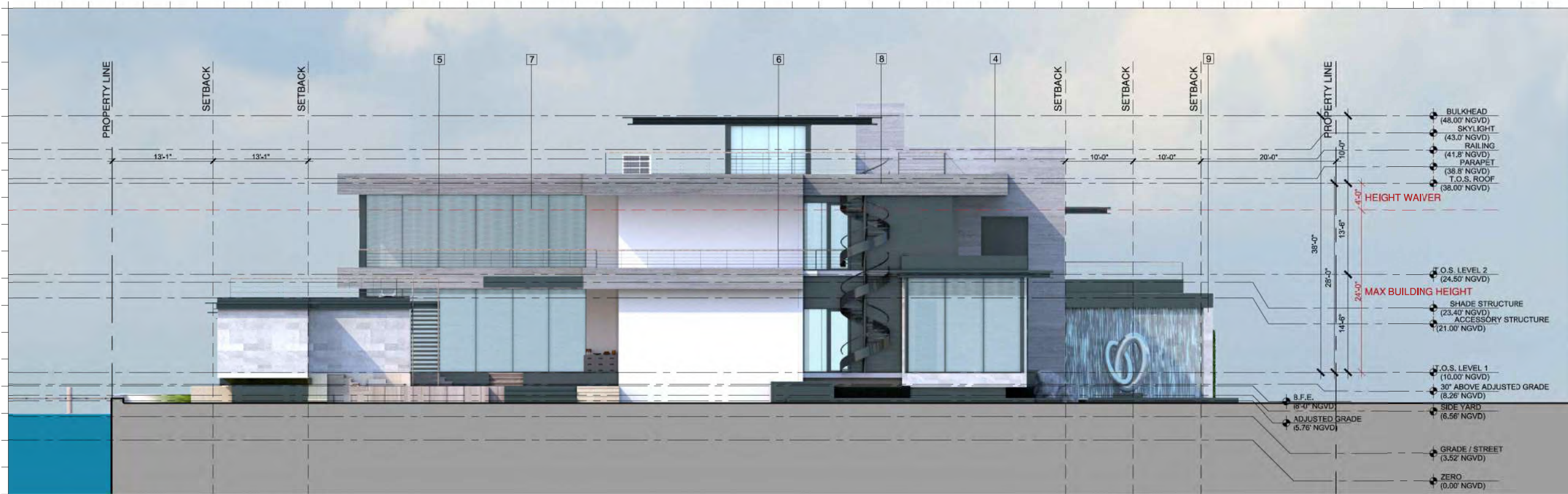
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RENDERED ELEVATION
SLIDE 20

Date	07/05/2021	Sheet No.	
Scale	AS MENTIONED		A4.04
Project	2030		



1 SIDE ELEVATION - SOUTH

Scale: 1/8"=1'-0"



2 SIDE ELEVATION - NORTH

Scale: 1/8"=1'-0"

ELEVATION MATERIAL Legend

- 
 1. PLANTERS
- 
 2. GREENWALL
- 
 3. ARCHITECTURAL LOUVERS
- 
 4. TRAVERTINE
- 
 5. WOOD SOFFIT
- 
 6. BLACK METAL RAILING W/ WOOD CAP
- 
 7. GUNMETAL FRAME GLAZING SYSTEM
- 
 8. EXPOSED BOARD FORM CONCRETE
- 
 9. PAINTED SMOOTH STUCCO WHITE

Rev.	Date Rev.	Date

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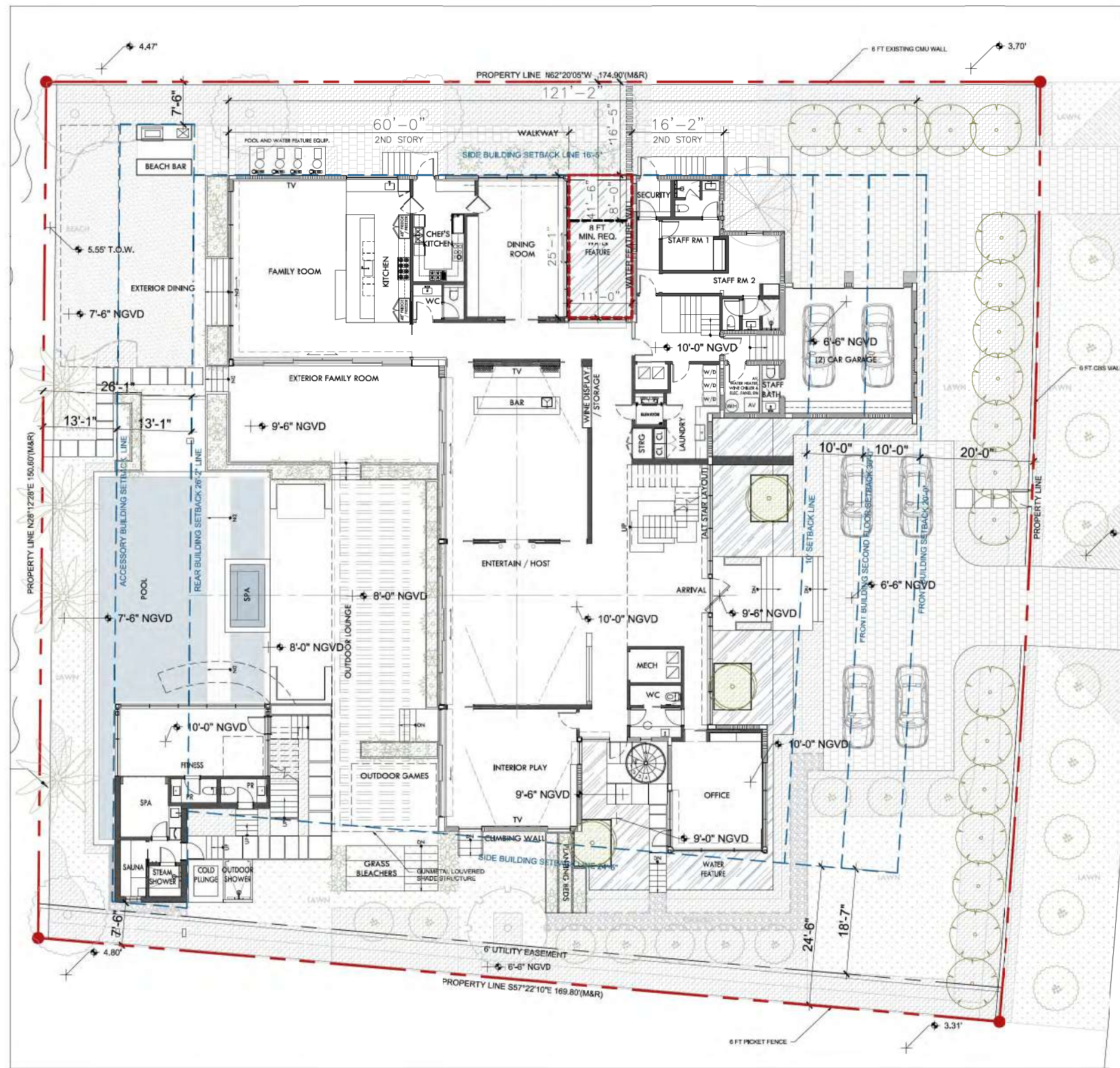
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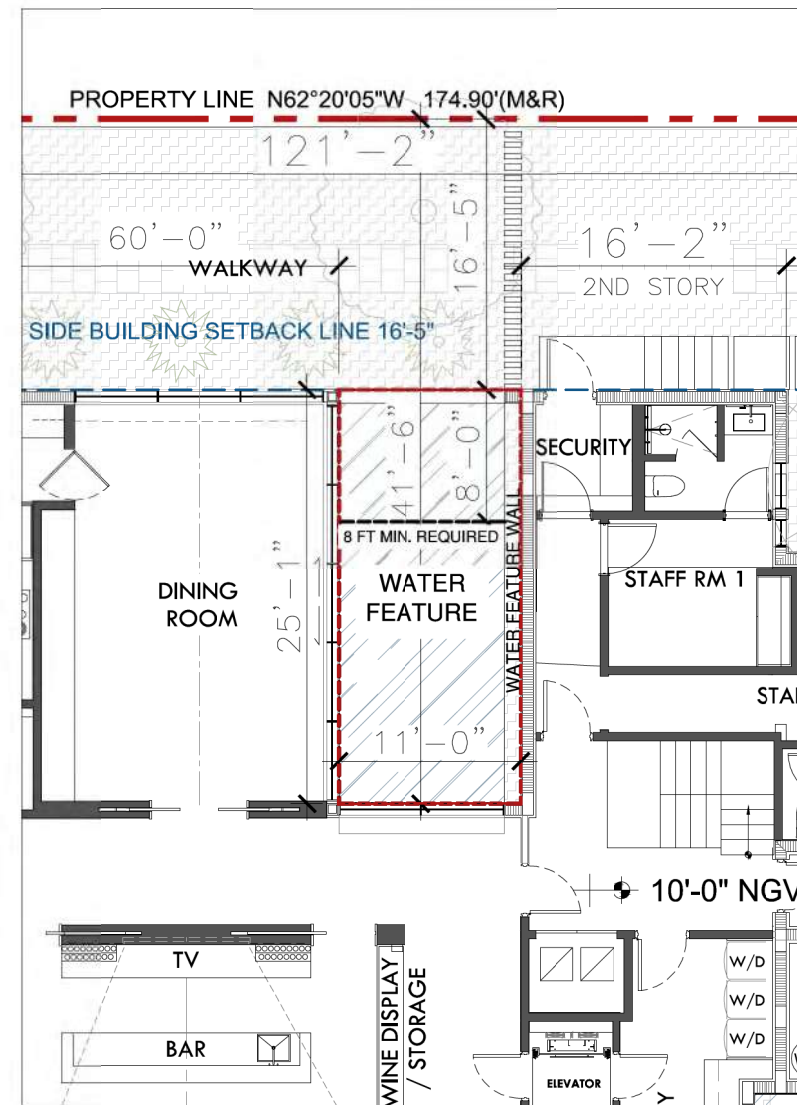
RENDERED ELEVATION
SLIDE 21

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A4.05
Project	2030	



1 SITE PLAN - COURTYARD DIAGRAM

Scale: 3/32" = 1'-0"



COURTYARD WAIVER DIAGRAM

COURTYARD COMPLETELY OPEN TO SKY

COURTYARD AREA = 276 SF (3% OF LOT COVERAGE)
 WATER FEATURE = 243 SF (88% OF COURTYARD)
 HARDSCAPE = 33 SF (12% OF COURTYARD)

2 ZOOM IN - COURTYARD

Scale: 3/16" = 1'-0"

Rev. Date Rev. Date

Rev.	Date	Rev.	Date

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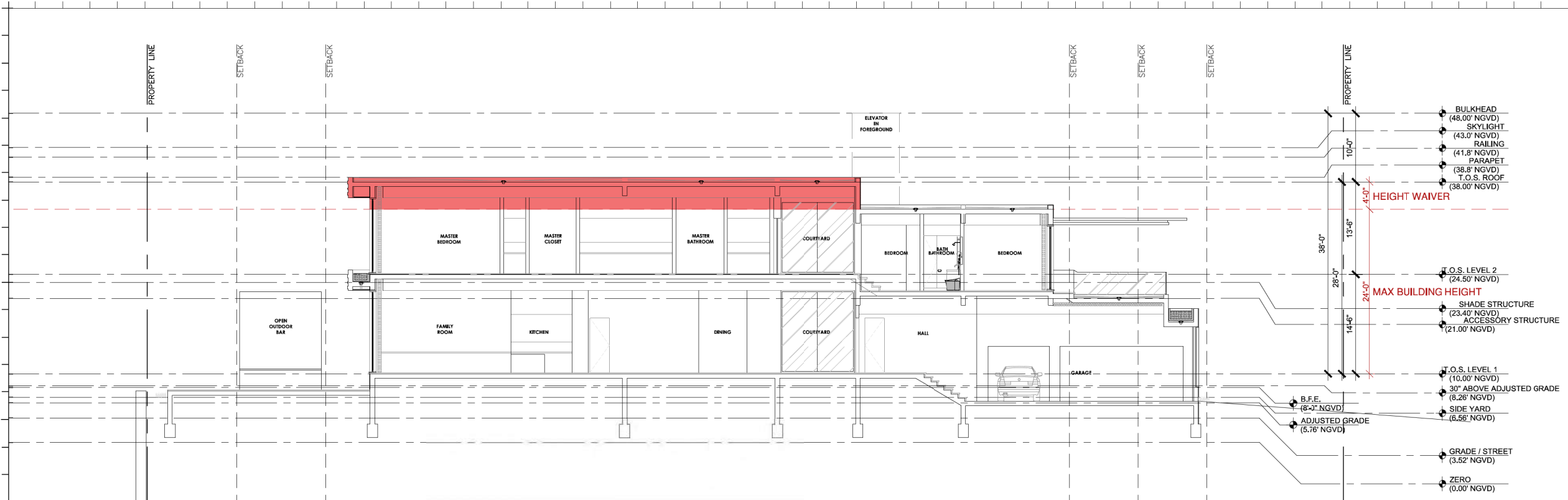
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COURTYARD WAIVER

SLIDE 22

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A1.08
Project	2030	



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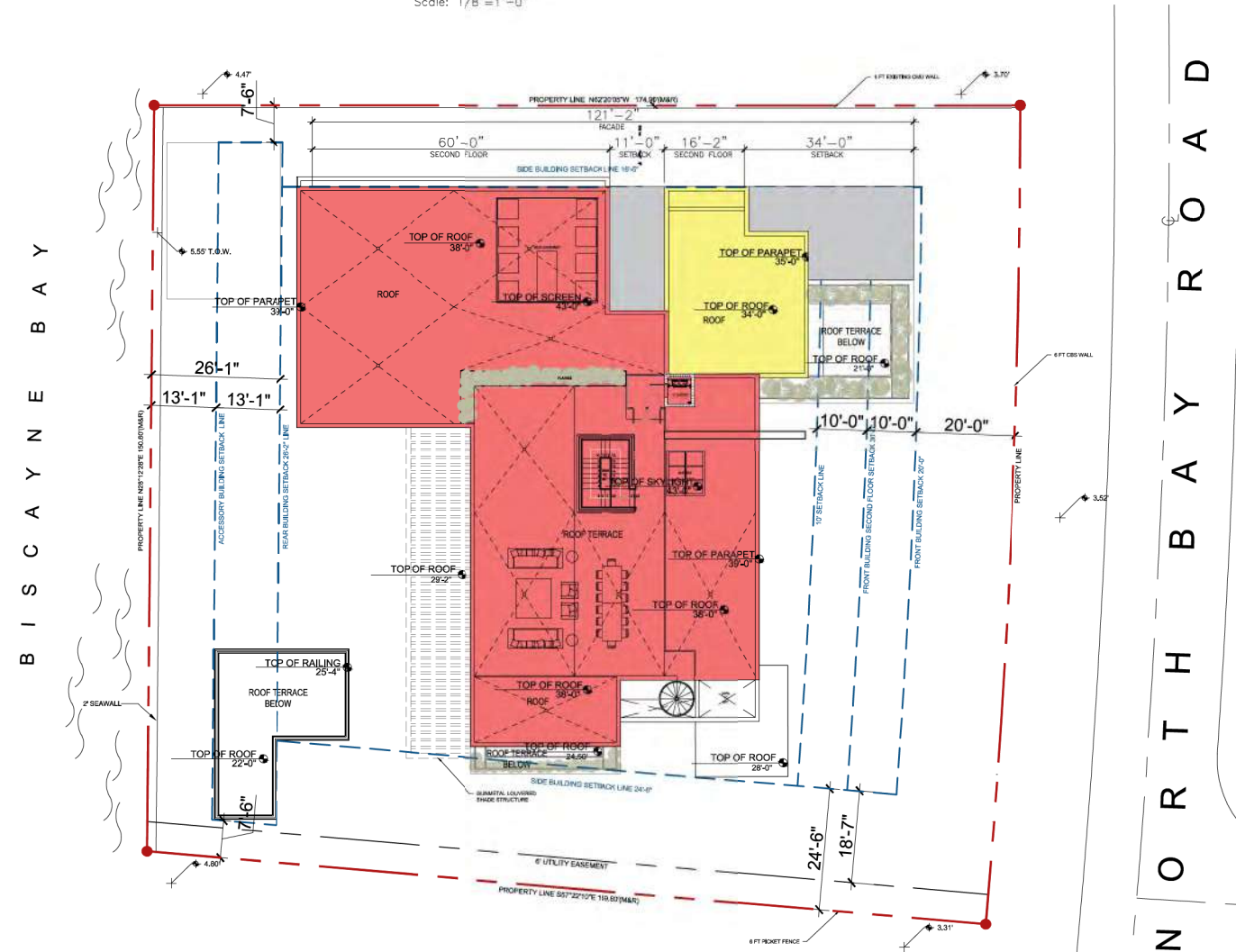
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HEIGHT WAIVER SLIDE 23

2 HEIGHT WAIVER DIAGRAM

Scale: 1/8"=1'-0"



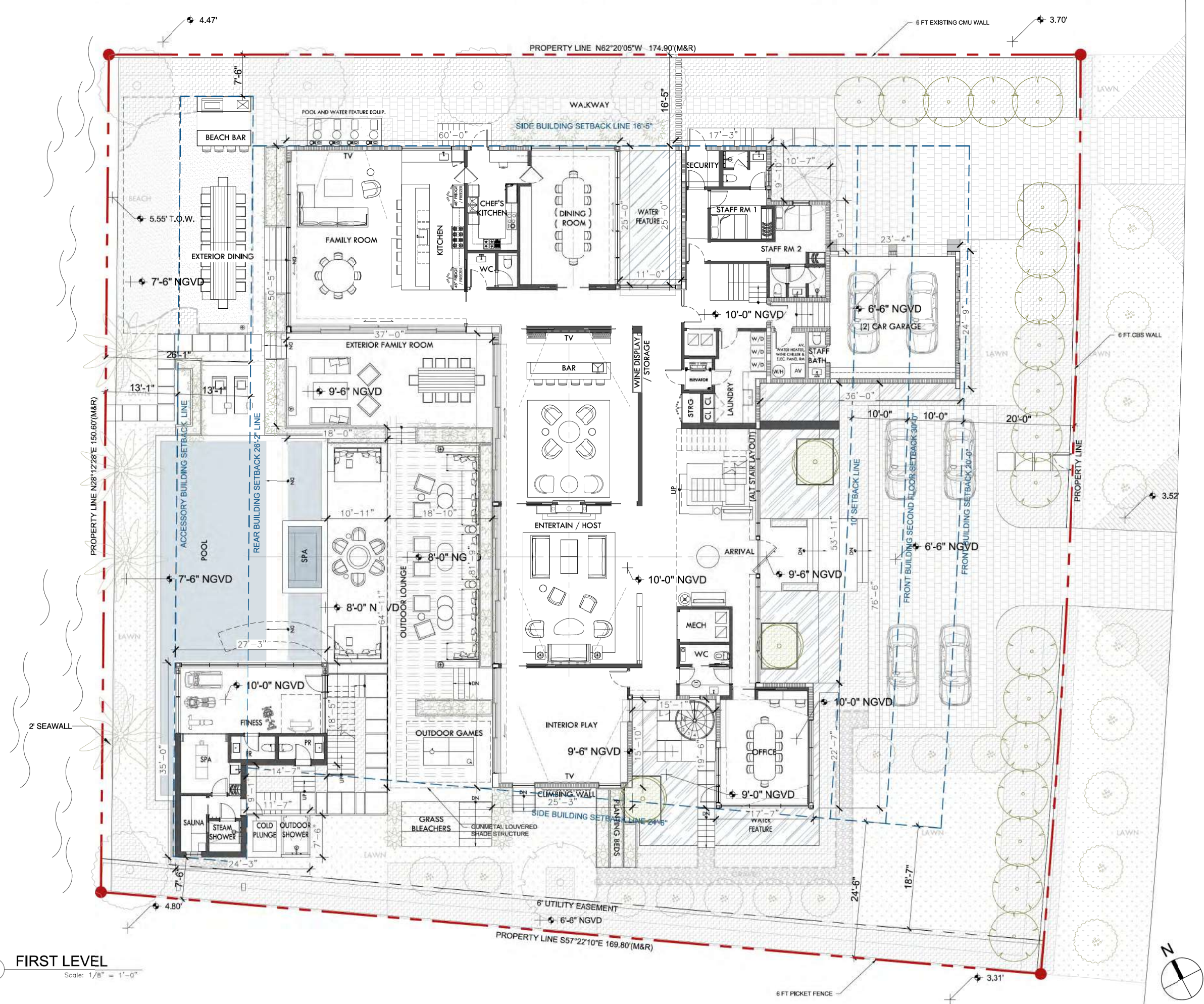
- HEIGHT WAIVER DIAGRAM**
- SECOND FLOOR - 28 FT (HEIGHT WAIVER) = 60 FT (49.5% OF FACADE)
 - SECOND FLOOR - 24 FT = 16 FT - 2 IN (13.4% OF FACADE)
 - SETBACK = 11 FT + 34 FT = 45 FT (37.1% OF FACADE)

1 HEIGHT WAIVER DIAGRAM

Scale: 1/16"=1'-0"

Date	07/05/2021	Sheet No.	A1.07
Scale	AS MENTIONED		
Project	2030		

B I S C A Y N E B A Y



1 FIRST LEVEL
Scale: 1/8" = 1'-0"

Rev.	Date Rev.	Date

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FIRST LEVEL SLIDE 24

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A3.01
Project	2030	

B I S C A Y N E B A Y



1 SECOND FLOOR
Scale: 1/8" = 1'-0"

Rev.	Date Rev.	Date

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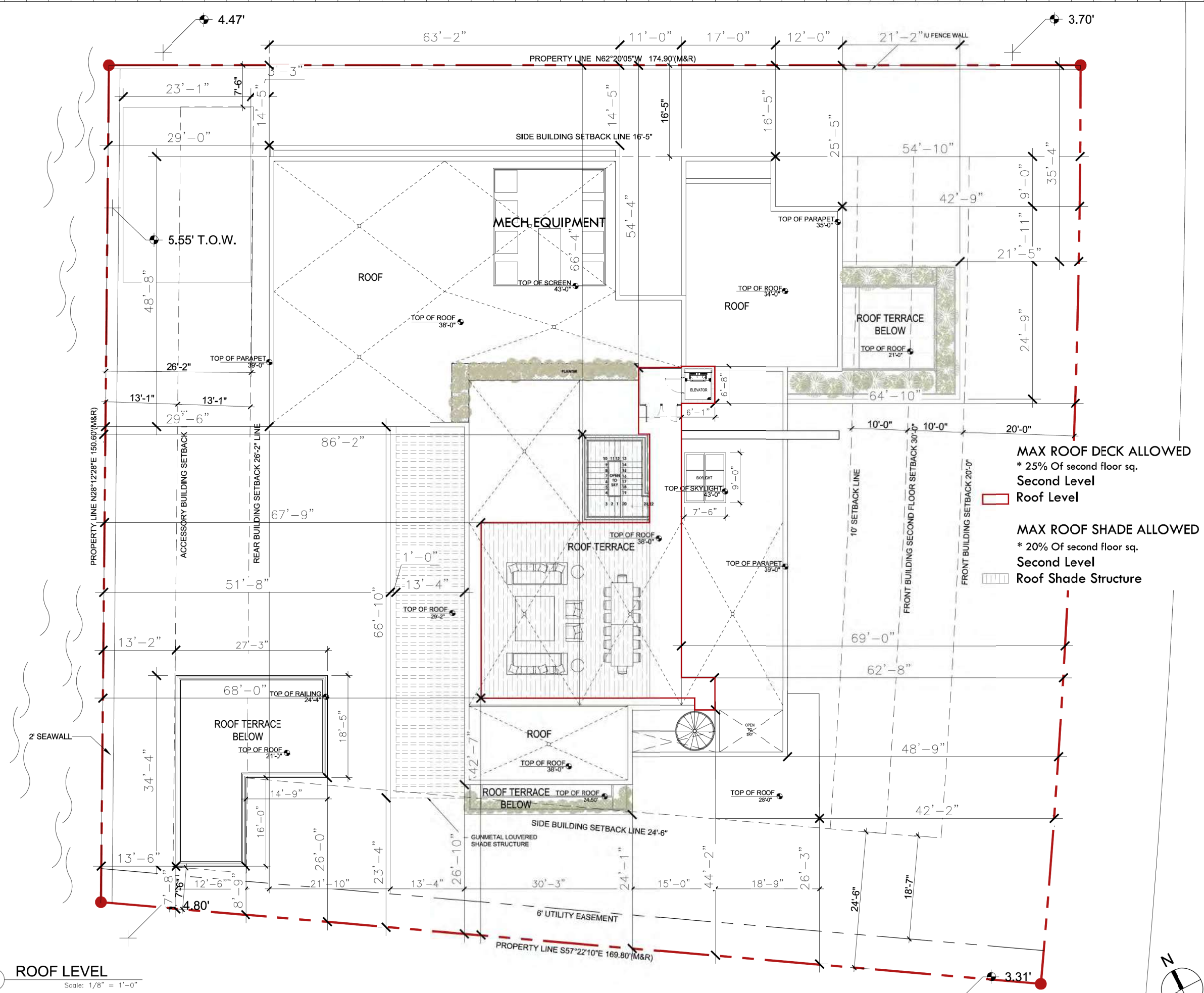
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SECOND LEVEL
SLIDE 25

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A3.02
Project	2030	

B I S C A Y N E B A Y



MAX ROOF DECK ALLOWED
 * 25% Of second floor sq.
Second Level
 Roof Level

MAX ROOF SHADE ALLOWED
 * 20% Of second floor sq.
Second Level
 Roof Shade Structure

Rev.	Date	Rev.	Date

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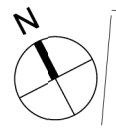
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ROOF LEVEL PLAN
SLIDE 26

Date	07/05/2021	Sheet No.	A3.03
Scale	AS MENTIONED		
Project	2030		

1 ROOF LEVEL
 Scale: 1/8" = 1'-0"





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AXONOMETRIC SE VIEW

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AXONOMETRIC RENDERING
SLIDE 27

Date	07/05/2021	Sheet No.	A7.01
Scale	AS MENTIONED		
Project	2030		

1 AXONOMETRIC SE VIEW
Scale: N.T.S.



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AXONOMETRIC SW VIEW

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AXONOMETRIC RENDERING
SLIDE 28

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A7.02
Project	2030	

1 AXONOMETRIC SW VIEW
Scale: N.T.S.



5212 N BAY ROAD, MIAMI, FLORIDA

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ZONING
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RENDERING **SLIDE 29**

Date	07/05/2021	Sheet No.	A6.01
Scale	AS MENTIONED		
Project	2030		

1 FRONT RENDERING
Scale: N.T.S



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RENDERING **SLIDE 30**

Date	07/05/2021	Sheet No.	A6.02
Scale	AS MENTIONED		
Project	2030		

1 REAR RENDERING
Scale: N.T.S







END

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	5212 NORTH BAY ROAD, MIAMI, FL 33140		
2	Folio number(s):	02-3215-003-1940		
3	Board and file numbers :	DRB 21-0685		
4	Year built:	1929	Zoning District:	RS-3
5	Base Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	3.52' NGVD
6	Adjusted grade (Flood+Grade/2):	5.76' NGVD	Free board:	+2.00' NGVD (10'-0" NGVD)
7	Lot Area:	27,334 SF		
8	Lot width:	163'-9"	Lot Depth:	174'-0"
9	Max Lot Coverage SF and %:	8,200 SF (30%)	Proposed Lot Coverage SF and %:	8,200 SF (30%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	2,203 SF (67%)	Rear Yard Open Space SF and %:	2,982 SF (75%)
12	Max Unit Size SF and %:	13,667 SF (50%)	Proposed Unit Size SF and %:	13,626 SF (50%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	8,200 SF (30%)
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	N/A PER ORDINANCE 2020-4359
			Proposed Second Floor Unit Size SF and % :	5,836 SF (21%)
15			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	90 SF (0.3%)

ITEM #	Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17	Height:	24'- FLAT ROOFS		28'-0"	4' HEIGHT WAIVER
18	Setbacks:				
19	Front First level:	20'-0"		21'-5"	
20	Front Second level:	30'-0"		42'-9"	
21	Side 1:	16'-5" MIN.		16'-5"	
22	Side 2 or (facing street):	24'-6 1/4" MIN.		24'-10"	
23	Rear:	26'-2"		29'-0"	
24	Accessory Structure Side 1: NORTH	7'-6"		7'-7"	
	Accessory Structure Side 2 or (facing street) : SOUTH	7'-6"		8'-9"	
25	Accessory Structure Rear:	13'-0"		13'-6"	
26	Sum of side yard :	40'-11 1/4" (25% of Lot Width)		41'-3" (26% of Lot Width)	
27	Located within a Local Historic District?			Yes or <input type="checkbox"/> No	
28	Designated as an individual Historic Single Family Residence Site?			Yes or <input type="checkbox"/> No	
29	Determined to be Architecturally Significant?			Yes or <input type="checkbox"/> No	
	Additional data or information must be presented in the format outlined in this section				

Notes:

If not applicable write N/A

NOTHING SHALL BE ERECTED, PLACED, PARKED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER WITHIN A 15'-0" TRIANGLE OF VISIBILITY SO AS TO MATERIALLY IMPEDE VISION BETWEEN HEIGHT OF 2'-0" AND 8'-0" ABOVE AVERAGE GRADE (5.935' N.G.V.D) MEASURED AT THE DRIVEWAY OR AT THE TRIANGLE OF VISIBILITY AND INTERSECTION.
THE SIDE OF THE PROPERTY SHALL BE GRADED IN A MANNER TO RETAIN ALL RAINWATER ON THE PROPERTY WITH THE USE OF INTERCEPTOR SWALES AROUND THE PERIMETER OF THE SITE WITH NO ENCROACHMENT OVER ADJACENT PROPERTIES AND THE AREA ADJACENT TO THE CANAL WILL BE GRADED TO PREVENT DIRECT OVERLAND DISCHARGE OF STORMWATER INTO THE CANAL.
SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER COMPLYING WITH SECTION R4101.17.1.1 THROUGH R4101.17.1.14 OF THE FLORIDA BUILDING CODE, 2010 RESIDENTIAL. POOL, EQUIPMENT AND POOL BARRIER ARE UNDER A SEPARATE PERMIT.

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A0.02	LOCATION MAP
A0.03	EXISTING STRUCTURES
A0.04	EXISTING STRUCTURES
A0.05	EXISTING STRUCTURES
A0.06	EXISTING STRUCTURES
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A7.02	AXONOMETRIC RENDERING

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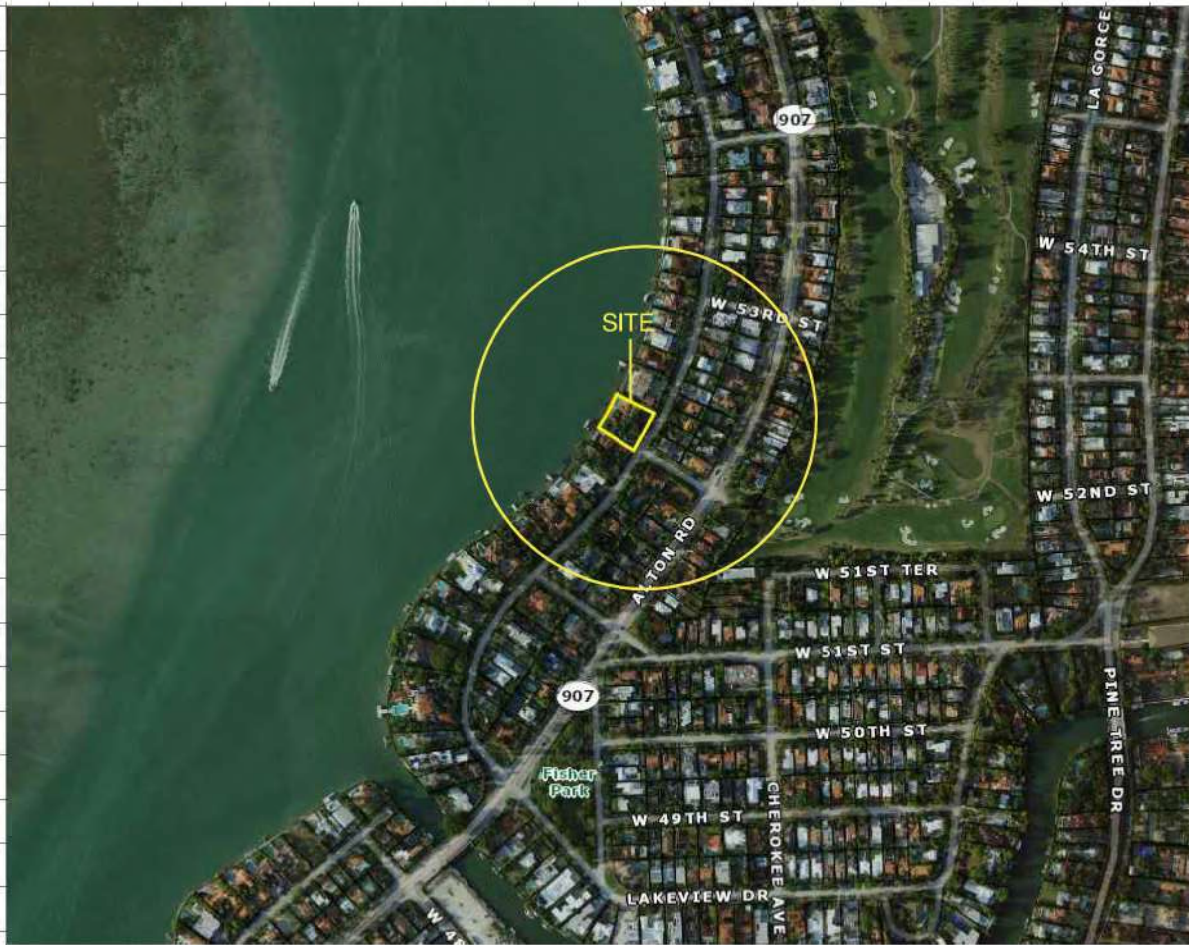
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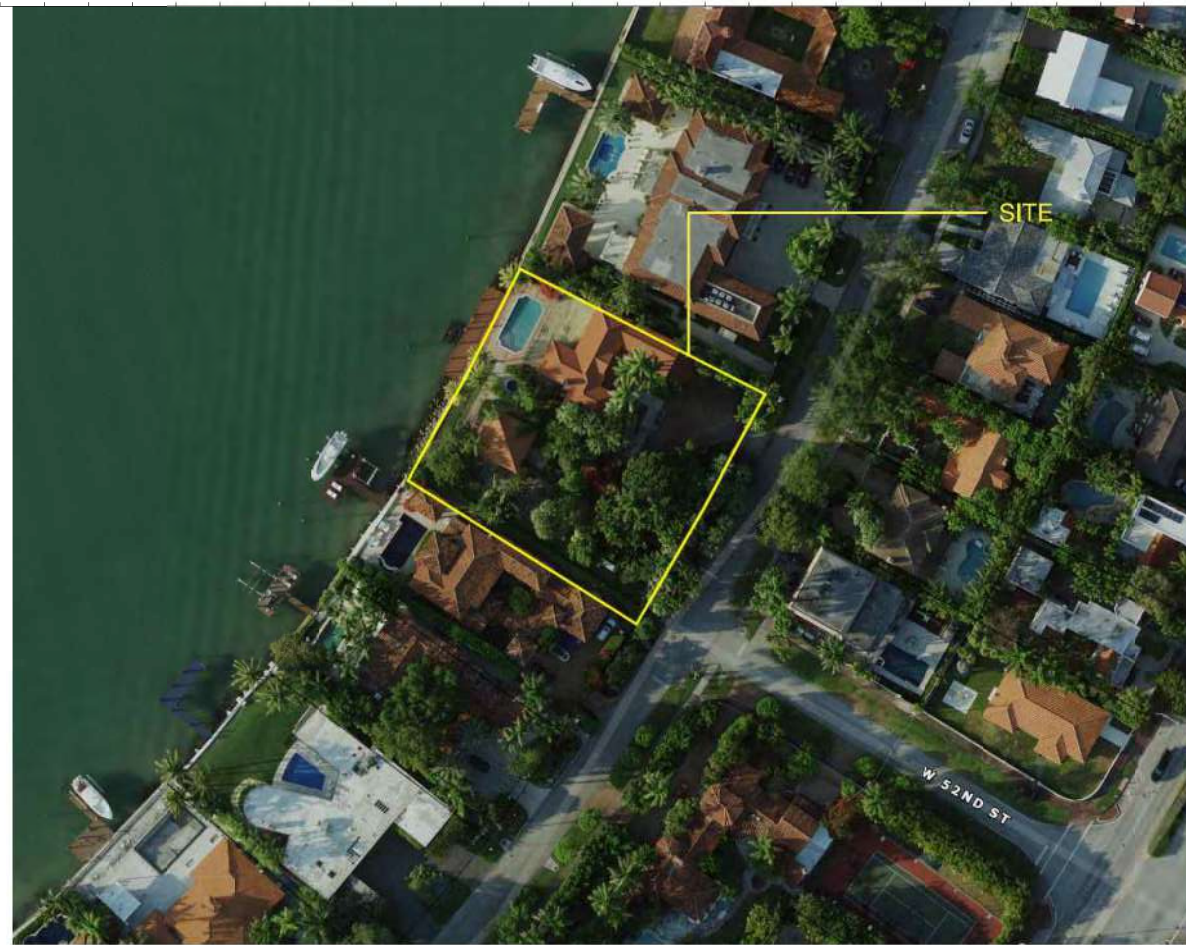
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LOCATION MAP

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AERIAL VIEW

Scale N.T.S



SITE PHOTO

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LOCATION MAP

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SITE

Scale N.T.S



1 5222 N BAY RD

N.T.S



2 5226 N BAY RD

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LOCATION MAP

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3 5235 N BAY RD

N.T.S



4 5231 N BAY RD

N.T.S



5 5235 N BAY RD

N.T.S

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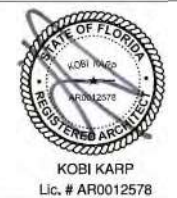
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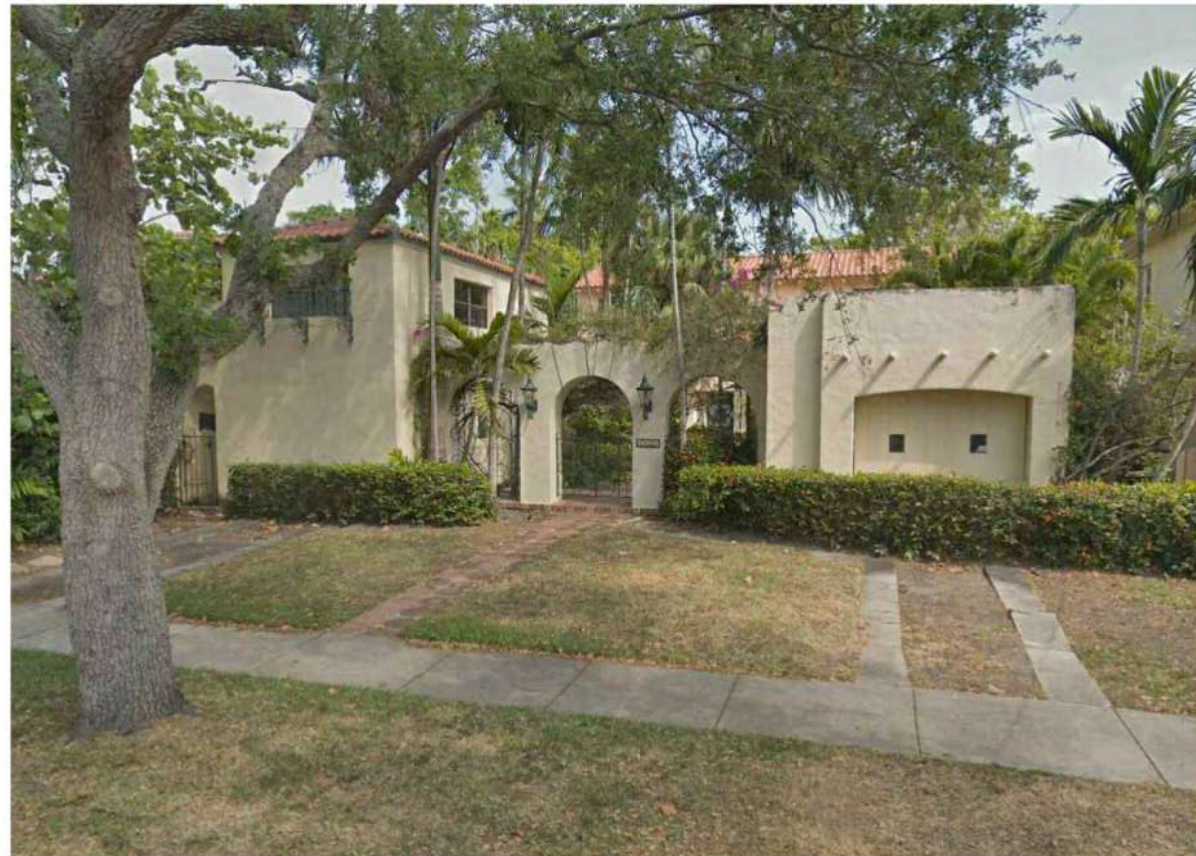
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Scale N.T.S



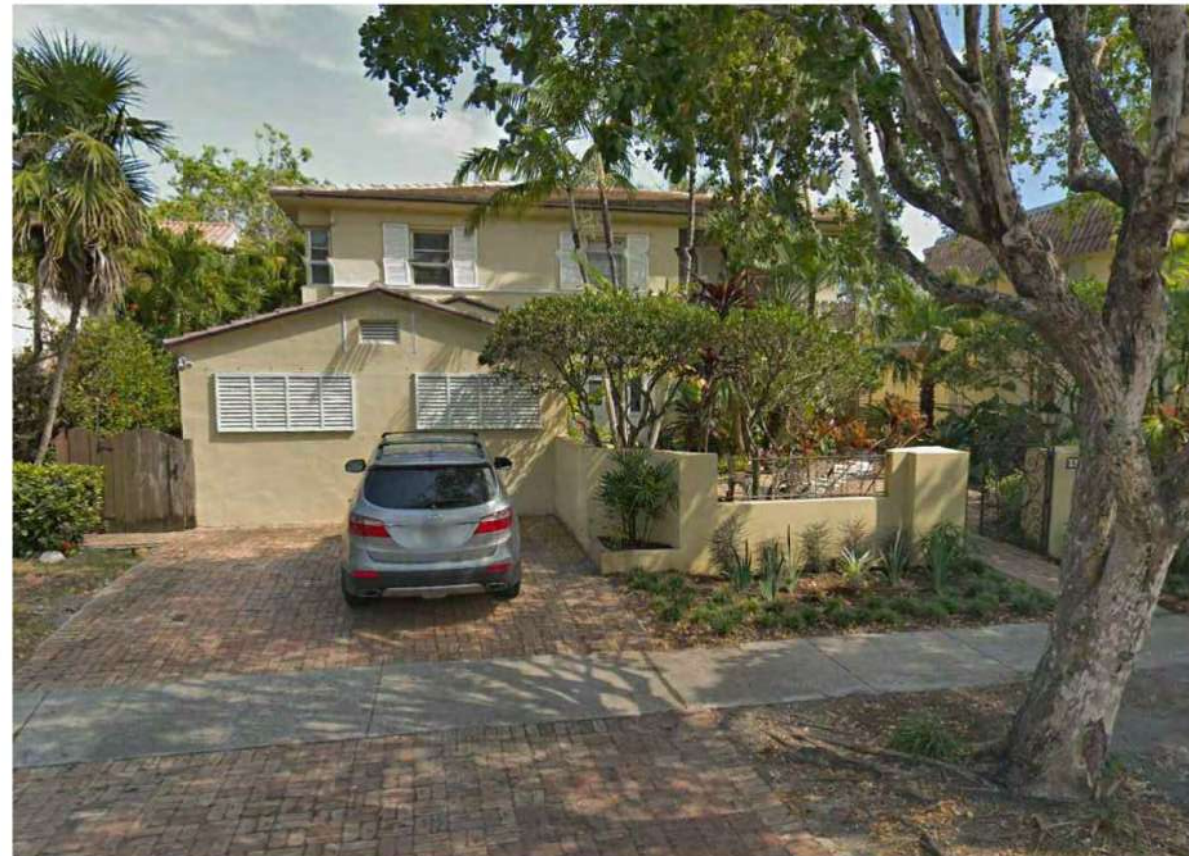
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7 5221 N BAY RD

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8 5215 N BAY RD

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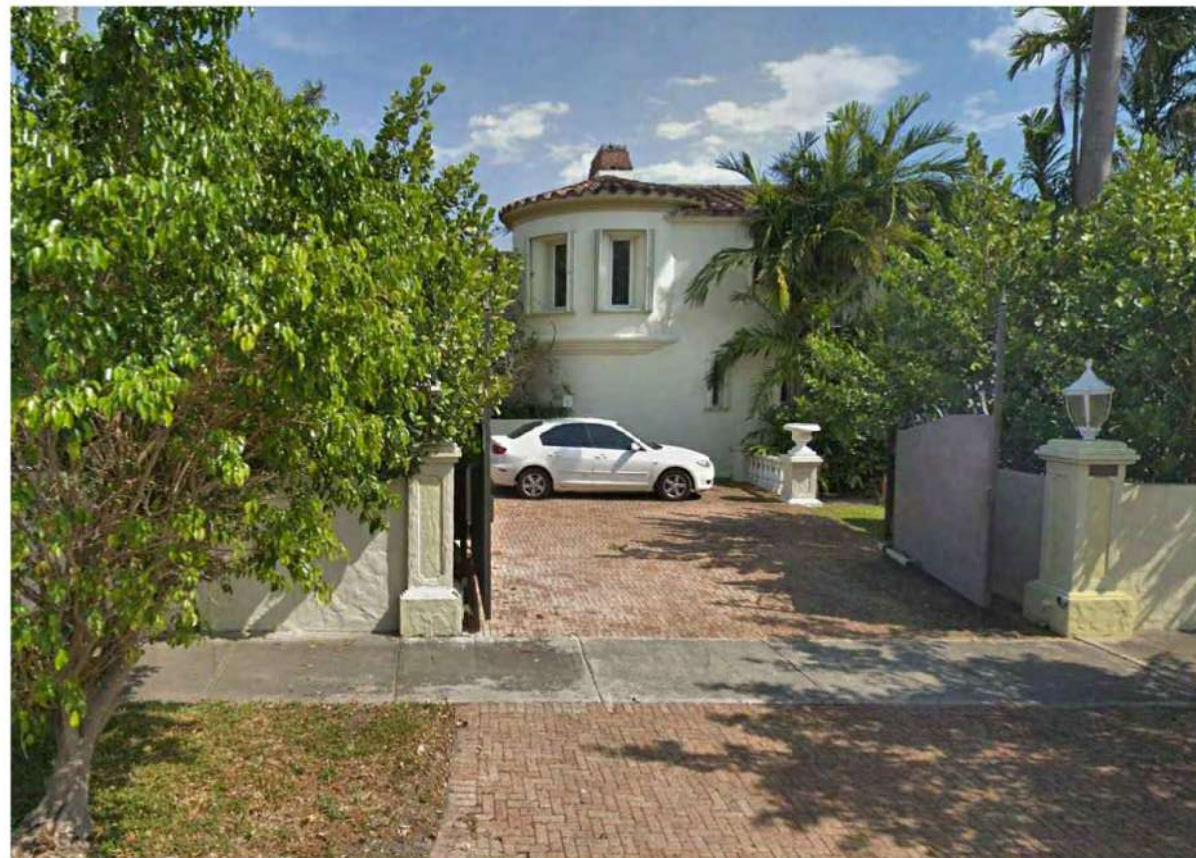
LOCATION MAP

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9 5201 N BAY RD

N.T.S



10 5185 N BAY RD

N.T.S



11 5180 N BAY RD

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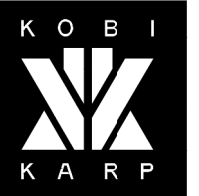
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LOCATION MAP

Scale N.T.S



12 5201 N BAY RD

N.T.S



13 N BAY RD - SOUTH STREET VIEW

N.T.S



14 W 52 ND ST - STREET VIEW

N.T.S

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LOCATION MAP

Scale N.T.S



15 N BAY RD - NORTH STREET VIEW

N.T.S



16 WATERFRONT VIEW

N.T.S

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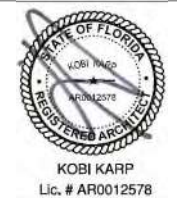
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PROJECT SITE
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LOCATION MAP

Scale N.T.S



A1 FRONT ELEVATION

N.T.S



A2 FRONT ENTRANCE

N.T.S



B REAR ELEVATION

N.T.S

Rev.	Date	Rev.	Date

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C NORTH SIDE YARD

N.T.S



D NORTH SIDE YARD

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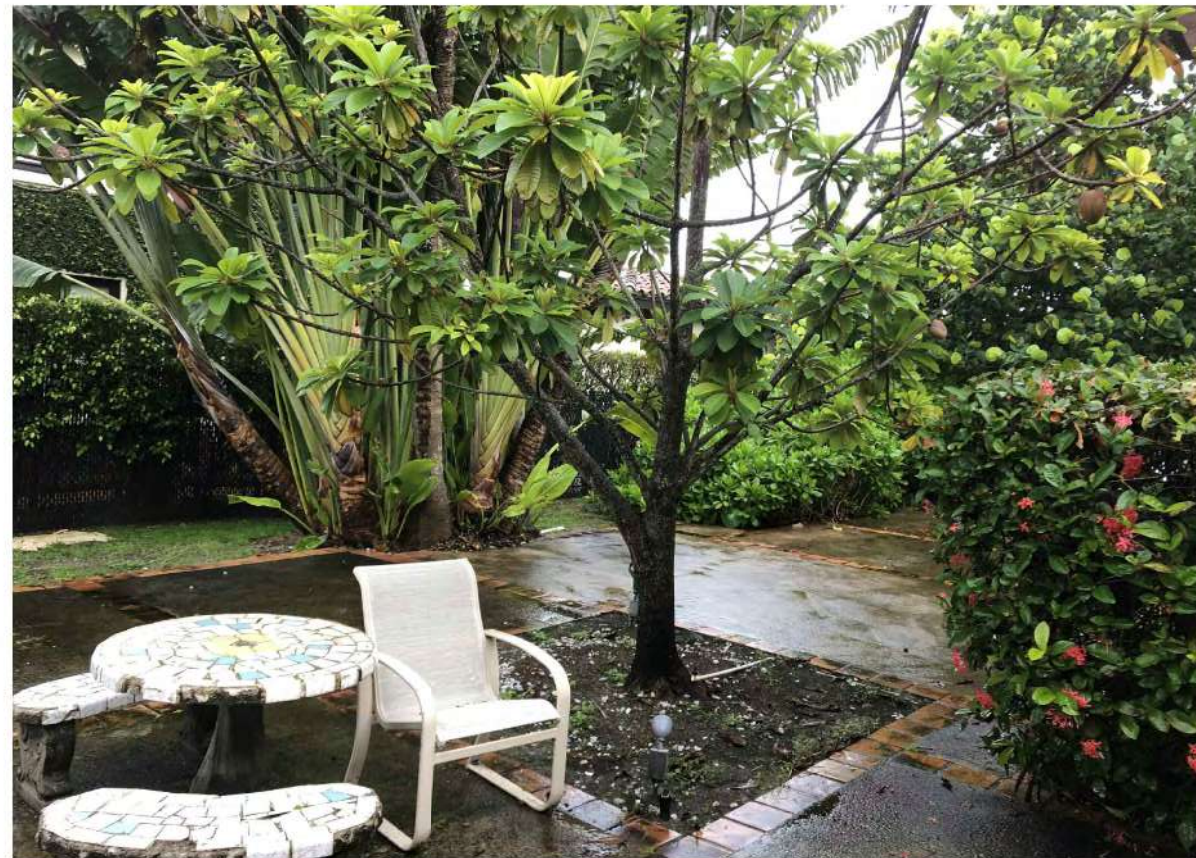
E1 PERGOLA

N.T.S



E2 CABANA

N.T.S



E3 PATIO

N.T.S



E4 SPA / CABANA

N.T.S

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Project	2030	

B I S C A Y N E B A Y

N O R T H B A Y R O A D

POOL AREA = 796 SF
50% OF POOL = 398 SF

Legend

- REQUIRED YARD AREAS
- PERVIOUS
- POOL
- ACCESSORY STRUCTURE

FRONT YARD AREA	3,303 SF	REAR YARD AREA	3,959 SF
MIN. PERVIOUS AREA	(50%) 1,652 SF	MIN. PERVIOUS AREA	(70%) 2,771 SF
PROPOSED PERVIOUS SOIL AREA	2,203 SF	POOL AREA	796 SF
TOTAL	(67%) 2,203 SF	50% of pool area	(50%) 398 SF
		PROPOSED PERVIOUS SOIL AREA	2,375 SF
		TOTAL	(70%) 2,773 SF

REAR YARD AREA	3,959 SF	REAR YARD AREA	3,959 SF
MAX ACC. BLDG COVERAGE	(25%) 990 SF	ACC. BUILDINGS TOTAL	(13%) 541 SF

FRONT YARD AREA	3,303 SF	REAR YARD AREA	3,959 SF
MIN. PERVIOUS AREA	(50%) 1,652 SF	MIN. PERVIOUS AREA	(70%) 2,771 SF
PROPOSED PERVIOUS SOIL AREA	2,203 SF	POOL AREA	796 SF
TOTAL	(67%) 2,203 SF	50% of pool area	(50%) 398 SF
		PROPOSED PERVIOUS SOIL AREA	2,375 SF
		TOTAL	(70%) 2,773 SF

60' TOTAL PUBLIC R/W

1 PERVIOUS

Scale: 3/32" = 1'-0"

Rev.	Date Rev.	Date

ZONING
FINAL DRB 21 - 0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

Consultant:
Name
Address
Address
Tel:
Email

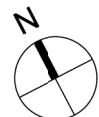
Consultant:
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Email

Landscape Architect
CLAD Landscape Architecture & Design
8020 NE 4th Ave., Suite 113
Miami, Florida 33138 USA
Tel: +1 (786) 536 6076

Architect of Record:
Kobi Karp Architecture and Interior Design, Inc.
2915 Biscayne Boulevard, Suite #200
Miami, Florida 33137 USA
Tel: +1 (305) 573 1818
Fax: +1 (305) 573 3766

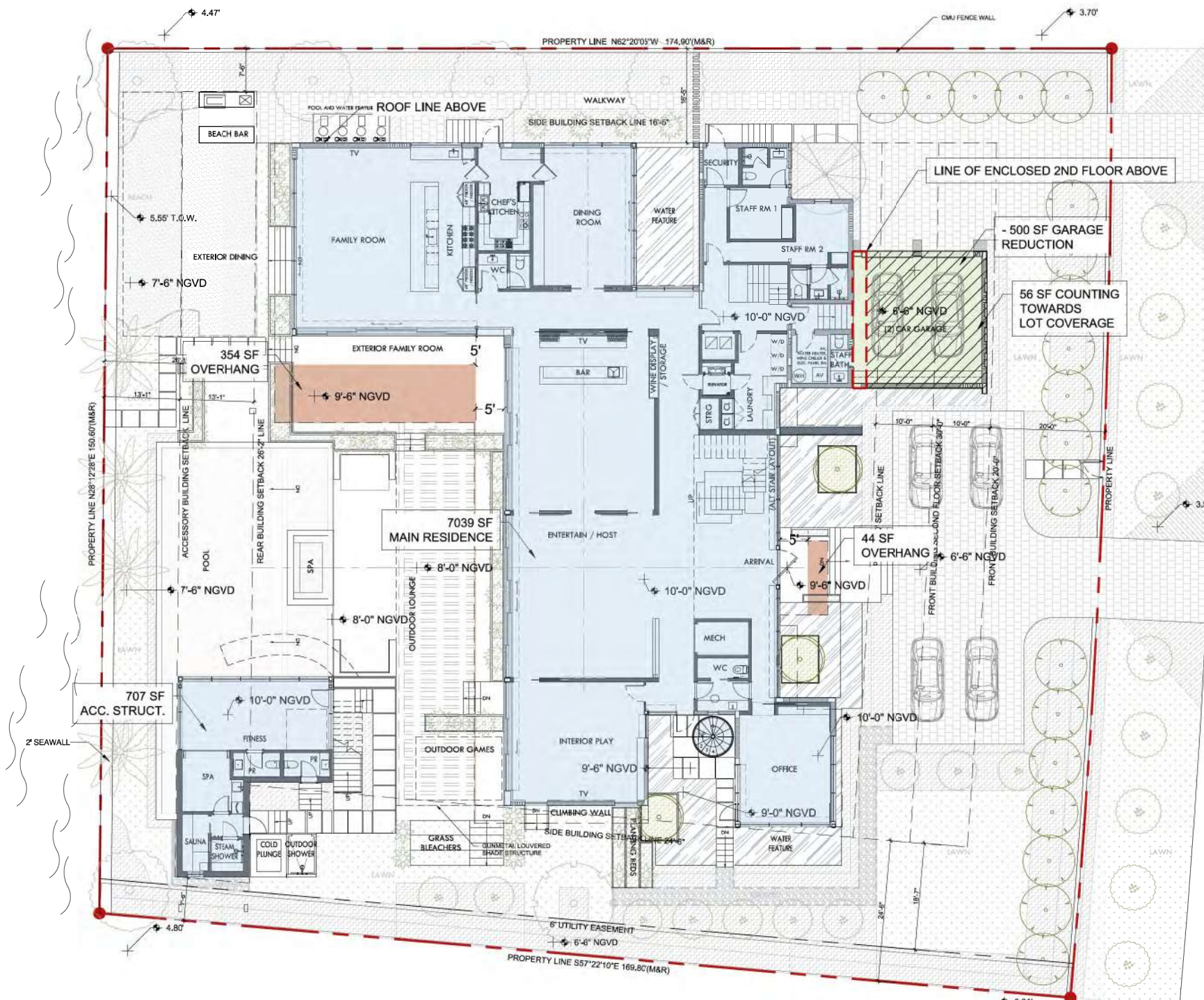
ZONING DIAGRAMS
Pervious SLIDE 3

Date	07/05/2021	Sheet No.	A1.01
Scale	AS MENTIONED		
Project	2030		



B I S C A Y N E B A Y

N O R T H B A Y R O A D



Legend

	RESIDENCE	7,746 SF
	OVERHANGS	398 SF
	GARAGE	556 SF
	Garage deduction	- 500 SF = 56 SF
TOTAL		(30%) 8,200 SF

1 LOT COVERAGE

Scale: 3/32"=1'-0"

Rev.	Date	Rev.	Date

ZONING
FINAL DRB 21 - 0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

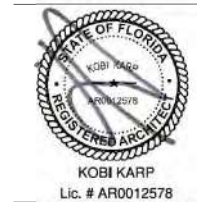
Owner:
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Landscape Architect
CLAD Landscape Architecture & Design
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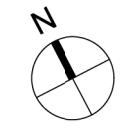
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ZONING DIAGRAMS

Lot Coverage **SLIDE 4**

Date	07/05/2021	Sheet No.	A1.02
Scale	AS MENTIONED		
Project	2030		

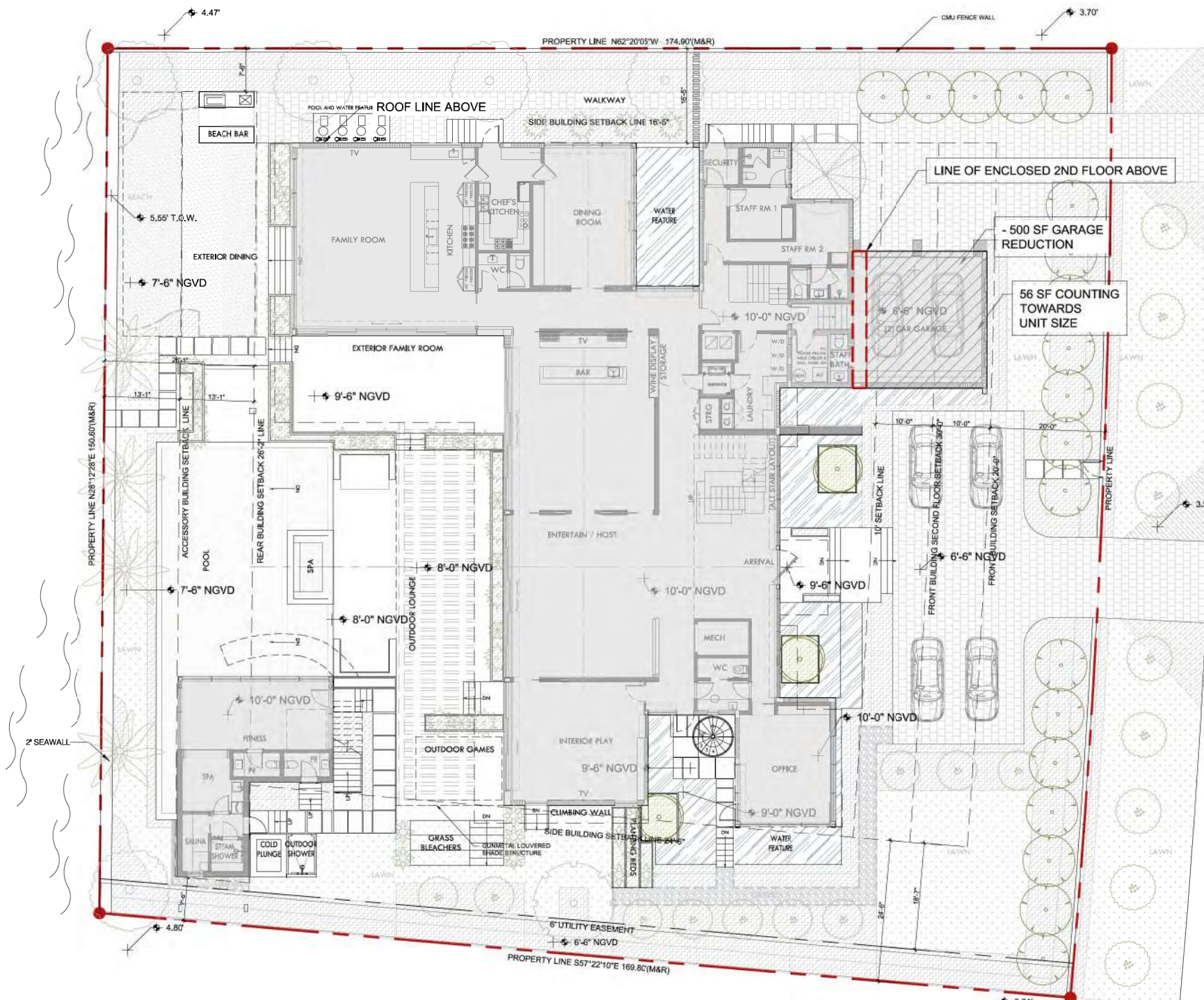


60' TOTAL PUBLIC R/W

WEST 52ND ST

B I S C A Y N E B A Y

N O R T H B A Y R O A D



Ground Floor

MAX UNIT SIZE	(50%) 13,667 SF
Ground Level	8,200 SF
Second Level	5,836 SF
Roof Level	90 SF
Credit	-500 SF
*for enclosed floor space used for off street parking	
TOTAL	(49.85%) 13,626 SF

1 GROUND FLOOR UNIT SIZE

Scale: 3/32" = 1'-0"

Rev.	Date	Rev.	Date

ZONING
FINAL DRB 21 - 0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

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PRIVATE RESIDENCE

Consultant:
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Consultant:
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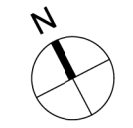
Landscape Architect
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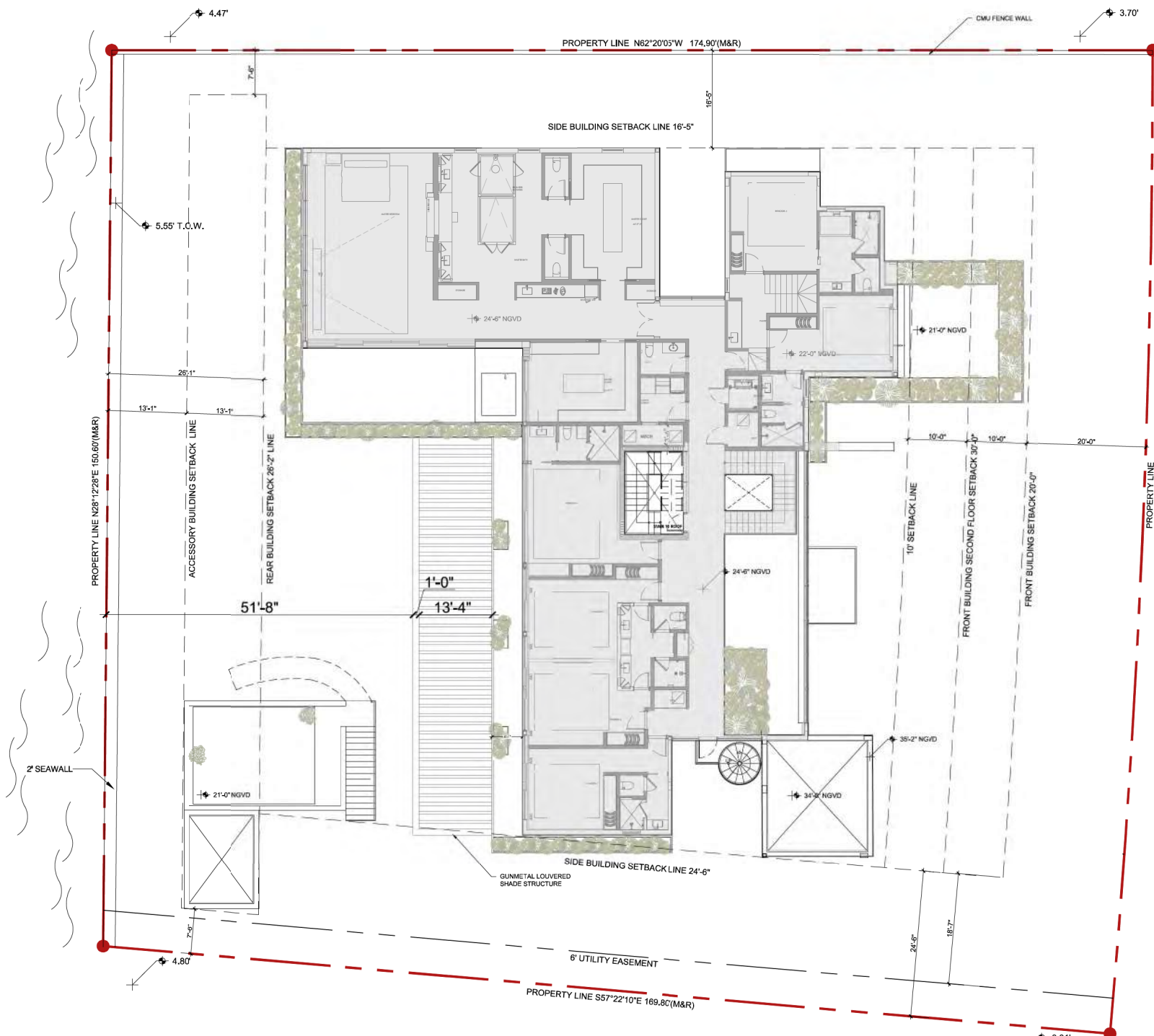
ZONING DIAGRAMS
Unit Size **SLIDE 5**

Date	07/05/2021	Sheet No.	A1.03
Scale	AS MENTIONED		
Project	2030		



B I S C A Y N E B A Y

N O R T H B A Y R O A D



Second Floor

MAX UNIT SIZE	(50%) 13,667 SF
Ground Level	8,200 SF
Second Level	5,836 SF
Roof Level	90 SF
Credit	-500 SF
*for enclosed floor space used for off street parking	
TOTAL	(49.85%) 13,626 SF

1 SECOND FLOOR UNIT SIZE

Scale: 3/32"=1'-0"

Rev.	Date	Rev.	Date

ZONING
FINAL DRB 21 - 0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

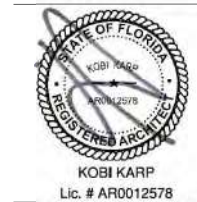
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PRIVATE RESIDENCE

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Consultant:
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Address
Tel:
Email

Landscape Architect
CLAD Landscape Architecture & Design
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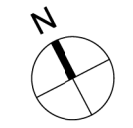
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ZONING DIAGRAMS
Unit Size **SLIDE 6**

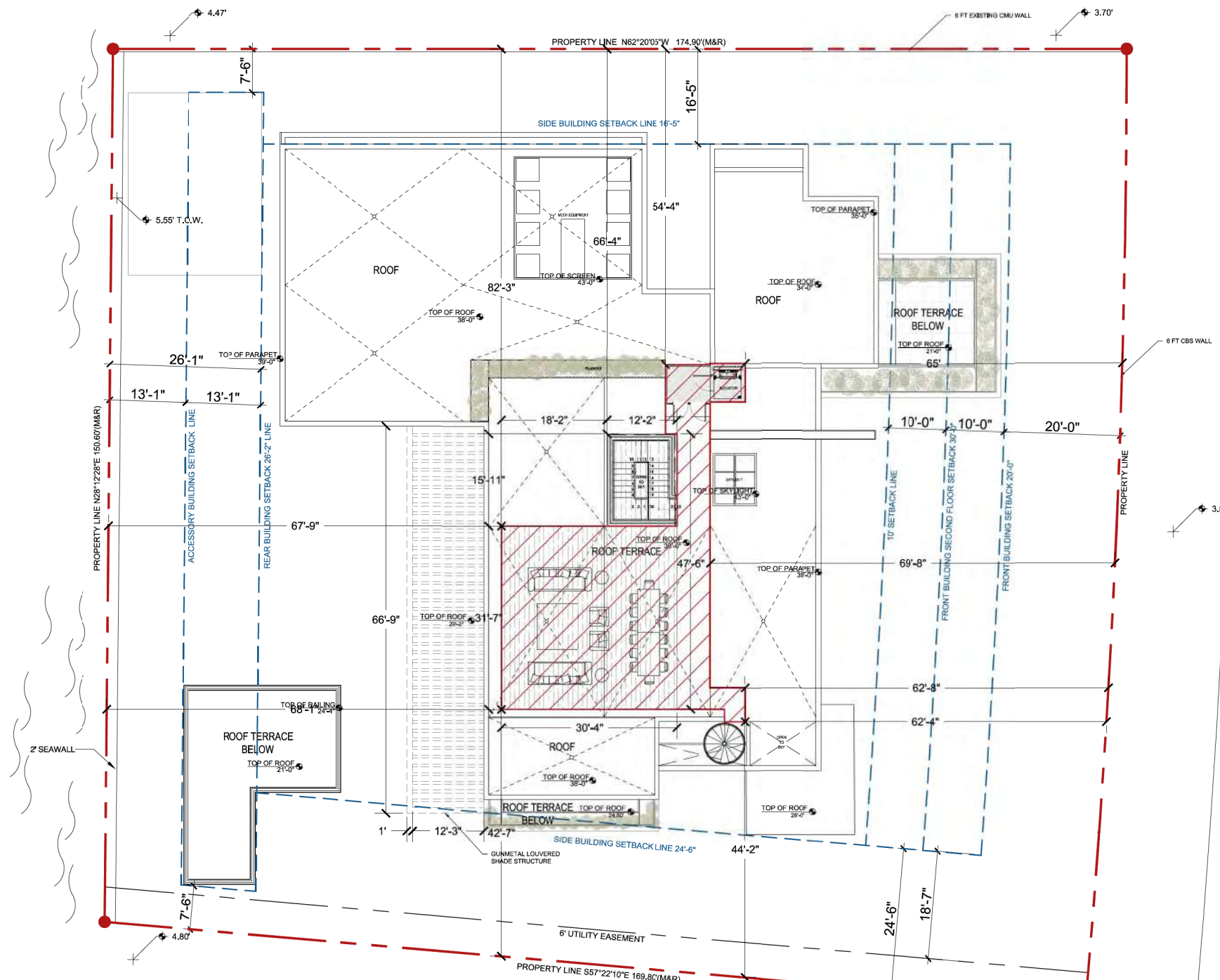
Date	07/05/2021	Sheet No.	A1.04
Scale	AS MENTIONED		
Project	2030		

60' TOTAL PUBLIC R/W



B I S C A Y N E B A Y

N O R T H B A Y R O A D



Roof Floor

MAX UNIT SIZE	(50%) 13,667 SF
Ground Level	8,200 SF
Second Level	5,836 SF
Roof Level	90 SF
Credit	-500 SF
TOTAL	(49.85%) 13,626 SF

MAX ROOF DECK ALLOWED	1,459 SF
* 25% Of second floor sq.	
Second Level	5,836 SF
Roof Level	1,149 SF (19.69%)
MAX ROOF SHADE ALLOWED	1,167 SF
* 20% Of second floor sq.	
Second Level	5,836 SF
Roof Shade Structure	984 SF (16.87%)

1 ROOF LEVEL UNIT SIZE

Scale: 3/32"=1'-0"

Rev.	Date Rev.	Date

ZONING
FINAL DRB 21 - 0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

Consultant:
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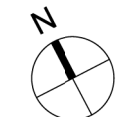
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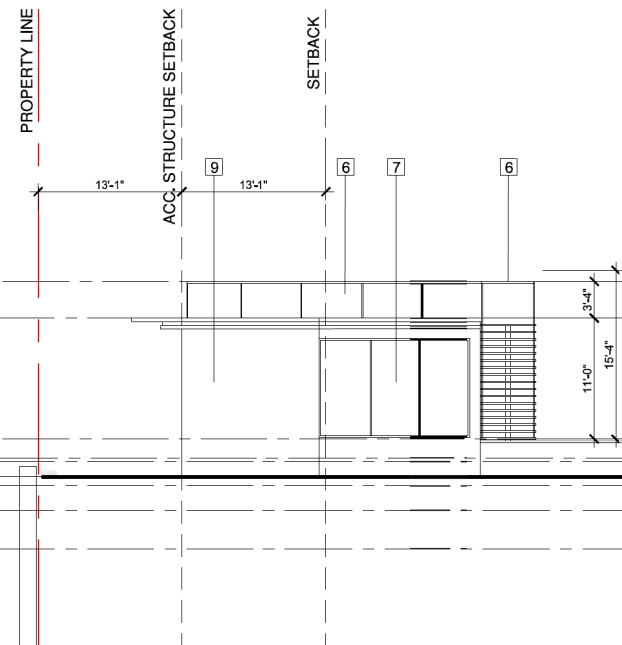


ZONING DIAGRAMS
Unit Size **SLIDE 7**

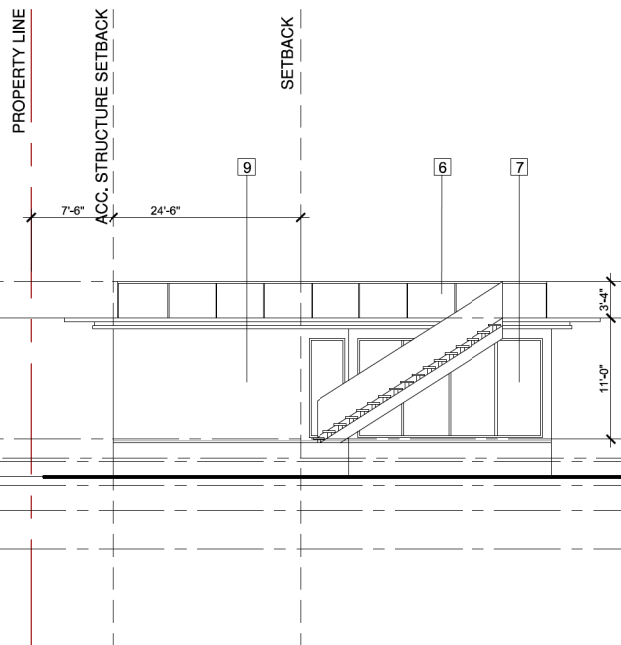
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Project	2030		

60' TOTAL PUBLIC R/W

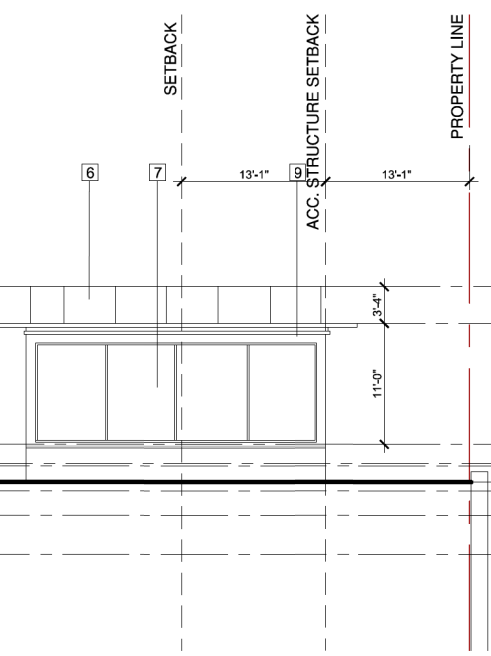




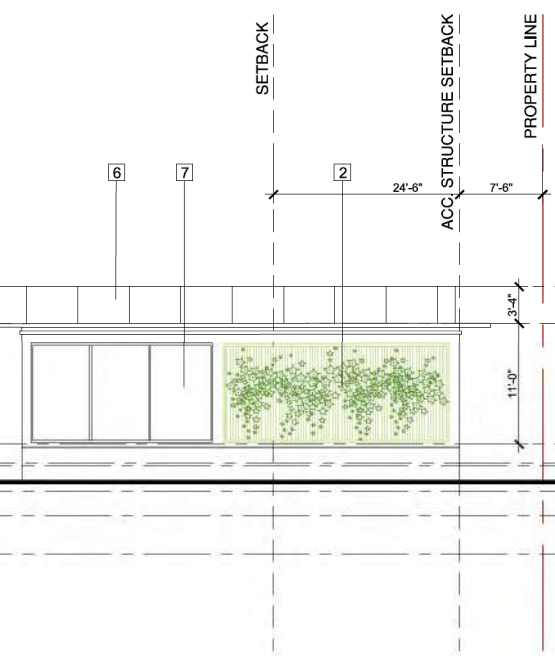
1 ACCESSORY ELEVATION - SOUTH
Scale: 1/8"=1'-0"



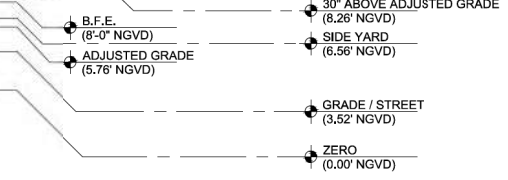
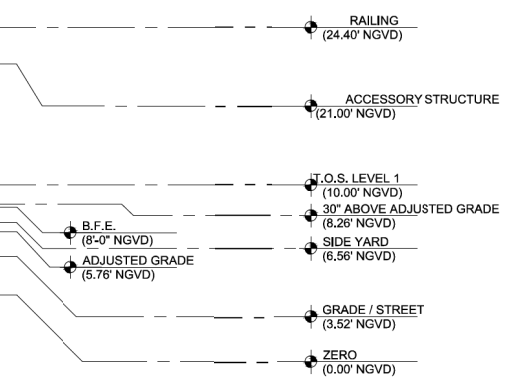
2 ACCESSORY ELEVATION - EAST
Scale: 1/8"=1'-0"



3 ACCESSORY ELEVATION - NORTH
Scale: 1/8"=1'-0"



4 ACCESSORY ELEVATION - SOUTH
Scale: 1/8"=1'-0"



- 
 1. PLANTERS
- 
 2. GREENWALL
- 
 3. ARCHITECTURAL LOUVERS
- 
 4. TRAVERTINE
- 
 5. WOOD SOFFIT
- 
 6. BLACK METAL RAILING W/ WOOD CAP
- 
 7. GUNMETAL FRAME GLAZING SYSTEM
- 
 8. EXPOSED BOARD FORM CONCRETE
- 
 9. PAINTED SMOOTH STUCCO WHITE

Rev.	Date	Rev.	Date	Rev.	Date

ZONING
FINAL DRB 21-0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

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ELEVATION

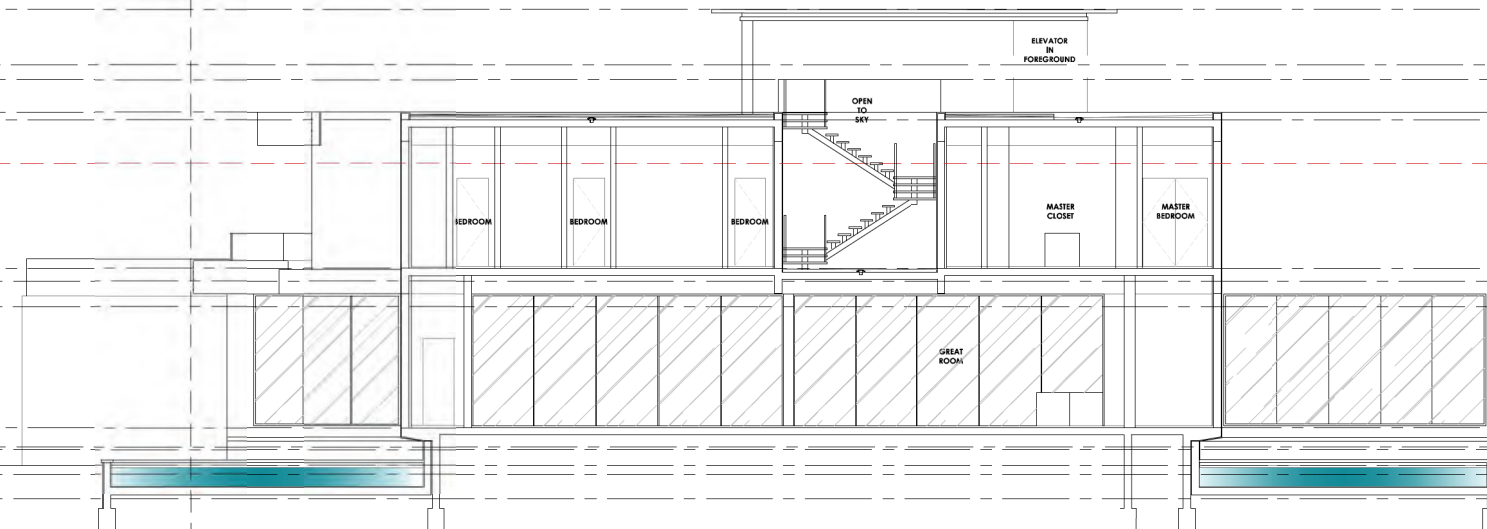
Date	07/05/2021	Sheet No.	A4.03
Scale	AS MENTIONED		
Project	2030		

PROPERTY LINE

SETBACK

SETBACK

PROPERTY LINE



- BULKHEAD (48.00' NGVD)
- SKYLIGHT (43.0' NGVD)
- RAILING (41.8' NGVD)
- PARAPET (38.8' NGVD)
- T.O.S. ROOF (38.00' NGVD)
- T.O.S. LEVEL 2 (24.50' NGVD)
- SHADE STRUCTURE (23.40' NGVD)
- ACCESSORY STRUCTURE (21.00' NGVD)
- T.O.S. LEVEL 1 (10.00' NGVD)
- 30" ABOVE ADJUSTED GRADE (8.26' NGVD)
- SIDE YARD (6.56' NGVD)
- B.F.E. (8'-0" NGVD)
- ADJUSTED GRADE (5.76' NGVD)
- GRADE / STREET (3.52' NGVD)
- ZERO (0.00' NGVD)

1 SECTIONS

Scale: 1/8"=1'-0"

PROPERTY LINE

SETBACK

SETBACK

SETBACK

SETBACK

SETBACK

PROPERTY LINE



- BULKHEAD (48.00' NGVD)
- SKYLIGHT (43.0' NGVD)
- RAILING (41.8' NGVD)
- PARAPET (38.8' NGVD)
- T.O.S. ROOF (38.00' NGVD)
- T.O.S. LEVEL 2 (24.50' NGVD)
- SHADE STRUCTURE (23.40' NGVD)
- ACCESSORY STRUCTURE (21.00' NGVD)
- T.O.S. LEVEL 1 (10.00' NGVD)
- 30" ABOVE ADJUSTED GRADE (8.26' NGVD)
- SIDE YARD (6.56' NGVD)
- B.F.E. (8'-0" NGVD)
- ADJUSTED GRADE (5.76' NGVD)
- GRADE / STREET (3.52' NGVD)
- ZERO (0.00' NGVD)

2 SECTIONS

Scale: 1/8"=1'-0"

Rev.	Date	Rev.	Date

ZONING
FINAL DRB 21-0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
MIAMI BEACH, FLORIDA 33140

Owner:
PRIVATE RESIDENCE

Consultant:
Name
Address
Address
Tel:
Email

Consultant:
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Landscape Architect:
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SECTIONS

Date	07/05/2021	Sheet No.	A5.01
Scale	AS MENTIONED		
Project	2030		

PROPERTY LINE

SETBACK

SETBACK

SETBACK

SETBACK

SETBACK

PROPERTY LINE

PROPERTY LINE

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SETBACK

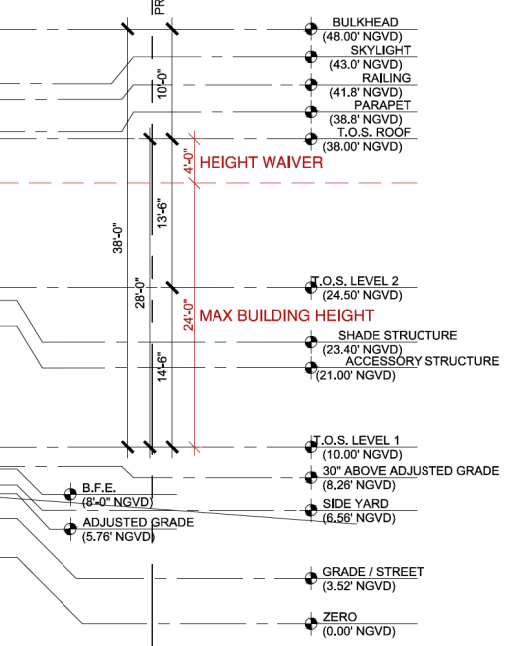
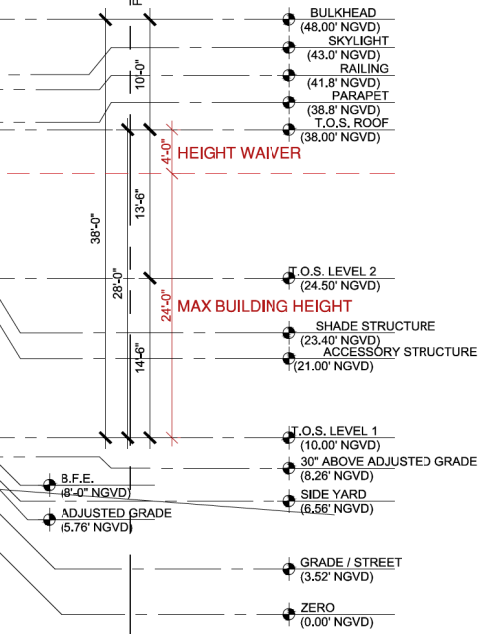
PROPERTY LINE

3 SECTIONS

Scale: 1/8"=1'-0"

4 SECTIONS

Scale: 1/8"=1'-0"



Rev.	Date Rev.	Date

ZONING

FINAL DRB 21-0685 SUBMITTAL

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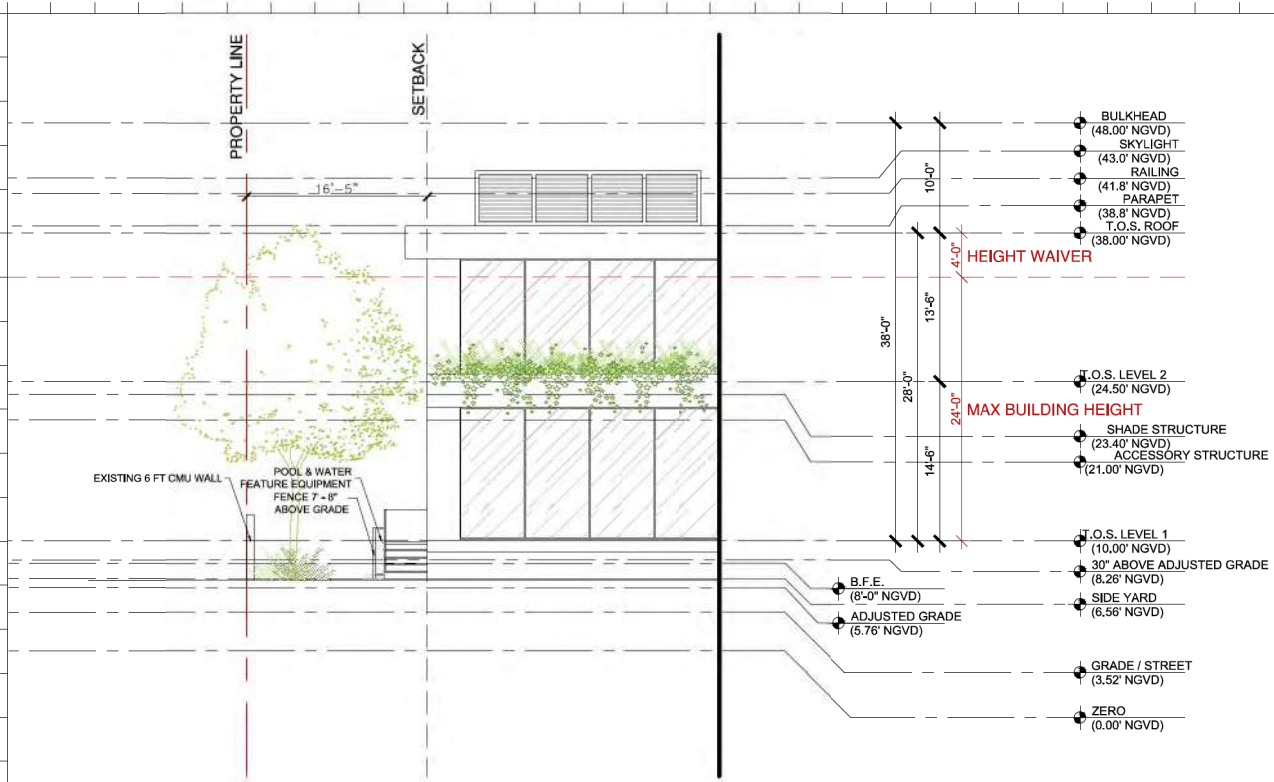
Landscape Architect:
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 8020 NE 4th Ave., Suite 113
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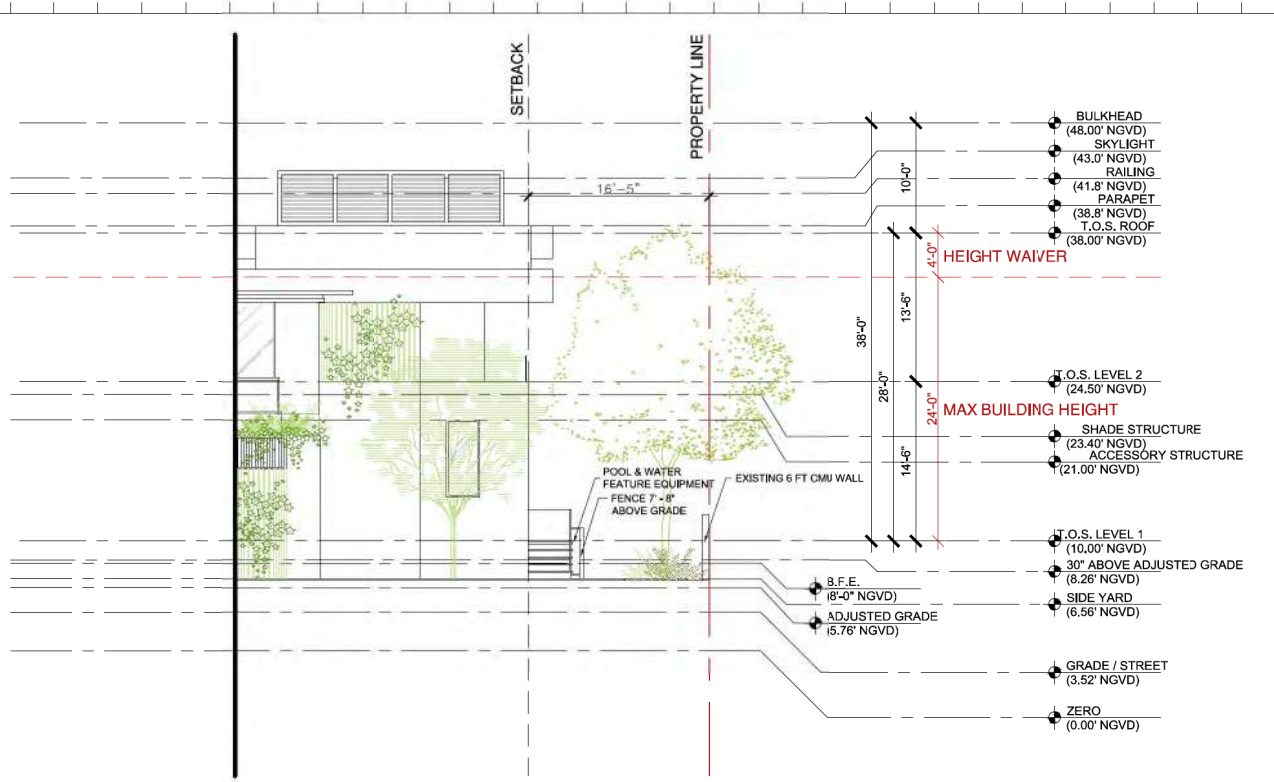
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Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A5.02
Project	2030	



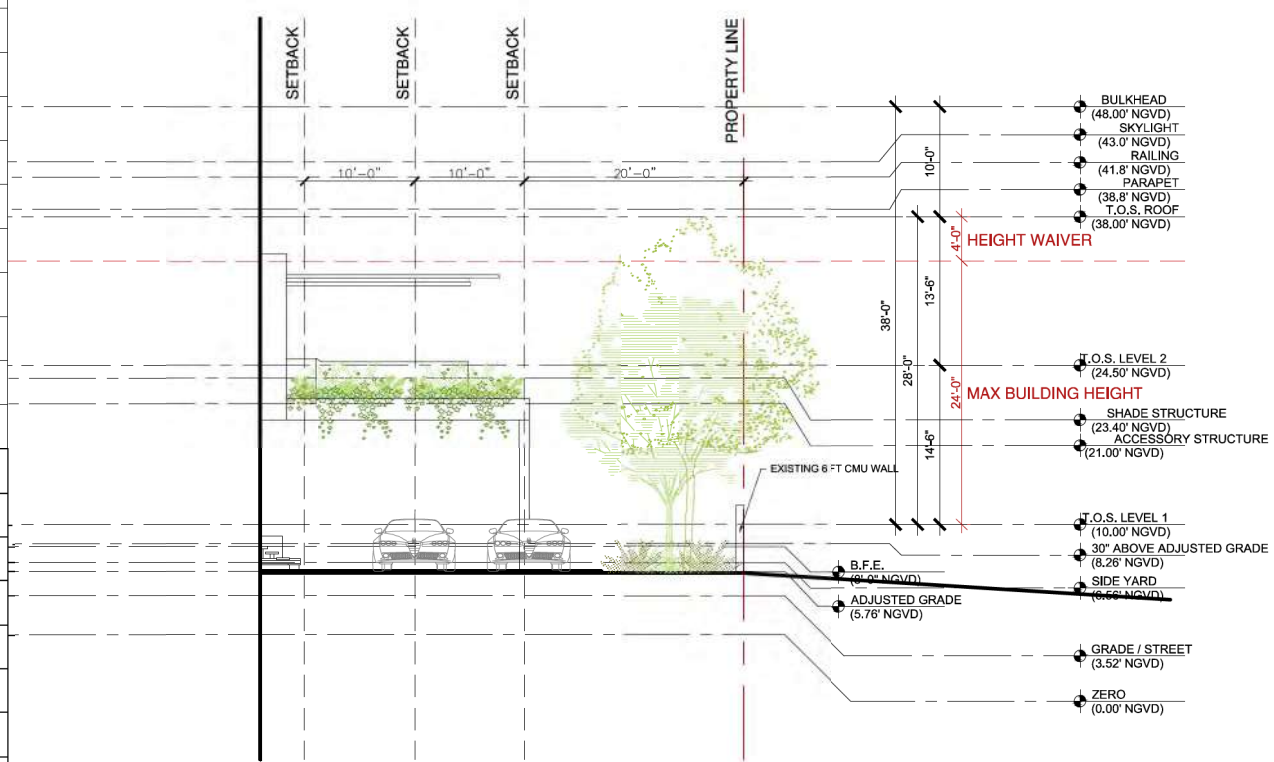
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Scale: 1/8"=1'-0"



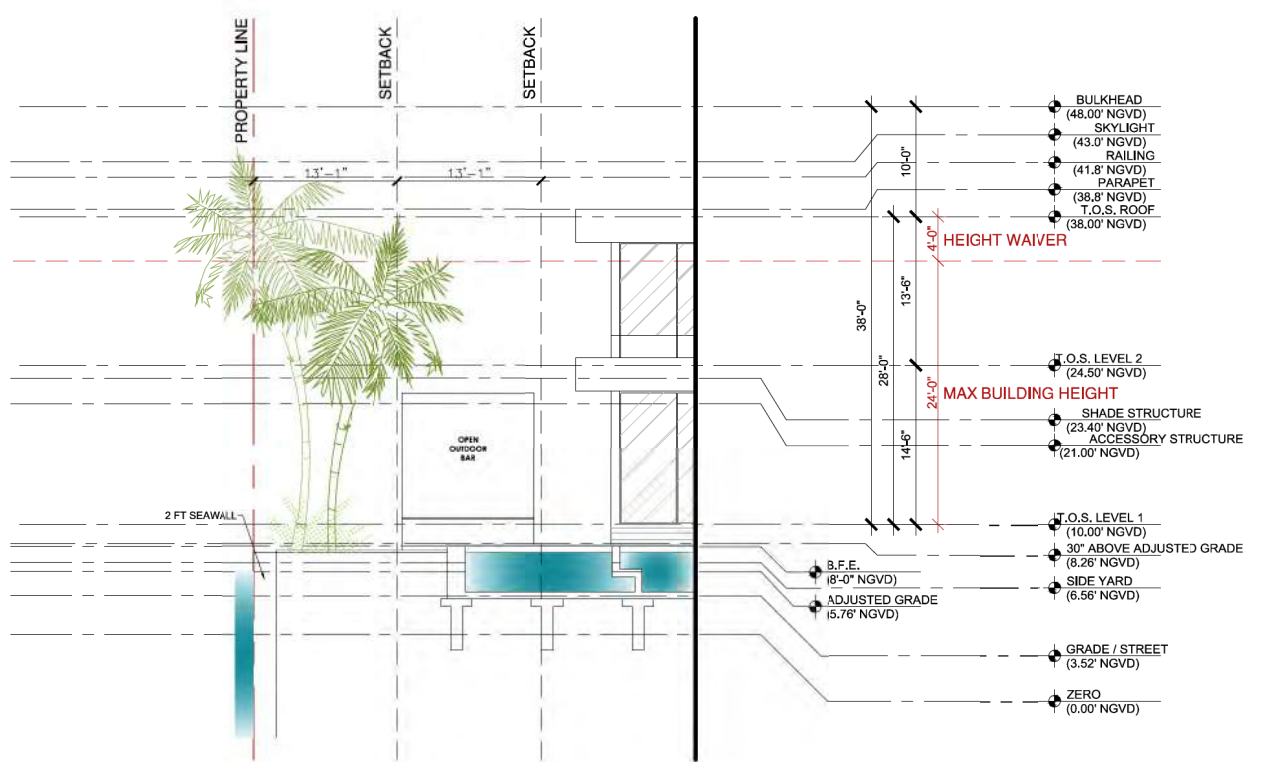
7 NE SIDE YARD SECTION

Scale: 1/8"=1'-0"



8 E SIDE YARD SECTION

Scale: 1/8"=1'-0"



9 W SIDE YARD SECTION

Scale: 1/8"=1'-0"

Rev.	Date Rev.	Date

ZONING
FINAL DRB 21-0685 SUBMITTAL

RESIDENCE
5212 NORTH BAY ROAD
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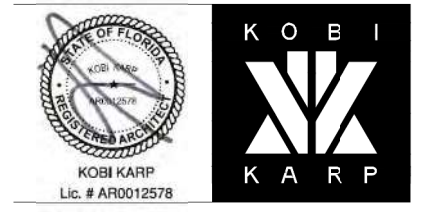
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Landscape Architect:
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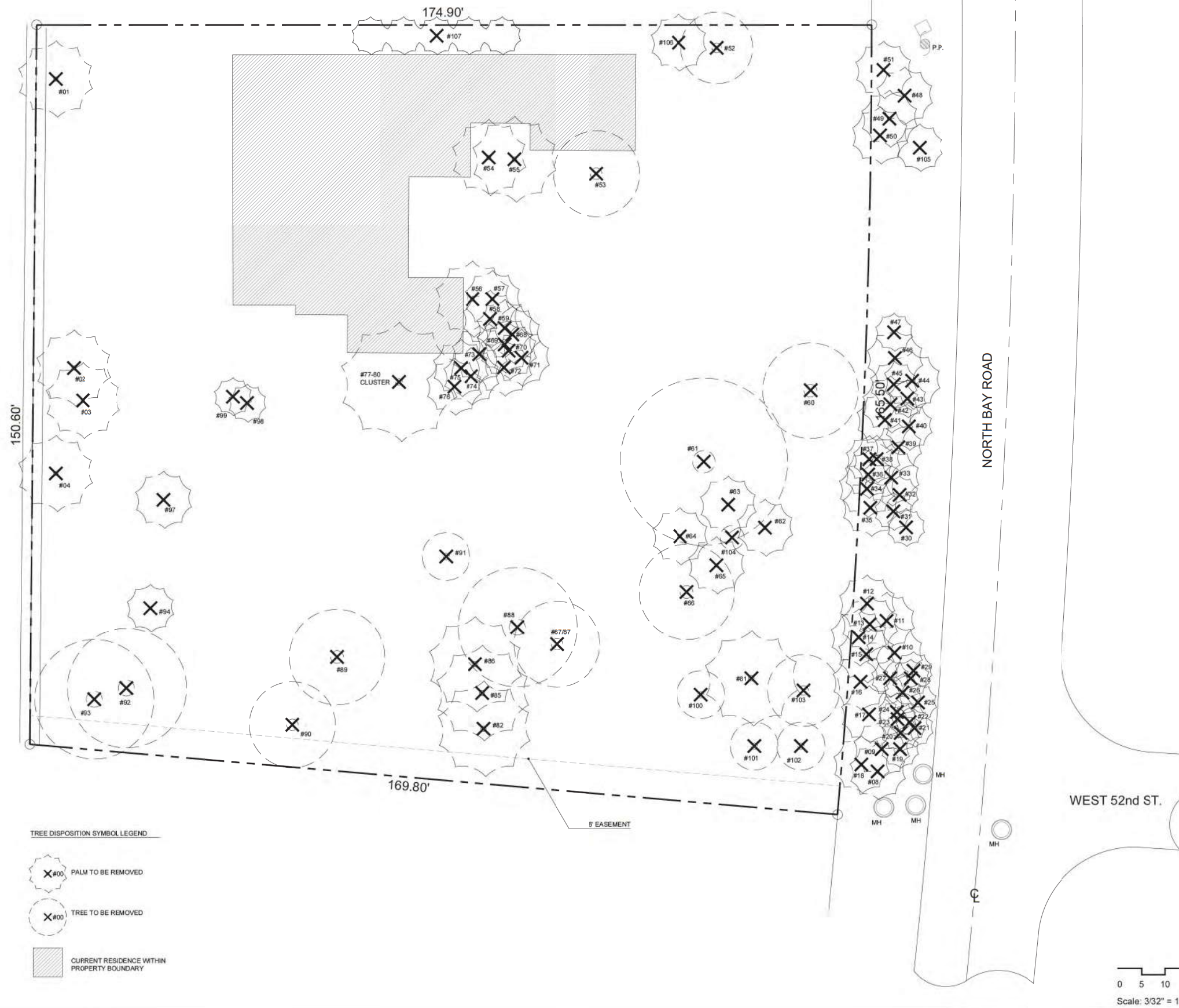
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SECTIONS

Date	07/05/2021	Sheet No.
Scale	AS MENTIONED	A5.04
Project	2030	

BISCAYNE BAY

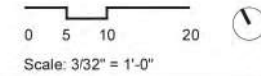


TREE DISPOSITION SYMBOL LEGEND

X#00 PALM TO BE REMOVED

X#00 TREE TO BE REMOVED

CURRENT RESIDENCE WITHIN PROPERTY BOUNDARY



5212 NORTH BAY ROAD RESIDENCE MIAMI BEACH, FL

SITE ADDRESS:

5212 NORTH BAY ROAD MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD 8020 NE 4TH AVE, STUDIO 113 MIAMI, FL 33138 (786) 536-6075 INFO@CLADLANDSCAPE.COM

SEAL:

Digitally signed by Carolina Monteiro Date: 2021.07.01 13:22:21 -04'00' CAROLINA MONTEIRO DA SILVA REGISTERED LANDSCAPE ARCHITECT LA6667311

DRAWING TITLE:

TREE DISPOSITION PLAN

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REVISIONS:

ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

SCALE: 1/32" = 1'-0"



PROJ. N°: 2116 SHEET N°:

L-1

SITE ADDRESS:

5212 NORTH BAY ROAD
MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
MIAMI, FL 33138
(786) 536-6075
INFO@CLADLANDSCAPE.COM

SEAL:

Digitally signed
by Carolina
Monteiro
Date: 2021.07.01
13:24:22 -04'00'

CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

**TREE MITIGATION
PLAN**

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REVISIONS:

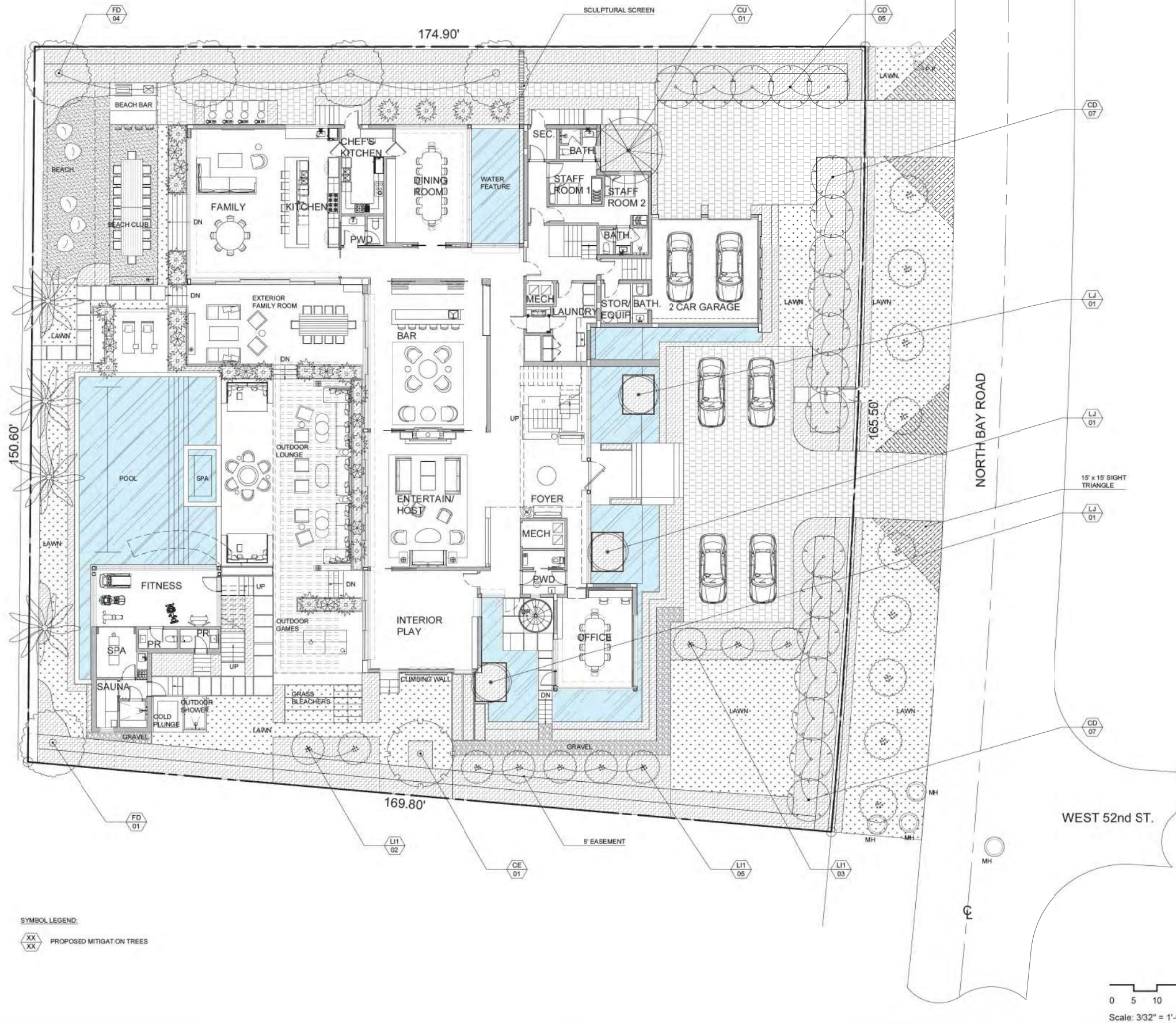
ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

SCALE:
1/32" = 1'-0"

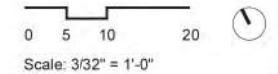
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2116
SHEET N°:

L-1.2

BISCAYNE BAY

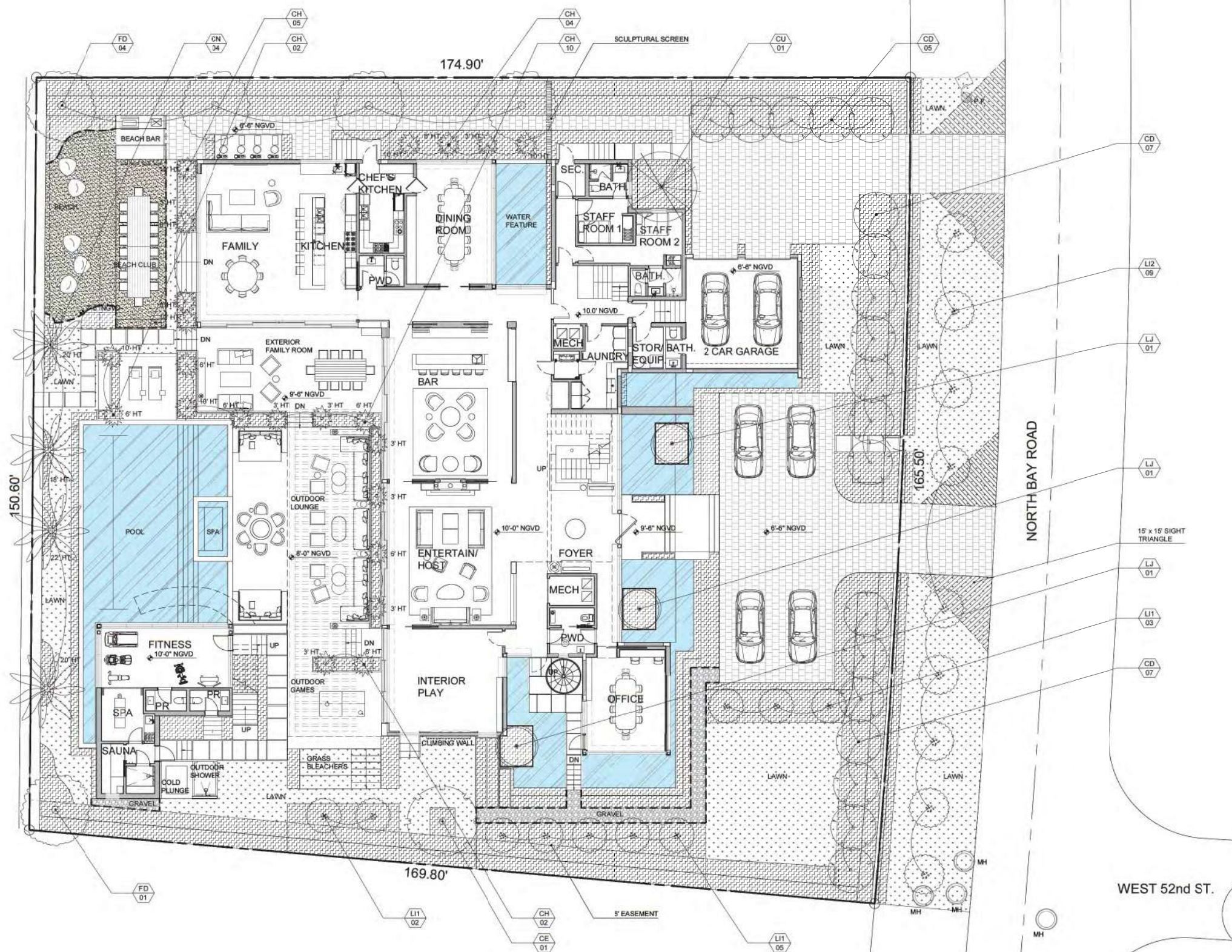


SYMBOL LEGEND:
XX
XX PROPOSED MITIGATION TREES



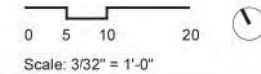
ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

BISCAYNE BAY



SYMBOL LEGEND:

XX
XX PROPOSED TREES/PALMS



SITE ADDRESS:

5212 NORTH BAY ROAD
MIAMI BEACH, FL

LANDSCAPE ARCHITECT:

CLAD
8020 NE 4TH AVE, STUDIO 113
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(786) 536-6075
INFO@CLADLANDSCAPE.COM

SEAL:

Digitally signed
by Carolina
Monteiro
Date: 2021.07.01
13:25:15 -04'00'
CAROLINA MONTEIRO DA SILVA
REGISTERED LANDSCAPE ARCHITECT
LA6667311

DRAWING TITLE:

**UNDERSTORY PLANTING
PLAN**

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REVISIONS:

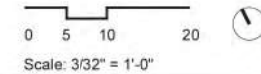
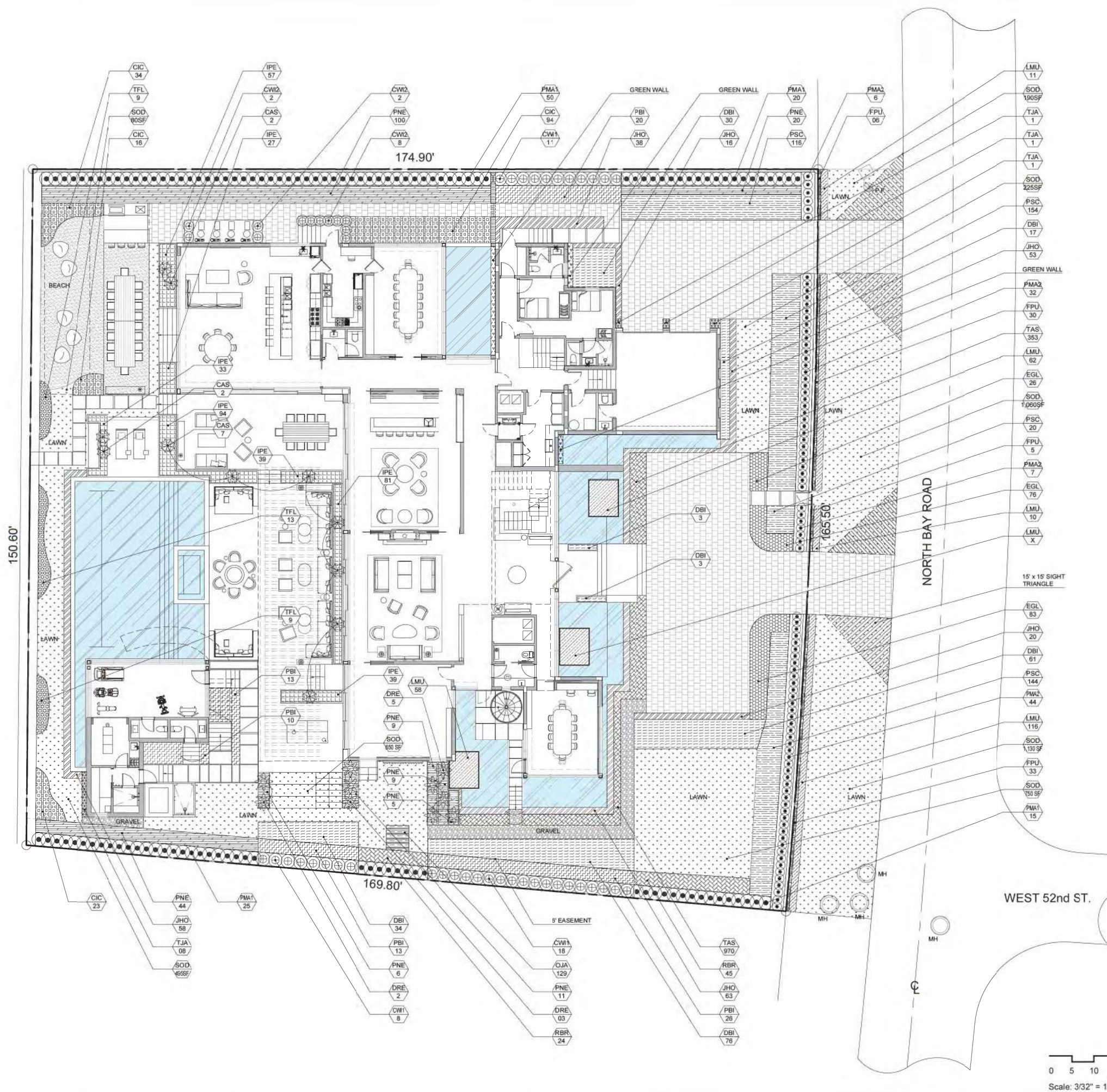
ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21

SCALE:
1/32" = 1'-0"

PROJ. N°:
2116
SHEET N°:

L-5.1

BISCAYNE BAY



ISSUE	DATE
DRB 1ST SUBMITTAL	06/14/21
DRB FINAL SUBMITTAL	07/05/21



LANDSCAPE SCHEDULE - CANOPY SITE				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
STREET TREES				
LIZ	9	Lagerstroemia indica WHITE CRAPE MYRTLE	14' HT, 4" CT, 8" SP, MULTI TRUNK 200 G	N
TREES				
CU	1	Coccoloba uvifera SEAGRAPE	18-20' HT, 14" SP, CHARACTER, MULTI TRUNK FG	Y
CE	1	Conocarpus erectus GREEN BUTTWOOD	18-20' HT, 14" SP, COLLECTED SPECIES, SPECIMEN FG	Y
CD	19	Coccoloba diversifolia PIGEON PLUM	18' HT, 9" SP 200 G	Y
LJ	3	Ligustrum japonicum JAPANESE PRIVET	12' HT, 8" SP, MULTI TRUNK 100 G	N
FD	5	Filicium decipiens JAPANESE FERN TREE	18' - 20' HT, 14" SP, STANDARD FG	N
LH	10	Lagerstroemia indica WHITE CRAPE MYRTLE	12' HT, 7" SP, MULTI TRUNK 100 G	N
PALMS				
CN	4	Cocos nucifera COCONUT PALM	CHARACTER CURVED, COLLECTED FG, (1) 18' CT, (2) 20' CT, (1) 22' CT	N
CH	23	Chamaerops humilis EUROPEAN FAN PALM	(8) 2-3' CT, (6) 4-6' CT, (6) 10' HT, MULTI TRUNK 7G, 45G, FG	N

LANDSCAPE SCHEDULE - UNDERSTORY SITE				
SYMBOL	QTY	PROPOSED MATERIAL	DESCRIPTION AND NOTES	NATIVE
LARGE SHRUBS				
PMA1	110	Podocarpus macrophyllus JAPANESE YEW	8' HT, 3" SP, 24" O.C 25G	N
PMA2	89	Podocarpus macrophyllus JAPANESE YEW	6' HT, 2" SP, 18" O.C 15G	N
CW1	37	Canelia winterana WILD CINNAMON	8' HT, 3" SP, 30" O.C 25G	Y
CW2	12	Canelia winterana WILD CINNAMON	6' HT, 2.5" SP, 24" O.C 15G	Y
SHRUBS				
PBI	82	Philodendron bipinnatifidum 'Hope' PHILODENDRON HOPE	3' HT, 30" O.C 7G	N
TFL	31	Tripsacum floridana DWARF FAKAHATCHEE GRASS	24" HT MIN., 24" O.C 3G	Y
PNE	204	Psychotria nervosa 'Little Psycho' DWARF WILD COFFEE	24" HT, 24" O.C 7G	Y
DBI	224	Dietes bicolor AFRICAN IRIS	24" HT, 20" O.C 3G	N
CIC	167	Chrysobalanus icaco 'Horizontal' HORIZONTAL COCOPLUM	18-24" HT, 18" O.C 7G	Y
RBR	69	Ruellia brittoniana 'Compacta Katie White' WHITE MEXICAN BLUEBELL	18-24" HT, 13" O.C 3G	N
PSC	434	Phymatosorus scolopendria WART FERN	18" HT, 18" O.C 3G	N
EGL	185	Evolvulus glomeratus BLUE DAZE	18" HT, 15" O.C 3G	N
ACCENTS				
DRE	10	Dracaena marginata MADAGASCAR DRAGON TREE	6-7' HT 7G	N
CAS	11	Crinum asiaticum CRINUM LILY	18" HT 7G	N
GROUNDCOVERS				
LMU	319	Liriope muscari 'Super Blue' LILYTURF	12" HT, 12" O.C 1G	N
JHO	248	Juniperus horizontalis JUNIPER	8-12" HT, 18" O.C 5G	N
TAS	1323	Trachelospermum asiaticum ASIATIC JASMINE	4" HT, 6" O.C 1G	N
QJA	129	Ophiopogon japonicus MONDO GRASS	4" HT, 6" O.C 1G	N
VINES				
TJA	11	Trachelospermum jasminoides STAR JASMINE	6-8' HT, 18" O.C, ON TRELIS 7G	N
IFE	370	Ipomoea pes-caprae RAILROAD VINE	12" HT, 12" O.C 3G	Y
FPU	74	Ficus pumila CREEPING FIG	6" HT, 24" O.C 1G	N
SOD				
SOD	4,580 SF	Paspalum vaginatum SEASHORE PASPALUM	STAGGERED AND BUTTED JOINTS	N
OTHERS				
		Mixed species GREEN WALL	BY VERDE VERTICAL	

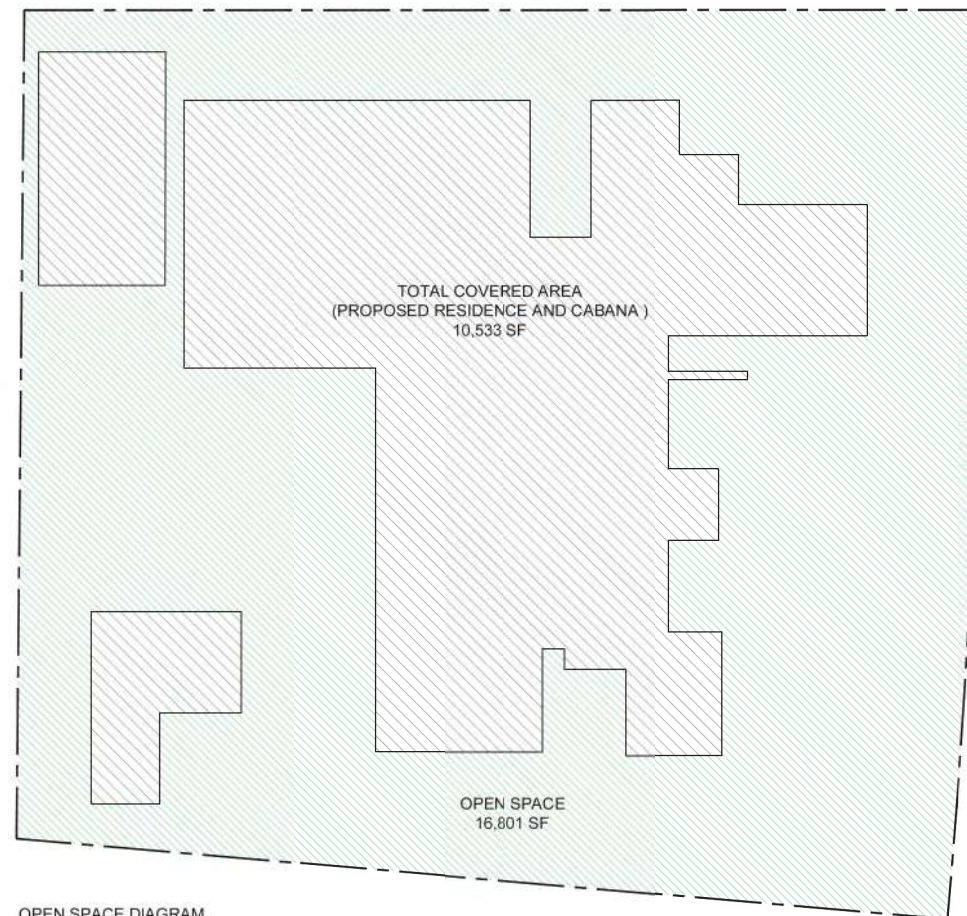
CITY OF MIAMI BEACH
LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS
Zoning District RS-3 Lot Area 27,334 SF Acres .63

OPEN SPACE	REQUIRED/ ALLOWED	PROVIDED
A. Square feet of required Open Space as indicated on site plan: Lot Area = <u>27,334</u> s.f. x <u>50</u> % = <u>13,667</u> s.f.	13,667	16,801
B. Square feet of parking lot open space required as indicated on site Number of parking spaces <u>N/A</u> x 10 s.f. parking space =	N/A	N/A
C. Total square feet of landscaped open space required: A+B=	13,667	16,801
LAWN AREA CALCULATION		
A. Square feet of landscaped open space required	13,667	16,801
B. Maximum lawn area (sod) permitted= <u>50</u> % x <u>13,667</u> s.f.	6,834	2,200
TREES		
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= <u>27</u> trees x (0) number of existing trees=	27	39
B. % Natives required: Number of trees provided x 30% =	9	21
C. % Low maintenance / drought and salt tolerant required: Number of trees provided x 50%=	14	34
D. Street Trees (maximum average spacing of 20' o.c.) <u> </u> linear feet along street divided by 20'=	N/A	N/A
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): <u>365.5'</u> linear feet along street divided by 20'=	9	9

SHRUBS	REQUIRED/ ALLOWED	PROVIDED
A. Number of shrubs required: Sum of lot and street trees required x 12=	432	811
B. % Native shrubs required: Number of shrubs provided x 50%=	406	402
LARGE SHRUBS OR SMALL TREES		
A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	44	49
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	25	49

SPECIES DIVERSITY
Required number of tree species: 6
Provided proposed tree species: 6



OPEN SPACE DIAGRAM

OPEN SPACE AREA:

LOT AREA: 27,334 SF
OPEN SPACE REQUIRED: 13,667 SF (LOT AREA X 50%)
OPEN SPACE PROVIDED: 16,801 SF