

4136 ALTON ROAD

MIAMI BEACH, FLORIDA

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LANDSCAPE ARCHITECT:



**GEOMANTIC
DESIGNS, INC.**
LANDSCAPE ARCHITECTURE

ROBERT PARSLEY A.S.L.A.

6800 S.W. 81 STREET MIAMI, FL. 33143
PHONE: 305-665-9088 FAX: 305-668-8426

OWNER / DEVELOPER:

SUNNY BAY INVESTORS, LLC
1111 KANE CONCOURSE, SUITE 217
BAY HARBOR ISLANDS, FLORIDA 33154

ARCHITECT:

**FRANKEL BENAYOUN
ARCHITECTS INC.**
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001494
MARKUS A. FRANKEL
IFHAT BENAYOUN FISHMAN. LICENSE NO. AR0007143
AR0017273

1166 KANE CONCOURSE STE. 200, BAY HARBOR ISLANDS, FL 33154
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E-MAIL: INFO@FRANKELBENAYOUN.COM

FINAL DRB SUBMITTAL
JULY 5, 2021

FIRST DRB SUBMITTAL
JUNE 14, 2021

**Ifhat
Benayoun
Fishman**

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Fishman
Date: 2021.07.02
10:24:53 -04'00'

MIAMI BEACH					
Planning Department, 1700 Convention Center Drive					
Miami Beach, Florida 33139, www.miamibeachfl.gov					
305.673.7550					
SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	4136 ALTON ROAD			
2	Folio number(s):	02-3222-011-1550			
3	Board and file numbers :	DRB 21-0656			
4	Year built:		Zoning District:	RS 4 SINGLE FAMILY	
5	Based Flood Elevation:	8.0 NGVD	Grade value in NGVD: 3.36' NGVD		
6	Adjusted grade (Flood+Grade/2):	5.68' NGVD	Free board: 1' = 9'-0" NGVD		
7	Lot Area:				6,000 SF
8	Lot width:	60'	Lot Depth:		100'
9	Max Lot Coverage SF and %:	1,800 SF/30%	Proposed Lot Coverage SF and %:		1,685 SF/28 %
10	Existing Lot Coverage SF and %:	NA	Lot coverage deducted (garage-storage) SF:		NA
11	Front Yard Open Space SF and %:	1,800 SF/898 SF = 50%	Rear Yard Open Space SF and %:		1,183 SF/892 SF=75%
12	Max Unit Size SF and %:	3,000 SF	Proposed Unit Size SF and %:		2,991 SF
13	Existing First Floor Unit Size:	NA	Proposed First Floor Unit Size:		1,450 SF
14	Existing Second Floor Unit Size	NA	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)		1,541 SF
15			Proposed Second Floor Unit Size SF and % :		
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		NA
		Required	Existing	Proposed	Deficiencies
17	Height:	24'	NA	24'	0
18	Setbacks:				
19	Front First level:	30'-0"	NA	30'-0"	0
20	Front Second level:	30'-0"	NA	30'-0	0
21	Side 1:	7'-6"	NA	7'-6"	0
22	Side 2 or (facing street):	7'-6"	NA	7'-6"	0
23	Rear:	20'-0"	NA	20'-0"	0
	Accessory Structure Side 1: CU	5'-0"	NA	5'-0"	0
24	Accessory Structure Side 2 or (facing street) :POOL EQUIPMENT	5'-0"	NA	5'-0"	0
25	Accessory Structure Rear: POOL	6'-0"	NA	6'-0"	0
26	Sum of Side yard :	15'-0"	NA	15'-0"	0
27	Located within a Local Historic District?		NO		
28	Designated as an individual Historic Single Family Residence Site?		NO		
29	Determined to be Architecturally Significant?		NO		
Notes:					
If not applicable write N/A					
All other data information should be presented like the above format					
NOTE THAT THE SITE IS CURRENTLY VACANT					

SINGLE FAMILY RESIDENTIAL - ZONING CHECK LIST		
CHECK LIST of required Items	Included	PAGE # (s)
Survey (signed and sealed in the last 6 months)	Yes	Survey
Final Recorded Order to be delivered to our department	N/A	
ZONING DATA SHEET	Yes	A-0.01
Site plan showing:		
Required setbacks with dimensions	Yes	A-1.01
Accessory structures with setbacks with dimensions	Yes	A-1.01
Mechanical/pool equipment setbacks with dimensions	Yes	A-1.01
Projections into required setbacks with dimensions	Yes	A-1.01 - A-1.03
Driveways, walkways, decks with setbacks and dimensions	Yes	A-1.01
Swimming pool, decks with setbacks and dimensions	Yes	A-1.01
Docks with setbacks and dimensions	NA	
Elevations showing dimensions from flood to maximum height	Yes	A-2.01 - A-2.02
Section showing dimensions from flood to maximum height	Yes	A-3.01
Shaded diagram for existing and or proposed lot coverage	Yes	A-0.07
Shaded diagrams for existing and or proposed unit size (all levels)	Yes	A-0.08 - A-0.10
Shaded diagram for required front yard open space	Yes	A-0.06
Shaded diagram for required rear yard open space	Yes	A-0.06
Fences height	Yes	A-2.01 - A-2.03
Landscape plan	Yes	LD1, L0, L1
Irrigation plan	No	
Notes:		
If not applicable write N/A		
This check list is only a part of all Items and plans that are required for permit approval		
A complete set of plans shall be submitted for permit approval		
Upon review of the submitted material it may be deemed that further information be required		

FRANKEL BENAYOUN
ARCHITECTS INC
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA--C001494

MARKUS A. FRANKEL
LICENSE NO. AR0007143
IFHAT BENAYOUN FISHMAN
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4136 ALTON ROAD
NEW SINGLE FAMILY
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MIAMI BEACH, FLORIDA

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DRAWING TITLE
PROJECT DATA

SCALE DATE
JUNE 14, 2021

SHEET NUMBER
A-0.01
FIRST SUBMITTAL



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RENDERING

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1 STREET VIEW RENDERING



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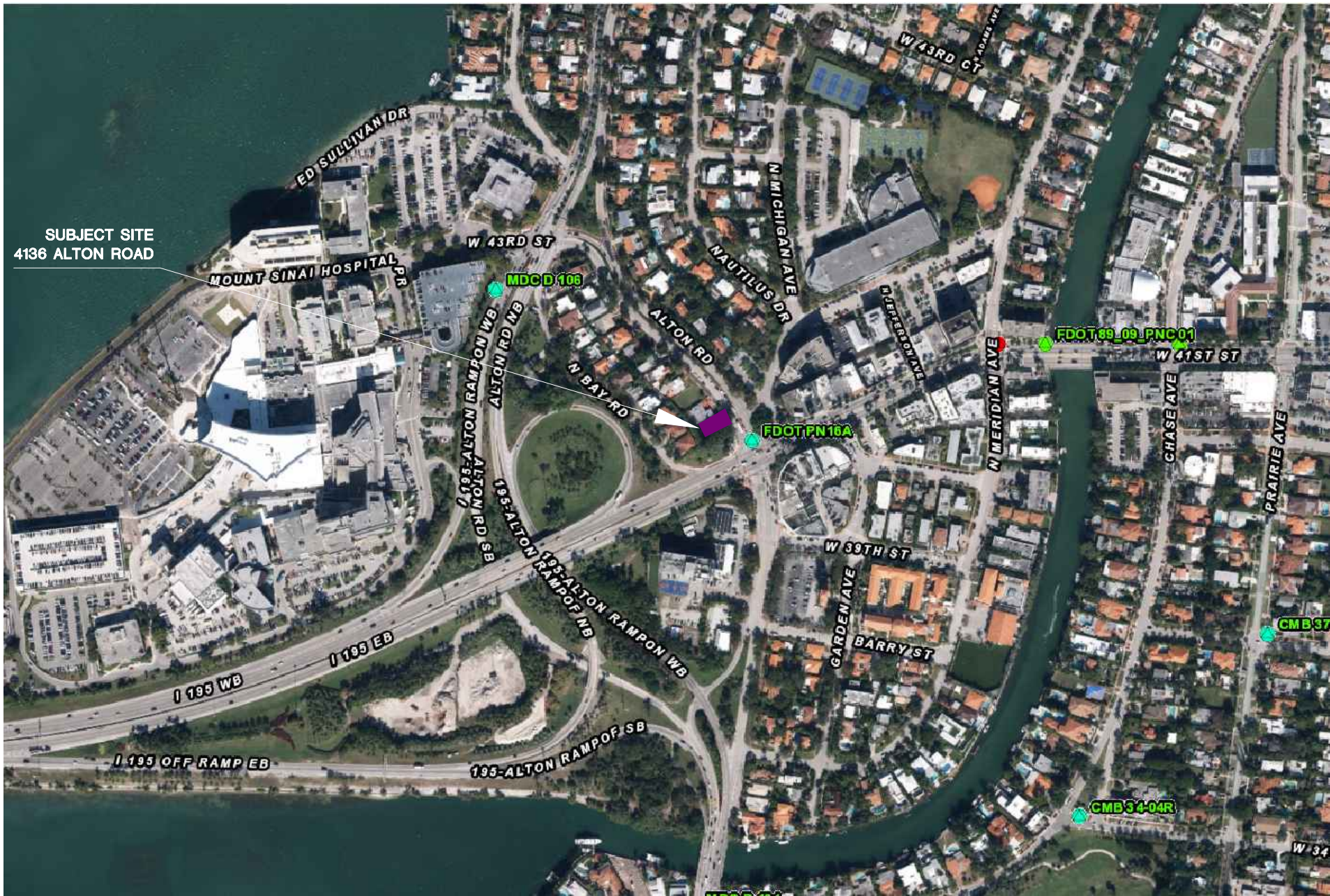
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ELEVATION

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LOCATION MAP

SCALE

DATE

JUNE 14, 2021

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A-0.03

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1 CONTEXT LOCATION ELEVATION VIEW



2 CONTEXT LOCATION PLAN VIEW

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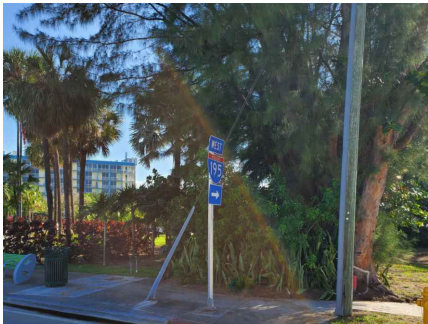
CONTEXT LOCATION PLAN

SCALE DATE JUNE 14, 2021

SHEET NUMBER

A-0.04

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CORNER/ALTON ROAD & 41 STREET



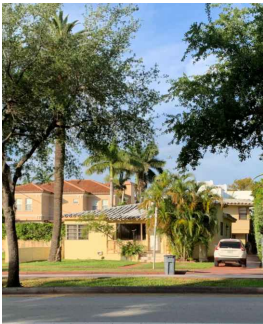
SUBJECT SITE



HOUSE/W. SIDE ALTON ROAD



LOT//W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



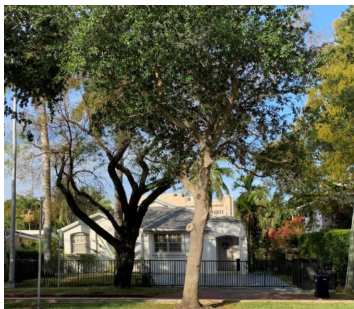
HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



HOUSE/W. SIDE ALTON ROAD



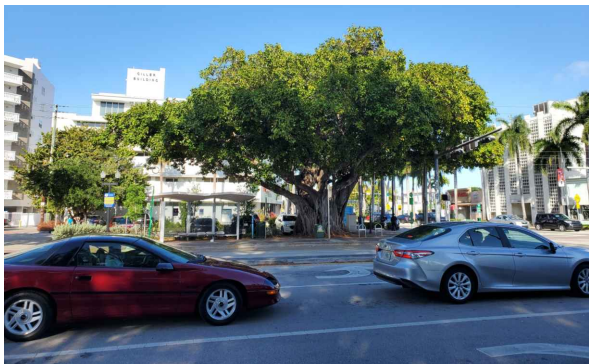
HOUSE/W. SIDE ALTON ROAD



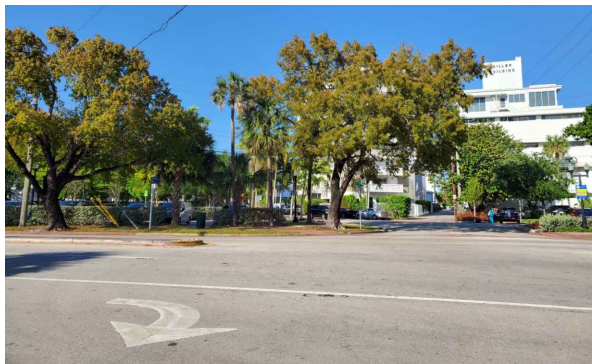
HOUSE/W. SIDE ALTON ROAD



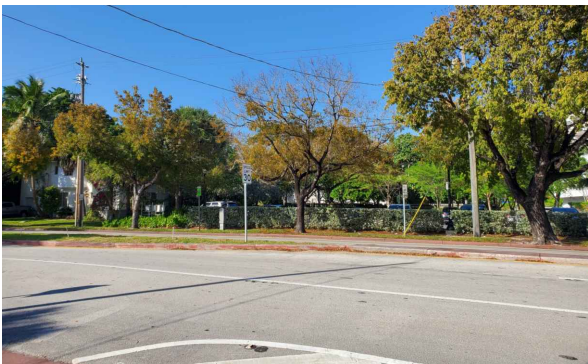
HOUSE/W. SIDE ALTON ROAD



N.E.CORNER / ALTON & 41 STREET



EAST SIDE / ALTON & 41 STREET



EAST SIDE / ALTON & 41 STREET



EAST SIDE / PARKING LOT AREA



EAST SIDE / ALTON HOUSE

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CONTEXT PHOTOS

SCALE DATE
JUNE 14, 2021

SHEET NUMBER
A-0.05

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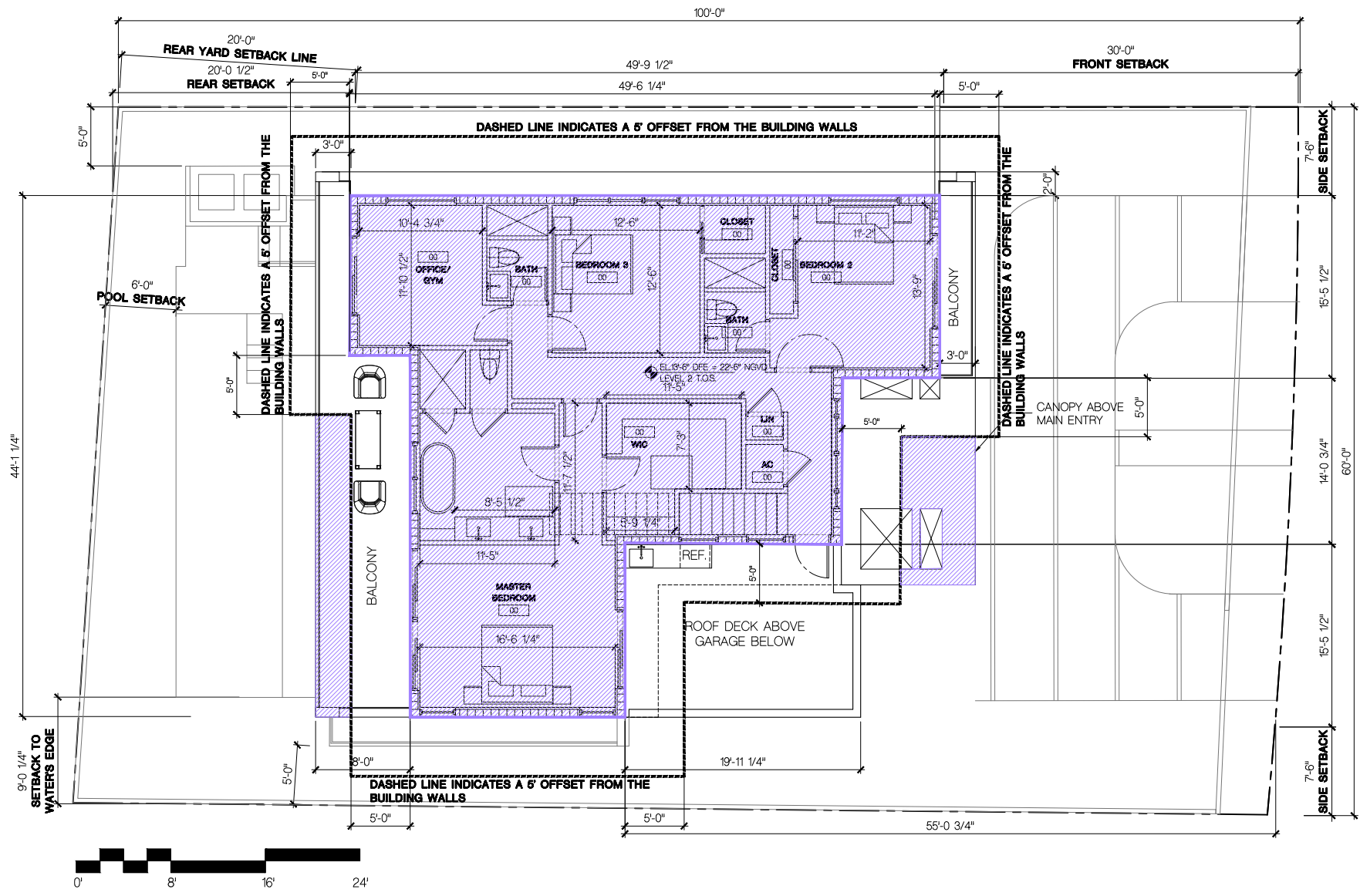
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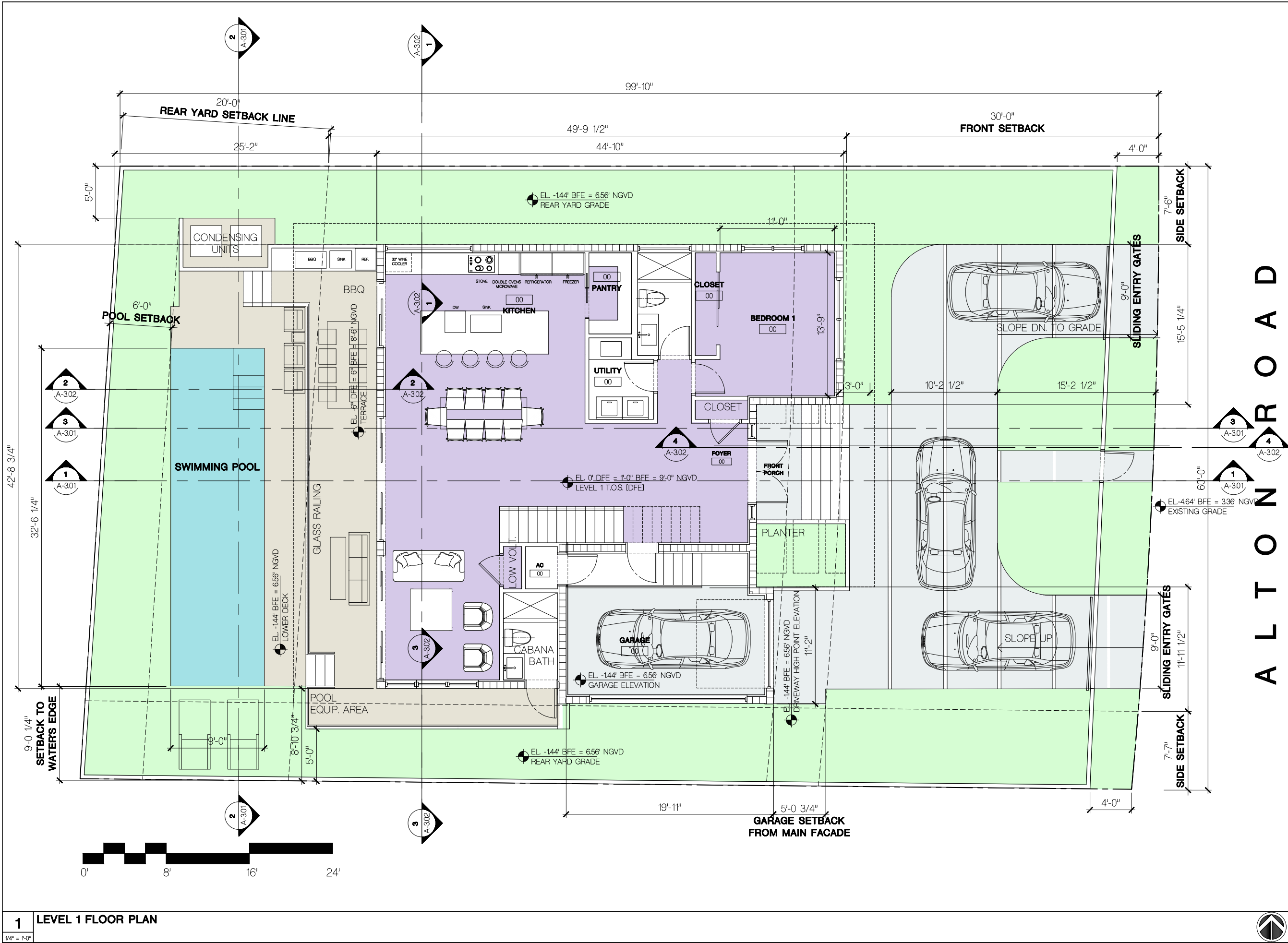
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LOT COVERAGE
DIAGRAM

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
SHEET NUMBER
A-0.07
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LOT AREA = 6,000 SF
ALLOWABLE LOT COVERAGE = 1,800 SF/30% OF LOT AREA
PROPOSED LOT COVERAGE EXCLUDING 287 SF GARAGE = 1,686 SF = 28% OF LOT AREA



ALTON ROAD



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NO.	REVISION	DATE	BY

DRAWING TITLE
LEVEL 1 FLOOR PLAN

SCALE: 1/4" = 1'-0" DATE: JUNE 14, 2021

SHEET NUMBER
A-101
FIRST SUBMITTAL



SHEET NUMBER

A-1.02

FIRST SUBMITTAL

ALTON ROAD

$$1/4^{\circ} = 1-0^{\circ}$$



DRAWING TITLE	
ROOF PLAN	
SCALE	DATE
$1/4" = 1'-0"$	JUNE 14, 2021
SHEET NUMBER	
A-1.03	
FIRST SUBMITTAL	

ALTON ROAD

A-1.03
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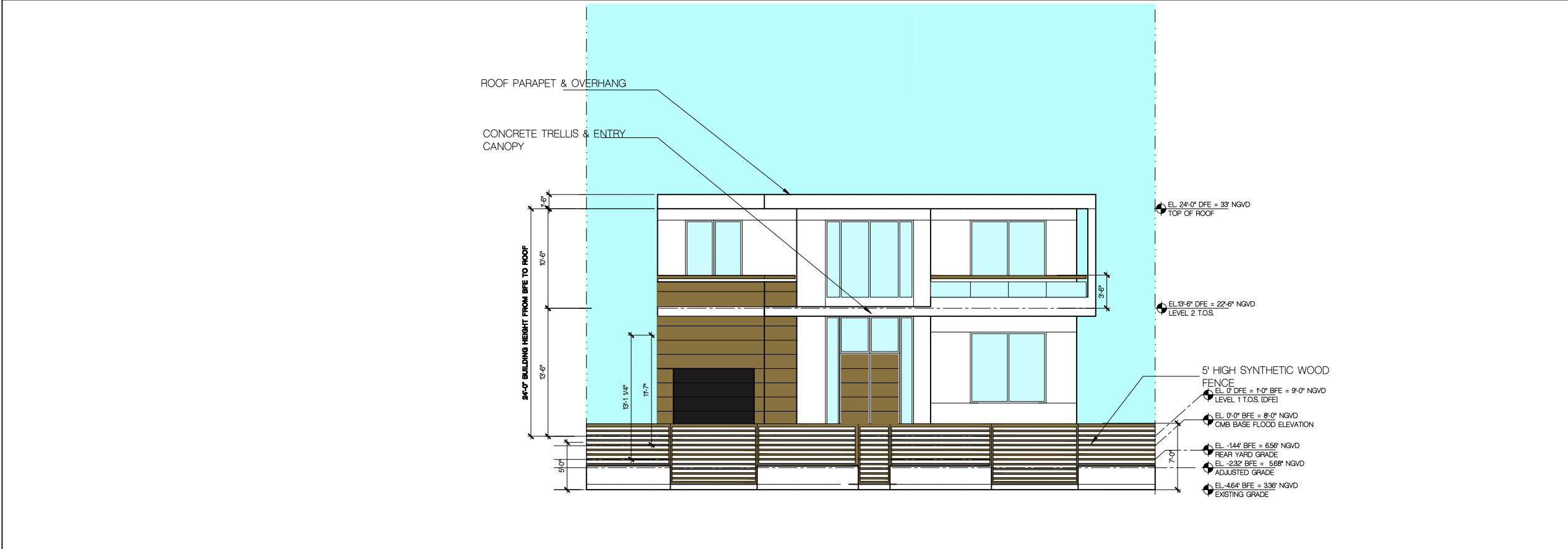
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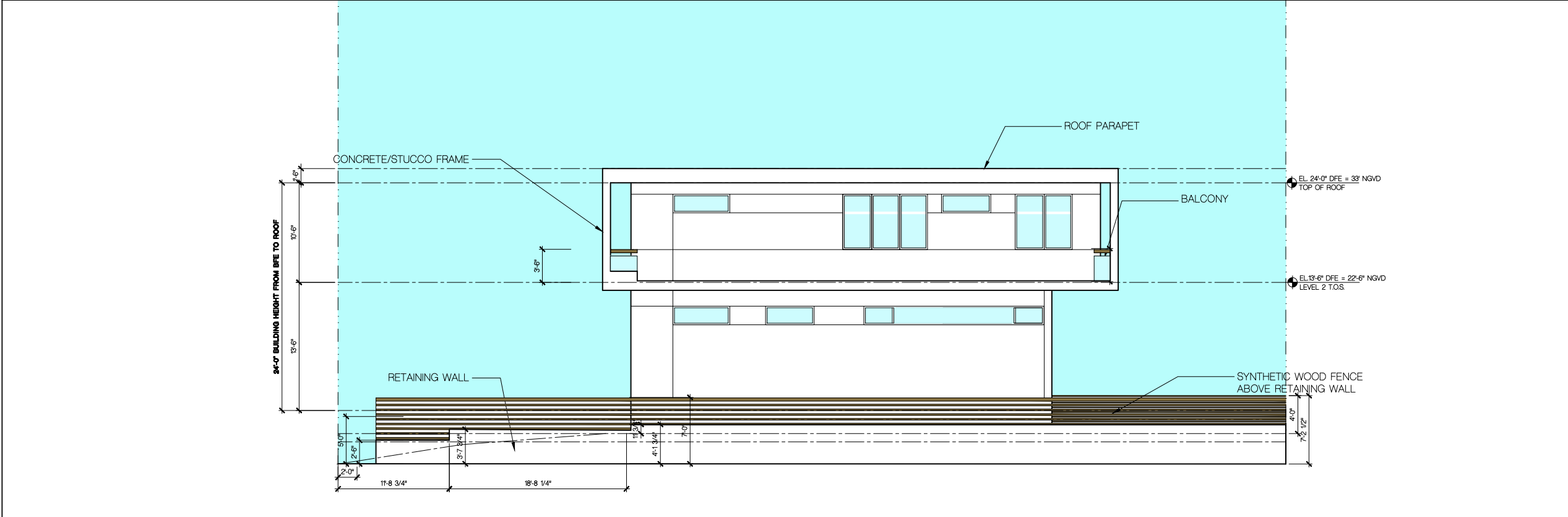
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DRAWING TITLE
NORTH & EAST ELEVATIONS

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
SHEET NUMBER
A-2.01
FIRST SUBMITTAL



1 EAST ELEVATION
3/16" = 1'-0"
0' 8' 16' 24'



2 NORTH ELEVATION
3/16" = 1'-0"
0' 8' 16' 24'

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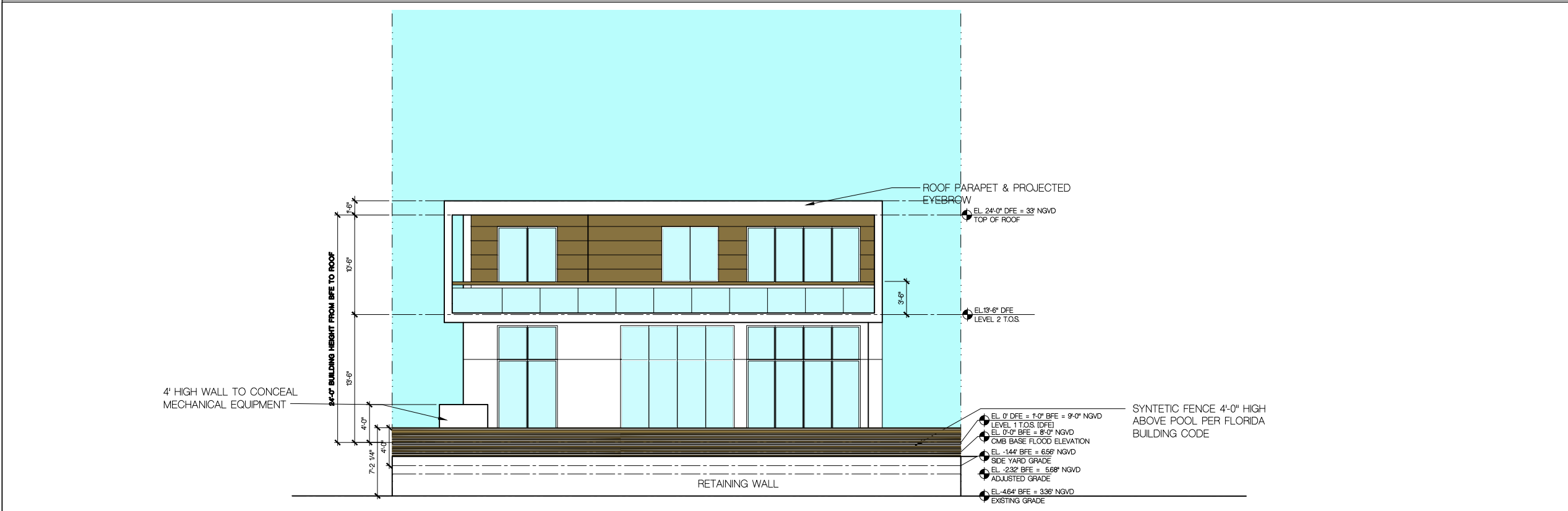
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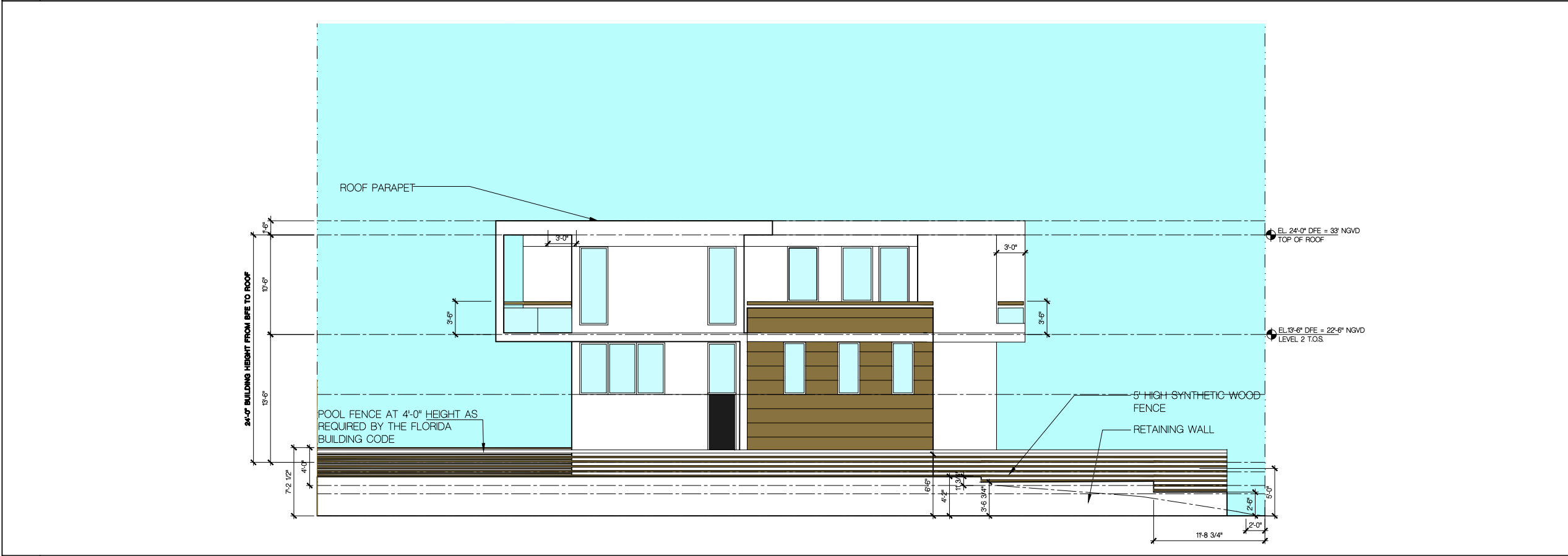
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SOUTH & WEST ELEVATIONS
SCALE: DATE: JUNE 14, 2021
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FIRST SUBMITTAL



1 WEST ELEVATION

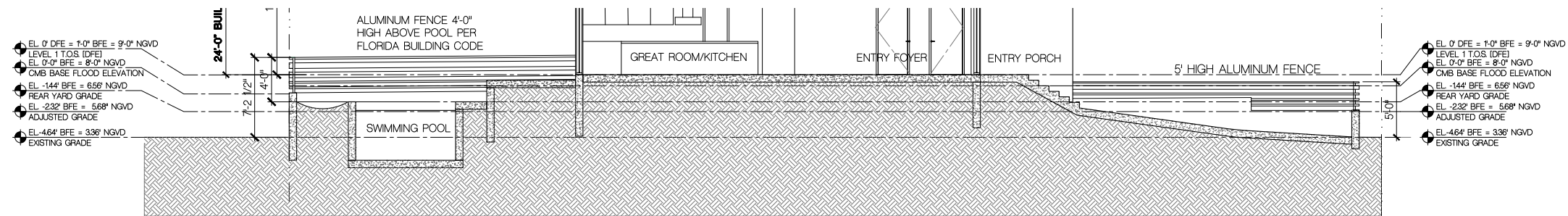
3/16" = 1'-0"

0' 8' 16' 24'

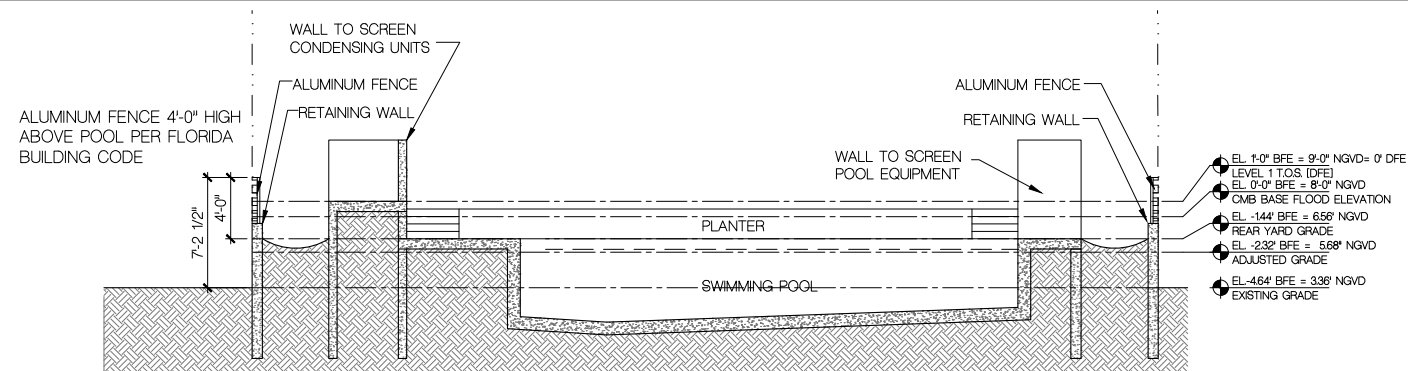


2 SOUTH ELEVATION

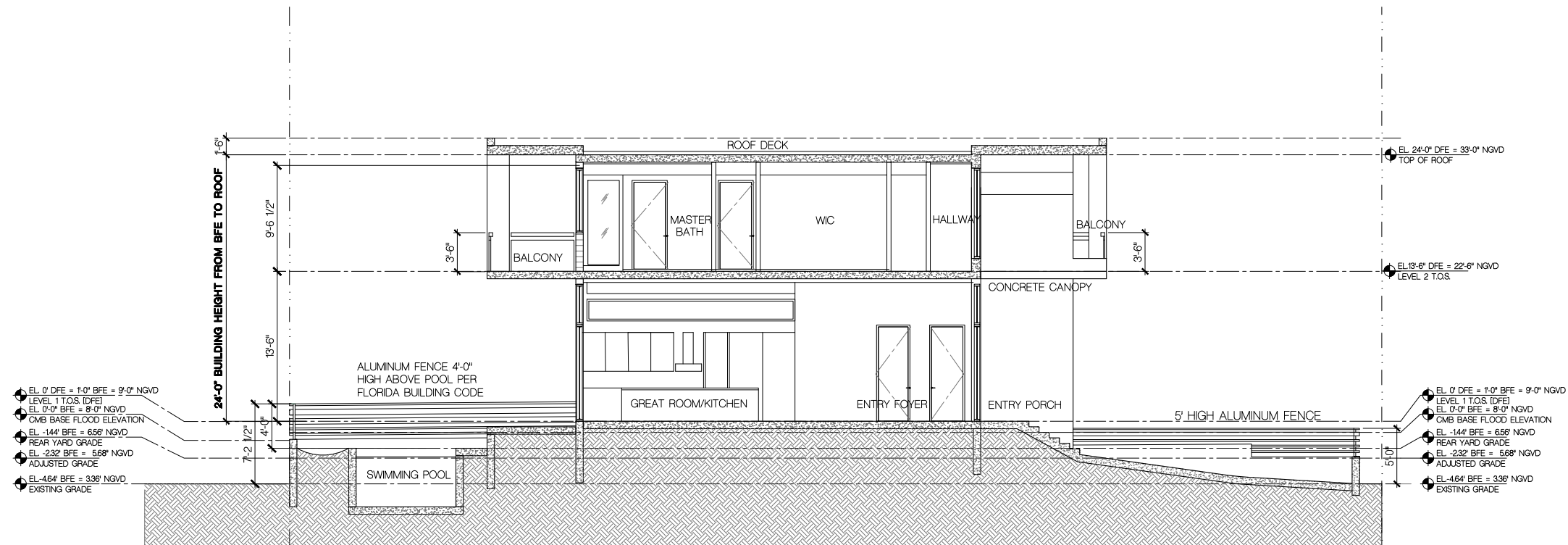
0' 8' 16' 24'



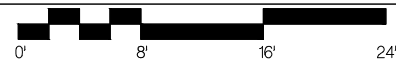
3	EAST - WEST YARD SECTION
---	--------------------------



2	NORTH-SOUTH YARD SECTION
---	--------------------------



1	BUILDING SECTION
---	------------------



FRANKEL BENAYOUN
ARCHITECTS INC.
ARCHITECTS PLANNERS INTERIOR DESIGN

LICENSE NO. AA-C001494

MARKUS A. FRANKEL.
LICENSE NO. ARO007143
IFHAT BENAYOUN FISHMAN.
LICENSE NO. ARO017273

1177 KANE CONCOURSE, SUITE 120
BAY HARBOR ISLANDS, FLORIDA 33154
PH: (305) 868.3665 FAX:(305) 868.3650
E MAIL: INFO@FRANKELBENAYOUN.COM

STRUCTURAL ENG:

MEP ENG:

LANDSCAPE ARCHITECTS



**GEOMANTIC
DESIGNS, INC.**
LANDSCAPE ARCHITECTURE
ROBERT PARSLEY A.S.L.A.

OWNER / DEVELOPER

SUNNY BAY INVESTORS, LLC

1111 KANE CONCOURSE, SUITE
BAY HARBOR ISLANDS, FLORIDA 33154
PHONE: 305-XXX-XXXX

4136 ALTON ROAD
NEW SINGLE FAMILY
4136 ALTON ROAD
MIAMI BEACH, FLORIDA

Ifhat
 Benayoun
 Fishman

Digitally signed
 by Ifhat
 Benayoun
 Fishman
 Date: 2021.07.02
 10:30:26 -04'00'

[illegible]

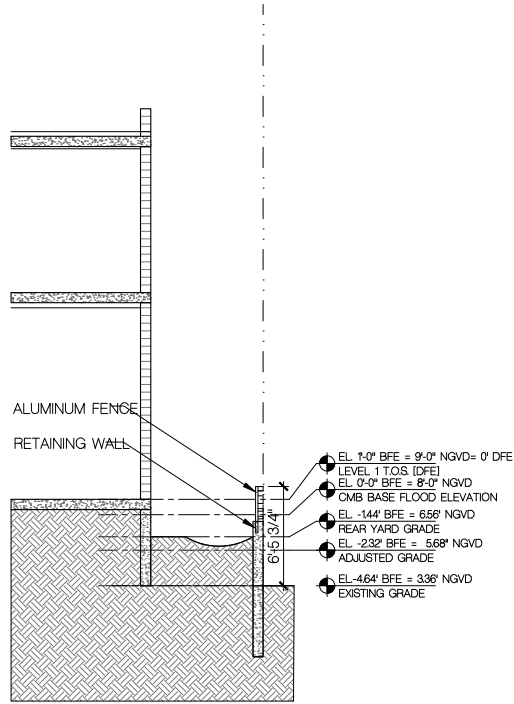
DRAWING TITLE:

SECTIONS

SCALE: $3/16" = 1'-0"$ DATE: JUNE 14, 2021

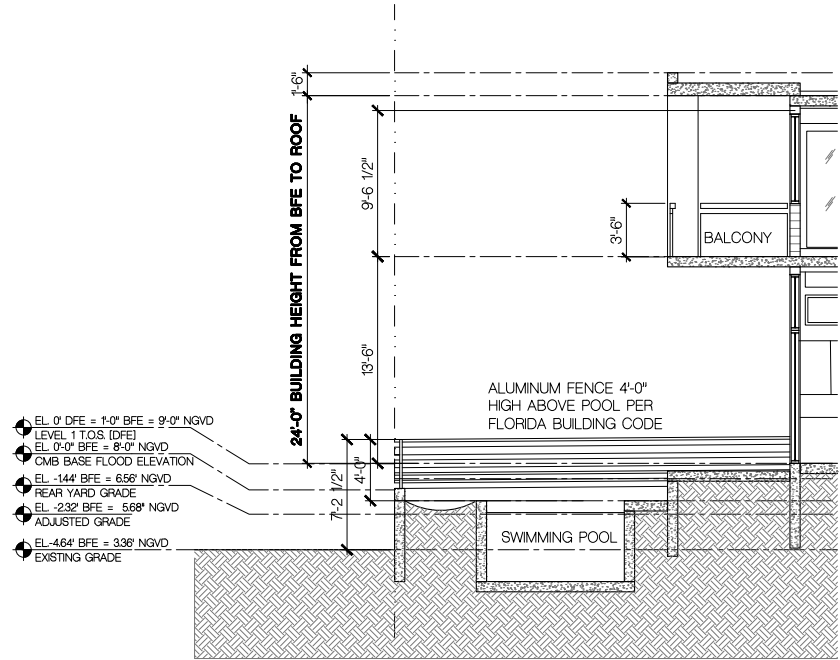
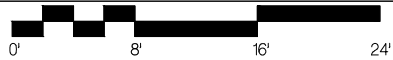
Appendix

A-3.01
FIRST SUBMITTAL



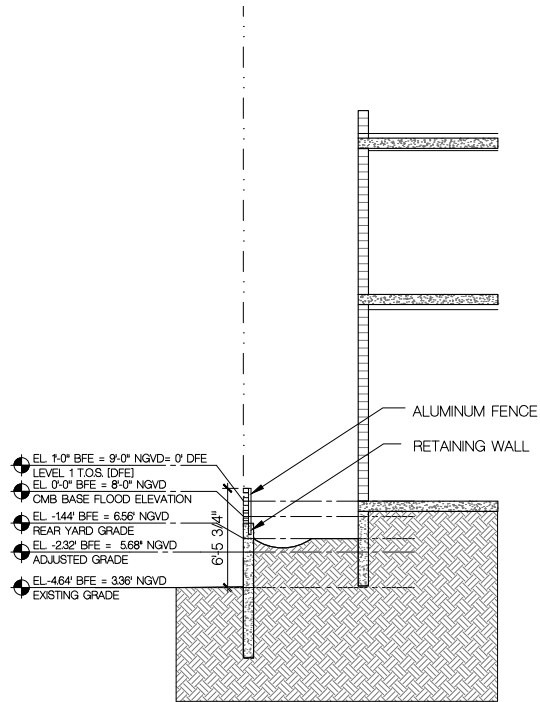
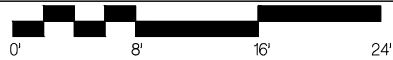
1 SIDE YARD SECTION - NORTH

3/16" = 1'-0"



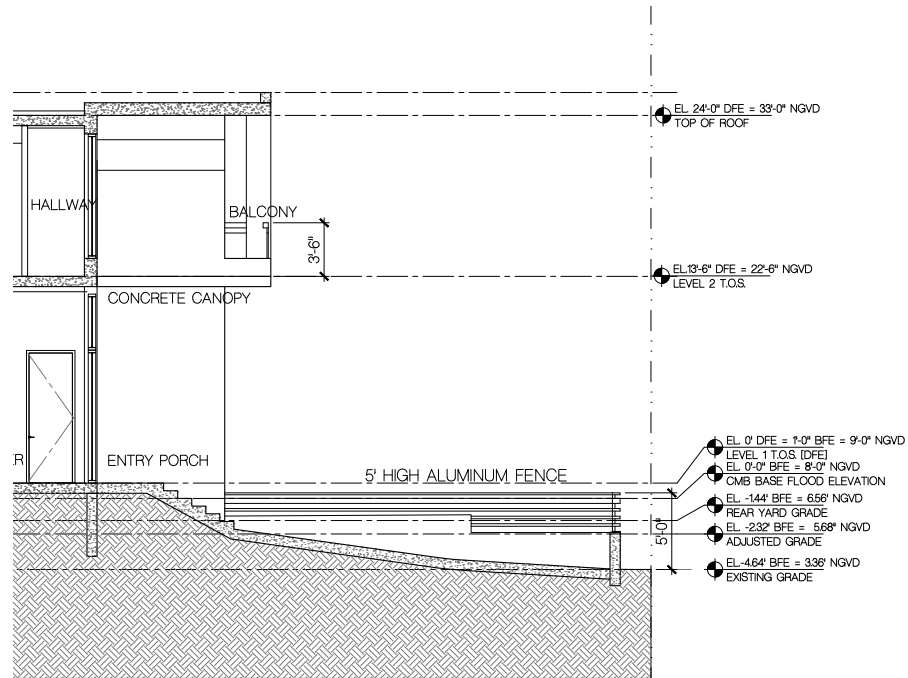
2 REAR YARD SECTION - WEST

3/16" = 1'-0"



3 SIDE YARD SECTION - SOUTH

3/16" = 1'-0"



4 FRONT YARD SECTION - EAST

3/16" = 1'-0"



FRANKEL BENAYOUN
ARCHITECTS PLANNERS INTERIOR DESIGN

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IFHAT BENAYOUN FISHMAN
LICENSE NO. AR0017273

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MEP ENG.

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LANDSCAPE ARCHITECTURE
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6000 S.W. 81 STREET MIAMI, FL 33141
PHONE: 305-463-9000 FAX: 305-468-8420

OWNER / DEVELOPER

SUNNY BAY INVESTORS, LLC

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PHONE: 305-XXX-XXXX

4136 ALTON ROAD
NEW SINGLE FAMILY
4136 ALTON ROAD
MIAMI BEACH, FLORIDA

Ifhat Benayoun
n Fishman
Digitally signed by Ifhat Benayoun Fishman
Date: 2021.07.02 10:30:49 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE
SIDE YARD SECTIONS

SCALE: 3/16" = 1'-0" DATE: JUNE 14, 2021
SHEET NUMBER

A-3.02

FIRST SUBMITTAL



DRIVEWAY: CONCRETE WITH RIVER ROCK INSERTS



DRIVEWAY & STEPPING STONES: CONCRETE WITH RIVER ROCK INSERTS



ALUMINUM GATE AND FENCE ABOVE RETAINING WALL



WOOD TRELLIS & BUILT IN BBQ



WOOD CEILING UNDER ROOF OVERHANGS



SYNTHETIC WOOD CLADDING

FRANKEL BENAYOUN
ARCHITECTS PLANNERS INTERIOR DESIGN

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IFHAT BENAYOUN FISHMAN
LICENSE NO. ARO017273

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MEP ENG.

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4136 ALTON ROAD
MIAMI BEACH, FLORIDA

Ifhat
Benayoun
Fishman

Digitally signed
by Ifhat
Benayoun
Fishman
Date: 2021.07.02
10:31:17 -04'00'

NO.	REVISION	DATE	BY

DRAWING TITLE

SAMPLE BOARD

SCALE DATE JUNE 14, 2021

SHEET NUMBER

A-4.01

FIRST SUBMITTAL