PROJECT NUMBER

21010

PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE NO MODIFICATIONS APPLIED

SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA

PROJECT NUMBER 21010

SHEET TITLE

SHEET NUMBER

**SURVEY** REFERENCE ONLY

A001



# LEGAL DESCRIPTION:

LOT 9, BLOCK 16, OF "AMENDED PLAT OF SUNSET LAKE", ACCORDING TO THE PLAT THEREOF. AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

## PROPERTY ADDRESS:

FOLIO NO. 02-3227-008-1481

2044 ALTON ROAD. MIAMI BEACH, FLORIDA 33140

AREA OF PROPERTY: 7,305 SQUARE FEET AND/OR 0.168 ACRES MORE OR LESS.

### CERTIFIED TO:

THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAME HEREON THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED

-YITZCHAK AND SHARON ZWEIG

1.) THE ABOVE CAPTIONED PROPERTY WAS SURVEYED AND DESCRIBED BASED ON THE ABOVE LEGAL DESCRIPTION: PROVIDED BY CLIENT.
2.) THIS CERTIFICATION IS ONLY FOR THE LANDS AS DESCRIBED. IT IS NOT A CERTIFICATION OF TITLE, ZONING, EASEMENTS, OR FREEDOM OF ENCUMBRANCES.

CÉRTIFICATION OF TITLE, ZONING, ÉASEMENTS, OR FREEDOM OF ENCUMBRANCES. ABSTRACT NOT REVIEWED.

3) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS BOUNDARY SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF HIS COUNTY, EXAMINATION OF ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, FA MY AFFECTION THIS PROPERTY, AS CLASSFIED IN FLORIDA MINIMUM TECHNICAL STANDARDS (50—17.51FAC), IS "RESIDENTIAL". THE MINIMUM RELATIVE DISTANCE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED ECOMETY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FOOT IN 7.500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED ECOMETY FOR THIS TYPE OF BOUNDARY SURVEY SI TOOT IN 7.500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED ECOMETY FOUNDARY SURVEY SI THAT MAY CROSE SEYOND THE BOUNDARY UNES OF THE PARCEL HERBIN DESCRIBED ARE NOT SHOWN.

6.) TYPE OF SURVEY: BOUNDARY SURVEY SURVEY SI ELONIONS SHOWN HEREON DESCRIBED ARE NOT SHOWN.

6.) TYPE OF SURVEY: BOUNDARY SURVEY SI SHOWN.

6.) ALM MEASUREMENTS ARE IN ACCORDANCE WITH THE UNITED STATES STANDARD U.S. FOOT

9.) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK ON THE HERBIN DESCRIBED PARCEL FOR BUILDING AND ZONING INFORMATION.

10.) LUNDERGOOND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVALUE OF THE PROPERTY HERBIN DESCRIBED.

THE PROPERTY HERBIN DESCRIBED, SURVEYOR SHALL BE NOTIFIED AS TO ANY DEMATION FROM UTILITIES SHOWN HEREON.

11.) ENOUMBRANCES NOT SHOWN ON THE PLAT.

12.) THE WAITTEN CONSENT OF LANDMARK SURVEYING & ASSOCIATES, INC. UNDERGROUND PORTIONS OF FOOTING, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.

13.) ONLY VISIBLE AND ABOVE GROUND ENGROACHMENTS LOCATED.

14.) WALL TIES ARE TO THE FACE OF THE WALL.

15. FENCE OWNERSHIP NOT DETERMINED.

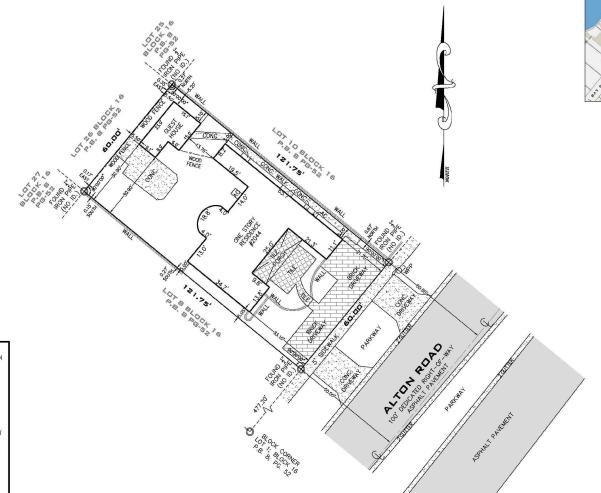
16.) BASIS OF BEARNINGS REFERENCED TO LINE NOTED AS B.B.

17.) BOUNDARY SURVEY WERNA & DRAWNIG AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD.

18.) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.

19.) THE SOURCES OF DATA USED FOR THE PREPARATION OF THIS BOUNDARY SURVEY WERN FOUNDAMED.

T. PAGE 52. (C.) THIS MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF ONE NCH EQUALS 30 FEET OR SMALLER.



I HEREBY CERTIFY TO

SURVEYOR'S CERTIFICATION:

**LOCATION MAP** 

SECTION 27, TOWNSHIP 53 SOUTH, RANGE 42 EAST LYING AND BEING IN DADE COUNTY FLORIDA (NOT TO SCALE)

W 21ST ST

LANDMARK

LB No. 7633 PROFESSIONAL SURVEYORS AND MAPPERS

1435 S.W. 87th AVENUE, SUITE "201" MIAMI, FL 33174

MIRMI, FL 33174

PHONE: (305) 556-4002 FAX: (305) 556-4003

WWW.LIMSURVEYING.COM

EMAIL\_REQUEST@LMSURVEYING.COM

ABBREVIATIONS AND LEGEND: =DENOTES AIR CONDITIONING UNIT =DENOTES BASIS OF BEARINGS =DENOTES ASPHALT

B.M. C.B.S. CONC. L.P CB CB M. L.M.E.

D.E. D.H. (M) WPP

U.E. P.B. PG. P.C.P. P.O.B.

X.XX

DENOTES BASIS OF BEARINGS
DENOTES ASPHALT
DENOTES PROPERTY LINE
DENOTES BENCH MARK
DENOTES CONCRETE BLOCK STUCCO
DENOTES CONCRETE BLOCK STUCCO
DENOTES CONCRETE BLOCK STUCCO
DENOTES CONCRETE BLOCK
DENOTES CATOR BASIN
DENOTES CENTERLINE
DENOTES MOUNTENT LINE
DENOTES MILL HOLE
DENOTES MEASURE
DENOTES WOOD POWER POLE
DENOTES WOOD POWER POLE
DENOTES TO LILLTY EAGEMENT
DENOTES PROPERTY OF THE POWER POLE
DENOTES PERMANENT CONTROL
POINT

=DENOTES WOOD FENCE
=DENOTES WOOD FENCE
=DENOTES CHAIN LINK FENCE
=DENOTES ROON FENCE
=DENOTES FOUND IRON PIPE (NO IE
=DENOTES FOUND NAIL AND DISC

=DENOTES ASPHALT PAVEMENT

MHW =DENOTES MEAN HIGH WATER LINE

=DENOTES ELEVATIONS

ALL BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND MEASURED UNLESS OTHERWISE NOTED.

ΑE

8.0

120651

12086C0317

09-11-2009

03-04-2020

N/A

N/A

1"=30"

DRAWN SCALE

DESCRIPTION

N/A

BY

J.FEE

EVISION / UPDATE OF SURVE

JOB No.

2003-0028

FLOOD ZONE:

ELEVATION:

COMMUNITY:

PANEL:

ATE OF FIRM:

SUFFIX:

ORIGINAL FIELD WORK SURVEY DATE

BENCH MARK:

**ELEVATION:** 

DATE

-04-2020

DATE

N/A

=DENOTES BRICK =DENOTES CONCRETE PAD

SURVEYOR'S CERTIFICATION:

THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS "MAP OF BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED LINDER MY DIRECTION. THAT IT MEETS THE STANDARDS OF PRACTICE "AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROCESSIONAL" AND SWARTINGS TO CHAPTER 31-17.050 THROUGH 5U-17.052 OF THE FLORIDA BOARD FRANTYS FOODE AND TIS IMPLEMENTING LAW, PURSUANT TO CHAPTER 42-45 FLORIDA SWARTING FLORE AND THE PROCESSIONAL THAT THE STATE OF FLORIDA SWARTING FLORE AND THE PROCESSIONAL THAT THE STATE OF FLORIDA SWARTING FLORE AND THE PROCESSIONAL THAT THE STATE OF FLORIDA SWARTING FLORE AND THE PROCESSIONAL THAT THE STATE OF FLORIDA SWARTING FLORE AND THE PROCESSION TO SWARTING FLORE AND THE PROCESSION TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY FLORE FLORIDA SWARTING FLORE THAN THE SIGNING PARTY FLORE FLORIDA SWARTING FLORE THAN THE SIGNING PARTY FLORE FLORIDA SWARTING FLORE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE FLORE AND THE THAN THE SIGNING PARTY FLORE AND THE SIGNING PA

00 Existing Survey (Reference Only)





PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED
MODIFICATIONS APPLY
SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

PROJECT NUMBER 21010

SHEET TITLE

EXISTING ELEVATIONS

SHEET NUMBER

ALTON ROAD

PLANS PREPARED FOR:

ISSUE/REVISION RECORD
DATE DESCRIPTION

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED
MODIFICATIONS APPLY
SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES info@21archd.c Tel: (786) 239-01 (305) 323-43

AR9

PROJECT NUMBER 21010

SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

A003

01 Demolition Plan

GENERAL DATA

PROJECT LOCATION 2044 ALTON RD

MIAMI BEACH, FL 33140

02-3227-008-1481 FOLIO No. OCCUPANCY RS-4 SINGLE FAMILY - GENERAL

FLOOD MANAGEMENT INFO	
FLOOD ZONE	AE
BASE FLOOD ELEVATION (BFE):	8.00 NGVD
DESIGN FLOOD ELEVATION (DFE):	9.00 NGVD
GARAGE TOP OF SLAB ELEVATION(LP):	5.95 NGVD
LOWEST TOS ELEVATION	9.00 NGVD
OF HABITABLE SPACE :	
NEXT HIGHER FLOOR ELEVATION:	21.00 NGVD
LOWEST GRADE ELEVATION:	6.56 NGVD
ADJ. TO THE BUILDING (LAG)	
HIGHEST GRADE ELEVATION:	6.56 NGVD
ADJ. TO THE BUILDING (HAG)	
LOWEST ELEVATION OF EQUIPMENT:	9.00 NGVD
SERVICING THE BUILDING	
CROWN OF ROAD ELEVATION:	3.29 NGVD
ADJUSTED GRADE ELEVATION :	5.64 NGVD
F.I.R.M MAP NUMBER:	9.00 NGVD
FLOOD DESIGN CLASS PER	CLASS 2
ASCE 24-14 TABLE 1-1 (FBC 2017, 1604.5):	

### ZONING DATA

LOT AREA 7,305 SQ.FT. LEGAL DESCRIPTION

27-34 53 42 SUNSET LAKE SUB AMD PL PB 8-52

LOT 9 BLK 16

LOT SIZE 60.000 X 122 OR 19198-2256 07 2000 1 6,000 SQ.FT. (ACTUAL 7,305 SQ.FT.)

MIN. LOT AREA MIN. LOT WIDTH 50 FT. (ACTUAL = 60 FT.)

1,800 SQ.FT. MIN. UNIT SIZE

50% OF THE LOT (7,305)=3,652 SQ.FT. ALLOWED MAX. UNIT SIZE

PROVIDED = (2,684 \$Q.FT.)
1st FLOOR = 1,480 \$Q.FT.
2nd FLOOR = 1,204 \$Q.FT.
TOTAL = 2,684 \$Q.FT.

MAX. STORIES The maximum number of stories shall not exceed two (2) above the base flood elevation, plus freeboard

MAX. HEIGHT 24 FT. FOR FLAT ROOFS 27 FT. FOR SLOPED ROOFS

**SETBACKS** 

SIDES

FRONT

20 FT. GROUND FLOOR MIN. 30 FT. SECOND FLOOR MIN.

50 FT. MAXIMUM

THE SUM OF THE REQUIRED SIDE YARD SHALL BE AT LEAST 25% OF THE LOT WIDTH (60

SQ.FT.)= 15 FT. (7.5 FT. ON EACH SIDE)

2,196 SQ.FT. (AS PER MIAMI-DADE RECORDS) EXISTING LOT COVERAGE 1st FLOOR = 30% OF (7,305)=2,191.5 ALLOWED MAX. LOT COVERAGE

= 1,919 SQ.FT. 2nd FLOOR = 1,204 SQ.FT. TOTAL = 3,124 SQ.FT.

2nd FLOOR ELEVATION = 45'

MIN. 35% OF (45') = 15'-9" POOL SETBACKS 6 FT. TO DECK 7.5 FT. TO WATERLINE REAR 7.5 FT. TO DECK, 9 FT. TO WATERLINE

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

\_ALCULAINING LOT COVENAGE.

SECT 142-105(3) FYEBROW. ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF PIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION.

INIT SIZE REQUIREMENT
SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5)
FEET FROM REQUIREMENT SETBACK

TECT PROVIN REQUIREMENT SEIBACK.

SOOP DECKS

SECRETARY TO SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK

SECRETARY TO SHE SERVENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, RECARDLESS OF DECK HEIGHT. ROOF DECKS

SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT O'S IDE

ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SHALL BE LAND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITED IMMEDIATELY ABUTTING

HER ROOF DECK AREA, ALL LANDSCAPE MATERIAL SHALL BE APPROPRIJETAL'S SECURED. THE ORB OR HPB MAY FOREGO THE REQUIRED REAR

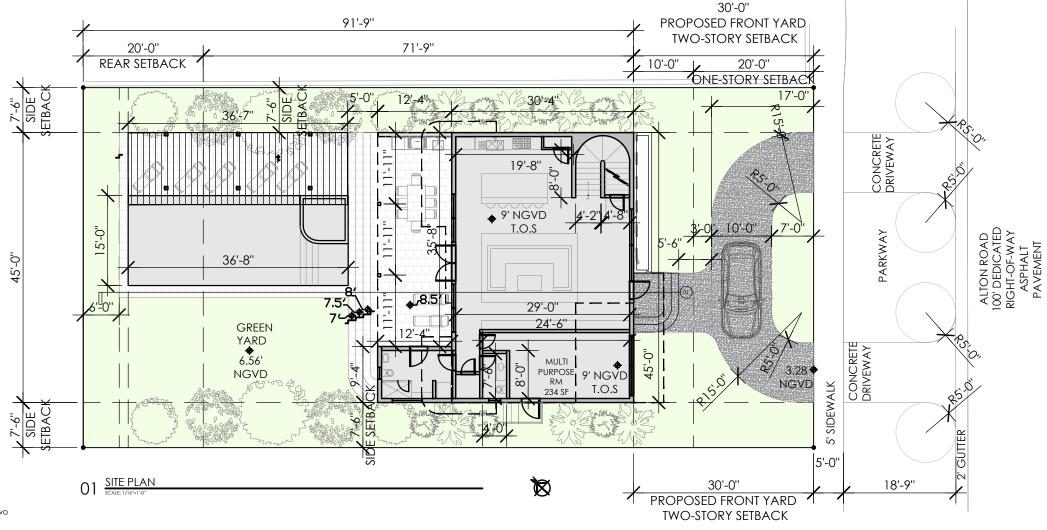
JECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

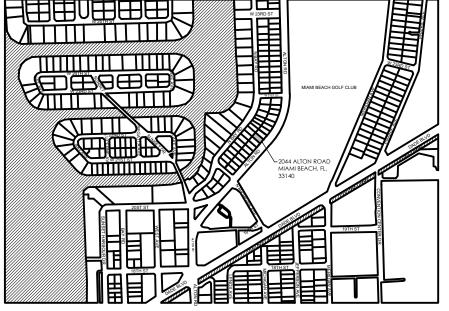
<u>etaining wall and yard Slope requirement</u> EC. 142-105 the maximum slope of the required front and side yard facing a street shall not exceed 1 percent of

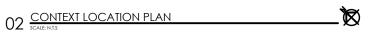
\*\*COJECTIONS
SEC. 142-106(13) EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT SEGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED 'ARD IF TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

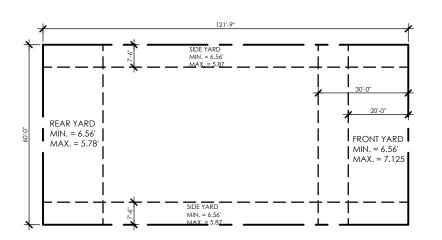
1. BELT COURSES.

. BELI COURSES.
. CHIMNEYS.
. CORNICES.
. EXTERIOR UNENCLOSED PRIVATE BALCONIES. ORNAMENTAL FEATURES, ETC.









03 GRADE CALCULATIONS





DATE	DESCRIPTION

ISSUE/REVISION RECORD

PROJECT NAME

**CHETEK RESIDENCE** 

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE NO MODIFICATIONS APPLIED

SPB NO. N/A DATE N/A

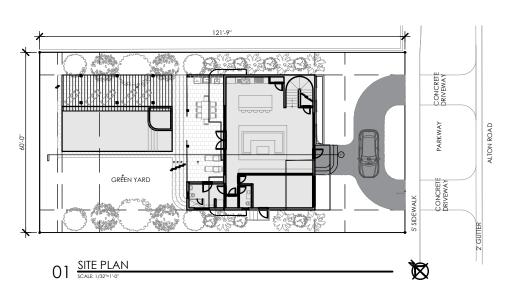
PROFESSIONAL SEAL

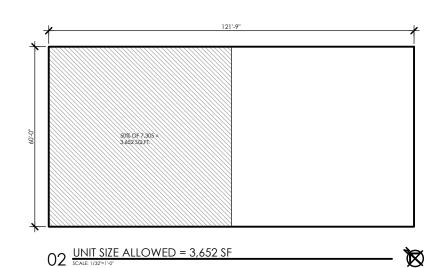
ARIEL VALDES, AIA

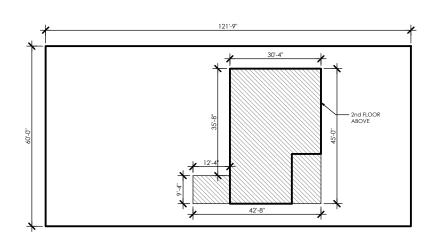
PROJECT NUMBER 21010

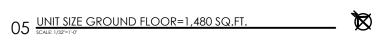
SHEET TITLE SITE

PLAN SHEET NUMBER

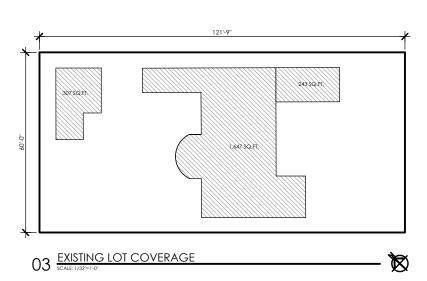


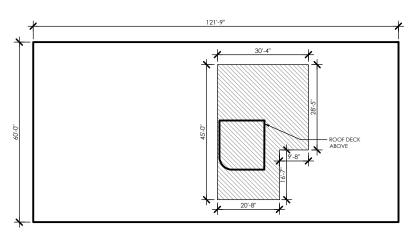


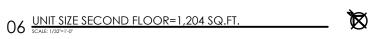


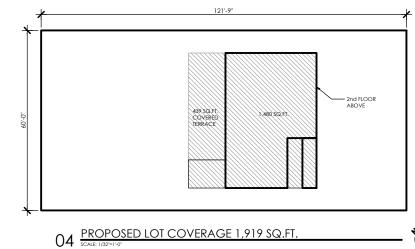


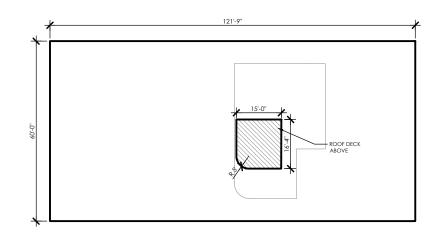
GROUND FLOOR = 1,480 SQ.FT. SECOND FLOOR = 1,204 SQ.FT. TOTAL UNIT SQ.FT. = 2,684 SQ.FT.











07	ROOF DECK = 242 SQ.FT.	T
U/	SCALE: 1/32"=1":0"	^



ISSUE/RE	VISION RECORD
DATE	DESCRIPTION

PROJECT NAME

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RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

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PLAN SERIES

11 x 17 PLAN MODIFICATION NOTICE

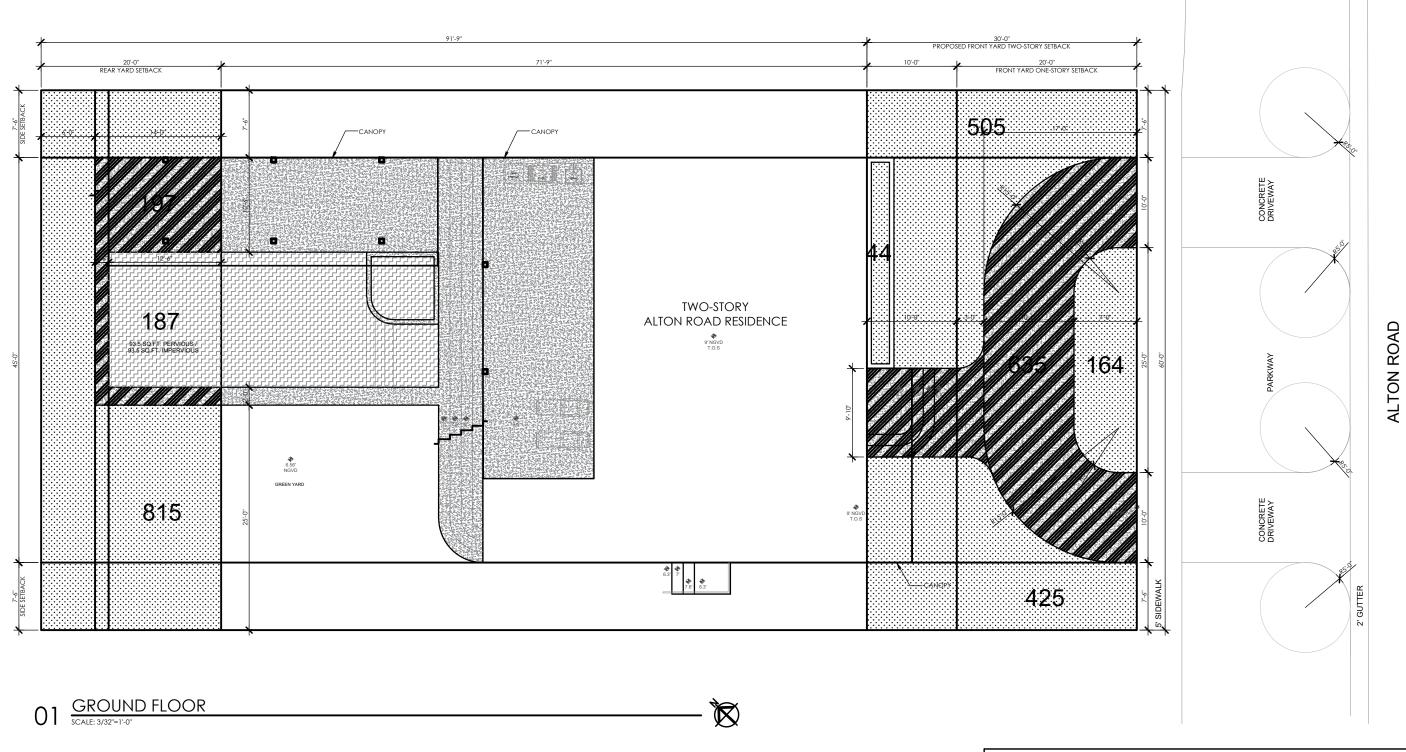
NO MODIFICATIONS APPLIED
MODIFICATIONS APPLY
SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

PROJECT NUMBER 21010

SHEET TITLE
LOT COVERAGE
UNIT SIZE
DIAGRAMS

SHEET NUMBER



21ArchD

ISSUE/REVISION RECORD
DATE DESCRIPTION

PROJECT NAME

**CHETEK RESIDENCE** 

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE NO MODIFICATIONS APPLIED
MODIFICATIONS APPLY
SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

PROJECT NUMBER 21010

SHEET TITLE

OPEN SPACE **CALCULATIONS** 

SHEET NUMBER

A006

**OPEN SPACE CALCULATIONS** FRONT YARD AREA = 30' X 60' = 1,800 SQ.FT. MIN. ALLOWABLE OPEN SPACE = 50% 1,138 / 1,800 = .63 OR 63% **PROVIDED** 



PERVIOUS = 164 + 505 + 425 + 44 = 1,138 SQ.FT.

REAR YARD 20' X 60' = 1200 SQ.FT. MIN. ALLOWABLE OPEN SPACE = 70% 908.5 / 1200 = .75 OR 75% **PROVIDED** 

PERVIOUS = 50% OF 187 = 93.5 SQ.FT.

IMPERVIOUS = 197 SQ.FT.

PERVIOUS = 815 + 93.5 = 908.5 SQ.FT.

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE
SEC.142-105(5)(c) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUEDE IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC.142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS
SEC. 142-105(6), ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE
MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25
PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW,
REGARDLESS OF DECK HEIGHT, ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN OF 16H TEEL FIXON EACH SIDE OF THE EXTENDEN QUIET WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS, BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA, ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED, THE DRB OR HPB MAY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR

RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD
FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(13)EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

- a. BELT COURSES.
  b. CHIMNEYS.
  c. CORNICES.
  d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
  e. ORNAMENTAL FEATURES, ETC.



DATE

ISSUE/REVISION RECORD DESCRIPTION

PROJECT NAME

## **CHETEK RESIDENCE**

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17 PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED

SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

PROJECT NUMBER 21010

SHEET TITLE

LANDSCAPE PLAN

SHEET NUMBER

A101

**GROUND FLOOR PLAN** 



GROUND FLOOR = 1,480 SQ.FT. SECOND FLOOR = 1,204 SQ.FT. TOTAL UNIT SQ.FT. = 2,684 SQ.FT.

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE

SEC. 142-105(5) (c) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUEDED IN THE LOT COVERAGE CALCULATION, ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUEDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FROMT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

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REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM
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LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR
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RETAINING WALL AND YARD SLOPE REQUIREMENT
SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD
FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(13)EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SEC. 142-106 (13) EVENT PART OF A REQUIRED TARK STARLL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

- a. BELT COURSES.
- CHIMNEYS.
   CORNICES.
   CORNICES.
   CORNICES.
   CORNAMENTAL FEATURES, ETC.

21ArchD

DESCRIPTION DATE

ISSUE/REVISION RECORD

PROJECT NAME

## **CHETEK RESIDENCE**

RESIDENTIAL 2044 Alton Rd MIAMI BEACH, FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17 PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED

SPB NO. N/A DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA

PROJECT NUMBER 21010

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A102

SECOND FLOOR PLAN
SCALE: 3/32"=1'-0"

GROUND FLOOR = 1,480 SQ.FT. SECOND FLOOR = 1,204 SQ.FT.

TOTAL UNIT SQ.FT. = 2,684 SQ.FT.

CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

CALCULATING LOT COVERAGE

SEC. 142-105(5)(c) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION, ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT
SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS SEC. 142-105(6), ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, PERCENT OF HE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET AROUSE THE BUSINED PROPERTY HEIGHT. MAND REPORTED THE PARTY IN THE PROPERTY HEIGHT. ABOVE THE FINISHED ROOF DECK HEIGHT, MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRB OR HPB MAY FOREGO THE REQUIRED REAF DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

RETAINING WALL AND YARD SLOPE REQUIREMENT SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

PROJECTIONS
SEC. 142-106(13)EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

- a. BELT COURSES.
- . CHIMNEYS. . CORNICES.
- d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
  e. ORNAMENTAL FEATURES, ETC.



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ARIEL VALDES, AIA

PROJECT NUMBER 21010

SHEET TITLE

**ROOF DECK** FLOOR PLAN

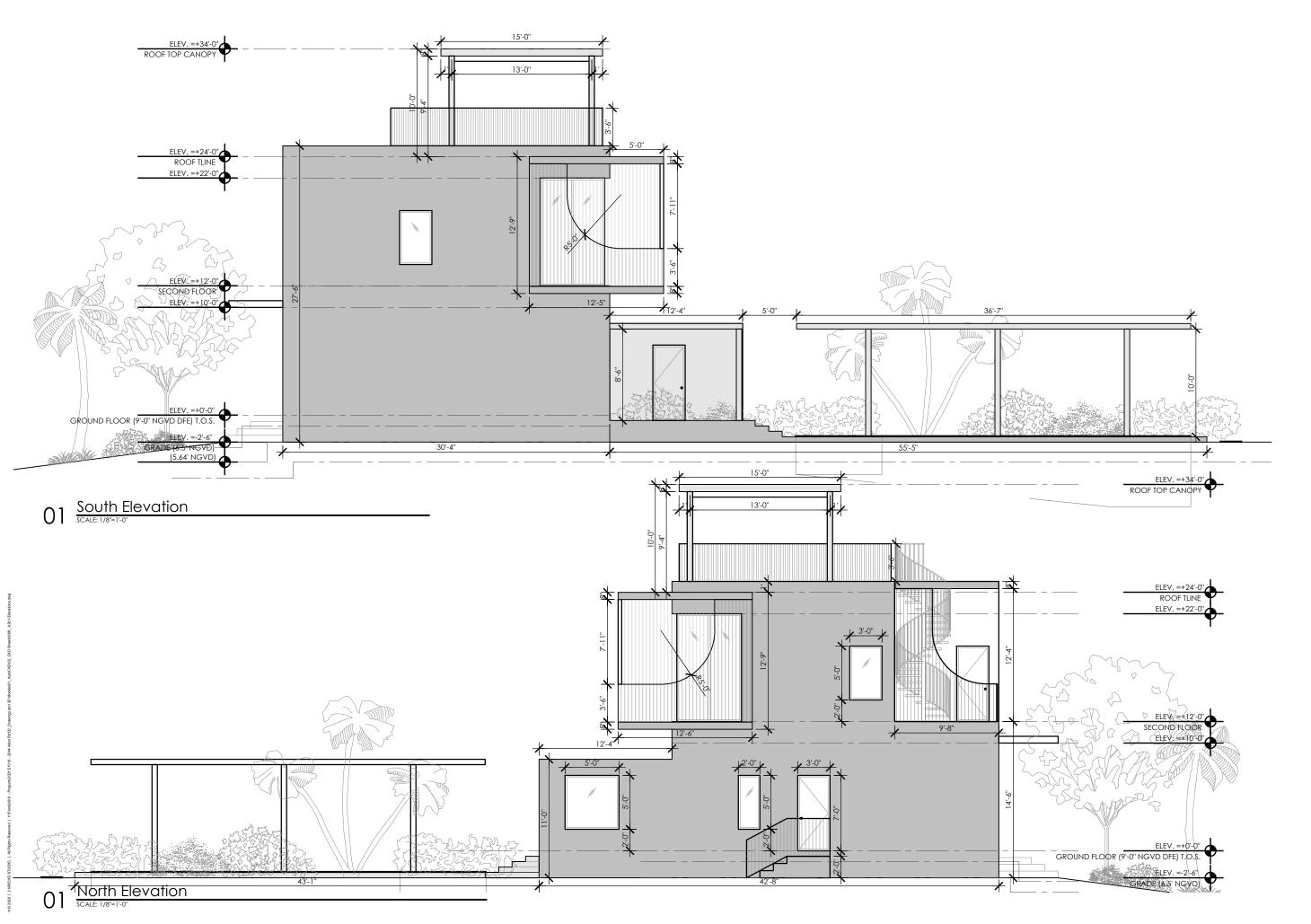
SHEET NUMBER

A103

Roof Deck Floor Plan
SCALE: 3/32"=1"-0"



EXTEND ROOF CANOPY BEYOND 25% TOWARDS REAR SETBACK - WITH VARIANCE EXTEND ROOF DECK BEYOND 20% TOWARDS REAR SETBACK - WITH WAIVER





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PROFESSIONAL SEAL

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SHEET TITLE **ELEVATION** 

SHEET NUMBER





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PROJECT NUMBER

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PLAN SERIES 11 x 17

PLAN MODIFICATION NOTICE

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SPB NO. N/A DATE N/A

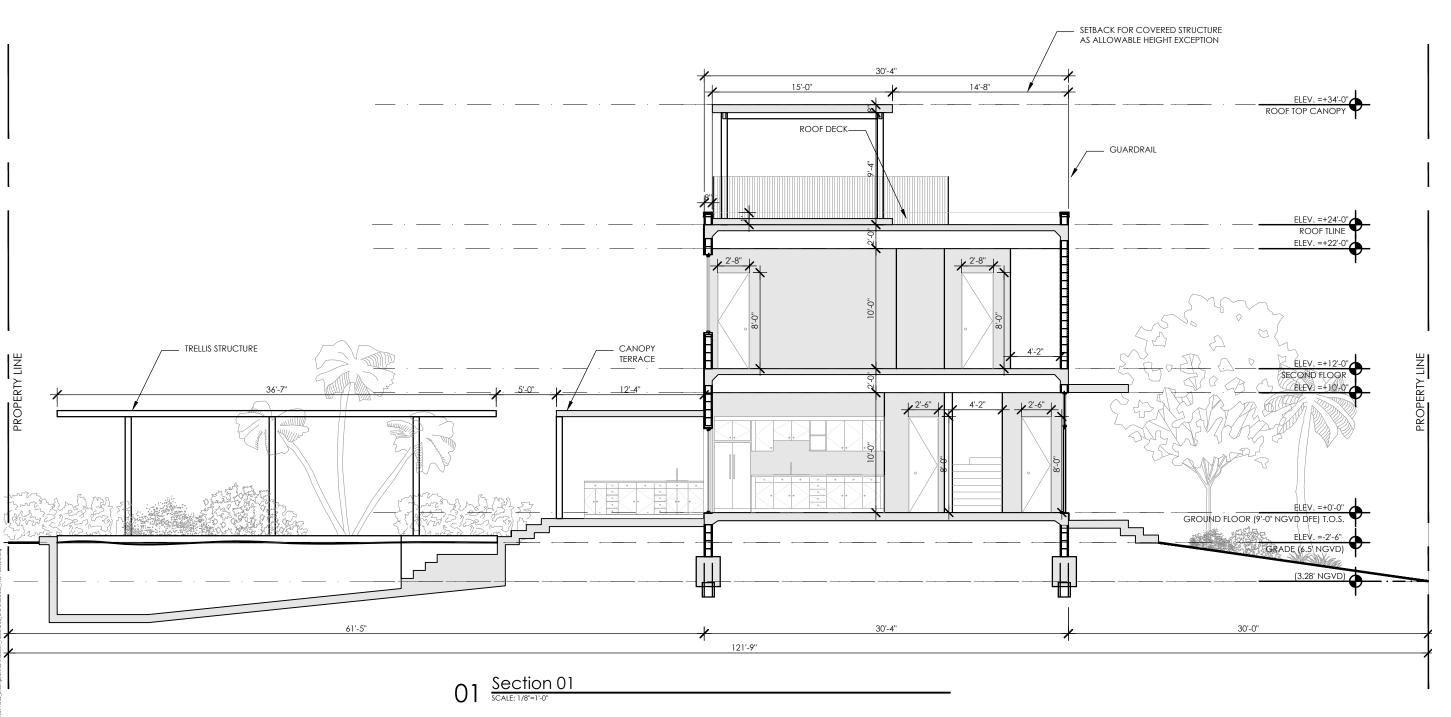
PROFESSIONAL SEAL

PROJECT NUMBER 21010

SHEET TITLE

**ELEVATION** 

SHEET NUMBER





PLANS PF

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MODIFICATIONS APPLY

SPB NO. N/A DATE N/A

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PROFESSIONAL SEAL

ARIEL VALDES, AIA info@21archd.com Tel: (786) 239-0166 (305) 323-4380

AR

PROJECT NUMBER 21010

SHEET TITLE

SECTIONS

SHEET NUMBER

01 Section 02 SCALE: 1/8"=1"-0"



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AR

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Front 3D View - By Right





02 Rear 3D View - By Right



02 Rear 3D View - With Variance



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PLAN MODIFICATION NOTICE

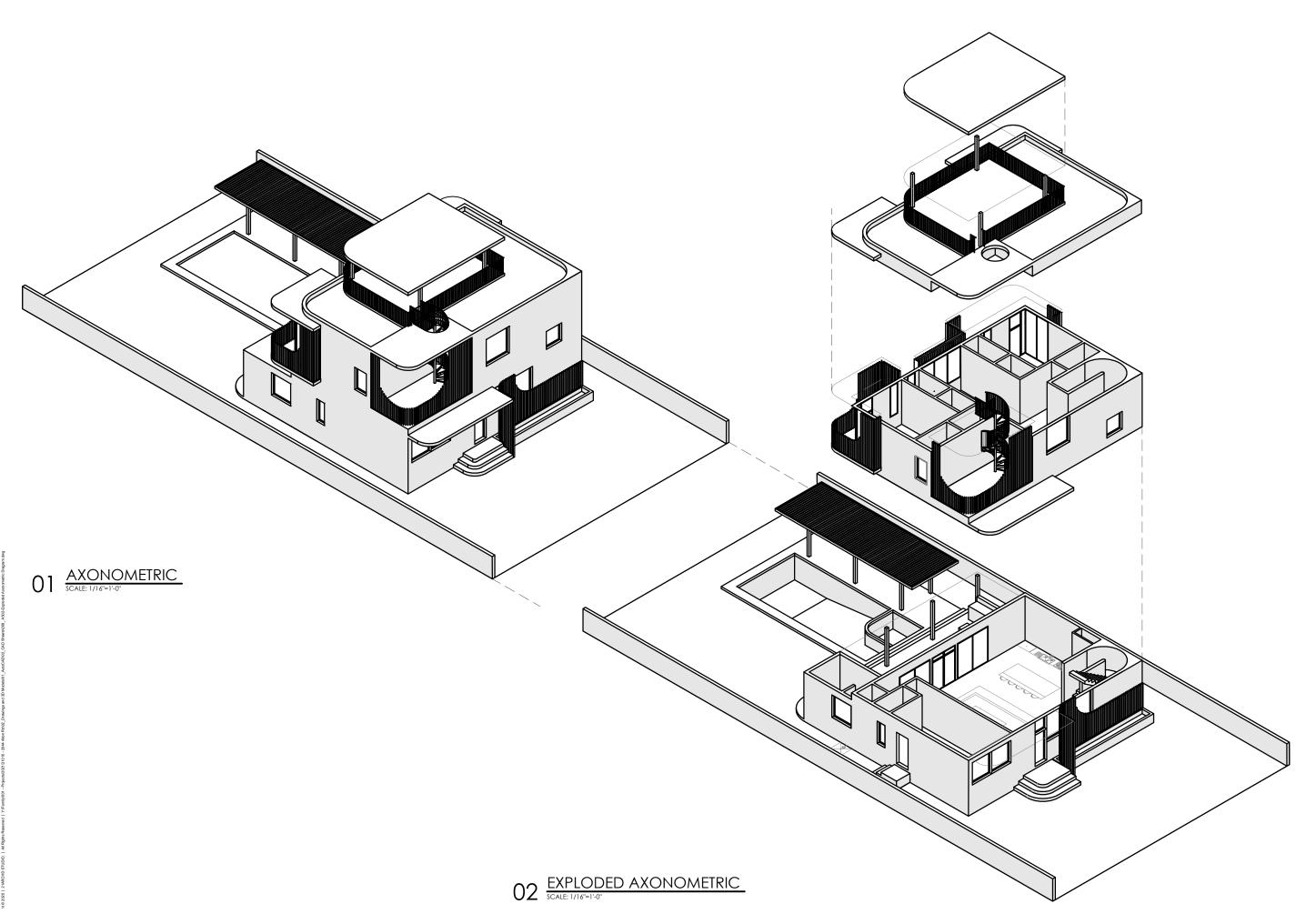
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PROFESSIONAL SEAL

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SHEET TITLE

RENDERINGS





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PROJECT NUMBER 21010

SHEET TITLE

EXPLODED AXONOMETRIC DGRM.

SHEET NUMBER