[illegible]

A001

SIGNED: Arturo Mendigutia FOR THE FIRM
ARTURO MENDIGUTIA, P.S.M. No. 5844-STATE OF FLORIDA
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LICENSED SURVEYOR AND MAPER. ADDITIONAL COPIES TO SURVEY MAPS OR
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AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL.

[illegible]

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

■ NO MODIFICATIONS APPLIED

☐ MODIFICATIONS APPLY

PROFESSIONAL SEAL

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(305) 323-4380

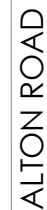
AR96144

PROJECT NUMBER
21010

SHEET TITLE

DEMOLITION PLAN

SHEET NUMBER

A003

01 Demolition Plan



| | |
|---------------------|--|
| GENERAL DATA | |
| PROJECT LOCATION | 2044 ALTON RD MIAMI BEACH, FL 33140 |
| FOLIO No. | 02-3227-008-1481 |
| OCCUPANCY | RS-4 SINGLE FAMILY - GENERAL |

| | |
|---|------------|
| FLOOD MANAGEMENT INFO | |
| FLOOD ZONE | AE |
| BASE FLOOD ELEVATION (BFE): | 8.00 NGVD |
| DESIGN FLOOD ELEVATION (DFE): | 9.00 NGVD |
| GARAGE TOP OF SLAB ELEVATION(LP): | 5.95 NGVD |
| LOWEST TOS ELEVATION OF HABITABLE SPACE : | 9.00 NGVD |
| NEXT HIGHER FLOOR ELEVATION : | 21.00 NGVD |
| LOWEST GRADE ELEVATION: ADJ. TO THE BUILDING (LAG) | 6.56 NGVD |
| HIGHEST GRADE ELEVATION: ADJ. TO THE BUILDING (HAG) | 6.56 NGVD |
| LOWEST ELEVATION OF EQUIPMENT: SERVICING THE BUILDING | 9.00 NGVD |
| CROWN OF ROAD ELEVATION : | 3.29 NGVD |
| ADJUSTED GRADE ELEVATION : | 5.64 NGVD |
| F.I.R.M MAP NUMBER: | 9.00 NGVD |
| FLOOD DESIGN CLASS PER ASCE 24-14 TABLE 1-1 (FBC 2017, 1604.5) : | CLASS 2 |

| | |
|-------------------|--------------|
| LOT AREA | 7,305 SQ.FT. |
| LEGAL DESCRIPTION | 27-34 53 42 |

| | |
|----------------|---|
| MIN. LOT AREA | 6,000 SQ.FT. (ACTUAL 7,305 SQ.FT.) |
| MIN. LOT WIDTH | 50 FT. (ACTUAL = 60 FT.) |
| MIN. UNIT SIZE | 1,800 SQ.FT. |
| MAX. UNIT SIZE | 50% OF THE LOT (7,305)=3,652 SQ.FT. ALLOWED |

| | |
|--------------|---|
| MAX. STORIES | The maximum number of stories shall not exceed two (2) above the base flood elevation, plus freeboard |
|--------------|---|

| | |
|-------------|--|
| MAX. HEIGHT | 24 FT. FOR FLAT ROOFS 27 FT. FOR SLOPED ROOFS |
|-------------|--|

FRONT 20 FT. GROUND FLOOR MIN.
30 FT. SECOND FLOOR MIN.

SIDES THE SUM OF THE REQUIRED SIDE YARD SHALL BE AT LEAST 25% OF THE LOT WIDTH (60 SQ.FT.)= 15 FT. (7.5 FT. ON EACH SIDE)

EXISTING LOT COVERAGE 2,196 SQ.FT. (AS PER MIAMI-DADE RECORDS)

| | | |
|-------------------|------------------|----------------------------------|
| MAX. LOT COVERAGE | 1st FLOOR | = 30% OF (7,305)=2,191.5 ALLOWED |
| | | = 1,919 SQ.FT. |
| | <u>2nd FLOOR</u> | <u>= 1,204 SQ.FT.</u> |
| | TOTAL | = 3,124 SQ.FT. |

| POOL SETBACKS | |
|---------------|---|
| REAR | MIN. 35% OF (45') = 15'-9" 6 FT. TO DECK 7.5 FT. TO WATERLINE 7.5 FT. TO DECK, 9 FT. TO WATERLINE |

AS PER CITY OF MIAMI BEACH [CHAPTER 142]

CALCULATING LOT COVER

SEC. 142-105(5)(c) EYEBROW, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM THE EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION. ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

UNIT SIZE REQUIREMENT

SEC. 142-105(4) AT LEAST 35% OF THE PHYSICAL SECOND FLOOR ABOVE THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK

ROOF DECKS

SEC. 142-105(6). ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN ROOFLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR OUTER WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERFRONT LOTS. BUILT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING SHALL NOT EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT. MAY BE PERMITTED IMMEDIATELY ABUTTING THE ROOF DECK SETBACK. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED. THE DRS OR HPs MAY FOREGO THE REQUIRED REAR SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

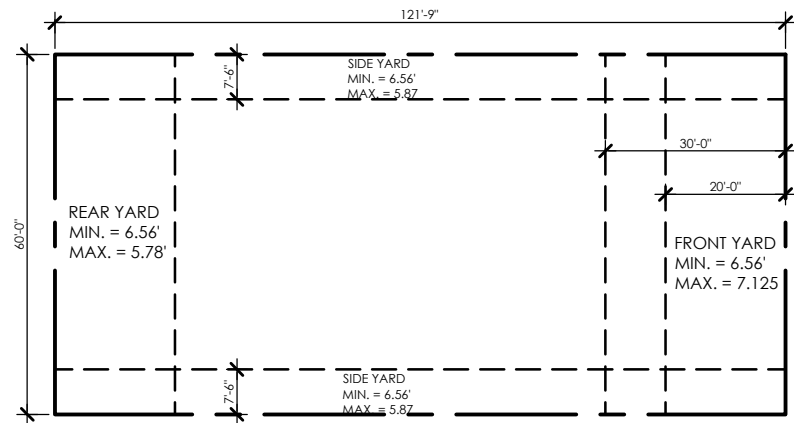
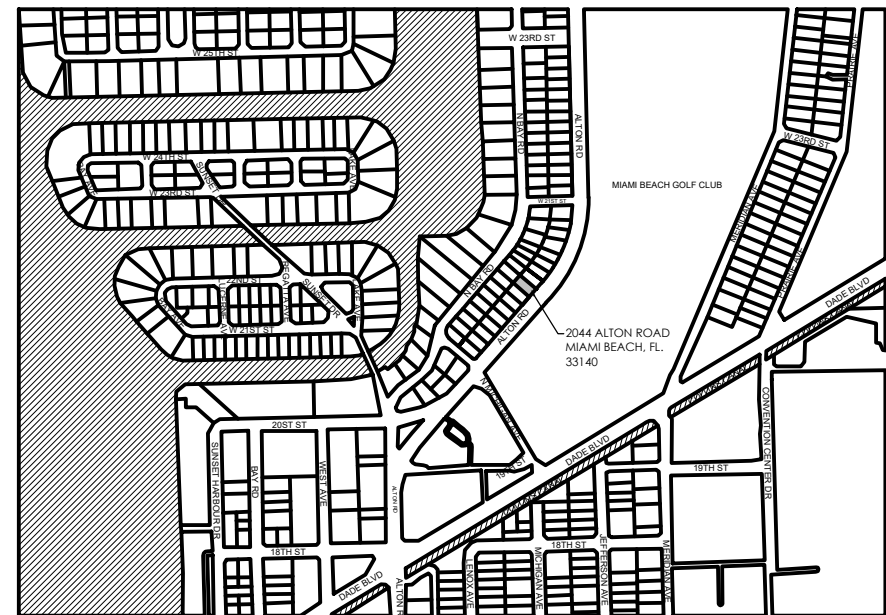
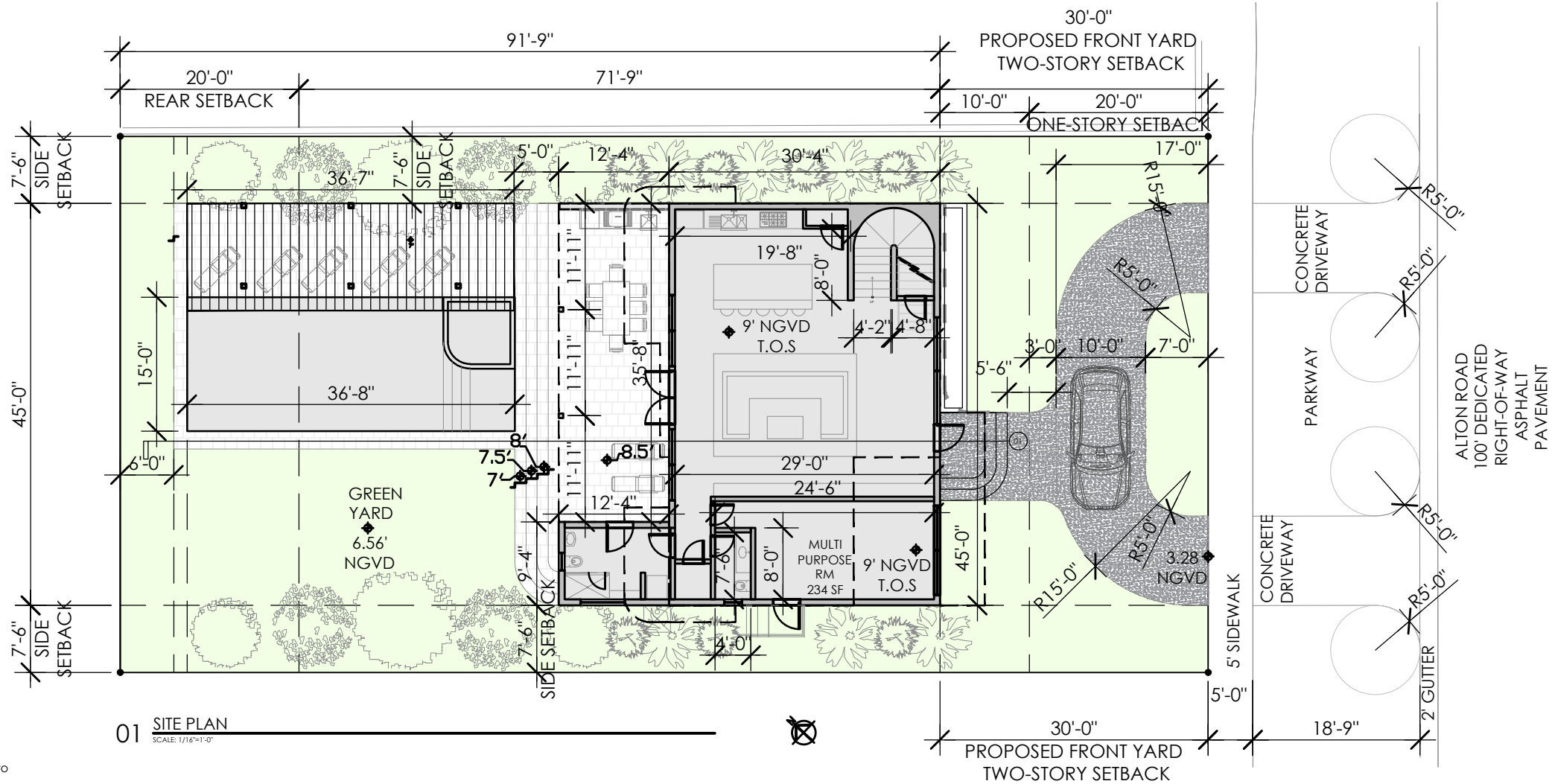
RETAINING WALL AND YARD SLOPE REQUIREMENT

SEC. 142-105 THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL.

PROJECTIONS

SEC. 142-106(3) EVERY PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY, EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS. THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 25 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

- a. BELT COURSES,
- b. CHIMNEYS,
- c. CORNICES,
- d. EXTERIOR UNENCLOSED PRIVATE BALCONIES,
- e. ORNAMENTAL FEATURES, ETC.



PLANS PREPARED FOR:

[illegible]

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

■ NO MODIFICATIONS APPLIED

☐ MODIFICATIONS APPLY

SPB NO. N/A DATE N/A

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AR96144

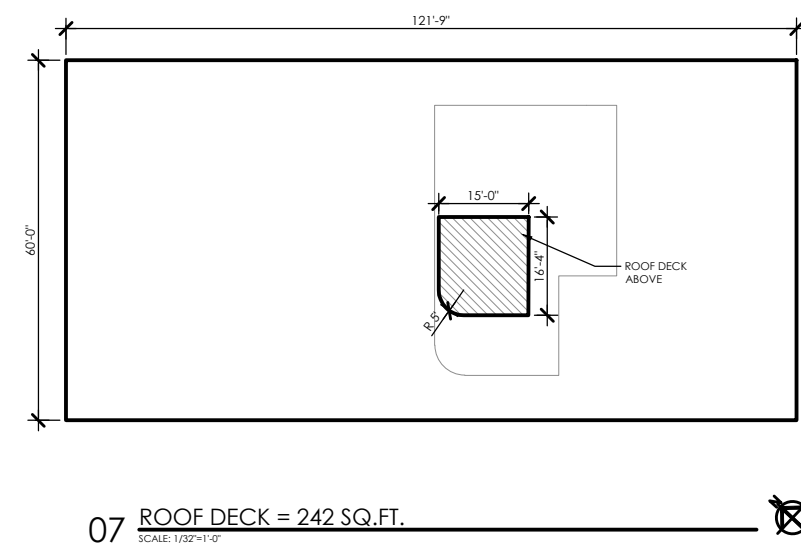
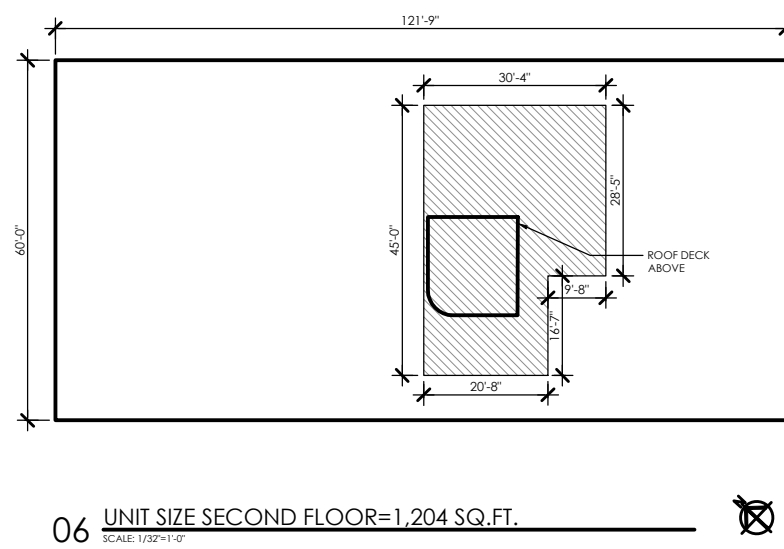
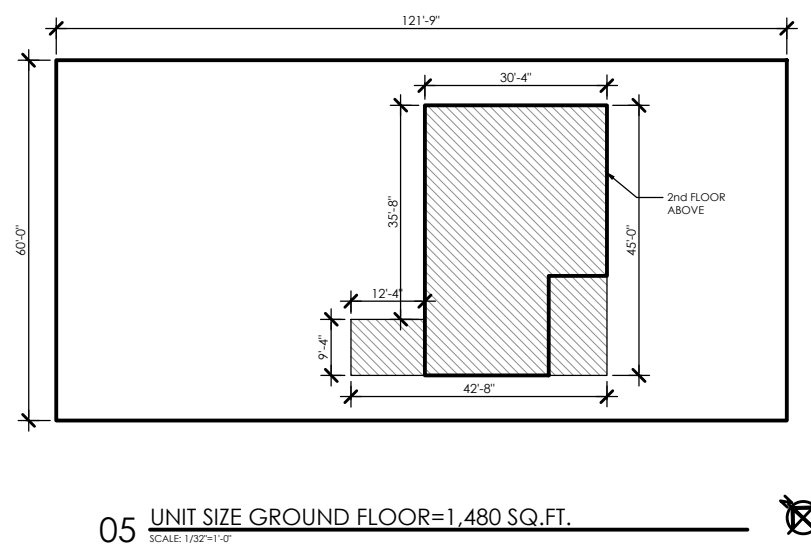
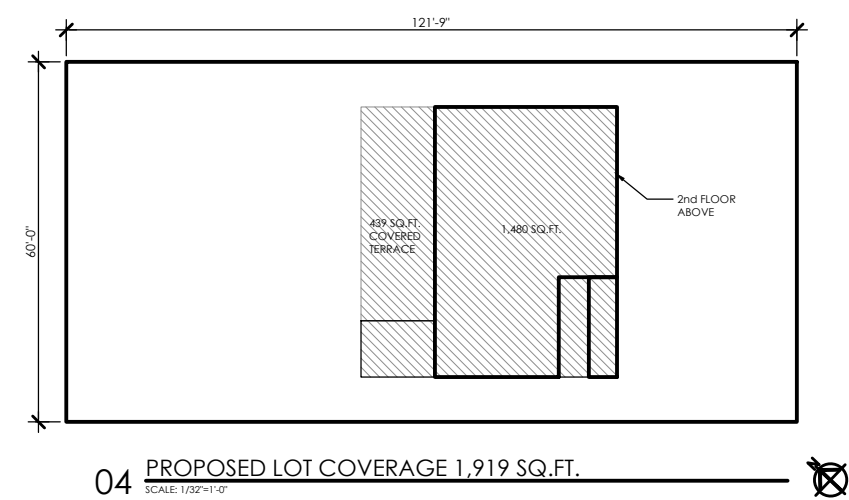
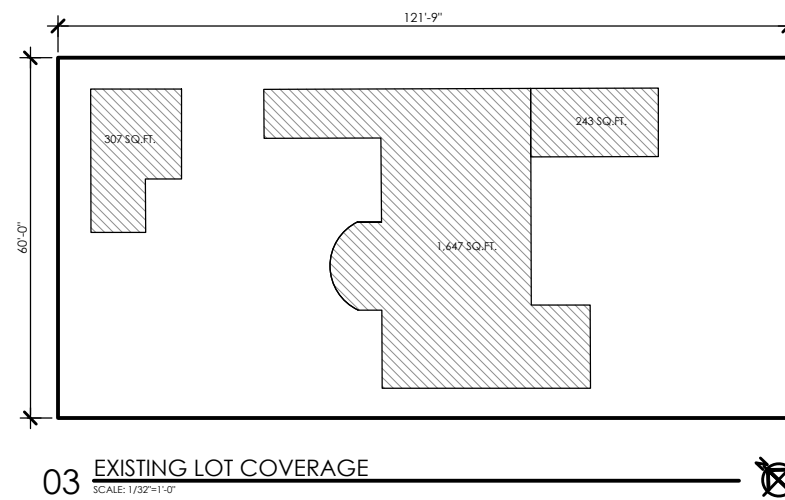
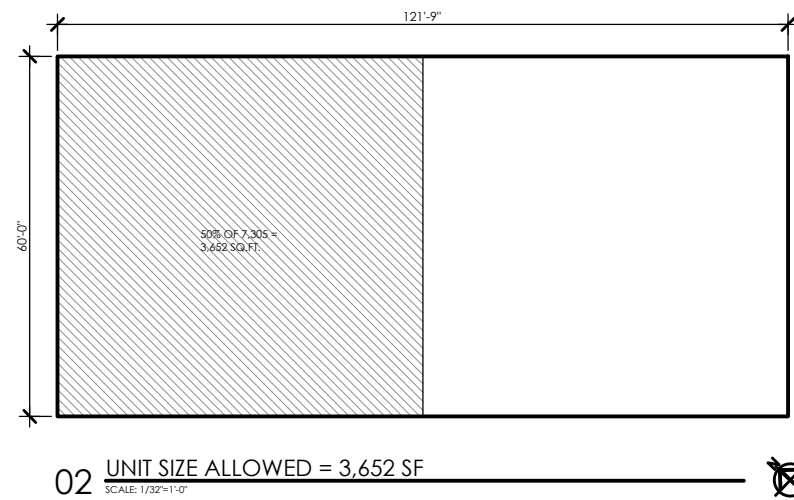
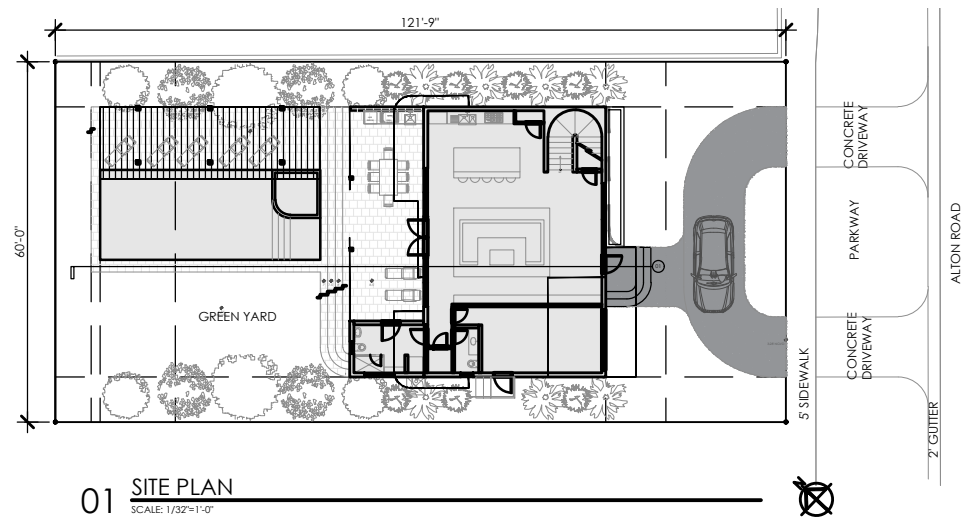
PROJECT NUMBER
21010

SHEET TITLE

SITE PLAN

SHEET NUMBER

A004



| | |
|--------------------------|-----------------------|
| GROUND FLOOR | = 1,480 SQ.FT. |
| SECOND FLOOR | = 1,204 SQ.FT. |
| TOTAL UNIT SQ.FT. | = 2,684 SQ.FT. |



PLANS PREPARED FOR:

[illegible]

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER
21010

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE

☒ NO MODIFICATIONS APPLIED
☐ MODIFICATIONS APPLY
SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

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R96144

PROJECT NUMBER
21010

SHEET TITLE
LOT COVERAGE
UNIT SIZE
DIAGRAMS

SHEET NUMBER

A005

PROJECT NAME

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PLAN SERIES
11 x 17

PLAN MODIFICATION NOTICE

☒ NO MODIFICATIONS APPLIED
☐ MODIFICATIONS APPLY

SPB NO. N/A **DATE** N/A

PROFESSIONAL SEAL

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PROJECT NUMBER
21010

OPEN SPACE CALCULATIONS

A006



SCALE: 3/32"=1'-0"

AR96144

PROJECT NUMBER
21010

OPEN SPACE CALCULATIONS

A006



A101

[illegible]

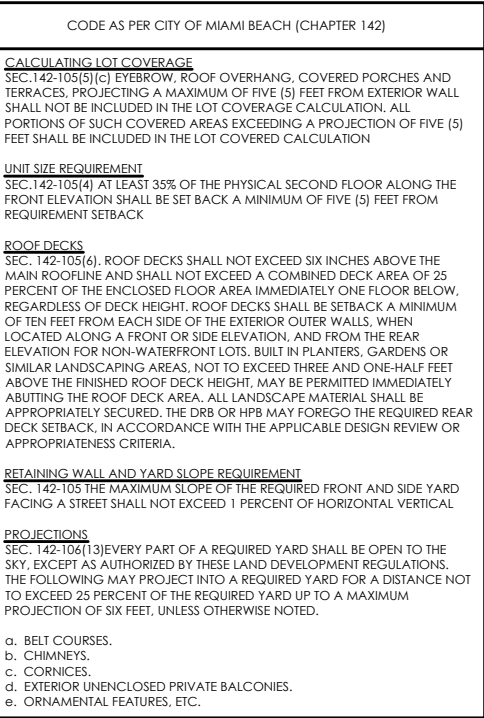
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| PROJECT NUMBER |
| 21010 |
| PLAN SERIES |
| 11 x 17 |
| PLAN MODIFICATION NOTICE |
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| SPB NO. N/A DATE N/A |

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A102

| | |
|--------------------------|-----------------------|
| GROUND FLOOR | = 1,480 SQ.FT. |
| SECOND FLOOR | = 1,204 SQ.FT. |
| TOTAL UNIT SQ.FT. | = 2,684 SQ.FT. |





PLANS PREPARED FOR:

[illegible]**PROJECT NAME**

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

MODIFICATIONS APPLY

PB NO. N/A DATE N/A

PROFESSIONAL SEAL

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AR96144

PROJECT NUMBER

21010

SHEET TITLE

ROOF DECK FLOOR PLAN

SHEET NUMBER

A103

SCALE: 3/32"=1'-0'



EXTEND ROOF CANOPY BEYOND 25% TOWARDS REAR SETBACK - WITH VARIANCE
EXTEND ROOF DECK BEYOND 20% TOWARDS REAR SETBACK - WITH WAIVER

PROJECT NAME

RESIDENTIAL
1044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

PLAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

MODIFICATIONS APPLY

PB NO. N/A DATE N/A

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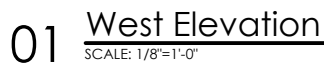
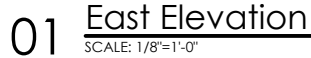
| | |
|----------------|------|
| PROJECT NUMBER | 1010 |
|----------------|------|

SHEET TITLE

LEVATION

SHEET NUMBER

A202



PROJECT NAME

RESIDENTIAL
1044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

1010

LAN SERIES

1 x 17

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED

MODIFICATIONS APPLY

PROFESSIONAL SEAL

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96144

PROJECT NUMBER

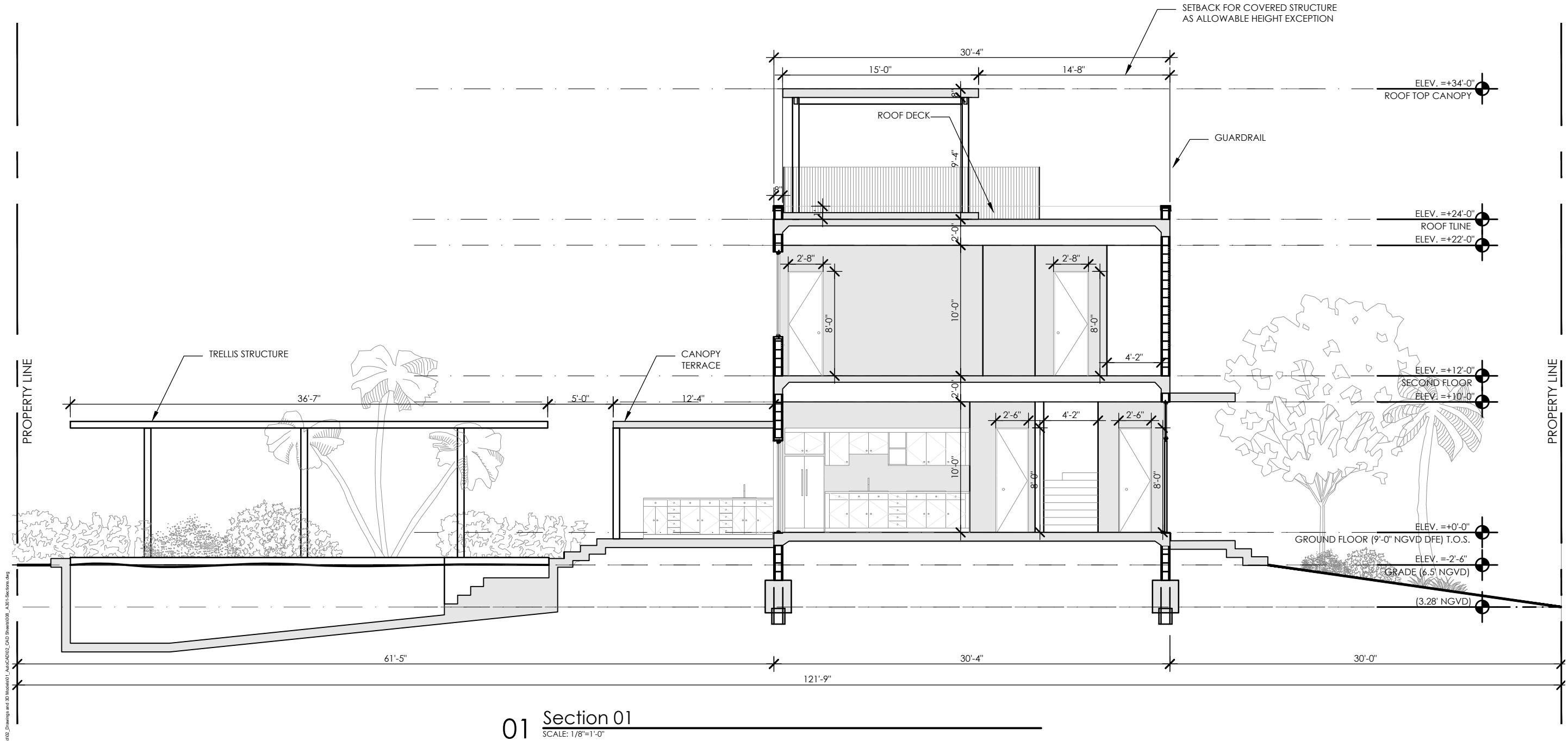
1010

SHEET TITLE

ACTIONS

SHEET NUMBER

A301



PROJECT NAME

RESIDENTIAL
1044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

1010

PLAN SERIES

1 x 17

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED

MODIFICATIONS APPLY

PB NO. N/A DATE N/A

PROFESSIONAL SEAL

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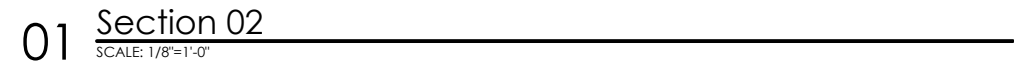
PROJECT NUMBER

1010

SHEET TITLE

ACTIONS

SHEET NUMBER

A302



01 Front 3D View - By Right



02 Rear 3D View - By Right



01 Front 3D View - With Variance



02 Rear 3D View - With Variance

[illegible]

PROJECT NAME

CHETEK RESIDENCE

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

21010

LAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED

MODIFICATIONS APPLY

PB NO. N/A **DATE** N/A

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R96144

PROJECT NUMBER

21010

HEET TITLE

RENDERINGS

HEET NUMBER

A501

PROJECT NAME

RESIDENTIAL
2044 Alton Rd
MIAMI BEACH,
FL 33140

PROJECT NUMBER

LAN SERIES

11 x 17

PLAN MODIFICATION NOTICE

MODIFICATIONS APPLY

PB NO. N/A DATE N/A

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R96144

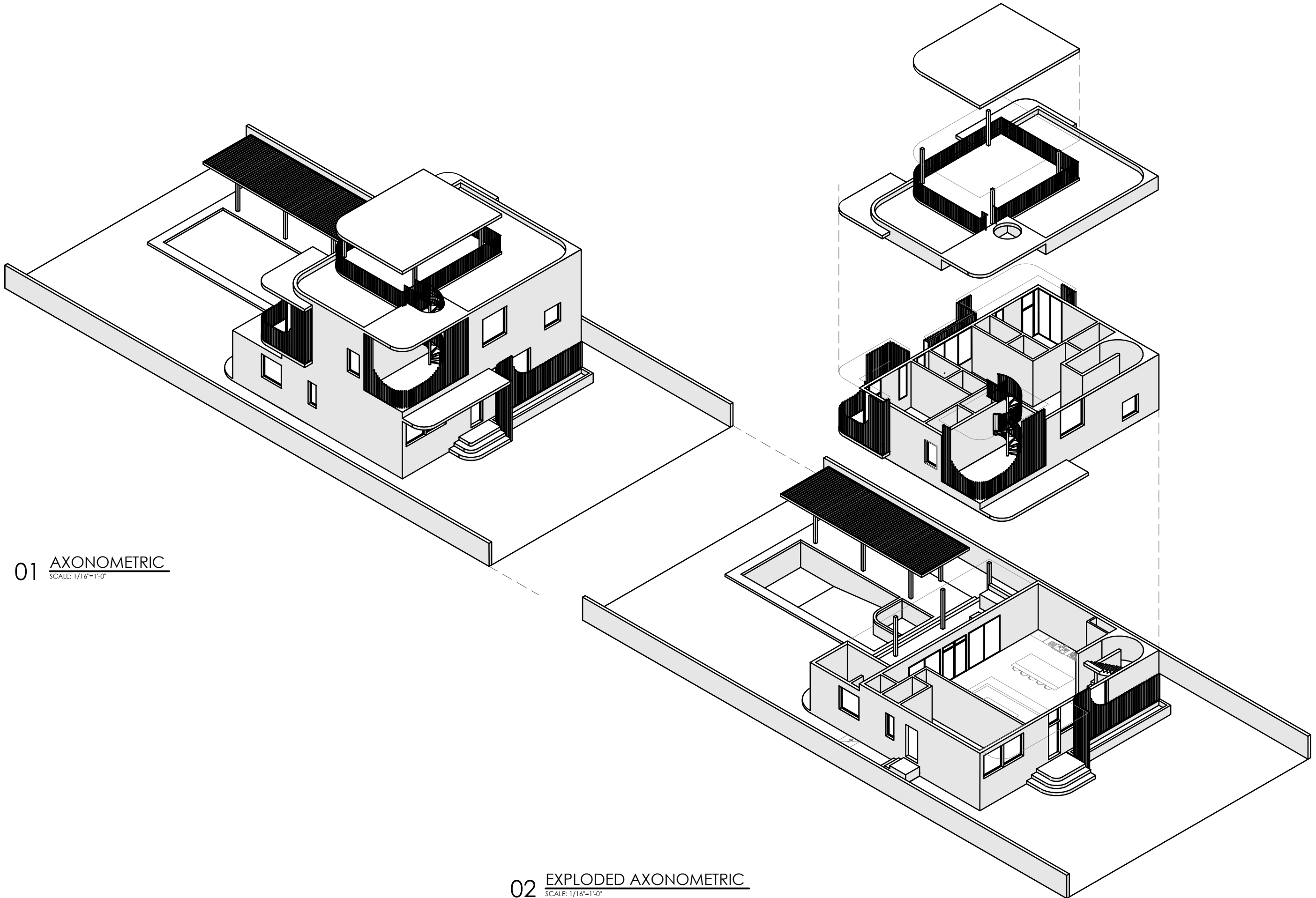
PROJECT NUMBER

21010

HEET TITLE

EXPLODED AXONOMETRIC DGRM

HEET NUMBER

A502

SCALE: 1/16"=1'-0"

SCALE: 1/16"=1'-0"