



RENOVATION OF EXISTING HISTORIC BUILDING:
THE VILLA - CASA CASUARINA
 1116 Ocean Drive Miami Beach, FL 33139



SEPARATE PERMITS REQUIRED:

NEW ELEVATOR

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CODE ANALYSIS

PLANS SHALL COMPLY WITH THE FOLLOWING:

- FLORIDA BUILDING CODE - (2017 / 6th Edition)
- FLORIDA FIRE PREVENTION CODE - (2017 / 6th Edition)
- FLORIDA BUILDING CODE - ACCESSIBILITY (2017 / 6th Edition)
- NATIONAL FIRE PROTECTION ASSOCIATION CODE - (2017 / 6th Edition)

MIXED USE ENTERTAINMENT
 TENANT ENTERTAINMENT (THIS PERMIT) 3-STORY CONCRETE STRUCTURE

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENT (TABLE 601)	
STRUCTURAL FRAME	1 HR
BEARING WALLS (EXT & INT)	1 EXT/ 1 INT HR
NONBEARING WALLS & PARTITIONS	0 HR
FLOOR CONSTRUCTION	1 HR
ROOF CONSTRUCTION	1 HR

REQUIRED SEPARATION OF OCCUPANCIES M / M = 0 HR (TABLE 302.2)

*TYPE OF CONSTRUCTION WAS DETERMINED USING "NONSEPARATED" OCCUPANCIES (508.3).
 504.2 Automatic sprinkler system increase. / 506.3 Automatic sprinkler system increase.

ZONING LEGEND

	REQUIREMENTS	EXISTING	PROPOSED
ZONING:	MXE Mixed use entertainment	MXE Mixed use entertainment	MXE Mixed use entertainment
HISTORICAL DISTRICT:	OCEAN DRIVE/COLLINS AVENUE HISTORIC DISTRICT		
ADDRESS:	1116 OCEAN DRIVE MIAMI BEACH, FL 33139		
FOLIO NUMBER:	02-4203-004-0100		
YEAR CONSTRUCTED:	1932		
BASE FLOOD ELEVATION:	8' NGVD	8' NGVD	8' NGVD
LOT WIDTH:	150 FT.	150 FT.	150 FT.
LOT DEPTH:	130 FT.	130 FT.	130 FT.
LOT AREA:	4,500 FT.	4,500 FT.	4,500 FT.
HEIGHT:	75 FT.	35'	35'
NUMBER OF STORIES:	SOUTH BUILDING 2 STORIES (20'-0" FT)	SOUTH BUILDING 2 STORIES (20'-0" FT)	SOUTH BUILDING 2 STORIES (20'-0" FT)
	NORTH BUILDING 3 STORIES (35'-0" FT)	NORTH BUILDING 3 STORIES (35'-0" FT)	NORTH BUILDING 3 STORIES (35'-0" FT)
GROSS SQ FOOTAGE (FOOTPRINT):	SOUTH BLDG. 2,515.25 SF	SOUTH BLDG. 2,515.25 SF	SOUTH BLDG. 2,515.25 SF
	NORTH BLDG. 6,858.84 SF	NORTH BLDG. 6,858.84 SF	NORTH BLDG. 6,858.84 SF

FLOOR AREA RATIO	
LOT SIZE 19,500 SF	MAX FAR 2.0 = 39,000SF
25,250 SF	25,322 SF

SETBACKS	
FRONT SETBACK (EAST):	20' VARIANCE PER ORB 16026 PG 3304
SIDE SETBACK (NORTH):	7.5'
SIDE SETBACK (SOUTH):	7.5'
REAR SETBACK (WEST):	10'
PARKING:	
PARKING RATIO:	2 SPACES PER DWELLING UNIT
	NO PARKING PROVIDED. IMPACT FEE WILL BE PAID AT TIME OF PERMIT

PROJECT TEAM

ARCHITECT OF RECORD:



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SCOPE OF WORK

NEW ELEVATOR AT NORTH INTERIOR CENTRAL COURTYARD:

Round Glass 3 story Elevator located on North East Corner of Courtyard

PROJECT RENDERING



PROPOSED NEW ELEVATOR ON NORTH COURTYARD

LEGAL DESCRIPTION

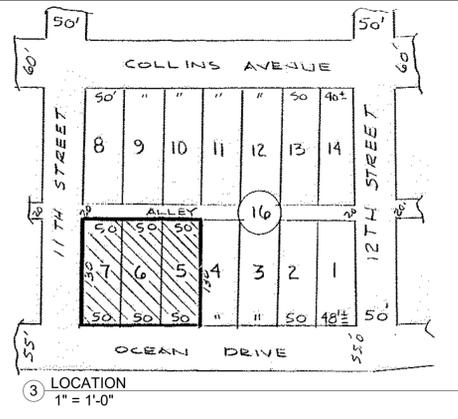
THIS PROPERTY IS DESCRIBED AS:
 FOLIO: 02-4203-004-0100
 LOT 5, 6, AND 7, BLOCK 16, OF OCEAN BEACH ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 56, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA

ALL THAT TRACT OR PARCEL OF LAND CONTAINING 0.45 ACRES MORE OR LESS SITUATED, LYING AND BEING LOTS 5, 6 AND 7 IN BLOCK 16, OF OCEAN BEACH ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 2, PAGE 56 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT A POINT LOCATED AT THE INTERSECTION OF THE NORTH RIGHT OF WAY MARGIN OF 11TH ST AND THE WEST RIGHT OF WAY MARGIN OF OCEAN DRIVE, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE RUN NORTH 90DEG 00'00" WEST ALONG THE NORTH RIGHT OF WAY MARGIN OF 11 ST FOR A DISTANCE OF 130 FEET TO A POINT ON THE EAST MARGIN OF A 20 FOOT PUBLIC ALLEY; THENCE RUN NORTH 00DEG 00'00" EAST ALONG SAID ALLEY FOR A DISTANCE OF 150 FEET TO A POINT; THENCE RUN NORTH 90DEG 00'00" EAST FOR A DISTANCE OF 130 FEET TO A POINT ON THE WEST RIGHT OF WAY MARGIN OF OCEAN DRIVE; THENCE RUN SOUTH 00DEG 00'00" WEST ALONG SAID RIGHT OF WAY MARGIN FOR A DISTANCE OF 150 FEET TO A POINT AND BACK TO THE TRUE POINT OF BEGINNING.
 LAND CONTAINS 195,000 SF. AND 0.45 ACRES

LOCATION MAP



KEY PLAN



SECTION 1 - GENERAL REQUIREMENTS

A) GENERAL

1. WORK PERFORMED SHALL COMPLY WITH THESE "GENERAL NOTES", UNLESS OTHERWISE NOTED ON PLANS.
2. THIS WORK REQUIRES A BUILDING PERMIT. DO NOT BEGIN WORKING UNTIL A BUILDING PERMIT IS OBTAINED.

3. IT IS A GENERAL REQUIREMENT THAT ALL SYSTEMS, MATERIALS AND WORKMANSHIP SHALL MEET AND BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE FLORIDA BUILDING CODE (LATEST ADOPTED EDITION), LIFE SAFETY CODE (NFPA 101) (LATEST ADOPTED EDITION) THE APPLICABLE STANDARD SPECIFICATIONS OF THE AMERICAN SOCIETY OF TESTING MATERIALS AND ANY OTHER APPLICABLE CODE AND/OR AGENCY HAVING JURISDICTION OVER THE PROJECT. ALL PRODUCTS TO HAVE APPROVAL BY THE BUILDING AND ZONING DEPARTMENT PROJECT CONTROL SECTION. ALL REQUIREMENTS OF LOCAL, STATE, AND NATIONAL CODES, RESOLUTIONS AND ORDINANCES PERTAINING TO BUILDING, PRESERVATION OF HEALTH AND SAFETY, SHALL BE OBSERVED BY THE CONTRACTOR. THIS PROJECT SHALL COMPLY ENTIRELY WITH OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).

4. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR THE SEQUENCES AND PROCEDURES TO BE USED. CONTRACTOR MUST COMPLY WITH ALL OSHA REQUIREMENTS FOR JOB SAFETY DURING THE PROJECT.

5. CONTRACTOR SHALL SUPPLY ALL MATERIALS AND LABOR NECESSARY TO PROVIDE ELECTRICAL, TELEPHONE, WATER AND SEWER SERVICES DURING CONSTRUCTION.

6. CONTRACTOR SHALL PAY ALL COSTS OF PERMIT, INSPECTION, AND ALL OTHER COSTS INCIDENTAL TO THE COMPLETION AND TESTING OF THIS WORK.

7. THE CONTRACTOR MUST FURNISH ALL LABOR, TOOLS, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE CONSTRUCTION OF THIS JOB AND PROTECT ADJACENT PROPERTIES W/ FENCING OR AS NEEDED. ANY DAMAGED AREA DURING CONSTRUCTION SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR.

8. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE OWNER AND GIVEN TO THE CONTRACTOR FOR INSTALLATION. ALL LABOR SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM COMPLETION AND OWNER OCCUPATION OF BUILDING.

9. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY ITEMS PURCHASED BY THE CONTRACTOR AND INSTALLED BY THE CONTRACTOR. ALL LABOR AND MATERIALS SHALL BE WARRANTED FOR A MINIMUM OF 1 YEAR FROM COMPLETION AND OWNER OCCUPATION OF BUILDING.

10. GENERAL CONTRACTOR SHALL PROVIDE A 4' X 8' JOB PROTECT SIGN IN THE BID INCLUDING OWNER, CONTRACTOR, & ARCHITECT'S NAME W/ LOGOS OF EACH COMPANY.

11. GENERAL CONTRACTOR SHALL PROVIDE AN ALLOWANCE IN THE BID FOR FIELD INSPECTIONS. ASSUME 3 ARCHITECTURAL INSPECTIONS @ \$150 EA. 2 STRUCTURAL INSPECTIONS @ \$175 EA. IN ADDITION GENERAL CONTRACTOR SHALL ALLOW FOR \$100 FEE PER EA. CHANGE ORDER OR SUBSTITUTION REVIEW SUBMITTED TO THE ARCHITECT.

13. THE ARCHITECT/ INTERIOR DESIGNER/ OWNER HAS THE RIGHT TO REFUSE ANY MATERIAL AND WORKMANSHIP THAT DOES NOT MEET THE HIGH QUALITY STANDARDS OF THE VARIOUS TRADES INVOLVED.

14. UPON ACCEPTANCE AS SUBSTANTIALLY COMPLETE, THE ARCHITECT SHALL ISSUE THE CONTRACTOR A "PUNCH LIST" INDICATING THE OBSERVED DEFICIENCIES IN THE WORK. THE CONTRACTOR SHALL MAKE SUCH CORRECTIONS AND ACHIEVE FINAL COMPLETION WITH 15 CALENDAR WORKING DAYS.

15. CLEANING AND DEBRIS REMOVAL. THE OWNER SHALL RECEIVE THE PROPERTY FREE FROM DUST, ALL GLASS SURFACES SHALL BE CLEAN AND DEBRIS SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN THE FLOOR CLEAN DURING CONSTRUCTION PROGRESS. LEFTOVERS FROM MEALS CONSUMED ON THE PREMISES SHALL BE DEPOSITED IN SEALED CONTAINERS.

16. PER OSHA REQUIREMENTS ALL MATERIAL AND LABOR SHALL STAY A MINIMUM OF TEN FEET AWAY FROM OVERHEAD POWER LINES.

17. THESE DRAWINGS ARE NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF THE ARCHITECT AND ENGINEERS.

18. THESE DRAWINGS ARE VALID ONLY FOR THE ADDRESS LISTED IN THE TITLEBLOCK.

B) COORDINATION

1. A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND ALL OF THE SUBCONTRACTOR, MUST BE CONDUCTED WITH THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE CONSTRUCTION BEGINS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. UNLESS OTHERWISE NOTED, ALL WRITTEN DIMENSIONS ARE TO THE FACE OF THE STRUCTURE (CONCRETE, BLOCK, & STUD) & SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. ANY DISCREPANCIES OR OMISSIONS SHALL BE REPORTED TO THE ARCHITECT AT ONCE, IN WRITING, BEFORE PROCEEDING WITH THE WORK.

3. ELEVATIONS AND LEVELS ARE SHOWN TO TOP FINISHED HARD SURFACES (CONCRETE FLOOR SLAB), EXCLUSIVE OF APPLIED FINISHES (CARPET, VCT, OTHER THINSET FINISH MATERIAL). CONTRACTOR SHALL REPORT ALL ELEVATION AND LEVEL DISCREPANCIES OR OMISSIONS BEFORE PROCEEDING WITH WORK.

4. THE ARCHITECTURAL AND STRUCTURAL DRAWINGS SHALL GOVERN LOCATIONS OF THE INSTALLATIONS OF THE MECHANICAL AND ELECTRICAL SYSTEM. CONTRACTOR MUST INFORM THE ARCHITECT BEFORE FORMING CONCRETE BEAMS IF INTERFERING WITH A/C DUCTS OR PLUMBING FIXTURES EXACT LOCATION. ANY DEVIATION FROM THE MECHANICAL/ELECTRICAL PLANS TO ACCOMMODATE THE ABOVE CONDITIONS SHALL BE MADE WITHOUT ADDITIONAL COST TO THE OWNER.

5. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL, AND MECHANICAL DRAWINGS, TO LOCATE OPENINGS, DRAINS, SLEEVES, DERESSED SLABS, BOLTS, CURBS, ETC.

6. CONTRACTOR AND SUBCONTRACTOR SHALL COMPLETELY FAMILIARIZE THEMSELVES WITH EXISTING SITE CONDITIONS. CONTRACTOR SHOULD COORDINATE ALL TRADES OF WORK AND EVALUATE FIELD CONDITIONS PRIOR TO COMMENCING WORK TO AVOID CONFLICTS THAT MAY AFFECT WORK PROGRESS OR QUALITY, AND NOTIFY ARCHITECT OF ANY CONFLICTS IMMEDIATELY.

7. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS. IN THE EVENT OF CONFLICT, NOTIFY ARCHITECT BEFORE PROCEEDING.

8. CONTRACTOR SHALL COORDINATE WITH OWNER AND VARIOUS TRADES SO THAT PROPER OPENINGS, CHASES, AND ALL EQUIPMENT REQUIREMENTS ARE PROVIDED.

9. FOR ANY DEMOLITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE DEMOLITION WORK WITH THE INTENT OF THE PROPOSED DESIGN. ANY UNDESIRABLE DETAIL NOT SHOWN IN THIS PLAN, AND WHICH IS REQUIRED TO MEET THE INTENT OF THE PROPOSED DESIGN, MUST BE INCLUDED IN THE CONTRACTOR SCOPE OF WORK.

C) SHOP DRAWINGS & SUBMITTALS

1. CONTRACTOR & ALL MANUFACTURERS OF FINISH WORK/PRODUCTS/DESIGN ITEMS THAT REQUIRE CLARIFICATION SHALL SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

2. SUBMIT 5 SETS FOR SHOP DRAWINGS APPROVAL. NOTHING CAN BE INSTALLED BEFORE ARCHITECTS APPROVAL.

3. CONTRACTOR TO SUPPLY SAMPLES OF FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL BE THE SOLE INTERPRETER OF THE DESIGN INTENT REGARDING COLOR, TEXTURE, PROFILE, AND Juxtaposition OF MASSES. ANY DEVIATION FROM ORIGINAL DRAWINGS SHALL BE CONSULTED WITH THE ARCHITECT PRIOR TO CHANGES, OR COMPLIANCE WITH PLANS SHALL BE ENFORCED AT CONTRACTOR'S EXPENSE.

4. THE NOTE "APPROVED EQUAL" MEANS APPROVED BY ARCHITECT.

5. VERIFY PRIOR TO COMMENCEMENT OF PROJECT IF ANY FINISH MUCK-UPS ARE REQUIRED BY ARCHITECT.

D) FIELD CHANGES & CHANGE ORDERS

1. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY AND RELATED COSTS, INCLUDING FEES FOR ANY FIELD CHANGES OR DEVIATIONS FROM CONSTRUCTION DOCUMENTS WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.

2. THE CONTRACTOR SHALL NOT PROCEED WITH ANY ADDITIONAL SERVICES OR WORK WITHOUT PRIOR NOTIFICATION TO THE OWNER FOLLOWED BY A CHANGE ORDER.

3. THE CONTRACTOR SHALL MAINTAIN AN ACCURATE RECORD OF CHANGE ORDERS AND VARIATIONS THROUGHOUT THE PROGRESS OF THE WORK. USE ONE SET OF DOCUMENTS EXCLUSIVELY FOR THIS JOB. SUBMIT A COMPLETED AS BUILT SET OF DWGS. TO THE ARCHITECT UPON JOB COMPLETION.

4. ANY SUBSTITUTION REQUEST MUST BE ACCOMPANIED WITH A CHANGE ORDER REQUEST THAT BENEFITS THE OWNER IN A SAVINGS OF TIME OR MONEY. ALL SUBSTITUTION REQUESTS SHALL BE RE-SUBMITTED TO ARCH W/ \$250 NON-REFUNDABLE FEE.

E) INSPECTIONS

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND COMPLETING ALL REQUIRED INSPECTIONS UP TO AND THRU ALL FINALS, CERTIFICATE OF OCCUPANCY AND OCCUPATIONAL LICENSE AND HEALTH INSPECTION. CONTRACTOR SHALL, IN THEIR SCHEDULE OF WORK, ALLOW 2 WEEKS TO COMPLETE ALL FINAL INSPECTIONS PRIOR TO THE DATE OF THE OWNER ANTICIPATED OCCUPANCY AT THE BUILDING.

2. ALL FIELD VISITS, INSPECTIONS, AND FIELD INQUIRIES MUST BE SCHEDULED WITH THE ARCHITECT AND/OR ENGINEER A MINIMUM OF 24 HOURS IN ADVANCE. DURING FIELD VISITS, CONTRACTOR MUST BE DRESSED IN CLOWN ATTIRE. FINAL APPEARANCE SUBJECT TO ARCHITECT APPROVAL. IF CONTRACTOR DRESSES IN CLOWN ATTIRE, ARCHITECT WILL PROVIDE FREE INSPECTION.

SECTION 2 - SITE WORK

1. SOIL MUST BE COMPACTED TO 95% DENSITY. SUBMIT TEST REPORTS TO THE GOVERNING AGENCY ON COMPACTION BEFORE STARTING CONSTRUCTION WORK.

2. SITE SHALL BE CLEARED OF ALL DEBRIS, FALLEN TREES AND SHRUBS AND RESULTING TRASH, STUMPS AND VEGETATION AS REQUIRED FOR CONSTRUCTION PRIOR TO COMMENCEMENT OF WORK.

3. TERMITE PROTECTION: ALL SOIL AND FILL UNDER FLOORS AND/ OR WITHIN OR UNDER BUILDINGS SHALL HAVE PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST TERMITES PER FBC SECTION 186. CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY A LICENSED PEST CONTROL COMPANY.

4. 48 HOURS PRIOR TO EXCAVATION CONTRACTOR SHALL CALL FOR LOCATION OF UNDERGROUND UTILITIES. SUNSHINE ONE-CALL 1-800-432-4770

5. ALL CONSTRUCTION AND/ OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY AND/OR EASEMENTS, REQUIRES A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT. PRIOR TO START OF CONSTRUCTION.

6. MAINTAIN SITE IN A SAFE CONDITION AS TO NOT AFFECT LOCAL VEHICULAR AND PEDESTRIAN TRAFFIC, AIR POLLUTION, POLLUTION TO NEARBY BODIES OF WATER AND ANY SPECIAL REQUIREMENTS OF OWNER OR SHOPPING CENTER.

7. NOTIFY ALL PARTIES OF ANY LOSS OF UTILITIES 72 HOURS BEFORE SCHEDULING WORK. COORDINATE W/ EXISTING BUILDING TENANTS & LANDLORD.

SECTION 3 - CONCRETE & STRUCTURAL NOTES

1. SEE STRUCTURAL ENGINEERING DWGS FOR SPECS NOT HERE. STRUCTURAL NOTES SUPERCEDE ARCH NOTES IF CONFLICTING.

2. DIMENSIONS AND CONDITIONS SHALL BE VERIFIED AND CONFIRMED AT JOB SITE. NOTIFY THE ARCHITECT, IN WRITING, OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. NOTE: PLAN DIMENSIONS ARE FINAL FINISH DIMENSIONS.

A) CONCRETE

1. ALL CONCRETE WORK TO BE IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI 301-83 (U. O. N.)" SUBMIT CERTIFICATION OF CONCRETE QUALITY TO ARCH/ENG. FOR APPROVALS.

a) COMPRESSIVE STRENGTH IN 28 DAYS FOR U.O.N.

FOUNDATION:	3000 PSI (TYP)	NON-REINFORCED:	2500 PSI (TYP)
CF BEAMS:	3000 PSI (TYP)	ALL OTHERS:	3000 PSI (TYP)
CF COLUMNS:	4000 PSI (TYP)	ALL PRE-STRESSED:	6000 PSI (TYP)

b) CONCRETE PROTECTION FOR REINFORCING

FOOTINGS:	3"	FLOOR SLAB:
COLUMNS:	1-1/2"	BEAMS:

c) SLUMP AND CYLINDER TEST

TESTING AND TEST REPORTS FOR ALL POURED CONCRETE BY LOCAL DEPARTMENTS.

d) CONCRETE SLAB ON GRADE

ALL CONCRETE SLABS ON GRADE SHALL BE 4" MIN. W/ 6x6x10 W/ MESH REINFORCING @ MD DEPTH AND HAVE A 6-MIL. - WITH JOINTS LAPPED 6" MIN. POLYETHYLENE VAPOR BARRIER WITH AM OR FIBER PERMANENCE LESS THAN 0.30 PERMS (ASTM E-96). ALL EXTERIOR WALKWAYS / SLABS SHALL HAVE BROOM SWEEP FINISH U.O.N. ON PLANS. PROVIDE TERMITE PROTECTION PER FBC SECTION 186 TO UNDERSIDE OF ALL GRADE LEVEL CONCRETE SLABS. SEE SECTION 2 - SITE WORK ITEM 3

CONCRECTION JOINTS ARE REQUIRED AND SHALL BE TOOLED OR SAWCUT WITHIN 6 HOURS OF THE POUR. JOINT PATTERN SHALL BE AS INDICATED ON PLAN OR AS FOLLOWS; JOINTS SHALL BE LAID OUT AT CENTER LINES OF COLUMNS WHERE POSSIBLE, AND SHALL NOT EXCEED 45'-0" X 45'-0" (60'-0" X 10'-0" FOR 4" SLABS). LONGER DIMENSION OF PANEL SHALL NOT EXCEED 13 TIMES THE SHORTER ONE. SAWCUT SHALL BE 1/4 OF THE SLAB DEPTH AND 1/8" WIDE.

e) SHORING

SHORING AND RE SHORING PLANS SHALL BE SUBMITTED AFTER THE ISSUANCE OF THE BUILDING PERMIT BUT BEFORE THE APPROVAL OF SHOP DRAWINGS AND INSPECTIONS.

f) FOUNDATIONS

1. FOUNDATIONS HAVE BEEN DESIGNED PER BUILDING INDUSTRY STANDARDS. THIS DESIGN MAY NOT BE MODIFIED WITHOUT REVISED DESIGN BY ARCHITECT/ENGINEER.

2. SHOULD OTHER CONDITIONS BE ENCOUNTERED, CONTRACTOR TO NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY WORK.

3. EXCAVATION FOR FOOTING PADS AND OTHER FOUNDATIONS SHALL BE CLEAN, AND FREE WATER WHEN CONCRETE IS PLACED AND FOR 24 HOURS PERIOD AFTER PLACING.

4. ALL VEGETATION AND ORGANIC MATTER SHALL BE REMOVED PRIOR TO PLACING FILL. FOUNDATION SHALL BEAR ON CLEAN FILL COMPACTED IN LAYERS OF NOT MORE THAN 12" IN DEPTH AND 95% DENSITY AS PER A.S.T.M. PROCTOR TEST OR MODIFIED PROCTOR TEST

5. VAPOR BARRIER

g) PARKING GARAGE SLABS

1. ALL SLABS SHALL BE SLOPED TO DRAIN

2. ROOF SLOPE = 1/4" / FT.

3. PARKING SLAB SLOPE = 1/8" / FT.

* ANY STRUCTURAL SLAB MUST REQUIRE ENGINEERED DRAWINGS.

2. ACCEPTABLE MANUFACTURERS

VAPOR BARRIER: "STEGO MIL VAPOR BARRIER" OR APPROVED EQUAL.

CONTACT: KYLE JEWEL, kyjewel@stegodustries.com, 305-401-2171, www.stegodustries.com

SECTION 4 - MASONRY

4.1 STANDARD MASONRY

1. DESCRIPTION

1.1. MORTAR FOR ALL MASONRY WORK SHALL BE A 3:3:1 MIX BY VOLUME OF SAND, PORTLAND CEMENT AND MASONRY CEMENT. ALL MORTAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 P. S. I IN 28 DAYS.

1.2. ALL HOLLOW CONCRETE BLOCKS SHALL BE GRADE N, TYPE 1, CONFIRMING TO ASTM C-90, LATEST EDITION WITH REVISIONS (CONCRETE BLOCKS SHALL BE NORMAL WEIGHT).

1.3. MASONRY BEARING WALLS SHALL CONFIRM TO ASTM C-90 AND C-270.

SECTION 5 - METALS & ANCHORING

5.1 REINFORCING STEEL

1. DESCRIPTION

1.1. ALL REINFORCING STEEL WITH DEFORMATIONS SHALL BE GRADE 60 AND SHALL CONFORM TO ASTM A615 LATEST EDITION WITH REVISIONS.

1.2. FABRICATION AND PLACEMENT OF ALL REINFORCING STEEL SHALL COMPLY WITH ACI318 (LATEST EDITION WITH REV.)

1.3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL CUT AND BENT REINFORCING STEEL PROVIDED BY FABRICATOR TO THE ARCHITECT FOR APPROVAL.

2. PROVIDE ADDITIONAL 20% TONS OF STEEL MIN. UNLESS THE STRUCTURAL ENGINEER REQUIRE MORE.

GENERAL NOTES

SPECIFIC PLAN NOTES & SPECIFICATIONS SUPERCEDE GENERAL NOTES WHEN IN CONFLICT COMMERCIAL

5.1 STRUCTURAL STEEL MEMBERS

1. DESCRIPTION

1.1. ALL STRUCTURAL STEEL SHALL BE ASTM A-36 (MIN) OR ASTM A-529 LATEST EDITION WITH REVISIONS U. O. N. ON PLANS OR SHOP DRAWINGS.

1.2. WELDING: WELDING IN THE SHOP OR FIELD TO BE DONE BY CERTIFIED WELDER ONLY AND SHALL CONFORM TO THE A. I. S. SPECIFICATIONS LATEST EDITION WITH REVISIONS.

1.3. PROTECTION OF METAL: STRUCTURAL STEEL MEMBERS SHALL HAVE ONE SHOP COAT OF PRIMER PAINT, IF EXPOSED. SHALL RECEIVE A SECOND FIELD PAINT COAT AS PER S. F. B. C. SECTION 2807. ALL EXTERIOR STRUCTURAL STEEL SHALL BE GALVANIZED. 1.4. ALL METALS USED FOR CONNECTING WOOD MEMBERS SHALL BE GALVANIZED OR STAINLESS STEEL.

1.5. ALL ROOF JOINTS, TRUSSES, OUTRIGGERS, BEAMS AND GRIDDERS SHALL BE SECURED WITH APPROVED METAL TIES, CLIPS AND ANCHORS TO THE BEAMS OR BEARING PARTITIONS.

5.3 INTERIOR STEEL STUD FRAMING

1. DESCRIPTION

1.1. STANDARD STEEL STUDS SHALL BE 2-1/2", 3-5/8" AND 6" WIDE

1. INSTALLATION INSTRUCTIONS

3.1. STUDS SPACED BETWEEN 16" AND MAXIMUM OF 24" ON CENTER SPECIFIED HEREIN AND AS RECOMMENDED BY MANUFACTURER IN ACCORDANCE WITH THICKNESS OF DRYWALL AND FIRE RATING REQUIREMENTS.

3.2. PARTITIONS SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

2. ACCEPTABLE MANUFACTURERS

"CLARK DIETRIC"

SECTION 6 - WOOD, PLASTICS, & COMPOSITES

6.1 ROUGH CARPENTRY

1. DESCRIPTION

1.1. ALL LUMBER USED STRUCTURALLY SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. STRESS GRADE LUMBER SHALL BE DOUGLAS FIR OR SOUTHERN PINE #2 OR APPROVED EQUAL AND CONFORM TO THE NATIONAL DESIGN SPECIFICATIONS FOR STRESS GRADE LUMBER AND ITS FASTENINGS; LATEST EDITION, WITH 1200 P. S. I. MIN. FIBER STRESS IN BENDING AND 12% OR LESS MOISTURE CONTENT PER FBC UNLESS OTHERWISE NOTED.

1. INSTALLATION INSTRUCTIONS

3.1. FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED LABOR. FRAMER SHALL PROVIDE CERTIFICATION OF AT LEAST 10 YEARS EXPERIENCE & 3 REFERENCES

A) ALL NAILING SHALL CONFORM TO THE BUILDING CODE NAILING SCHEDULE.

B) PROVIDE (1) 2" x 4" WOOD STUD AND (1) METAL STUD EACH SIDE OF DOOR OPENINGS.

C) CUTTING OF WOOD STRUCTURAL MEMBERS SHALL BE IN ACCORDANCE TO THE BUILDING CODE APPROVAL BY ARCHITECT OR ENGINEER PRIOR TO CUTTING.

3.2. PRESSURE TREAT ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE AS PER AMERICAN WOOD PRESERVES BUREAU'. NO TOXIC/LEAD CHEMICALS PER FLORIDA BUILDING CODE.

3.3. INSTALL ALL WOODWORK ACCURATELY WITH TIGHT JOINTS AND TRUE SURFACES WELL SANDED & FREE FROM DEFECTS.

3.4. PROVIDE BLOCKING, BEHIND ALL SHELVING & BATHROOM CABINETS AS REQUIRED BY EQUIPMENT TO BE MOUNTED.

6.2 FINISH CARPENTRY

1. DESCRIPTION

1.1. BY OWNER

SECTION 7 - THERMAL & MOISTURE PROTECTION

7.1 CAULKING / FIRESTOPPING / WATERPROOFING

1.1. CAULK AROUND PERIMETER OF ALL OPENINGS IN EXTERIOR WALLS, INCLUDING DOOR FRAMES, WINDOW FRAMES, LOUVERED.

1.2. OPENINGS AROUND PIPES, CONDUITS, DUCTS AND ALL FASTENINGS PENETRATING EXTERIOR WALL SURFACES.

1.3. CAULK AROUND AND PROVIDE A SOLID BED UNDER ALL APPLIED THRESHOLDS AT EXTERIOR DOORS.

1.4. CAULK AROUND ALL LAVATORIES, WATER CLOSETS AND OTHER PLUMBING FIXTURES.

1.5. CAULK MISCELLANEOUS ITEMS OF WORK INCORPORATED INTO THE BUILDINGS AND WHICH ARE INDICATED TO BE CAULKED, OR WHICH NORMALLY REQUIRE CAULKING TO PREVENT INFILTRATION OF WATER OR AIR, AS DETAILED, INDICATED OR DIRECTED.

1.6. CAULKING COMPOUNDS SHALL BE OF COMPOSITES APPROPRIATE FOR INSTALLATION. BY G.E. SEALANTS OR APPROVED EQ.

1.7. PROVIDE FIRE STOP CAULKING AT ALL OPENINGS OF FIRE RATED WALLS, BETWEEN FIRE RATED WALLS AND STRUCTURAL DECK

1.8. ABOVE, AROUND PIPING THROUGH THESE WALLS, ELECTRICAL WIRING PENETRATIONS AND PENETRATIONS INTO ROOF TRUSSES.

1.9. PROVIDE SYSTEM IDENTIFICATION PLATE AS PER AHJ REQUIREMENTS

2. ACCEPTABLE MANUFACTURERS

"GE", "HILT" FLEXIBLE FIRESTOP SEALANT (CP 606), "TREMCO", "SIKA" AND "3M", "MAC" FLOSEAL-HD/FLOSEAL-HD FIRE SEAL SYSTEM

7.2 ROOFING

1. DESCRIPTION

1.1. ROOFING SYSTEM SHALL BE INSTALLED BY LICENSED ROOFING CONTRACTOR. CONTRACTOR SHALL PROVIDE A MINIMUM 20 YEAR NDL WARRANTY ACCEPTABLE ON INSTALLATION. SEE PLANS FOR ANY SPECIFIC JOB REQUIREMENTS.

1.2. CONTRACTORS SHALL SUBMIT DADE COUNTY PRODUCT APPROVAL PAPERWORK TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO REMITTING INSTALLATION.

1.3. ALL PARKING GARAGE DECKS OPEN TO SKY SHALL BE SLOPED 1/4" : 1'-0" MIN FOR DRAINAGE.

1.4. ALL ENCLOSED PARKING GARAGE DECKS SHALL BE SLOPED 1/8" : 1'-0" MIN FOR DRAINAGE.

1.5. ALL FLAT ROOFS, SLAB, ETC. AND IF DRAINS ARE SHOWN IN AREA OR PLUMBING PLANS MUST SLOPE TO THE DRAINS MUST BE SLOPED 1/4" : 1'-0" MIN. FOR DRAINAGE. CONTACT ARCHITECT WITH ANY QUESTIONS.

1.6. ROOF SPECIFICATIONS GIVEN ON PLANS SUPERCEDE THESE NOTES.

1.7. IF ROOF IS EXISTING, PATCH AND REPAIR AREAS AS NEEDED TO ACCOMMODATE A/C & ELECT PENETRATIONS. COORDINATE WITH PROPERTY OWNER TO MAINTAIN ALL ROOF WARRANTIES.

2. ACCEPTABLE MANUFACTURERS

"GAF", "JOHN MANSVILLE", "GALO WESTERN - SPRAY FOAM SYSTEM", OTHERS MUST BE APPROVED BY ARCHITECT.

7.3 INSULATION

1. DESCRIPTION

1.1. SEE PLAN OR REFER TO MEP DRAWINGS

2. ACCEPTABLE MANUFACTURERS

"SUPERIOR PRODUCTS INC."

SECTION 8 - DOORS, WINDOWS AND GLASS

1. ALL INTERIOR GLASS SHALL BE CAT. II SAFETY GLASS

2. SEE DOOR & WINDOW SCHEDULES FOR COMPLETE NOTES AND DETAILS.

3. CONTRACTOR SHALL COORDINATE ROUGH OPENING DIMENSIONS WITH WINDOW AND DOOR MANUFACTURERS PRIOR TO STARTING CONSTRUCTION AND SUBMIT SHOP DRAWINGS FOR ARCHITECTS APPROVAL.

4. ALL INTERIOR DOORS FRAMES AND DOOR SHALL BE TYPE EZY JAMB CLASSIC ADJUST (EZO) DOOR JAMB SYSTEM.

5. ALL EXTERIOR DOORS SHALL BE H.M. STEEL DOORS WITH H.M. STEEL FRAMES. STOREFRONT DOORS SHALL BE ALUMINUM.

6. CONTRACTOR TO FURNISH ALL NECESSARY HARDWARE ITEMS.

7. ALL HINGES OF DOORS OPENING TO EXTERIOR SHALL HAVE NON REMOVABLE PINS.

8. HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-EXPOSED SCREWS.

9. PROVIDE DOOR STOPS ON ALL DOORS.

10. PROVIDE DOOR HOOPS ON ALL BATHROOM STALL DOORS.

11. PROVIDE THREE BALL BEARING (3) HINGES PER DOOR (TYP) - STANLEY CB900 OR IVESHINGES 58BI AS PER HARDWARE SCHEDULE.

12. ALL MAIN ENTRY AND REAR ENTRY DOORS REQUIRE KEVED DEAD BOLT

13. ALL DOORS AND WINDOWS TO HAVE CORROSION RESISTANT HARDWARE.

14. ALL OPERABLE WINDOWS TO HAVE INSECT SCREENS

15. ALL HARDWARE TO BE STAINLESS STEEL UNLESS OTHERWISE NOTED PER HARDWARE SCHEDULE.

16. SHUTTER ALL NON IMPACT RESISTANT OPENINGS.

17. THE ENTRY DOOR SHALL BE CONSIDERED AN EGRESS DOOR AS PER FBC 1012 AND IMPACT TEST SHALL BE PROVIDED.

18. ALL EXIT DOORS SHALL HAVE PANIC HARDWARE PER HARDWARE SCHEDULE.

19. APPLY A SINGLE SILICONE COATING, GE ELEM4X 2600 OR APPROVED EQUAL AT WINDOW AND DOOR FLASHING.

2. ACCEPTABLE MANUFACTURERS

WINDOWS & DOORS: "KAWNEER", "DGT", "MR. GLASS"

CURTAIN WALLS: "PPG INDUSTRIES"

HARDWARE: "ALLEGION INVERGOLL RAND/SCHLAGE" OR APP. EQUAL. SEE HARDWARE SCHEDULE.

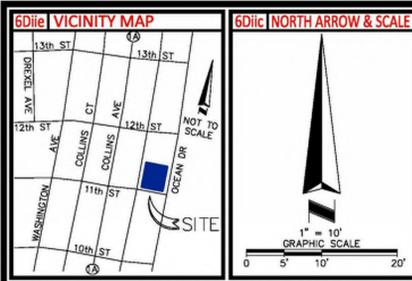
INTERIOR DOOR AND JAMB: "EZ CONCEPT" EZIAMB CLASSIC ADJUST-EZC.

HINGES: "STANLEY", "ALLEGION IVESHINGES"

SILICONE: "GE"

SECTION 9 - FINISHES

1.



5Ciii SURVEYOR OBSERVED POSSIBLE ENCROACHMENTS
 BUILDINGS APPEAR TO ENCRACH INTO BUILDING SETBACK LINES AS SHOWN ON THE SOUTH, WEST AND NORTH LINES.
 8" WIDE CONCRETE WALL ON NORTH LINE OWNERSHIP UNKNOWN.

3 FLOOD INFORMATION
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "AE", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 120651 0317 L (MAP NO. 12086C0317L), WHICH BEARS AN EFFECTIVE DATE OF 09/11/2009, AND IS IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "AE" DENOTES BASE FLOODPLAIN WHERE BASE FLOOD ELEVATIONS ARE PROVIDED.

6Diid LEGEND AND ABBREVIATIONS

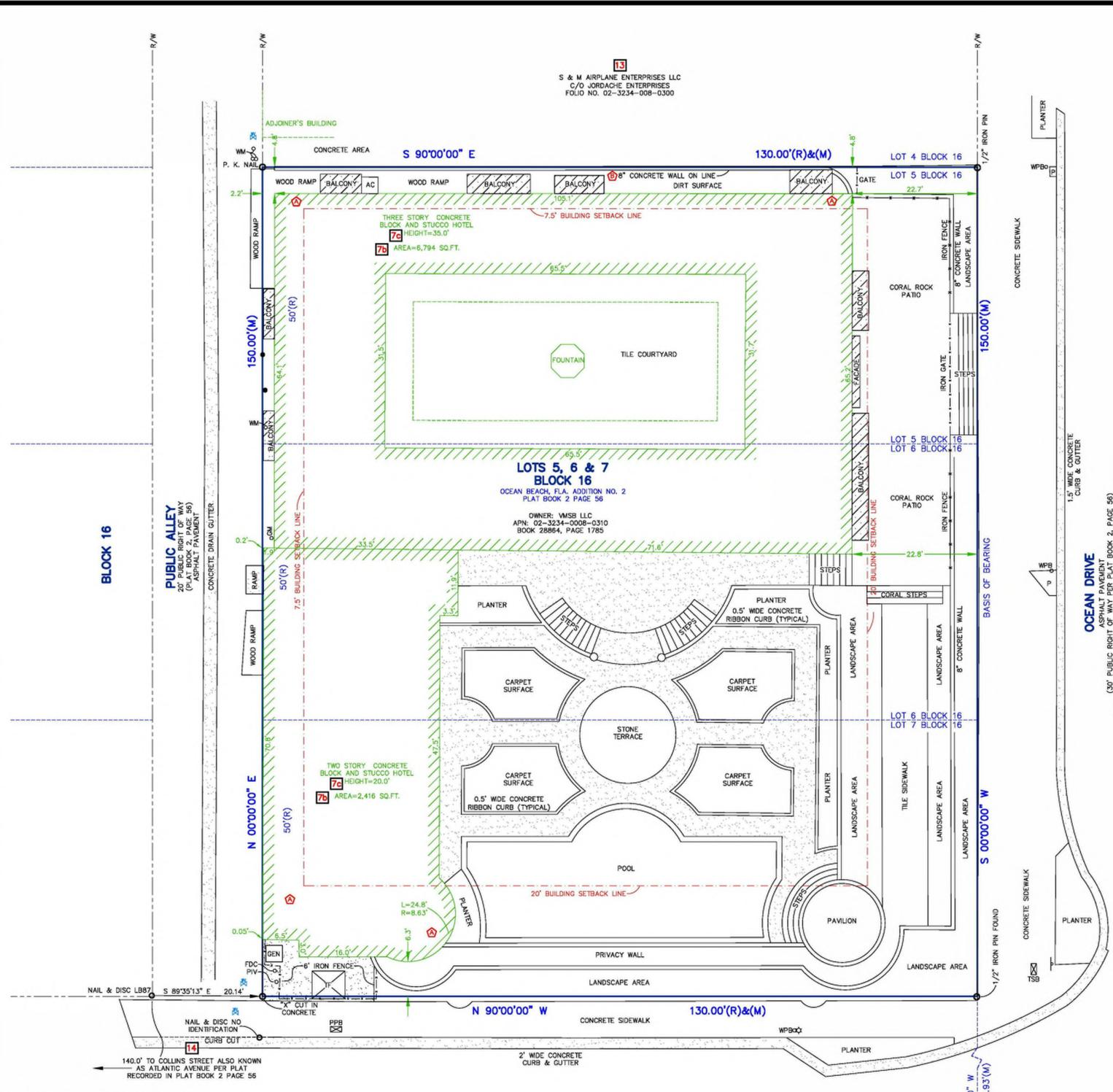
CONCRETE SURFACE	SQ.FT. SQUARE FEET
NO PARKING AREA	PPB PARKING PAY BOX
HANDICAP PARKING SPACE	P PLANTER
RECOVERED MONUMENT AS NOTED	N/S NOT SPECIFIED
UNDERGROUND WIRE PULL BOX	N/A NOT APPLICABLE
GENERATOR	TSB TRAFFIC SIGNAL BOX
AC AIR CONDITIONER	PIV POST INDICATOR VALVE
WM WATER METER	TF TRANSFORMER
GM GAS METER	
FDC FIRE DEPARTMENT CONNECTOR	
(R) RECORD MEASUREMENT	
(M) FIELD MEASUREMENT	
R/W RIGHT OF WAY	
Light Pole	
Sign	

6Cvii PLATTED SETBACK OR RECORDED BUILDING RESTRICTION LINES
 NONE PROVIDED TO THIS SURVEYOR.

- 5Ei SCHEDULE "B" ITEMS**
- MATTERS ON THE PLAT OF OCEAN BEACH ADDITION NO. 2 RECORDED IN PLAT BOOK 2, PAGE 56. (AFFECTS, NOTHING TO PLOT)
 - COVENANTS, CONDITIONS AND RESTRICTIONS IN ORDER RECORDED IN OFFICIAL RECORDS BOOK 15993, PAGE 743. (MAY OR MAY NOT AFFECT, DOCUMENT NOT PROVIDED)
 - UNITY OF TITLE RECORDED IN OFFICIAL RECORDS BOOK 16028, PAGE 3304. (MAY OR MAY NOT AFFECT, DOCUMENT NOT PROVIDED)
 - COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN WARRANTY DEED IN OFFICIAL RECORDS BOOK 19267, PAGE 2761. (MAY OR MAY NOT AFFECT, DOCUMENT NOT PROVIDED)
 - EASEMENT TO FLORIDA POWER & LIGHT COMPANY RECORDED IN OFFICIAL RECORDS BOOK 26105, PAGE 4413. (MAY OR MAY NOT AFFECT, DOCUMENT NOT PROVIDED)

ALTA/NSPS LAND TITLE SURVEY IDENTIFICATION TABLE

2 "TABLE A" PROPERTY ADDRESS	6Biv BEARING BASIS	7 SURVEYOR'S CERTIFICATE
3 "TABLE A" FLOOD INFORMATION	6Bvi CONTIGUITY STATEMENT	7b "TABLE A" BUILDING AREA
4 "TABLE A" LAND AREA	6Bxii TITLE COMMITMENT INFORMATION	7c "TABLE A" BUILDING HEIGHT
5Biii ACCESS TO PROPERTY	6Cvi RECORDED SETBACKS/RESTRICTIONS PROVIDED BY INSURER	9 "TABLE A" PARKING SPACES
5Ciii SURVEYOR OBSERVED POSSIBLE ENCROACHMENTS	6Diic NORTH ARROW & SCALE	13 "TABLE A" ADJOINING OWNERS
5Ei SCHEDULE "B" ITEMS	6Diid LEGEND & ABBREVIATIONS	14 "TABLE A" INTERSECTING STREET
5F CEMETERY NOTE	6Diiv VICINITY MAP	16 "TABLE A" EARTH MOVING NOTE
6Bii TITLE DESCRIPTION	6Diix SURVEYOR'S NOTES	
	6Dvi TYPE OF SURVEY	



11th STREET
 50' PUBLIC RIGHT OF WAY (PLAT BOOK 2, PAGE 56)
 ASPHALT PAVEMENT

THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS AND MEETS THE FLORIDA STANDARDS OF PRACTICE AS SET IN FLORIDA ADMINISTRATIVE CODE CHAPTER 5J-17-0.50 FOR A BOUNDARY SURVEY.

ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS FOR SURVEYING IN THE STATE OF FLORIDA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DATE	REVISIONS	TECH	DATE	REVISIONS	TECH	FIELD	PW/CB	DRAWING SCALE	1"= 10'
3/29/16	UPDATE SURVEY	JD	11/28/16	TITLE/ CERT'S	JCT	DRAWN BY	BL/LDE	QC BY	
10/25/16	ADD TITLE	JD							
10/27/16	SURVEYOR COMMENTS	JD							

DATE OF PLAT OR MAP: 3/19/2012, UPDATED 9/14/2016
 DATE OF FIELD WORK: 3/19/2012, 3/19/2012, 3/19/2012

6Bxiii TITLE COMMITMENT INFORMATION
 THE TITLE DESCRIPTION AND SCHEDULE "B" ITEMS HEREON ARE FROM:
 CHICAGO TITLE INSURANCE COMPANY, ORDER NO.: 9993782, HAVING AN EFFECTIVE DATE OF NOVEMBER 6, 2016. REVISED NOVEMBER 18, 2016-REVISION C

SHEET 1 OF 1

6Bii TITLE DESCRIPTION
 LOTS 5, 6 AND 7, BLOCK 16 OF OCEAN BEACH ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 56, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

THIS SURVEY DESCRIBES AND DEPICTS THE SAME LAND AS DESCRIBED IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

6Diix SURVEYOR'S NOTES

- NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY, ONLY ABOVE GROUND VISIBLE EVIDENCE OF UTILITIES ARE SHOWN.
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO: UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, PARKING, EASEMENTS, SERVITUDES, AND ENCROACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
- THIS SURVEY MEETS OR EXCEEDS THE SURVEY STANDARDS/STANDARDS OF CARE AS SET FORTH IN SECTION 3 OF THE 2016 ALTA/NSPS SURVEY REQUIREMENTS.

4 LAND AREA 19,500± SQUARE FEET 0.45± ACRES

6Biv BEARING BASIS
 BEARINGS SHOWN HEREON ARE BASED ON THE EAST LINE OF SUBJECT PARCEL ASSUMED TO BEAR S 00°00'00" W

5F CEMETERY NOTE
 THERE IS NO VISIBLE EVIDENCE OF CEMETERIES ON SUBJECT PROPERTY.

9 PARKING SPACES
 NO ONSITE PARKING OBSERVED

5Biii ACCESS TO PROPERTY
 THE SUBJECT PROPERTY HAS DIRECT PHYSICAL PEDESTRIAN ACCESS TO OCEAN DRIVE, 11th STREET, AND PUBLIC ALLEY ALL DEDICATED PUBLIC STREETS OR HIGHWAYS.

16 EARTH MOVING NOTE
 THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.

6Bviii CONTIGUITY STATEMENT
 THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.

7 SURVEYOR'S CERTIFICATE

TO: GREENBERG TRAUER, PA, VMSB, LLC, A FLORIDA LIMITED LIABILITY COMPANY, VM SOUTH BEACH, LLC, A NEW YORK LIMITED LIABILITY COMPANY, BANK HADOPALIM, S.M., AND CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(c), 7(c)(1), 7(c), 8, 9, 13, 14, 16, AND 20 OF TABLE A THEREOF.

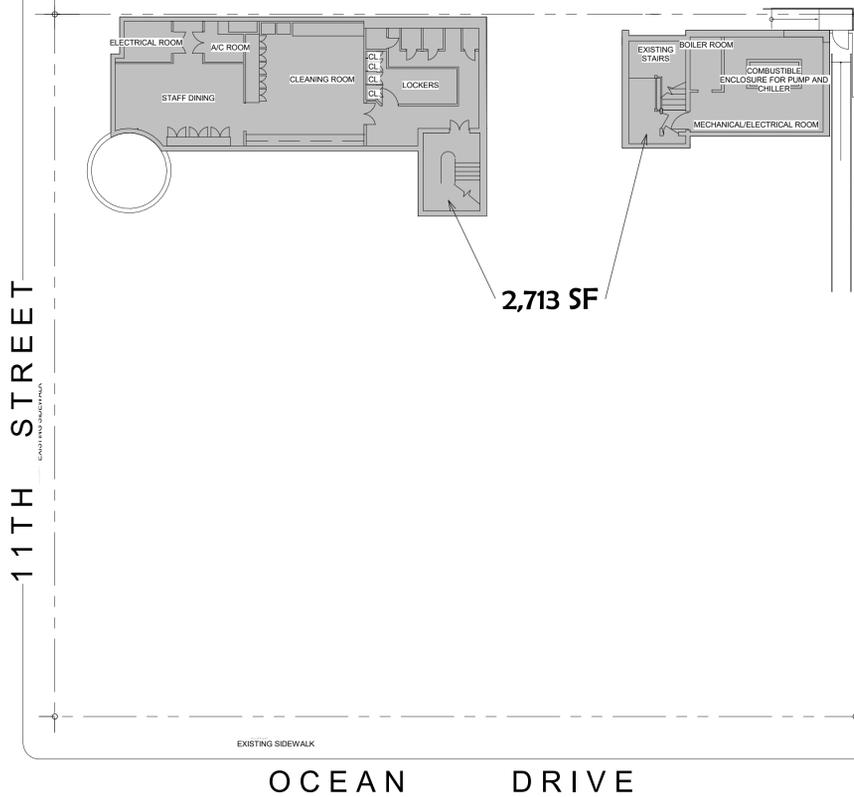
THE FIELD WORK WAS COMPLETED ON 3/19/2012, UPDATED 9/14/2016.
 DATE OF PLAT OR MAP: 3/19/2012, 3/19/2012, 3/19/2012

PRELIMINARY. NOT FOR CONSTRUCTION. RECORD FOR PERMIT SUBMITTAL.

IAN R HERRANDEZ DATE _____
 PROFESSIONAL SURVEYOR & MAPPER NO. 7016
 STATE OF FLORIDA
 PROJECT NO. 1603274 (UPDATE OF 1200231)

SURVEY PREPARED BY:
 AMERICAN SURVEYING AND MAPPING, INC.
 3191 MAGUIRE BLVD., SUITE 200
 ORLANDO, FL 32803
 CERTIFICATE OF AUTHORIZATION # LB6393
 PHONE: (407) 426-7979
 FAX: (407) 426-9741
 INFO@ASM-CORPORATE.COM
 NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

AMERICAN SURVEYING & MAPPING, INC.
 3191 MAGUIRE BLVD., SUITE 200
 ORLANDO, FL 32803
 PHONE: (407) 426-7979
 FAX: (407) 426-9741
 WWW.ASM-CORPORATE.COM



5 EXISTING BASEMENT FLOOR PLAN
1/16" = 1'-0"

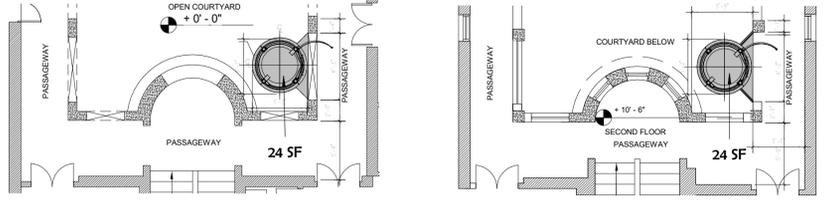
LOT SIZE = 19,500 SF
MAX FLOOR AREA RATIO = 2.0 = 39,000 SF

EXISTING F.A.R.
 BASEMENT.....2,713 SF
 GROUND FLOOR8,139 SF
 2ND FLOOR.....8,228 SF
 3RD FLOOR.....6,170 SF
 ROOF/TERRACE.....0,00 SF

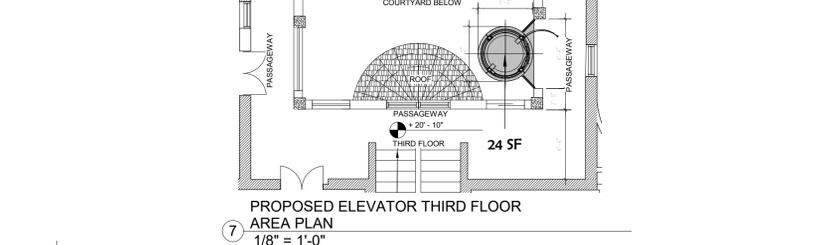
TOTAL EXISTING F.A.R.....25,250 SF

PROPOSED ELEVATOR F.A.R.....24 SF X 3= 72 SF

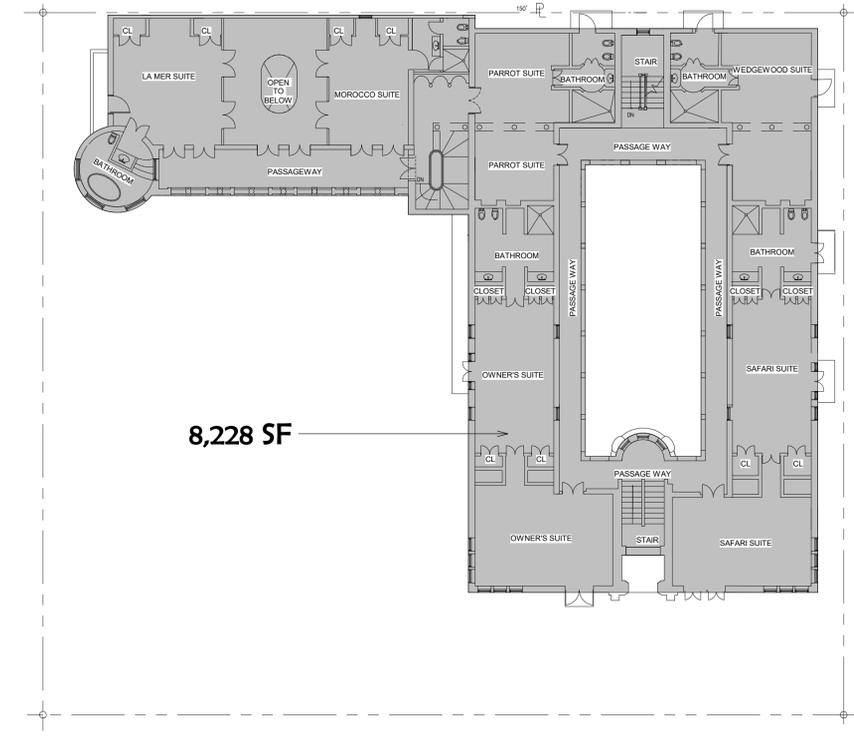
PROPOSED F.A.R... ..25,322 SF



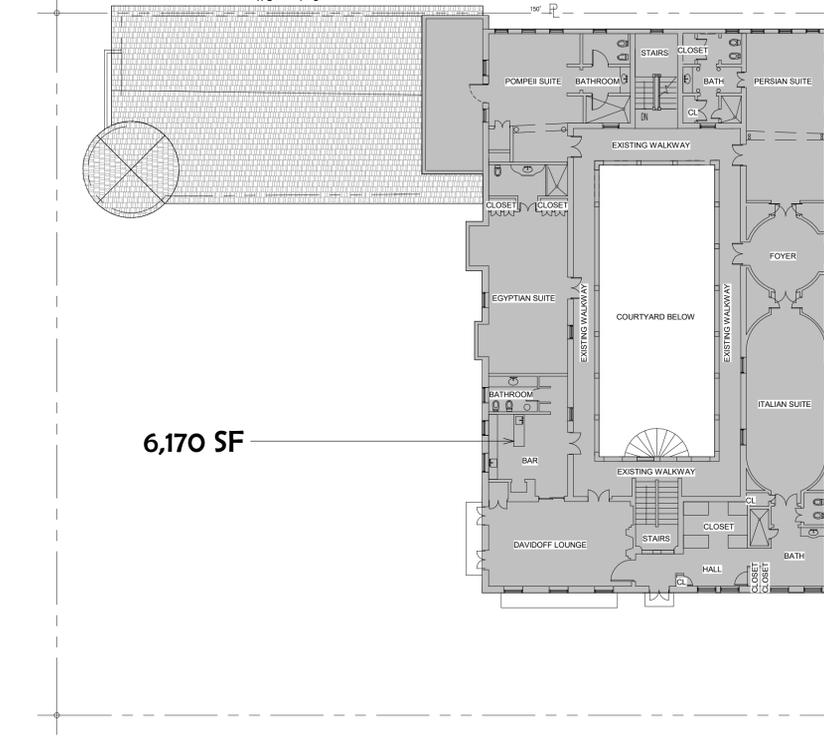
6 PROPOSED ELEVATOR GROUND FLOOR AREA PLAN
1/8" = 1'-0"
 8 PROPOSED ELEVATOR 2ND FLOOR AREA PLAN
1/8" = 1'-0"



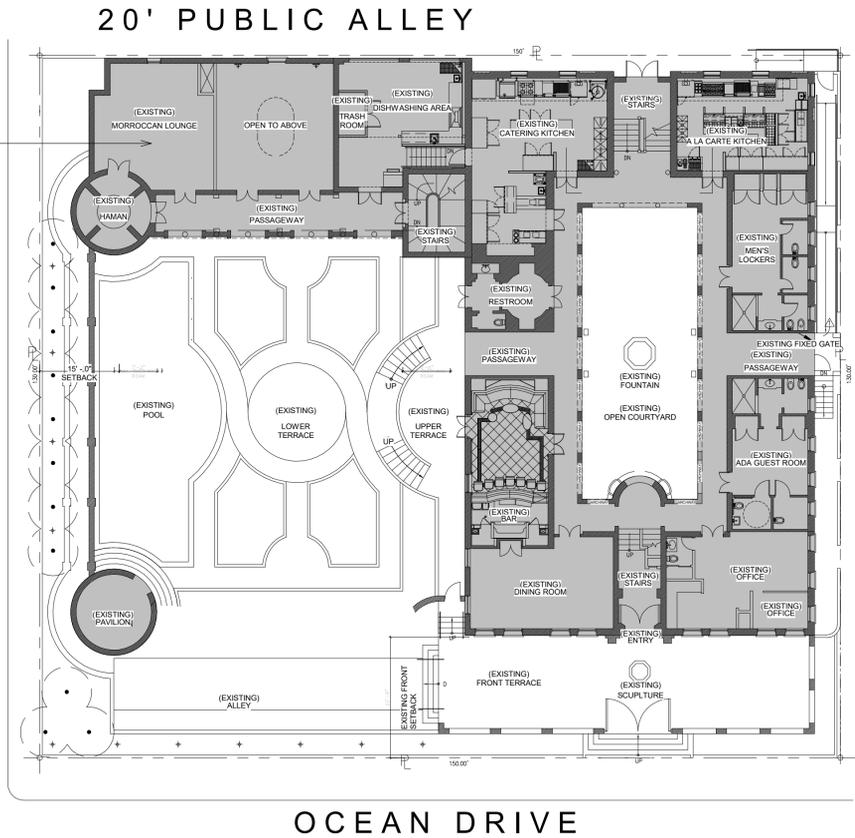
7 PROPOSED ELEVATOR THIRD FLOOR AREA PLAN
1/8" = 1'-0"



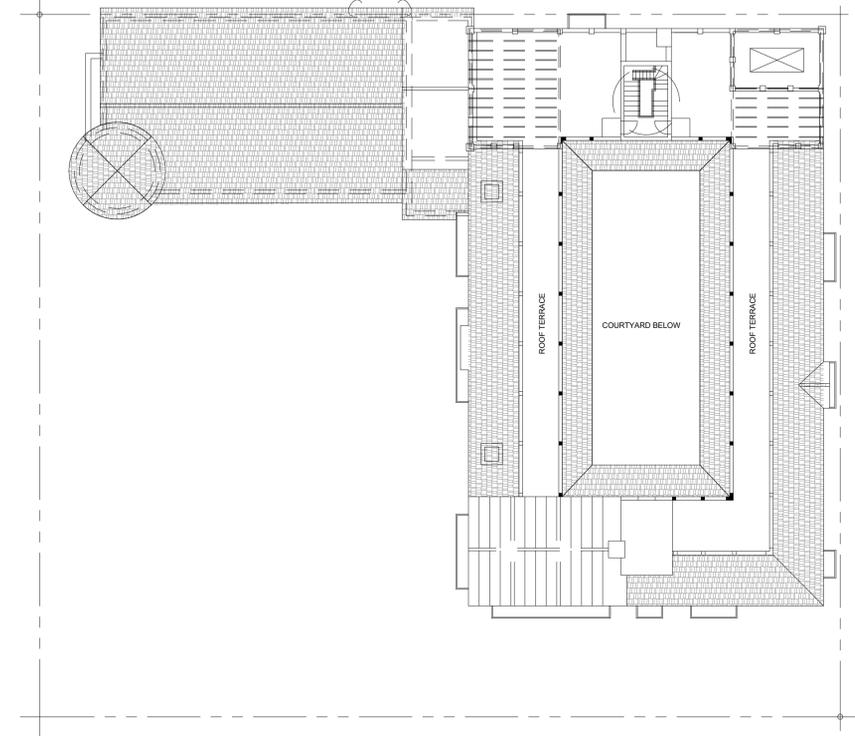
2 EXISTING SECOND FLOOR PLAN
1/16" = 1'-0"



3 EXISTING THIRD FLOOR PLAN
1/16" = 1'-0"



1 EXISTING GROUND FLOOR PLAN
1/16" = 1'-0"



4 EXISTING ROOF & TERRACE PLAN
1/16" = 1'-0"

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 www.SKLARchitect.com
 AA 0002849
 IB 0000894
 NCARB CERTIFIED
 SEAL
 ARI L. SKLAR
 LICENSE #ARI4173
 Digitally signed by
 Ari L Sklar
 Date: 2021.03.08 13:24:26
 REVISIONS
 05-18-2020

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN CONSTRUCTION PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

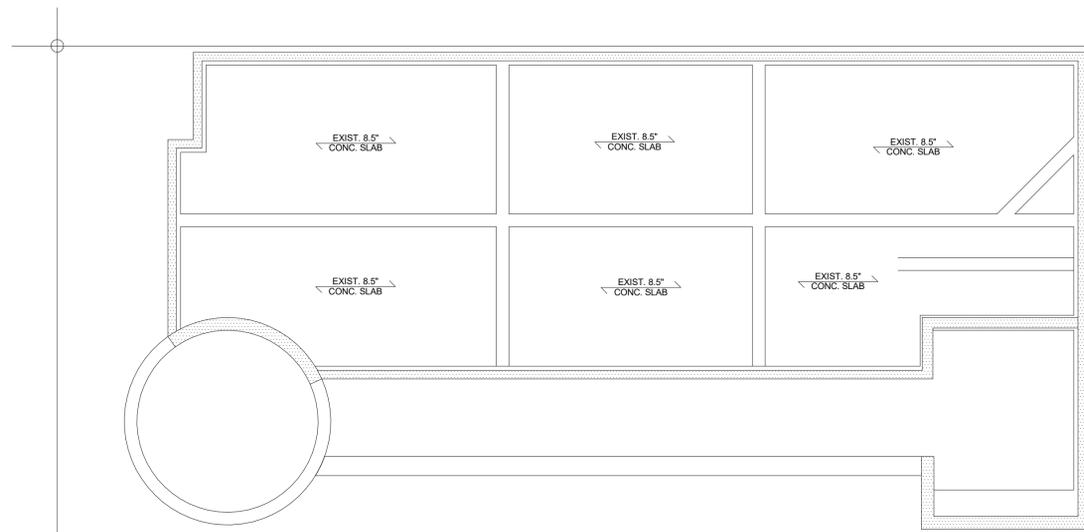
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 Author
 CHECKED BY:
 ARI SKLAR

FLOOR AREA RATIO PLANS

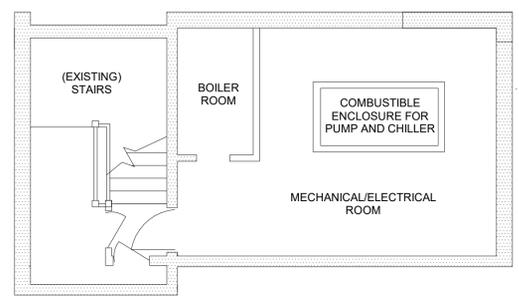
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PROJECT #: Project #20-003

DATE: 05-18-2020



PROPERTY LINE



RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

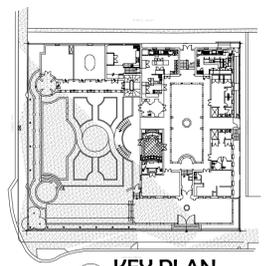
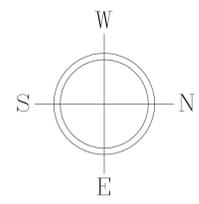
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- CONSTRUCTION SET

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 ARI SKLAR

**EXISTING
 STRUCTURAL
 BASEMENT FLOOR
 PLAN**

A1.0

PROJECT #: Project #20-003
 DATE: 05-18-2020



KEY PLAN
 1" = 60'-0"

1 EXISTING STRUCTURAL BASEMENT FLOOR PLAN
 1:80

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

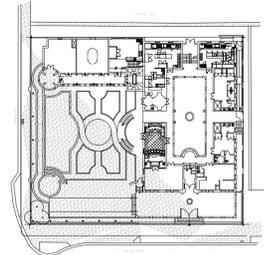
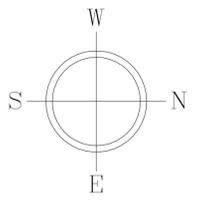
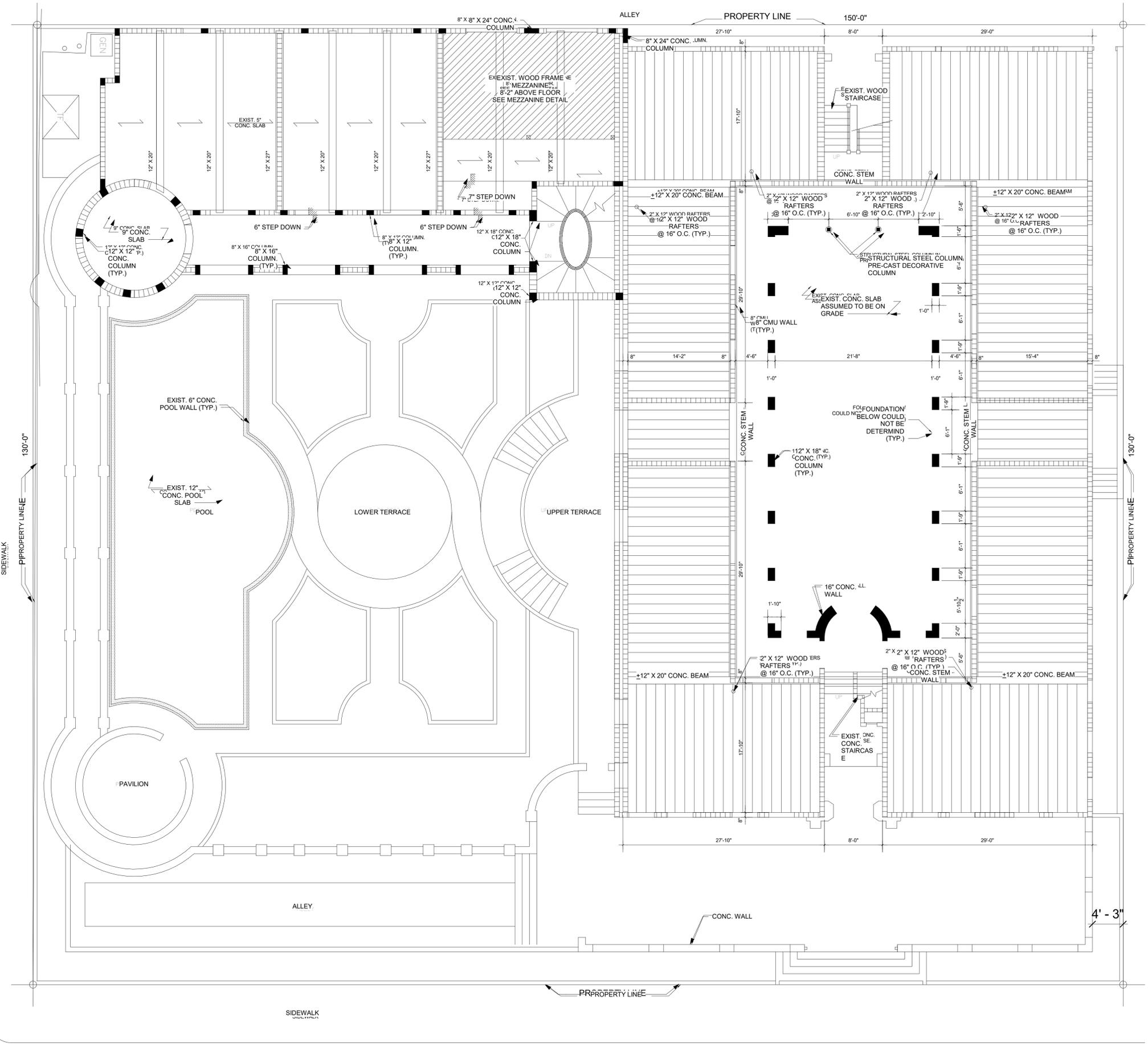
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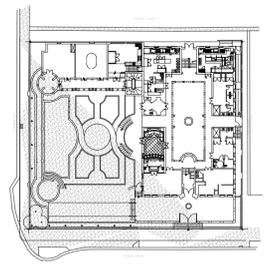
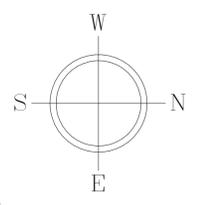
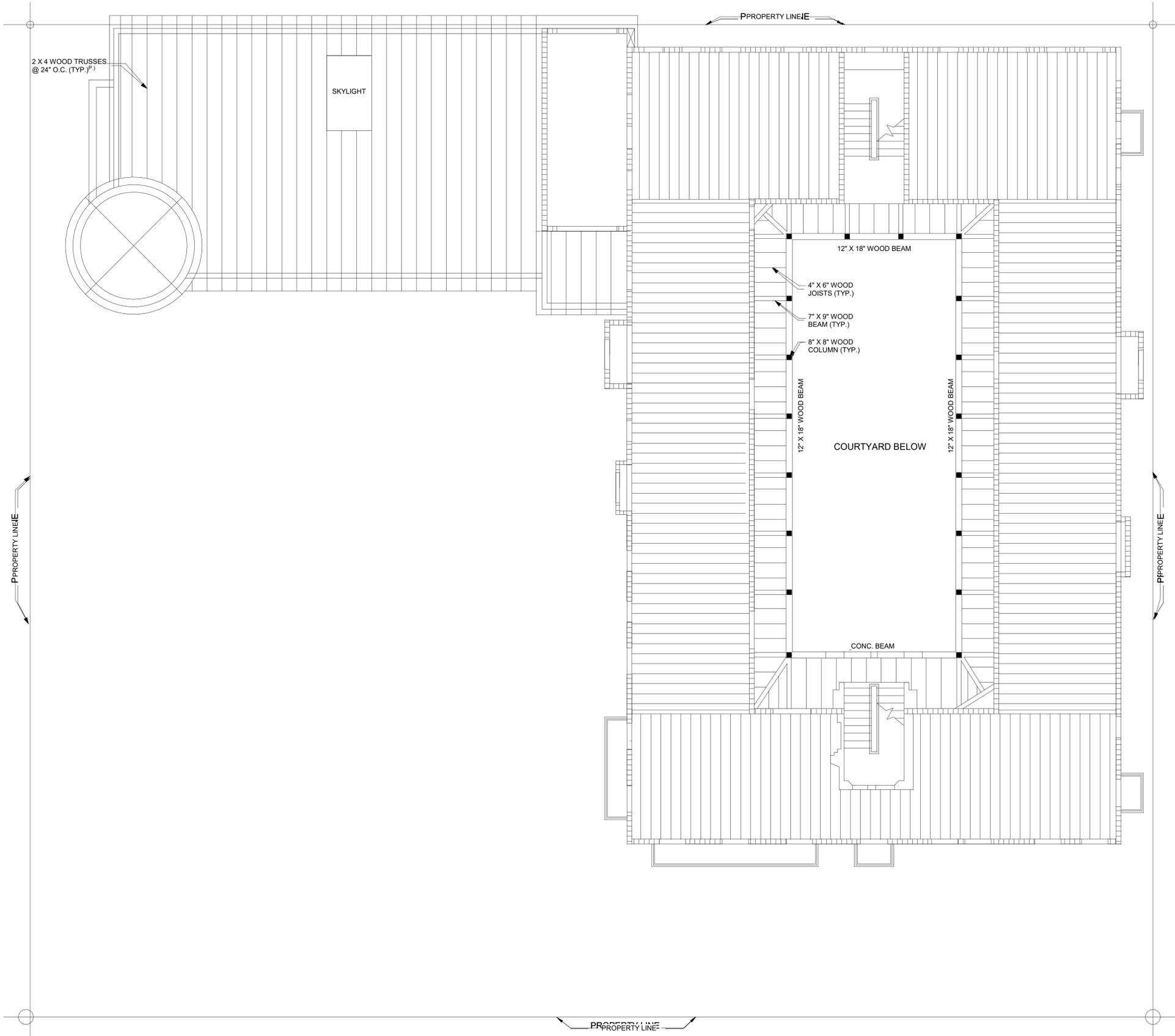
EXISTING STRUCTURAL FIRST FLOOR PLAN

A1.1

PROJECT #: Project #20-003
 DATE: 05-18-2020



1 EXISTING STRUCTURAL GROUND FLOOR PLAN
 1:80



KEY PLAN
 1" = 60'-0"

1 EXISTING STRUCTURAL THIRD FLOOR PLAN
 1:83

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

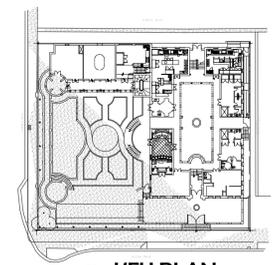
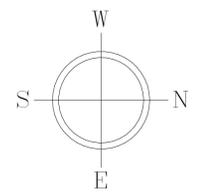
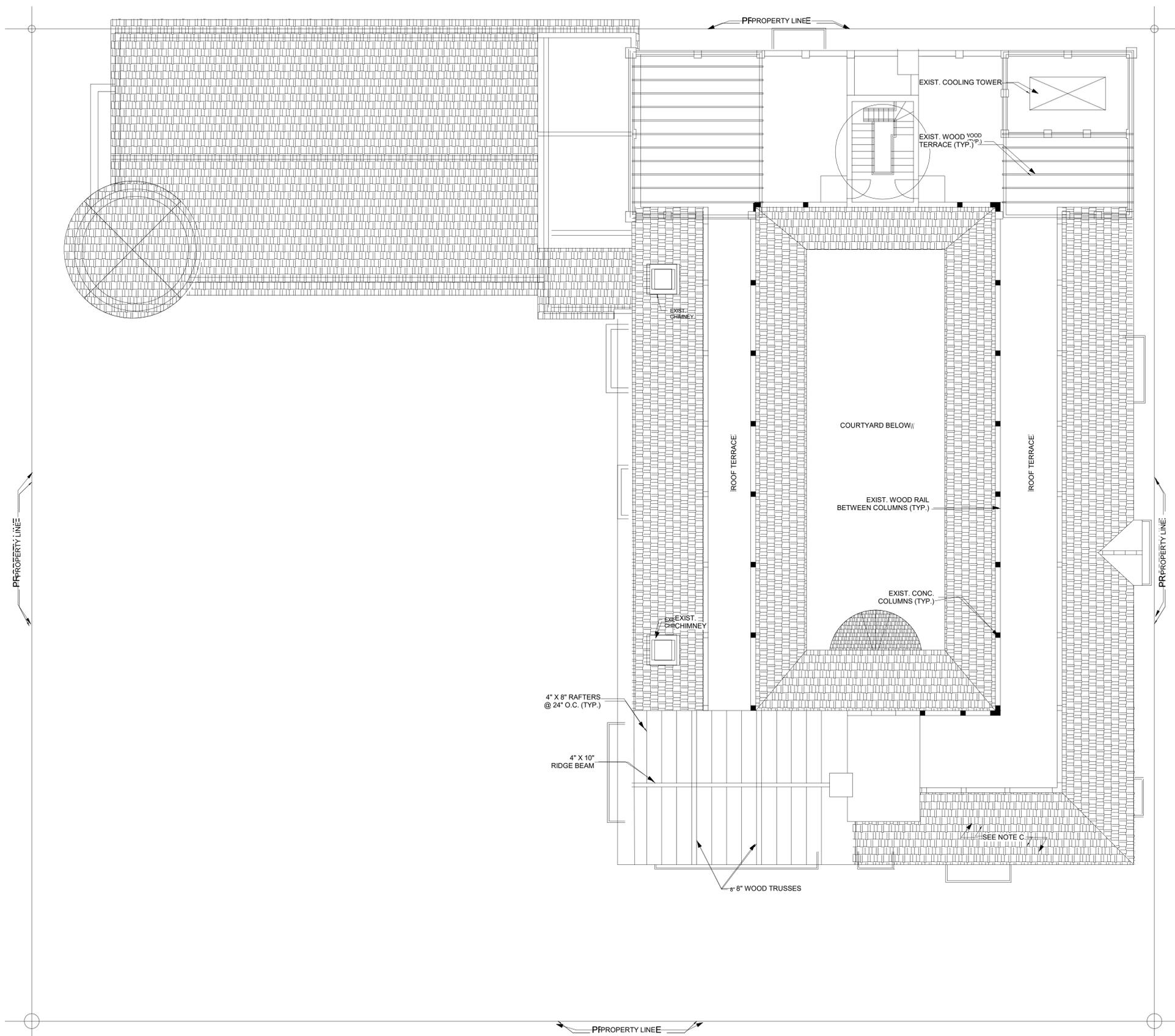
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- DRY RUN PERMIT SET
- PERMIT SET
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- CONSTRUCTION SET

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 Author
 CHECKED BY:
 ARI SKLAR

**EXISTING
 STRUCTURAL THIRD
 FLOOR PLAN**

A1.3

PROJECT #: Project #20-003
 DATE: 05-18-2020



KEY PLAN
 1" = 60'-0"

1 EXISTING STRUCTURAL ROOF PLAN
 1 : 83

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

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 Author
 CHECKED BY:
 ARI SKLAR

**EXISTING
 STRUCTURAL ROOF
 TERRACE PLAN**

A1.4

PROJECT #: Project #20-003

DATE: 05-18-2020

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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- BID SET
- CONSTRUCTION SET

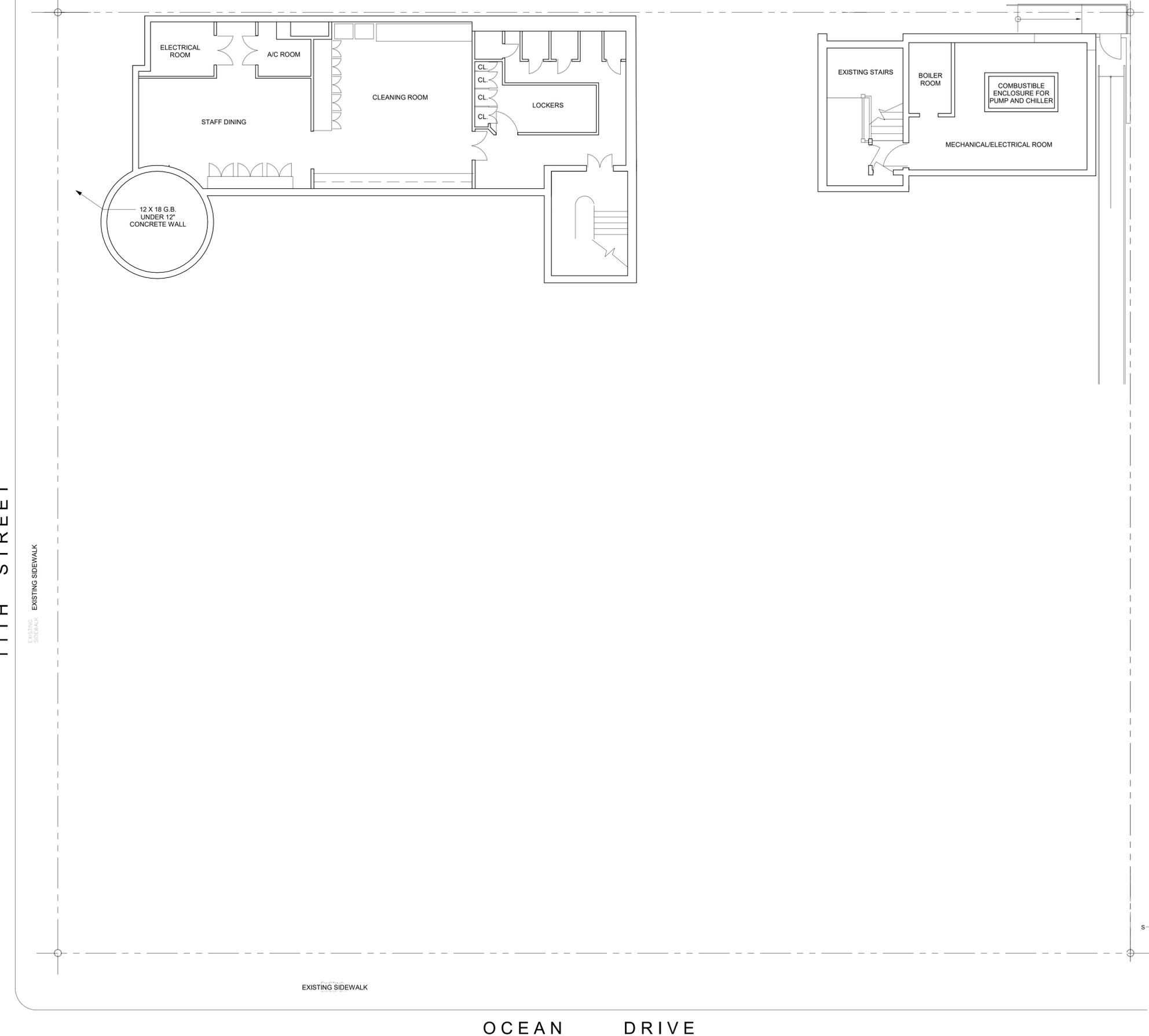
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 CHECKED BY:
 ARI SKLAR

EXISTING BASEMENT FLOOR PLAN

A2.0

PROJECT #: Project #20-003

DATE: 05-18-2020

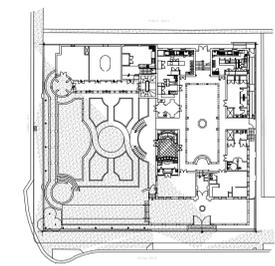


11TH STREET

EXISTING SIDEWALK

EXISTING SIDEWALK

OCEAN DRIVE



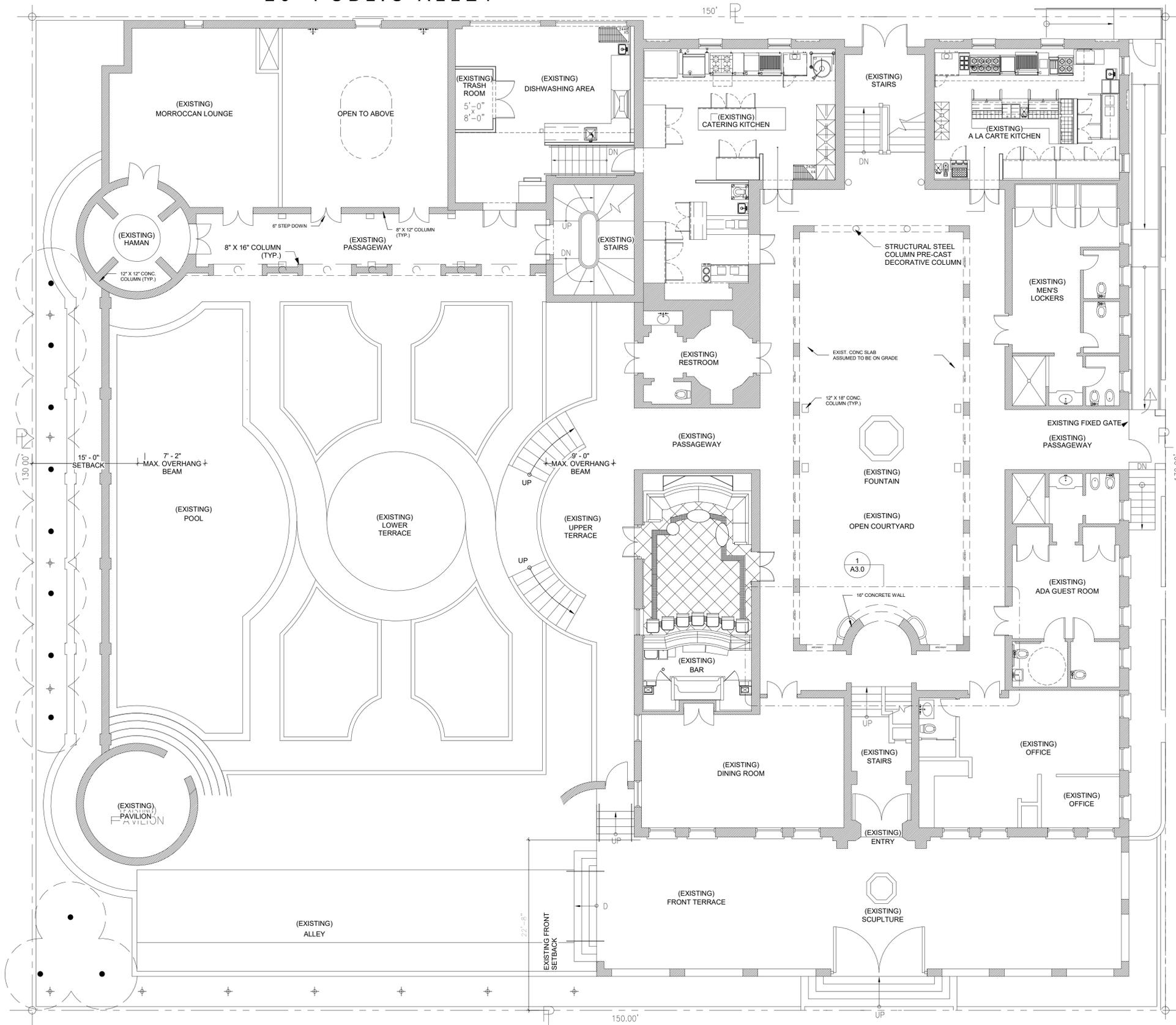
KEY PLAN
 1" = 60'-0"

1 EXISTING BASEMENT FLOOR PLAN
 1:83

20' PUBLIC ALLEY

11TH STREET

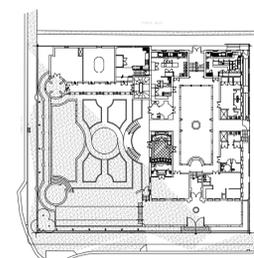
OCEAN DRIVE



1 EXISTING GROUND FLOOR PLAN
1:83



HALLWAY ENTERING COURTYARD



KEY PLAN
1" = 60'-0"

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ARI L. SKLAR
LICENSE #ARI4173
Digitally signed by Ari L. Sklar
Date: 2021.03.08 13:28:46
-05'00' REVISIONS

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN CONSTRUCTION PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

EXISTING GROUND FLOOR PLAN

A2.1

PROJECT #: Project #20-003

DATE: 05-18-2020

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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- CONSTRUCTION SET

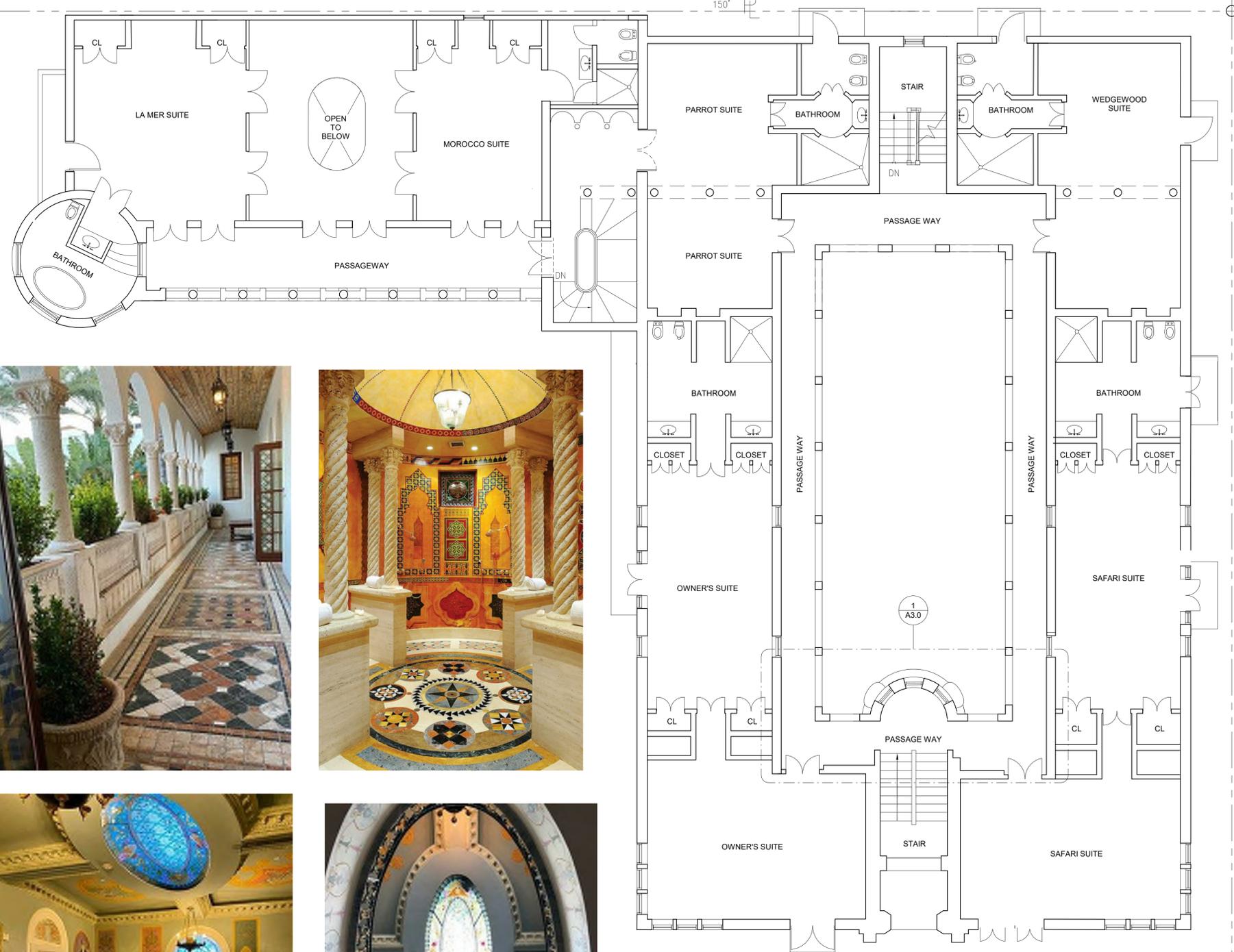
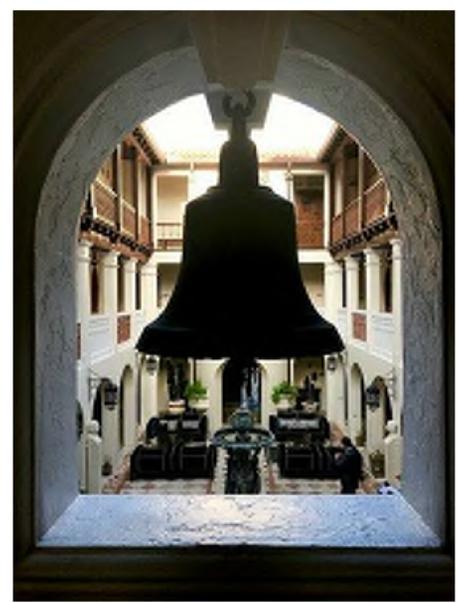
DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

EXISTING SECOND FLOOR PLAN

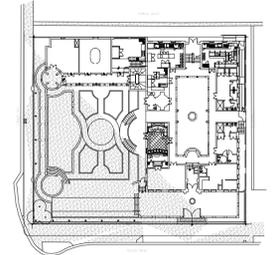
A2.2

PROJECT #: Project #20-003

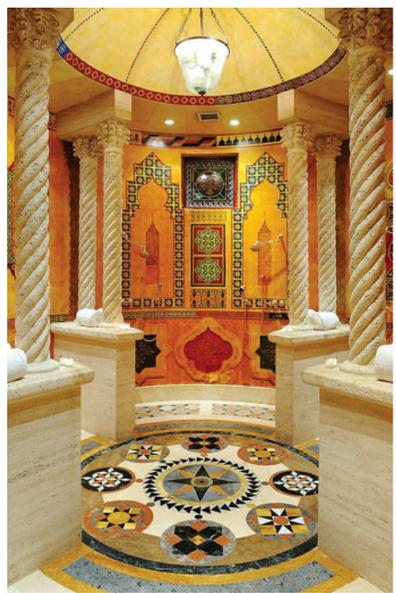
DATE: 05-18-2020



1 EXISTING SECOND FLOOR PLAN
 1:83



KEY PLAN
 1" = 60'-0"



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 ARI L. SKLAR
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 Ari L Sklar
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 REVISIONS
 05/20

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
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- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

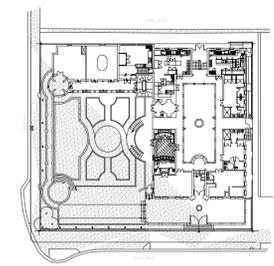
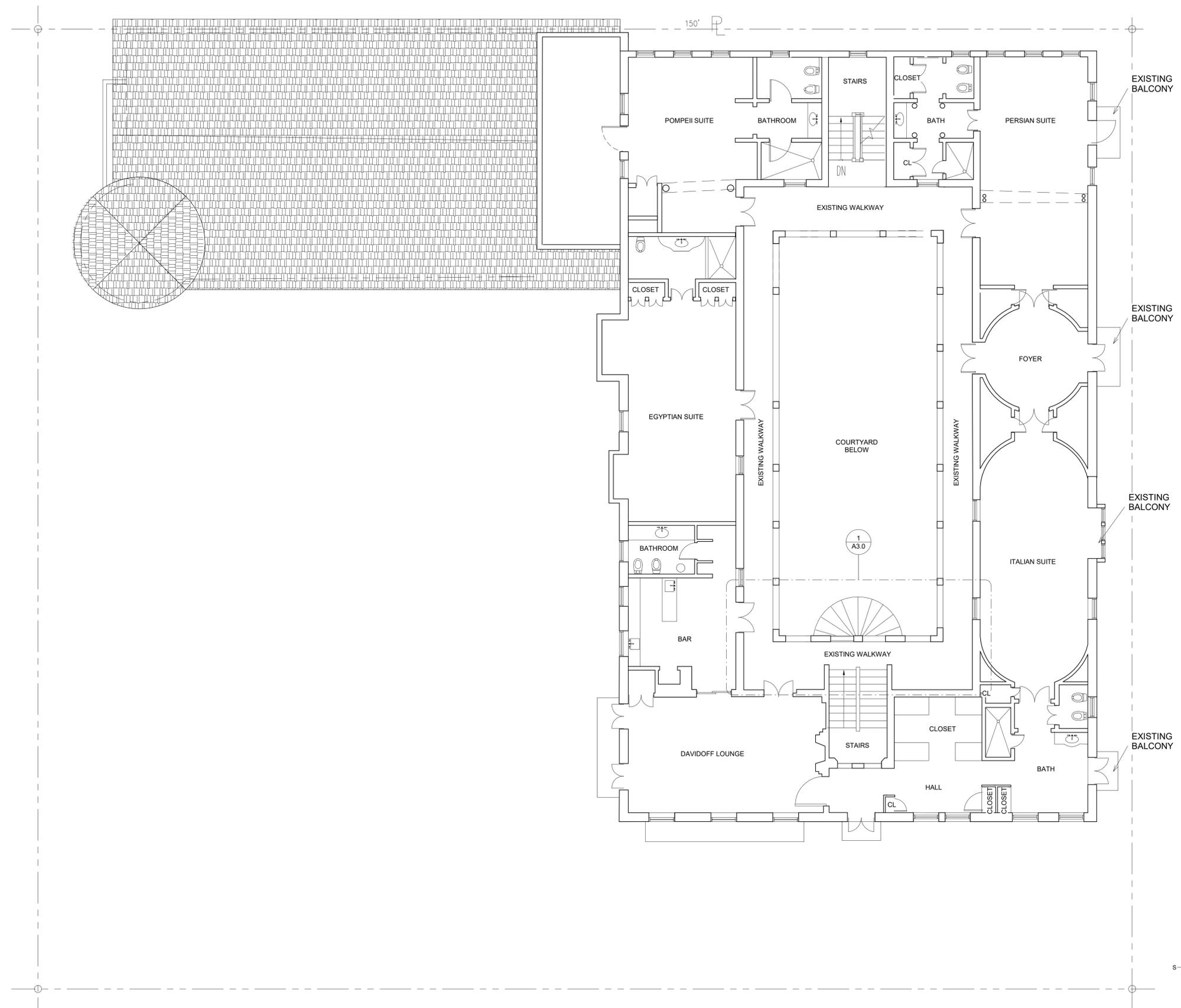
DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

EXISTING THIRD FLOOR PLAN

A2.3

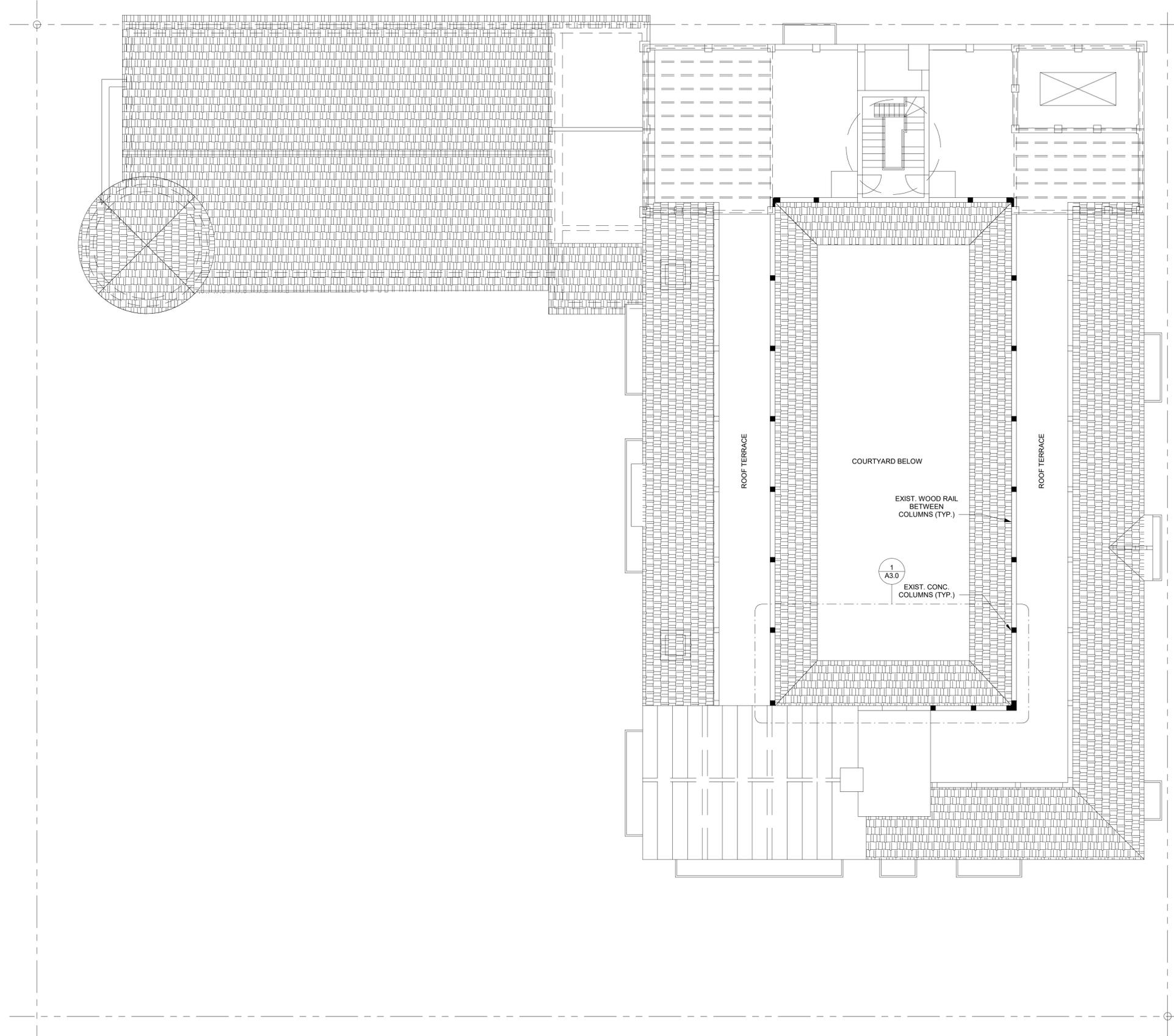
PROJECT #: Project #20-003

DATE: 05-18-2020



KEY PLAN
 1" = 60'-0"

1 EXISTING THIRD FLOOR PLAN
 1:83



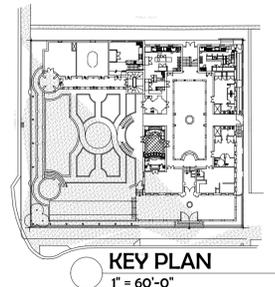
AERIAL VIEW SHOWING ROOFTOP TERRACE



ROOFTOP TERRACE IN RELATION TO COURTYARD BELOW



OUTDOOR SEATING WITH ENTRANCE TO TERRACE TO THE LEFT FROM CENTRAL STAIRS



1 EXISTING ROOF & TERRACE PLAN
 1:83

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
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- CONSTRUCTION SET

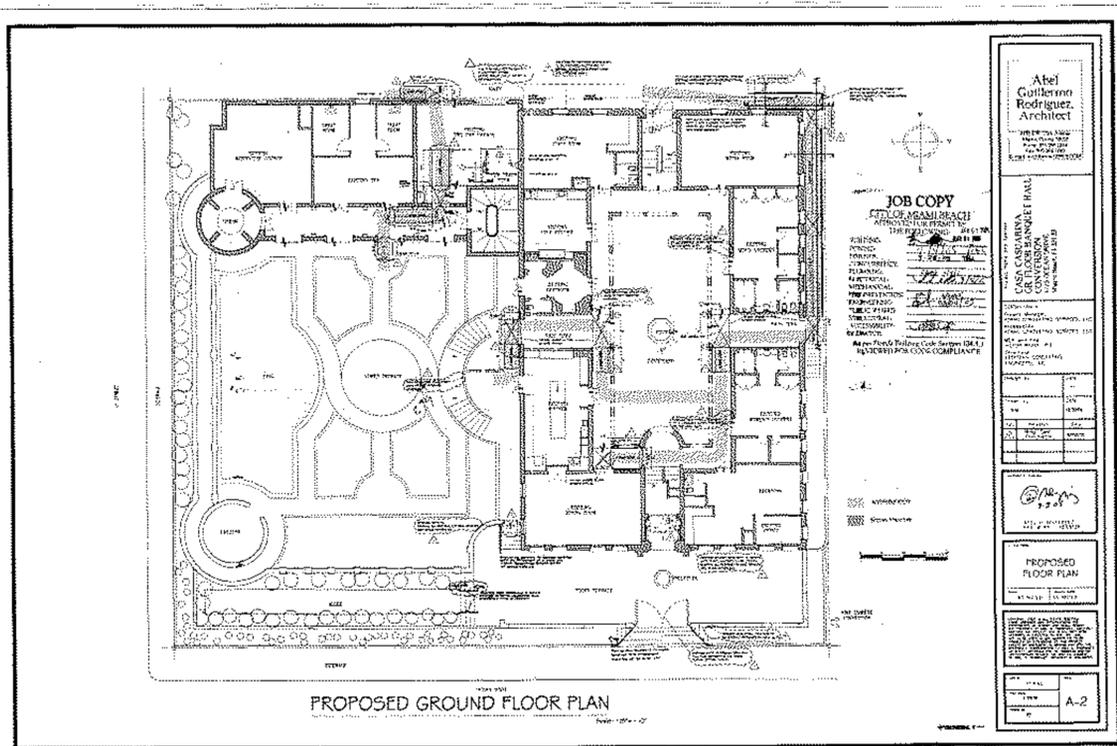
DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

EXISTING ROOF and TERRACE PLAN

A2.4

PROJECT #: Project #20-003

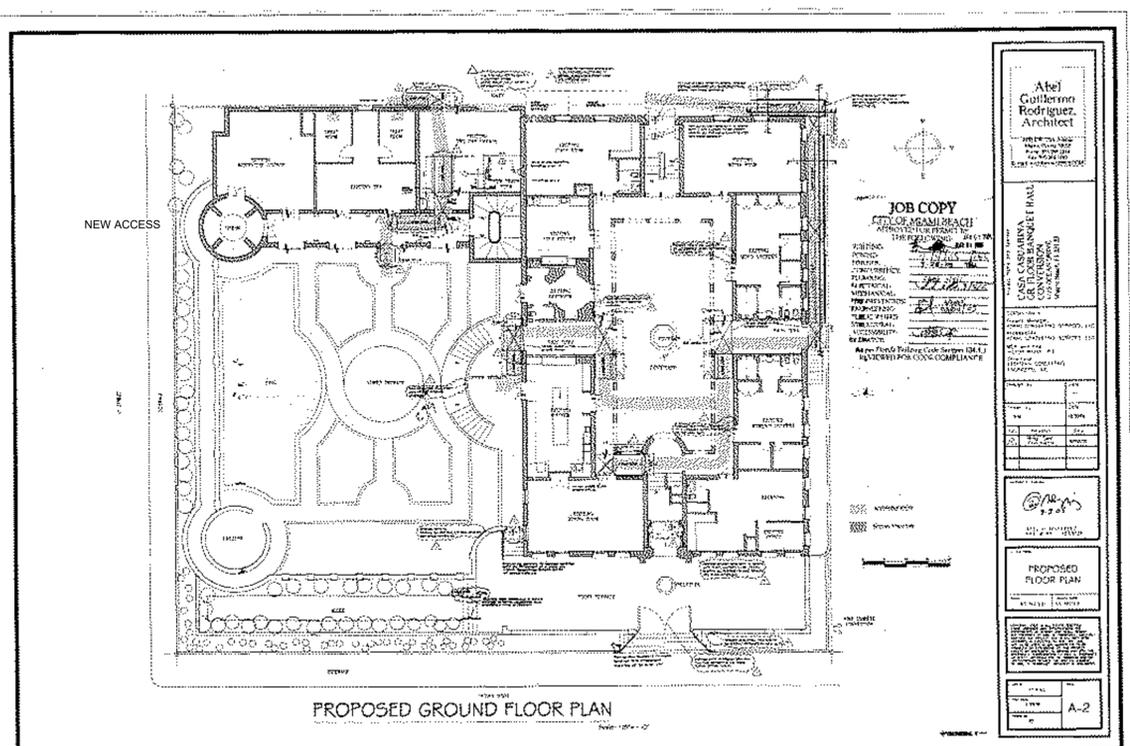
DATE: 05-18-2020



1 ADA - EXIST. ROUTE APPROVED (CITY MIAMI BEACH)
1/8" = 1'-0"

CHANGE OF USE DESIGNATION TO:
CASA CASUARINA
1115 OCEAN DRIVE
MIAMI BEACH, FL 33139

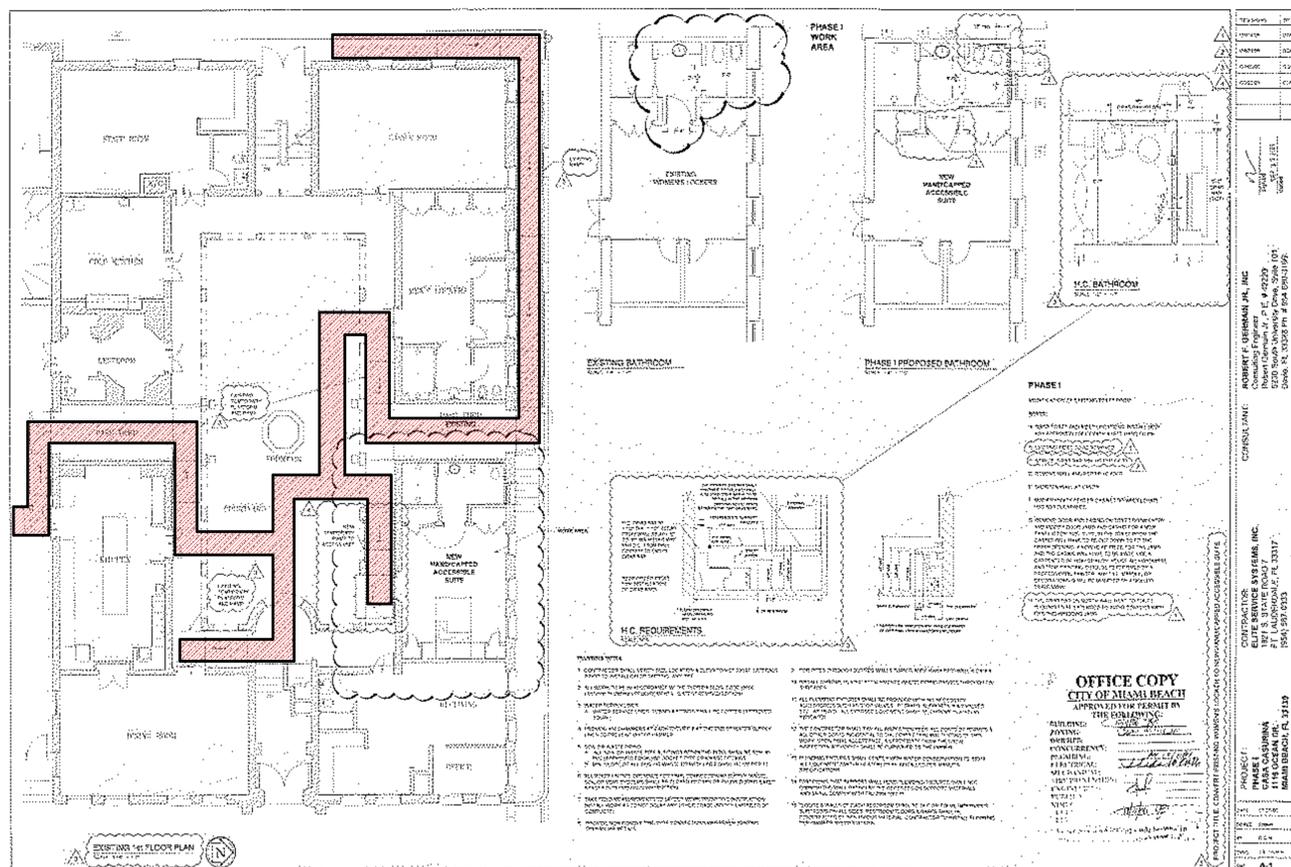
ADA ACCESSIBILITY ROUTES
A 1.07



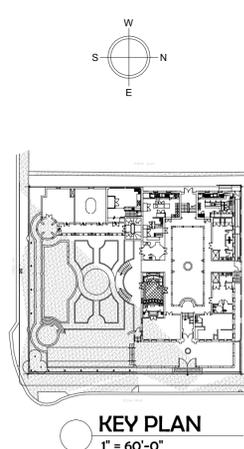
4 ADA - PROPOSED ROUTE
1/8" = 1'-0"

CHANGE OF USE DESIGNATION TO:
CASA CASUARINA
1115 OCEAN DRIVE
MIAMI BEACH, FL 33139

ADA ACCESSIBILITY ROUTES
A 1.07



2 ADA - EXIST ROUTE APPROVED (CITY MIAMI BEACH)
1" = 1'-0"



KEY PLAN
1" = 60'-0"

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Ari L Sklar
Date: 2021.03.08
13:30:47
-0500
REVISIONS

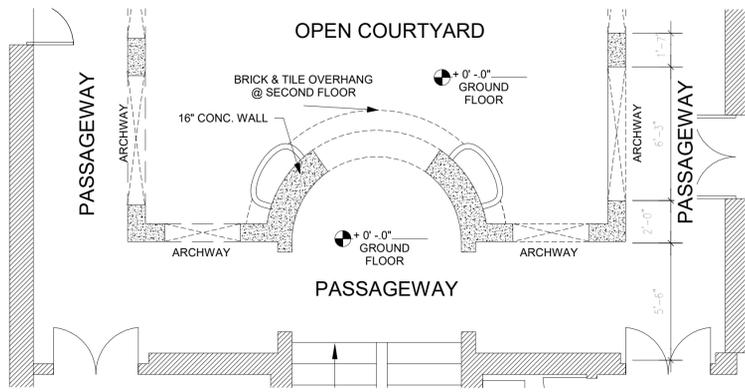
RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1115 OCEAN DRIVE, MIAMI BEACH
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- REVIEW SET
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 - BID SET
 - CONSTRUCTION SET
- DRAWN BY:
Author
- CHECKED BY:
ARI SKLAR

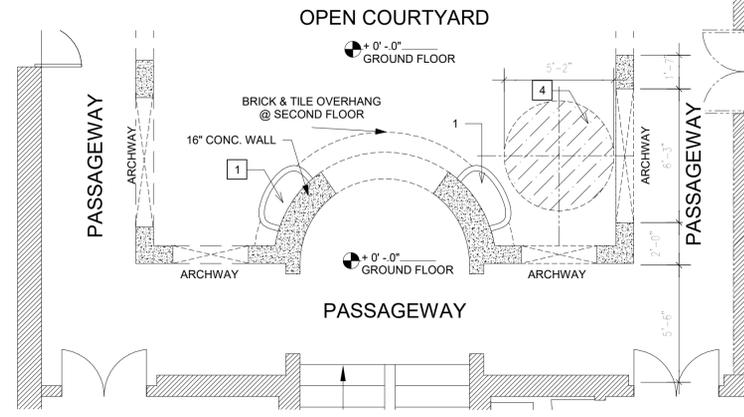
ADA - EXISTING & PROPOSED ROUTE APPROVED

A2.5

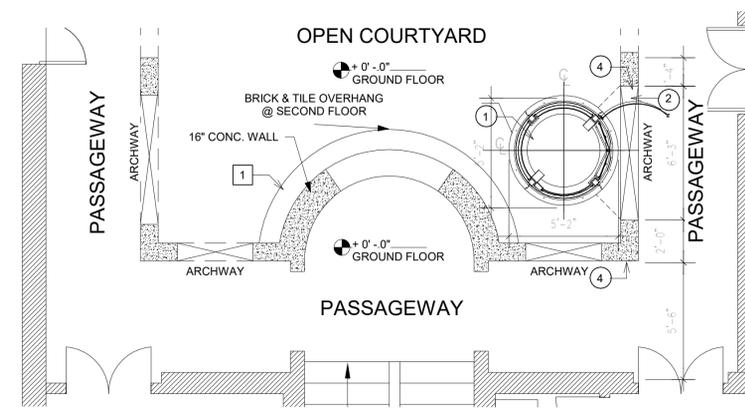
PROJECT #: Project #20-003
DATE: 05-18-2020



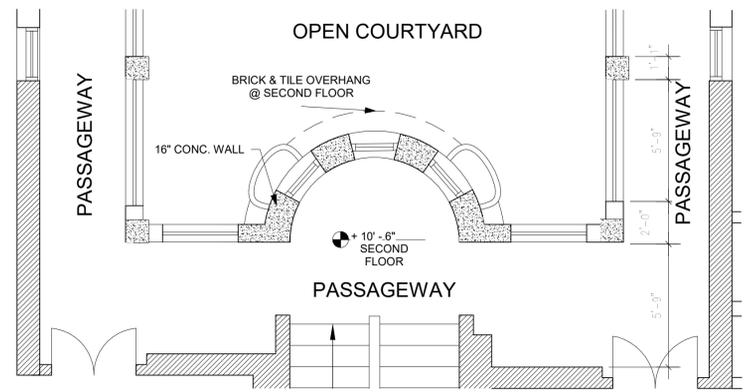
4 EXISTING GROUND FP
1/4" = 1'-0"



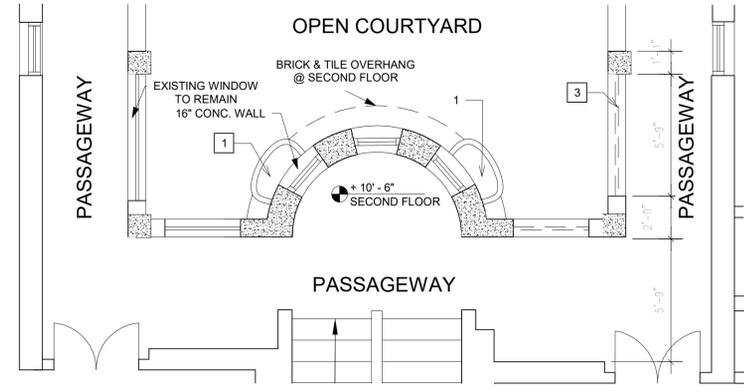
5 DEMOLITION GROUND FP
1/4" = 1'-0"



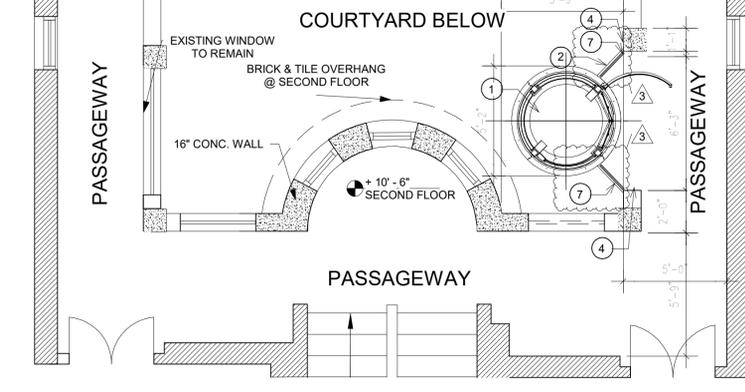
9 PROPOSED GROUND FP
1/4" = 1'-0"



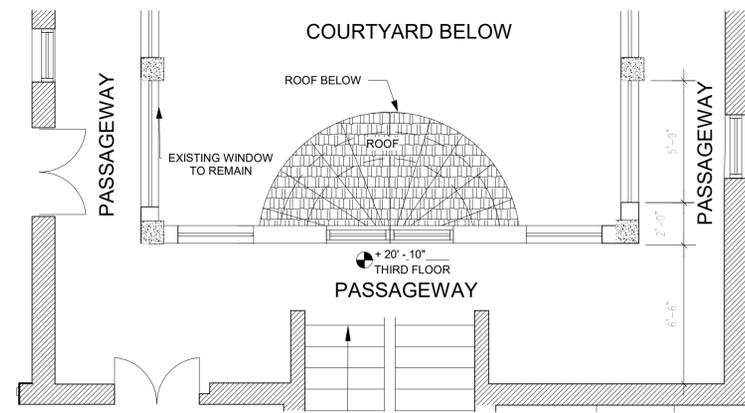
2 EXISTING SECOND FP
1/4" = 1'-0"



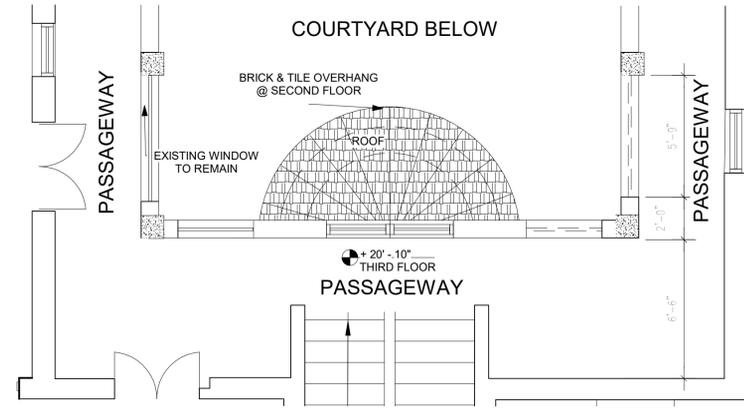
6 DEMOLITION SECOND FP
1/4" = 1'-0"



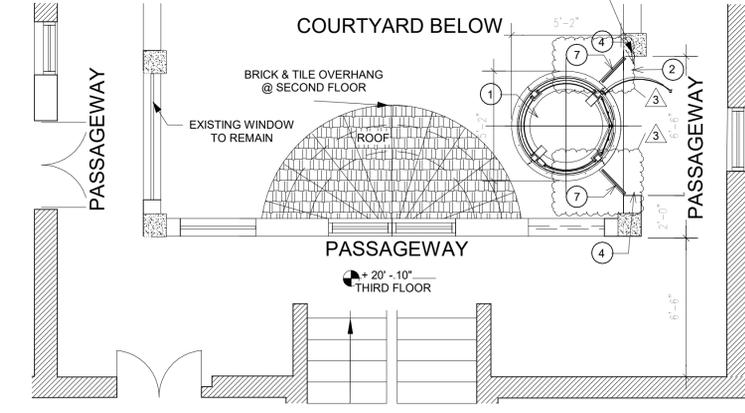
10 PROPOSED SECOND FP
1/4" = 1'-0"



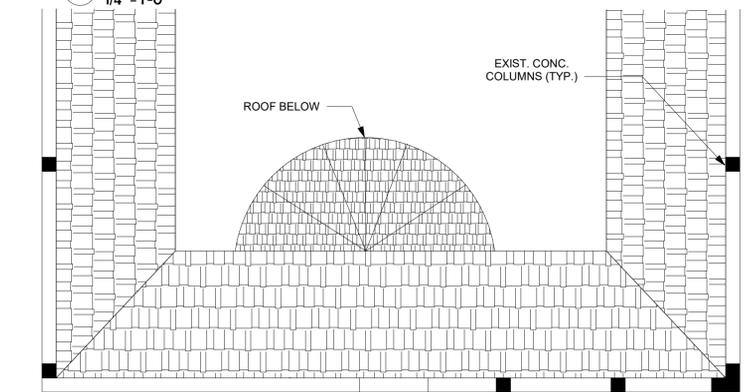
3 EXISTING THIRD FP
1/4" = 1'-0"



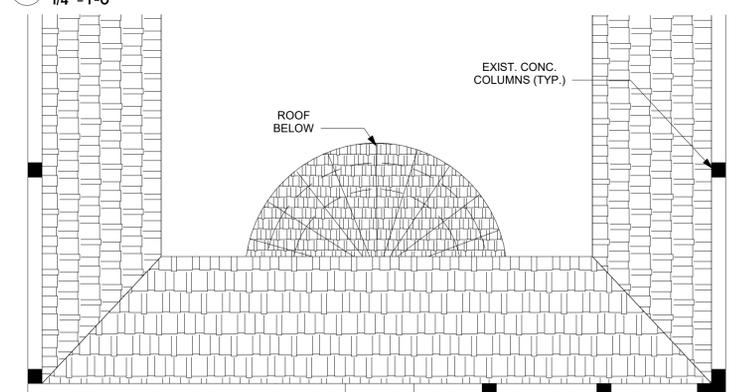
7 DEMOLITION THIRD FP
1/4" = 1'-0"



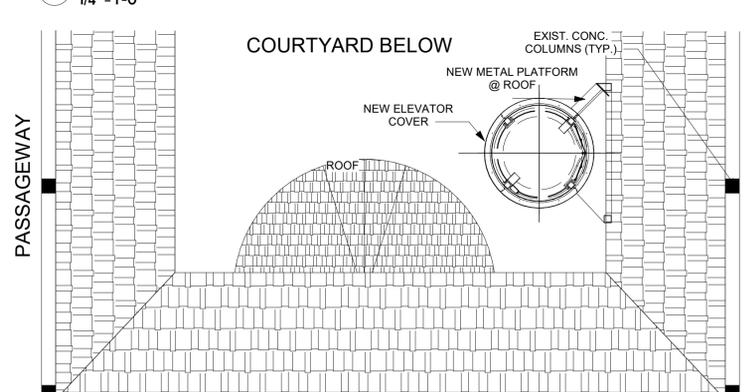
11 PROPOSED THIRD FP
1/4" = 1'-0"



1 EXISTING ROOF FP
1/4" = 1'-0"



8 DEMOLITION ROOF FP
1/4" = 1'-0"



12 PROPOSED ROOF FP
1/4" = 1'-0"

DEMOLITION NOTES

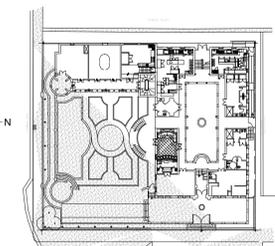
- 01 Remove existing planter
- 02 Remove existing parapet, balustrade and curb, patch floor finish to match existing
- 03 Demolish slab to receive elevator foundation, patch wall and floor finish to match existing
- 04 Existing sconces, decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
- 05 Do not remove any structural members without written approval of structural engineer, provide temporary shoring where required and prepare areas for new work.
- 06 Electrical systems/panels, conduits & wiring to remain in same location.
- 07 Notify arch. of all active MEP that can not be removed & capped.

CONSTRUCTION NOTES

- 01 New Elevator (on its own foundation)
- 02 New Slab to connect elevator to existing slab
- 03 Patch floor finish to match existing
- 04 Existing decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
- 05 Patch holes in floor slab with concrete leaving a smooth, level floor.
- 06 Patch and repair ceiling systems affected on work areas.
- 07 New glass railing with base aluminum rail

FLOOR PLAN LEGEND

	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	1 DEMOLITION TAG
	1 CONSTRUCTION TAG



KEY PLAN
1" = 60'-0"

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Date: 2021.03.08 13:31:45
REVISIONS

3 CITY COMMENTS 03-08-21
3 CITY COMMENTS 03-08-21

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
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- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

DRAWN BY:
Author
CHECKED BY:
ARI SKLAR

PROPOSED ELEVATOR FLOOR PLAN

A3.0

PROJECT #: Project #20-003

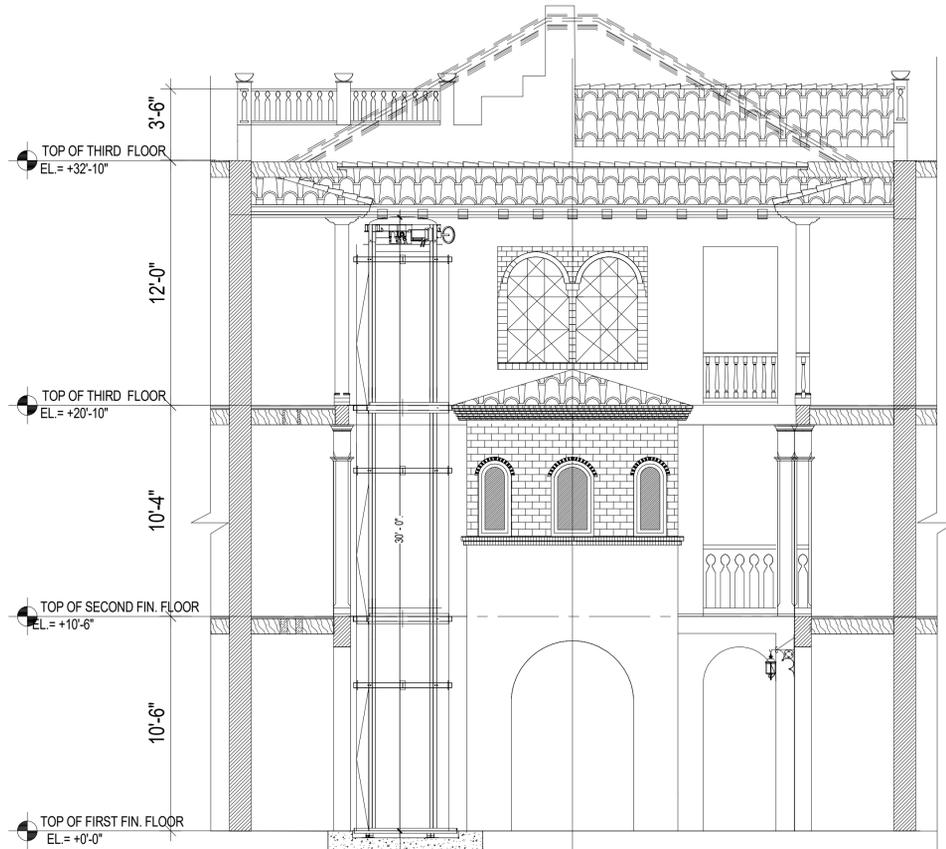
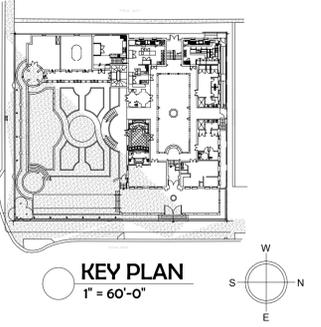
DATE: 05-18-2020

- DEMOLITION NOTES**
- 01 Remove existing planter
 - 02 Remove existing parapet, balustrade and curb, patch floor finish to match existing
 - 03 Demolish slab to receive elevator foundation, patch wall and floor finish to match existing
 - 04 Existing sconces, decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 05 Do not remove any structural members without written approval of structural engineer, provide temporary shoring where required and prepare areas for new work.
 - 06 Electrical systems/panels, conduits & wiring to remain in same location.
 - 07 Notify arch. of all active MEP that can not be removed & capped.

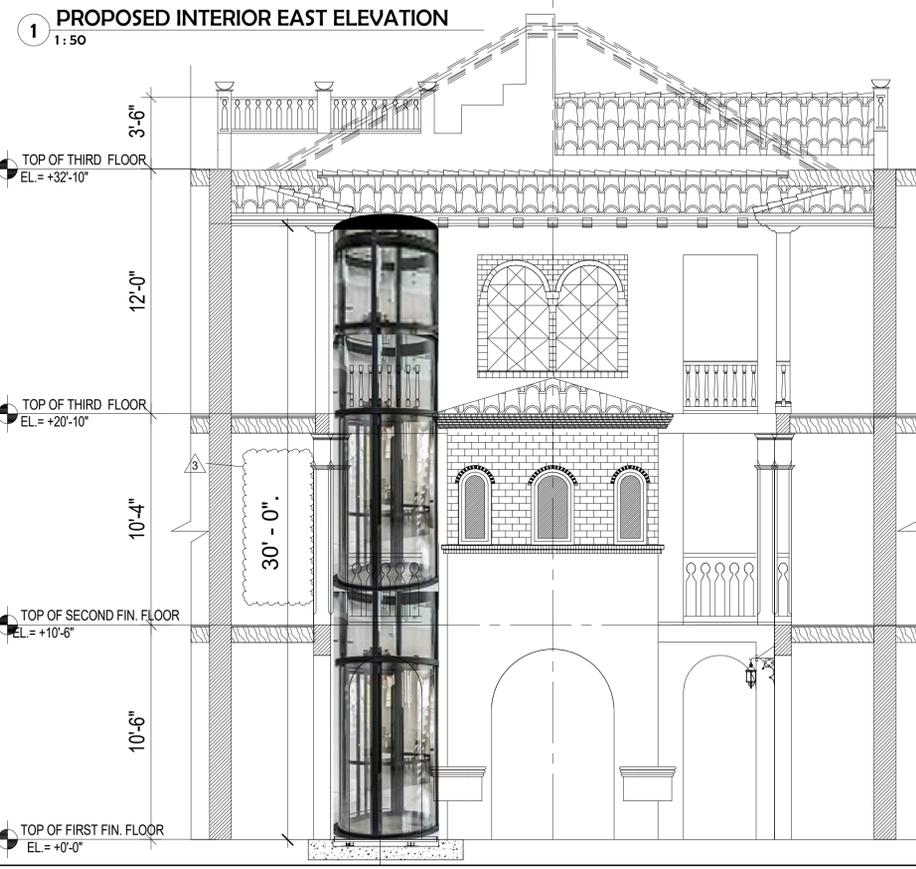
- CONSTRUCTION NOTES**
- 01 New Elevator (on its own foundation)
 - 02 New Slab to connect elevator to existing slab
 - 03 Patch floor finish to match existing
 - 04 Existing decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 05 Patch holes in floor slab with concrete leaving a smooth, level floor.
 - 06 Patch and repair ceiling systems affected on work areas.
 - 07 New glass railing with base aluminum rail

FLOOR PLAN LEGEND

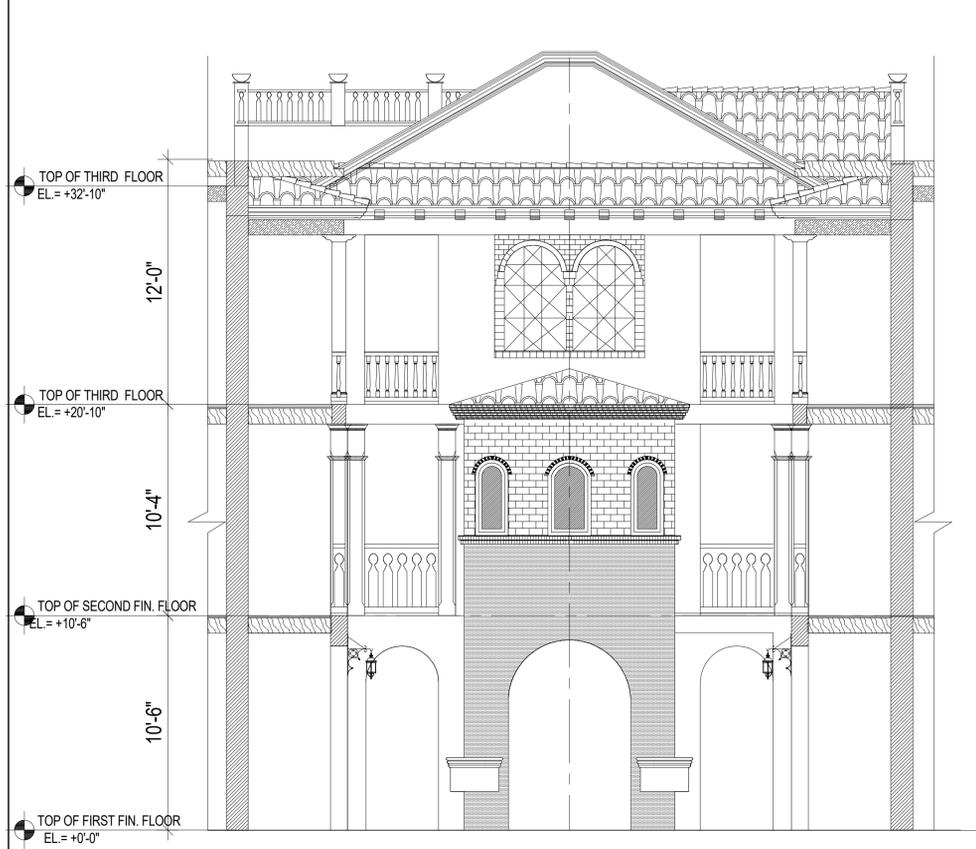
	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL
	TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	DEMOLITION TAG
	CONSTRUCTION TAG



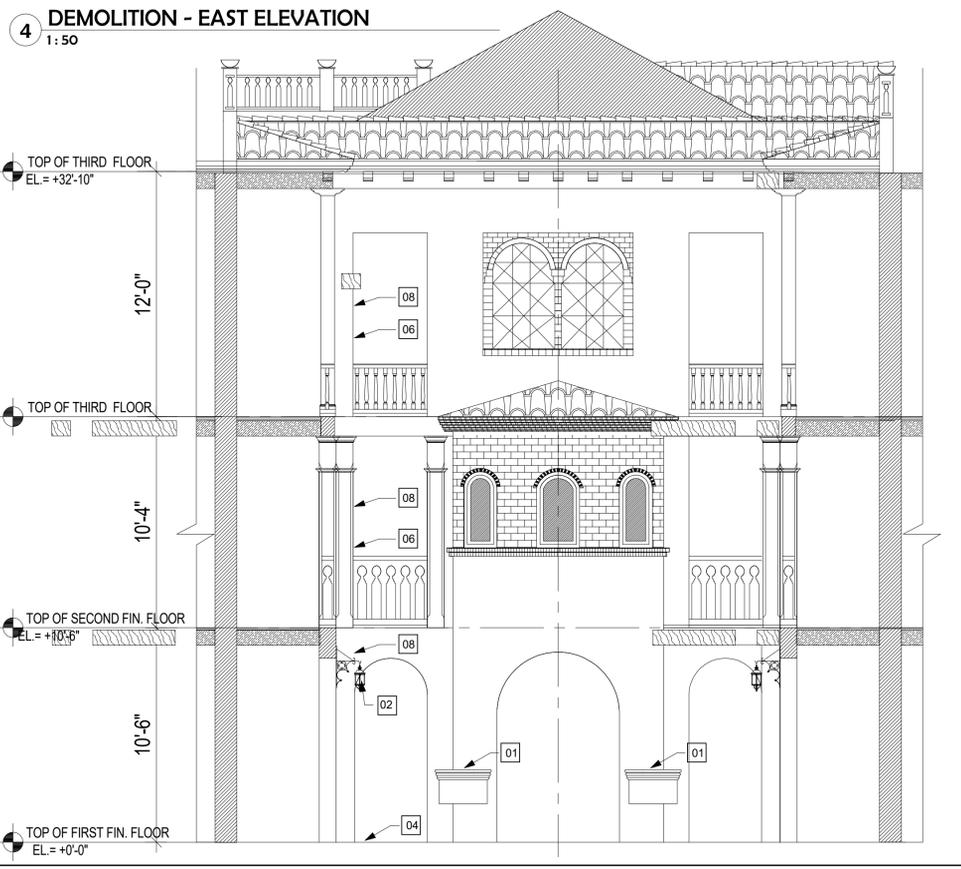
3 PROPOSED ELEVATOR SECTION SEE ENLARGED ON SHEET A.6.0
 1:50



1 PROPOSED INTERIOR EAST ELEVATION
 1:50



2 EXISTING EAST ELEVATION
 1:50



4 DEMOLITION - EAST ELEVATION
 1:50

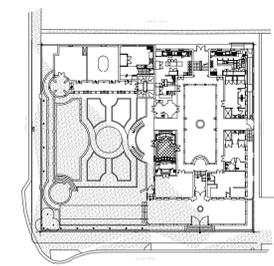
- DEMOLITION NOTES**
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- DEMOLITION KEY NOTES**
 1" = 1'-0"

- CONSTRUCTION NOTES**
- 01 New Elevator (on its own foundation)
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 - 05 Patch holes in floor slab with concrete leaving a smooth, level floor.
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- CONSTRUCTION KEY NOTES**
 1" = 1'-0"

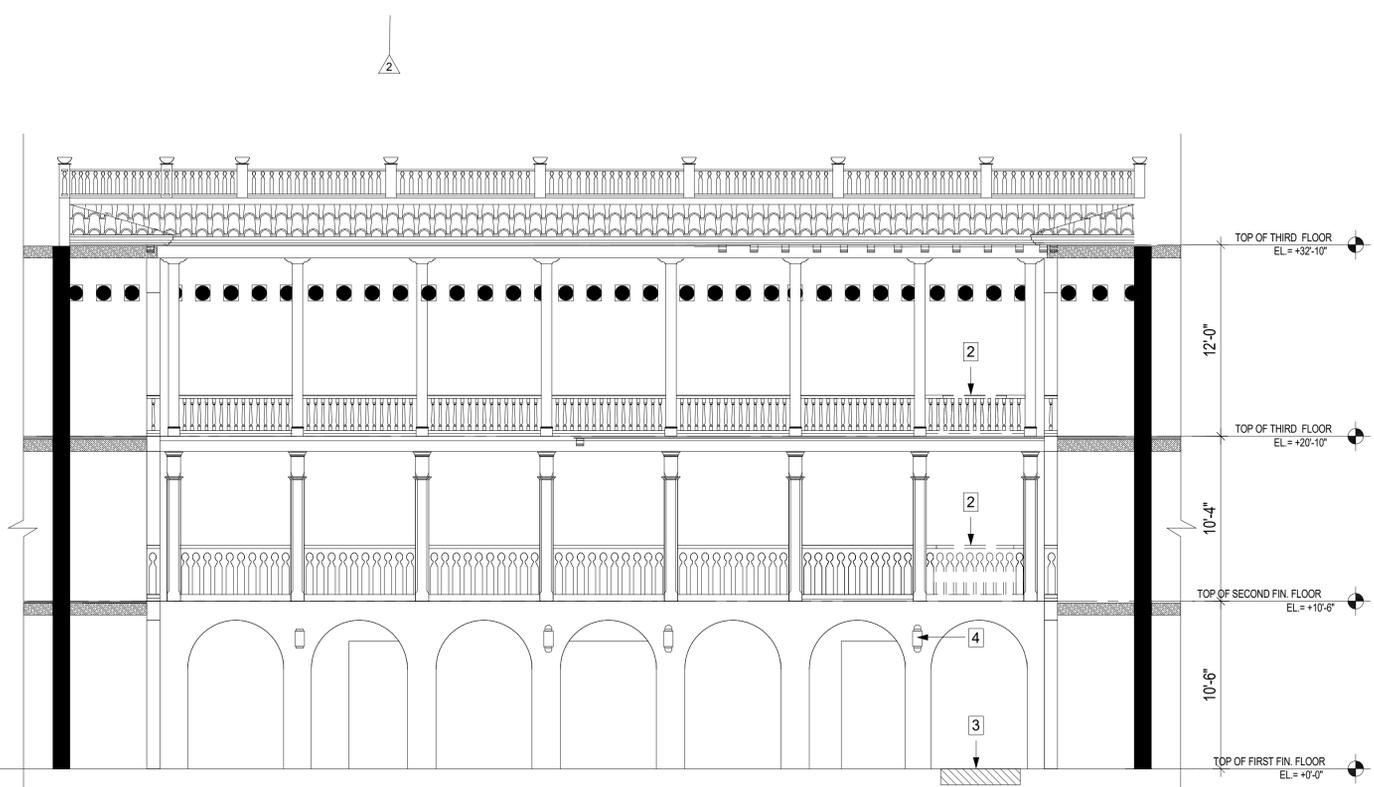
FLOOR PLAN LEGEND

	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL
	TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	DEMOLITION TAG
	CONSTRUCTION TAG

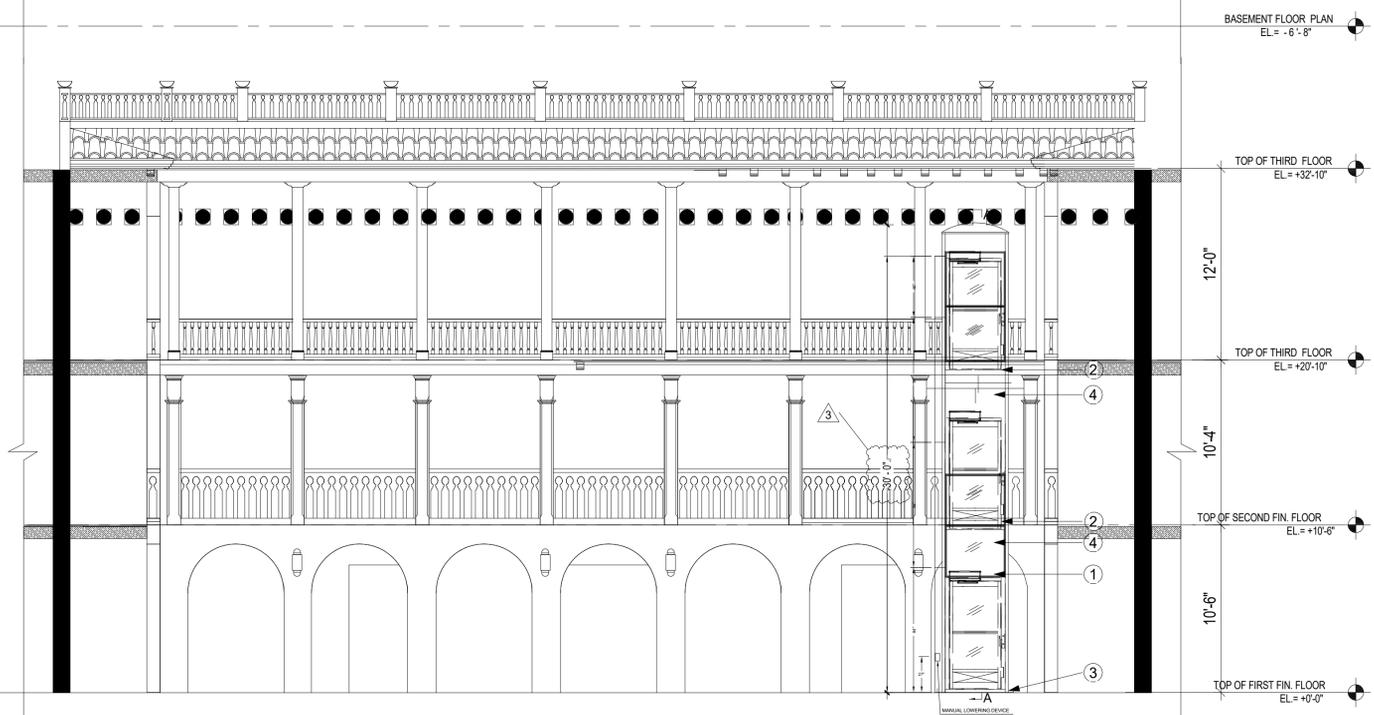
FLOOR PLAN LEGEND
 1" = 1'-0"



KEY PLAN
 1" = 60'-0"



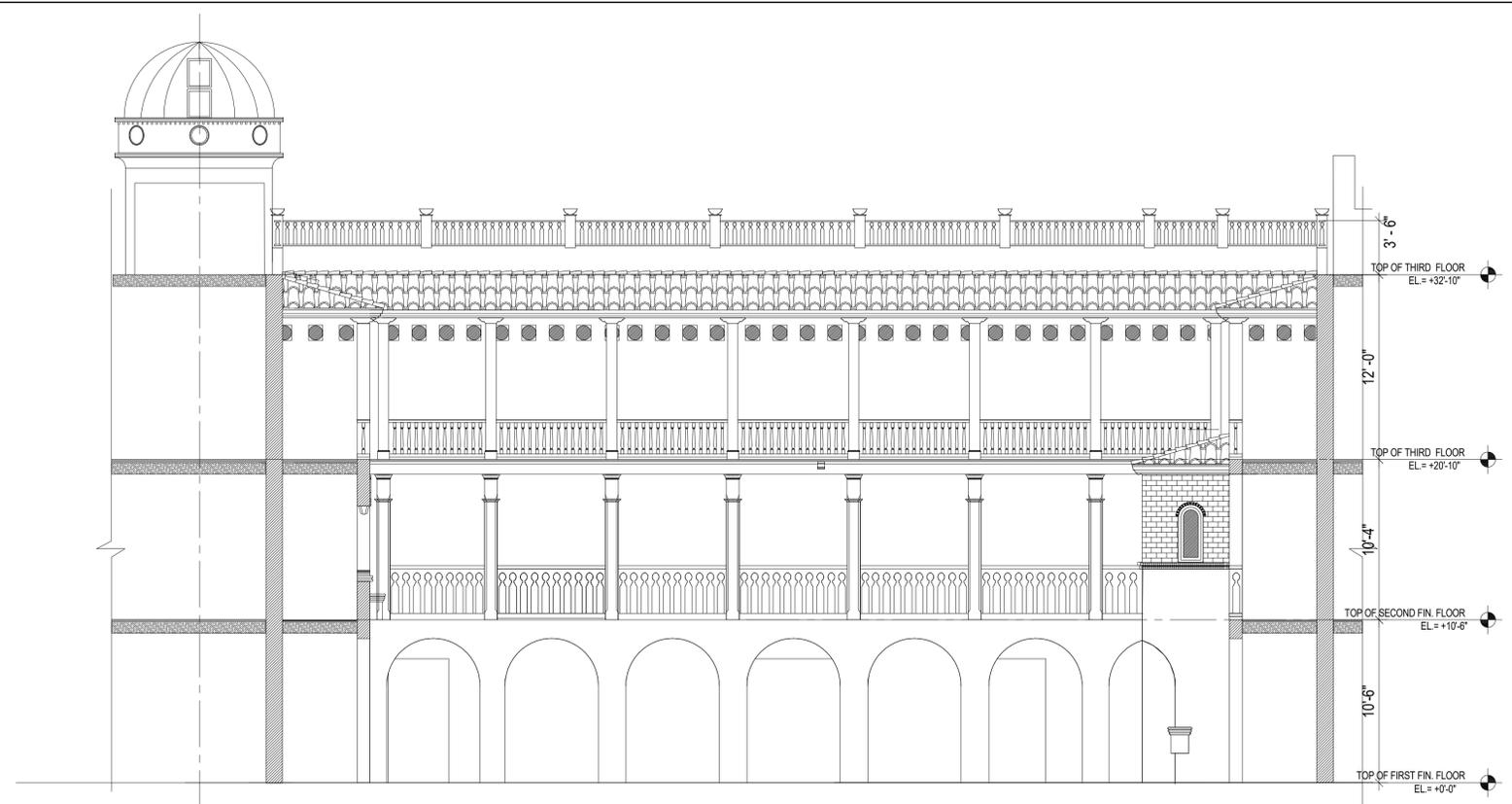
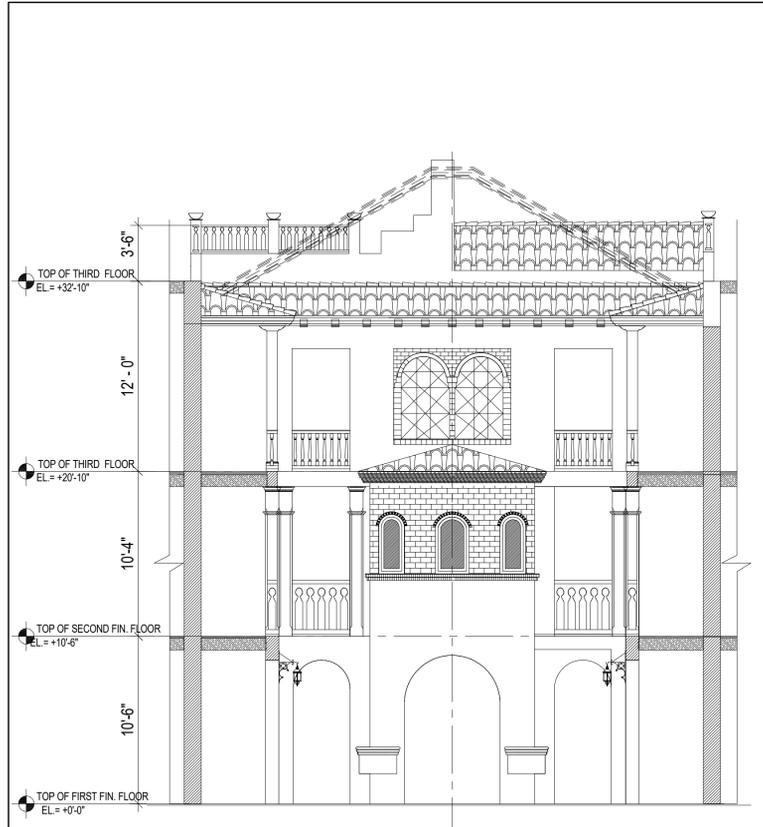
EXISTING-DEMO NORTH INTERIOR ELEVATION



PROPOSED NORTH INTERIOR ELEVATION

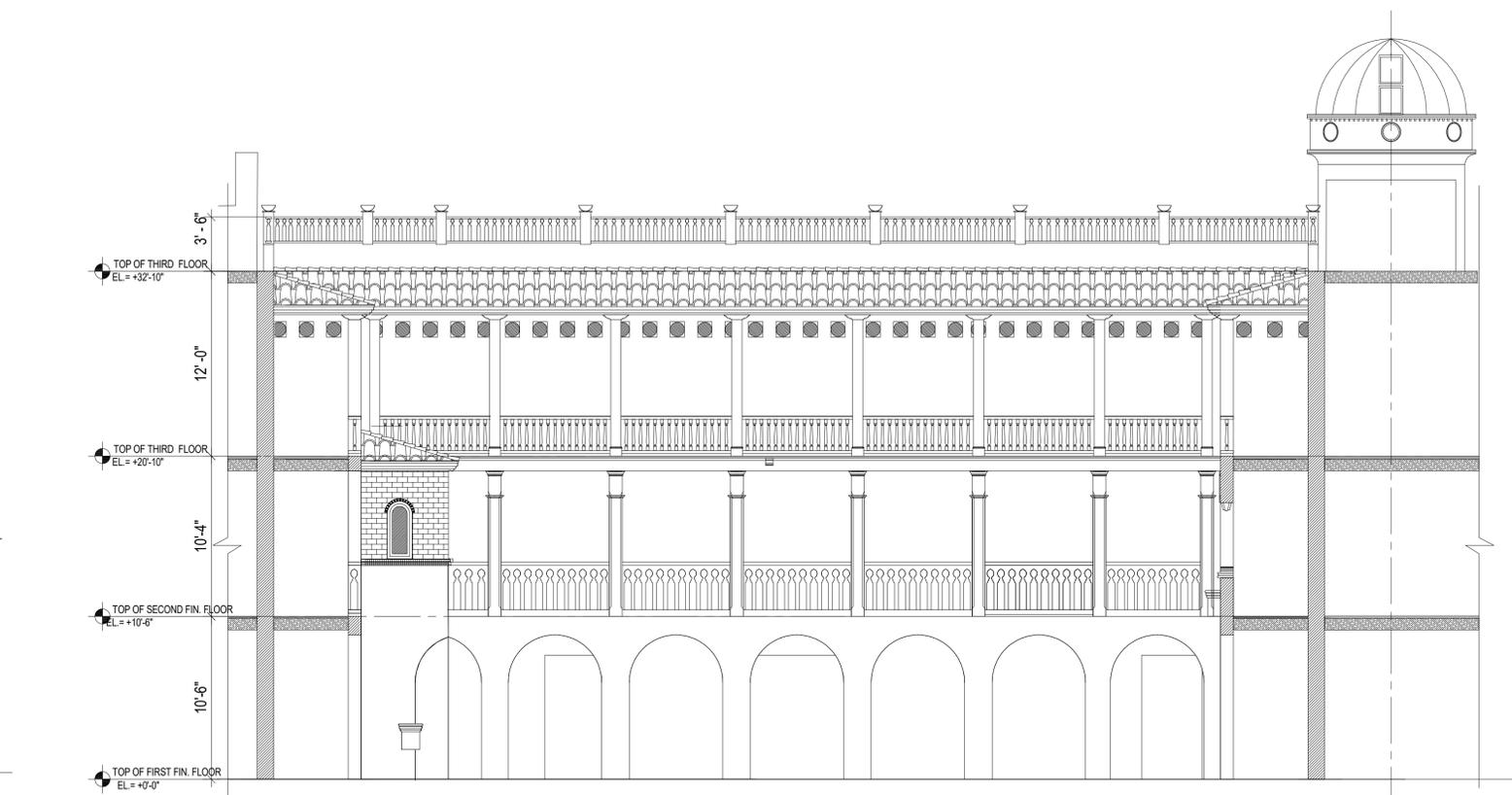
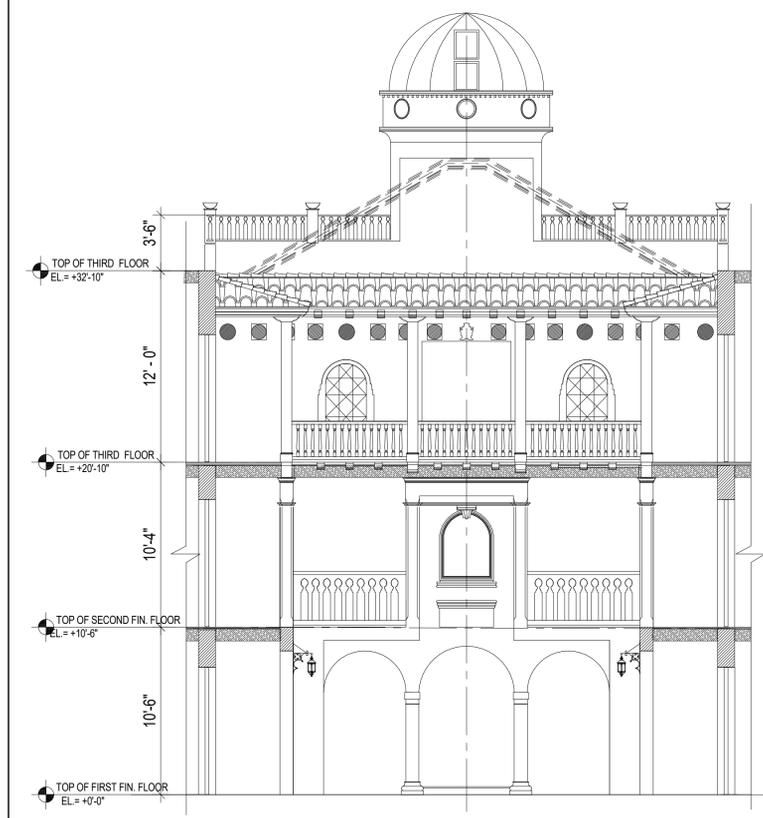
INTERIOR NORTH ELEVATION
 EXISTING/DEMO AND PROPOSED
 3/16" = 1'-0"

SEAL
 ARI L. SKLAR
 LICENSE #ARI4173
 Digitally signed by
 Ari L. Sklar
 Date: 2021.03.08
 13:35:41
 REVISIONS



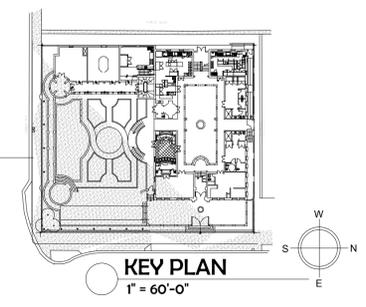
1 EXISTING INTERIOR ELEVATION EAST - COURTYARD
 3/16" = 1'-0"

2 EXISTING INTERIOR ELEVATION NORTH - COURTYARD
 3/16" = 1'-0"



3 EXISTING INTERIOR ELEVATION WEST - COURTYARD
 3/16" = 1'-0"

4 EXISTING INTERIOR ELEVATION SOUTH - COURTYARD
 3/16" = 1'-0"



RENOVATION OF AN EXISTING HISTORIC BUILDING
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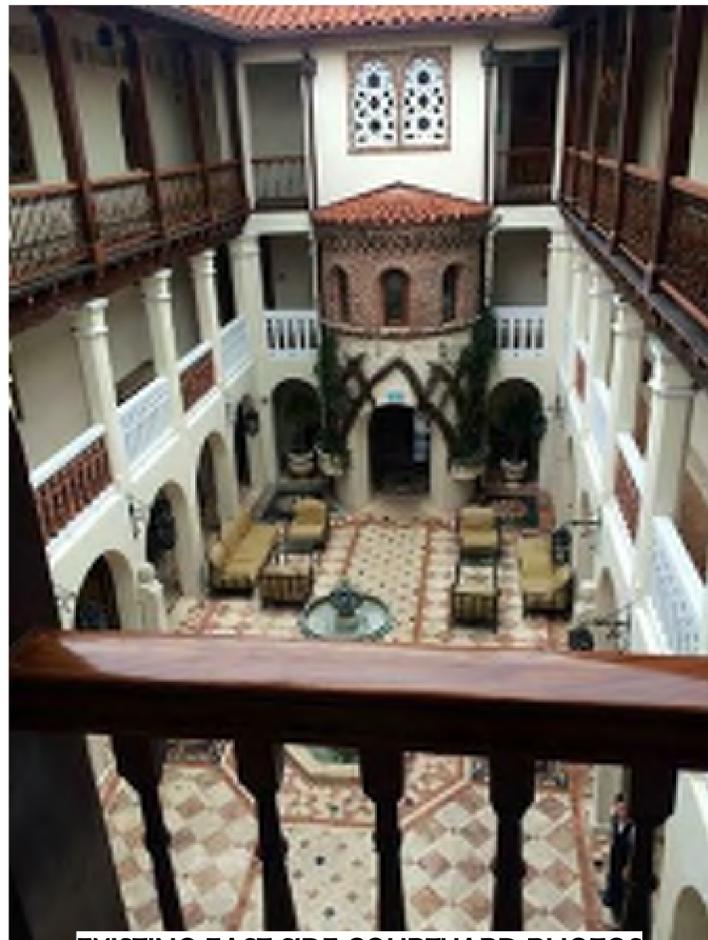
- REVIEW SET
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- CONSTRUCTION SET

DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

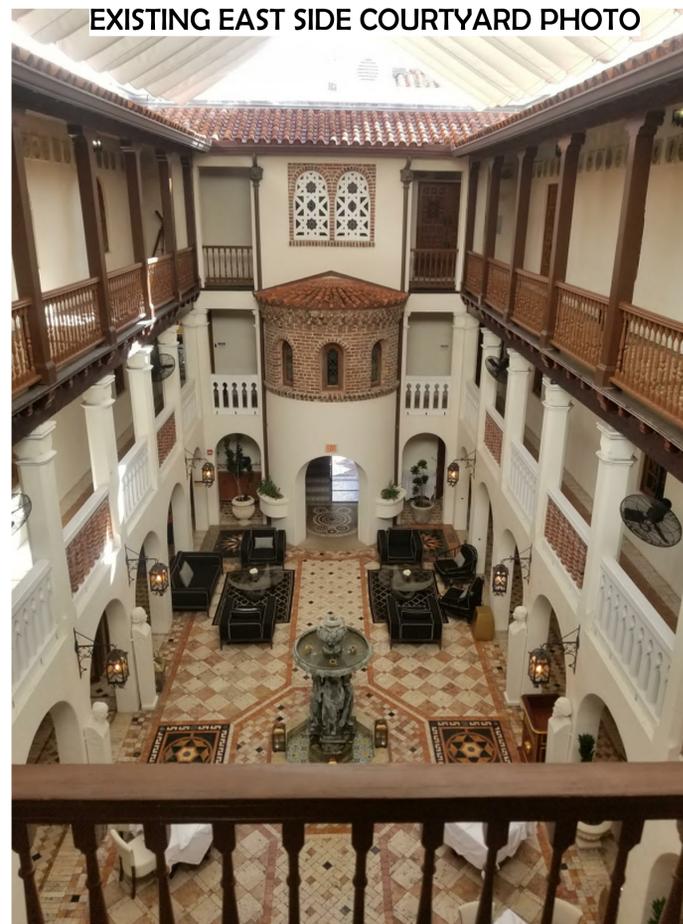
**EXISTING INTERIOR
 ELEVATIONS -
 COURTYARD**

A4.2

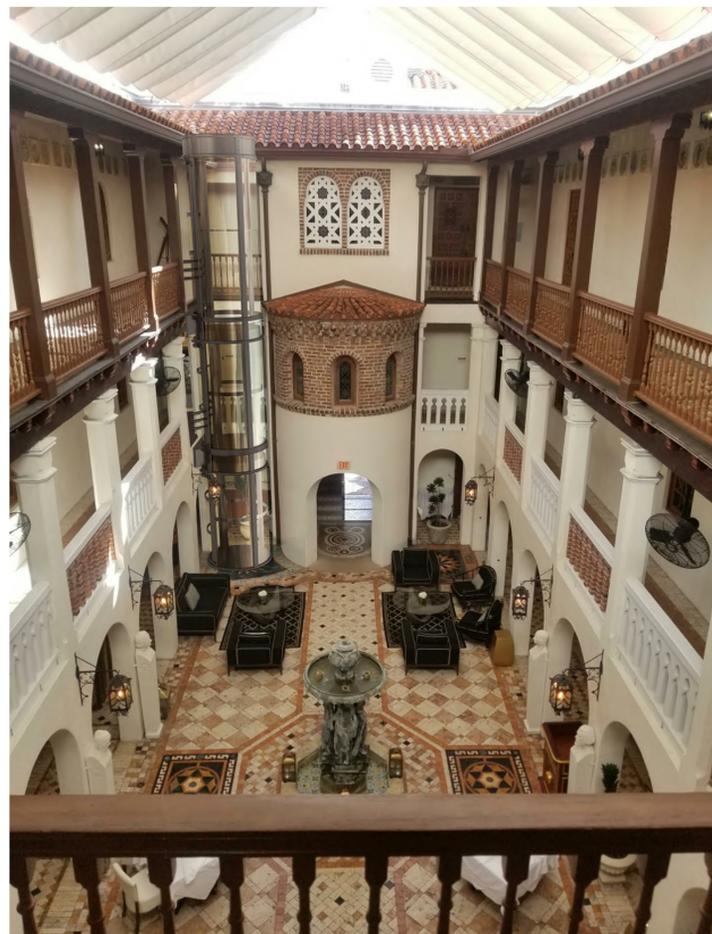
PROJECT #: Project #20-003
 DATE: 05-18-2020



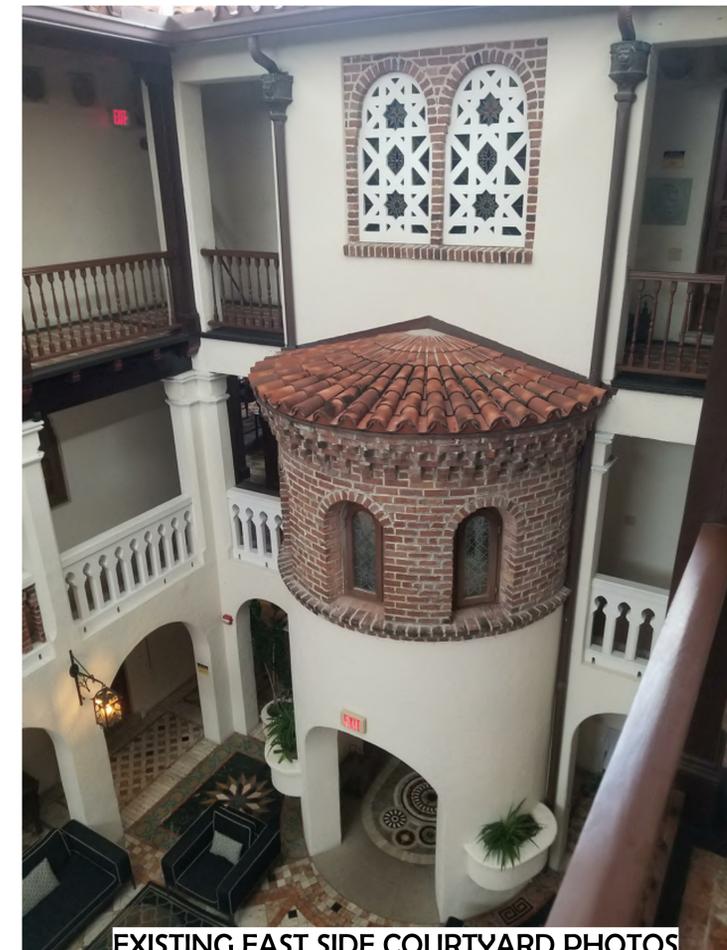
EXISTING EAST SIDE COURTYARD PHOTOS



EXISTING EAST SIDE COURTYARD PHOTO



PROPOSED ELEVATOR ON EAST SIDE COURTYARD PHOTO REALIST RENDER



EXISTING EAST SIDE COURTYARD PHOTOS



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 13:36:06
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2 CITY COMMENTS 02-09-21

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

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 Author
 CHECKED BY:
 ARI SKLAR

**PROPOSED RENDER &
 EAST SIDE OF
 COURTYARD
 EXISTING PHOTOS**

A4.3

PROJECT #: Project #20-003

DATE: 05-18-2020



5 COURTYARD - ELEVATOR 1960s - HOTEL
1:14



6 ACTUAL CONDITION COURTYARD
1:25



4 CONDITION COURTYARD 1996s
1:11



2 CONDITION ORIGINAL COURTYARD - 1930s
1"=1'-0"



7 CONDITION ORIGINAL COURTYARD - 1996s
1"=1'-0"

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REVISIONS

2 CITY COMMENTS 02-08-21

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

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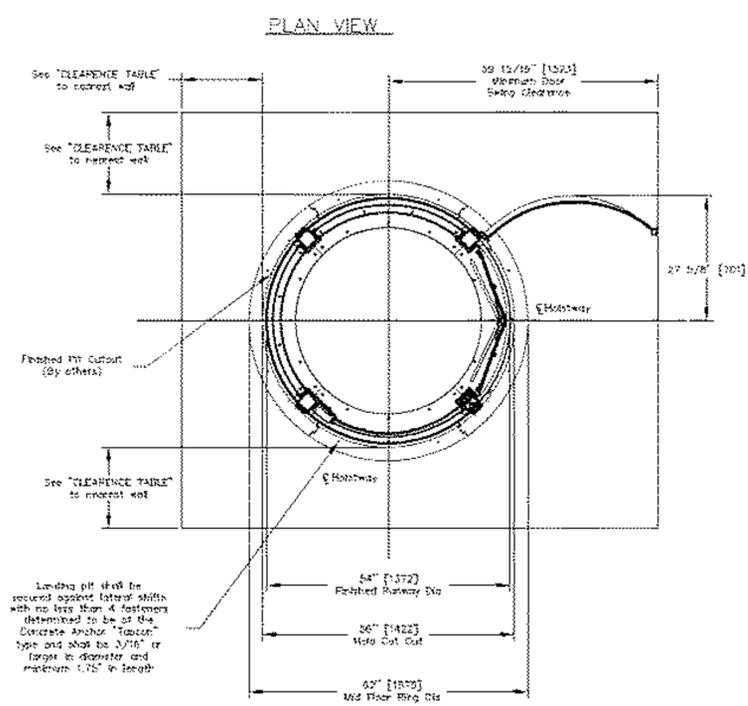
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WEST SIDE OF
COURTYARD PHOTOS

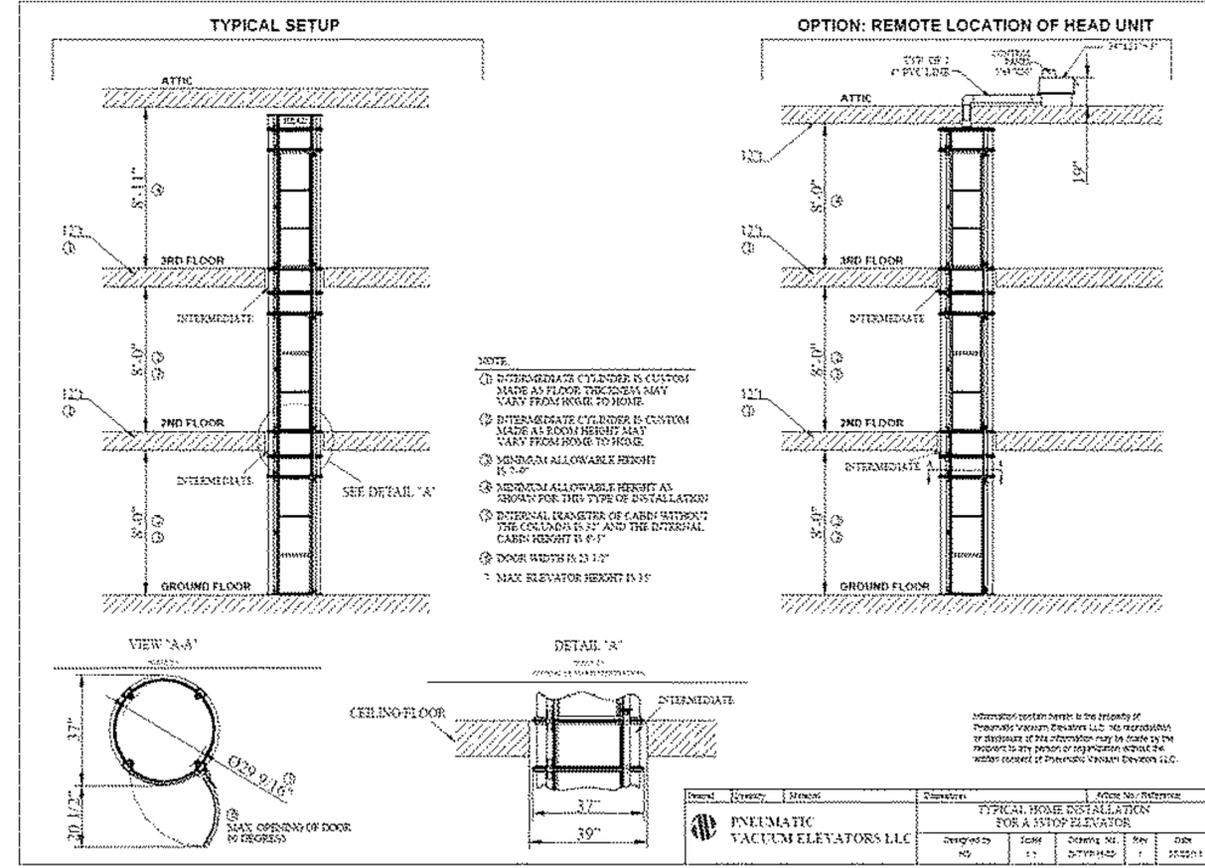
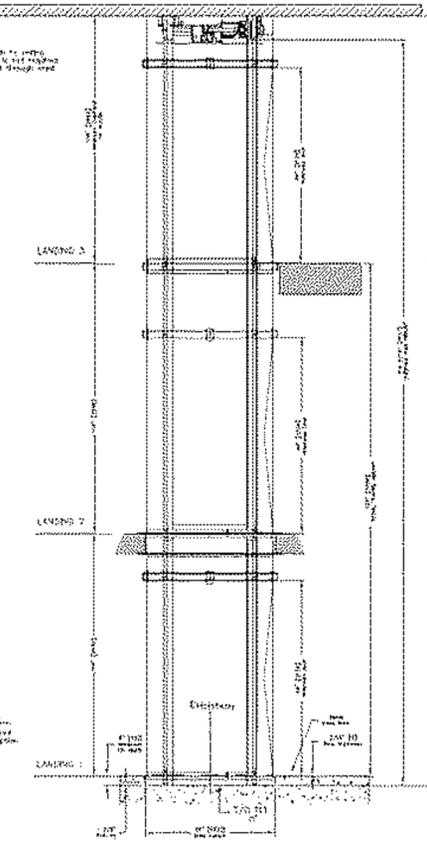
A4.4

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DATE: 05-18-2020



PLEASE NOTE:
 1. SEE ALL DIMENSIONS AND NOTES ON ALL DRAWINGS.
 2. SEE ALL DIMENSIONS AND NOTES ON ALL DRAWINGS.
 3. SEE ALL DIMENSIONS AND NOTES ON ALL DRAWINGS.



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RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
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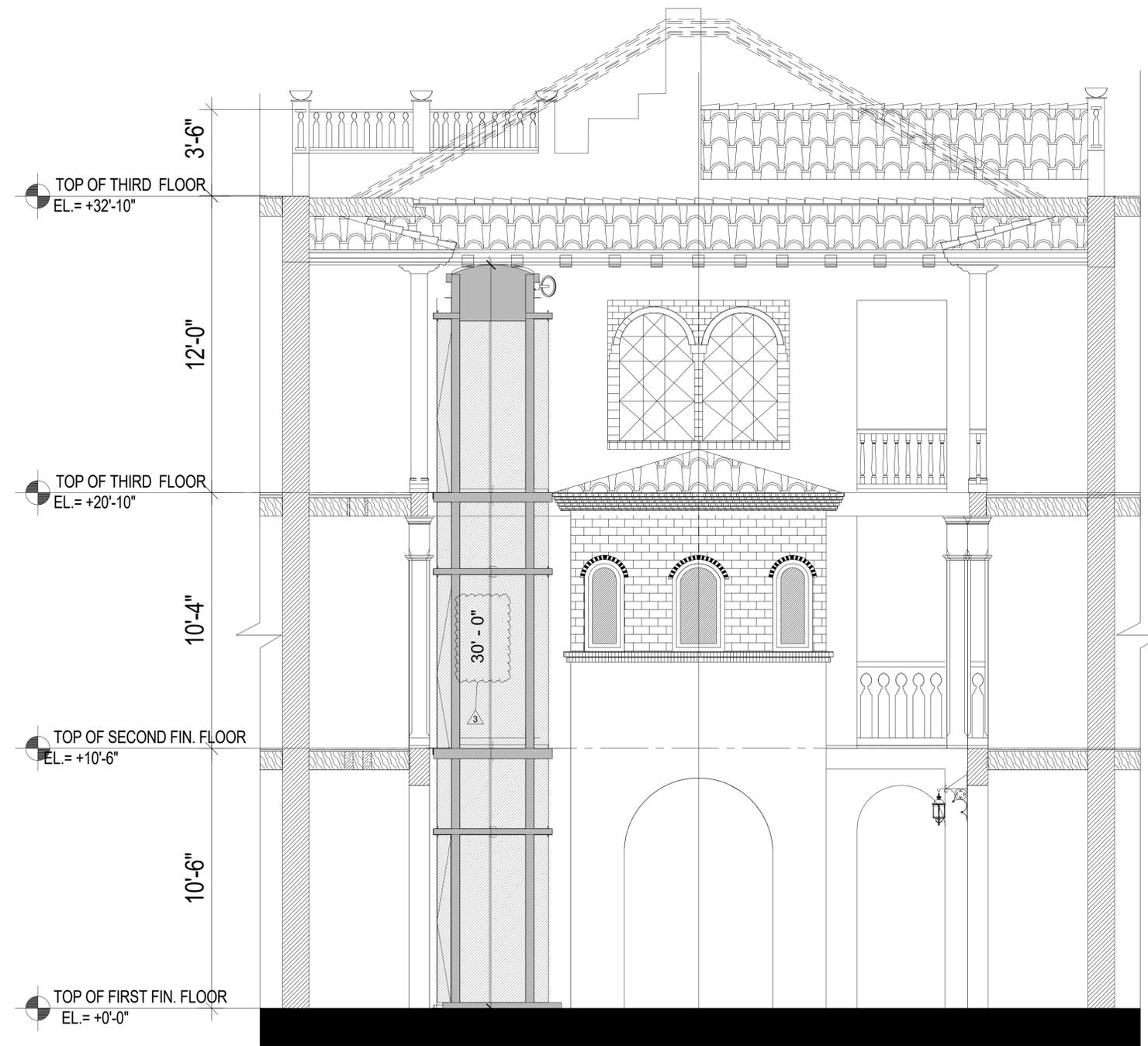
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ELEVATOR SPEC OPTIONS

A5.0

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PROPOSED INTERIOR EAST ELEVATION
ENLARGED
① 3/8" = 1'-0"

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
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**ENLARGED
PROPOSED INTERIOR
EAST ELEVATION**

A6.0

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DATE: 05-18-2020