

LEVEL 4- AREA BREAKDOWN

TYPE FAR

VERT. CIRCULATION 407 S.F.

PARKING 0 S.F.

COMMERCIAL 1,191 S.F.

MECH./ELEC. 191 S.F.

ADDITION 249 S.F.

TOTAL 2,038 S.F.

LEVEL 3- AREA BREAKDOWN

TYPE FAR

VERT. CIRCULATION 510 S.F.

PARKING 0 S.F.

COMMERCIAL 2,050 S.F.

MECH./ELEC. 115 S.F.

TOTAL 2,675 S.F.

LEVEL 2- AREA BREAKDOWN

TYPE FAR

VERT. CIRCULATION 640 S.F.

PARKING 0 S.F.

COMMERCIAL 1,968 S.F.

MECH./ELEC. 87 S.F.

TOTAL 2,695 S.F.

LEVEL 1- AREA BREAKDOWN

TYPE FAR

VERT. CIRCULATION 460 S.F.

PARKING 0 S.F.

COMMERCIAL 530 S.F.

MECH./ELEC. 250 S.F.

TOTAL 1,240 S.F.

FLOOR AREA RATIO (FAR):

MAX. ALLOWED 1.5 (14,335 SF)

EXIST. TOTAL 8,399 SQ.FT.

PROPOSED TOTAL 8,648 SQ.FT.

CHI -BAR.& LOUNGE - MIAMI BEACH

LEGAL DESCRIPTION:
LOT 4, LESS THE WESTERLY 25.00 FEET THERE OF, BLOCK 2, FISHER'S FIRST SUBDIVISION OF ALTON BEACH, AS RECORDED IN PLAT BOOK 2 AT PAGE 77 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
1826 COLLINS AVE., FLORIDA, 33139. PROPERTY CONTAINS 9,557 SQUARE FEET, MORE OR LESS, OR 0.219 ACRES, MORE OR LESS.

GENERAL NOTES

- CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE INSTALLATION AS DETAILED HEREIN. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND IS RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY HIS WORK.
- STORAGE: THE CONTRACTOR SHALL PROVIDE ON-SITE, WEATHER PROTECTED STORAGE.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS, AND APPROVALS.
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED TO BE OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.
- COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE THEIR CONTRACT FROM THE CONTRACTOR OR OWNER. THE CONTRACTOR'S INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
- MECHANICAL TRADES: THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS, AND SHALL COMPLETE THE WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
- EXAMINATION OF SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH AFFECT THE CONTRACT. HE SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME.
- TRASH REMOVAL: EACH CONTRACTOR SHALL PROVIDE TRASH REMOVAL. AT THE END OF EACH DAY, EACH CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND/OR WITHIN THE BUILDING AREA. CONSTRUCTION AREA SHOULD BE SWEEPED CLEAN. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCY TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK OR SHALL BEAR FULL RESPONSIBILITY.
- STUCCO APPLIED TO CONCRETE OR MASONRY TO MEET FIRE RESISTIVE REQUIREMENTS SHALL CONSIST OF AT LEAST 2 COATS AND THE TOTAL THICKENS SHALL BE NO LESS THAN 3/4".
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, A/C DUCTS, ETC.
- GENERAL CONDITIONS: THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA 201 1987 EDITION, EXCEPT AS HEREIN AMENDED.
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR, AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
- ALL WORK IS NEW UNLESS OTHERWISE NOTED.
- IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ALL FASTENING OR FRAMING TECHNIQUES AND/OR DEVICES, OR TO SHOW ALL CONDITIONS PRESENT.
- NOTE: ALL EXIT DOORS AND FRAMES CLASSIFIED AS "B" LABEL 1 1/2" HRS. FIRE PROTECTION SHALL BE LABELED SHOWING THAT SUCH DOORS DEVELOP ON THE UNEXPOSED FACE, AT THE END OF 30 MIN. OF FIRE EXPOSURE A TEMPERATURE THAT SHALL NOT EXCEED 450 F.
- ALL SUCH FIRE RATED DOORS, FRAME AND WINDOWS MUST CONFORM W/SEC.3701.2(C) STD. METHOD OF FIRE TEST FOR DOOR ASSEMBLIES ASTM-E-152 (DOORS) AND 3701.2(C) OF WINDOWS ASSEMBLIES, ASTM-E-163.
- SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL BY THE DESIGNER PRIOR TO APPLICATION.
- UNLESS OTHERWISE NOTED, ALL FRAMING AND FINISH LUMBER ARE SIZED IN NOMINAL DIMENSIONS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND REROUTE AS REQUIRED.
- GENERAL CONTRACTOR TO PROVIDE ALL MEANS TO SECURE AND PROTECT CONSTRUCTION AREA FROM THE PUBLIC.
- ALL PIPING, CONDUIT, BY CABLE AND SIMILAR CONSTRUCTION SHALL BE LOCATED INSIDE A WALL.
- ALL EXPOSED EXISTING RAW WOOD WILL BE SEALED ON ALL SIDES PRIOR TO INSTALLATION. ALL NEW WOOD TO BE INHERENTLY FIRE RETARDANT.
- ALL ANGULAR OPENINGS IN CONSTRUCTION WILL BE SEALED TO WITHIN 1/32".
- PROVIDE PLYWOOD AND BLOCKING ON WALLS FOR ALL TOILET ROOM FIXTURES, CABINET HEATERS, KITCHEN WALLS AND MISCELLANIES.
- PROVIDE WOOD TRIM AS REQUIRED TO CASE OPENINGS.
- ALL FIRE RATED DOORS SHALL BE SELF CLOSED FROM 45" OPENING.
- PROVIDE HAND HELD FIRE EXTINGUISHERS ACCORDING TO THE LOCAL FIRE MARSHALL REQUIREMENTS MIN. 5# ABD.
- THE GENERAL CONTRACTOR MUST SUBMIT A CONSTRUCTION SCHEDULE.
- THE GENERAL CONTRACTOR & HIS SUBCONTRACTORS MUST ASSURE COMPLIANCE WITH BUILDING AND ZONING CODES.
- PROVIDE SHOP DRAWINGS ON ALL STEEL, DOORS, WINDOWS, PLUMBING FIXTURES, ETC. FOR APPROVAL OR CONTRACTOR WILL BEAR FULL RESPONSIBILITY.
- ALL ABANDONED PIPING MUST BE REMOVED & DISPOSED BEFORE COMMENCEMENT OF WORK.
- SUBMIT SAMPLES OF ALL TRIM AND FINISH MATERIAL FOR APPROVAL BY THE DESIGNER PRIOR TO APPLICATION.
- PATCH EXISTING EXTERIOR AND INTERIOR WALL AS REQUIRED.
- SEAL ALL EXISTING PENETRATIONS THAT ARE NOT IN USE.
- ANY DAMAGE TO WATERPROOFING MEMBRANE BELOW STRUCTURAL SLAB TO BE REPAIRED AND GUARANTEED BY ORIGINAL INSTALLER. LAPS MUST BE BONDED AND TAPED.
- GC MUST PROVIDE SUBCONTRACTOR WITH COMPLETE SET OF WORKING DRAWINGS OF ALL TRADES

LIST OF DRAWINGS

ARCHITECTURAL

A-0 GEN. NOTES, PROJECT INFORMATION

A-01 SITE PLAN

A-1 PROPOSED GROUND LEVEL FLOOR PLAN

A-2 GROUND LEVEL FURNITURE PLAN

A-3 GROUND LEVEL FINISH FLOOR PLAN

A-4 GROUND LEVEL REFLECTED CEILING PLAN

A-5 PROPOSED SECOND LEVEL FLOOR PLAN

A-6 SECOND LEVEL FURNITURE/EQUIPMENT PLAN

A-7 SECOND LEVEL FINISH FLOOR PLAN

A-8 SECOND LEVEL REFLECTED CEILING PLAN

A-9 PROPOSED THIRD LEVEL FLOOR PLAN

A-10 THIRD LEVEL FURNITURE/EQUIPMENT PLAN

A-11 THIRD LEVEL FINISH FLOOR PLAN

A-12 THIRD LEVEL REFLECTED CEILING PLAN

A-13 PROPOSED FOURTH LEVEL FLOOR PLAN

A-14 FOURTH LEVEL FURNITURE/EQUIPMENT PLAN

A-15 FOURTH LEVEL FINISH FLOOR PLAN

A-16 FOURTH LEVEL REFLECTED CEILING PLAN

A-17 ROOF LEVEL EQUIPMENT PLAN

A-18 SECTIONS

A-19 SECTIONS

A-20 SCHEDULES, DETAILS

A-21 UL PARTITION & JOINT DETAILS

LS-1 GROUND FLOOR LIFE SAFETY PLAN

KITCHEN EXHAUST HOOD

H-1 HOOD/FAN DETAILS

H-2 FIRE SUPPRESSION DETAILS

H-3 HOOD ELEVATIONS

H-4 HOOD SECTION VIEW

H-5 2ND FLOOR PLAN VIEW

H-6 3RD FLOOR PLAN VIEW

H-7 4TH FLOOR PLAN VIEW

H-8 ROOF PLAN

MECHANICAL

AC-1 HVAC-GROUND LEVEL FLOOR PLAN & LEGEND

AC-2 HVAC-SECOND LEVEL FLOOR PLAN & DETAILS

AC-3 HVAC-THIRD LEVEL FLOOR PLAN & DETAILS

AC-4 HVAC-FOURTH LEVEL FLOOR PLAN & DETAILS

AC-5 HVAC-ROOF PLAN & DETAILS

AC-6 HVAC-SCHEDULES & DETAILS

AC-7 HVAC-SCHEDULES & DETAILS

AC-8 DETAILS

AC-9 GENERAL NOTES & DETAILS

PLUMBING

P-1 PLUMBING-GROUND LEVEL FLOOR PLAN

P-2 PLUMBING-SECOND LEVEL SANITARY & GREASE WASTE PLAN

P-3 PLUMBING-SECOND LEVEL WATER & GAS PLAN

P-4 PLUMBING-THIRD LEVEL SANITARY & GREASE WASTE PLAN

P-5 PLUMBING-THIRD LEVEL WATER & GAS PLAN

P-6 PLUMBING-FOURTH LEVEL PLAN

P-7 PLUMBING-SANITARY ISOMETRIC

P-8 PLUMBING-WATER & GAS ISOMETRIC

P-9 PLUMBING-GREASE WASTE ISOMETRIC

ELECTRICAL

E-1 ELECTRICAL-GROUND LEVEL FLOOR PLAN

E-2 ELECTRICAL-SECOND LEVEL FLOOR PLAN

E-3 LIGHTING-SECOND LEVEL FLOOR PLAN

E-4 PHOTOMETRIC EMERGENCY LIGHTS GROUND & SECOND LEVEL

E-5 ELECTRICAL-THIRD LEVEL FLOOR PLAN

E-6 LIGHTING-THIRD LEVEL FLOOR PLAN

E-7 ELECTRICAL-FOURTH LEVEL FLOOR PLAN

E-8 LIGHTING-FOURTH LEVEL FLOOR PLAN

E-9 PHOTOMETRIC EMERGENCY LIGHTS THIRD & FOURTH LEVEL

E-10 ELECTRICAL ROOF PLAN

E-11 ELECTRICAL GENERAL NOTES

E-12 PANELS SCHEDULES

E-13 ELECTRICAL RISER DIAGRAM

E-14 EFC REFERENCE ONLY LIGHTING CONTROL INFO

FIRE ALARM

FA-1 FIRE ALARM FLOORS PLAN

FA-2 FIRE ALARM NOTES& LEGEND

FIRE SPRINKLER

FP-1 FIRE SPRINKLER-GROUND LEVEL FLOOR PLAN

FP-2 FIRE SPRINKLER-SECOND LEVEL FLOOR PLAN

FP-3 FIRE SPRINKLER-THIRD LEVEL FLOOR PLAN

FP-4 FIRE SPRINKLER-FOURTH LEVEL FLOOR PLAN

BUILDING DEPARTMENT DATA

SCOPE OF WORK PER FBC:

1A ALTERATION: LEVEL 3 ACCORDING TO SECTION 404 FBC (EXISTING)

THIS IS A NEW RESTAURANT IN AN EXISTING SPACE

SITE INFORMATION:

NET LOT AREA 9,557 SF

ZONING DESIGNATION CD-2

CONSTRUCTION TYPE FBC SECC 602:

CONSTRUCTION TYPE IIIA (CONSTRUCTION REQUIREMENTS FOR EXISTING BUILDING IN SHEET LS-1)

FLOOR AREA RATIO (FAR):

MAX. ALLOWED 1.5 (14,335 SF)

EXIST. TOTAL 8,399 SQ.FT.

PROPOSED TOTAL 8,648 SQ.FT.

OCCUPANCY CLASSIFICATION:

A-2 ASSEMBLY OCCUPANCY

SCHEDULE OF AREAS:

TOTAL GROSS AREA (SF) : 7,847 SF

-LEVEL 1 = 438 SF

-LEVEL 2 = 2,696 SF

-LEVEL 3 = 2,675 SF

-LEVEL 4 = 2,038 SF

CODE REVIEW INFORMATION:

APPLICABLE CODES: ALL WORK DONE UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS, DRAWINGS & CONSTRUCTION CRITERIA OF THE LANDLORD, AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE PERFORMED BY THE TENANT'S CONTRACTOR. ALL PERMITS AND LICENSES NECESSARY FOR THE EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE TENANT'S CONTRACTOR(S). APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

APPLICABLE BUILDING CODES:

BUILDING: 2010 - FLORIDA BUILDING CODE EXISTING W/ADDENDUM

BUILDING & STRUCTURAL: 2010 - FLORIDA BUILDING CODE W/ ADDENDUM

PLUMBING: 2010 - FLORIDA PLUMBING CODE W/ ADDENDUM

LIFE SAFETY: 2010 - FLORIDA FIRE PREVENTION CODE

MECHANICAL: 2010 - FLORIDA MECHANICAL CODE W/ADDENDUM

ELECTRICAL: 2008 - FLORIDA ELECTRICAL CODE

ACCESSIBILITY: 2010 - FLORIDA ADA COMPLIANCE CODE

ENERGY: 2010 - FLORIDA ENERGY CODE

ITEMS NOT PART OF PERMIT:

- GENERAL CONTRACTOR SHALL SUBMIT FABRICATION SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO ORDERING OR FABRICATION.
- THE GENERAL CONTRACTOR SHALL SUBMIT MANUFACTURER'S CUTS FOR ALL FIXTURES AND EQUIPMENT CALLED FOR ON THE CONSTRUCTION DOCUMENTS TO ARCHITECT INCLUDING BUT NOT LIMITED TO LIGHT FIXTURES, HARDWARE PLUMBING FIXTURES, KITCHEN EQUIPMENT, ETC.
- BY SUBMITTING SHOP DRAWINGS AND PRODUCT DATA, THE CONTRACTOR REPRESENTS THAT HE/SHE HAS VERIFIED FIELD CONDITIONS, DIMENSIONS, AND RELATED CONSTRUCTION AND HAS COORDINATED THE SUBMISSION CONSTRUCTION WITH THE REQUIREMENTS OF ALL OTHER RELATED WORK IN THE CONSTRUCTION DOCUMENTS.

PROJECT DIRECTORY

PROJECT ARCHITECT

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FAX 305-445-9725

KITCHEN CONSULTANT

COMM KITCHEN PLANNERS, INC.

6191 AVENUE PRINCE DE GALLES

CORAL SPRINGS, FL 33077

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PHONE 954-600-0234

HOOD

CAPTIVE AIRE

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FAX 321-779-1219

INTERIOR DESIGNER

PROSPECT DESIGN

15 AVENUE PRINCE DE GALLES

06400 CANNES-FRANCE

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prospect.design@wanadoo.fr

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NEW RESTAURANT FOR:

CHI SEAFOOD, LLC

1826 COLLINS AVE.

Miami Beach, Fl. 33139

CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.

architect planner interiors

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ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY

Lilian R. Paez C.

SCALE

AS SHOWN

DATE

2-18-2013

PROJECT NUMBER

21214

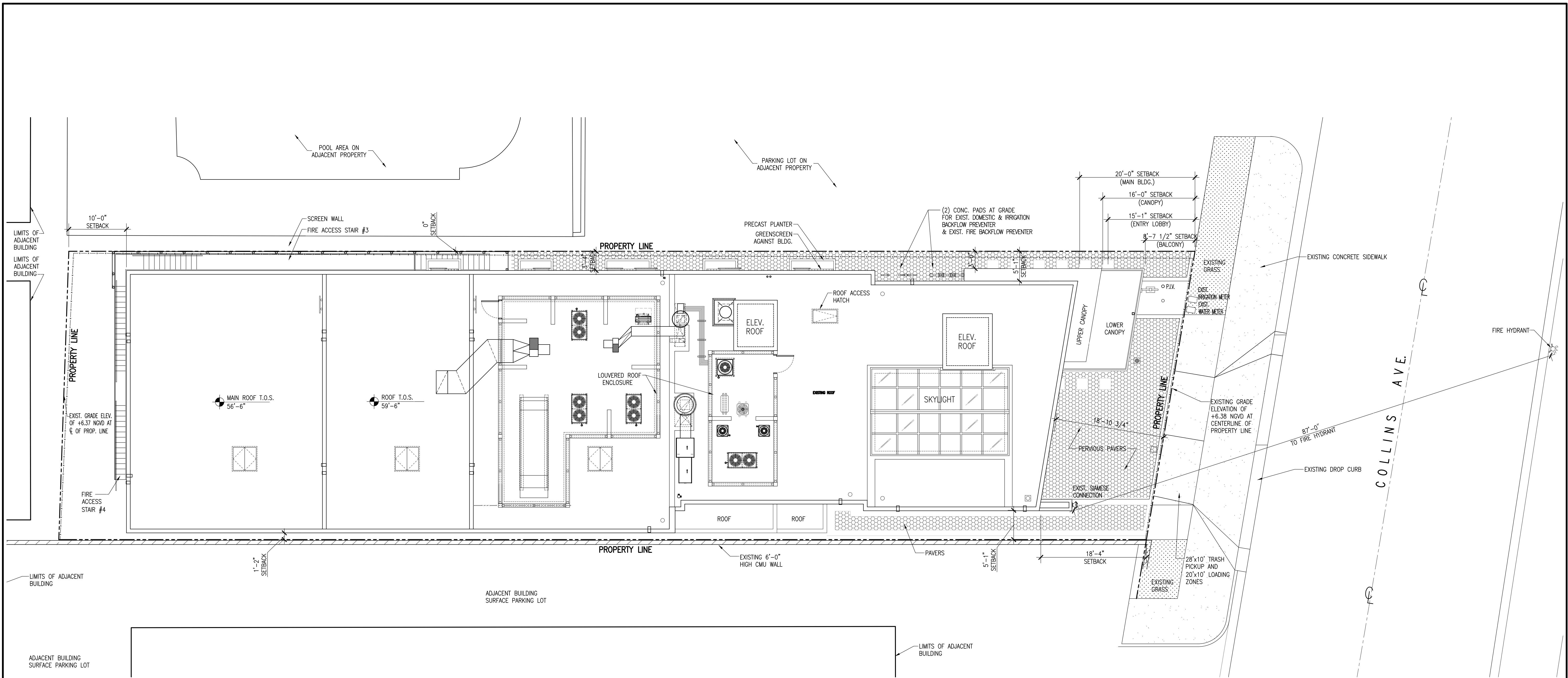
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OF

ISSUED FOR PERMIT 2-18-2013

ISSUED FOR BIDDING 2-18-2013

ISSUED FOR CONSTRUCTION



CODE REQUIREMENTS UNDER MASTER PERMIT B1000116

2. Code Requirements

A. General Description

1. Use and Occupancy Classification	Chapter 3		
a Occupancy Classification	302.1		
1 SEPARATED OCCUPANCY: Restaurant / Commercial space (to be submitted under a separate permit)	303 3.3.168.14	Assembly uses intended for food and/or drink consumption...	A-2
2 SEPARATED OCCUPANCY: Mechanical-Access Closed Parking Garage (unoccupiable, robotic system)	311	... Storage uses shall include, but not to be limited to, storage of the following... Parking garages, open or closed	S-2 (Low-Hazard Storage) per 2007 FBC
	6.2.2.3 3.3.168.14	Ordinary hazard contents shall be classified as those that are likely to burn with moderate rapidity or to give off a considerable volume of smoke.	Ordinary-Hazard Storage per 2007 FBC.

b Special Detailed Requirements	Chapter 4		
1 Atriums - Definition	404.1.1 3.3.22 NFPA 92B	An opening connecting two or more stories... which is closed at the top and not defined as a mall	Any of the openings between floors is NOT a large volume space
2 Communicating Space	8.6.6	Unenclosed floor openings forming a communicating space between floor levels shall be permitted: 1) does not connect more than 3 contiguous stories; 2) the lowest or next-to-lowest story within the communicating space is a street floor...	Entry lobby + level 2 is a communicating space
Convenience Openings	8.6.8	A vertical opening serving as other than an exit enclosure, connecting only 2 adjacent stories and piercing only one floor	Opening between level 3 & 4 is a convenience opening
3 Enclosed Parking Garages	406.2.1 406.4.1	Enclosed vehicle parking garages and portions thereof that do not meet the definition of open garages shall be limited to the allowable heights and areas specified in table 503	Provided

EXISTING SITE PLAN

SCALE: 1/8"= 1'-0"

PUBLIC WORKS NOTES

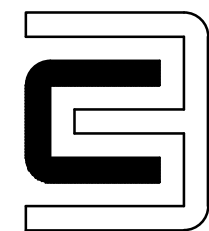
- ALL WORK, MATERIALS AND EQUIPMENT ARE TO BE RETAINED INSIDE PRIVATE PROPERTY.
- ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT OF WAY AND/OR EASEMENTS WILL REQUIRE A SEPARATE PUBLIC WORKS DEPARTMENT PERMIT PRIOR TO START OF CONSTRUCTION.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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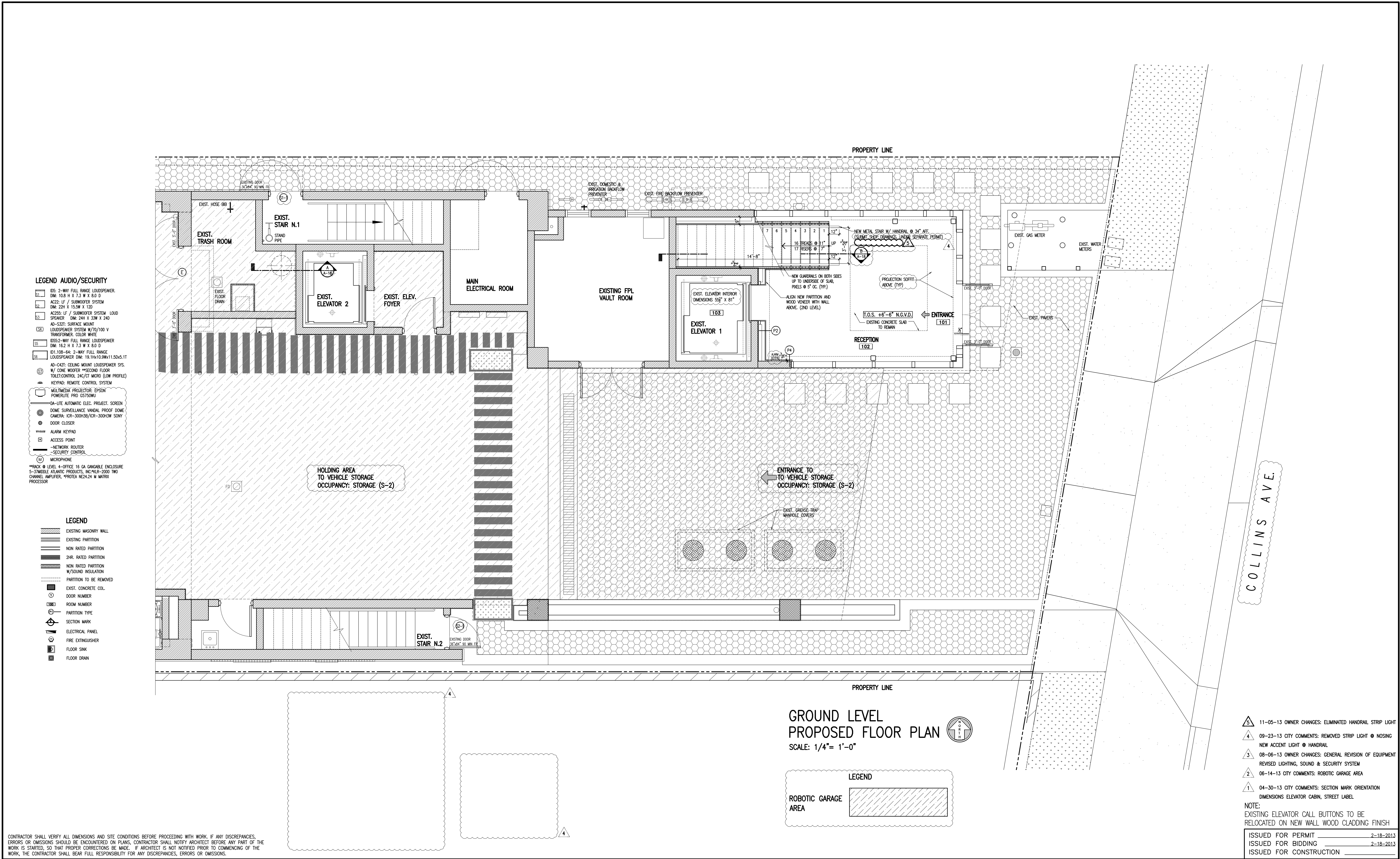
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SCALE
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OF
21

06-14-13 CITY COMMENTS: LOCATION EXIST. METERS, STREETS
PUBLIC WORKS NOTE, CODE REQ. TABLE FROM MASTER PERMIT

ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
ISSUED FOR CONSTRUCTION



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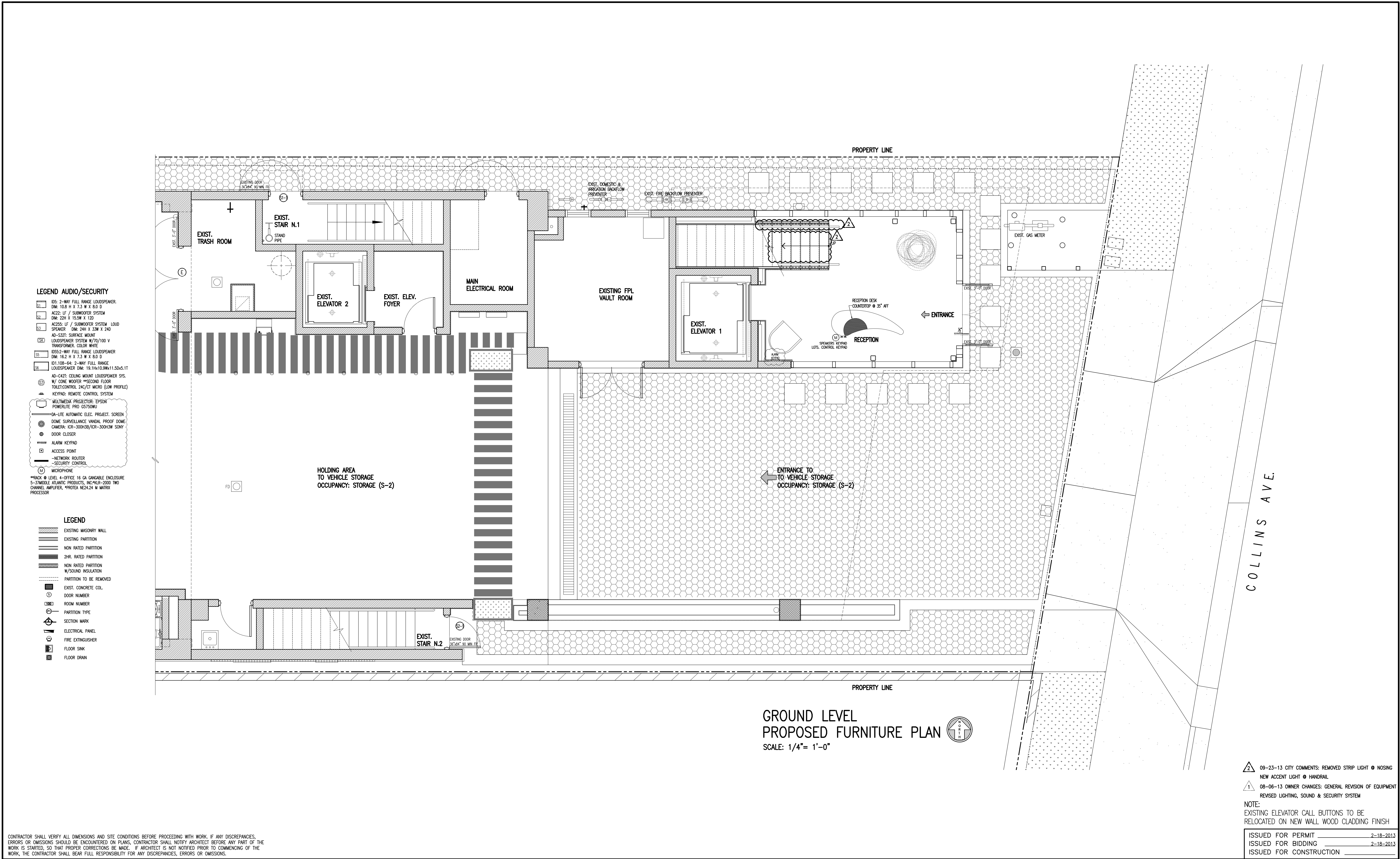
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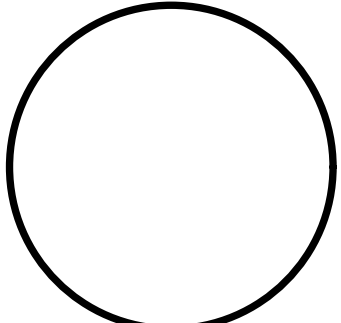
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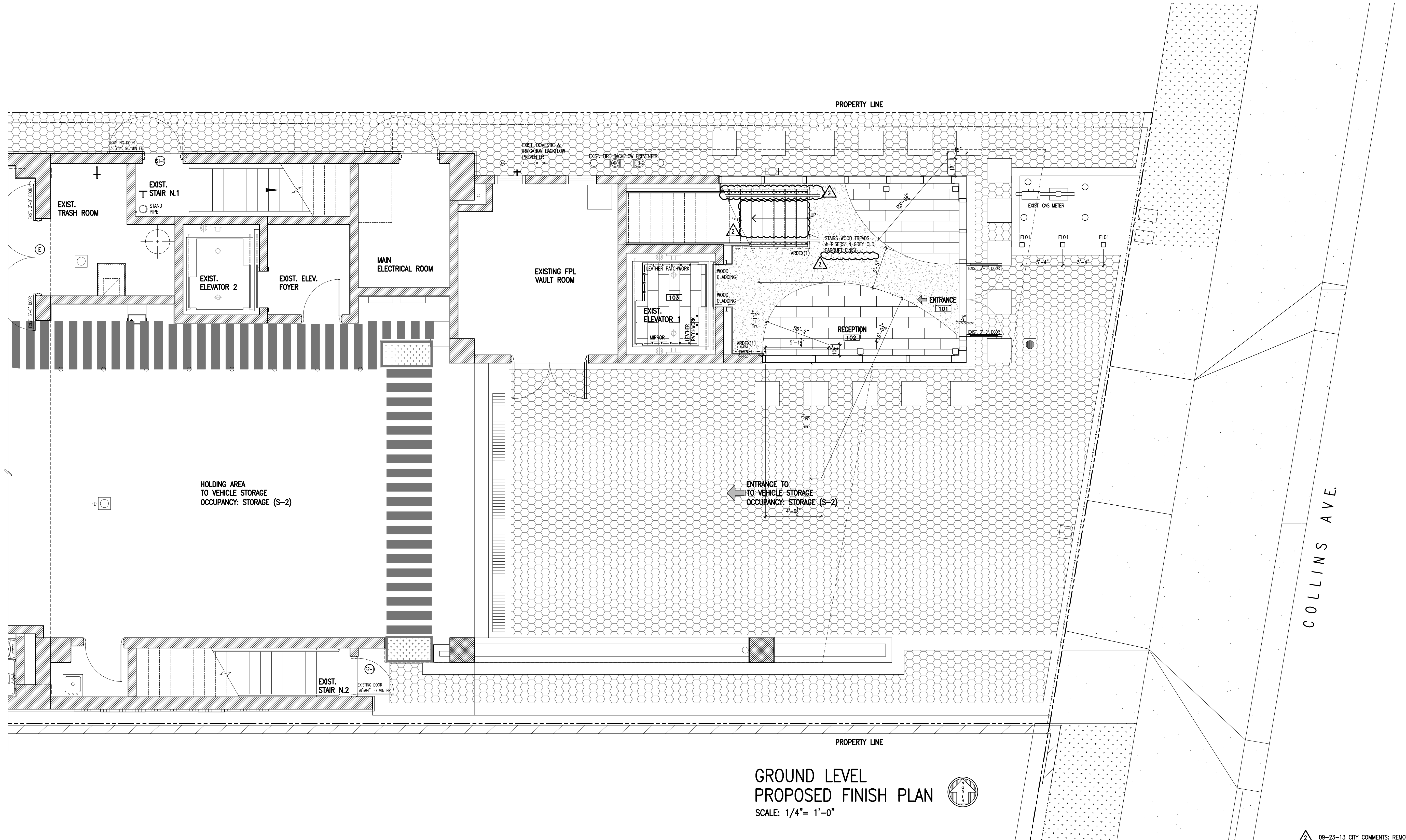
LEGEND AUDIO/SECURITY

- 105: 2-WAY FULL RANGE LOUSPEAKER.
DIM: 10.8 H X 7.3 W X 8.0 D
- AC22: LF / SUBWOOFER SYSTEM
DIM: 22H X 15.5W X 12D
- AC25S: LF / SUBWOOFER SYSTEM LOUD
SPEAKER DIM: 24H X 33W X 24D
- AD-S32T: SURFACE MOUNT
LOUDSPEAKER SYSTEM W/70/100 V
TRANSFORMER. COLOR WHITE
- 105S2: 2-WAY FULL RANGE LOUSPEAKER
DIM: 16.2 H X 7.3 W X 8.0 D
- 101.108-84: 2-WAY FULL RANGE
LOUDSPEAKER DIM: 19.1Hx10.9Wx11.5Dx5.1T
- AD-C42T: CEILING MOUNT LOUSPEAKER SYS.
W/ CONE WOOFER. **SECOND FLOOR
TOILET CONTROL. 24V/CT MICRO (LOW PROFILE)
- KEYPAD: REMOTE CONTROL SYSTEM
- MULTIMEDIA PROJECTOR: EPSON
POWERLITE PRO G5750WU
- DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
- DCME SURVEILLANCE VANDAL PROOF DOME
CAMERA: ICR-30043B/ICR-30043W SONY
- DOOR CLOSER
- ALARM KEYPAD
- ACCESS POINT
- NETWORK ROUTER
- SECURITY CONTROL
- MICROPHONE

*RACK @ LEVEL 4-OFFICE 16 GA GANGED ENCLOSURE
5-37MIDDLE ATLANTIC PRODUCTS, INC.*KLR-2000 TWO
CHANNEL AMPLIFIER, *PROTEA NE2424 M MATRIX
PROCESSOR

LEGEND

- EXISTING MASONRY WALL
- EXISTING PARTITION
- NON RATED PARTITION
- 2HR. RATED PARTITION
- NON RATED PARTITION
W/SOUND INSULATION
- PARTITION TO BE REMOVED
- EXIST. CONCRETE COL.
- DOOR NUMBER
- ROOM NUMBER
- PARTITION TYPE
- SECTION MARK
- ELECTRICAL PANEL
- FIRE EXTINGUISHER
- FLOOR SINK
- FLOOR DRAIN



GROUND LEVEL
PROPOSED FINISH PLAN
SCALE: 1/4"= 1'-0"



- 09-23-13 CITY COMMENTS: REMOVED STRIP LIGHT ● NOSING
- NEW ACCENT LIGHT ● HANDRAIL
- 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
REVISED LIGHTING, SOUND & SECURITY SYSTEM

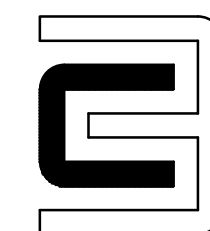
NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
RELOCATED ON NEW WALL WOOD CLADDING FINISH

ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
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NEW RESTAURANT FOR:
CHI SEAFOOD, LLC
1826 COLLINS AVE.

Miami Beach, Fl. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.
architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 * Fax: 305-532-6151
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY
Lilian R. Paez C.

SCALE
AS SHOWN

DATE
2-18-2013

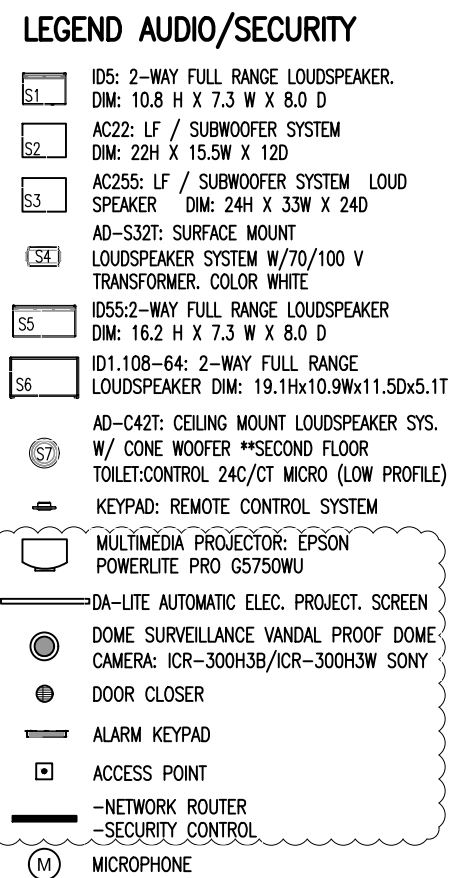
PROJECT NUMBER
21214

A-3
OF
21

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Miami Beach, Fl. 33139





LEGEND CEILING

	CENTER LINE
	FIRE ALARM
	CEILING HEIGHT
	POINT OF BEGINNING FOR TILE LAYOUT
	SPRINKLER HEAD
	SMOKE DETECTOR
	J-BOX
	RETURN AIR GRILL
	SUPPLY AIR DIFFUSER
	ROUND AIR DIFFUSER
	DRYWALL CEILING
	METAL CEILING PANELS
	EXIST. EXPOSED CONCRETE SLAB
	ACOUSTICAL CEILING TILES

NOTE:
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A-4
OF
21



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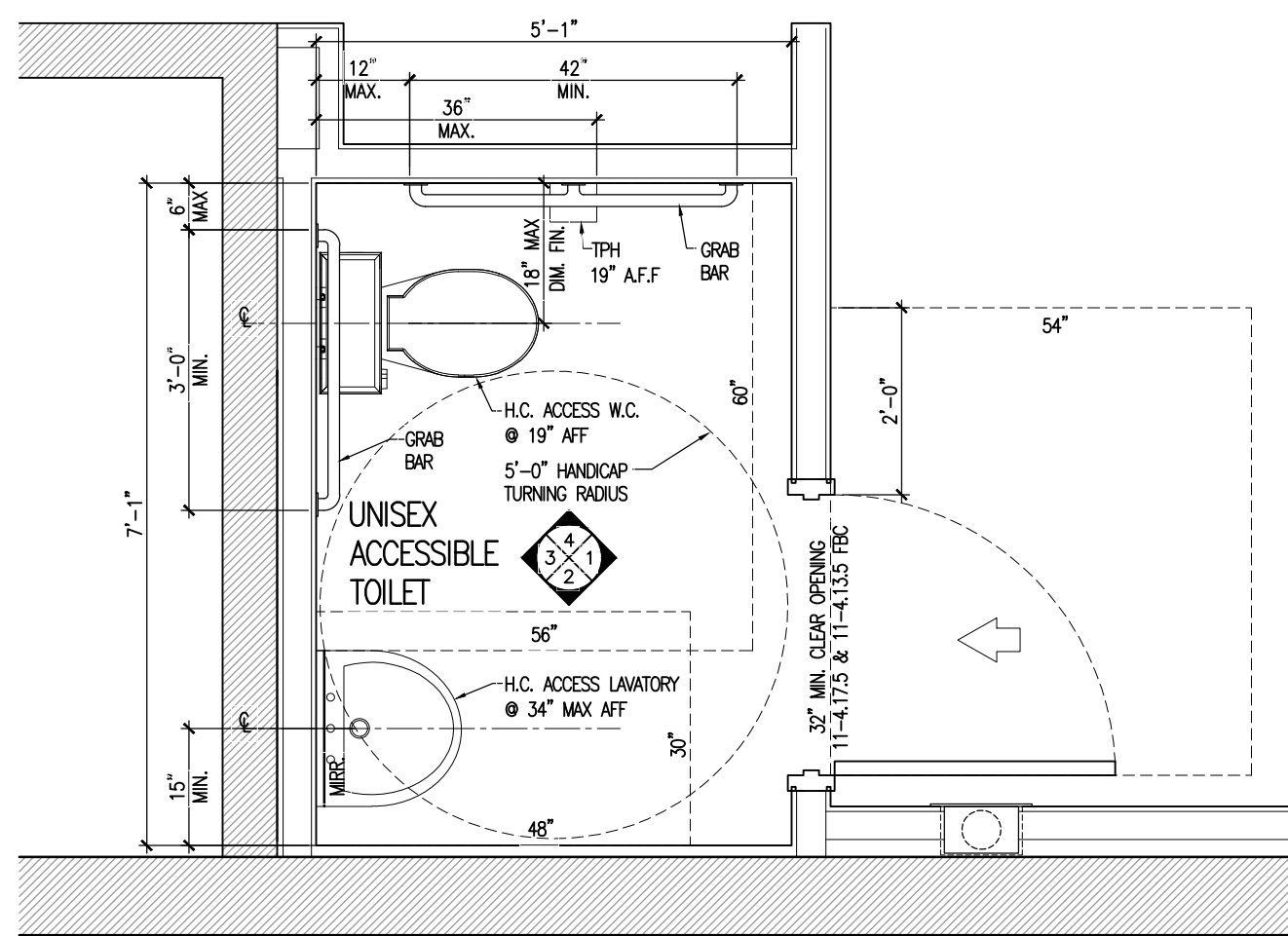
PROJECT NUMBER

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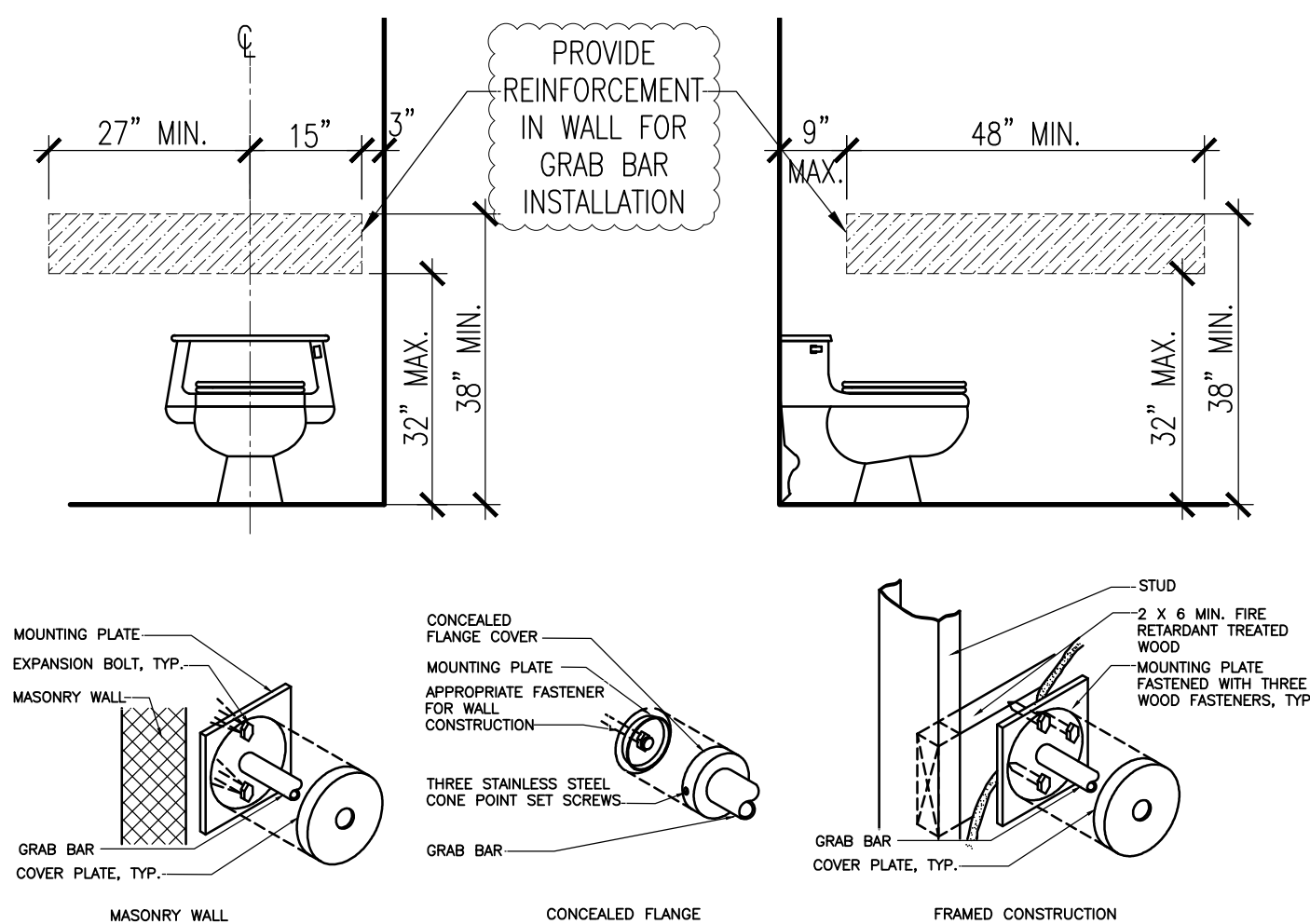
SCALE

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DATE
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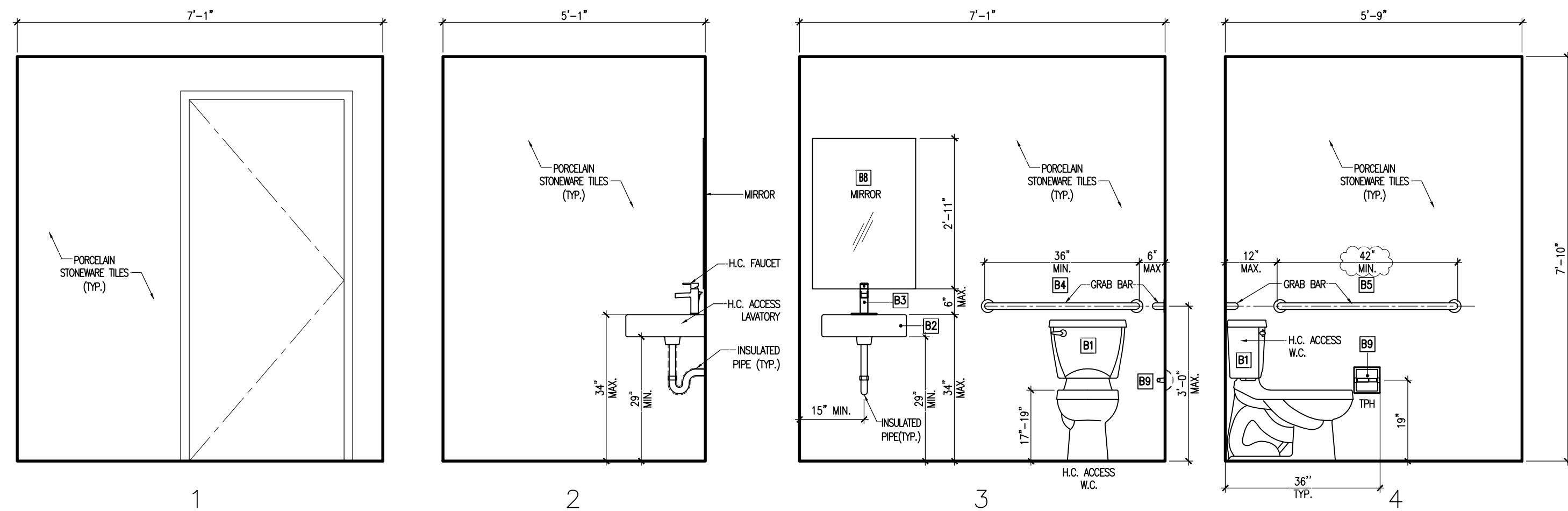
ENLARGED ACCESSIBLE TOILET
SCALE: 1/2"= 1'-0"



GRAB BAR DETS. & REINF. DIAGRAMS
NTS

- LEGEND AUDIO/SECURITY**
- B1: 105-2-WAY FULL RANGE LOUSPEAKER, DIM: 10.8 H X 7.3 W X 8.0 D
 - B2: AC22-1F / SUBWOOFER SYSTEM, DIM: 22H X 15.5W X 12D
 - B3: AC255-1F / SUBWOOFER SYSTEM, LOUD SPEAKER, DIM: 24H X 33W X 24D
 - B4: AD-532T: SURFACE MOUNT LOUSPEAKER SYSTEM W/70/100 V TRANSFORMER, COLOR: WHITE
 - B5: 1055.2-WAY FULL RANGE LOUSPEAKER, DIM: 16.2 H X 7.3 W X 8.0 D
 - B6: D1-108-44: 2-WAY FULL RANGE LOUSPEAKER, DIM: 19.1Hx10.9Wx11.5Dx5.1T
 - B7: AD-42T: CEILING MOUNT LOUSPEAKER SYS. W/ CONE WOOFER **SECOND FLOOR
 - B8: TOILET CONTROL, 240/127 MICRO (LOW PROFILE)
 - B9: KEYPAD: REMOTE CONTROL SYSTEM
 - B10: MULTIMEDIA PROJECTOR: EPSON POWERLITE PRO G5750WU
 - B11: DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
 - B12: DOME SURVEILLANCE VANDAL PROOF DOME CAMERA: ICR-300H3B/ICR-300H3W SONY
 - B13: DOOR CLOSER
 - B14: ALARM KEYPAD
 - B15: ACCESS POINT
 - B16: NETWORK ROUTER
 - B17: SECURITY CONTROL
 - B18: MICROPHONE
- *BACK @ LEVEL 4-OFFICE 16 GA GANGLABLE ENCLOSURE
S-37-MIDDLE ATLANTIC PRODUCTS, INC./MLR-2000 TWO CHANNEL AMPLIFIER, *PROTEA NE24-24 W MATRIX PROCESSOR

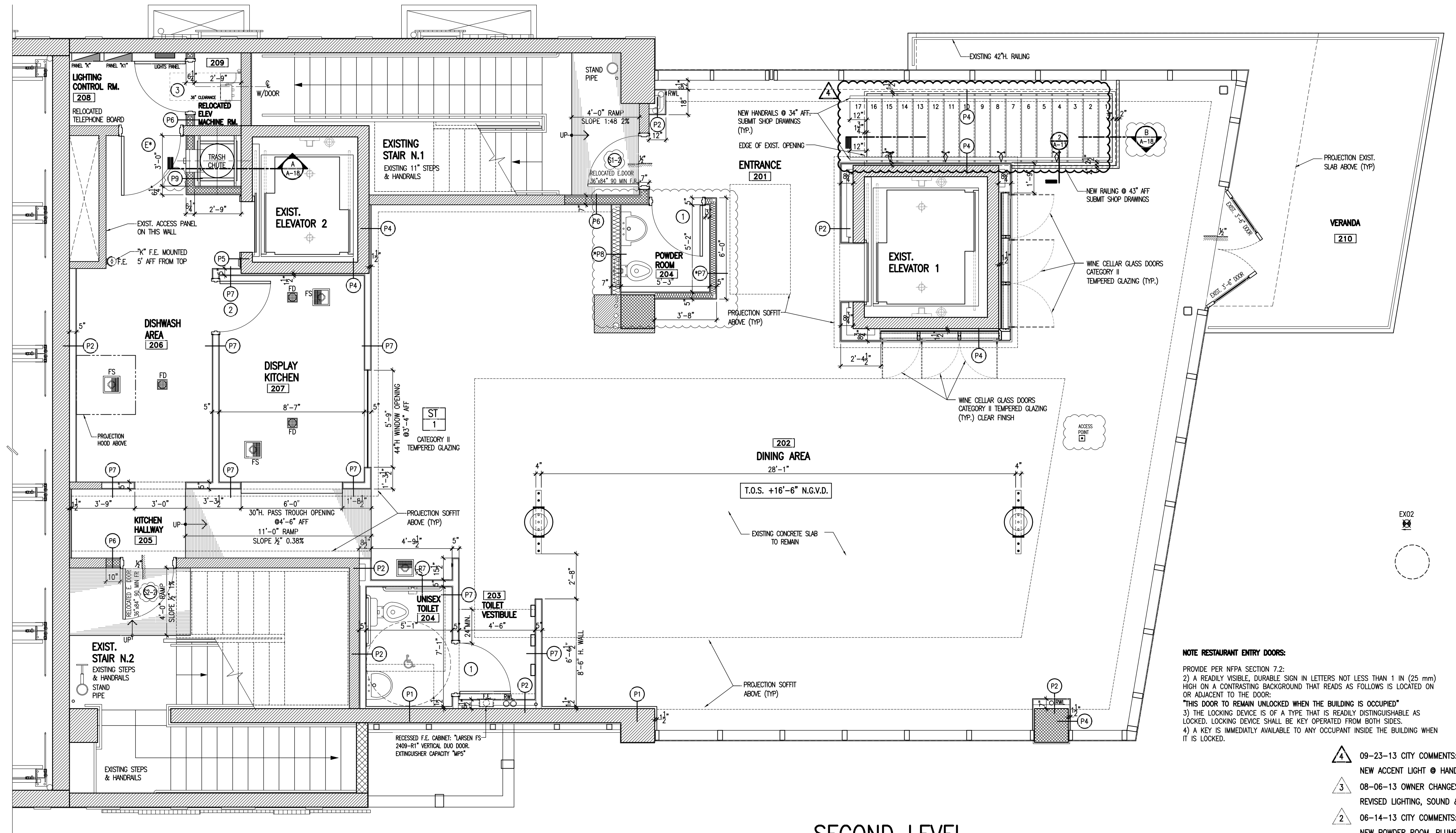
- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN



ELEVATIONS ACCESSIBLE TOILET
SCALE: 1/2"= 1'-0"

- LEGEND**
- B1: ADA TOILET NEO METRO MODEL 8950-3 SATIN FINISH
 - B2: ADA LAVATORY NEO METRO MODEL 8935 SATIN FINISH
 - B3: ADA WIDESPREAD FAUCET JACO 847/103 PINK HANDLE
 - B4: 36 ADA GRAB BARS BOBBICK B-8806 X 36 SATIN FINISH
 - B5: 42 ADA GRAB BARS BOBBICK B-8806 X 42 SATIN FINISH
 - B6: ADA ELECTRONIC SENSOR NEO METRO MODEL FV1.0-W-SO
 - B7: ADA WALL MOUNTED URINAL NEO METRO MODEL 8944-W
 - B8: ADA MIRROR BOBBICK MODEL B-293
 - B9: BOBBICK TOILET PAPER HOLDER, MODEL B-2888
 - B10: RECESSED DAMPER CHANGING STATION BOBBICK KB110-SRPE

- NOTES**
- TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT (ADA)" INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
- A. WATER CLOSET'S SEAT HEIGHT - 19" A.F.F.
 - B. CENTER LINE OF WATER CLOSET - 18" MAX FROM SIDE WALL
 - C. TOILET PAPER DISPENSER - 36" MAX FROM REAR WALL
 - D. KNEE CLEARANCE AT LAVATORY - 29" MIN. HEIGHT (APRON), 8" MIN. DEPTH
 - E. LAVATORY DEPTH - 17" MIN.
 - F. LAVATORY HOT WATER AND DRAIN PIPES INSULATED WHEREVER EXPOSED.
 - G. LAVATORY RIM SURFACE - 34" MAX. A.F.F.
 - H. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED IN THE VICINITY OF MAIN ENTRY
 - I. URINALS RIM SHALL BE 17" MAX. AFF & 13-1/2" DEEP MIN. FROM OUTER FACE OF RIM TO BACK OF FIXTURE
 - J. CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS 300 F.A.C.
- SURROUNDING MATERIALS WALL WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FEET ABOVE THE FLOOR. 12023 F.B.C.



SECOND LEVEL
PROPOSED FLOOR PLAN
SCALE: 1/4"= 1'-0"

- NOTE RESTAURANT ENTRY DOORS:**
- PROVIDE PER NFPA SECTION 7.2:
- 2) A READILY VISIBLE, DURABLE SIGN IN LETTERS NOT LESS THAN 1 IN (25 mm) HIGH ON A CONTRASTING BACKGROUND THAT READS AS FOLLOWS IS LOCATED ON OR ADJACENT TO THE DOOR:
 - "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED"
 - 3) THE LOCKING DEVICE IS OF A TYPE THAT IS READILY DISTINGUISHABLE AS LOCKED. LOCKING DEVICE SHALL BE KEY OPERATED FROM BOTH SIDES.
 - 4) A KEY IS IMMEDIATELY AVAILABLE TO ANY OCCUPANT INSIDE THE BUILDING WHEN IT IS LOCKED.
- 09-23-13 CITY COMMENTS: REMOVED STRIP LIGHT @ NOSING
NEW ACCENT LIGHT @ HANDRAIL
08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
REVISED LIGHTING, SOUND & SECURITY SYSTEM
06-14-13 CITY COMMENTS: TRASH CHUTE PARTITION TAG
NEW POWDER ROOM, PLUMBING FIXTURES SPECS.
04-30-13 CITY COMMENTS: SECTION MARK ORIENTATION
SIDE GRAB BARS DIMENSIONS
NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
RELOCATED ON NEW WALL WOOD CLADDING FINISH

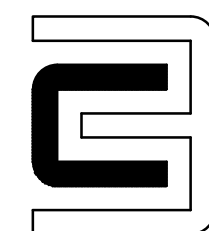
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AS SHOWN

DATE
2-18-2013

PROJECT NUMBER
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A-5
OF
21

LEVEL 2 EQUIPMENT SCHEDULE: DISPLAY KITCHEN & DISH WASHING			
Item No	Qty	Equipment Category	Equipment Remarks
5	1	Refrigerator	
6	1	Refrigerator	
6.1	1	Sink Faucet	
7	1	Worktable	
8	1	Storage Shelving	
9	1	Wall Shelf	
10	1	Wall Shelf	
11	1	Induction Cooker	
12	2	Hand Sink	
12.1	2	Hand Sink Faucet	
13	1	Clean Dishable	
14	1	Wreasher	N.I.C.; Leased
14.1	1	Exhaust Hood & Fan	
15	1	Solid Dishable	w/ Rack Overshelf
15.1	1	Pre-Rinse Faucet	
16	2	Wall Shelf	
17	1	Water Purifier	N.I.C.; by Others
17.1	1	P.O.S. System/Printer	N.I.C.; by Others

FIRE EXTINGUISHER

PROVIDE ONE "A.B.C." TYPE "2A" RATED FIRE EXTINGUISHER FOR EACH 2,500 SQ. FT. TOP OF EXTINGUISHER SHALL BE MOUNTED NOT TO EXCEED 5'-0" ABOVE FINISHED FLOOR.

PROVIDE ONE "K" TYPE RATED FIRE EXTINGUISHER IN THE KITCHEN. TOP OF EXTINGUISHER SHALL BE MOUNTED NOT TO EXCEED 5'-0" ABOVE FINISHED FLOOR.

KITCHEN GENERAL CONST. NOTES

ALL DIMENSIONS SHOWN ARE TO BE MEASURED FROM FINISHED SURFACES AND FROM CENTERS OF COLUMN LINES. ALL WRITTEN DIMENSIONS SUPERSIDE SCALE.

THE FOOD SERVICE EQUIPMENT WILL BE PROVIDED WITH ONLY THE DEVICES SUPPLIED AS STANDARD BY THE MANUFACTURER OR SPECIFICALLY SPECIFIED BY THE CONSULTANT. THE GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL OTHER NECESSARY FRAMING, SUPPORTS, BRACKETS, HARDWARE, FINISHES AND ANY OTHER BUILDING STRUCTURES AND MATERIALS REQUIRED FOR A PROPER INSTALLATION.

THE GENERAL CONTRACTOR SHALL VERIFY ALL REQUIREMENTS FOR ITEMS LISTED AS: EXISTING, BY OWNER, BY VENDOR, N.I.C. OR BY OTHERS.

THE GENERAL CONTRACTOR SHALL COORDINATE ALL FIELD DIMENSIONS AND BUILDING REQUIREMENTS WITH THE FOOD SERVICE EQUIPMENT CONTRACTOR (F.S.E.C.).

THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE ALL BUILDING ACCESS REQUIREMENTS WITH THE FOOD SERVICE EQUIPMENT CONTRACTOR (F.S.E.C.).

THE FOOD SERVICE EQUIPMENT CONTRACTOR SHALL VERIFY ALL DATA CONTAINED HEREIN AND PERIODICALLY INSPECT ALL CONDITIONS AT THE SITE TO INSURE A COMPLETE AND PROPER INSTALLATION.

THE GENERAL CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS FOR ALL POINT OF SALE (P.O.S.), AUDIO & VIDEO LOCATIONS HOME RUN TO OFFICE.

WALK-IN COOLER

MINIMUM REQUIREMENTS: FOAM PLASTIC HAVING A MAXIMUM FLAME SPREAD OF 75 MAY BE USED IN A THICKNESS UP TO 4" IN FREE STANDING WALK-IN COOLER OR FREEZER UNITS LESS THAN 400 SQ. FT. IN FLOOR AREA WITHOUT A THERMAL BARRIER AND WITHOUT AN AUTOMATIC FIRE SUPPRESSION SYSTEM WHEN THE FOAM PLASTIC IS COVERED BY A METAL FACING NOT LESS THAN 0.032 INCH-THICK ALUM. OR CORROSION RESISTANT STEEL HAVING A MIN. BASE METAL THICKNESS OF 0.016 INCH. WHEN PROTECTED BY A THERMAL BARRIER, THE FOAM PLASTIC MAY BE USED IN A THICKNESS UP TO 10".

REFER TO KITCHEN EQUIPMENT LAYOUT FOR EXACT LOCATION ON FLOOR DRAINS, SINK & SPECIAL ELECT. OUTLETS, TELEPHONE, ETC. COORDINATION W/ELECTRICAL, MECHANICAL & PLUMBING PLANS IS REQUIRED.

SEATING LAYOUT

PROVIDE A 8 1/2" x 11" SEATING LAYOUT PLAN TO THE FIELD FIRE INSPECTOR AT TIME OF FINAL.

A LEGIBLE COPY WILL BE PERMANENTLY POSTED NEAR THE MAXIMUM CAPACITY SIGN

DRINKING FOUNTAIN

WATER WILL BE SERVED 410.1 F.B.C.

.....WHERE WATER IS SERVED IN RESTAURANTS OR WHERE BOTTLED WATER COOLERS ARE PROVIDED IN OTHER OCCUPANCIES, DRINKING FOUNTAINS SHALL NOT BE REQUIRED"

ABBREVIATIONS

A.P. = ACCESS PANEL	JAN = JANITOR
BR.C = BREAD CART	K.U.S = KETTLE UNIT STEAMER
B.C = BROOM CLOSET	L = LOCKERS
C.R = CASH REGISTER	MIN. = MINIMUM
CH.S = CHILD SEATS	N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
C = COFFEE	O.S.H. = OVER SHELF
C.C. = CORN COOKER	PNL = PANEL
CO = COUNTER	P = PLANTER
C.I.M. = CUBE ICE MAKER	P.B. = PORTABLE BINS
C.D = CUP DISPENSER	P.C. = PRESSURE CLEANER
D.C = DESSERT CABINET	P.D. = PASTRY DISPLAY
D.R. = DUNNAGE RACKS	P.D.R. = PRIVATE DINING ROOM
DR = DRAWER	P.O.B. = POINT OF BEGINNING
D = DUMP	R = RANGE
E.P. = ELECTRICAL PANELS	REF = REFRIGERATOR
F.C = FILE CABINET	S.S. = SERVICE SINK
F.E = FIRE EXTINGUISHER	SH = SHELVING
F.D = FLOOR DRAIN	3-C.S. = THREE COMPARTMENT SINK
F.S = FLOOR SINK	T.K. = TILTING KETTLE
FR = FREEZER	TLC = TIME CLOCKS
G.D = GARBAGE DISPOSAL	T.C.L. = TIME CLOCK
G.B = GRAB BAR	TYP. = TYPICAL
H = HANDICAP	T & TC = TRANS & TRASH CABINET
H.S = HAND SINK	SF = STOREFRONT
I.B = ICE BIN	2-C.S. = TWO COMPARTMENT SINK
I.T = ICE TEA	U.REF = UNDERCOUNTER REFRIGERATOR
	W.T. = WORK TABLE

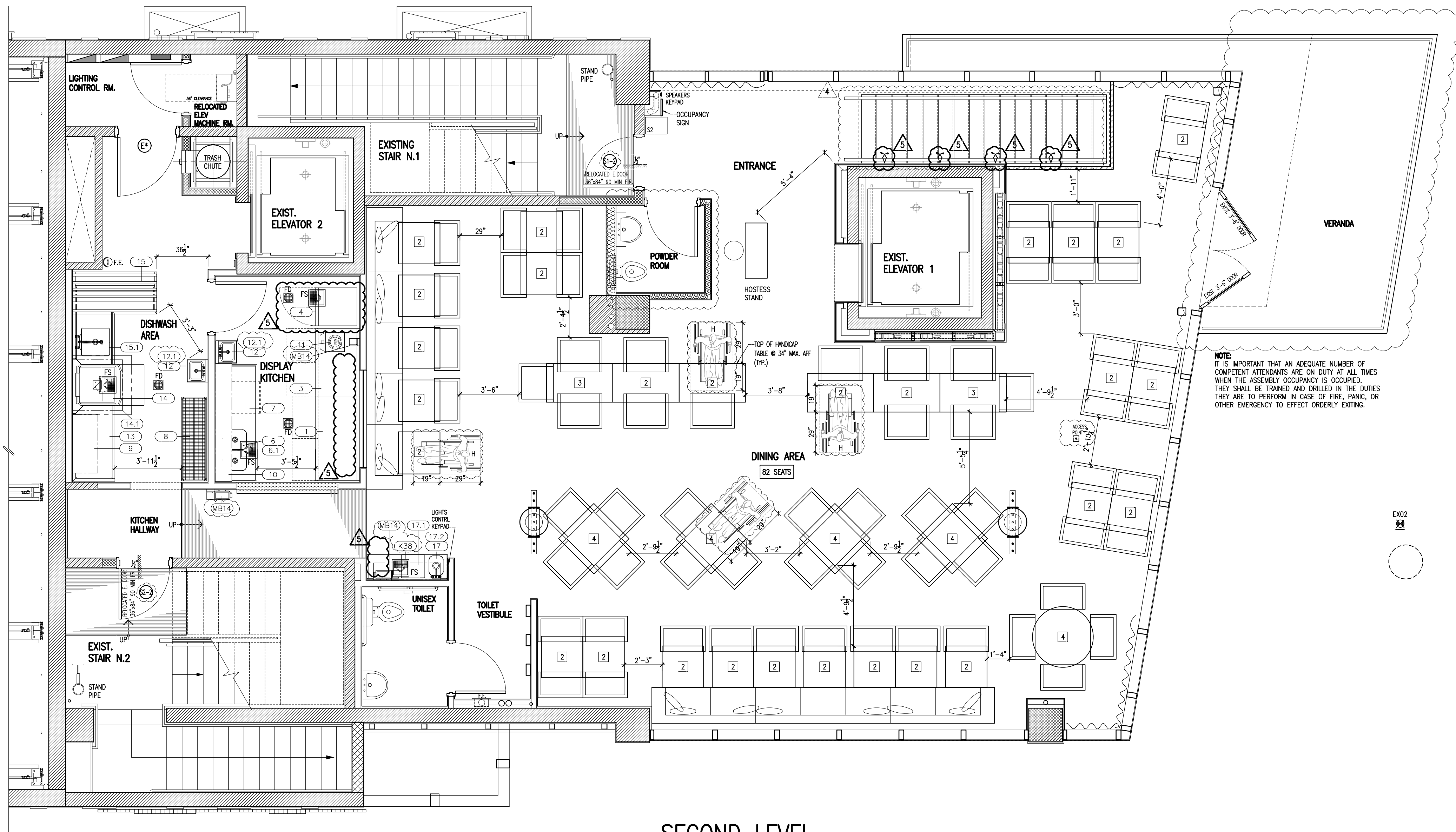
LEGEND AUDIO/SECURITY

- IDS: 2-WAY FULL RANGE LOUSPEAKER
DIM: 10.8 H X 7.3 W X 8.0 D
- AC22: LF / SUBWOOFER SYSTEM
DIM: 22H X 15.5W X 12D
- AC255: LF / SUBWOOFER SYSTEM LOUD
SPEAKER DIM: 24H X 3.5W X 24D
- AD-S32T: SURFACE MOUNT
LOUSPEAKER SYSTEM W/70/100 V
TRANSFORMER COLOR WHITE
- IDS52-WAY FULL RANGE LOUSPEAKER
DIM: 16.2 H X 7.3 W X 8.0 D
- ID1108-64: 2-WAY FULL RANGE
LOUSPEAKER DIM: 19.1Hx10.9Wx11.5Dx5.1T
- AD-C42T: CEILING MOUNT LOUSPEAKER SYS.
W/ CONE WOOFER **SECOND FLOOR
TOILET-CONTROL 24G/CT MICRO (LOW PROFILE)
- KEYPAD: REMOTE CONTROL SYSTEM
- MULTIMEDIA PROJECTOR: EPSON
POWERLITE PRO 13750WU
- DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
- DOME SURVEILLANCE VANDAL PROOF DOME
CAMERA: ICR-300H36/ICR-300H3W SONY
- DOOR CLOSER
- ALARM KEYPAD
- ACCESS POINT
- NETWORK ROUTER
- SECURITY CONTROL
- MICROPHONE

*MIX 0 LEVEL 4-OFFICE 16 GA GANGLER ENCLOSURE
S-72MIDIE ATLANTIC PRODUCTS, INCHES-2000 TWO
CHANNEL AMPLIFIER, *PROTEA NE2424 M MATRIX
PROCESSOR

LEGEND

- EXISTING MASONRY WALL
- EXISTING PARTITION
- NON RATED PARTITION
- 2HR. RATED PARTITION
- NON RATED PARTITION
W/SOUND INSULATION
- PARTITION TO BE REMOVED
- EXIST. CONCRETE COL.
- DOOR NUMBER
- ROOM NUMBER
- PARTITION TYPE
- SECTION MARK
- ELECTRICAL PANEL
- FIRE EXTINGUISHER
- FLOOR SINK
- FLOOR DRAIN



SECOND LEVEL PROPOSED EQUIPMENT/FURNITURE PLAN

SCALE: 1/4"= 1'-0"

- 10-23-13 OWNER CHANGES: REVISED LIGHTING
- REVISED EQUIPMENT AT DISPLAY KITCHEN & SERVICE STATION
- 09-23-13 CITY COMMENTS: REMOVED STRIP LIGHT @ NOSING
- NEW ACCENT LIGHT @ HANDRAIL
- 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
- REVISED LIGHTING, SOUND & SECURITY SYSTEM
- 06-14-13 CITY COMMENTS: NEW POWDER ROOM
- HANDICAP SEATING
- 04-30-13 CITY COMMENTS: SEATING @ VERANDA REMOVED
- EQ. SCHEDULE UPDATED

NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
RELOCATED ON NEW WALL WOOD CLADDING FINISH

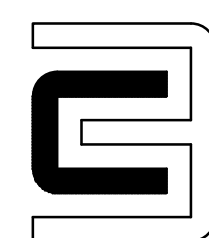
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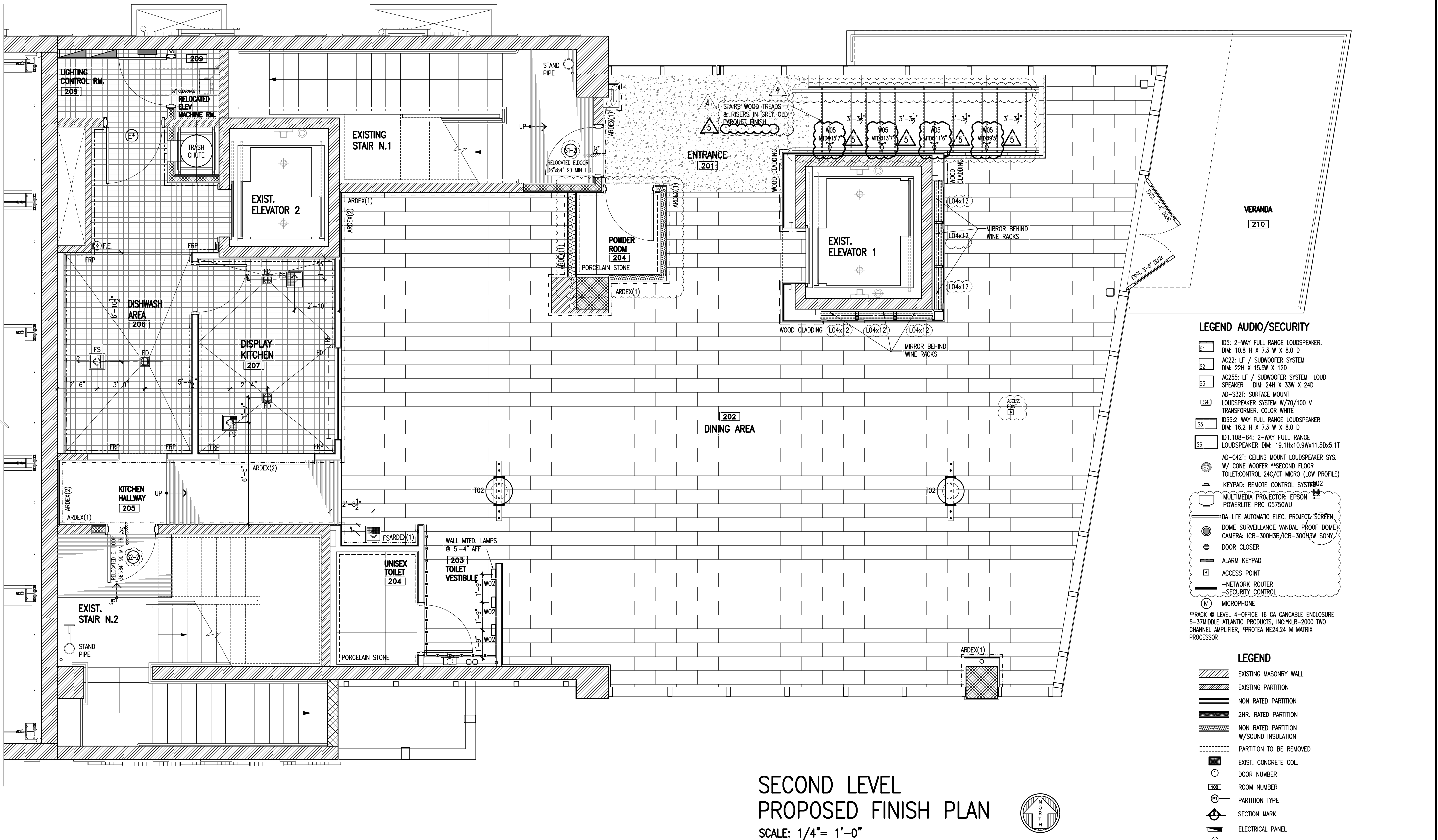
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DATE
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A-6
OF
21

FINISH SCHEDULE														
			FLOOR		BASE		WALL		CEILING					
	No.	A R E A	MATERIAL		C	MATERIAL		C	MATERIAL		C	MATERIAL		HGT
LEVEL #1	101	ENTRANCE	CONCRETE	F-2	2	-----		3			4	S.S. DRYWALL	C-1	VARIES
	102	RECEPTION	CONCRETE	F-1	2	-----		3			4	S.S. DRYWALL	C-1	VARIES
	103	ELEVATOR CABIN	METAL	F-1	2	-----		3			4		C-5	
LEVEL #2	201	ENTRANCE	CONCRETE	F-2	2	-----		3	M.R. DRYWALL	W-3	4	S.S. DRYWALL	C-1	VARIES
	202	DINING AREA	CONCRETE	F-1	2	-----		3	M.R. DRYWALL	W-4	4	S.S. DRYWALL	C-1	VARIES
	203	TOILET VESTIBULE	CONCRETE	F-1	2	-----		3	S.S. DRYWALL	W-8 P-2	4	S.S. DRYWALL	C-1	VARIES
	204	TOILET/POWDER ROOM	CONCRETE	F-3	2	-----		3	M.R. DRYWALL	W-11	4	S.S. DRYWALL	C-2	7'-10"
	205	KITCHEN HALLWAY	CONCRETE	F-2	2	-----		3	M.R. DRYWALL	W-3 W-4	4	S.S. DRYWALL	C-1	VARIES
	206	DISHWASH AREA	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4	ACOUSTICAL TILES	C-3	9'-0"
	207	DISPLAY KITCHEN	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4	S.S. DRYWALL	C-2	9'-0"
	208	LIGHTING CONTROL RM	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4		C-1	
	209	ELEVATOR MACH. ROOM	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4	-----	C-1	
	210	VERANDA	CONCRETE	F-6	2	-----		3	-----		4	-----		
LEVEL #3	301	BANQUETTE AREA	CONCRETE	F-1	2	-----		3			4	S.S. DRYWALL	C-1	VARIES
	302	DINING AREA	CONCRETE	F-1	2	-----		3	M.R. DRYWALL	W-3 W-4	4	S.S. DRYWALL	C-1	VARIES
	303	EXIT CORRIDOR	CONCRETE	F-2	2	-----		3	M.R. DRYWALL	W-3 W-4	4	S.S. DRYWALL	C-1	VARIES
	304	TOILET VESTIBULE	CONCRETE	F-2	2	-----		3	M.R. DRYWALL	W-3 W-4	4	S.S. DRYWALL	C-1	VARIES
	305	MEN'S TOILET	CONCRETE	F-3	2	-----		3	M.R. DRYWALL	W-6	4	S.S. DRYWALL	C-2	7'-10"
	306	WOMEN'S TOILET	CONCRETE	F-3	2	-----		3	M.R. DRYWALL	W-6	4	S.S. DRYWALL	C-2	7'-10"
	307	BAR	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4			
	308	KITCHEN	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4	ACOUSTICAL TILES	C-3	9'-0"
	309	EQUIPMENT ROOM	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4		C-1	
	310	D.J.	CONCRETE	F-1	2	-----								
LEVEL #4	401	LOUNGE AREA	CONCRETE	F-1	2	-----		3	M.R. DRYWALL	W-3 W-4	4	S.S. DRYWALL	C-1	VARIES
	402	V.I.P.	CONCRETE	F-4	2	-----		3			4			VARIES
	404	TOILET/POWDER ROOM	CONCRETE	F-3	2	-----		3	M.R. DRYWALL	W-6	4	S.S. DRYWALL	C-2	7'-10"
	405	WALK-IN COOLER	CONCRETE	F-5	2	QUARRY TILE	B-1	3	-----		4	-----		
	406	WINE COOLER	CONCRETE	F-5	2	QUARRY TILE	B-1	3	-----		4	-----		
	407	DRY STORAGE	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4	ACOUSTICAL TILES	C-3	8'-0"
	408	STORAGE	CONCRETE	F-5	2	QUARRY TILE	B-1	3	FRP ON M.R. DWL	W-10	4		C-1	
FINISH SCHEDULE NOTES			FINISH SCHEDULE CODE KEY											
<p>A. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS CAN BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.</p> <p>B. ALL EXTERIOR CONCRETE BLOCK WALLS SHALL BE: R-4.2 MINIMUM FOIL-BACKED INSULATION. DRYWALL R-19 FOR CEILINGS, R-5 FOR EXTERIOR WALLS, R-3 BOTH SIDES FOR BCS COMMON WALLS, R-11 FOR FRAMED COMMON WALLS. CONTRACTOR SHALL NOT APPLY DRYWALL UNTIL INSULATION IS INSTALLED AND INSPECTED.</p> <p>C. INTERIOR FLAME SPREAD ON BUILDING USING OPTION 4 AT WALLS AND CEILINGS, SHALL BE AS FOLLOWS:</p> <p>(AA) VERTICAL EXITS - CLASS "A" OR "B"</p> <p>(BB) EXIT ACCESS - CLASS "A", "B" OR "C"</p> <p>(CC) LOBBIES, CORRIDORS THAT ARE NOT EXIT ACCESS - CLASS "A" OR "B"</p> <p>D. ALL NEW WOOD TO BE INHERENTLY FIRE RETARDANT.</p> <p>E. PAINT ALL INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW</p> <p>F. ALL INTERIOR FINISHES SHALL COMPLY WITH THE IFPC 2010 CHAP 10 & TABLE A.10.2.2 FOR NEW ASSEMBLY.</p> <p>ALL FLOOR FINISHES TO BE SLIP RESISTANT: 0.6 COEFFICIENT OF FRICTION FOR ACCESSIBLE ROUTE, 0.8 FOR RAMPS.</p> <p>G. ALL GROUT TO BE EPOXY GREASE RESISTANT & SEALED</p> <p>H. PROVIDE FLOOR TO CEILING PLASTIC (SCREWED IN TYPE) CORNER GUARDS AT KITCHEN OUTSIDE CORNERS</p> <p>I. INSTALL CLEAR SILICONE CAULK AT ALL JOINTS AS DIRECTED BY HEALTH DEPARTMENT</p> <p>J. CERAMIC TILE TO BE INSTALLED ON A THICK BED OF EPOXY MORTAR, NOMINALLY 1" ON FLOORS, FACILITATING ACCURATE SLOPES TO DRAINS OR A LEVEL SURFACE.</p> <p>K. INTERIOR FLOOR TO HAVE SURFACES WHICH ARE EVEN AND SUBSTANTIALLY EVEN</p> <p>L. STAIRS ARE FINISHED W/ NON-SLIP SURFACE</p> <p>M. CONTRACTOR TO VERIFY IN FILED DIMENSIONS OF ALL OPENINGS & ACCOMMODATE FINISH WHERE REQUIRED</p> <p>P. G.C. TO VERIFY ALL DOORS JAMB CLEAR WIDTH INCLUDING CASING REQS. BEFORE INSTALLATION OF ANY STUDS</p>			<p>1 FLOORING:</p> <p>F-1 SUPPLY & INSTALLATION OF WOOD FLOOR IN GREY OLD PARQUET FINISH</p> <p>F-2 FLOOR WORK IN CONCRETE EFFECT FINISH</p> <p>F-3 MUTINA DECORHER 24"x24" TILE, NERO NEUTRAL COLOR FINISH</p> <p>F-4 CARPET STEVEN TERRA</p> <p>F-5 6" X 6" QUARRY TILE 0084-RED PAVER</p> <p>F-6 SMOOTH SKU#004661FRP, TEC 929 CHARCOAL GRAY GROUT, MANUF: DALE TILE CERAMIC TILE</p> <p>2 BASE:</p> <p>B-1 6" X 6" PAVER COVE BASE P-3665 RED</p> <p>TEC 929 CHARCOAL GRAY GROUT, MANUF: DALE TILE</p> <p>3 WALLS:</p> <p>W-1 SMOOTH STUCCO</p> <p>W-2 HORIZONTAL STRIP OLD WOOD FINISH</p> <p>W-3 CONC. FINISH W/ARDEX PANDOMO W1, PATTERN</p> <p>W-4 CONC. FINISH W/ARDEX PANDOMO W1, STAGGERED HORIZONTAL STRIP PATTERN</p> <p>W-5 CONC. FINISH W/ARDEX PANDOMO W1, UPHOLSTERED PATTERN</p> <p>W-6 MUTINA DECORHER 24"x24" TILE, DECOR NERO COLOR</p> <p>W-7 METALLIC FINISH</p> <p>W-8 PATCHWORK VINTAGE LEATHER FINISH</p> <p>W-9 STAINLESS STEEL SHEETS</p> <p>W-10 FRP</p> <p>W-11 MUTINA DECORHER 24"x24" TILE, DECOR WHITE COLOR</p> <p>W-12 1/2" MIRROR</p> <p>M-1 MIRROR IN GREY FINISH</p> <p>M-2 MIRROR IN BRONZE FINISH</p> <p>M-3 MIRROR IN BRONZE FINISH</p> <p>P-1 WHITE LAQUER PAINT</p> <p>4 CEILING:</p> <p>C-1 EXISTING EXPOSED CONCRETE</p> <p>C-2 SMOOTH DRYWALL</p> <p>C-3 SUSPENDED CEILING SYSTEM, WHITE, STYLE: HEALTH ZONE ULTIMA #1936</p> <p>MANUF: KNAUF, COLOR: WHITE</p> <p>C-4 24"x24" PANZ ALUMINUM CEILING PANELS USG.COM PHONE (800) 950-3839</p> <p>C-5 GRILLE CEILING, RUSTED EFFECT METAL FINISH</p> <p>P-1 LIGHT GREY COLOR OVER DRYWALL</p> <p>P-2 WHITE LAQUER</p> <p>P-3 OLD EFFECT METAL PAINT</p> <p>NOTE:</p> <p>EXTERIOR ELEVATOR WALLS AT ALL LEVELS: W-2 HORIZONTAL STRIP OLD WOOD FINISH. LED SCREEN STRIPS @ DIFFERENT HEIGHTS, SEE LD DRAWINGS</p> <p>ELEVATOR DOORS: METAL PLY & RIBBETS IN RUSTED FINISH</p> <p>WINE CELLAR ON SECOND LEVEL: M-2 MIRROR ON WALL BEHIND RACKS</p> <p>BAR MAIN COUNTER & FRAME IN OLD WOOD ARCH FINISH. FACADE RUSTED METAL PLY WITH RIVETS</p> <p>ALL EXPOSED EXISTING STEEL COLS. AND BEAMS PAINTED IN OLD EFFECT METAL COLOR TBO.</p>											



SECOND LEVEL
PROPOSED FINISH PLAN
SCALE: 1/4"= 1'-0"

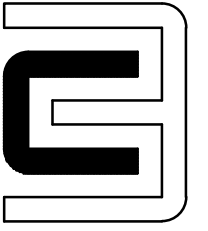
- LEGEND AUDIO/SECURITY**
- IDS: 2-WAY FULL RANGE LOUSPEAKER. DIM: 10.8 H X 7.3 W X 8.0 D
 - ACC2: LF / SUBWOOFER SYSTEM. DIM: 22H X 15.5W X 12D
 - ACC25: LF / SUBWOOFER SYSTEM. LOUD SPEAKER. DIM: 24H X 3.5W X 24D
 - AD-SS2: SURFACE MOUNT LOUSPEAKER SYSTEM W/70/100 V TRANSFORMER. COLOR WHITE
 - IDS52: 2-WAY FULL RANGE LOUSPEAKER. DIM: 16.2 H X 7.3 W X 8.0 D
 - IDS1: 108-64: 2-WAY FULL RANGE LOUSPEAKER. DIM: 19.1H X 12.9W X 11.5D X 1.1T
 - AD-CA2: CEILING MOUNT LOUSPEAKER SYS. W/ CONE WOOFER *SECOND FLOOR
 - TOILET/CONTROL 24C/CT MICRO (LOW PROFILE)
 - KEYPAD: REMOTE CONTROL SYSTEM
 - MULTIMEDIA PROJECTOR: EPSON POWERLITE PRO 13750WU
 - DA-LIFE AUTOMATIC ELEC. PROTECT. SCREEN
 - DOME SURVEILLANCE VANDAL PROOF DOME CAMERA: ICR-300H3B/ICR-300H3W SONY
 - DOOR CLOSER
 - ALARM KEYPAD
 - ACCESS POINT
 - NETWORK ROUTER
 - SECURITY CONTROL
 - MICROPHONE
- *PACK @ LEVEL 4-OFFICE 16 GA GANGABLE ENCLOSURE 5-3MMOLE ALUMIN. PRODUCTS, INCHES-2000 TWO CHANNEL AMPLIFIER, *PROTEA NE24.24 M MATRIX PROCESSOR

- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN
 - 11-05-13 OWNER CHANGES: REVISED LIGHTING
 - 09-23-13 CITY COMMENTS: REMOVED STRIP LIGHT
 - NEW ACCENT LIGHT
 - 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
 - REVISED LIGHTING, SOUND & SECURITY SYSTEM
 - 06-14-13 CITY COMMENTS: NEW POWDER ROOM
 - UPDATED FINISH SCHEDULE & NOTES
 - 04-30-13 CITY COMMENTS: FINISH SCHEDULE NOTES RECTIFIED
 - NOTE: EXISTING ELEVATOR CALL BUTTONS TO BE RELOCATED ON NEW WALL WOOD CLADDING FINISH
 - ISSUED FOR PERMIT 2-18-2013
 - ISSUED FOR BIDDING 2-18-2013
 - ISSUED FOR CONSTRUCTION

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ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY
Lilian R. Paez C.
SCALE
AS SHOWN
DATE
2-18-2013

PROJECT NUMBER
21214

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OF
21

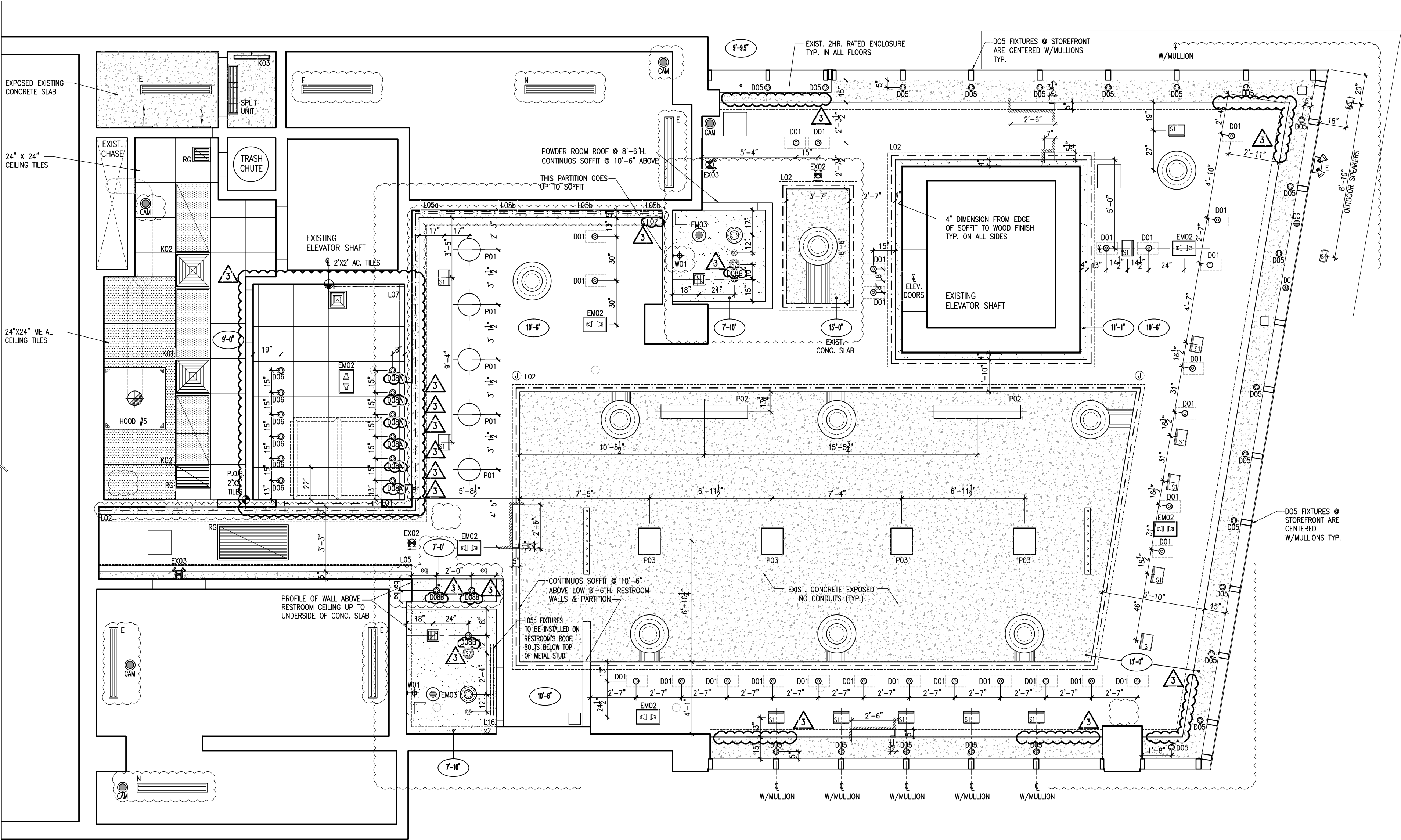
LIGHTING FIXTURE SCHEDULE		
FXIT. TYPE	SYMBOL	AREA
E		EXIST. STORAGE ROOMS
E		1 LEVEL NORTH EXIT PATH
D01		2,3,4 LEVEL DINING TABLES
D02		1 LEVEL LOBBY
D03		1 LEVEL CEILING
D04		1 LEVEL RECEPTION DESK
D05		2,3,4 LEVEL BEHIND CURTAINS
D06		2 LEVEL DISPLAY KITCHEN
D07		3,4 LEVEL TABLES
D08A		2 LEVEL KITCHEN RESTROOMS
D08B		2 LEVEL KITCHEN RESTROOMS
D10		4 LEVEL TABLES
EM01		3 LEVEL COLUMN
EM02		ALL LEVELS ALL AREAS
EM03		ALL LEVELS ALL AREAS
EX01		ALL LEVELS ALL AREAS
EX02		ALL LEVELS ALL AREAS
EX03		ALL LEVELS ALL AREAS
FL01		1 LEVEL EXTERIOR ENTRANCE
K01		2,3,4 LEVEL KITCHEN
K02		2,3,4 LEVEL KITCHEN
K03		2 LEVEL ELEVATOR ROOM
L01		ALL LEVELS ALL AREAS
L02		1,2,3 LEVEL CENTRAL COVES
L03		LOBBY VPI COVES
L04		WINE CELLAR NICHE
L05		2 LEVEL COVES
L06		3 LEVEL BAR COUNTER
L07		2 LEVEL DISPLAY KITCHEN
L10		4 LEVEL SKYLIGHT
L11		4 LEVEL SKYLIGHT
L12		4 LEVEL SKYLIGHT
L13		4 LEVEL SKYLIGHT
L14		4 LEVEL SKYLIGHT
L15A		4 LEVEL SKYLIGHT
L16		4 LEVEL SKYLIGHT
P01		2 LEVEL DINING TABLES
P02		2 LEVEL DINING TABLES
P03		2 LEVEL DINING TABLES
P04		4 LEVEL SKYLIGHT
PR01		4 LEVEL SKYLIGHT
PR02		4 LEVEL SKYLIGHT
T01		3 LEVEL TABLES
T02		2 LEVEL TABLES
TR01		4 LEVEL SKYLIGHT
W01		2 LEVEL DINING TABLES
W02		2 LEVEL DINING TABLES
W03		3 LEVEL DINING TABLES
W04		3 LEVEL DINING TABLES
W05		1,2 LEVEL DINING TABLES
F01		1 LEVEL NORTH EXIT PATH
N		1 LEVEL NORTH EXIT PATH

LEGEND AUDIO/SECURITY

- IDS: 2-WAY FULL RANGE LOUSPEAKER. DIM: 10.8 H X 7.3 W X 8.0 D
- AC22: U / SUBWOOFER SYSTEM DIM: 22H X 15.5W X 12D
- AC255: LF / SUBWOOFER SYSTEM LOUD SPEAKER DIM: 24H X 3W X 24D
- AD-530T: SURFACE MOUNT LOUSPEAKER SYSTEM W/70/100 V TRANSFORMER, COLOR WHITE
- IDS52: 2-WAY FULL RANGE LOUSPEAKER DIM: 14.2 H X 7.3 W X 8.0 D
- IDS108-64: 2-WAY FULL RANGE LOUSPEAKER DIM: 19.1Hx10.9Wx11.5Dx5.1T
- AD-CA2T: CEILING MOUNT LOUSPEAKER SYS. W/ CONE MOUNT "SECOND FLOOR TONES" CONTROL 245/CT MICRO (LOW PROFILE)
- KEYPAD: REMOTE CONTROL SYSTEM
- MULTIMEDIA PROJECTOR: EPSON POWERLITE PRO G5750MU
- DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
- HOME SURVEILLANCE VANDAL PROOF DOME CAMERA: 100-3000KB/ICR-3000SH SONY
- DOOR CLOSER
- ALARM KEYPAD
- ACCESS POINT
- NETWORK ROUTER
- SECURITY CAMERA
- MICROPHONE

LEGEND CEILING

- CENTER LINE
- FIRE ALARM
- CEILING HEIGHT
- POINT OF BEGINNING FOR CLG TILE LAYOUT
- SPRINKLER HEAD
- SMOKE DETECTOR
- J-BOX
- RETURN AIR GRILL
- SUPPLY AIR DIFFUSER
- ROUND AIR DIFFUSER
- DRYWALL CEILING
- METAL CEILING PANELS
- EXIST. EXPOSED CONCRETE SLAB
- ACOUSTICAL CEILING TILES



SECOND LEVEL REFLECTED CEILING PLAN
SCALE: 1/4"= 1'-0"

- 11-05-13 OWNER CHANGES: REVISED LIGHTING
 - 08-06-13 OWNER REV: LIGHTING, SOUND & SECURITY SYSTEM EMERGENCY AND EXIT SIGNS, EXISTING AND NEW FIXTURES @ EXIST. STAIRCASES
 - 06-14-13 CITY COMMENTS: NEW POWDER ROOM REVISED LIGHTING LAYOUT
- NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE RELOCATED ON NEW WALL WOOD CLADDING FINISH
- ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
ISSUED FOR CONSTRUCTION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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Miami Beach, FL. 33139

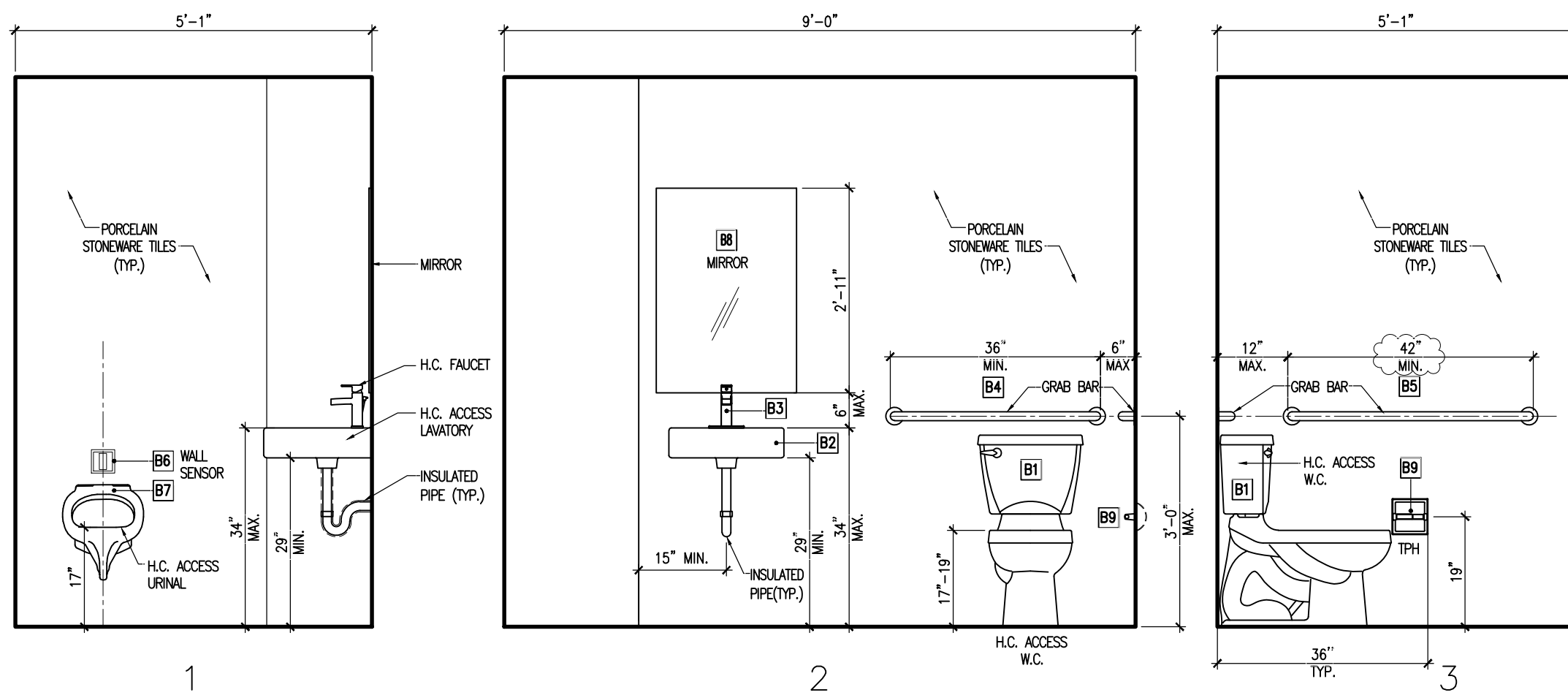


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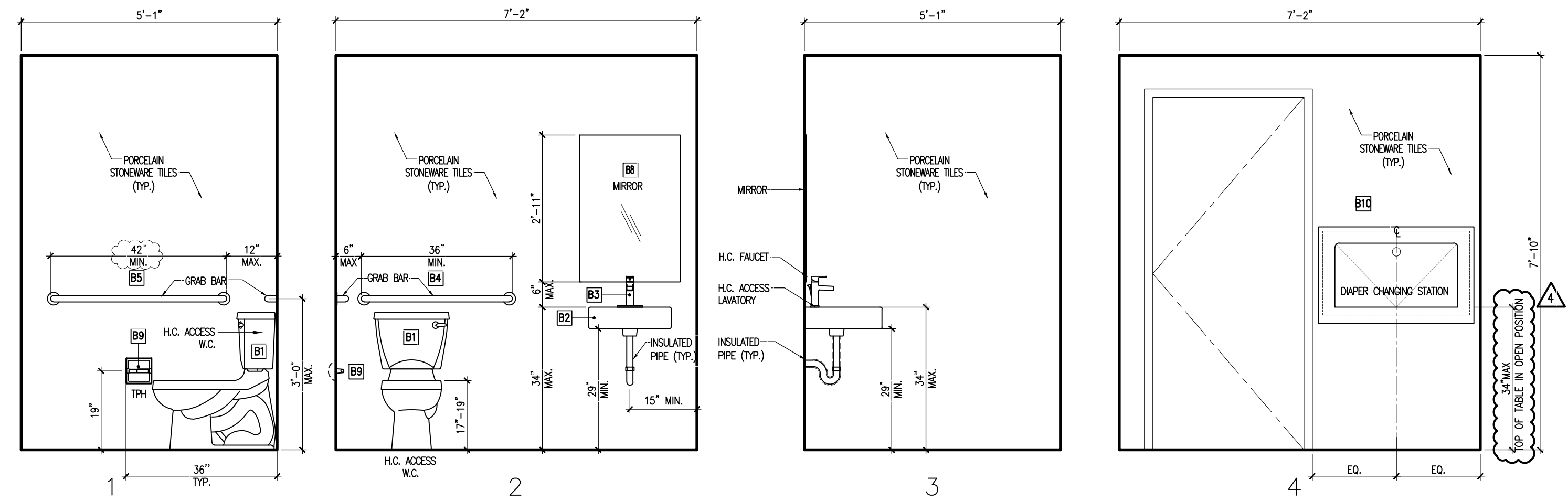
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SCALE
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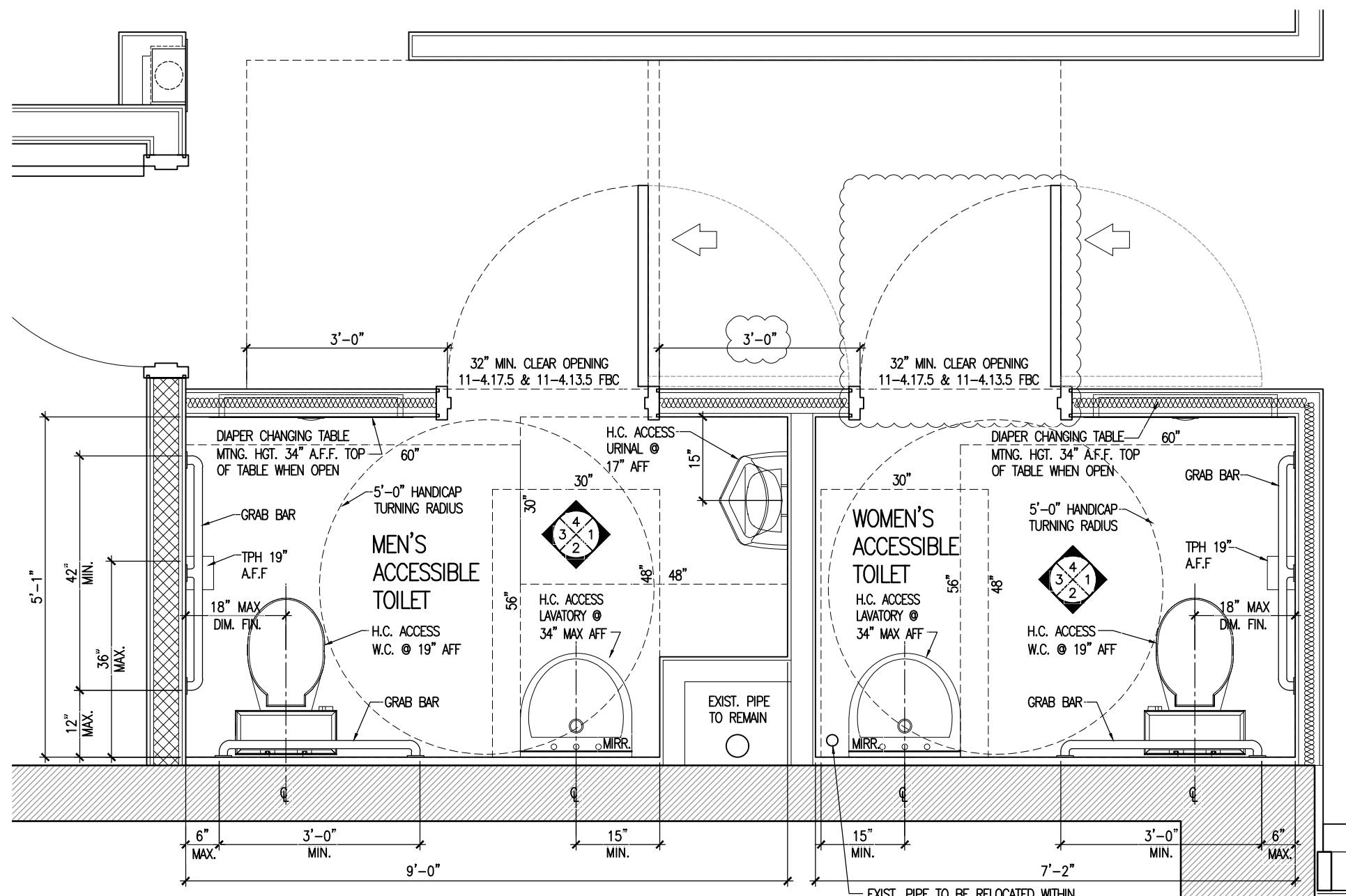
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OF
21



ELEVATIONS MEN'S ACCESSIBLE TOILET
SCALE: 1/2"= 1'-0"



ELEVATIONS WOMEN'S ACCESSIBLE TOILET
SCALE: 1/2"= 1'-0"



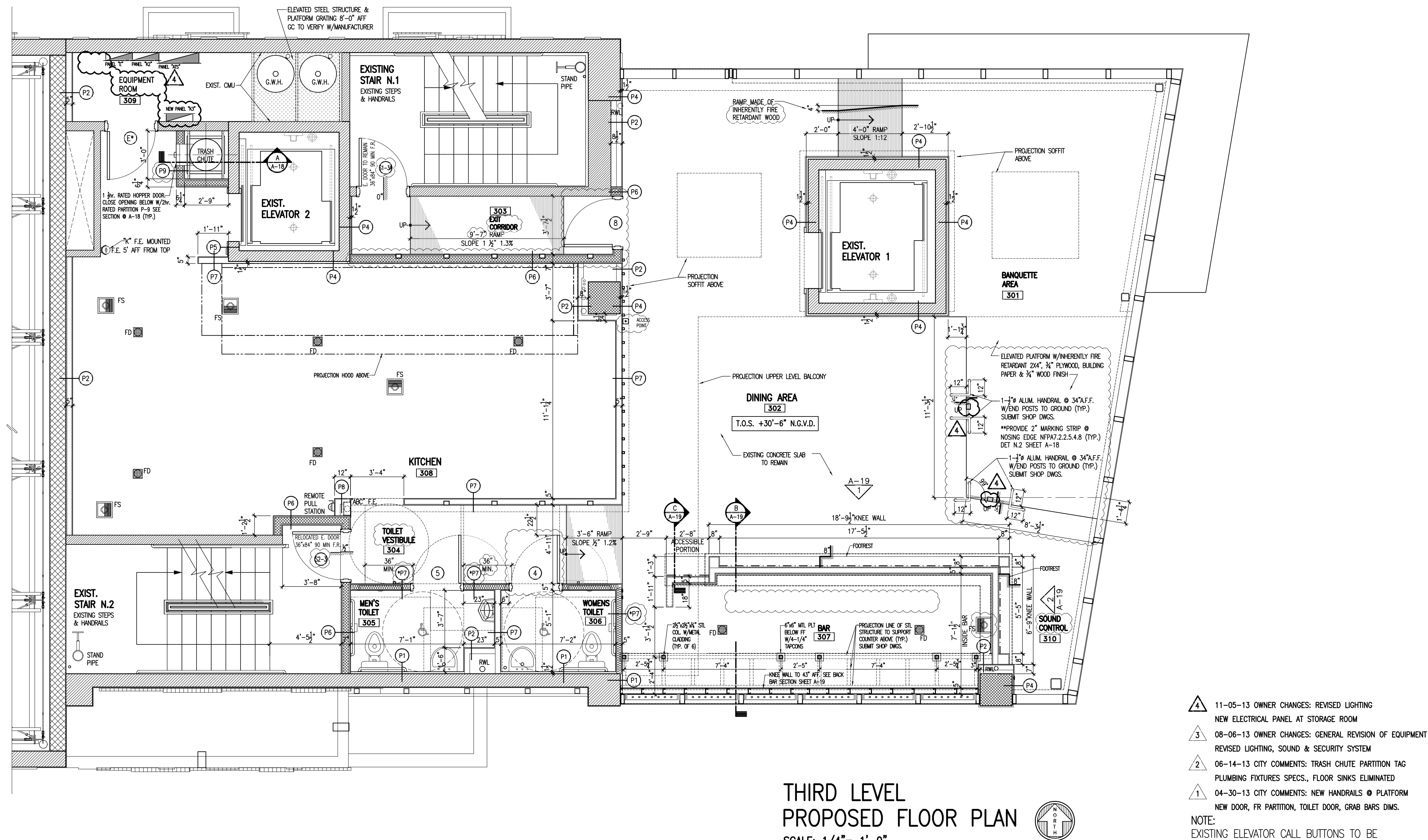
ENLARGED ACCESSIBLE TOILETS
SCALE: 1/2"= 1'-0"

- LEGEND**
- [B1] ADA TOILET NEO METRO MODEL 8950-3 SATIN FINISH
 - [B2] ADA LAVATORY NEO METRO MODEL 8935 SATIN FINISH
 - [B3] ADA WIDESPREAD FAUCET JADO 847/103 PINK HANDLE
 - [B4] 36 ADA GRAB BARS BOBROCK B-5806 X 36 SATIN FINISH
 - [B5] 42 ADA GRAB BARS BOBROCK B-5806 X 42 SATIN FINISH
 - [B6] ADA ELECTRONIC SENSOR NEO METRO MODEL FV1.0-W-SO
 - [B7] ADA WALL MOUNTED URINAL NEO METRO MODEL 8944-W
 - [B8] ADA MIRROR BOBROCK MODEL B-293
 - [B9] BOBROCK TOILET PAPER HOLDER MODEL B-2888
 - [B10] RECESSED DAPER CHANGING STATION BOBROCK KB110-SSRE

- NOTES**
- TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT (ADA)" INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING
- A. WATER CLOSETS SEAT HEIGHT - 19" A.F.F.
 - B. CENTER LINE OF WATER CLOSET - 18" MAX FROM SIDE WALL
 - C. TOILET PAPER DISPENSER - 36" MAX FROM REAR WALL
 - D. KNEE CLEARANCE AT LAVATORY - 29" MIN HEIGHT (APRON), 8" MIN DEPTH
 - E. LAVATORY DEPTH - 17" MIN.
 - F. LAVATORY HOT WATER AND DRAIN PIPES INSULATED WHEREVER EXPOSED.
 - G. LAVATORY RIM SURFACE - 34" MAX A.F.F.
 - H. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED IN THE VICINITY OF MAIN ENTRY
 - J. URINALS RIM SHALL BE 17" MAX AFF & 13-1/2" DEEP MIN. FROM OUTER FACE OF RIM TO BACK OF FIXTURE.
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS 300 FAC.
- SURROUNDING MATERIALS WALL WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FEET ABOVE THE FLOOR. 1202 FAC.

- LEGEND AUDIO/SECURITY**
- [S1] IDS- 2-WAY FULL RANGE LOUSPEAKER. DIM: 10.8 H X 7.3 W X 8.0 D
 - [S2] AC222 LF / SUBWOOFER SYSTEM DIM: 22H X 15.5W X 12D
 - [S3] AC255: LF / SUBWOOFER SYSTEM LOUD SPEAKER DIM: 24H X 33W X 24D
 - [S4] AD-S32T SURFACE MOUNT LOUSPEAKER SYSTEM W/100 V TRANSFORMER, COLOR WHITE
 - [S5] IDS-2-WAY FULL RANGE LOUSPEAKER DIM: 16.2 H X 7.3 W X 8.0 D
 - [S6] ID1108-64: 2-WAY FULL RANGE LOUSPEAKER DIM: 18.1Hx10.0Wx11.5Dx5.1T
 - [S7] AD-C425: CEILING MOUNT LOUSPEAKER SYS. W/ CONE WOOFER **SECOND FLOOR TOILET/CONTROL 24C/CT MICRO (LOW PROFILE)
 - [S8] KEYPAD: REMOTE CONTROL SYSTEM
 - [S9] MULTIMEDIA PROJECTOR: EPSON POWERLite PRO 53750WU
 - [S10] DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
 - [S11] DOME SURVILLANCE VANDAL PROOF DOME CAMERA: ICR-300H3B/ICR-300H5W SONY
 - [S12] DOOR CLOSER
 - [S13] ALARM KEYPAD
 - [S14] ACCESS POINT
 - [S15] NETWORK ROUTER
 - [S16] SECURITY CONTROL
 - [S17] MICROPHONE
 - [S18] **MACK 60 LEVEL 4-OFFICE 16 GA GABINET ENCLOSURE
 - [S19] 5-STIMODE ATLANTIC PRODUCTS, INC-M100-2000 TWO CHANNEL AMPLIFIER, **PROTEA NE2424 W MATRIX PROCESSOR

- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN



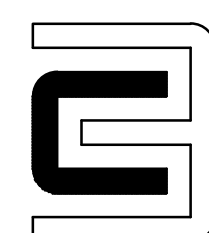
THIRD LEVEL
PROPOSED FLOOR PLAN
SCALE: 1/4"= 1'-0"

- 11-05-13 OWNER CHANGES: REVISED LIGHTING NEW ELECTRICAL PANEL AT STORAGE ROOM
 - 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT REVISED LIGHTING, SOUND & SECURITY SYSTEM
 - 06-14-13 CITY COMMENTS: TRASH CHUTE PARTITION TAG PLUMBING FIXTURES SPECS., FLOOR SINKS ELIMINATED
 - 04-30-13 CITY COMMENTS: NEW HANDRAILS @ PLATFORM NEW DOOR, FR PARTITION, TOILET DOOR, GRAB BARS DIMS.
- NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE RELOCATED ON NEW WALL WOOD CLADDING FINISH
- | | |
|-------------------------|-----------|
| ISSUED FOR PERMIT | 2-18-2013 |
| ISSUED FOR BIDDING | 2-18-2013 |
| ISSUED FOR CONSTRUCTION | |

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CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.
architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY
Lilian R. Paez C.

SCALE
AS SHOWN

DATE
2-18-2013

PROJECT NUMBER
21214

A-9
OF
21

LEVEL 3 KITCHEN EQUIPMENT SCHEDULE			
Item No.	Qty	Equipment Category	Equipment Remarks
K1a	3	Pot Rack	Mounted on Hood Surface
K3	1	Chef's Counter w/ Overshelves	
K4	1	Chef's Counter w/ Sink & Overshelves	
K4.1	1	Sink Faucet	
K4.5	1	Ticket Rail (Not Shown)	Mounted on Overhead
K4.8a	2	Heat Lamp	
K6	1	Worktable w/ Sink	
K6.1	1	Sink Faucet	
K6.3	1	Undercounter Freezer	
K7	1	Wall Shelf	
K8	1	Food Processor	
K9	1	Slicer	
K10	1	Mobile Slicer Stand	
K11	1	Pot Rack	
K12	1	Three Compartment Pot/Pan Sink	
K12.2	2	Sink Faucet	
K13a	1	Refrigerator/Freezer	
K15	1	Map Sink	
K15.1	1	Service Sink Faucet	
K16	2	Hand Sink	
K17	1	Fryer	
K18	1	Spice Rack	
K19	1	Combination Oven-Steamer	
K19.1	2	Water Filter Assembly	
K20	1	Spice Rack	
K21	1	Spice Rack	
K22	1	Spice Rack	
K22.1	1	Spice Rack	
K24	1	Spice Rack	
K24.5	2	French Top Range	
K24.7	4	Shelf Wall Mount	
K24.8	2	Shelf	
K25.5	1	Charbroiler/Open Burner Range	
K26	1	Spice Rack	
K27	1	Spice Rack	
K27.2	2	Salmonder Shelf	
K27.5	1	Plancha	
K27.6	1	Refrigerated Equipment Stand	
K28	1	Worktable w/ Sink	
K29	1	Utility Rack	Not Shown
K30a	3	Spreader Table	
K32	1	Spice Rack	
K32a	1	Worktop Refrigerator	
K34	1	Spice Rack	
K35	1	Worktable	
K36	1	Iced Tea Brewer	N.I.C., by Vendor
K37	1	Coffee Brewer	N.I.C., by Vendor
K38	1	Water Purifier	N.I.C., Credent

LEVEL 3 BAR EQUIPMENT SCHEDULE			
Item No.	Qty	Equipment Category	Equipment Remarks
MB1	2	Underbar Liquor Display	
MB2	1	Underbar Speed Rail	
MB3	1	Underbar Ice Chest	
MB5	1	Spice Rack	
MB5.1	1	Spice Rack	
MB7	1	Glass Washer	N.I.C.; Leased
MB8	1	Underbar Sink	
MB9	1	Underbar Drainboard	
MB10	1	Spice Rack	
MB12	1	Spice Rack	
MB13	1	Spice Rack	
MB15	1	Ice Maker w/ Bin	N.I.C., by Others
MB15.1	1	Water Filter Assembly	
MB16	1	Spice Rack	
MB17	1	P.O.S. Stand	
MB18	1	Underbar Liquor Display	
MB19	2	Underbar Ice Chest	

LEGEND AUDIO/SECURITY

IS1: 2-WAY FULL RANGE LOUSPEAKER
DIM: 10.8 H X 7.3 W X 8.0 D

AC22: LF / SUBWOOFER SYSTEM
DIM: 22H X 15.5W X 12D

AC255: LF / SUBWOOFER SYSTEM LOUD
SPEAKER DIM: 24H X 33W X 24D

AD-330T: SURFACE MOUNT
LOUSPEAKER SYSTEM W/100 V
TRANSFORMER, COLOR WHITE

IS5: 2-WAY FULL RANGE LOUSPEAKER
DIM: 16.2 H X 7.3 W X 8.0 D

IS6: 2-WAY FULL RANGE LOUSPEAKER
DIM: 19.1H X 10.9W X 11.5D X 5.1T

AD-42T: CEILING MOUNT LOUSPEAKER SYS.
W/ CONE WOOFER *SECOND FLOOR
TOILET CONTROL 14C/17 MICRO (LOW PROFILE)

KEYPAD: REMOTE CONTROL SYSTEM

MULTIMEDIA PROJECTOR: EPSON
POWERLITE PRO G5750WU

DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN

DOOR SURVEILLANCE VANDAL PROOF DOME
CAMERA 108-300H36/CR-300H36 SONY

DOOR CLOSER

ALARM KEYPAD

ACCESS POINT

NETWORK ROUTER

SECURITY CONTROL

MICROPHONE

*RACK @ LEVEL 4-OFFICE 16 GA GANGLABLE ENCLOSURE
5-37MIDLE ATLANTIC PRODUCTS, INC/MCR-2000 TWO
CHANNEL AMPLIFIER, *PROTEA NE24.24 W MATRIX
PROCESSOR

LEGEND

EXISTING MASONRY WALL

EXISTING PARTITION

NON RATED PARTITION

2HR. RATED PARTITION

NON RATED PARTITION
W/SOUND INSULATION

PARTITION TO BE REMOVED

EXIST. CONCRETE COL.

DOOR NUMBER

ROOM NUMBER

PARTITION TYPE

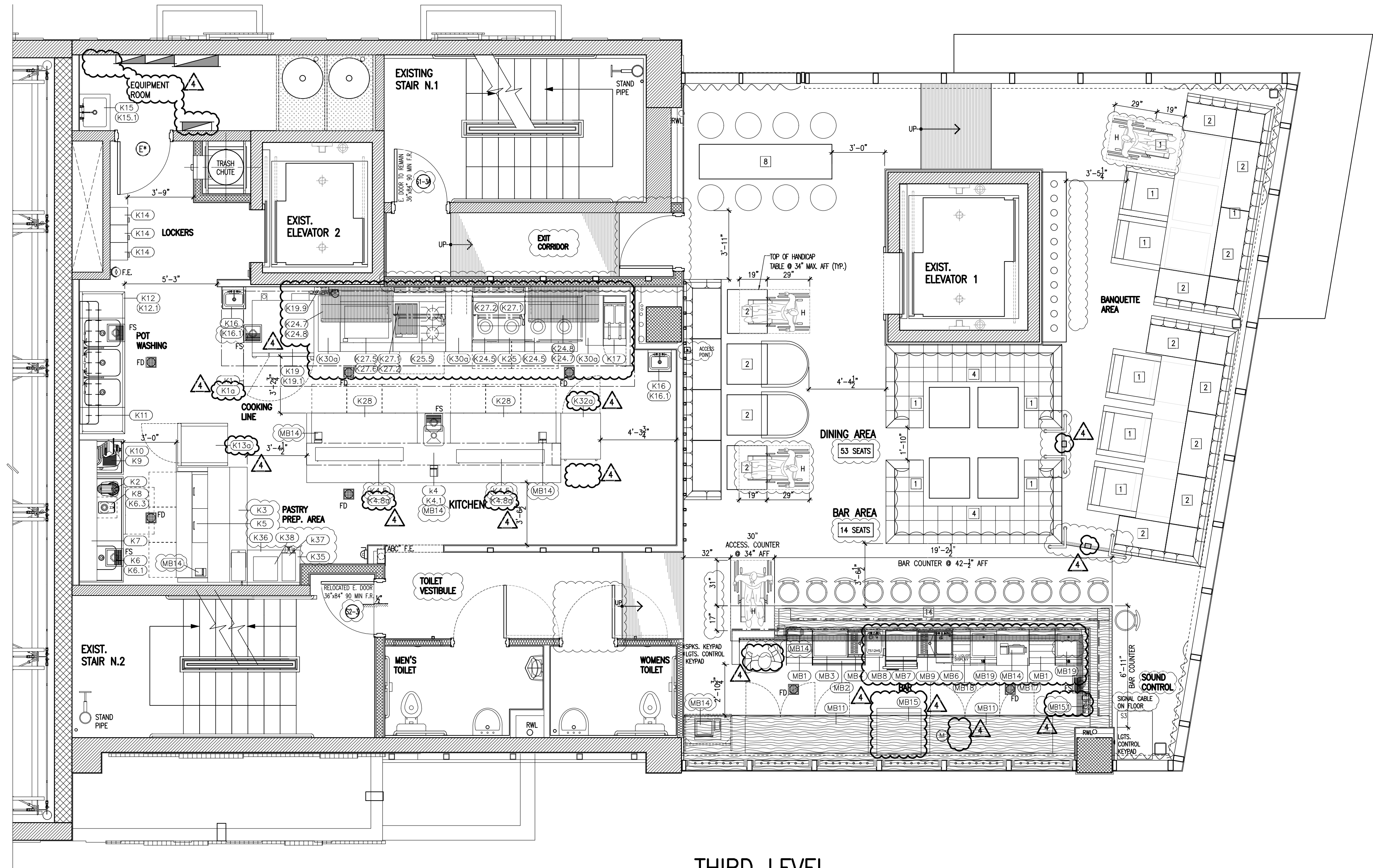
SECTION MARK

ELECTRICAL PANEL

FIRE EXTINGUISHER

FLOOR SINK

FLOOR DRAIN



THIRD LEVEL
PROPOSED EQUIPMENT/FURNITURE PLAN
SCALE: 1/4" = 1'-0"

- 11-05-13 OWNER CHANGES: REVISED LIGHTING
REVISED EQUIPMENT AT BAR AND KITCHEN
- 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
REVISED LIGHTING, SOUND & SECURITY SYSTEM
- 06-14-13 CITY COMMENTS: HANDICAP SEATING
- 04-30-13 CITY COMMENTS: NEW HANDRAILS @ PLATFORM
NEW DOOR, OCCUPANCY

NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
RELOCATED ON NEW WALL WOOD CLADDING FINISH

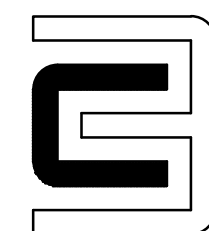
ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
ISSUED FOR CONSTRUCTION

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NEW RESTAURANT FOR:
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Miami Beach, FL 33139

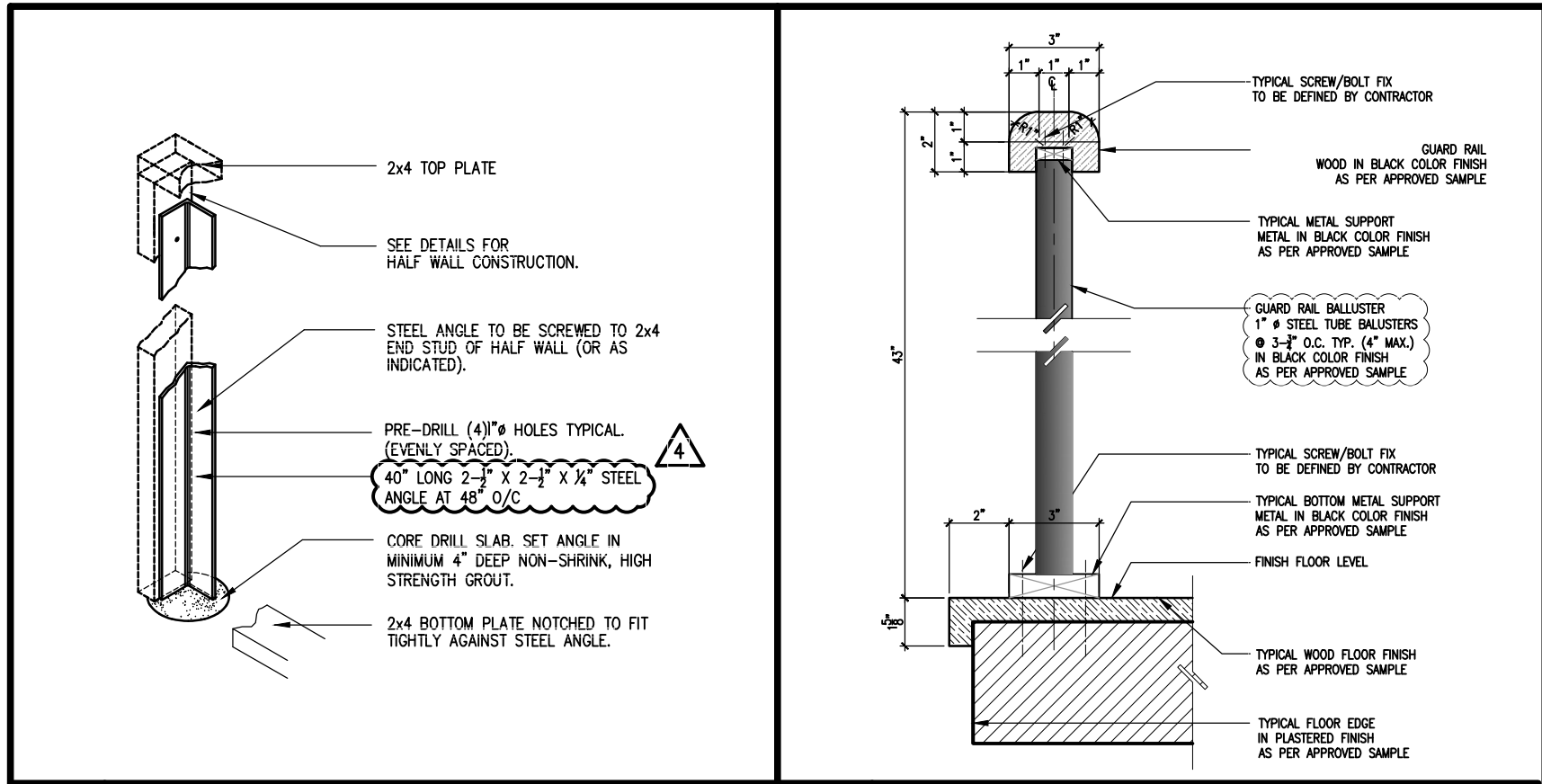


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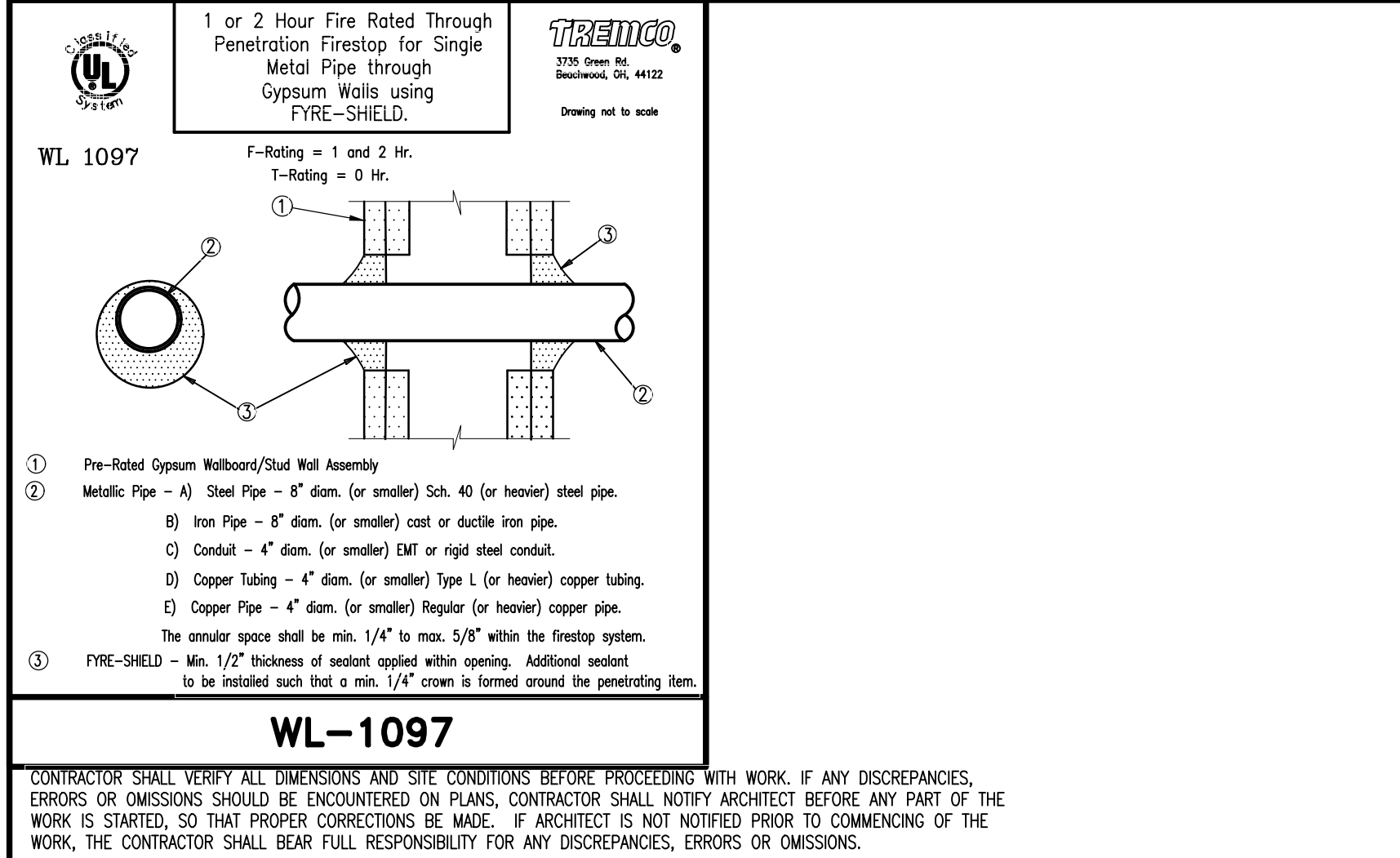
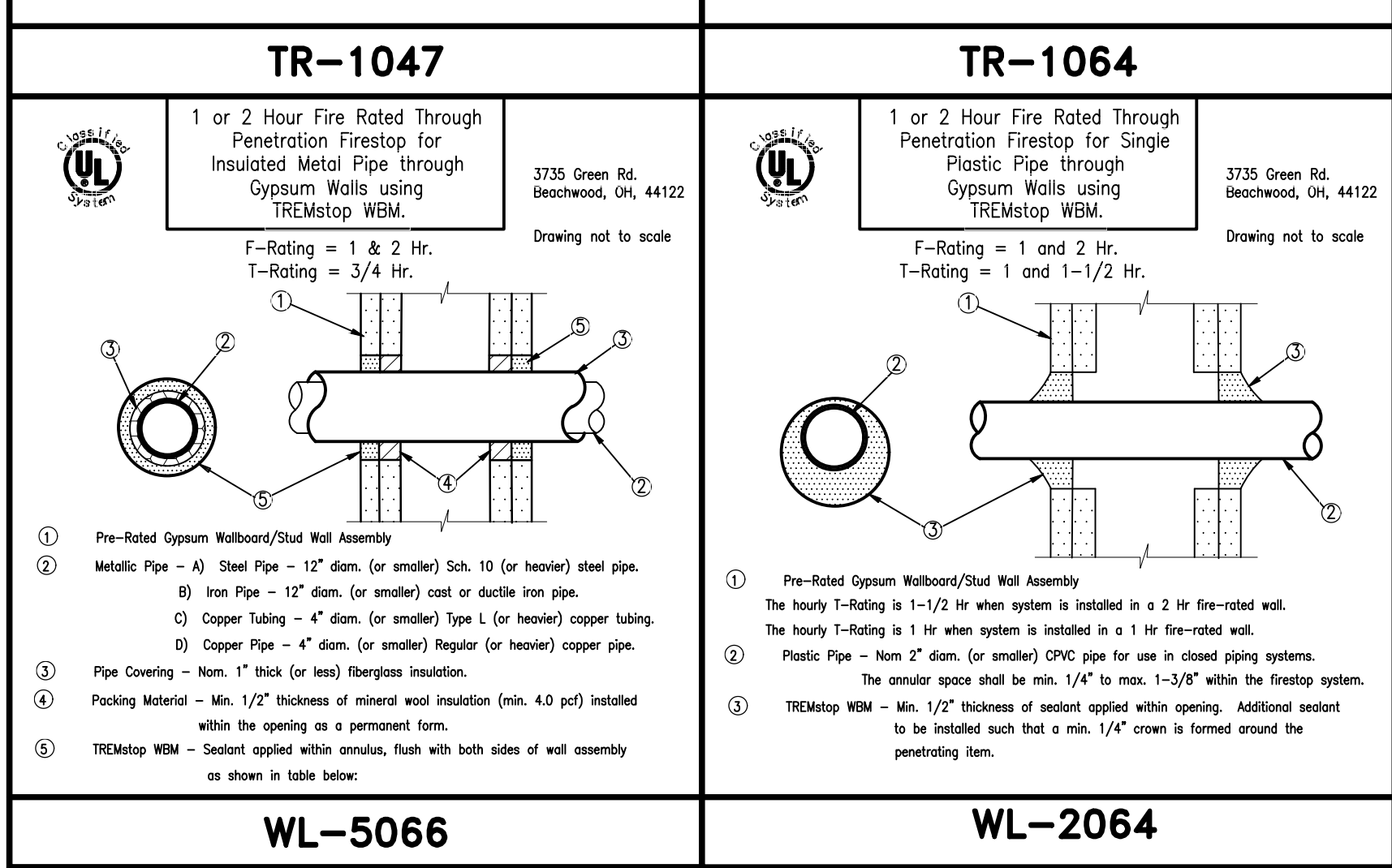
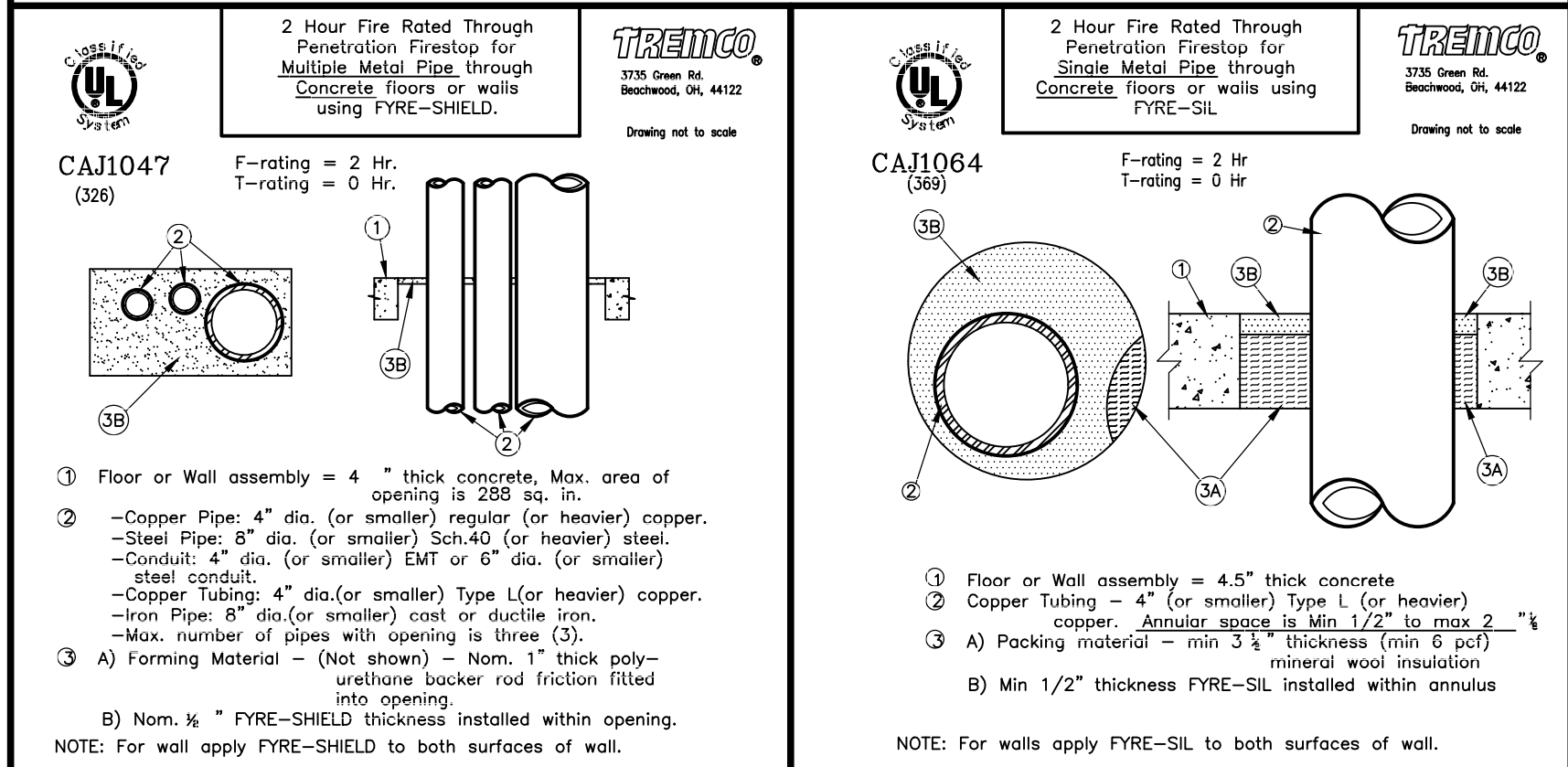
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A-10
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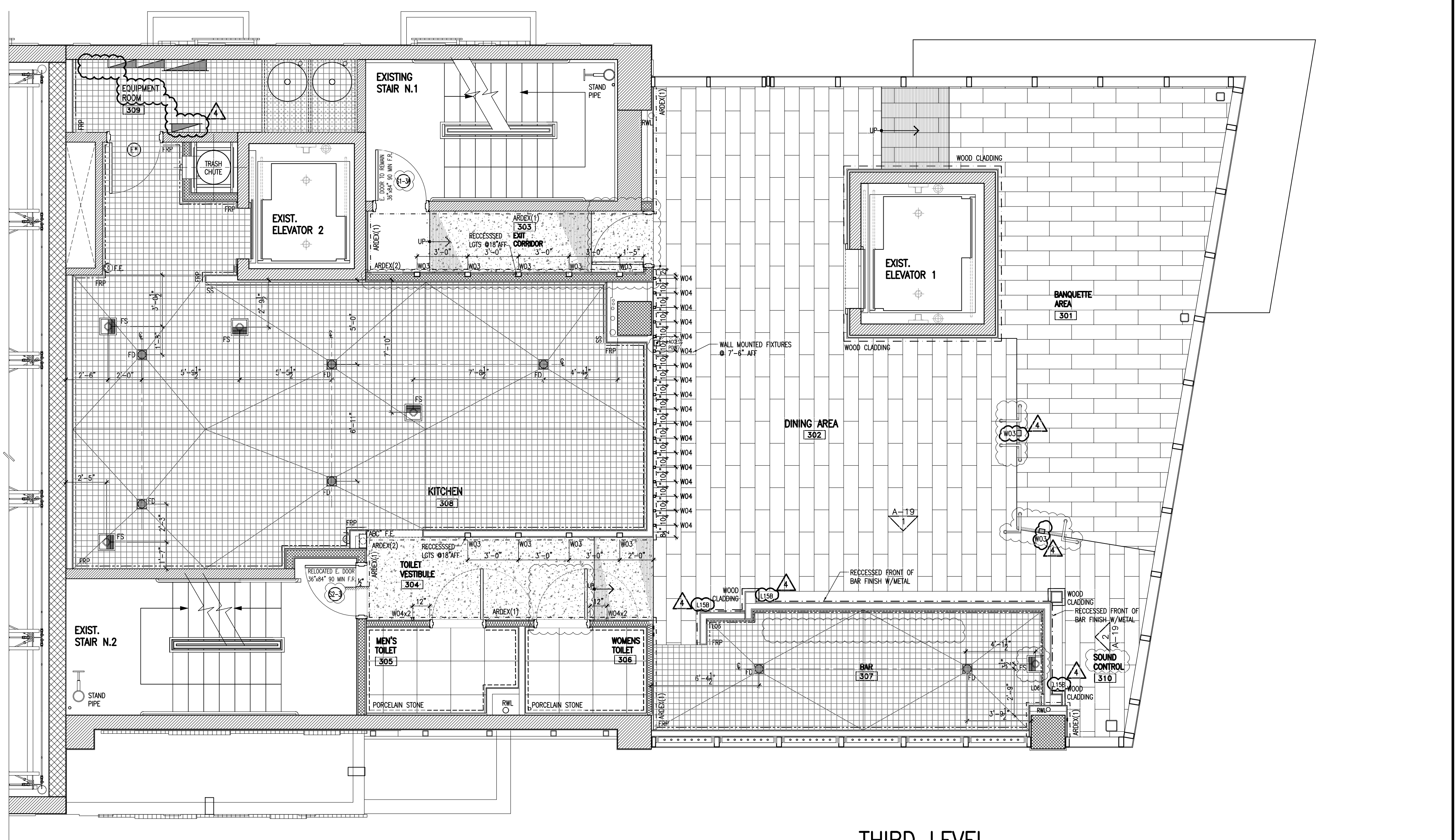
1 LOW WALL ANCHOR DETAIL 2 BALAUSTER PROFILE (TYP.)

FIRESTOPPING DETAILS



- LEGEND AUDIO/SECURITY**
- 105: 2-WAY FULL RANGE LOUSPEAKER. DIM: 10.5 H X 7.3 W X 8.0 D
 - A222: LF / SUBWOOFER SYSTEM DIM: 22H X 15.5W X 12D
 - A2255: LF / SUBWOOFER SYSTEM LOUD SPEAKER DIM: 24H X 33W X 24D
 - A2307: SURFACE MOUNT LOUSPEAKER SYSTEM W/70/100 V TRANSFORMER. COLOR WHITE
 - 1552: 2-WAY FULL RANGE LOUSPEAKER DIM: 16.2 H X 7.3 W X 8.0 D
 - 10108-64: 2-WAY FULL RANGE LOUSPEAKER DIM: 19.1Hx10.9Wx11.5Dx5.1T
 - A0-C47: CEILING MOUNT LOUSPEAKER SYS. W/ CONE WOODER M-SECOND FLOOR
 - TOILETCONTROL 24C/CT MICRO (LOW PROFILE)
 - KEYPAD: REMOTE CONTROL SYSTEM
 - MULTIMEDIA PROJECTOR: EPSON POWERLITE PRO G5750W
 - DOM SURVEILLANCE MANUAL PROOF DOME CAMERA: ICR-300H3/ICR-300HW SONY
 - DOOR CLOSER
 - ALARM KEYPAD
 - NETWORK ROUTER
 - SECURITY CONTROL
 - 10: MICROPHONE
- **RACK @ LEVEL 4-OFFICE 18 GA GANGLER ENCLOSURE 5-STIMOLE ATLANTIC PRODUCTS, INC-M4SR-2000 TWO CHANNEL AMPLIFIER, *PROTEA NE24.24 M MATRIX PROCESSOR**

- LEGEND**
- EXISTING MASONRY WALL
 - EXISTING PARTITION
 - NON RATED PARTITION
 - 2HR. RATED PARTITION
 - NON RATED PARTITION W/SOUND INSULATION
 - PARTITION TO BE REMOVED
 - EXIST. CONCRETE COL.
 - DOOR NUMBER
 - ROOM NUMBER
 - PARTITION TYPE
 - SECTION MARK
 - ELECTRICAL PANEL
 - FIRE EXTINGUISHER
 - FLOOR SINK
 - FLOOR DRAIN



THIRD LEVEL FINISH FLOOR PLAN

SCALE: 1/4" = 1'-0"

- 11-05-13 OWNER CHANGES: REVISED LIGHTING**
- NEW ELECTRICAL PANEL AT STORAGE ROOM**
- 08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT**
- REVISED LIGHTING, SOUND & SECURITY SYSTEM**
- 06-14-13 CITY COMMENTS: NOTE IN DET. 2**
- OWNER CHANGES: NEW F.D. LAYOUT @ BAR**
- 04-30-13 CITY COMMENTS: NEW HANDRAILS @ PLATFORM**
- NEW DOOR, FR. PARTITION, TOILET DOOR**
- NOTE:**
- EXISTING ELEVATOR CALL BUTTONS TO BE RELOCATED ON NEW WALL WOOD CLADDING FINISH**
- ISSUED FOR PERMIT 2-18-2013**
- ISSUED FOR BIDDING 2-18-2013**
- ISSUED FOR CONSTRUCTION**

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LIGHTING FIXTURE SCHEDULE			
FXLT. TYPE	SYMBOL	AREA	FIXTURE DESCRIPTION/LAMP TYPE
E		EXIST. STORAGE ROOMS	FLUORESCENT LIGHT
E		1 LEVEL NORTH EXIT PATH	CEILING MOUNTED LIGHT FIXTURE
D01		2,3,4 LEVEL DINING TABLES	RECESSED-TUNGSTEN HALOGEN DOWNLIGHT W/HONEYCOMB LENS & LINEAR SPREAD LENS 120V 35W 107R MR16
D02		1 LEVEL LOBBY	RECESSED LED MULTILAMP W/3 ADJUSTABLE DOUBLE GIMBALS W/DIMMABLE INTEGRAL CONTROL GEAR BY RSA LIGHTING 12V 8W 8"3000K LED
D03		1 LEVEL RECEPTION DESK	SUSPENDED LED MULTILAMP W/3 ADJUSTABLE LAMP HOLDERS, ADJUSTABLE DOUBLE GIMBAL, HEX CELL LOUVER, NEW DIMMABLE REMOTE CONTROL GEAR BY RSA LIGHTING 12V 8W 8"3000K LED
D04		2,3,4 LEVEL BEHIND COURTAINS	RECESSED LED DOWNLIGHT, LOOKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY N' EIGHT LIGHTING 12V 14.5W 12" X 80" 3000K LED
D06		2 LEVEL DISPLAY KITCHEN	RECESSED WALLWASHER FIXTURE W/KICK REFLECTOR, HONEYCOMB LOUVER W/DIMMABLE INTEGRAL CONTROL GEAR BY LUCIFER LIGHTING 12V 25W 40" 2700K LED
D07		3,4 LEVEL TABLES	SUSPENDED MR16 FIXTURE W/3 ADJUSTABLE LAMP HOLDERS, DOUBLE GIMBAL, HEX CELL LOUVER, DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY RSA LIGHTING 12V 35W 107R MR16 (OSRAM SYLVANIA REF. 58303)
D08A		2 LEVEL KITCHEN, RESTROOMS	RECESSED LED FIXTURE, ADJUSTABLE VERTICALLY 40° & 362° HORIZONTAL ROTATION W/ LOCKING SYSTEM, HONEYCOMB LOUVER, LINEAR SPREAD LENS & IC HOUSING W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY USA LIGHTING 12V 35W 107R MR16 (OSRAM SYLVANIA REF. 58303)
D10		4 LEVEL TABLES	HEX CELL LOUVER, W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY RSA LIGHTING 12V 35W 107R MR16 (OSRAM SYLVANIA REF. 58303)
EM01		3 LEVEL COLUMN	INDOOR/OUTDOOR EMERGENCY LIGHT DUALITE DM-PS-W
EM02		ALL LEVELS ALL AREAS	PHILIPS CHLORIDE RECESSED FUSION F1W1C
EM03		ALL LEVELS RESTROOMS	PHILIPS CHLORIDE RECESSED GIMBAL, RG SERIES
EX01		ALL LEVELS ALL AREAS	ISOLITE EXIT SIGN ELT-EM-R(FACE)-WH-SW-(ARROWS)-SD 120V LED
EX02		ALL LEVELS ALL AREAS	ISOLITE EXIT SIGN ELT-EM-R(FACE)-WH-SC-(ARROWS)-SD
EX03		ALL LEVELS STAIRCASES	DUALITE EMERGENCY/EXIT COMBO WITH SELF DIAGNOSTICS LTRW-1, 2-SW MR16
FLO1		1 LEVEL EXTERIOR ENTRANCE	WIRED LOW VOLTAGE LED FLAMELESS CANDLE BY TOM DIXON W/POWER CONTROL BOX & POWER ADAPTOR
K01		2,3,4 LEVEL KITCHEN	METALUX 2'x4' GRID LENSED TROFFER 20GB-332A-UNV-EBB1-U 120V/F32T841K/91W
K02		2,3,4 LEVEL KITCHEN	METALUX 2'x4' GRID LENSED TROFFER 20GB-332A-UNV-EBB1-U 120V/F32T841K/91W, WITH BATTERY PACK
K03		2 LEVEL ELEVATOR ROOM	WALL MOUNTED FLUORESCENT LIGHT FIXTURE WITH BATTERY PACK FOR EMERGENCY
L01		ALL LEVELS BEHIND COUNTER	SURFACE MOUNTED LINEAR MEDIUM OUTPUT LED FIXTURE W/10" OPTIC W/DIMMABLE REMOTE CONTROL GEAR BY IO LIGHTING 12V 12" 2700K LED MODULES-ANODIZED BLACK ALUM.
L02		1,2,3 LEVEL CENTRAL COVES	SURFACE MOUNTED LINEAR LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL 2400K LED MODULES
L03		LOBBY @ VIP COVES	SURFACE MOUNTED LINEAR RGB LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL RGB LED MODULES
L04		WINE CELLAR @ BAR	SURFACE MOUNTED LINEAR LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL 2400K LED MODULES
L05		2 LEVEL COVES	SURFACE MOUNTED LINEAR FLUORESCENT FIXTURE-WHITE W/DIMMABLE INTEGRAL CONTROL GEAR BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 20803)
L06		3 LEVEL COUNTER	SURFACE MOUNTED LINEAR LED STRIP BY NEW INTEGRAL 3000K LED MODULES
L07		2 LEVEL DISPLAY KITCHEN	SURFACE MOUNTED FLUORESCENT FIXTURE, FROSTED WHITE LENS W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 20803)
L10		4 LEVEL COVE @ SKYLIGHT	SURFACE MOUNTED LINEAR LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL 2400K LED MODULES
L11		4 LEVEL BEHIND CURTAINS	SURFACE MOUNTED LINEAR LED LOW PROFILE FIXTURE W/30° BY 80° OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS HIGH OUTPUT INTEGRAL 2700K 10" LED MODULES
L12		BAR WALL	SURFACE MOUNTED LINEAR RED LED LOW PROFILE FIXTURE W/30° BY 80° OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS INTEGRAL RED LED MODULES
L13		4 LEVEL WINE COOLER	SURFACE MOUNTED LINEAR BLUE LED LOW PROFILE FIXTURE W/30° BY 80° OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS INTEGRAL BLUE LED MODULES
L14		4 LEVEL WINE COOLER	SURFACE MOUNTED LINEAR LED LOW PROFILE FIXTURE W/30° BY 80° OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS INTEGRAL RED LED MODULES
L15A		3 LEVEL BAR BOXES	SURFACE MOUNTED LINEAR LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL 2400K LED MODULES
L16		ROOF TOILET	SURFACE MOUNTED LINEAR LED TAPE W/120° LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOLYTE INTEGRAL 2400K LED MODULES
P01		2 LEVEL DINING TABLES	RECESSED LED DOWNLIGHT, LOOKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC BALLAST BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 21070)
P02		2 LEVEL DINING TABLES	RECESSED LED DOWNLIGHT, LOOKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC BALLAST BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 21070)
P03		2 LEVEL DINING TABLES	RECESSED LED DOWNLIGHT, LOOKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC BALLAST BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 21070)
P04		2 LEVEL SKYLIGHT	RECESSED LED DOWNLIGHT, LOOKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC BALLAST BY BRIGHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 21070)
PR01		4 LEVEL SKYLIGHT TRUSS	TRUSS MOUNTED HALOGEN PROJECTOR, FULLY ROTATABLE BAMBOOS, HINGED TOP DOOR FOR RAIMPING, LOUVER, LINEAR SPREAD LENS & INTEGRAL DMX DIMMABLE ELECTRONIC GEAR BY TIMES SQUARE LIGHTING
PR02		4 LEVEL SKYLIGHT TRUSS	TRUSS MOUNTED RGBW LED PROJECTOR, ADJUSTABLE YOK, 20, 40 & 60° DIFFUSERS, PUSH BUTTON ADDRESSING & INTEGRAL ELECTRONIC CONTROL GEAR BY TIMES SQUARE LIGHTING
T01		3 LEVEL TABLES	FREESTANDING STANDING POWERED TUNGSTEN HALOGEN TABLE LAMP W/INTEGRAL BATTERIES, DIMMER AND CHARGER, PROVIDED W/CHARGING TRAY SYSTEM BY E202
T02		2 LEVEL METAL SCRAPINGS	FREESTANDING TABLE LAMP W/WHITE CONE AND SHOWN POWER CONO G16.5 E26 LED 1W 2400K
TR01		4 LEVEL SKYLIGHT PERIMETER	STRUCTURAL TRUSS SYSTEM COMPOSED BY 2 SECTION W/INTEGRATED LIGHTING TRACK (2 CIRCUITS, DMX) TR01a TRUSS TRACK 3.28' SECTION, TR01b TRUSS TRACK 9.84' SECTION BY TIMES SQUARE LIGHTING
W01		2,3,4 LEVEL RESTROOM VINTY	SURFACE MOUNTED LINEAR LED FLUORESCENT FIXTURE W/54W F15 COVER W/DIMMABLE INTEGRAL CONTROL GEAR BY NIPPO INTEGRAL 16.5W 2500K (NIPPO REF. EET125E12B)
W02		2 LEVEL ENTRANCE RESTROOMS	WALL SCONCE W/GLASS COVER & E-26 LAMP BASE BY HOLLY NUT 120V 30W TUBULAR E26 MEDIUM BASE CARSON FILAMENT LAMP DE20 STYLE
W03		3 LEVEL LAT. WALLS KITCHEN	RECESSED LED STEP LIGHT W/SLOT APERTURE, SEALED LINEAR SPREAD LENS W/DIMMABLE REMOTE POWER SUPPLY BY LUCIFER LIGHTING INTEGRAL 12V 3W LED 3000K
W04		3 LEVEL FRONT WALL	WALL MOUNTED PORCELAIN LAMP SOCKET W/12 BASE TO RECEIVE LED REPLACEMENT LAMP BY 1F SOCKET 120V 0.9W E12 LED 3000K (OSRAM REF. 100740)
W05		1-2 LEVEL ELEVATOR WALL	WALL MOUNTED ALUMINUM 2 LAMP MR16 FIXTURE W/REMOTE TRANSFORMER 12V 10W 107 2700K MR16 LED REPLACEMENT BY MODULAR INTERNATIONAL
F01		2 LEVEL DISPLAY KITCHEN	DISPAYS OF HIGH OPTIC FIBER OPTIC FIBER OPTIC INTEGRAL ELECTRONIC BALLAST FOR 220V BY UNIVERSAL FIBER OPTIC 30W COM-T 118-012 BASE 3000K
N		1 LEVEL NORTH EXIT PATH	WALL MOUNTED SCONCES TO PROVIDE 1 FT. CANDLE MIN.

NOTE: FOR DIMMER CONTROLS FOLLOW ID LIGHTING PLAN

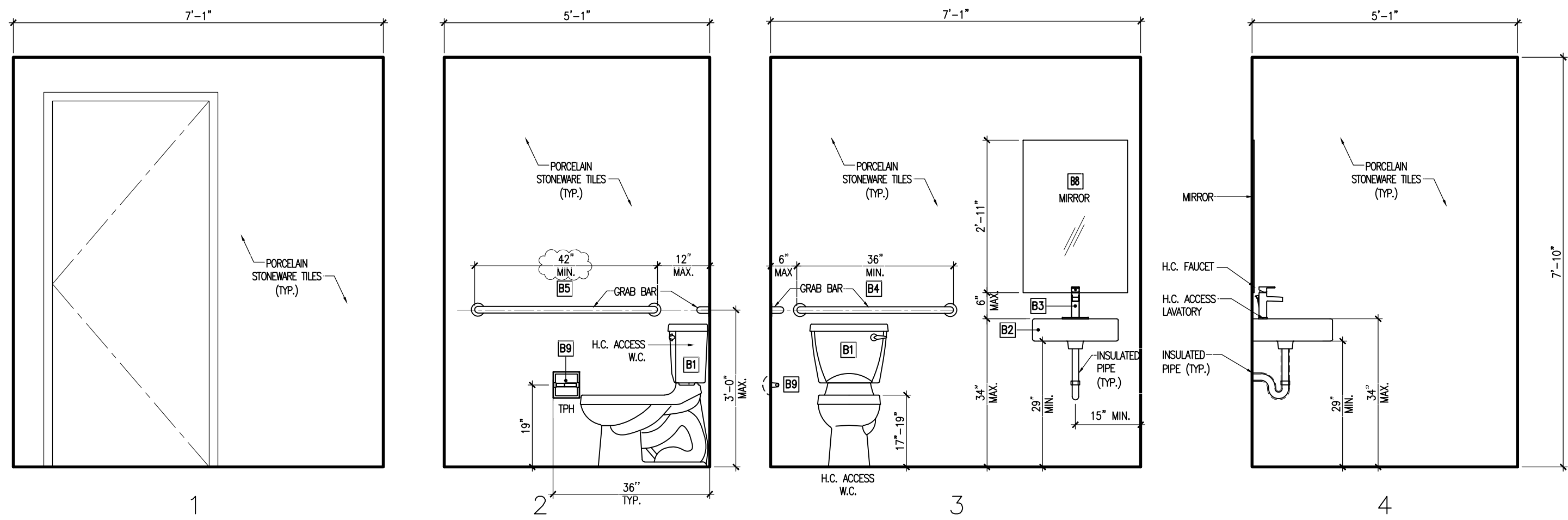
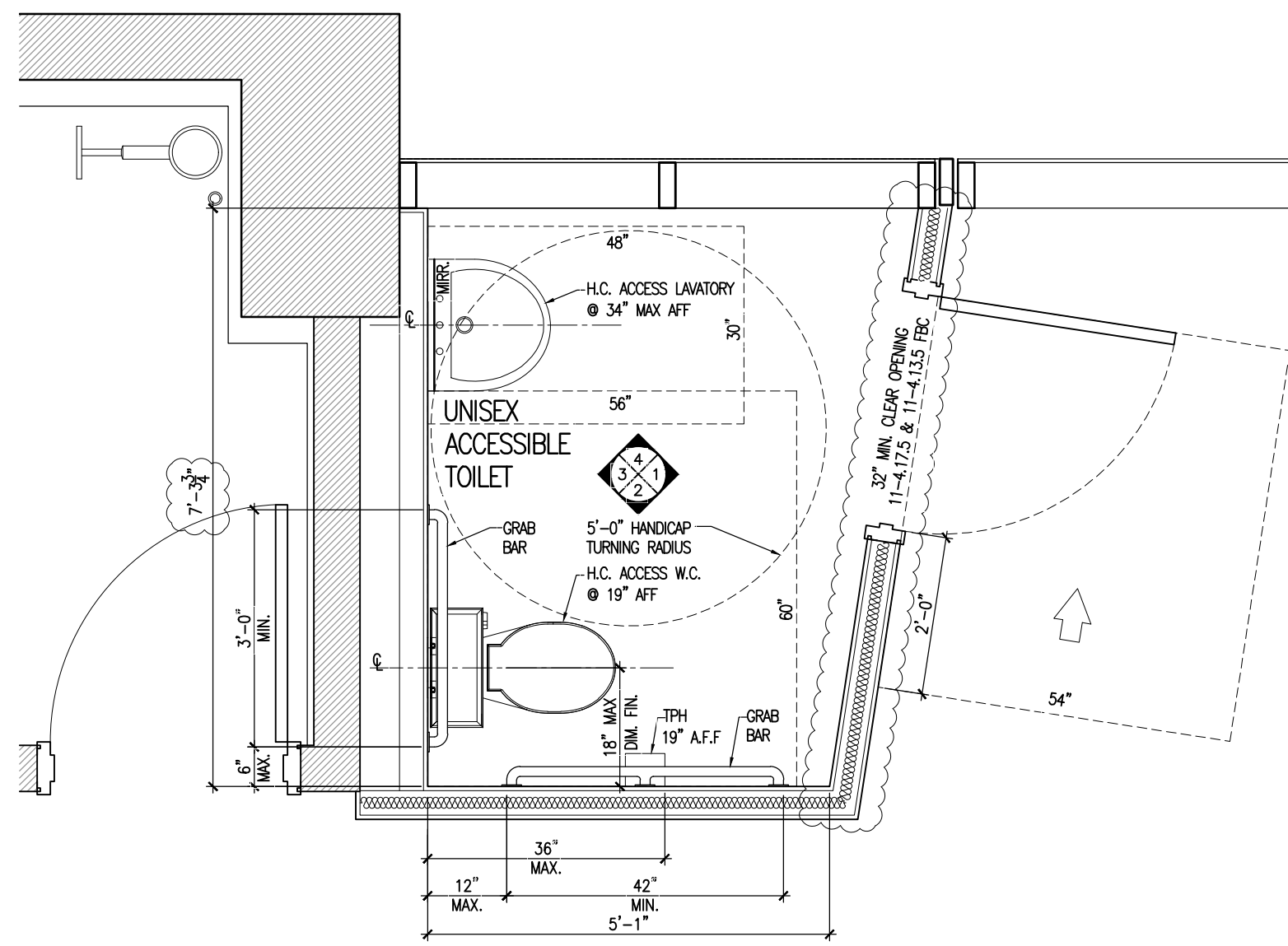
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LEGEND AUDIO/SECURITY

- IS: 105: 2-WAY FULL RANGE LOUSPEAKER DM: 10.8 H X 7.3 W X 8.0 D
- IS: 106: 2-WAY FULL RANGE LOUSPEAKER DM: 22H X 15.5W X 10D
- IS: 107: 2-WAY FULL RANGE LOUSPEAKER DM: 24H X 15.5W X 10D
- IS: 108: 2-WAY FULL RANGE LOUSPEAKER DM: 15.2 H X 7.3 W X 8.0 D
- IS: 109: 105-2-WAY FULL RANGE LOUSPEAKER DM: 15.2 H X 7.3 W X 8.0 D
- IS: 110: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 111: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 112: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 113: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 114: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 115: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 116: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
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- IS: 124: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
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- IS: 141: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 142: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
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- IS: 199: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 200: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T

LEGEND CEILING

- IS: 105: 2-WAY FULL RANGE LOUSPEAKER DM: 10.8 H X 7.3 W X 8.0 D
- IS: 106: 2-WAY FULL RANGE LOUSPEAKER DM: 22H X 15.5W X 10D
- IS: 107: 2-WAY FULL RANGE LOUSPEAKER DM: 24H X 15.5W X 10D
- IS: 108: 2-WAY FULL RANGE LOUSPEAKER DM: 15.2 H X 7.3 W X 8.0 D
- IS: 109: 105-2-WAY FULL RANGE LOUSPEAKER DM: 15.2 H X 7.3 W X 8.0 D
- IS: 110: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 111: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 112: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 113: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
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- IS: 139: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 140: 105-2-WAY FULL RANGE LOUSPEAKER DM: 19.1H X 10.9W X 11.5D X 1.1T
- IS: 141: 105-



LEGEND

[B1]	ADA TOILET NEO METRO MODEL B950-3 SATIN FINISH
[B2]	ADA LAVATORY NEO METRO MODEL B935 SATIN FINISH
[B3]	ADA WIDESPREAD FAUCET JACO B47/103 PINKIE HANDLE
[B4]	36 ADA GRAB BARS BOBRICK B-5806 X 36 SATIN FINISH
[B5]	42 ADA GRAB BARS BOBRICK B-5806 X 42 SATIN FINISH
[B6]	ADA ELECTRONIC SENSOR NEO METRO MODEL PVL0-W-S0
[B7]	ADA WALL MOUNTED URINAL NEO METRO MODEL B944-W
[B8]	ADA MIRROR BOBRICK MODEL B-293
[B9]	BOBRICK TOILET PAPER HOLDER MODEL B-2888
[B10]	RECESSED DIAPER CHANGING STATION BOBRICK KB110-SSFE

NOTES

TOILET ROOMS SHALL CONFORM TO ALL ACCESSIBILITY REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT (ADA)" INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- WATER CLOSETS SEAT HEIGHT - 19" A.F.F.
- CENTER LINE OF WATER CLOSET - 18" MAX FROM SIDE WALL
- TOILET PAPER DISPENSER - 36" MAX FROM REAR WALL
- KNEE CLEARANCE AT LAVATORY - 29" MIN HEIGHT (APRON), 8" MIN DEPTH
- LAVATORY DEPTH - 17" MIN
- LAVATORY HOT WATER AND DRAIN PIPES INSULATED WHEREVER EXPOSED.
- LAVATORY RIM SURFACE - 34" MAX A.F.F.
- INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE MOUNTED IN THE VICINITY OF MAIN ENTRY
- URINALS RIM SHALL BE 17" MAX AFF & 13-1/2" DEEP MIN FROM OUTER FACE OF RIM TO BACK OF FIXTURE

CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, FINGERING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 LBS 30% F.A.C.

SURROUNDING MATERIALS WALL WITHIN 2 FEET OF URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE, TO A HEIGHT OF 4 FEET ABOVE THE FLOOR. 12102 F.A.C.

STOREFRONT NOTES

- STOREFRONT ELEVATIONS ARE FOR GENERAL CONFIGURATION ONLY. MANUFACTURER TO DESIGN STOREFRONTS TO MEET ALL APPLICABLE BUILDING CODE REQUIREMENTS AND SHALL SUBMIT SHOP DRAWINGS, PRODUCT APPROVAL AND STRUCTURAL CALCULATIONS SIGNED AND SEALED BY A FLORIDA REGISTERED ENGINEER FOR REVIEW.
- ALL GLAZING SHALL MATCH EXISTING AND BE IMPACT RESISTANT
- ALL ALUMINUM IN STOREFRONTS TO MATCH EXISTING
- FIELD VERIFY ALL MASONRY OPENINGS PRIOR TO FABRICATION AND NOTE IN SHOP DRAWINGS SUBMITTAL
- SUBMIT PRODUCT APPROVAL
- PROVIDE ANY AND ALL NECESSARY BREAK METAL TO MATCH STOREFRONT ON EXTERIOR VERTICAL AND HORIZONTAL STEEL COLUMNS
- CAULK ALL INTERIOR AND EXTERIOR JOINTS EXPOSED TO VIEW AND DOUBLE BEAK OF CAULKING WHERE BUCK MEETS MASONRY
- ALL REQUIRED STEEL TUBING BETWEEN STOREFRONT SYSTEM BY GLASS SUBCONTRACTOR
- GLASS DOORS AND ADJACENT GLASS PANELS ARE CATEGORY II SAFETY GLAZING.

SECURITY & FORCED ENTRY PREVENTION REQS.

- ALL SINGLE EXTERIOR SWINGING DOORS SHALL HAVE A LOCK TO BE KEY- OPERATED FROM THE EXTERIOR WITH A MIN. OF 6,000 POSSIBLE KEY CHANGES OR LOCKING AUXILIARY SINGLE DEAD BOLT WITH HARDENED BOLT INSERTS
- ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 POUNDS APPLIED IN ANY MOVABLE DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN THE SOUTH FLORIDA BUILDING CODES.
- THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWINGING DOORS SHALL HAVE THE SAME LOCK AS REQUIRED FOR SINGLE EXTERIOR SWINGING DOORS. THE INACTIVE LEAF OF THESE PAIR OF DOORS SHALL HAVE A MULTIPLE POINT LOCK WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
- HINGES ON EXTERIOR OUT-SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS.
- JAMBS OF ALL EXTERIOR OFFSET TYPE IN-SWINGING DOORS SHALL BE RABBETED OR OF A SIMILAR FABRICATION MAINTAIN THE INTEGRITY OF LOCKS AND LATCHES.
- VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCK ACTIVATING DEVICE, SHALL COMPLY WITH ANSI Z97.1.

TERMITE PROTECTION

105.10 CERTIFICATE OF PROTECTIVE TREATMENT FOR PREVENTION OF TERMITES.

A WEATHER RESISTANT JOBSITE POSTING BOARD SHALL BE PROVIDED TO RECEIVE DUPLICATE TREATMENT CERTIFICATES AS EACH REQUIRED. PROTECTIVE TREATMENT IS COMPLETED, PROVIDING A COPY FOR THE PERSON THE PERMIT IS ISSUED TO AND ANOTHER COPY FOR THE BUILDING PERMIT FILES. THE TREATMENT CERTIFICATE SHALL PROVIDE THE PRODUCT USED, IDENTITY OF THE APPLICATOR, TIME AND DATE OF THE TREATMENT, SITE LOCATION, AREA TREATED, CHEMICAL USED, PERCENT CONCENTRATION AND NUMBER OF GALLONS USED. TO ESTABLISH A VERIFIABLE RECORD OF PROTECTIVE TREATMENT. IF THE SOIL CHEMICAL BARRIER METHOD FOR TERMITE PREVENTION IS USED, FINAL EXTERIOR TREATMENT SHALL BE COMPLETED PRIOR TO FINAL BUILDING APPROVAL.

105.11 NOTICE OF TERMITE PROTECTION.

A PERMANENT SIGN WHICH IDENTIFIES THE TERMITE TREATMENT PROVIDER AND NEED FOR RE-INSPECTION AND TREATMENT CONTRACT RENEWAL SHALL BE PROVIDED. THE SIGN SHALL BE POSTED NEAR THE WATER HEATER OR ELECTRIC PANEL.

1816.1 TERMITE PROTECTION.

ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT. PROTECTION AGAINST SUBTERRANEAN TERMITES, THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:

"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES."

STOREFRONT ELEVATION
SCALE: 1/4" = 1'-0"

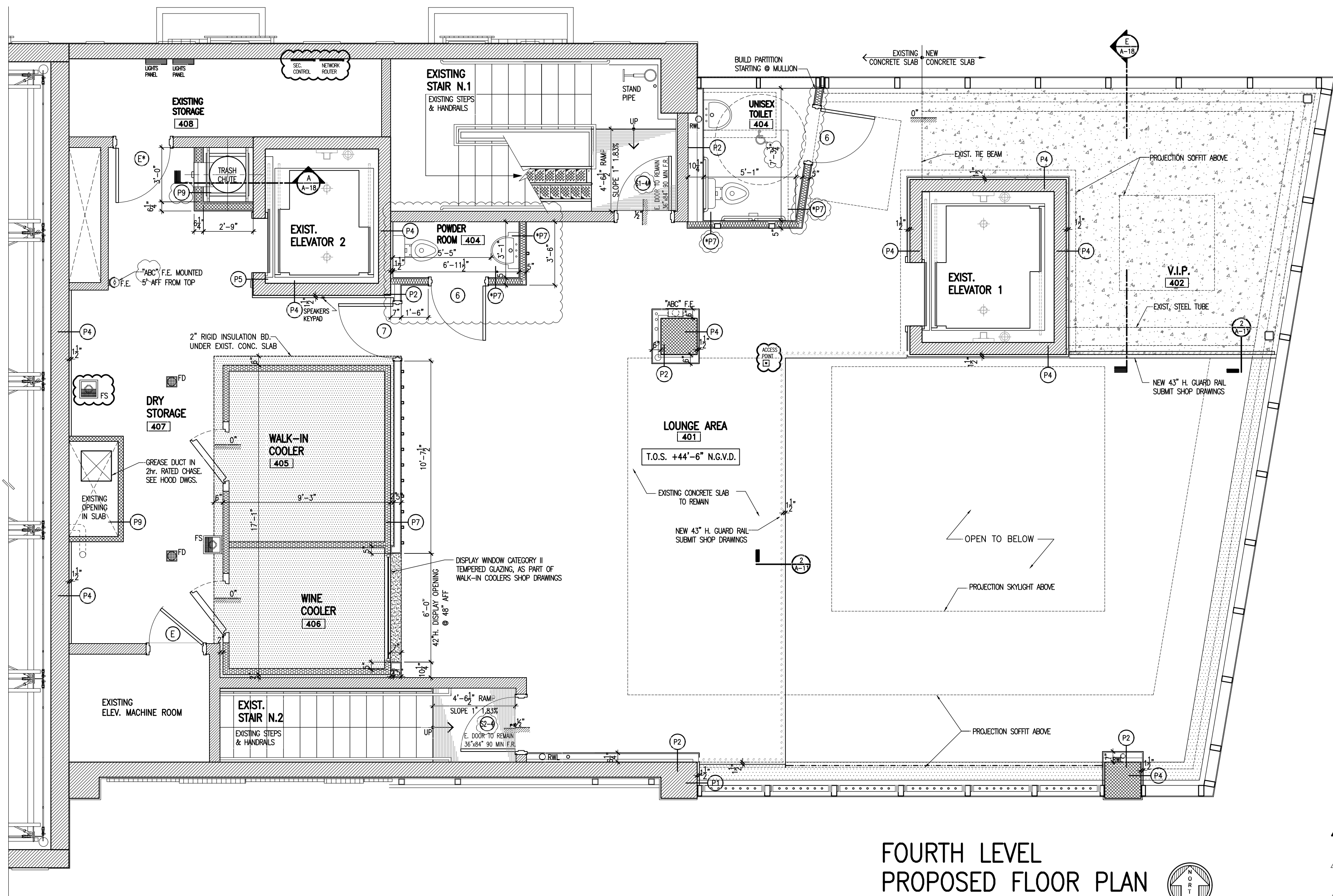
LEGEND AUDIO/SECURITY

- 105: 2-WAY FULL RANGE LOUSPEAKER. DIM: 10.8 H X 7.3 W X 8.0 D
- AC22: 1F / SUBWOOFER SYSTEM. DIM: 22H X 15.5W X 12D
- AC255: 1F / SUBWOOFER SYSTEM. LOUD SPEAKER. DIM: 24H X 35W X 24D
- AD-SS2T: SURFACE MOUNT LOUSPEAKER SYSTEM W/70/100 V TRANSFORMER. COLOR WHITE
- 105S2: 2-WAY FULL RANGE LOUSPEAKER. DIM: 16.2 H X 7.3 W X 8.0 D
- ID1: 108-64: 2-WAY FULL RANGE LOUSPEAKER. DIM: 19.1H X 10.9W X 11.5D X 5.1T
- AD-CAT2: CEILING MOUNT LOUSPEAKER SYS. W/ CONE MOUNT MESS2ND FLOOR TOILET CONTROL 240/CT MICRO (LOW PROFILE)
- KEYPAD: REMOTE CONTROL SYSTEM
- MULTIMEDIA PROJECTOR: EPSON POWERLite PRO 15750MU
- DM-LITE AUTOMATIC DES. PROJECT SCREEN
- DOME SURVEILLANCE VISION PROOF DOME CAMERA: KR-3004B/KR-3004W SONY
- DOOR CLOSER
- ALARM KEYPAD
- ACCESS POINT
- NETWORK ROUTER
- SECURITY CONTROL
- MICROPHONE

*RACK @ LEVEL 4-OFFICE 16 GA GANGED ENCLOSURE 5-37MMOLE ATLANTIC PRODUCTS INCHER-2000 TWO CHANNEL AMPLIFIER. *PROTEA NE24.24 M MATRIX PROCESSOR

LEGEND

- EXISTING MASONRY WALL
- EXISTING PARTITION
- NON RATED PARTITION
- 2HR. RATED PARTITION
- NON RATED PARTITION W/SOUND INSULATION
- PARTITION TO BE REMOVED
- EXIST. CONCRETE COL.
- DOOR NUMBER
- PARTITION TYPE
- SECTION MARK
- ELECTRICAL PANEL
- FIRE EXTINGUISHER
- FLOOR SINK
- FLOOR DRAIN



08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT REVISED LIGHTING, SOUND & SECURITY SYSTEM

06-14-13 CITY COMMENTS: TRASH CHUTE PARTITION TAG

NEW POWDER ROOM, F.E. KITCHEN, PLUMBING FIXTURES SPECS.

04-30-13 CITY COMMENTS: TOILET CONFIGURATION

SIDE GRAB BARS DIMENSIONS

NOTE:

EXISTING ELEVATOR CALL BUTTONS TO BE RELOCATED ON NEW WALL WOOD CLADDING FINISH

ISSUED FOR PERMIT 2-18-2013

ISSUED FOR BIDDING 2-18-2013

ISSUED FOR CONSTRUCTION

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NEW RESTAURANT FOR:
CHI SEAFOOD, LLC
1826 COLLINS AVE.
Miami Beach, Fl. 33139

CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.
architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 * Fax: 305-532-6151
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY
Lilian R. Paez C.

SCALE
AS SHOWN

DATE
2-18-2013

PROJECT NUMBER
21214

A-13
OF
21

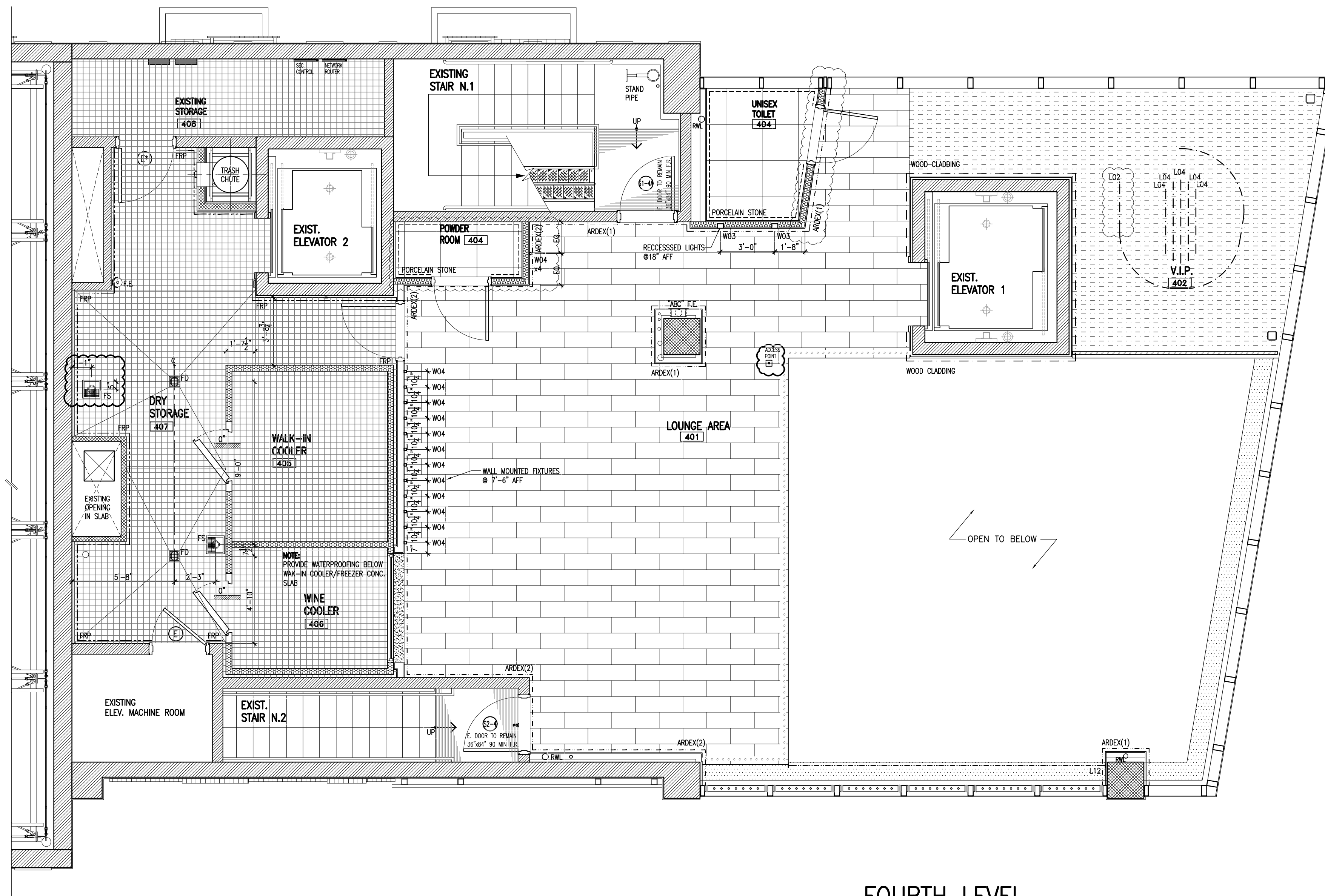
LEGEND AUDIO/SECURITY

- 61 ID5: 2-WAY FULL RANGE LOUDSPEAKER.
DIM: 10.8 H X 7.3 W X 8.0 D
- 62 AC22: LF / SUBWOOFER SYSTEM
DIM: 22H X 15.5W X 12D
- 63 AC25S: LF / SUBWOOFER SYSTEM, LOUD
SPEAKER DIM: 24H X 33W X 24D
- 64 AD-3225: SURFACE MOUNT
LOUDSPEAKER SYSTEM W/70/100 V
TRANSFORMER, COLOR WHITE
- 65 ID552: 2-WAY FULL RANGE LOUDSPEAKER
DIM: 16.2 H X 7.3 W X 8.0 D
- 66 ID1108-64: 2-WAY FULL RANGE
LOUDSPEAKER DIM: 19.1Hx10.9Wx11.5Dx5.1T
- 67 AD-CKIT: CEILING MOUNT LOUDSPEAKER SYS.
W/ CONE WOOFR *SECOND FLOOR
TOILET CONTROL 24C/CT MICRO (LOW PROFILE)
- 68 KEYPAD: REMOTE CONTROL SYSTEM
- 69 MULTIMEDIA PROJECTOR: EPSON
POWERLITE PRO G5750WU
- 70 DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
- 71 DOME SURVEILLANCE VIDEO, PROOF, DOME
CAMERA: ICR-3004S/ICR-3004SW SONY
- 72 DOOR CLOSER
- 73 ALARM KEYPAD
- 74 ACCESS POINT
- 75 NETWORK ROUTER
- 76 SECURITY CONTROL
- 77 MICROPHONE

*BACK @ LEVEL 4-OFFICE 16 GA GANGED ENCLOSURE
5-TWIDDLE ATLAND PRODUCTS, INC. 400-200 TWO
CHANNEL AMPLIFIER, *PROTEA NE24.24 M MATRIX
PROCESSOR

LEGEND

- EXISTING MASONRY WALL
- EXISTING PARTITION
- NON RATED PARTITION
- 2HR. RATED PARTITION
- NON RATED PARTITION
W/SOUND INSULATION
- PARTITION TO BE REMOVED
- EXIST. CONCRETE COL.
- DOOR NUMBER
- ROOM NUMBER
- PARTITION TYPE
- SECTION MARK
- ELECTRICAL PANEL
- FIRE EXTINGUISHER
- FLOOR SINK
- FLOOR DRAIN



FOURTH LEVEL
PROPOSED FINISH PLAN
SCALE: 1/4" = 1'-0"



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES,
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- 08-06-13 OWNER REV: LIGHTING, SOUND & SECURITY SYSTEM
- 06-14-13 CITY COMMENTS: NEW POWDER ROOM
- 04-30-13 CITY COMMENTS: RECONFIGURATION TOILET WALL

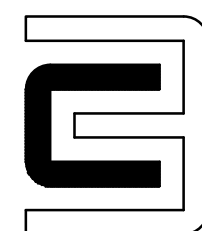
NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
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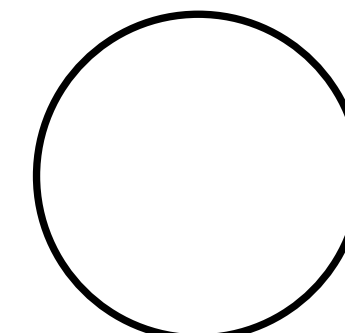
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LIGHTING FIXTURE SCHEDULE			
FXLT. TYPE	SYMBOL	AREA	FIXTURE DESCRIPTION/LAMP TYPE
E		EXIST. STORAGE ROOMS	FLUORESCENT LIGHT
E		1 LEVEL NORTH EXIT PATH	CEILING MOUNTED LIGHT FIXTURE
D01		2,3,4 LEVEL DINING TABLES	RECESSED TUNGSTEN HALOGEN DOWNLIGHT W/HONEYCOMB LOUVER & LINEAR SPREAD LENS ZERO LOAD ELECTRONIC TRANSFORMER BY LUCIFER LIGHTING 12V 30W 1076 MR16
D02		1 LEVEL LEVEL LOBBY	RECESSED LED MULTILAMP W/5 ADJUSTABLE DOUBLE GIMBALS W/DIMMABLE INTEGRAL CONTROL GEAR BY RSA LIGHTING 12V 8W 8'3000K LED
D03		1 LEVEL LEVEL CEILING	RECESSED LED FIXTURE W/ADJUSTABLE DOUBLE GIMBAL, HEX CELL LOUVER W/DIMMABLE INTEGRAL CONTROL GEAR BY RSA LIGHTING 12V 8W 8'3000K LED
D04		1 LEVEL RECEPTION DESK	SUSPENDED LED MULTILAMP W/3 ADJUSTABLE LAMP HOLDERS, ADJUSTABLE DOUBLE GIMBAL, HEX CELL LOUVER, NEW CON DIMMABLE REMOTE CONTROL GEAR BY RSA LIGHTING 12V 8W 8'3000K LED
D05		2,3,4 LEVEL BEHIND COURTAINS	RECESSED LED DOWNLIGHT, LOCKING SYSTEM, LINEAR SPREAD LENS W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY 1" EIGHT LIGHTING 12V 14.5W 12" X 80' 3000K LED
D06		2 LEVEL DISPLAY KITCHEN	RECESSED WALLWASHER FIXTURE W/ROCK REFLECTOR, HONEYCOMB LOUVER W/DIMMABLE INTEGRAL CONTROL GEAR BY LUCIFER LIGHTING 12V 25W 40" 2700K LED
D07		3,4 LEVEL TABLES	SUSPENDED MR16 FIXTURE W/3 ADJUSTABLE LAMP HOLDERS, ADJUSTABLE DOUBLE GIMBAL, HEX CELL LOUVER, DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY RSA LIGHTING 12V 35W 10'3" IR MR16 (OSRAM SYLVANIA REF. 58303)
D08A		2 LEVEL KITCHEN RESTROOMS	RECESSED LED FIXTURE, ADJUSTABLE VERTICALLY 40° & 36° HORIZONTAL ROTATION W/ LOCKING SYSTEM, HONEYCOMB LOUVER
D08B		2 LEVEL KITCHEN RESTROOMS	LINEAR SPREAD LENS & IC HOUSING W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY USA LIGHTING 12V 20W 2700K/3000 LED
D10		4 LEVEL TABLES	SUSPENDED MR16 FIXTURE W/2 ADJUSTABLE LAMP HOLDERS, LINEAR SPREAD LENS, HEX CELL LOUVER, W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY RSA LIGHTING 12V 35W 10'3" IR MR16 (OSRAM SYLVANIA REF. 58303)
EM01		3 LEVEL COLUMN	INDOOR/OUTDOOR EMERGENCY LIGHT DUALITE EML-PG-W
EM02		ALL LEVELS ALL AREAS	PHILIPS CHLORIDE RECESSED FUSION F1W1C
EM03		ALL LEVELS RESTROOMS	PHILIPS CHLORIDE RECESSED GIMBAL, RG SERIES
EX01		ALL LEVELS ALL AREAS	ISOLITE EXIT SIGN ELT-DM-R(FAC)-WH-3W-(ARROWS)-SD 120V LED
EX02		ALL LEVELS ALL AREAS	ISOLITE EXIT SIGN ELT-DM-R(FAC)-WH-3W-(ARROWS)-SD
EX03		ALL LEVELS STAIRS	DUALITE EMERGENCY/EXIT COMBO WITH SELF DIAGNOSTICS LUMIN-1, 2-OW MR16
FLO1		1-LEVEL EXTERIOR ENTRANCE	WIRED LOW VOLTAGE LED FLAMELESS CANDLE BY TOM DIXON W/POWER CONTROL BOX & POWER ADAPTOR
K01		2,3,4 LEVEL KITCHEN	METALUX 2'X4' GRID LENSED TROFFER 20C8-332A-UNV-E8B1-U 120V/F32T841K/91W
K02		2,3,4 LEVEL KITCHEN	METALUX 2'X4' GRID LENSED TROFFER 20C8-332A-UNV-E8B1-U 120V/F32T841K/91W, WITH BATTERY PACK
K03		2 LEVEL ELEVATOR ROOM	WALL MOUNT FLUORESCENT LIGHT FIXTURE WITH BATTERY PACK FOR EMERGENCY
L01		ALL LEVELS BEHIND CURTAINS	SURFACE MOUNTED LINEAR MEDIUM OUTPUT LED FIXTURE W/10' OPTIC W/DIMMABLE REMOTE CONTROL GEAR BY 10 LIGHTING 12V 17' 2700K LED MODULES-ANODIZED BLACK ALUM
L02		1,2,3 LEVEL CENTRAL COVES	SURFACE MOUNTED LINEAR LED TAPE W/120' LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOULTE INTERAL 2400K LED MODULES
L03		LOBBY & VIP COVES	SURFACE MOUNTED LINEAR RGB LED TAPE W/120' LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOULTE INTERAL 2400K LED MODULES
L04		WINE CELLAR NICHES & BAR	SURFACE MOUNTED LINEAR LED TAPE W/120' LIGHT BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOULTE INTERAL 2400K LED MODULES
L05		2 LEVEL COVES	SURFACE MOUNTED LINEAR FLUORESCENT FIXTURE-WHITE W/DIMMABLE INTEGRAL CONTROL GEAR BY BIRCHWOOD 50W 3000K T5 FLUORESCENT/28W 3000K T5 FLUORESCENT
L06		3 LEVEL BY NEW COUNTER	SURFACE MOUNTED LINEAR LED STRIP INTEGRAL 3000K LED MODULES
L07		2 LEVEL DISPLAY KITCHEN	SURFACE MOUNTED FLUORESCENT FIXTURE, FROSTED WHITE LENS W/DIMMABLE INTEGRAL ELECTRONIC CONTROL GEAR BY BIRCHWOOD 54W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 20903)
L10		4-LEVEL COVE & SKYLIGHT	SURFACE MOUNTED LINEAR LED TAPE W/120' LIGHT-BEAM DISTRIBUTION W/DIMMABLE REMOTE POWER SUPPLY BY ACOULTE INTERAL 2400K LED MODULES
L11		4-LEVEL BEHIND CURTAINS	SURFACE MOUNTED LINEAR LED FIXTURE-W/10' OPTIC W/DIMMABLE REMOTE CONTROL GEAR BY 10 LIGHTING 12V 17' 2700K LED MODULES-ANODIZED BLACK ALUMINUM
L12		BAR WALL	HIGH OUTPUT 2700K-10' LED MODULES-ANODIZED BLACK ALUMINUM
L13		4 LEVEL WINE COOLER	SURFACE MOUNTED LINEAR RED LED LOW PROFILE FIXTURE W/30' BY 60' OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS INTEGRAL RED LED MODULES
L14		4 LEVEL WINE COOLER	SURFACE MOUNTED LINEAR BLUE LED LOW PROFILE FIXTURE W/30' BY 60' OPTIC DATA & POWER CONTROL, W/DIMMABLE REMOTE CONTROL GEAR BY COLOR KINETICS INTEGRAL BLUE LED MODULES
L15A		3 LEVEL BAR BOXES	SURFACE MOUNTED LINEAR LED TAPE W/120' LIGHT BEAM DISTRIBUTION & DIMMABLE REMOTE POWER SUPPLY W/INTEGRAL 2400K LED MODULES BY ACOULTE
L16		2 LEVEL ROOF TOILET	SURFACE MOUNTED LINEAR FLUORESCENT FIXTURE W/INTEGRAL ELECTRONIC DIMMABLE BALLAST BY BIRCHWOOD 50W 3000K T5 FLUORESCENT (OSRAM SYLVANIA REF. 21070)
P01		2 LEVEL DINING TABLES	DECORATIVE PENDANT BY CIRCA ANTIQUES INCANDESCENT 40W
P02		2 LEVEL DINING TABLES	DECORATIVE PENDANT BY CIRCA ANTIQUES INCANDESCENT 80W
P03		2 LEVEL DINING TABLES	DECORATIVE PENDANT BY CIRCA ANTIQUES INCANDESCENT 20W
P04		4 LEVEL SKYLIGHT	DECORATIVE SHADE BY TOM DIXON
PRO1		4 LEVEL SKYLIGHT TRUSS	TRUSS MOUNTED HALOGEN PROJECTOR, FULLY ROTATABLE BANDOORS, HINGED TOP DOOR FOR RAMPING, LOUVER, LINEAR SPREAD LENS & INTEGRAL DMX DIMMABLE ELECTRONIC GEAR BY TIMES SQUARE LIGHTING
PRO2		4 LEVEL SKYLIGHT TRUSS	TRUSS MOUNTED RGBW LED PROJECTOR, ADJUSTABLE YOKE, 20, 40 & 60° DIFFUSERS, PUSH BUTTON ADDRESSING & INTEGRAL ELECTRONIC CONTROL GEAR BY TIMES SQUARE LIGHTING
T01		3 LEVEL TABLES	FREESTANDING STANDING POWERED TUNGSTEN HALOGEN TABLE LAMP W/INTEGRAL BATTERIES, DIMMER AND CHARGER, PROVIDED W/CHARGING TRAY SYSTEM BY HES2
T02		2 LEVEL METAL SEPARATIONS	FREESTANDING TABLE LAMP W/INTEGRAL DIMMER AND BIPOLAR POWER CORD C16.5 E26 LED 1W 2400K BY FLUX
TR01		4 LEVEL SKYLIGHT PERIMETER	STRUCTURAL TRUSS SYSTEM COMPOSED BY 2 SECTION W/INTEGRATED LIGHTING TRACK (2 CIRCUITS, DMX) TR01a TRUSS TRACK 3.28' SECTION, TR01b TRUSS TRACK 9.84' SECTION BY TIMES SQUARE LIGHTING
W01		2,3,4 LEVEL RESTROOM VANITY	SURFACE MOUNTED LINEAR T8 FLUORESCENT FIXTURE W/SHAP-PIF COVER, W/DIMMABLE INTEGRAL CONTROL GEAR BY NIPPO INTEGRAL T8 30W 2500K (NIPPO REF. 13112505128)
W02		2 LEVEL ENTRANCE RESTROOMS	WALL SCONCE W/GLASS COVER & E-26 LAMP BASE BY HOLLY NUT
W03		3 LEVEL LAT. WALLS KITCHEN	RECESSED LED STEP LIGHT W/SLOT APERTURE, SEALED LINEAR SPREAD LENS W/DIMMABLE REMOTE POWER SUPPLY BY LUCIFER LIGHTING 12V 3W LED 3000K
W04		3 LEVEL FRONT WALL KITCHEN	WALL MOUNTED PORCELAIN LAMP SOCKET W/E12 BASE TO RECEIVE LED REPLACEMENT LAMP BY 1" SOCKET
W05		1-2 LEVEL ELEVATOR WALL	WALL MOUNTED ALUMINUM 2 LAMP MR16 FIXTURE W/REMOTE TRANSFORMER 12V 10W 10' 2700K MR16 LED REPLACEMENT BY MODULAR INTERNATIONAL
F01		2 LEVEL DISPLAY KITCHEN	HARNES OF FIBER OPTIC FIBRE-METAL HALIDE ILLUMINATOR INTEGRAL ELECTRONIC BALLAST FOR 220V BY UNIVERSAL FIBER OPTIC 20W COM-T119 G12 BASE 3000K
N		1 LEVEL NORTH EXIT PATH	WALL MOUNTED SCONCES TO PROVIDE 1 FT. CANDLE MIN.

NOTE: FOR DIMMER CONTROLS FOLLOW ID LIGHTING PLAN

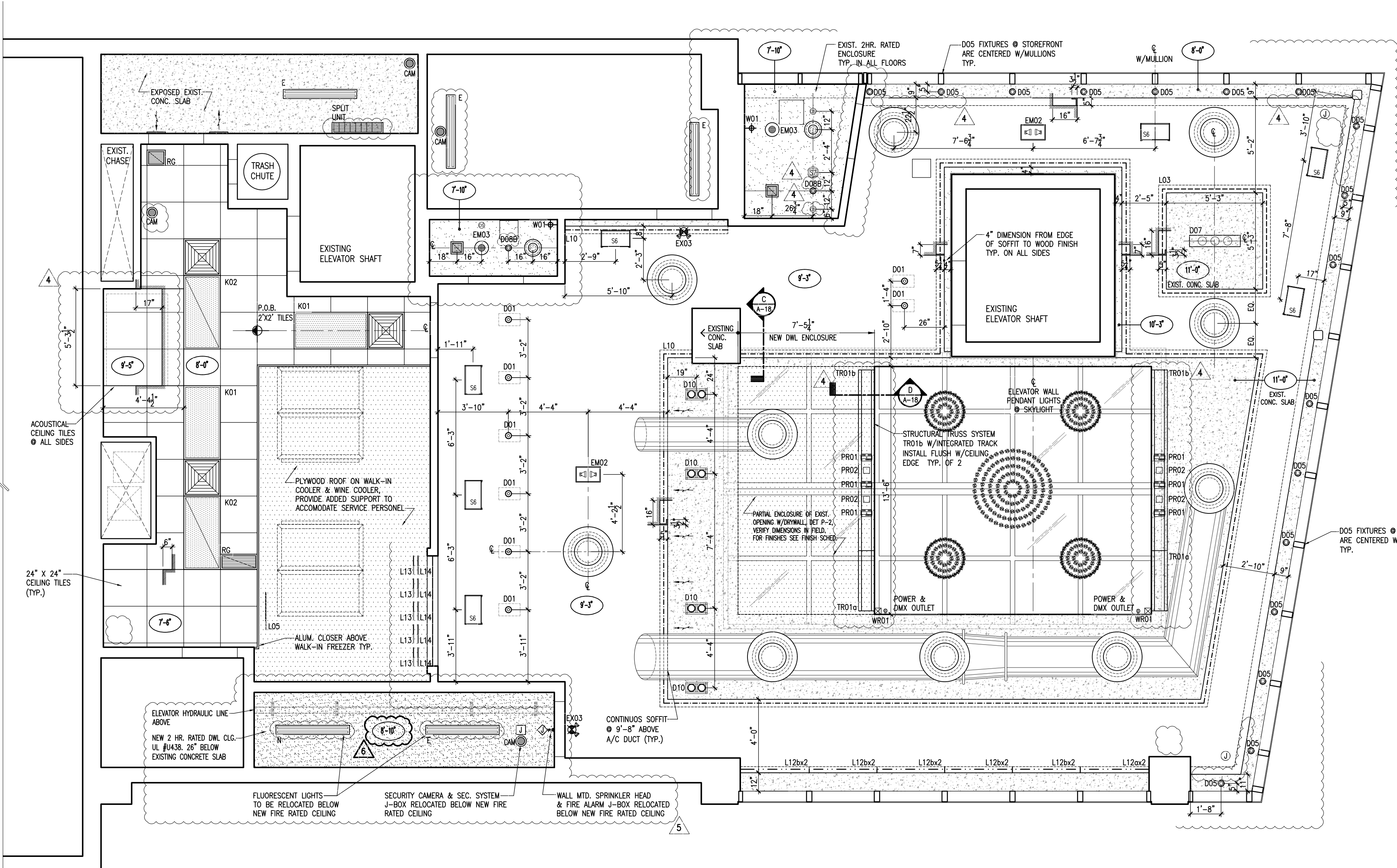
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- AC255: LF / SUBWOOFER SYSTEM LOUD SPEAKER DM: 24H X 3.5W X 24D
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- KEYPAD: REMOTE CONTROL SYSTEM
- DA-LITE AUTOMATIC ELEC. PROJECT. SCREEN
- DOVE SURVEILLANCE VANDAL PROOF DOVE CAMERA 128°-300H30/CR-300H30 SONY
- DOOR CLOSER
- ALARM KEYPAD
- ACCESS POINT
- NETWORK ROUTER
- SECURITY CONTROL
- MICROPHONE
- *TRACK @ LEVEL 4-OFFICE 16 GA GANGLABLE ENCLOSURE 5-SYMBOL ATLANTIC PRODUCTS, INC-NCR-2000 TWO CHANNEL AMPLIFIER, PROTEA NECA 2X4 W/ MTRIO PROCESSOR

LEGEND CEILING

- CFL: CENTER LINE
- FAL: FIRE ALARM
- CEH: CEILING HEIGHT
- PBG: POINT OF BEGINNING FOR CLG TILE LAYOUT
- SPH: SPRINKLER HEAD
- SD: SMOKE DETECTOR
- J-B: J-BOX
- RA: RETURN AIR GRILL
- SA: SUPPLY AIR DIFFUSER
- RD: ROUND AIR DIFFUSER
- DC: DRYWALL CEILING
- MC: METAL CEILING PANELS
- EC: EXIST. EXPOSED CONCRETE SLAB
- AC: ACOUSTICAL CEILING TILES



FOURTH LEVEL
REFLECTED CEILING PLAN
SCALE: 1/4"= 1'-0"

- 12-18-13 BUILDING COMMENT: SHOW CEILING HEIGHT
- 12-18-13 FIRE MARSHALL COMMENT: NEW 2HR. DWL. CEILING RELOCATE ALL EXIST. DEVICES AND FIXTURES BELOW NEW CLG.
- 11-05-13 OWNER CHANGES: REVISED LIGHTING
- 08-06-13 OWNER REV. LIGHTING, SOUND & SECURITY SYSTEM EMERGENCY AND EXIT SIGNS, EXISTING AND NEW FIXTURES @ EXIST.STAIRS
- 06-14-13 CITY COMMENTS: NEW POWDER ROOM REVISED LIGHTING LAYOUT
- 04-30-13 CITY COMMENTS: RECONFIGURATION TOILET WALL

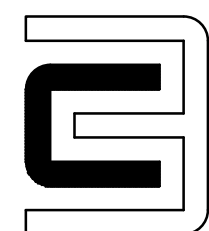
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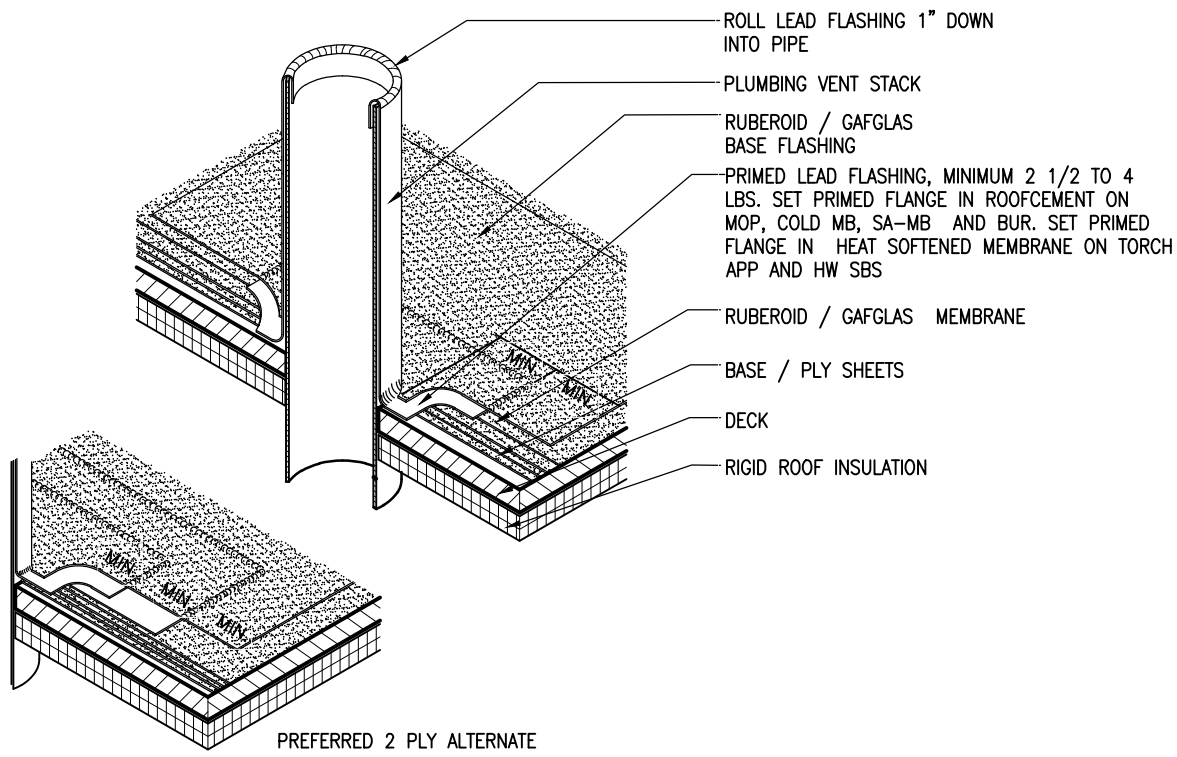
A-16
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STRUCTURAL NOTES

1. Wind Loads:
Basic Wind Speed (3-Second gust) = 175 mph.
Exposure Category = D
Design wind pressures for main wind force resisting system in accordance with ASCE 7-10, Chapter 27.
Design wind pressures on components and cladding in accordance with ASCE 7-10, Chapter 30.
2. Service wind pressures used in the design of components and cladding are shown in the following table:

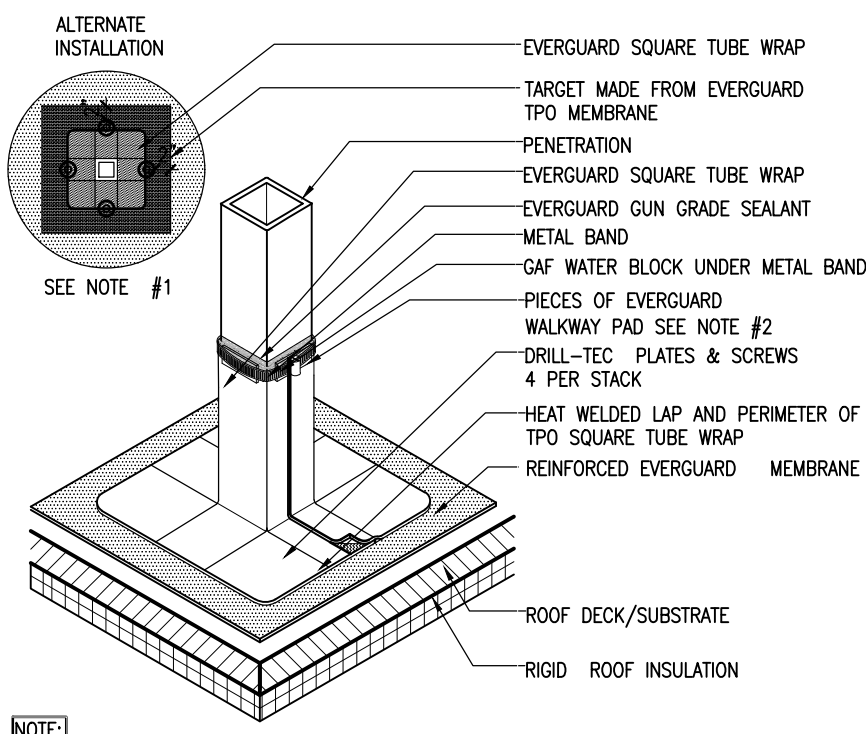
CLADD		TRIBUTA	Y WIND LOAD
G	TYPE	AREA (sq. ft.)	(psf)
Roof	Interior	10	+24.4/-59.9
Roof	Interior	20	+22.8/-58.4
Roof	Interior	50	+20.8/-56.4
Roof	Interior	100	+19.3/-54.9
Roof	Edge	10	+24.4/-100.6
Roof	Edge	20	+22.8/-89.9
Roof	Edge	50	+20.8/-75.7
Roof	Edge	100	+19.3/-65.0
Roof	Corner	10	+24.4/-151.3
Roof	Corner	20	+22.8/-125.4
Roof	Corner	50	+20.8/-91.0
Roof	Corner	100	+19.3/-65.0

- a. Edge strip = 4.5 ft.
b. Corner width = 9 ft.
c. Design pressure for components and cladding shall not be less than 10 PSF acting in either direction normal to the surface.
d. Values in the table above are service pressures and no further reductions are permitted.



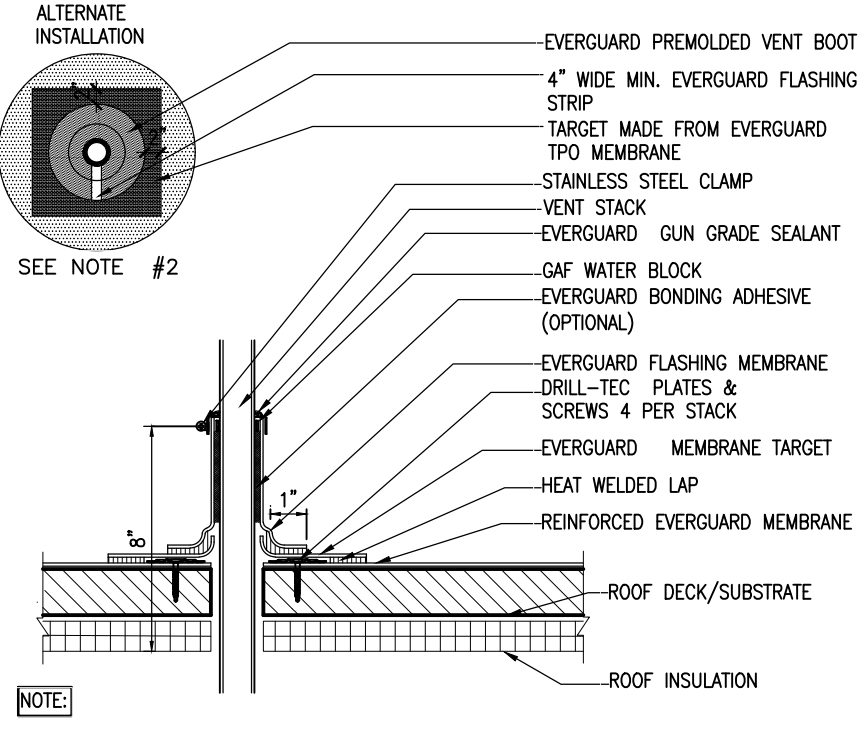
- NOTE:
1. SHEET LEAD MINIMUM OF 2-1/2 POUNDS PER SQUARE FOOT.
2. MINIMUM 18" CLEARANCE FROM PIPES, WALLS AND CURBS.
3. FOR HEATWELD OR TORCH APPLIED RUBEROID MB, TORCH THE AREA OF RUBEROID MB OVER WHICH THE METAL IS TO BE PLACED TO A MOLTEN STATE, PRESS THE PRIMED FLANGE INTO THE MODIFIED BITUMEN WHILE IT IS STILL MOLTEN.

VENT STACK FLASHING



- NOTE:
1. IF THE PLATES AND FASTENERS INTRUDE INTO BOOT FLANGE AREA, THEN A TARGET MUST FIRST BE INSTALLED OVER PLATES AND FASTENERS BEFORE BOOT INSTALLATION.
2. IF A TIGHTER FIT IS REQUIRED AT THE TOP OF THE WRAP, INSERT SLIVERS OF WALKWAY PAD BETWEEN THE BAND AND THE MEMBRANE ON ALL FOUR SIDES.
3. APPLY EVERGUARD TPO CUT EDGE SEALANT TO ALL CUT REINFORCED TPO EDGES (REFER TO DETAIL MA/FA/BA 115).

SQUARE TUBE WRAP



- NOTE:
1. IF TARGET MEMBRANE MUST BE SPLIT TO FIT AROUND STACK, A MIN. 4" WIDE EVERGUARD FLASHING STRIP MUST BE HEAT WELDED OVER SPLIT.
2. IF THE PLATES AND FASTENERS INTRUDE INTO BOOT FLANGE AREA, THEN A TARGET MUST FIRST BE INSTALLED OVER PLATES AND FASTENERS BEFORE BOOT INSTALLATION.
3. APPLY HEAT TO UNREINFORCED FLASHING AND FORM BY HAND PRIOR TO HOT AIR WELDING.
4. APPLY EVERGUARD TPO AND PVC CUT EDGE SEALANT TO ALL CUT REINFORCED TPO AND PVC EDGES (REFER TO DETAIL MA/FA/BA 115).

PENETRATION FLASHING

FLASHING DETAILS
NTS

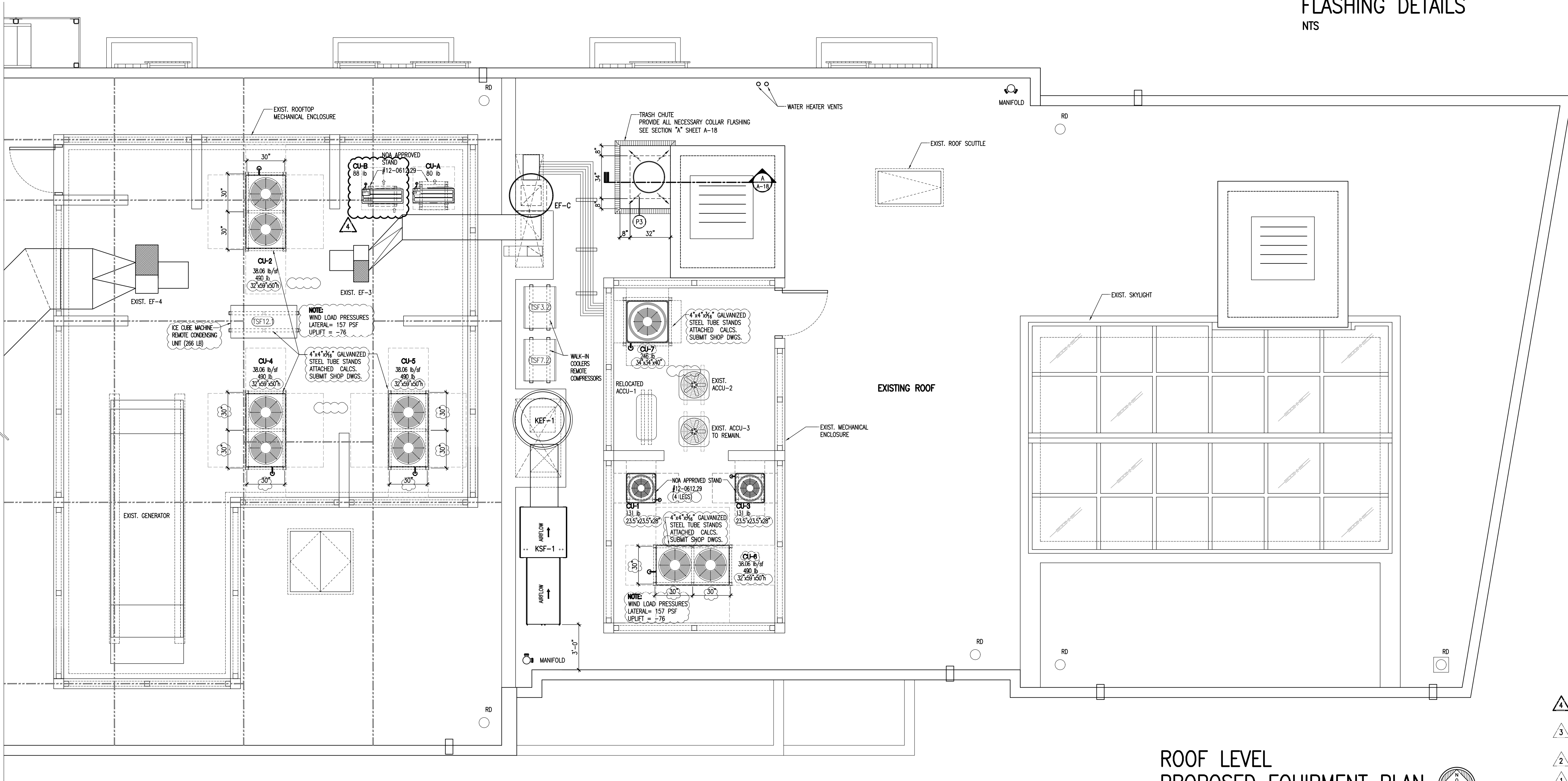
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MICROPHONE

*TRACK @ LEVEL 4-OFFICE 16 GA GANDABLE ENCLOSURE
5-STIMBLE ATLANTIC PRODUCTS, MC-M3B-2000 TWO
CHANNEL AMPLIFIER, *PROTEA HE24.24 M MATRIX
PROCESSOR

LEGEND

- EXISTING MASONRY WALL
EXISTING PARTITION
NON RATED PARTITION
2HR. RATED PARTITION
NON RATED PARTITION
W/SOUND INSULATION
PARTITION TO BE REMOVED
EXIST. CONCRETE COL.
DOOR NUMBER
ROOM NUMBER
PARTITION TYPE
SECTION MARK
ELECTRICAL PANEL
FIRE EXTINGUISHER
FLOOR SINK
FLOOR DRAIN



ROOF LEVEL
PROPOSED EQUIPMENT PLAN

SCALE: 1/4"= 1'-0"

NOTE:
SUBMIT SHOP DWGS. FOR STEEL TUBE STANDS
FOR CU-2, CU-4, CU-5, CU-6, CU-7

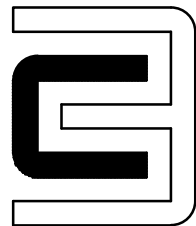
- 11-05-13 OWNER CHANGES: NEW CU UNIT AT ROOF
NEW SPLIT UNIT INSIDE STORAGE ROOM @ 4TH LEVEL
08-06-13 OWNER CHANGES: GENERAL REVISION OF EQUIPMENT
REVISED LIGHTING, SOUND & SECURITY SYSTEM
06-14-13 CITY COMMENTS: WIND LOAD PRESSURE
04-30-13 CITY COMMENTS:
STRUCTURAL NOTES, CU UNITS INFORMATION
NOTE:
EXISTING ELEVATOR CALL BUTTONS TO BE
RELOCATED ON NEW WALL WOOD CLADDING FINISH

ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
ISSUED FOR CONSTRUCTION

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NEW RESTAURANT FOR:
CHI SEAFOOD, LLC
1826 COLLINS AVE.

Miami Beach, FL. 33139



CHARLES H. BENSON & ASSOCIATES ARCHITECTS, P.A.
architect planner interiors
1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

DRAWN BY

Lilian R. Paez C.

SCALE

AS SHOWN

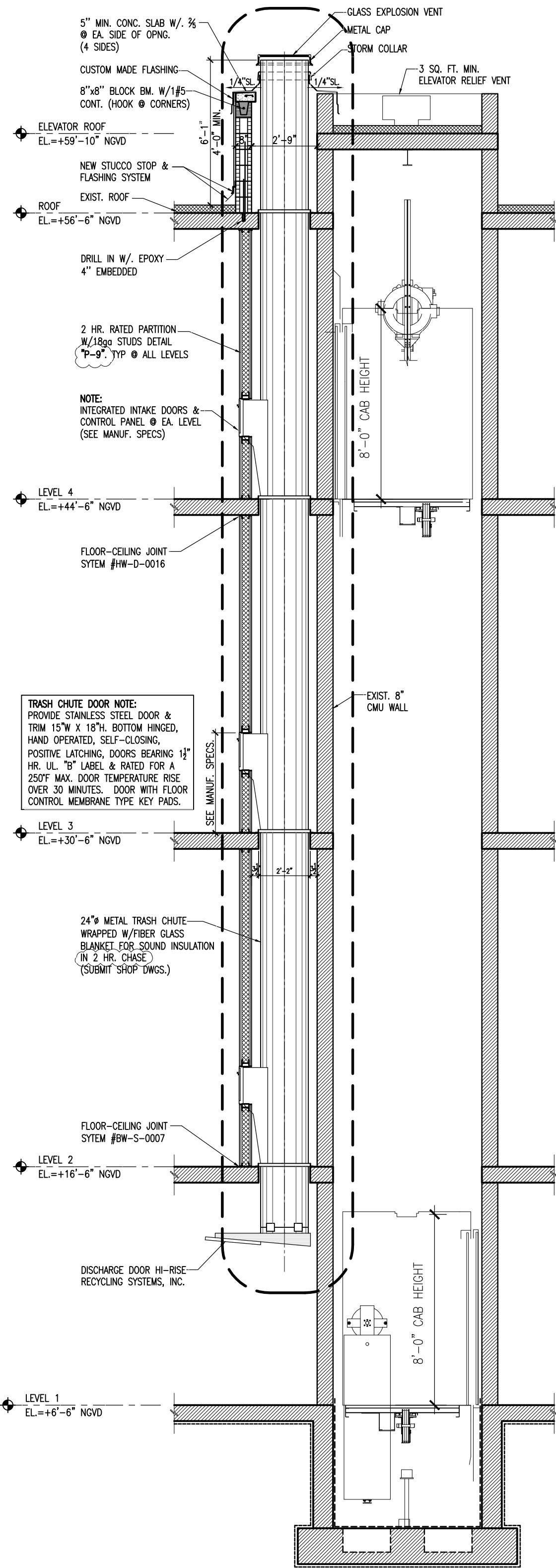
DATE

2-18-2013

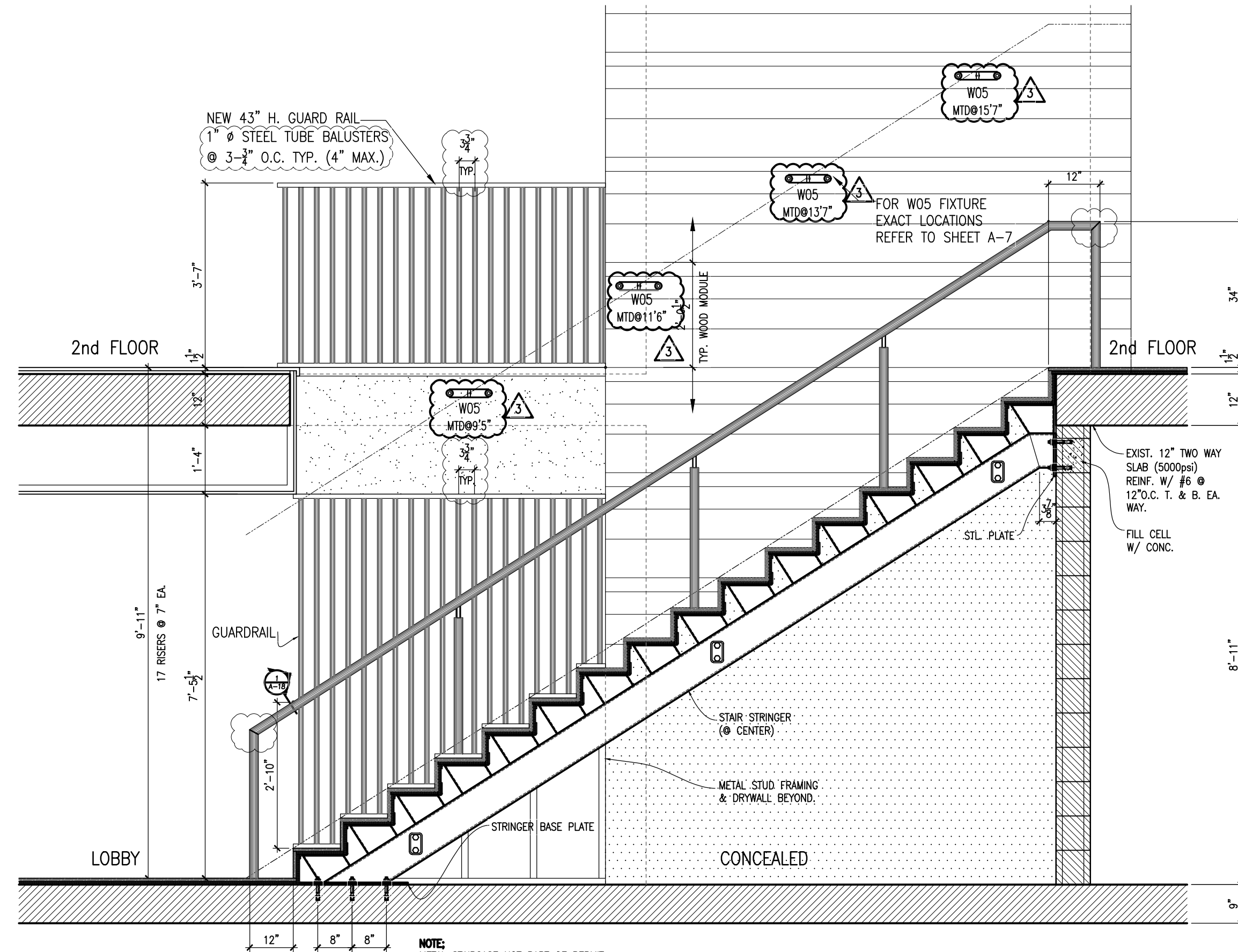
PROJECT NUMBER

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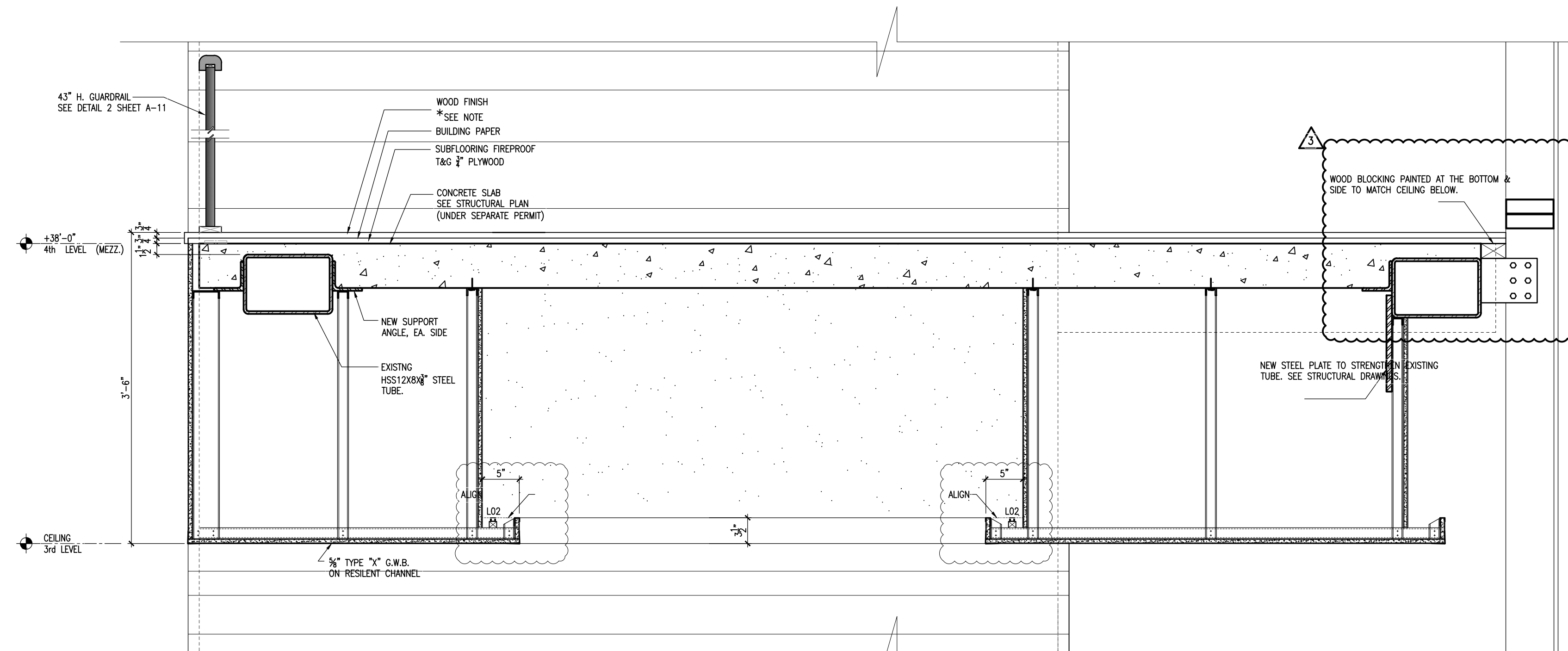
A-17
OF
21



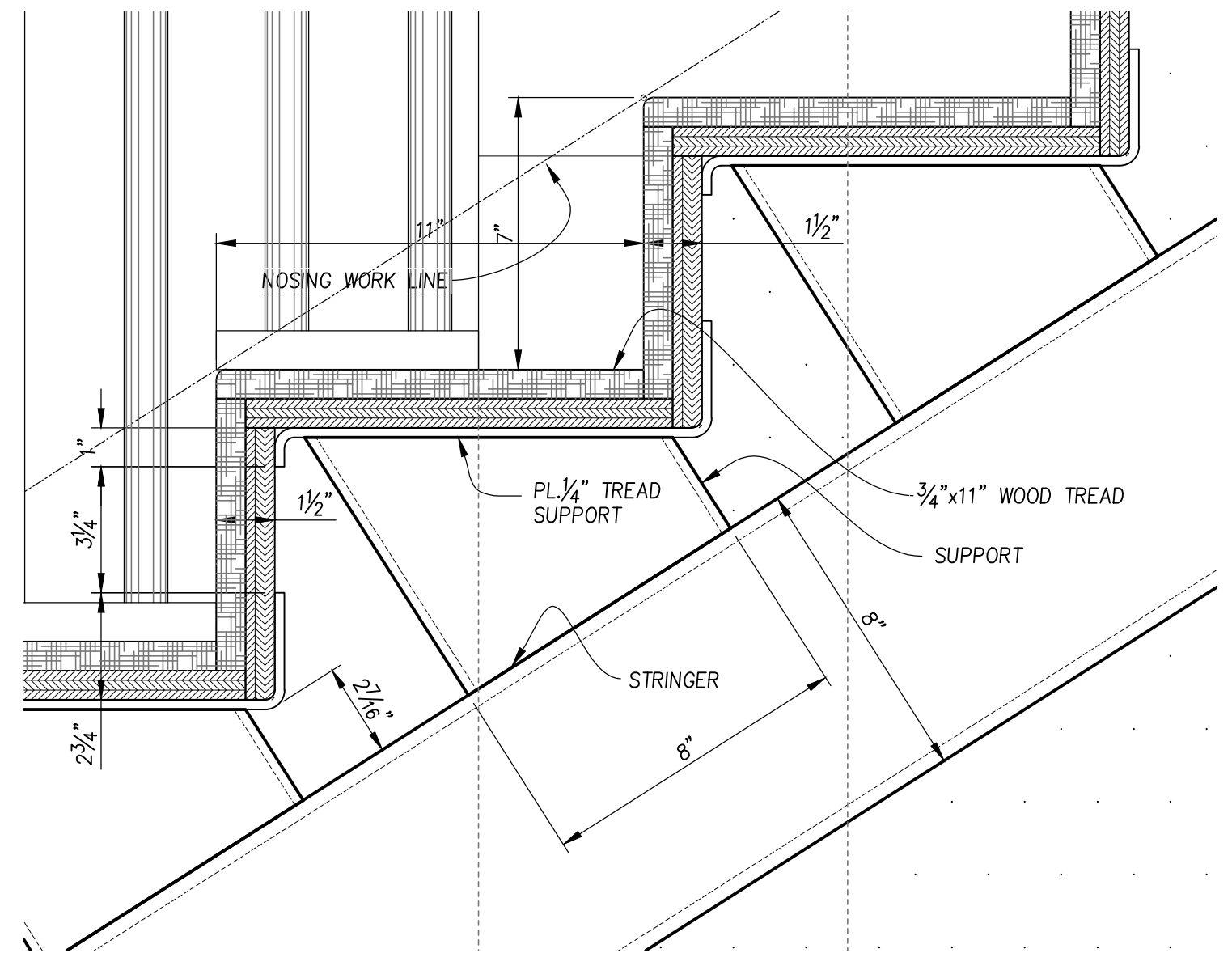
SECTION A
SCALE: 1/4"= 1'-0"



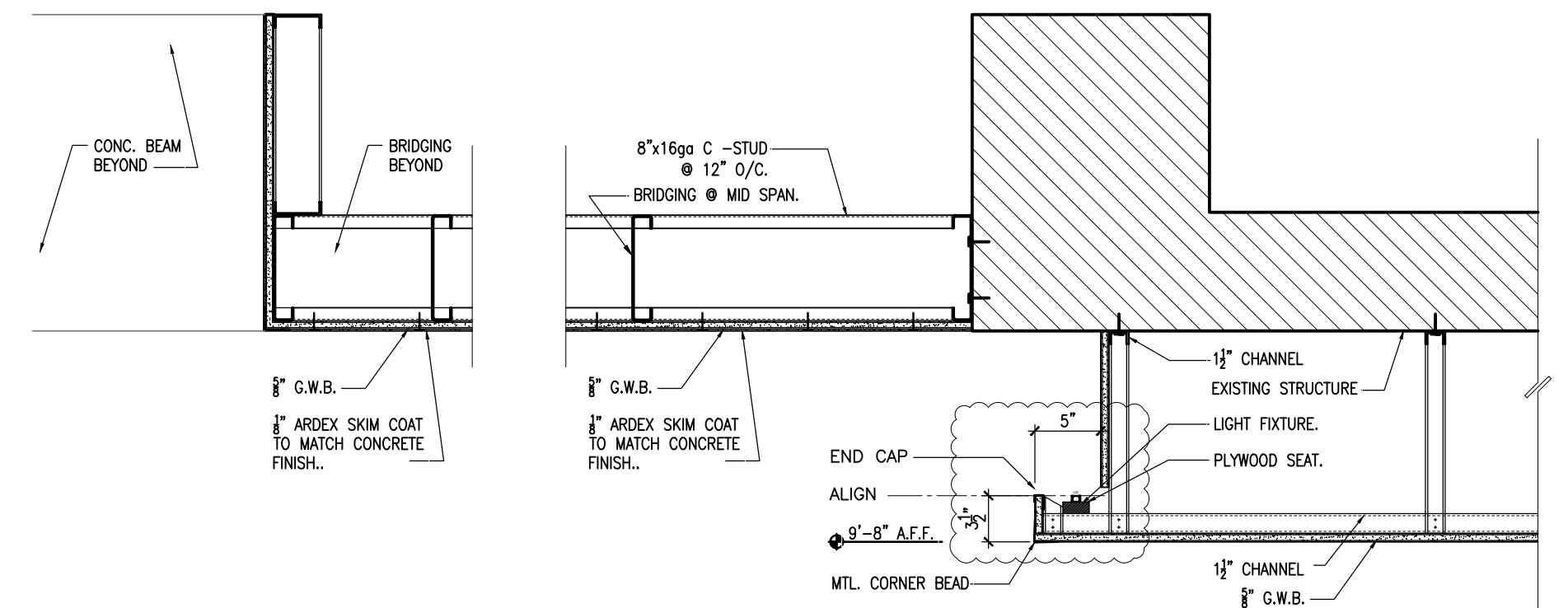
SECTION B
SCALE: 1/2"= 1'-0"



SECTION E
SCALE: 1"= 1'-0"

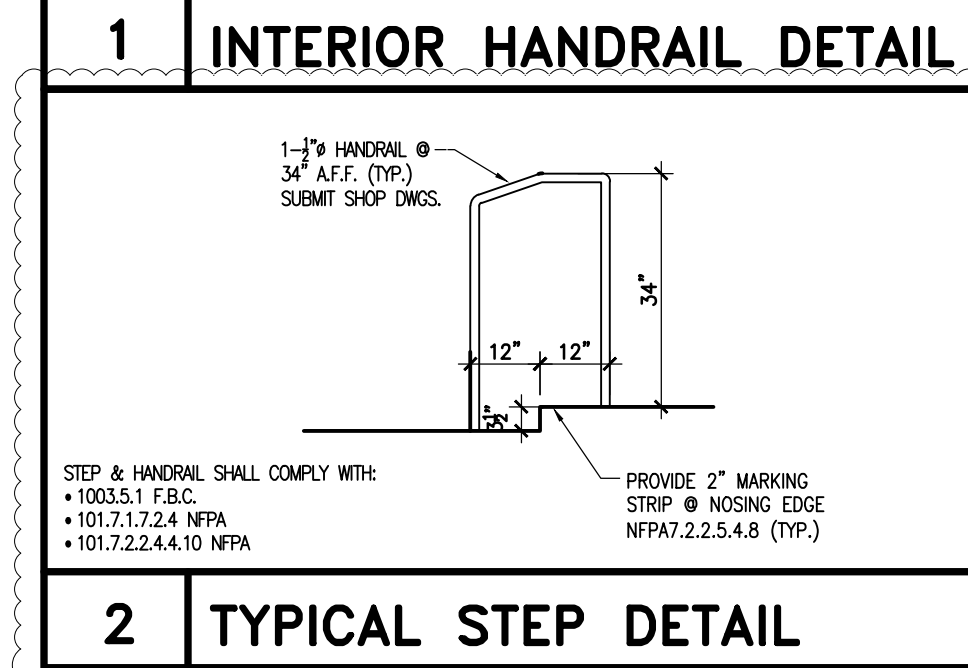
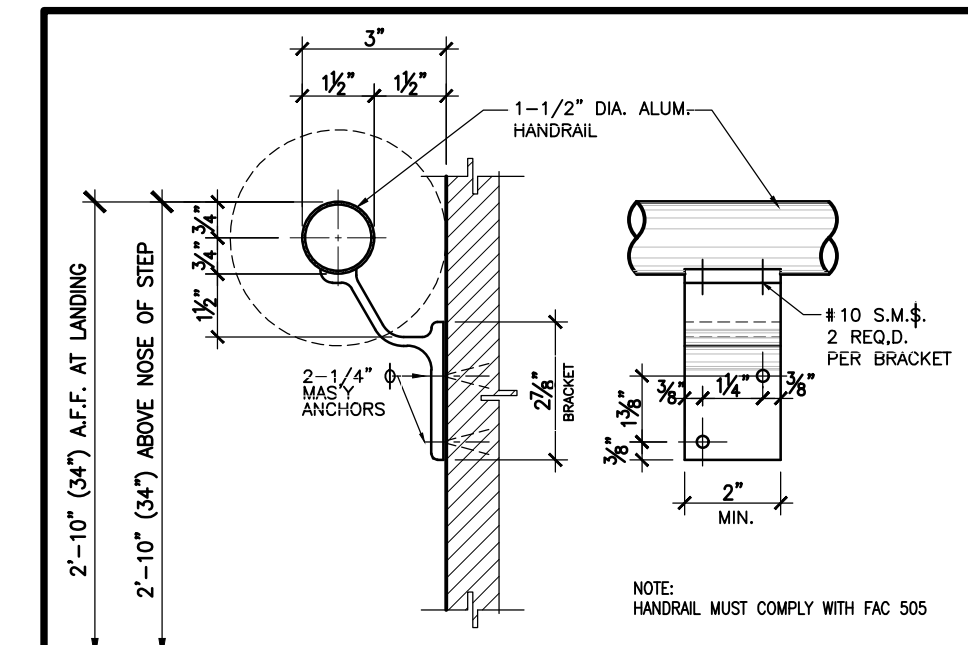


TREAD-RISER DETAIL 1
SCALE: 3"= 1'-0"



SECTION C
SCALE: 1"= 1'-0"

SECTION D
SCALE: 1"= 1'-0"



NOTE:
ALL NEW WOOD TO BE INHERENTLY FIRE RETARDANT.

- 11-05-13 OWNER CHANGES: REVISED LIGHTING
- 06-14-13 CITY COMMENTS: BALUSTER SEPARATION SECTION "B"
- TRASH CHUTE 2 HR. CHASE DET. "P-9" SHEET A-20
- 04-30-13 CITY COMMENTS: HANDRAILS @ TOP & BOTTOM HANDRAIL DET., STRUCTURAL NOTES ELIMINATED

ISSUED FOR PERMIT 2-18-2013
ISSUED FOR BIDDING 2-18-2013
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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE PROCEEDING WITH WORK. IF ANY DISCREPANCIES, ERRORS OR OMISSIONS SHOULD BE ENCOUNTERED ON PLANS, CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE ANY PART OF THE WORK IS STARTED, SO THAT PROPER CORRECTIONS BE MADE. IF ARCHITECT IS NOT NOTIFIED PRIOR TO COMMENCING OF THE WORK, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DISCREPANCIES, ERRORS OR OMISSIONS.

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1665 WASHINGTON AVE. 2nd. FLOOR MIAMI BEACH, FLORIDA 33139 Ph: 305-532-6161 * Fax: 305-532-6151
ARCHITECTURE LICENCE # AR14022 NCARB CERTIFICATE # 42,136

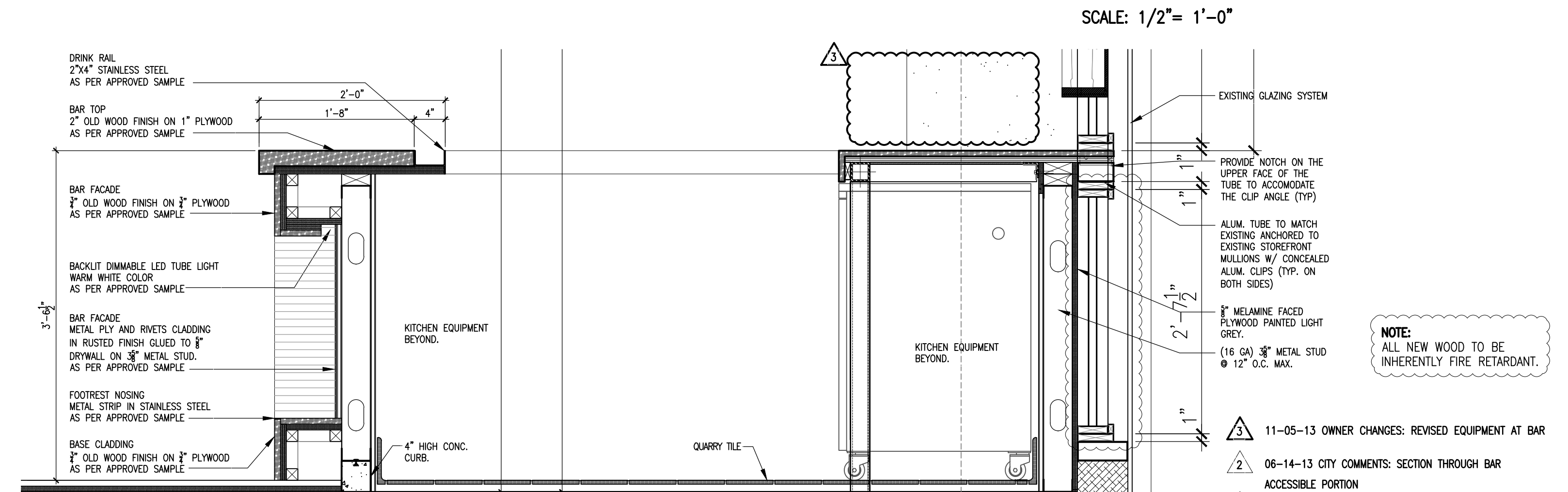
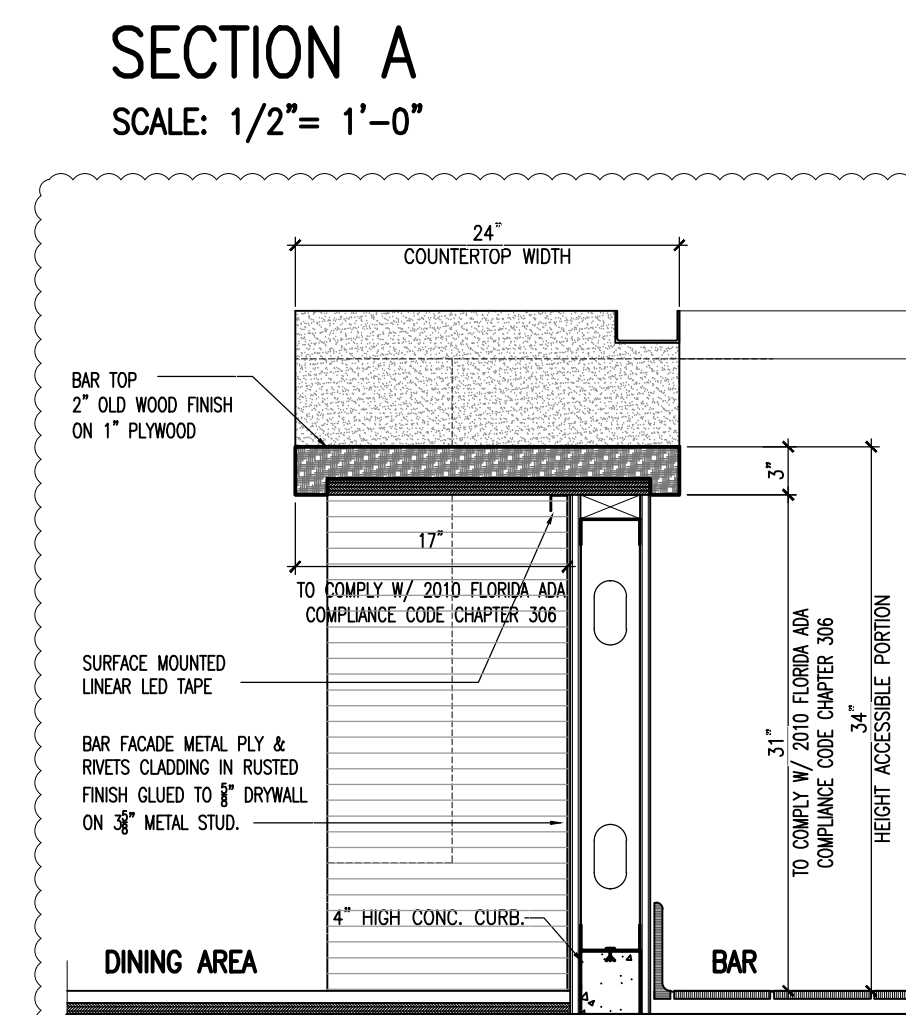
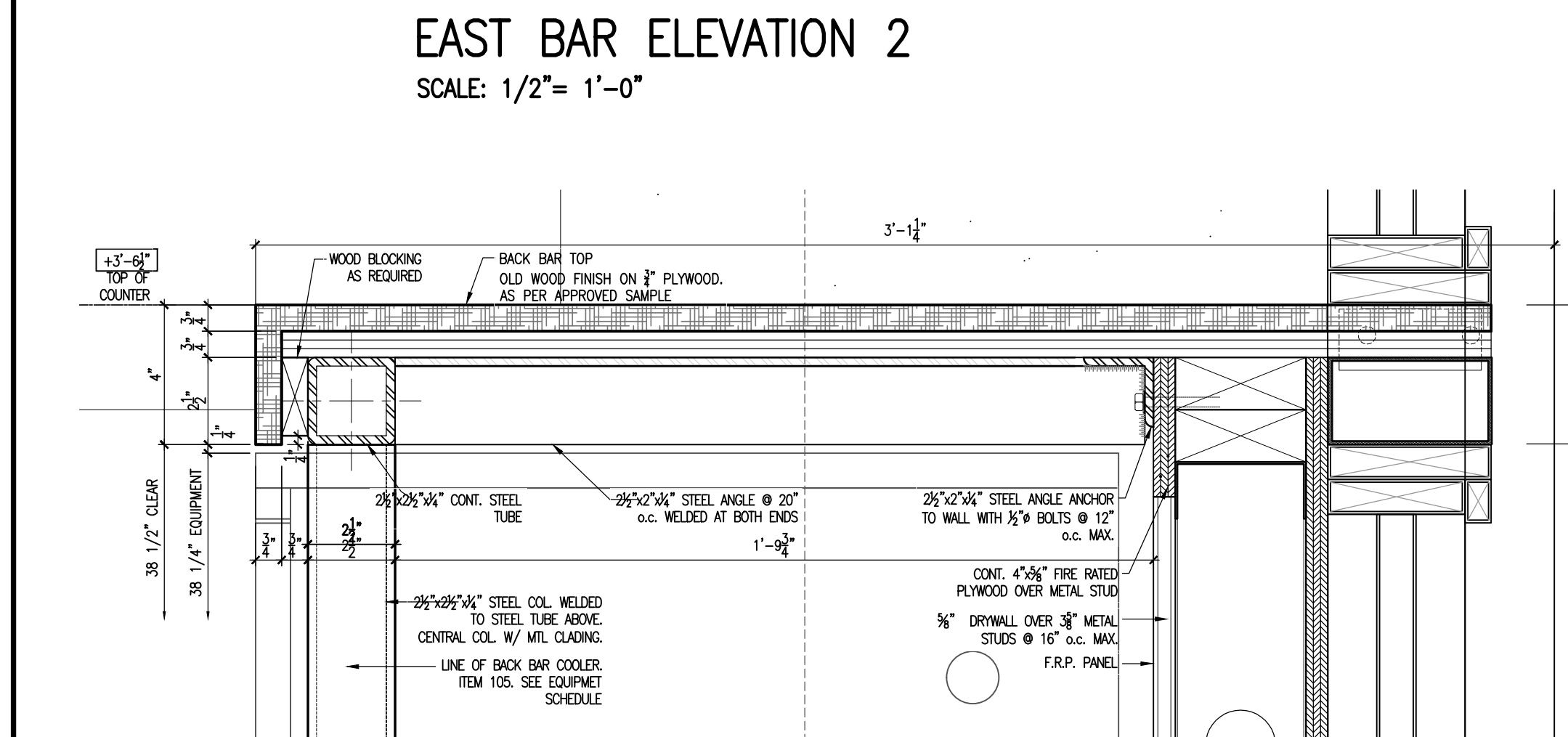
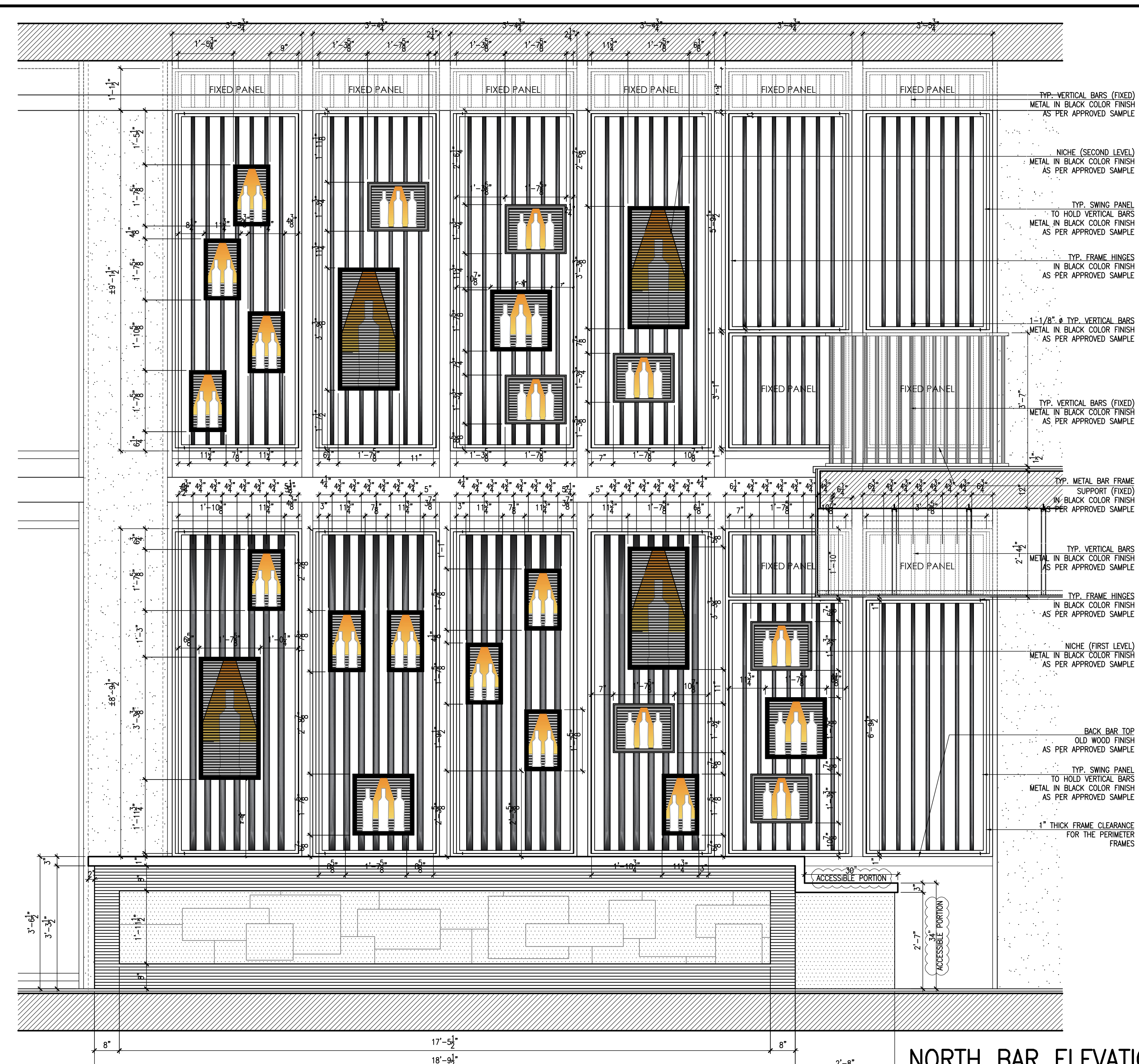
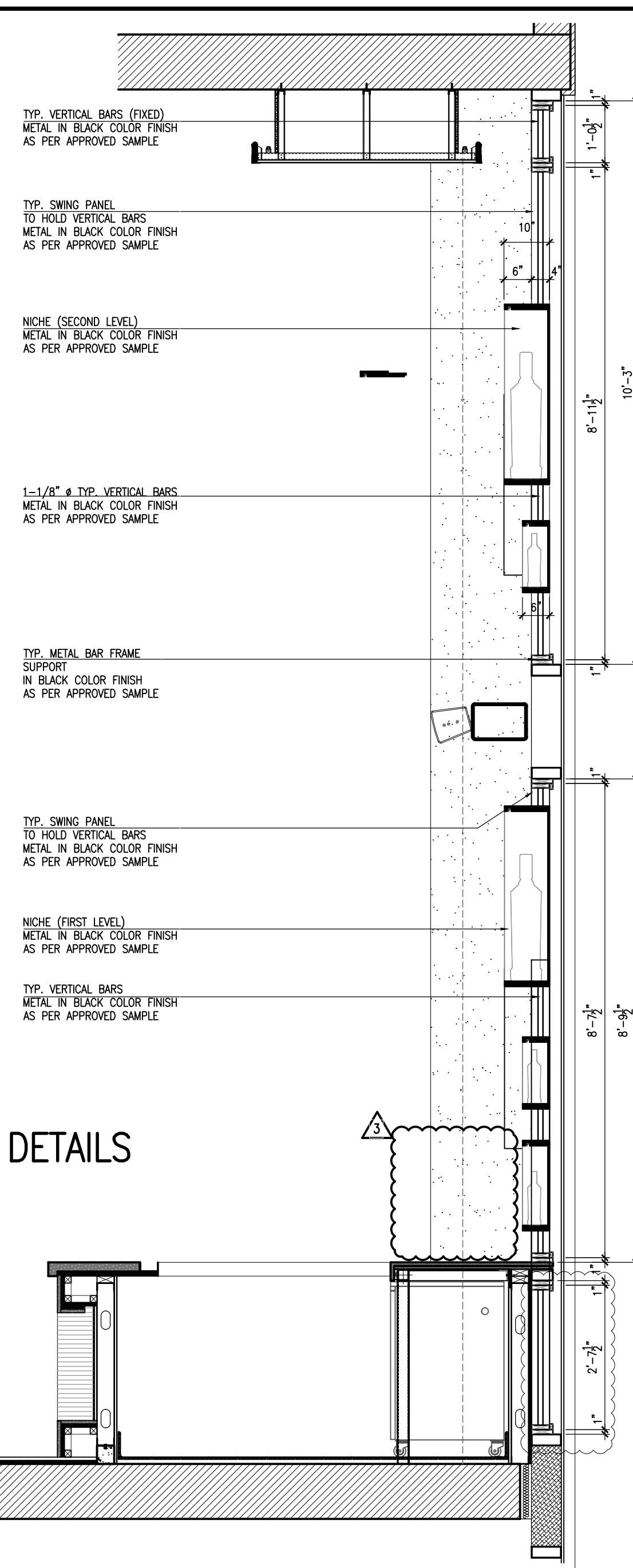
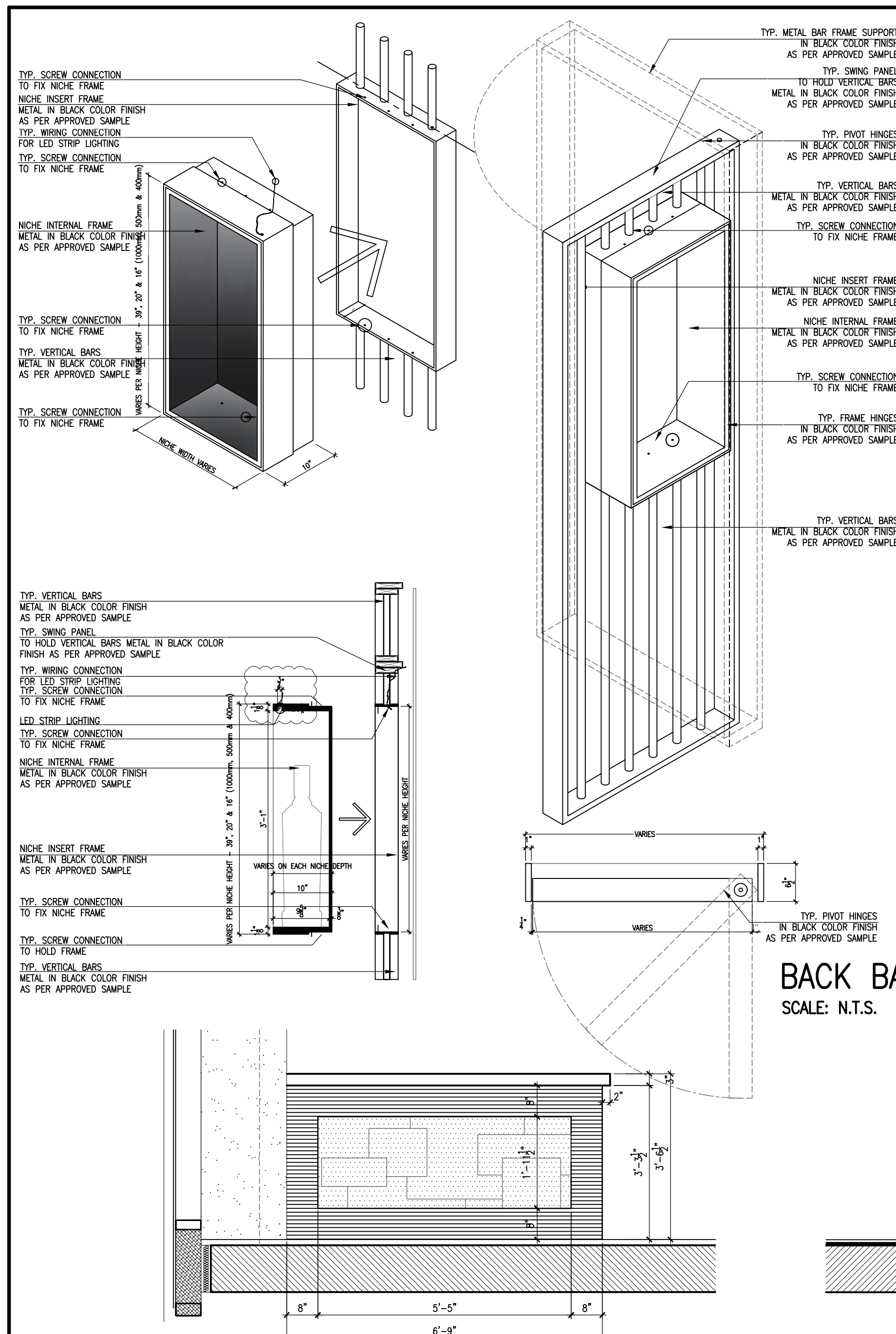
DRAWN BY
Lilian R. Paez C.

SCALE
AS SHOWN

DATE
2-18-2013

PROJECT NUMBER
21214

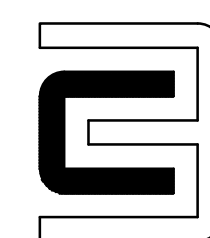
A-18
OF
21



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D R A W N B Y
Lilian R. Paez C.

SCALE
AS SHOWN

DATE
2-18-2013

PROJECT	NUMBER
21214	

A-19
OF
21

ISSUED FOR PERMIT _____ 2-18-2013
ISSUED FOR BIDDING _____ 2-18-2013
ISSUED FOR CONSTRUCTION _____

3 11-05-13 OWNER CHANGES: REVISED EQUIPMENT AT BAR

2 06-14-13 CITY COMMENTS: SECTION THROUGH BAR
ACCESSIBLE PORTION




1 04-30-13 CITY COMMENTS: HANDRAILS @ TOP & BOTTOM
HANDRAIL DET. STRUCTURAL NOTES ELIMINATED

NOTE:
ALL NEW WOOD TO BE
INHERENTLY FIRE RETARDANT.

DOOR GENERAL NOTES										HARDWARE NOTES	DOOR TYPES	DOOR SCHEDULE																																																																																																																																																																																																																																				
<p>1. THE CLEAR OPENING AT SWINGING DOORS SHALL BE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES.</p> <p>2. ALL RATED DOORS SHALL BE EQUIPPED W/SELF CLOSING DEVICES & SHALL COMPLY W/NFPA 80.</p> <p>3. ALL "B" LABEL DOORS SHALL NOT EXCEED 450°F ON THE UNEXPOSED SIDE FOR STANDARD FIRE TESTING. DOOR FRAMES FOR "B" LABEL RATED DOORS SHALL BE FILLED WITH GROUT.</p> <p>4. ALL EMERGENCY EGRESS DOORS AT STAIRS & IN PATH OF EGRESS SHALL BE EQUIPPED W/PANIC TYPE HARDWARE AS NOTED ON SCHEDULE. ALL RATED DOORS SHALL PROPERLY SEAL AGAINST FRAME WHEN CLOSED.</p> <p>5. ALL EXTERIOR WALL DOORS SHALL HAVE WEATHERPROOFING, ALL HOLLOW METAL DOORS SEPARATING AIR CONDITIONED SPACES FROM NON-CONDITIONED SPACES SHALL BE INSULATED. ALL EXTERIOR HOLLOW METAL DOORS & FRAMES ARE 16 GA. GALV. W/WELDED SOLID EDGES. EXPOSED DOORS FLUSH WITH WALL ABOVE SHALL HAVE GALV. RAIN HOODS.</p> <p>6. ALL HANDICAP ACCESSIBLE DOORS, & DOORS THAT ARE PART OF AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH ONE HAND & ACCEPTABLE TO THE PHYSICALLY HANDICAPPED UNDER THE ADA OR OTHER CODE REQUIREMENTS. SUCH MECHANISMS SHALL BE "U" SHAPED HANDLES, PULLS OR LEVER OPERATED LATCHES, LOCKSETS, ETC.</p> <p>7. ALL DOORS SHALL COMPLY WITH FLORIDA FIRE PREVENTION CODE & NFPA 101 FOR LOCKS, LATCHES & ALARM DEVICES WHERE REQUIRED.</p> <p>8. ALL DOORS, SETTING OF FRAMES & DOORS HEIGHTS ARE BASED ON THE CONCRETE SLABS AS THE FINISH FLOOR. THE ADDITION OF FINISH FLOOR MATERIALS AS PER INTERIOR DESIGNER AND/OR UNIT OWNERS MAY REQUIRE FIELD ADJUSTMENTS AND/OR UNDERCUTTING OF DOORS. SIZE OF HOLLOW METAL DOOR'S UNDERCUT MUST BE ASCERTAINED BY MANUFACTURER'S SHOP DRAWINGS INSTEAD OF AT THE FIELD.</p>										<p>9. FOR THRESHOLDS @ COMMON AREA DOORS, REFER TO SCHEDULE. IN NO CASE SHALL THRESHOLDS ON AN ACCESSIBLE ROUTE EXCEED 1/2" IN HEIGHT. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES MORE THAN 1/4" AT DOORWAYS SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2.</p> <p>10. THE ELEVATION OF THE FLOOR SURFACES ON BOTH SIDES OF A DOOR SHALL NOT VARY BY MORE THAN 1/8". THE ELEVATION SHALL BE MAINTAINED ON BOTH SIDES OF THE DOORWAY FOR A DISTANCE AT LEAST EQUAL TO THE WIDTH OF THE WIDEST LEAF.</p> <p>11. PROVIDE MASTER KEYING FOR ALL COMMON AREA DOORS. KEYS FOR TRANSFORMER VAULT SHALL BE HELD BY FPL. REFER TO FINISH HARDWARE SPEC'S FOR ENTIRE CONSTRUCTION PHASE & FINAL MASTER KEYING.</p> <p>12. N/A.</p> <p>13. PROVIDE .32" MIN. CLEAR OPENING FOR ALL DOORS (INCLUDING SHOWER OPENINGS) CLOSET DOORS NOT INCLUDED.</p> <p>14. ANY DOOR IN ANY MEANS OF EGRESS PATH SHALL COMPLY WITH FBC 1012.1.2 FOR REQUIRED FORCE TO OPEN. A 15LB (67 N) FORCE SHALL RELEASE A LATCH. A 30LB (133 N) FORCE SHALL SET DOOR IN MOTION. A 15LB (67 N) FORCE SHALL SWING DOOR FULLY OPEN.</p> <p>15. SELF-CLOSING DOORS AT STAIRS MUST CLOSE AND FULLY LATCH FROM ANY OPEN POSITION WHEN RELEASED.</p>										<p>HANDLES, PULLS, LATCHES, LOCKSET & OTHER OPERATING MECHANISMS AT ENTRANCE DOORS, RESTROOM & TOILET ROOM DOORS & OTHER DOORS WHICH ARE PART OF AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE RIST.</p> <p>ALL DOORS SHALL BE OPERATED BY A SINGLE EFFORT:</p> <p>EXTERIOR SWINGING DOORS: NO REQUIREMENT FOR OPENING FORCE AT THIS TIME</p> <p>INTERIOR SIDE-HINGED/PIVOTED-SWINGING DOORS: SHALL BE OPERABLE BY A FORCE OF NOT MORE THAN 5 lbf</p> <p>SLIDING OR FOLDING DOORS:SHALL BE OPERABLE BY A FORCE OF NOT MORE THAN 5 lbf</p> <p>EXIT HARDWARE: ALL EXITS SHALL BE OPERABLE FROM THE INTERIOR OF TENANT SPACE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE. NO MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS SHALL BE USED</p>	<div><div></div><div></div></div> <div><div>A</div><div>B</div></div>	<table><tr><th colspan="2">DOOR</th><th colspan="3">CORE MATERIAL</th><th rowspan="2">FIRE RATING</th><th colspan="2">FRAME</th><th colspan="2">THRESHOLD</th><th rowspan="2">CLOSER</th><th rowspan="2">FINISH CODE</th><th rowspan="2">LOCATION</th><th rowspan="2">REMARKS</th></tr><tr><th>No.</th><th>PR</th><th>W</th><th>H</th><th>TH</th><th>TYPE</th><th>MATL.</th><th>TYPE</th><th>MATL.</th></tr><tr><td>51-1</td><td>52-1</td><td>3'-0"</td><td>7'-0"</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>EXIST. STAIRS #1#2 GROUND LEVEL</td><td>HARDWARE HDW SET 5 (FROM MASTER PERMIT)</td></tr><tr><td>51-2</td><td>52-2</td><td>3'-0"</td><td>7'-0"</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>EXIST. STAIRS #1#2 2ND. LEVEL</td><td>HARDWARE HDW SET 10 (FROM MASTER PERMIT)</td></tr><tr><td>51-3</td><td>52-3</td><td>3'-0"</td><td>7'-0"</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>EXIST. STAIRS #1#2 3RD. LEVEL</td><td>HARDWARE HDW SET 10 (FROM MASTER PERMIT)</td></tr><tr><td>51-4</td><td>52-4</td><td>3'-0"</td><td>7'-0"</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>EXIST. STAIRS #1#2 4TH. LEVEL</td><td>HARDWARE HDW SET 10 (FROM MASTER PERMIT)</td></tr><tr><td colspan="14">EXISTING ALL LEVELS</td></tr><tr><td>1</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>TOILET CORRIDOR 2ND. LEVEL</td></tr><tr><td>2</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>SELF-CLOSING PAINT</td></tr><tr><td>3</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>60 MIN.</td><td>F-2</td><td>METAL</td><td>TH-2</td><td>----</td><td>PAINT</td></tr><tr><td>4</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>CLOSER A B</td></tr><tr><td>5</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>CLOSER A B</td></tr><tr><td>6</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>CLOSER A B</td></tr><tr><td>7</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING B</td><td>●</td><td>METAL</td><td>----</td><td>F-1</td><td>METAL</td><td>TH-1</td><td>MARBLE</td><td>SELF-CLOSING A B</td></tr><tr><td>8</td><td></td><td>3'-0"</td><td>7'-0"</td><td>1 3/4"</td><td>SWING A</td><td>●</td><td>METAL</td><td>90 MIN.</td><td>F-2</td><td>METAL</td><td>TH-2</td><td>----</td><td>SELF-CLOSING A B</td></tr></table>														DOOR		CORE MATERIAL			FIRE RATING	FRAME		THRESHOLD		CLOSER	FINISH CODE	LOCATION	REMARKS	No.	PR	W	H	TH	TYPE	MATL.	TYPE	MATL.	51-1	52-1	3'-0"	7'-0"									EXIST. STAIRS #1#2 GROUND LEVEL	HARDWARE HDW SET 5 (FROM MASTER PERMIT)	51-2	52-2	3'-0"	7'-0"									EXIST. STAIRS #1#2 2ND. LEVEL	HARDWARE HDW SET 10 (FROM MASTER PERMIT)	51-3	52-3	3'-0"	7'-0"									EXIST. STAIRS #1#2 3RD. LEVEL	HARDWARE HDW SET 10 (FROM MASTER PERMIT)	51-4	52-4	3'-0"	7'-0"									EXIST. STAIRS #1#2 4TH. LEVEL	HARDWARE HDW SET 10 (FROM MASTER PERMIT)	EXISTING ALL LEVELS														1		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	----	F-1	METAL	TH-1	MARBLE	TOILET CORRIDOR 2ND. LEVEL	2		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	----	F-1	METAL	TH-1	MARBLE	SELF-CLOSING PAINT	3		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	60 MIN.	F-2	METAL	TH-2	----	PAINT	4		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	----	F-1	METAL	TH-1	MARBLE	CLOSER A B	5		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	----	F-1	METAL	TH-1	MARBLE	CLOSER A B	6		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	----	F-1	METAL	TH-1	MARBLE	CLOSER A B	7		3'-0"	7'-0"	1 3/4"	SWING B	●	METAL	----	F-1	METAL	TH-1	MARBLE	SELF-CLOSING A B	8		3'-0"	7'-0"	1 3/4"	SWING A	●	METAL	90 MIN.	F-2	METAL	TH-2	----	SELF-CLOSING A B
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DOORS FINISH CODE KEY

PARTITION/FRAME/THRESHOLD DETAILS

<p>LEVEL 2: EXISTING DOOR STAIR #1</p> <p>A. DOOR PANEL FACE (BANQUETTE AREA) IN OLD WOOD BROWN  PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE STAIRCASE) IN WHITE COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>DOOR 1</p> <p>A. DOOR PANEL FACE (SASS AREA) IN OLD WOOD BROWN FINISH AS PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE TOILET) IN WHITE COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>LEVEL 3: EXISTING DOORS STAIRS #1 & #2</p> <p>A. DOOR PANEL FACE (BANQUETTE AREA) IN OLD WOOD BROWN  PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE STAIRCASE) IN WHITE COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>DOORS 4 & 5</p> <p>A. DOOR PANEL FACE (CORRIDOR AREA) IN OLD WOOD BROWN FINISH AS PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE TOILET) IN BLACK COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>LEVEL 4: EXISTING DOORS STAIRS #1 & #2</p> <p>A. DOOR PANEL FACE (BANQUETTE AREA) IN OLD WOOD BROWN  PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE STAIRCASE) IN WHITE COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>DOOR 6</p> <p>A. DOOR PANEL FACE (BANQUETTE AREA) IN OLD WOOD BROWN FINISH AS PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE TOILET) IN BLACK COLOR MATT FINISH AS PER APPROVED SAMPLE</p> <p>DOOR 7</p> <p>A. DOOR PANEL FACE (BANQUETTE AREA) IN OLD WOOD BROWN FINISH AS PER APPROVED SAMPLE</p> <p>B. DOOR PANEL FACE (INSIDE TOILET) IN WHITE COLOR MATT FINISH AS PER APPROVED SAMPLE</p>		<p>EXTERIOR</p> <p>INTERIOR</p> <p>ACUSTIC SEALANT</p> <p>FOIL INSULATION (R4.2)</p> <p>1/2" MAX.</p> <p>3/8" G.W.B.</p> <p>1 1/2" P.T. WD. FURRING (VERT.) OR 3/4" METAL FURRING STRIPS AT 16" O.C. (TYP)</p> <p>EXISTING MASONRY, CONC. WALL (2hr. FIRE RATED)</p> <p>EXISTING FLOOR SLAB</p> <p>NOTE: • FIBEROCK "AQUA-TOUGH" @ PERIM. OF TUBS, SHOWER & MOP SINK • P.T. WD. FURRING TO BE USED AT BASEMENT AREA</p>		<p>EXTERIOR</p> <p>INTERIOR</p> <p>ACUSTIC SEALANT</p> <p>5/8" G.W.B.</p> <p>20 GAUGE 3/8" MTL. STUD @ 24" O.C. AND BRACED HORIZ. TO MASONRY WALL @ 48" O.C.</p> <p>VARIES</p> <p>5/8"</p> <p>CONT. MTL. RUNNER</p> <p>NOTE: • FIBEROCK "AQUA-TOUGH" @ PERIM. OF TUBS, SHOWER & MOP SINK • STEEL STUDS SUPPORTING WALL HUNG PLUMBING FIXTURES SHALL BE DOUBLED AND RIGIDLY CONNECTED TOP AND BOTTOM</p>		<p>EXTERIOR</p> <p>INTERIOR</p> <p>ACUSTIC SEALANT</p> <p>FOR FINISH SEE FINISH SCHEDULE</p> <p>7/8" MTL. FURRING</p> <p>VARIES (8" MIN.)</p> <p>7/8"</p> <p>5/8" DRYWALL</p> <p>CONC. COLUMN OR BLOCK WALL</p> <p>CAULKING</p>		<p>EXTERIOR/ INTERIOR</p> <p>ACUSTIC SEALANT</p> <p>FOR FINISH SEE FINISH SCHEDULE</p> <p>7/8" MTL. FURRING</p> <p>VARIES (8" MIN.)</p> <p>7/8"</p> <p>5/8" DRYWALL</p> <p>CONC. COLUMN OR BLOCK WALL</p> <p>CAULKING</p>		<p>EXTERIOR</p> <p>INTERIOR</p> <p>ACUSTIC SEALANT</p> <p>FOR FINISH SEE FINISH SCHEDULE</p> <p>7/8" MTL. FURRING</p> <p>VARIES (8" MIN.)</p> <p>7/8"</p> <p>5/8" DRYWALL</p> <p>CONC. 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