

2044 ALTON ROAD  
Miami, Fl 33140

DRB21-0638







PLANNED FOR

ISSUE/REVISION RECORD	DATE	DESCRIPTION

PROJECT NAME

**GHETEK RESIDENCE**

RESIDENTIAL  
2044 Alton Rd  
MIAMI BEACH,  
FL 33140

PROJECT NUMBER

**21010**

PLAN SERIES

**11 x 17**

PLAN MODIFICATION NOTICE

- NO MODIFICATIONS APPLIED
- MODIFICATIONS APPLY

SPW NO. / DATE N/A

PROFESSIONAL SEAL

AIRIEL VALDES, AIA  
P.L. 2019-07-01  
P.L. 2019-07-01  
3054 522-0781

ARCH 11

PROJECT NUMBER

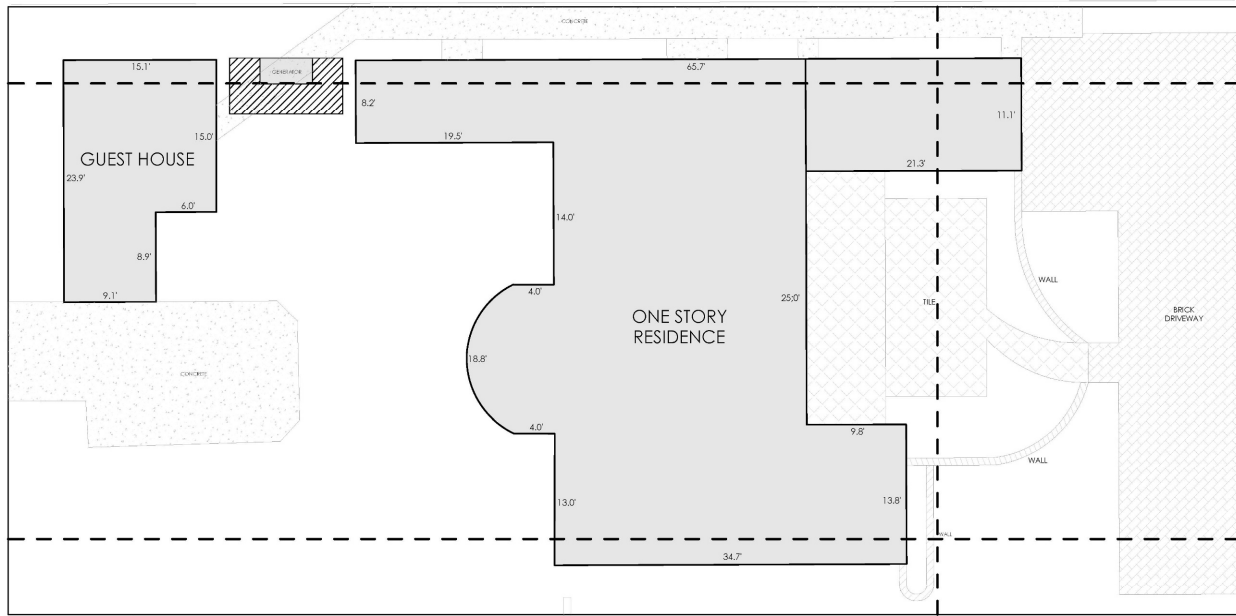
**21010**

SHEET TITLE

**DEMOLITION  
PLAN**

SHEET NUMBER

**A003**



01 Demolition Plan



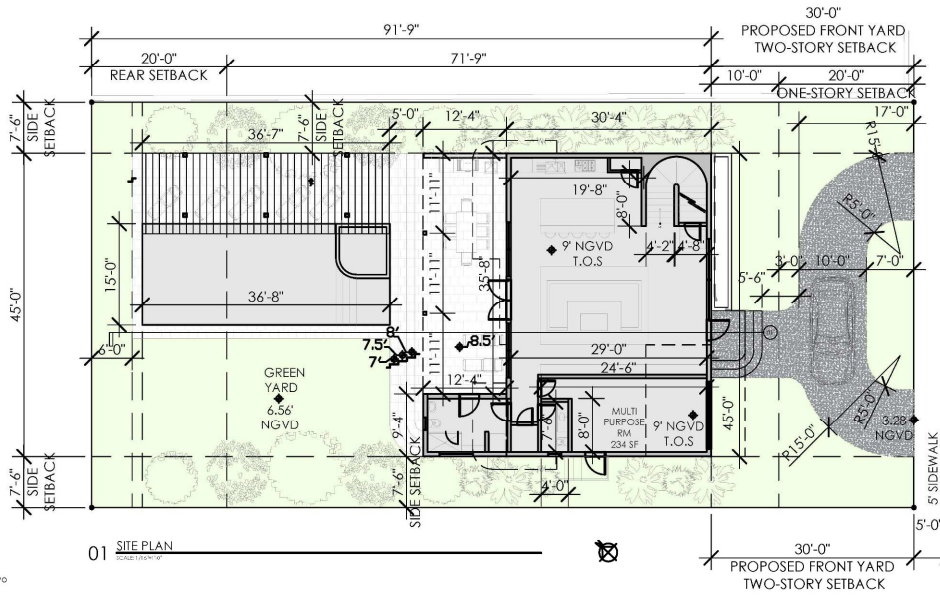
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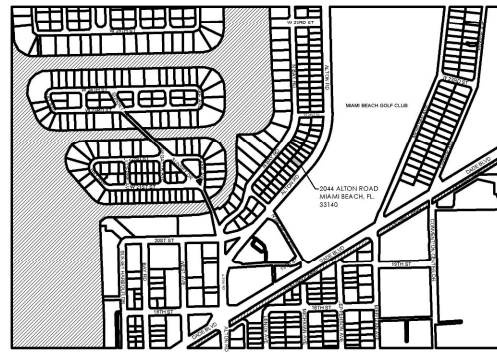
**GENERAL DATA**  
 PROJECT LOCATION 2044 ALTON RD  
 MIAMI BEACH, FL 33140  
 FOLIO NO. 02-3227-008-1481  
 OCCUPANCY RS-4 SINGLE FAMILY - GENERAL

FLOOD MANAGEMENT INFO	
FLOOD ZONE	AE
BASE FLOOD ELEVATION (BFE):	8.00 NGVD
DESIGN FLOOD ELEVATION (DFE):	9.00 NGVD
GARAGE TOP OF SLAB ELEVATION(LP):	5.95 NGVD
LOWEST FLOOR ELEVATION OF HABITABLE SPACE:	9.00 NGVD
NEXT HIGHER FLOOR ELEVATION:	21.00 NGVD
LOWEST GRADE ELEVATION: A.D.J. TO THE BUILDING (LAG):	6.56 NGVD
HIGHEST GRADE ELEVATION: A.D.J. TO THE BUILDING (HAG):	6.56 NGVD
LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING:	9.00 NGVD
CROWN OF ROAD ELEVATION: ADJUSTED GRADE ELEVATION:	3.29 NGVD 5.64 NGVD
F.L.R.M. MAP NUMBER:	9.00 NGVD
FLOOD DESIGN CLASS PER ASCE 24-14 TABLE 1-1 (FBC 2017, 1604.5):	CLASS 2

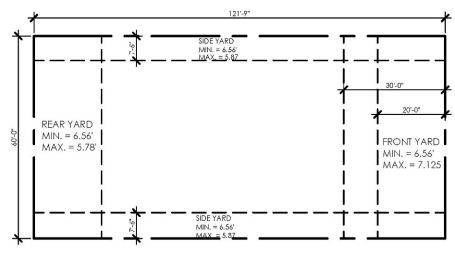
ZONING DATA	
LOT AREA	7,305 SQ.FT.
LEGAL DESCRIPTION	27-34 53 42 SUNSET LAKE SUB AMD PL PB 8-52 LOT 9 BLK 16 LOT SIZE 60,000 X 122 OR 19,198-2256 07 2000 1
MIN. LOT AREA	6,000 SQ.FT. (ACTUAL 7,305 SQ.FT.)
MIN. LOT WIDTH	50 FT. (ACTUAL = 60 FT.)
MIN. UNIT SIZE	1,800 SQ.FT.
MAX. UNIT SIZE	50% OF THE LOT (7,305)=3,652 SQ.FT. ALLOWED PROVIDED = (2,684 SQ.FT.)
	1st FLOOR = 1,480 SQ.FT. 2nd FLOOR = 1,204 SQ.FT. TOTAL = 2,684 SQ.FT.
MAX. STORIES	The maximum number of stories shall not exceed two (2) above the base floor elevation, plus freeboard
MAX. HEIGHT	24 FT. FOR FLAT ROOFS 27 FT. FOR SLOPED ROOFS
<b>SETBACKS</b>	
FRONT	20 FT. GROUND FLOOR MIN. 30 FT. SECOND FLOOR MIN. 50 FT. MAXIMUM
SIDES	THE SUM OF THE REQUIRED SIDE YARD SHALL BE AT LEAST 25% OF THE LOT WIDTH (60 SQ.FT.)= 15 FT. (7.5 FT. ON EACH SIDE)
EXISTING LOT COVERAGE	2,196 SQ.FT. (AS PER MIAMI-DADE RECORDS)
MAX. LOT COVERAGE	1st FLOOR = 30% OF (7,305)=2,191.5 ALLOWED = 1,919 SQ.FT. 2nd FLOOR = 1,204 SQ.FT. TOTAL = 3,124 SQ.FT.
<b>POOL SETBACKS</b>	
REAR	2nd FLOOR ELEVATION = 45' MIN. 50% OF (45) = 15'-0" 4 FT. TO DECK, 7.5 FT. TO WATERLINE 7.5 FT. TO DECK, 9 FT. TO WATERLINE



**01 SITE PLAN**  
 SCALE 1/8"=1'-0"



**02 CONTEXT LOCATION PLAN**  
 SCALE 1/8"=1'-0"



**03 GRADE CALCULATIONS**  
 SCALE 1/8"=1'-0"



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**11 x 17**

PLAN MODIFICATION NOTICE

NO MODIFICATIONS APPLIED  
 MODIFICATIONS APPLY

SPW NO./REV DATE N/A

PROFESSIONAL SEAL

AIRIEL VALDES, AIA  
 No. 2104 2014/04  
 308.922.0050

PROJECT NUMBER

**21010**

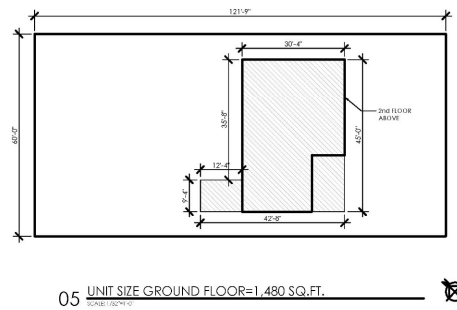
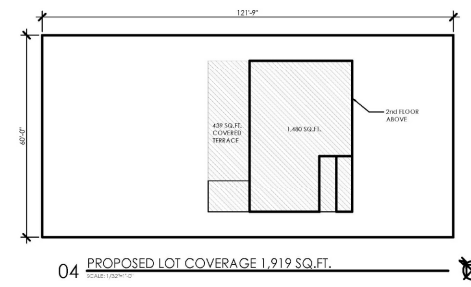
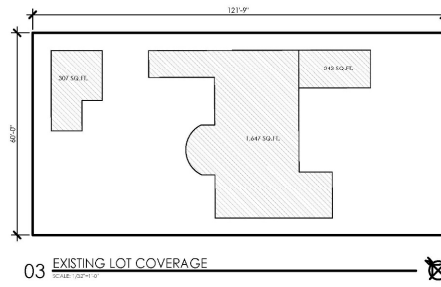
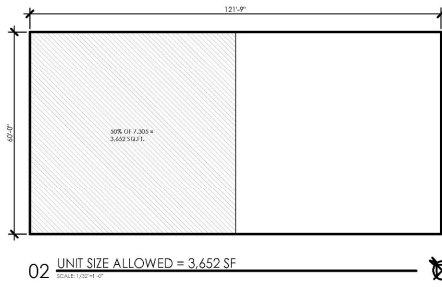
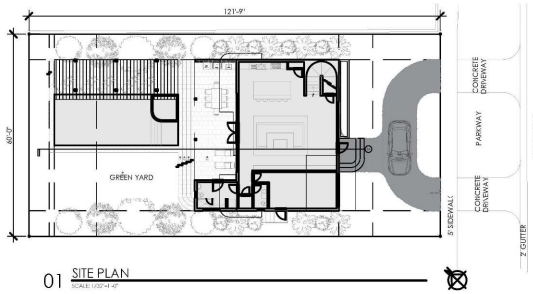
SHEET TITLE

**SITE PLAN**

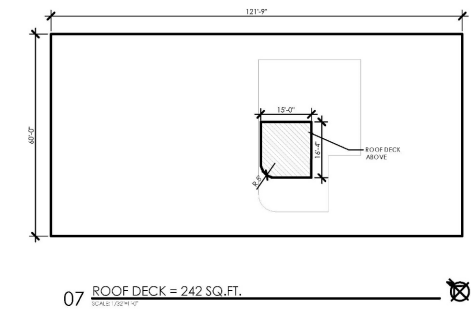
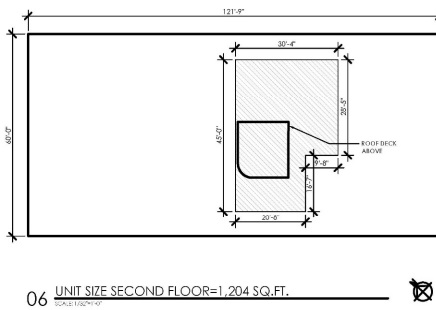
SHEET NUMBER

**A004**

DATE: 11/15/2018 09:33:03 AM BY: AIA (21010) 11/15/2018 09:33:03 AM



GROUND FLOOR = 1,480 SQ.F.T.  
SECOND FLOOR = 1,204 SQ.F.T.  
TOTAL UNIT SQ.FT. = 2,684 SQ.F.T.



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NO MODIFICATIONS APPLIED  
 MODIFICATIONS APPLY

SPW NO. / DATE / DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA  
No. 22922  
P.O. Box 22922  
33122-0222

PROJECT NUMBER

**21010**

SHEET TITLE

**LOT COVERAGE  
UNIT SIZE  
DIAGRAMS**

SHEET NUMBER

**A005**

\\P002\119496\F12\21010\_11x17\Architect\21010\_11x17.dwg (AutoCAD) 11/15/2010 11:27:46 AM



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2044 Alton Rd  
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PROFESSIONAL SEAL

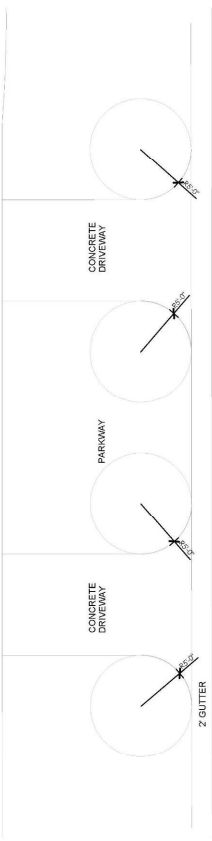
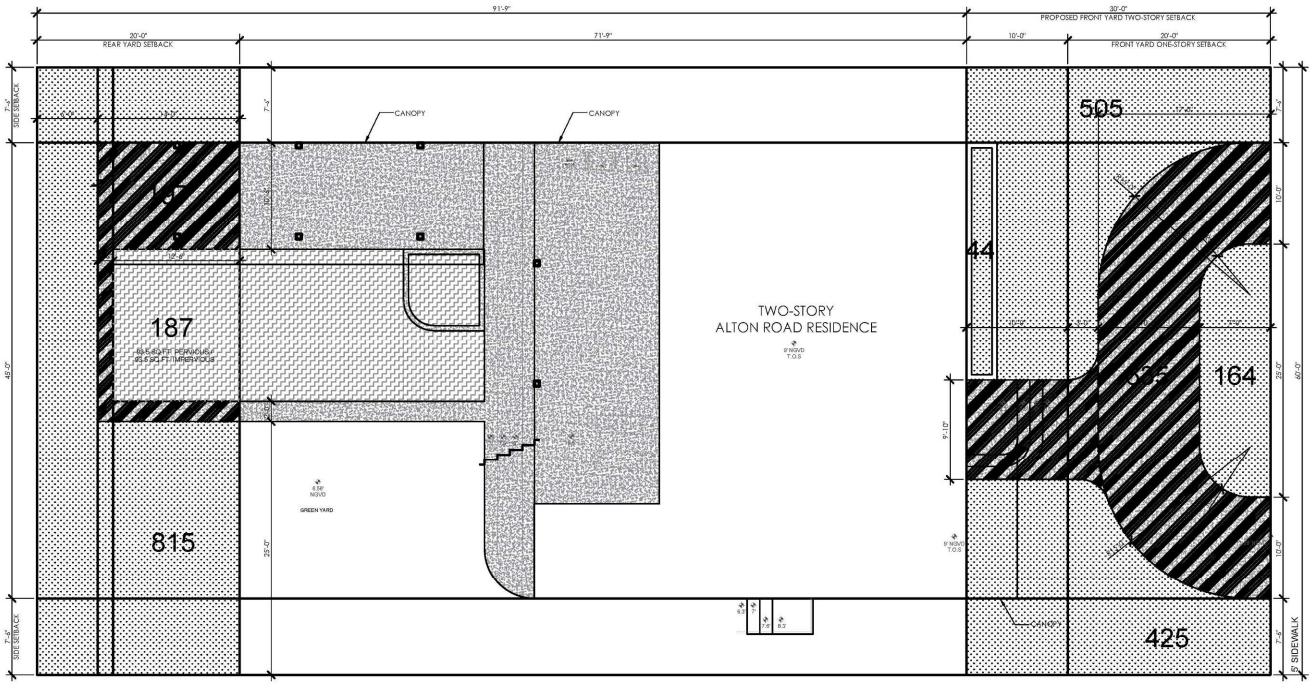
ARIEL VALDES, AIA  
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10/20/2014  
1000 320-0000

ARJ014

PROJECT NUMBER  
**21010**

SHEET TITLE  
**OPEN SPACE CALCULATIONS**

SHEET NUMBER  
**A006**

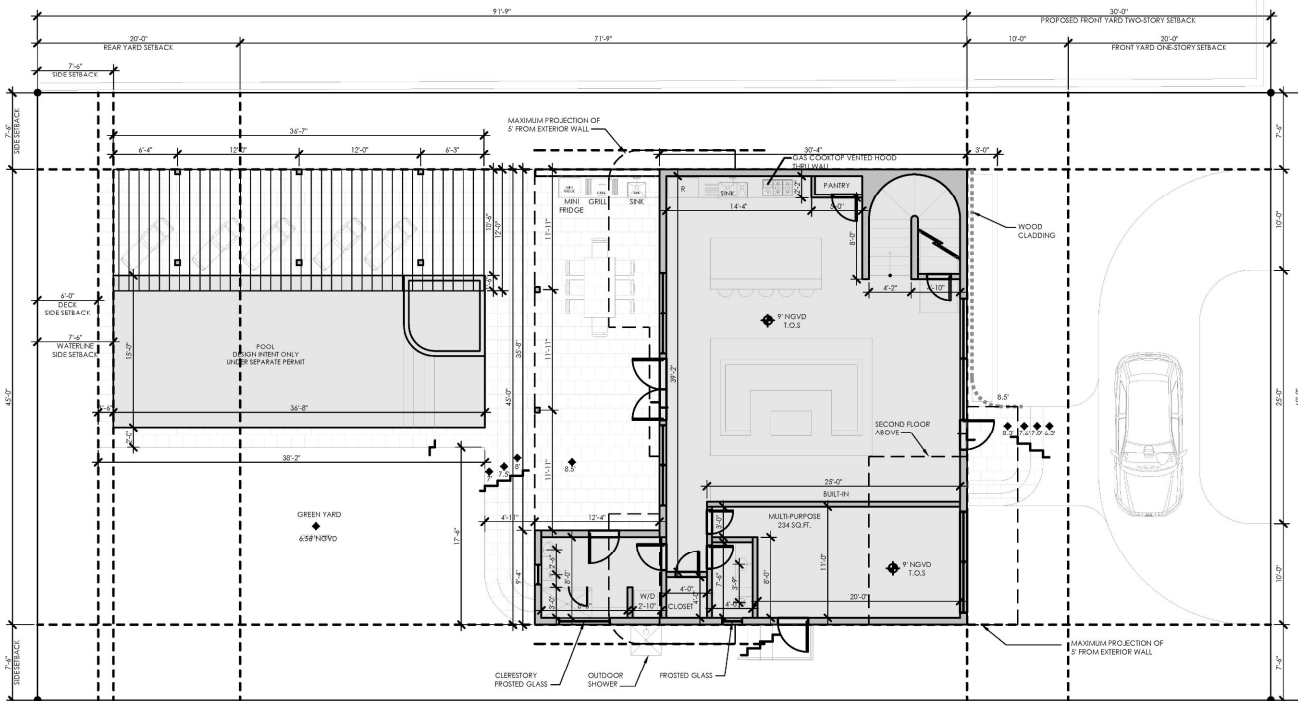


**ALTON ROAD**  
100' DEDICATED RIGHT-OF-WAY  
ASPHALT PAVEMENT

**01 GROUND FLOOR**  
SCALE: 3/32"=1'-0"



OPEN SPACE CALCULATIONS			
FRONT YARD AREA = 37' X 67' = 1,000 SQ. FT. MIN. ALLOWABLE OPEN SPACE = 62% 1,136 / 1,000 = 83 OR 63% PROVIDED		REAR YARD 37' X 67' = 1,000 SQ. FT. MIN. ALLOWABLE OPEN SPACE = 70% 905.5 / 1,000 = 75 OR 70% PROVIDED	
PERVIOUS = 815 + 525 = 405 = 44%	PERVIOUS = 815 + 90.5 = 905.5 SQ. FT.	PERVIOUS = 425 + 48 = 473 = 47%	PERVIOUS = 187 + 90.5 = 90.5 SQ. FT.
IMPERVIOUS = 635 SQ. FT.	IMPERVIOUS = 187 SQ. FT.	IMPERVIOUS = 187 SQ. FT.	PERVIOUS = 50% OF 187 = 85.5 SQ. FT.



CODE AS PER CITY OF MIAMI BEACH (CHAPTER 142)

**CALCULATING LOT COVERAGE**  
 SEC. 142.10(1) (TERRACE, ROOF OVERHANG, COVERED PORCHES AND TERRACES, PROJECTING A MAXIMUM OF FIVE (5) FEET FROM EXTERIOR WALL SHALL NOT BE INCLUDED IN THE LOT COVERAGE CALCULATION, ALL PORTIONS OF SUCH COVERED AREAS EXCEEDING A PROJECTION OF FIVE (5) FEET SHALL BE INCLUDED IN THE LOT COVERED CALCULATION

**LINE SITE REQUIREMENT**  
 SEC. 142.10(1) (AT LEAST) 35% OF THE PHYSICAL SECOND FLOOR ALONG THE FRONT ELEVATION SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM REQUIREMENT SETBACK.

**ROOF DECKS**  
 SEC. 142.10(6) (a), ROOF DECKS SHALL NOT EXCEED SIX INCHES ABOVE THE MAIN FLOORLINE AND SHALL NOT EXCEED A COMBINED DECK AREA OF 25 PERCENT OF THE ENCLOSED FLOOR AREA IMMEDIATELY ONE FLOOR BELOW, REGARDLESS OF DECK HEIGHT. ROOF DECKS SHALL BE SETBACK A MINIMUM OF TEN FEET FROM EACH SIDE OF THE EXTERIOR PARTY WALLS, WHEN LOCATED ALONG A FRONT OR SIDE ELEVATION, AND FROM THE REAR ELEVATION FOR NON-WATERPROOF LOTS, BUT IN PLANTERS, GARDENS OR SIMILAR LANDSCAPING AREAS, NOT TO EXCEED THREE AND ONE-HALF FEET ABOVE THE FINISHED ROOF DECK HEIGHT. LANES BE RESERVED IMMEDIATELY ADJACENT TO THE ROOF DECK AREA. ALL LANDSCAPE MATERIAL SHALL BE APPROPRIATELY SECURED, THE DECK OR HEAVY MANTY FOREGO THE REQUIRED REAR DECK SETBACK, IN ACCORDANCE WITH THE APPLICABLE DESIGN REVIEW OR APPROPRIATENESS CRITERIA.

**REMAINING WALL AND YARD SIDE REQUIREMENT**  
 SEC. 142.10(5) THE MAXIMUM SLOPE OF THE REQUIRED FRONT AND SIDE YARD FACING A STREET SHALL NOT EXCEED 1 PERCENT OF HORIZONTAL VERTICAL

**OPENINGS**  
 SEC. 142.10(1) (SEVEN) PART OF A REQUIRED YARD SHALL BE OPEN TO THE SKY EXCEPT AS AUTHORIZED BY THESE LAND DEVELOPMENT REGULATIONS, THE FOLLOWING MAY PROJECT INTO A REQUIRED YARD FOR A DISTANCE NOT TO EXCEED 28 PERCENT OF THE REQUIRED YARD UP TO A MAXIMUM PROJECTION OF SIX FEET, UNLESS OTHERWISE NOTED.

a. BELT COURSES.  
 b. CHIMNEYS.  
 c. CORNICES.  
 d. EXTERIOR UNENCLOSED PRIVATE BALCONIES.  
 e. ORNAMENTAL FEATURES, ETC.



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 SPW NO. / DATE DATE N/A

**PROFESSIONAL SEAL**

AIRIEL VALDES, AIA  
 No. 2042 2017-04  
 3053 523-6255

ARCHIT

**PROJECT NUMBER**  
**21010**

**SHEET TITLE**  
**LANDSCAPE PLAN**

**SHEET NUMBER**  
**A101**

01 GROUND FLOOR PLAN  
 SCALE: 3/32"=1'-0"

GROUND FLOOR = 1,480 SQ.FT.  
 SECOND FLOOR = 1,204 SQ.FT.  
 TOTAL UNIT SQ.FT. = 2,684 SQ.FT.

DRAWN: JEFFREY G. BROWN, P.E. ENGINEER: JEFFREY G. BROWN, P.E. CHECKED: JEFFREY G. BROWN, P.E. DATE: 01/20/2020









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PROFESSIONAL SEAL

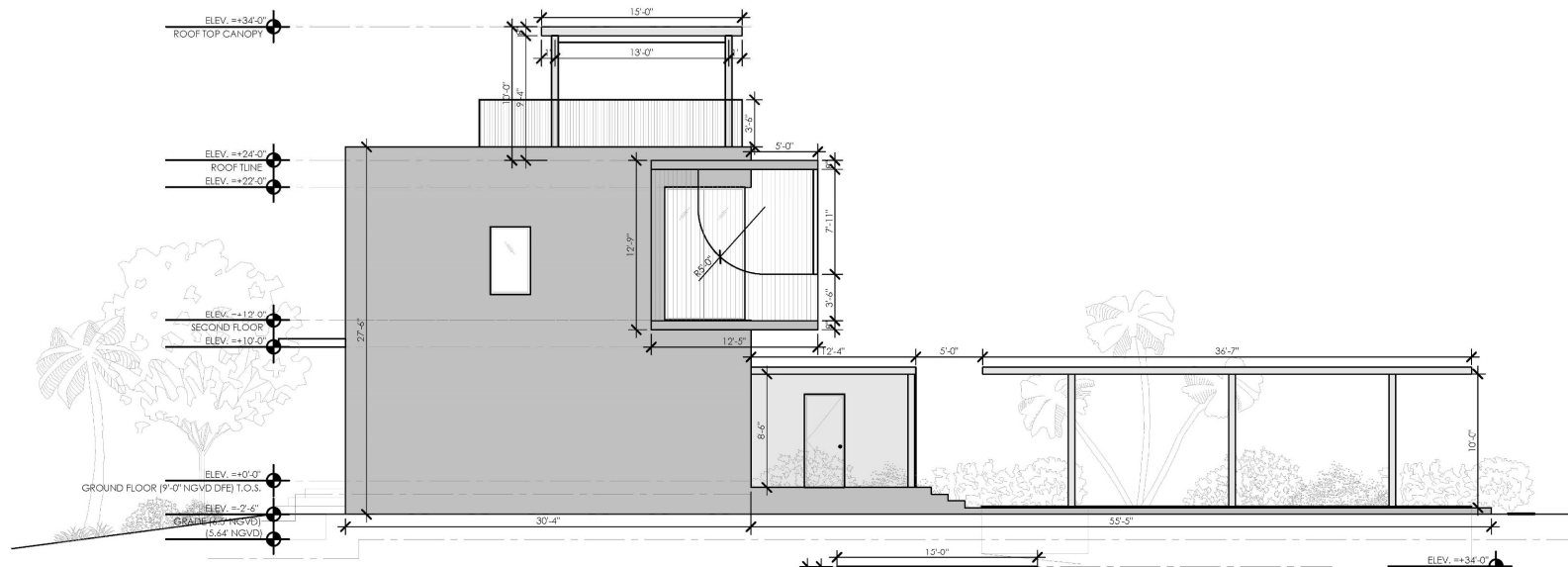
ARIEL VALDES, AIA  
No. 2261 2/21/14  
305.422.4851

ARCHIT.

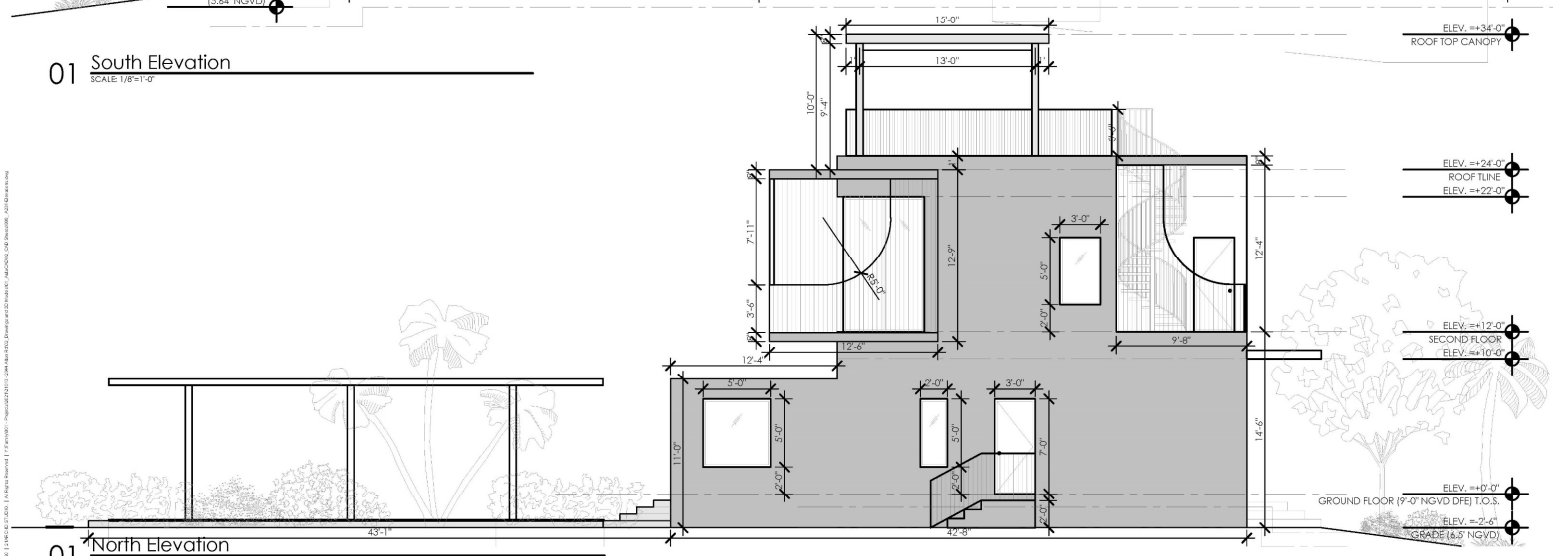
PROJECT NUMBER  
**21010**

SHEET TITLE  
**ELEVATION**

SHEET NUMBER  
**A201**

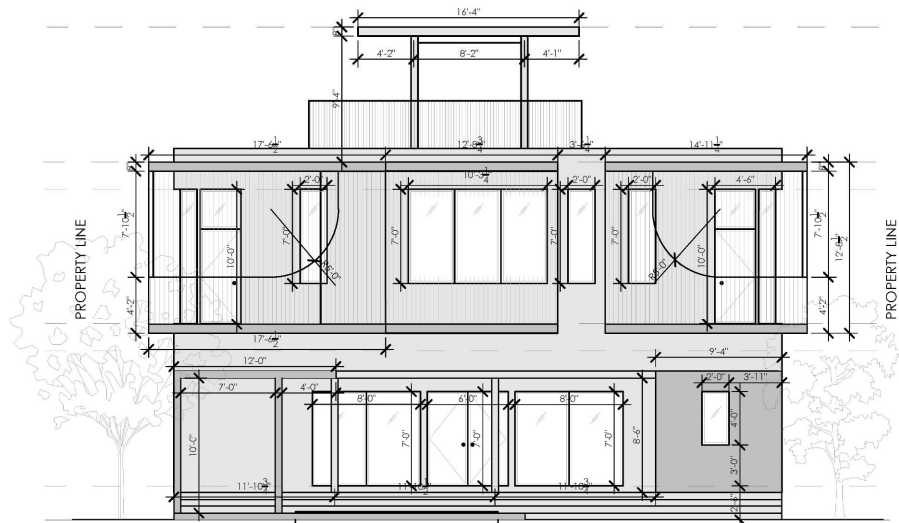


**01 South Elevation**  
SCALE: 1/8"=1'-0"



**01 North Elevation**  
SCALE: 1/8"=1'-0"

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 11/20/2014 11:45:02 AM C:\Users\architect\OneDrive\Documents\21010\21010\_11x17\21010\_11x17\_North Elevation.dwg



ELEV. =+34'-0"  
ROOF TOP CANOPY

ELEV. =+24'-0"  
ROOF TLNE  
ELEV. =+22'-0"

ELEV. =+12'-0"  
SECOND FLOOR  
ELEV. =+10'-0"

ELEV. =+0'-0"  
GROUND FLOOR (9'-0" NGVD DFE) T.O.S.  
ELEV. =-2'-6"  
GRADE (6.5' NGVD)  
(5.64' NGVD)

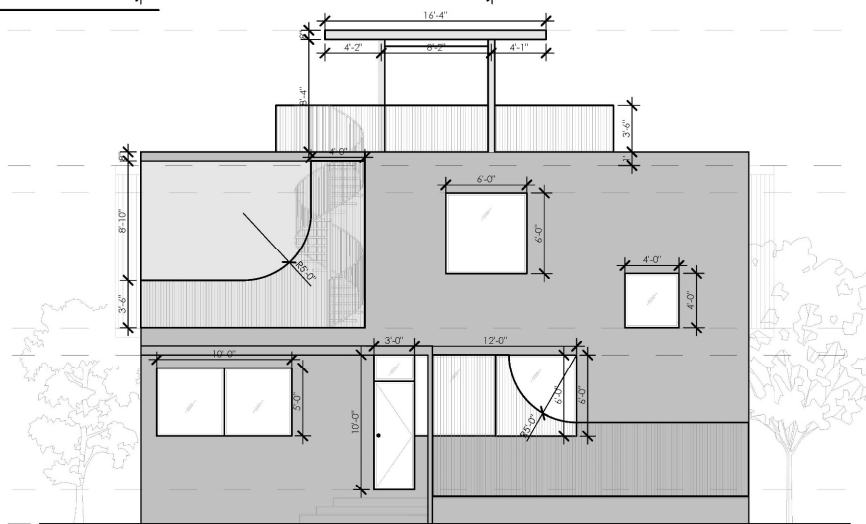
ELEV. =+34'-0"  
ROOF TOP CANOPY

ELEV. =+24'-0"  
ROOF TLNE  
ELEV. =+22'-0"

ELEV. =+12'-0"  
SECOND FLOOR  
ELEV. =+10'-0"

ELEV. =+0'-0"  
GROUND FLOOR (9'-0" NGVD DFE) T.O.S.  
ELEV. =-2'-6"  
GRADE (6.5' NGVD)

01 East Elevation  
SCALE: 1/8"=1'-0"



ELEV. =+24'-0"  
ROOF TLNE  
ELEV. =+22'-0"

ELEV. =+12'-0"  
SECOND FLOOR  
ELEV. =+10'-0"

ELEV. =+0'-0"  
GROUND FLOOR (9'-0" NGVD DFE) T.O.S.  
ELEV. =-2'-6"  
GRADE (6.5' NGVD)

01 West Elevation  
SCALE: 1/8"=1'-0"



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**PROFESSIONAL SEAL**  
 AIRIEL VALDES, AIA  
 No. 27622  
 No. 27622-044  
 3054 422-055

ARCH 11

**PROJECT NUMBER**  
**21010**

**SHEET TITLE**  
**ELEVATION**

**SHEET NUMBER**  
**A202**



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**11 x 17**

PLAN MODIFICATION NOTICE

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- MODIFICATIONS APPLY

SPW NO./REV. DATE N/A

PROFESSIONAL SEAL

AIRIEL VALDES, AIA  
No. 22422  
305.452.4881

ARCHITECT

PROJECT NUMBER

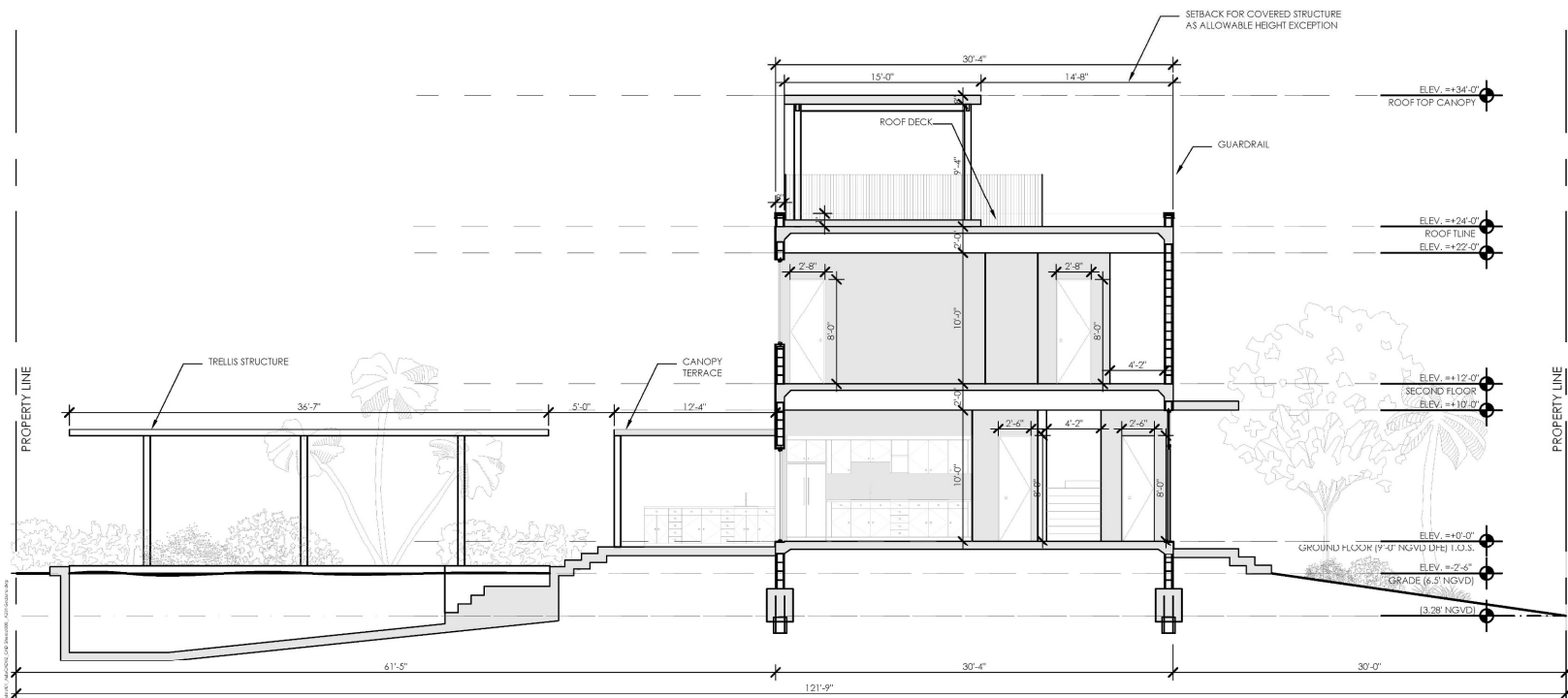
**21010**

SHEET TITLE

**SECTIONS**

SHEET NUMBER

**A301**



**01 Section 01**  
SCALE: 1/8"=1'-0"

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01 Front 3D View - By Right  
SCALE: 1/8"=1'-0"



02 Rear 3D View - By Right  
SCALE: 1/8"=1'-0"



01 Front 3D View - With Variance  
SCALE: 1/8"=1'-0"



02 Rear 3D View - With Variance  
SCALE: 1/8"=1'-0"



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 SPB NO./DATE DATE N/A

PROFESSIONAL SEAL

ARIEL VALDES, AIA  
 ARCHITECT  
 10000 SW 15th Ave  
 (305) 324-4300

PROJECT NUMBER

**21010**

SHEET TITLE

**RENDERINGS**

SHEET NUMBER

**A501**

4/20/21 11:20:00 AM C:\Users\architect\OneDrive\Documents\21Architect\21010\21010-01\21010-01-01\21010-01-01-01.rvt



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SPW NO. / N/A    DATE / N/A

PROFESSIONAL SEAL

AIRIEL VALDES, AIA  
No. 2010-00000000  
No. 2010-00000000  
2010-00000000

ARCH 11

PROJECT NUMBER

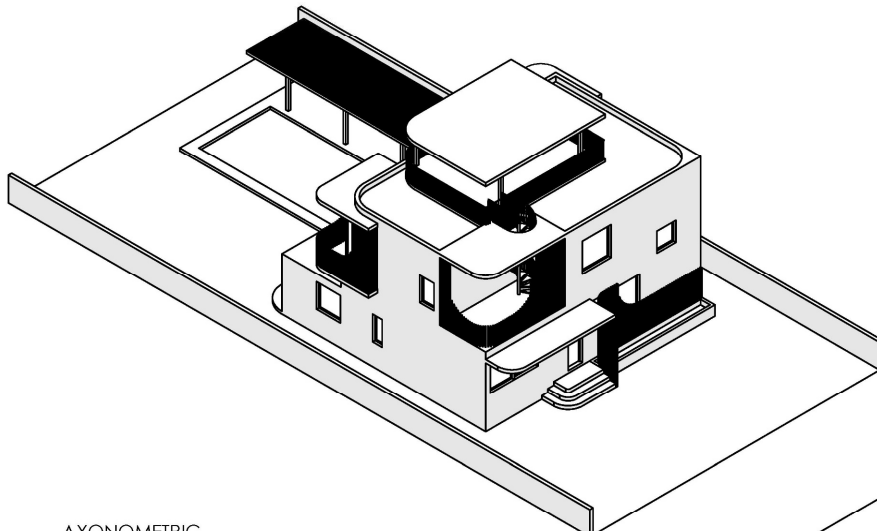
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SHEET TITLE

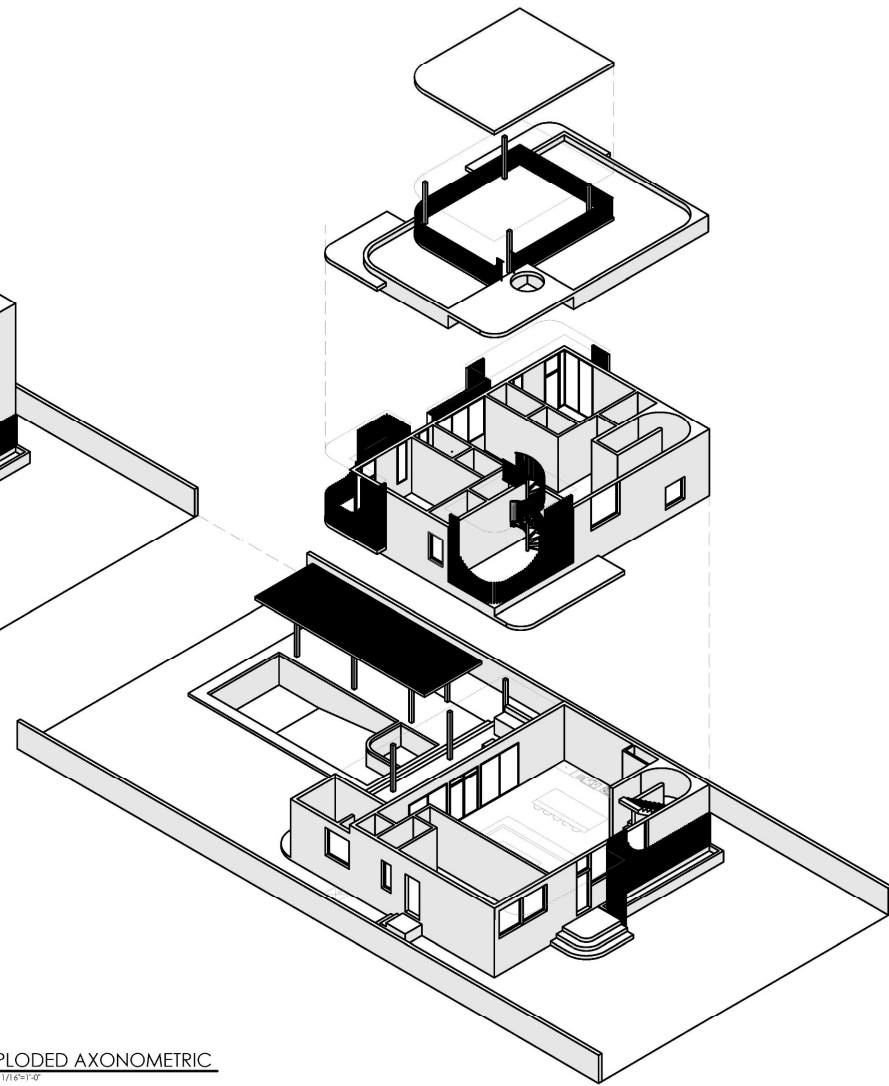
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SHEET NUMBER

**A502**



**01 AXONOMETRIC**  
SCALE: 1/16"=1'-0"



**02 EXPLODED AXONOMETRIC**  
SCALE: 1/16"=1'-0"

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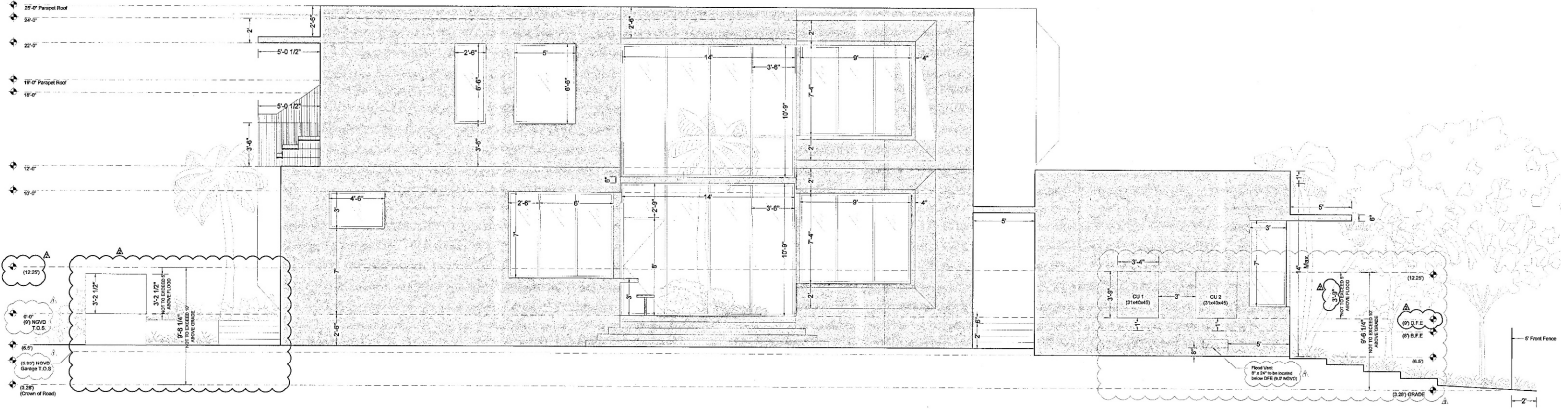
2053 N BAY ROAD  
Miami Beach, Fl 33140

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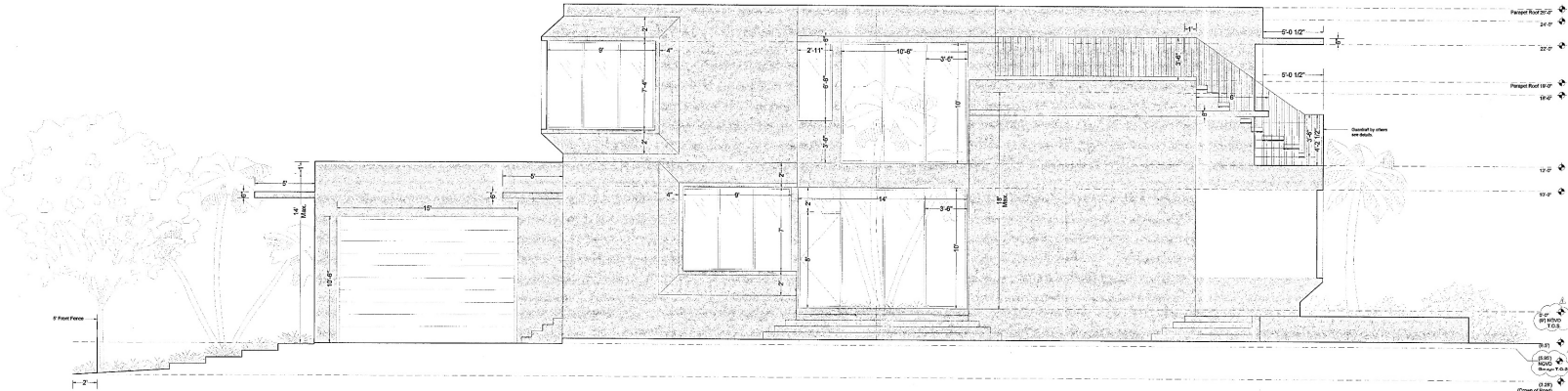
THIS REVIEW IS LIMITED TO THE INFORMATION PROVIDED AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE REVIEWER ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS IN THE ORIGINAL DRAWINGS OR FOR ANY CONSEQUENCES ARISING FROM THE USE OF THESE DRAWINGS. THE REVIEWER'S OBLIGATION IS LIMITED TO THE REVIEW OF THE SUBMITTED DOCUMENTS FOR COMPLIANCE WITH THE APPLICABLE CODES AND REGULATIONS. THE REVIEWER DOES NOT TAKE RESPONSIBILITY FOR THE DESIGN OR CONSTRUCTION OF THE PROJECT.



Chetek Residence  
2053 N. BAY ROAD  
MIAMI BEACH, FL. 33140



01 EAST ELEVATION  
1/8" = 1'-0"



02 WEST ELEVATION  
1/8" = 1'-0"



1000 SOUTH DIXIE HWY., STE. 400  
MIAMI BEACH, FL. 33132  
PHONE 305-591-1081 FAX 305-591-0855  
EMAIL: info@rwb.com

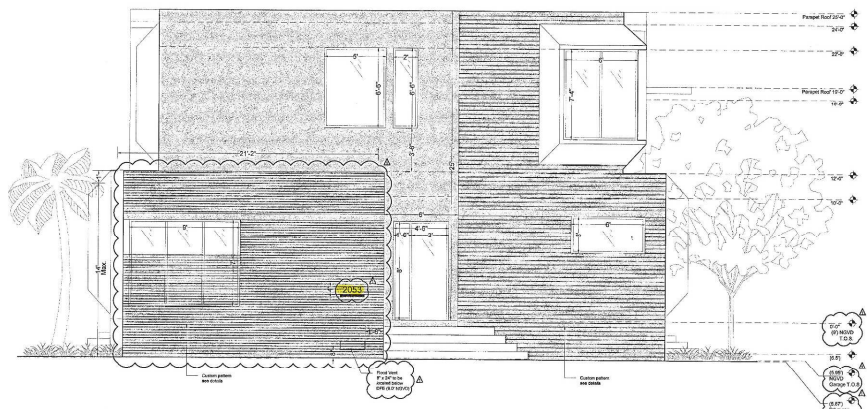
**RWB**  
*Linhares*  
ARCHITECTURE

PROJECT: Chetek Residence  
DATE: 6/29/19

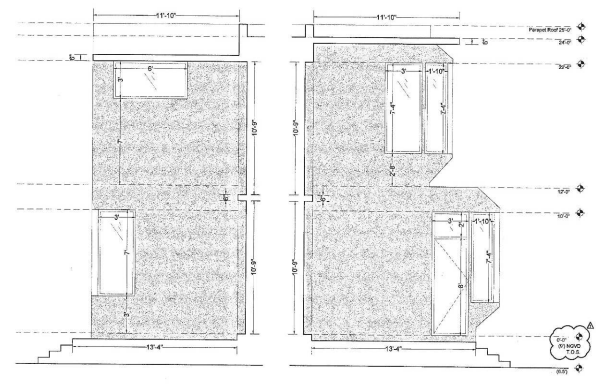
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JUL 9 2019

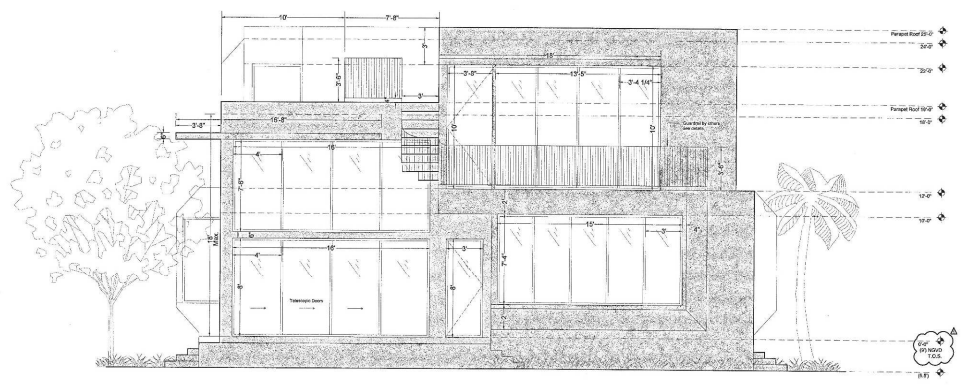


**01 FRONT ELEVATION**  
 18'-0" x 1'-0"

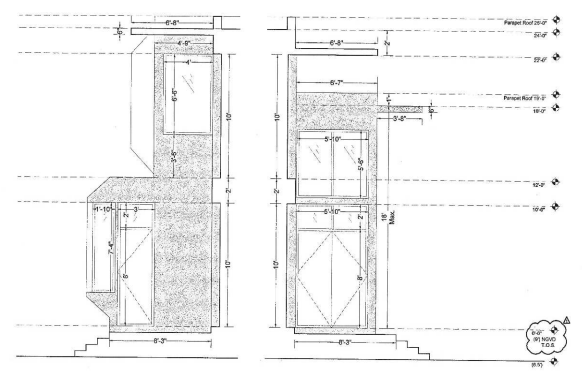


**03 INTERIOR OPEN SPACE SIDE ELEVATION**  
 18'-0" x 1'-0"

**04 INTERIOR OPEN SPACE SIDE ELEVATION**  
 18'-0" x 1'-0"



**02 REAR ELEVATION**  
 18'-0" x 1'-0"



**05 PORCH 2 SIDE ELEVATION**  
 18'-0" x 1'-0"

**06 PORCH 2 SIDE ELEVATION**  
 18'-0" x 1'-0"

**Chetek Residence**  
 2053 N. BAY ROAD  
 MIAMI BEACH, FL. 33140

REGISTRATION NO. 17471, STATE NO. 460  
 PHONE 305.331.0081 FAX 305.331.0085  
 EMAIL: miami@rwb-arch.com

**RWB**  
 L I N G & P O S  
 ARCHITECTURE

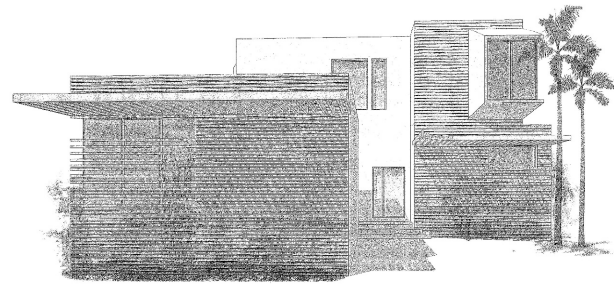
PROJECT: Chetek Residence  
 DATE: 6/19  
 SHEET:

A-202

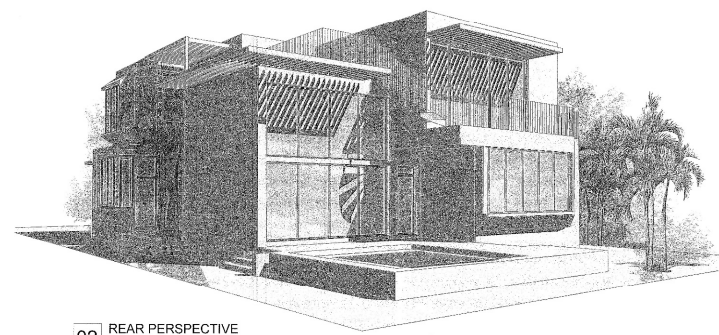


MIAMI BEACH  
 REVIEWED FOR  
 CODE COMPLIANCE

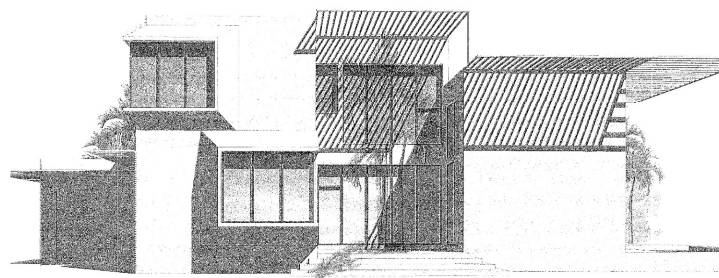
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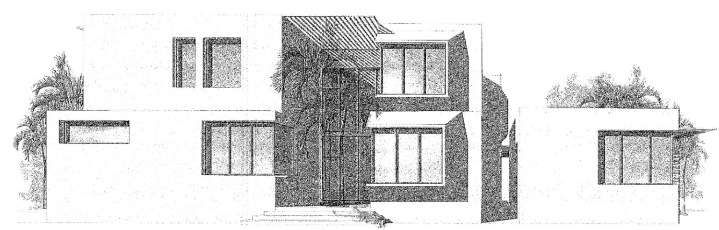
01 FRONT PERSPECTIVE  
 N.T.S.



02 REAR PERSPECTIVE  
 N.T.S.



03 EAST PERSPECTIVE  
 N.T.S.



04 WEST PERSPECTIVE  
 N.T.S.

CHETEK RESIDENCE  
 2053 N. BAY ROAD  
 Miami Beach, Florida 33140

100 SCOTTSDALE HWY., STE. 400  
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 EMAIL: info@rwb.com

**RWB**  
 LINARES  
 ARCHITECTURE

PROJECT: Chetek Residence  
 DATE: 5/16/18  
 SHEET: \*

A-800

