

# DRB21-0689: 40 Island Avenue

September 10, 2021 DRB Meeting



Summit 7d



# Property

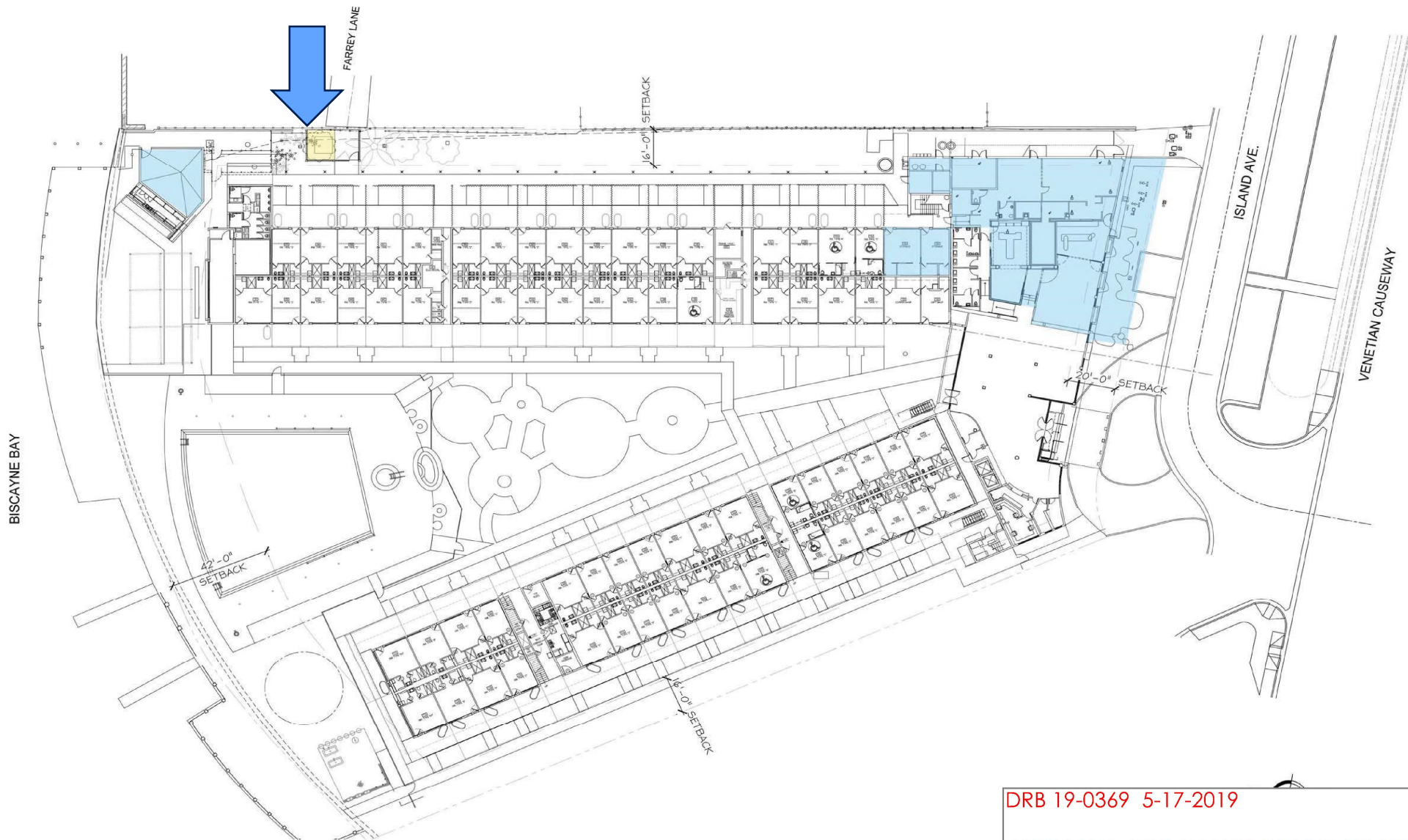


# Prior Approvals

- **May 7, 2019:** DRB approves side and sum of side yard setback variances for FPL vault
- **June 4, 2019:** DRB approves overall renovation project, including variances for side and sum of side yard setbacks and fence heights
- **Relevant Conditions:**
  - Provide stone cladded fence along shared property line with eastern neighbor
  - Underground FPL utility poles and overhead power lines



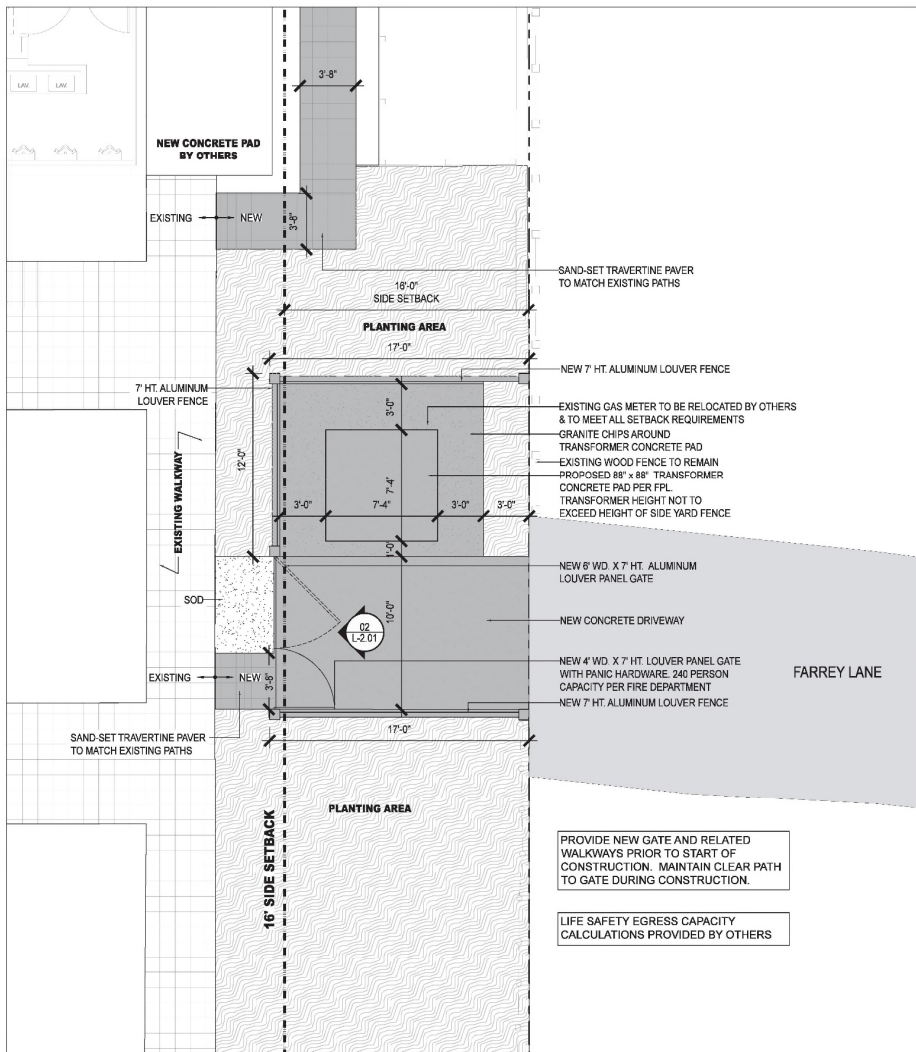
2019: Approved variances for FPL transformer pad



DRB 19-0369 5-17-2019

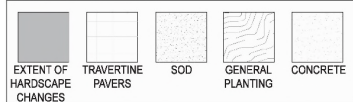
APPROVAL FOR TRANSFORMER BY FP&L





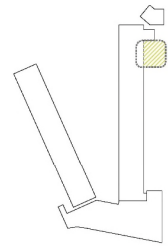
ENLARGED HARDSCAPE PLAN NEAR FARREY LANE  
1/4"=1'-0"

## GRAPHIC LEGEND



TO THE BEST OF OUR KNOWLEDGE,  
THESE PLANS COMPLY WITH ALL  
APPLICABLE BUILDING AND ZONING CODES.

## KEY NOTES



VIEW FROM ADJ. PARCEL - PHOTO

VIEW FROM FARREY LANE - PHOTO

DRB MOD.1 - PROPOSED NEW  
LIMITS OF TRANSFORMER  
ENCLOSURE PER FP&L

DRB 19-0369 5.7.2019  
APPROVED FOR  
TRANSFORMER BY FP&L

FENCE WITH STONE  
CLADDING

LOT 7

VIEW FROM  
NORTH - PHOTO

(E) POOL  
EQUIPMENT  
BUILDING

VIEW FROM SOUTH PHOTO

(E) EAST WING

MAIN BUILDING

DRB 19-0369

APPROVED 05.07.2019

(E) WEST WING

47'-0"  
SETBACK

16'-0"  
SETBACK

20'-0"  
SETBACK

BISCAYNE BAY

ISLAND AVE.

VENETIAN CAUSEWAY



On August 23, 2019:

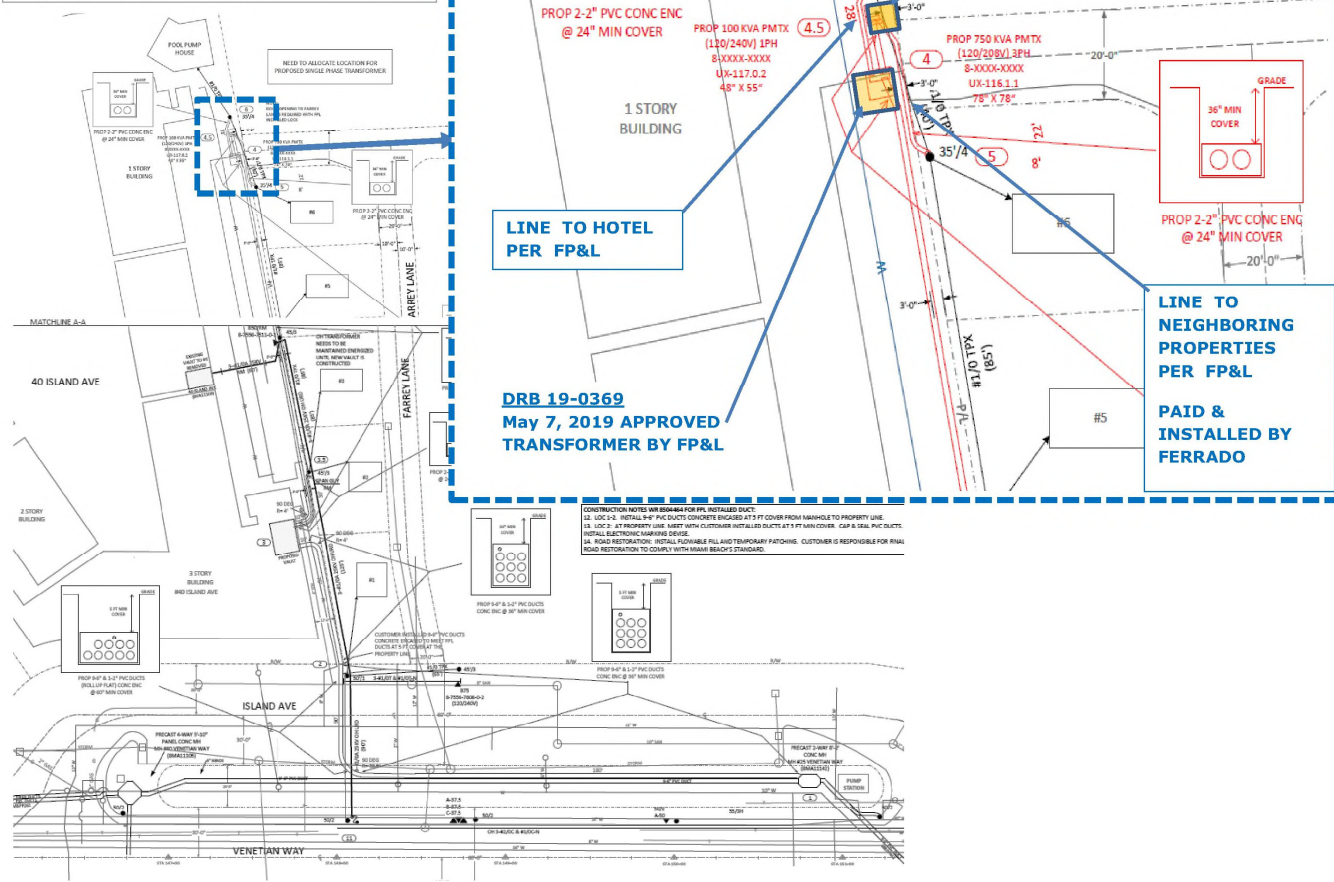
FERRADO provided the AE team with sketch from FP&L electrical power distribution systems.

**NOTE:**

FP&L termination cabinet is needed for the neighbors, an integral part of their electrical power distribution system.

This is for surrounding properties, not only the Standard Hotel.

New termination cabinet is a direct result of City requirement to relocate existing power poles to underground on Venetian Way.



PORTION OF LAYOUT DIAGRAM PROVIDED BY FP&L TO HOTEL OWNER



FP&L TRANSFORMER SOUTH VIEW



FP&L TRANSFORMER + DISTRIBUTION CABINET WEST VIEW





100% Grass Covered Porous Pavement

#### Grasspave2 Flexible Plastic Porous Pavement

Grasspave2 protects and enhances the environment in three ways. First, made from 100% recycled plastic, Grasspave2 keeps consumer and industrial products from going into landfills. Second, grass growing directly improves the environment by reducing water runoff on site (reducing flooding hazards downstream), reducing sources of oil and solvents from asphalt, absorbing carbon dioxide, and creating oxygen. Third, it enhances the beauty and quality of the built environment - replacing hot asphalt paved areas with cool, sparkling green lawn-like Product Description

Grasspave2 has thin-walled independent plastic rings connected by an interlocking geogrid structure, which, because it is installed below the surface, is invisible in the completed project. While the rings are rigid, the grid itself is flexible, which makes it easy to install on uneven grades, and reduces used cut and fill requirements.

The rings transfer loads from the surface to the grid structure and engineered base course material below, thus preventing compaction of the upper root zone of the grass. A single ring supports small loads, such as shoes; several rings support tires and large loads.

The rings also act to contain the root zone medium (sand) and prevent lateral migration away from trees, feet, or other loads. This protects the grass root system, enabling roots to grow deep into the porous base course. The result is healthy, green turf at the surface.

One person can easily install the Grasspave2 rolls at a rate of 700-822 (750-822) per hour, plus time for base course preparation and grass installation (seedling, sod or sprigging). Step-by-step instructions are included in our installation instructions, which accompany each order.

#### Features and Benefits

- Allows 100% grass coverage instead of asphalt
- Made from 100% post consumer plastic
- High strength to weight load-bearing capacity
- Supports vehicular and pedestrian traffic



Grasspave2 rolls are 10' wide and 1/2" thick. They are made from 100% recycled plastic and are designed to be installed on a prepared base of sand or gravel. The rolls are connected by an interlocking geogrid structure, which allows them to be installed on uneven grades and to support vehicular and pedestrian traffic.

#### Specifications

Unit Size - 20' x 30' x 1/2" (30 x 30 x 2.5cm)

Unit Weight - 1800 (510 grams)

Strength - 15,900 psi (109,500 kPa)

Connector Pull Apart Strength (Tensile) - 450 lbs/ft

Color - Black

Rolls - 100% recycled HDPE with 3% carbon black.

Shipped in 40' x 8' standard, other roll sizes available

92% Void Space (8% plastic by volume)

Invisible Structures, Inc.

303-253-8383

www.invisiblestructures.com

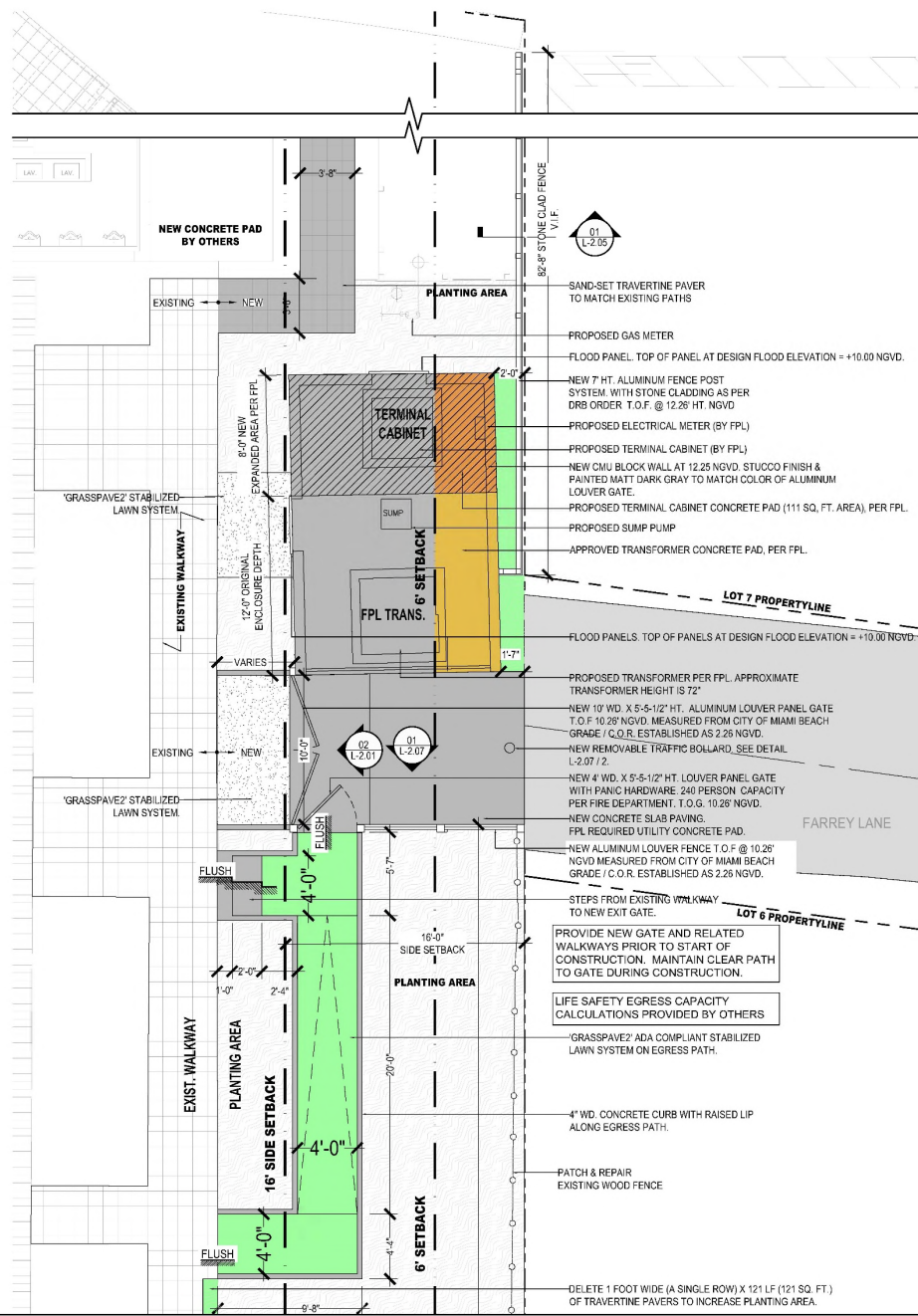
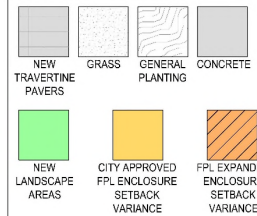
US Patent #5,250,340

INVISIBLE STRUCTURES

100% GRASS COVERED POROUS PAVEMENT

GRAPHIC LEGEND

#### GRAPHIC LEGEND



PROPOSED

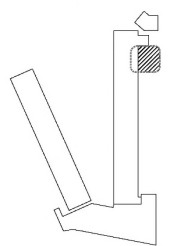


SCALE 1/4"=1'-0"

1

#### KEY NOTES

TO THE BEST OF OUR KNOWLEDGE, THESE PLANS COMPLY WITH ALL APPLICABLE BUILDING AND ZONING CODES.



Summit 7d

40 Island Ave  
Miami Beach  
Florida 33139

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The Standard

PROJECT NAME

THE STANDARD  
MIAMI BEACH  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

PROJECT NUMBER

18-143

ENLARGED  
HARDSCAPE  
PLAN



www.naturalofficial.com  
6915 Red Road, Suite 224  
Coral Gables, FL 33143  
O: 786.717.6564 / M: 305.321.2341

Peter Anselmo  
R.L.A. FL# 6667221

DRAWN BY: PS

CHECKED BY: PA

ISSUED FOR:

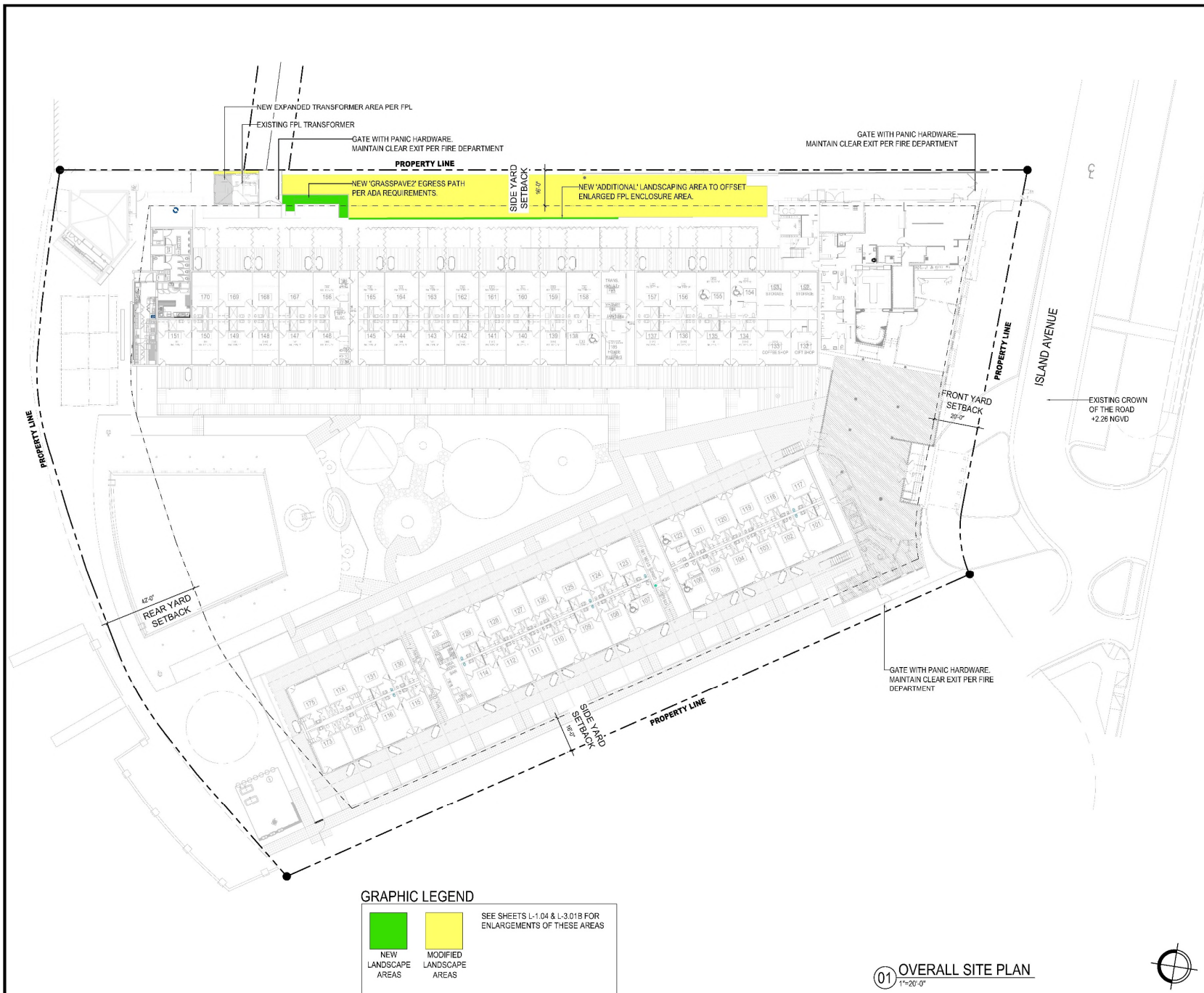
DATE

DRB



FINAL SUBMITTAL

2021.07.06  
SHEET NUMBER

L-1.04



**GRAPHIC LEGEND**

		SEE SHEETS L-1.04 & L-3.01B FOR ENLARGEMENTS OF THESE AREAS
NEW LANDSCAPE AREAS	MODIFIED LANDSCAPE AREAS	

01 OVERALL SITE PLAN  
1"=20'-0"

PROPOSED

OVERALL SITE PLAN

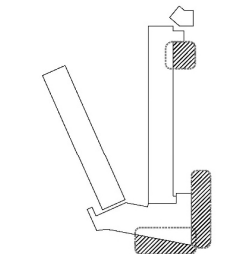
SCALE  
1"=20'-0"

1

KEY PLAN

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**KEY NOTES**



**Summit 7d**

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**THE STANDARD  
MIAMI BEACH**  
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40 Island Ave  
Miami Beach  
Florida 33139  
PROJECT NUMBER  
18-143  
**OVERALL  
SITE PLAN**

  
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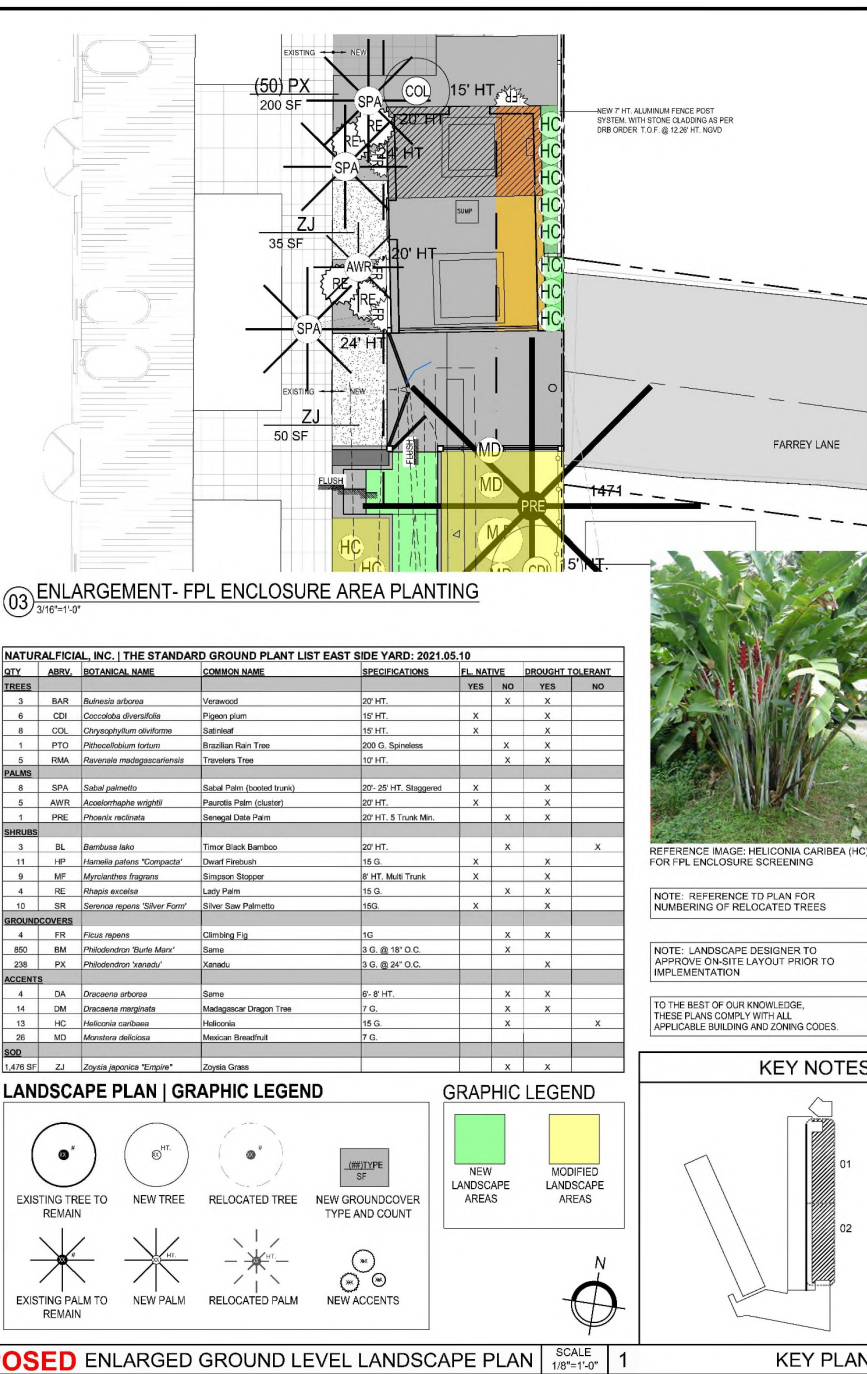
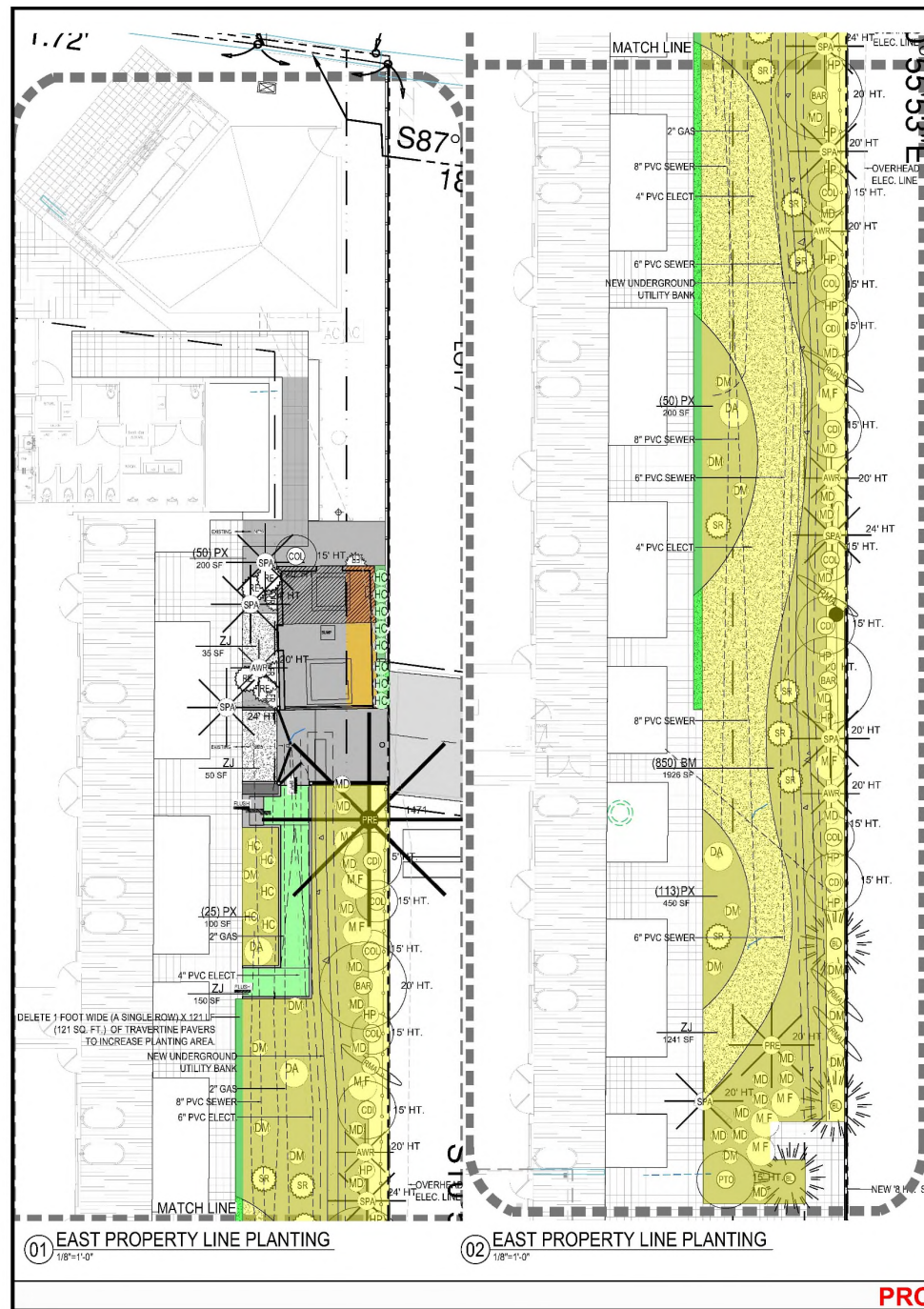
Peter Anselmo  
R.L.A. FL# 6667221

DRAWN BY: PS  
CHECKED BY: PA  
ISSUED FOR: \_\_\_\_\_  
DATE: \_\_\_\_\_

DRB  
FINAL SUBMITTAL  
2021.07.06  
SHEET NUMBER

**L-1.00**





40 Island Ave  
Miami Beach  
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Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

PROJECT NUMBER

18-143

ENLARGED  
LANDSCAPE  
PLAN

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Peter Anselmo  
R.L.A. FL#6667221

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CHECKED BY: PA

ISSUED FOR

DATE \_\_\_\_\_

**DRB**  
**FINAL SUBMITTAL**  
2021.07.06  
SHEET NUMBER

**L-3.01B**





**NORTH WALL OF FP&L ENCLOSURE**



**ADA RAMP VIEW SOUTH**



**ADA RAMP TO EMER. EXIT**



**EXISTING PATHWAY VIEW NORTH**



**EXISTING PATHWAY VIEW SOUTH**

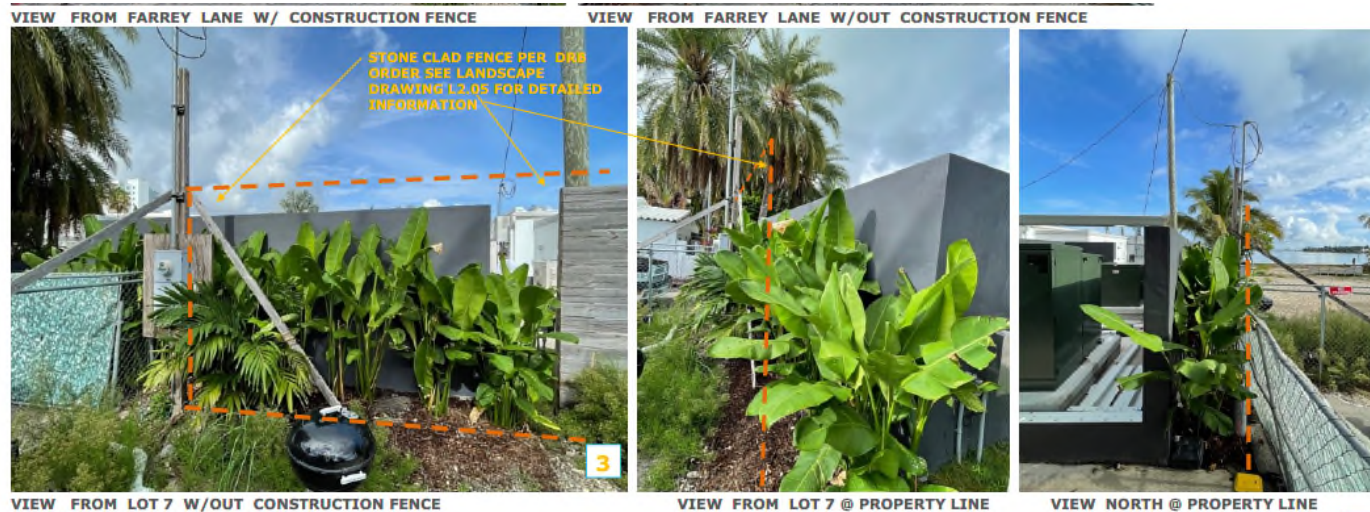


**PLANTING ALONG SOUTH ELEVATION ON ISLAND AVENUE**

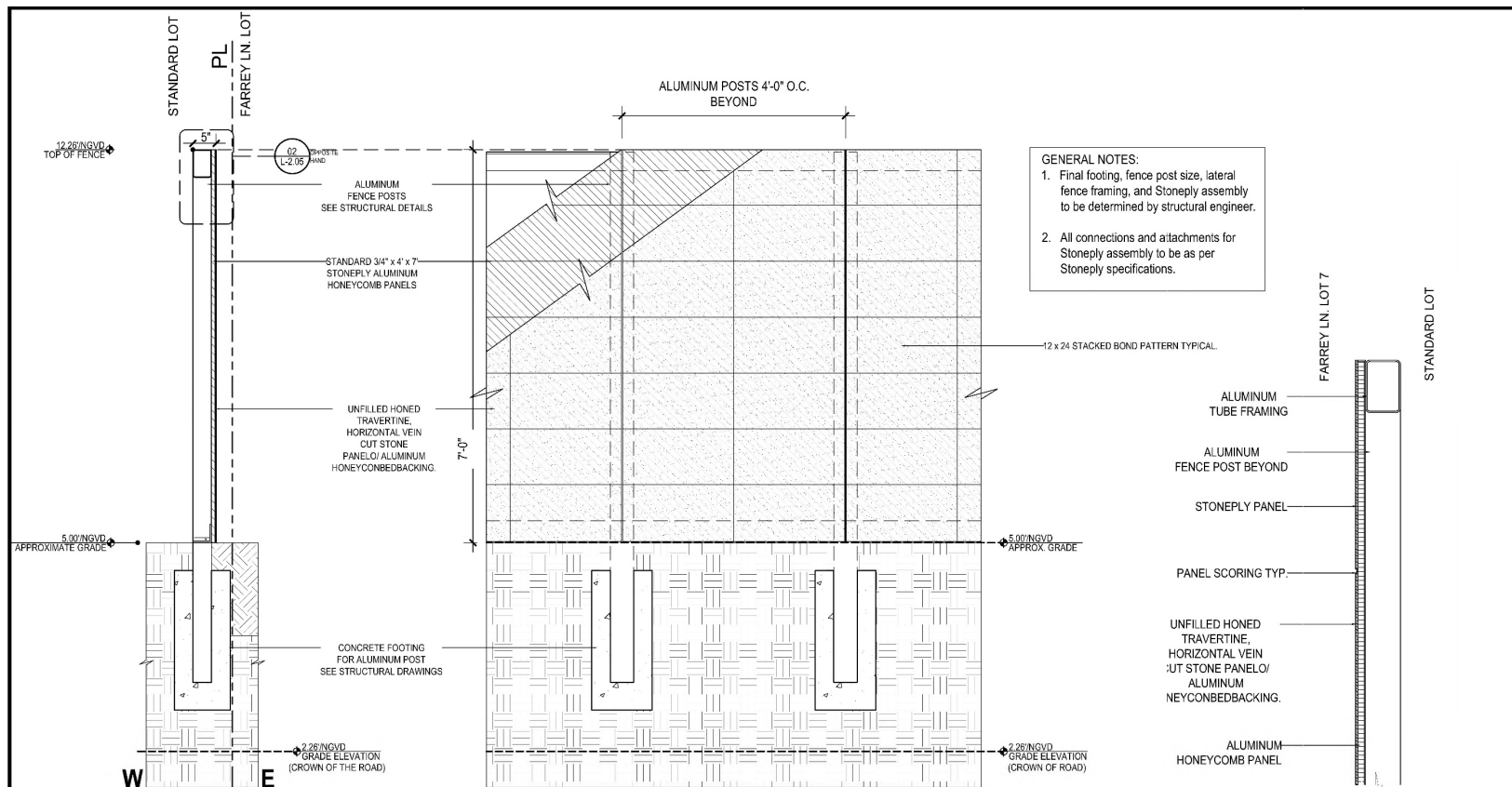


# Screening

- Enclosure screened by stone clad wall and landscaping
- Agree to staff's conditions requiring cladding on enclosure







01 NORTHEAST PROPERTY FENCE SECTION AND EAST ELEVATION  
1"=1'-0"



TRAVERTINE STONE CLADDING MOCKUP

01 NORTHEAST PROPERTY FENCE MOCKUP  
1"=1'-0"



TRAVERTINE STONE CLADDING ENLARGEMENT

NOTE: FINAL FENCE TRAVERTINE STONE CLADDING PATTERN TO BE ORIENTED HORIZONTALLY.



(ALTERNATE) KEYSTONE STONE CLADDING ENLARGEMENT

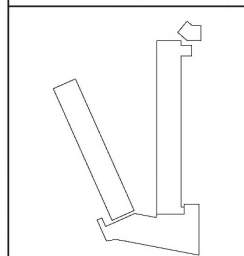
GENERAL NOTES:  
1. Final footing, fence post size, lateral fence framing, and Stoneply assembly to be determined by structural engineer.  
2. All connections and attachments for Stoneply assembly to be as per Stoneply specifications.

02 STONE CLADDING DETAIL  
1.5"=1'-0"

**GATE NOTES**  
**GENERAL REQUIREMENTS**  
1. SELF-LATCHING MECHANISM HARDWARE AND HANDLES TO BE PROVIDED BY GATE FABRICATOR & APPROVED BY LANDSCAPE ARCHITECT.  
2. ALL FRAMES SHOULD HAVE A MARINE GRADE ALUMINUM POWDER COATED FINISH.  
3. PEDESTRIAN ENTRY GATE LOOK AND LATCH HARDWARE TO BE PROVIDED BY GATE FABRICATOR AND APPROVED BY LANDSCAPE ARCHITECT.  
4. GATES TO HAVE KEY BOLTS.  
5. GATE FABRICATOR TO SUPPLY ANY ADDITIONAL REQUIRED ENGINEERING SHOP DRAWINGS FOR PERMITTING AND APPROVAL BY THE LANDSCAPE ARCHITECT.  
6. STRUCTURAL ENGINEERING OF ALL STRUCTURAL FENCE & GATE COMPONENTS BY STRUCTURAL ENGINEER.  
7. ALL GATES & LOCKING MECHANISMS TO BE COMPLIANT WITH ALL APPLICABLE POOL SAFETY REGULATIONS.

TO THE BEST OF OUR KNOWLEDGE, THESE PLANS COMPLY WITH ALL APPLICABLE BUILDING AND ZONING CODES.

**KEY NOTES**



Summit 7d

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Miami Beach  
Florida 33139

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The Standard

PROJECT NAME  
THE STANDARD  
MIAMI BEACH  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139  
PROJECT NUMBER  
18-143  
HARDSCAPE  
SECTION

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Peter Anselmo  
R.L.A. FL# 6667221  
DRAWN BY: PS  
CHECKED BY: PA  
ISSUED FOR: DATE

DRB  
FINAL SUBMITTAL  
2021.07.06  
SHEET NUMBER

L-2.05

PROPOSED

HARDSCAPE SECTIONS

SCALE AS NOTED

1

KEY PLAN



# Delete Condition

## Proposed Condition I.D.2.b

Access gates shall be installed along the eastern property line at the western terminus of Farrey Lane. Such gates, and the access driveway shall only be utilized for servicing of the FPL equipment and for emergency egress from the hotel property. Except when associated with a Special Events permit, loading and unloading operations servicing the hotel shall not be permitted from the FPL access drive.



**VIEW FROM FARREY LANE W/OUT CONSTRUCTION FENCE**

# Modify Condition

Modify Condition I.D.2.a of May 2019 DRB Order to read:

The applicant shall apply and pay the associated fee to FPL to initiate the process to underground the FPL overhead utility lines and utility poles identified as numbers 6-8 on the graphic exhibit entitled "Belle Isle FPL Overhead Lines Location graphic" (attached), in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or directions from the Board. For the purpose of clarity, FPL, not the applicant, designs, permits and constructs the undergrounding project.

# Clarify Condition

## Proposed Condition I.D.2.a.

The applicant shall install a clad aluminum fence, as depicted on sheet L-2.05 of the submitted plans, along the eastern property line abutting 7 Farrey Lane, between the north (waterside) property line and the northern wall of the expanded FPL enclosure, and returning to the eastern wall of the FPL enclosure, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The materials and color selection shall be as indicated on the plans provided with this application, with the overall stone dimensions subject to the review and approval of staff.

The eastern wall of the FPL enclosure shall be clad in the same stone finish as noted for the fence above, in a manner to be reviewed and approved by staff.

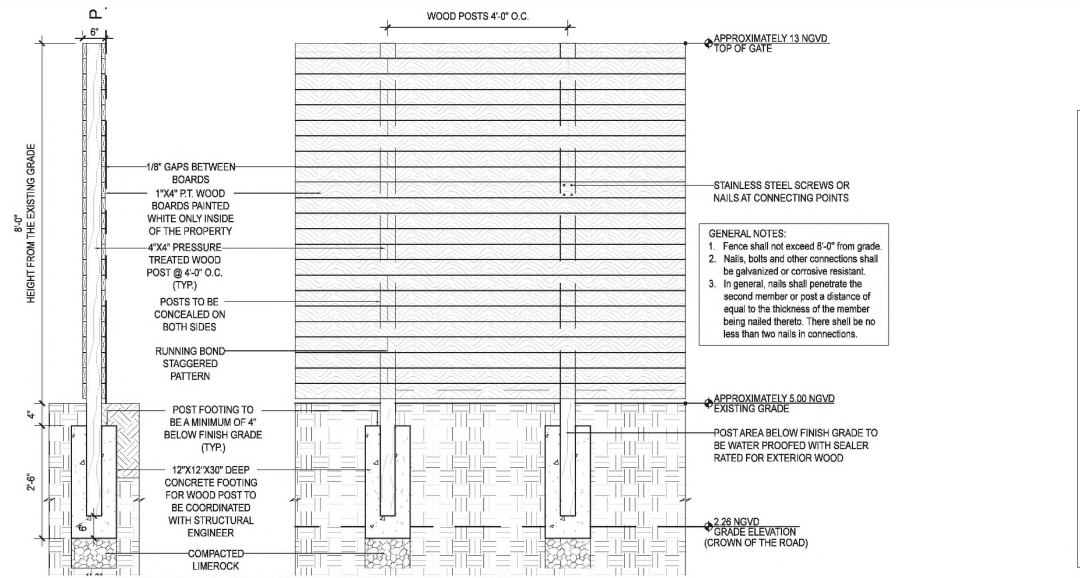


# Thank You

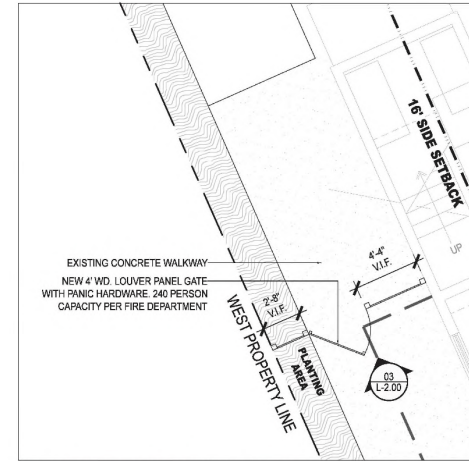
200 S. Biscayne Boulevard  
Suite 300, Miami, FL 33131

[www.brzoninglaw.com](http://www.brzoninglaw.com)

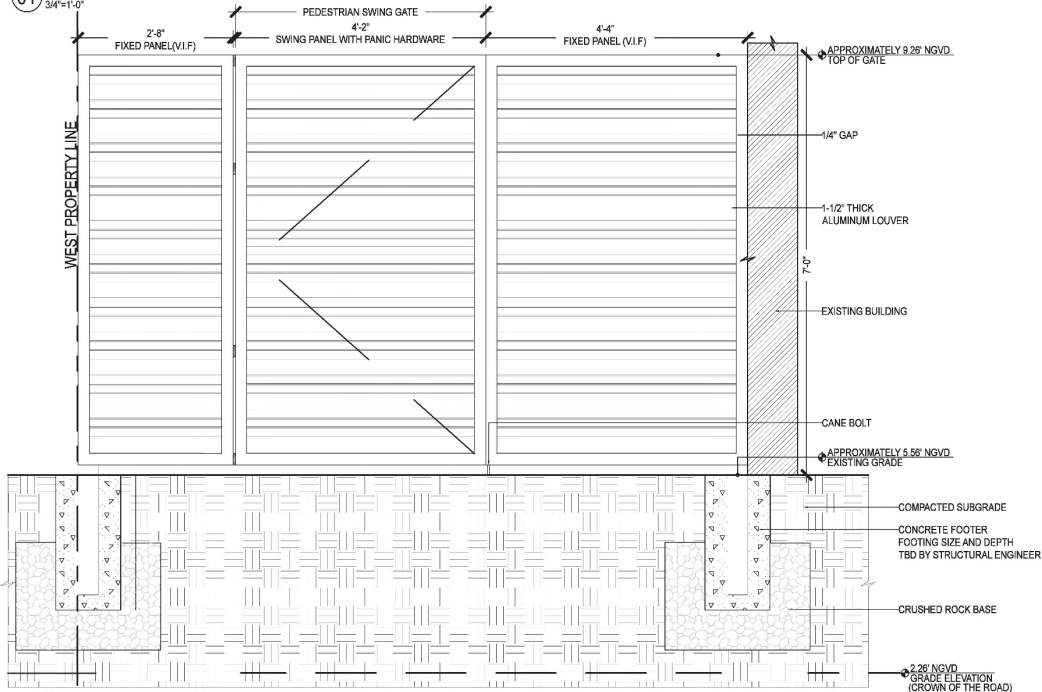
305.374.5300 office  
305.377.6222 fax  
[Info@brzoninglaw.com](mailto:Info@brzoninglaw.com)



01 EAST P.L. WOOD FENCE SECTION AND ELEVATION  
3/4"=1'-0"



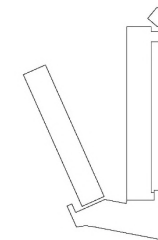
02 WEST PEDESTRIAN GATE PLAN VIEW  
1/8"=1'-0"



03 WEST PEDESTRIAN GATE ELEVATION  
1"=1'-0"

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## KEY NOTES



Summit 7d

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The Standard

PROJECT NAME

**THE STANDARD**  
**MIAMI BEACH**  
Spa Remodel  
40 Island Ave  
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Florida 33139

## HARDSCAPE DETAILS



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O: 786.717.6564 / M: 305.321.2341

Peter Anselmo  
R.L.A. FL# 6667221

DRAWN BY: PS

CHECKED BY: PA

ISSUED FOR

DATE \_\_\_\_\_

**FINAL  
SUBMITTAL**

2019.03.08  
SHEET NUMBER

L-2.00

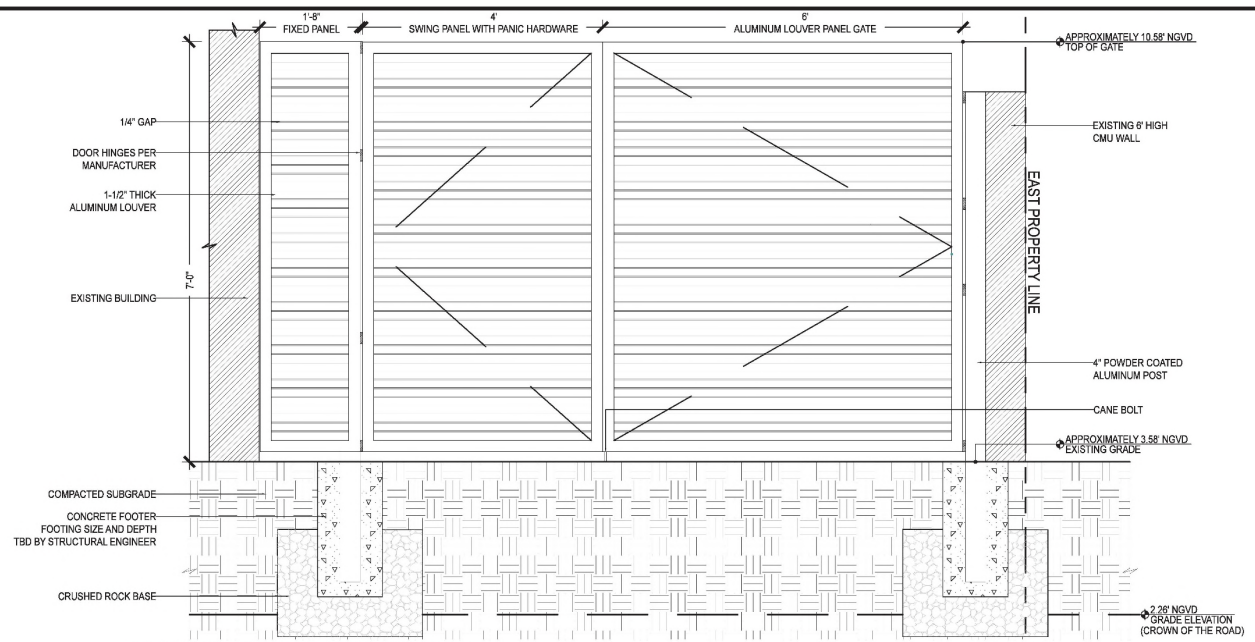
**PRIOR APPROVAL ON 05.07.2019**

## HARDSCAPE DETAILS

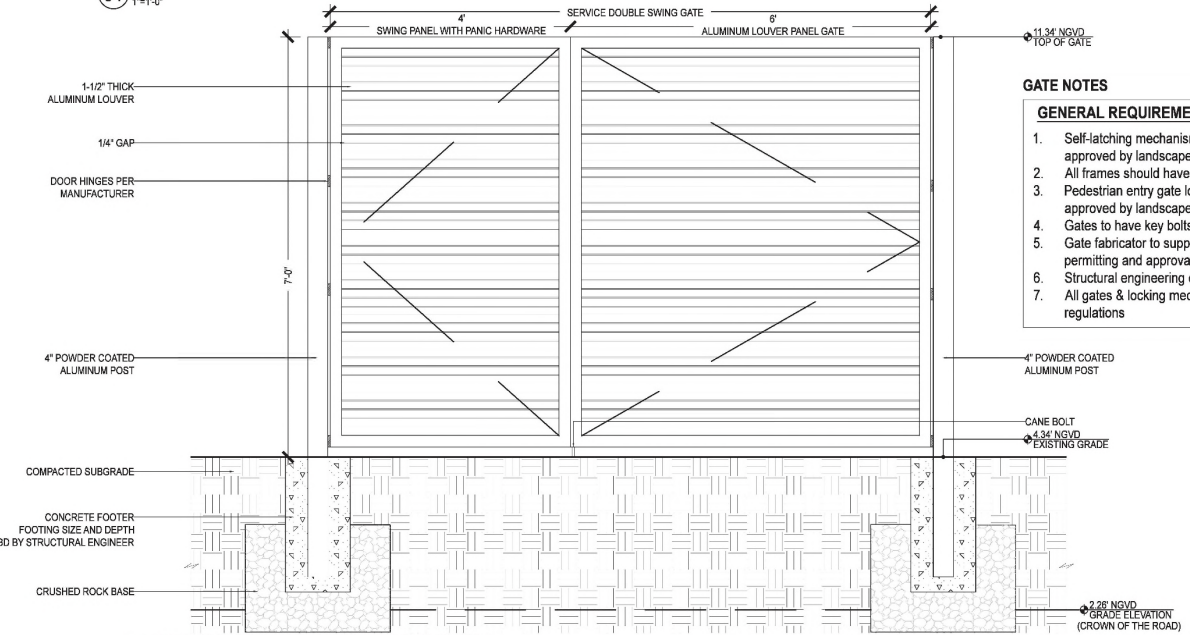
SCALE AS NOTED	1
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D	
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## KEY PLAN



01 EAST SERVICE ALLEY GATE ELEVATION  
1"=1'-0"

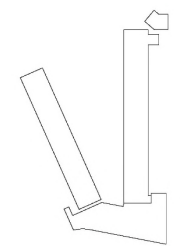


02 EMERGENCY EGRESS GATE ELEVATION  
1"=1'-0"

- GATE NOTES**
- GENERAL REQUIREMENTS:**
1. Self-latching mechanism hardware and handles to be provided by gate fabricator & approved by landscape architect.
  2. All frames should have a marine grade aluminum powder coated finish.
  3. Pedestrian entry gate lock and latch hardware to be provided by gate fabricator and approved by landscape architect.
  4. Gates to have key bolts.
  5. Gate fabricator to supply any additional required engineering shop drawings for permitting and approval by the landscape architect.
  6. Structural engineering of all structural fence & gate components by structural engineer.
  7. All gates & locking mechanisms to be compliant with all applicable pool safety regulations

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**KEY NOTES**



**Summit 7d**

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**The Standard**

PROJECT NAME  
**THE STANDARD**  
**MIAMI BEACH**  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

**GATE ELEVATIONS**

**NFI**

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Coral Gables, FL 33143  
O: 786.717.6564 / M: 305.321.2341

Peter Anselmo  
R.L.A. FL# 6667221

DRAWN BY: PS

CHECKED BY: PA	DATE
ISSUED FOR	

**FINAL SUBMITTAL**  
2019.03.08  
SHEET NUMBER

**L-2.01**

**PRIOR APPROVAL ON 05.07.2019**

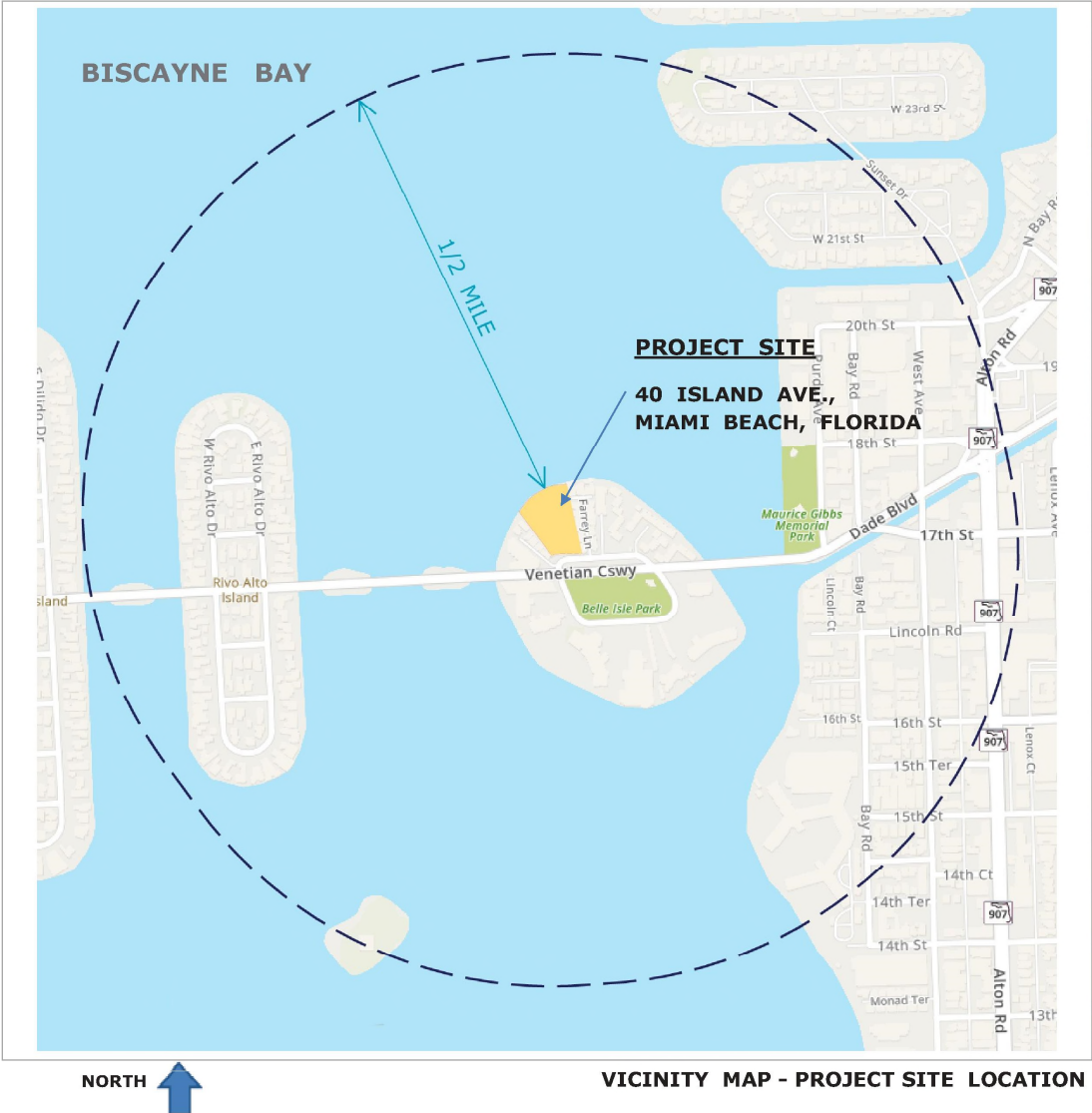
GATE ELEVATIONS SCALE AS NOTED 1

KEY PLAN

EXISTING PROJECT ZONING DATA

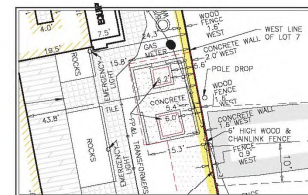
ITEM #	Zoning Information			
1	Address:	40 ISLAND AVENUE, MIAMI BEACH		
2	Board and file numbers :			
3	Folio number(s):	02-3233-004-0090		
4	Year constructed:	1953	Zoning District:	RM-1
5	Based Flood Elevation:	9'-0" N.G.V.D.	Grade value in NGVD:	4'-6" N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	6'-9" N.G.V.D.	Lot Area:	101,500 sq.ft.
7	Lot width:	193'-0"	Lot Depth:	420'
8	Minimum Unit Size	15%=300 to 335 sq.ft. / 85% > 335 sq.ft.	Average Unit Size	377 sq.ft.
9	Existing use:	HOTEL	Proposed use:	HOTEL
		Maximum	Existing	
10	Height	50'	48.83'	
11	Number of Stories	5	3	
12	FAR	1.25	0.83	
13	Gross square footage	126,875 sq.ft.	83,978 sq.ft.	
14	Square Footage by use	N/A		
15	Number of units Residential	N/A	N/A	
16	Number of units Hotel	N/A	105	
17	Number of seats	N/A	293	
18	Occupancy load	N/A	Restaurant 4,395 sq.ft. Hotel 32,232 sq.ft.	
19	Property Set Backs = Front - 20' . Sides - 16' . Back - 42'			

PROPOSED MODIFICATION - NO CHANGE TO EXISTING ZONING DATA



VICINITY MAP - PROJECT SITE LOCATION



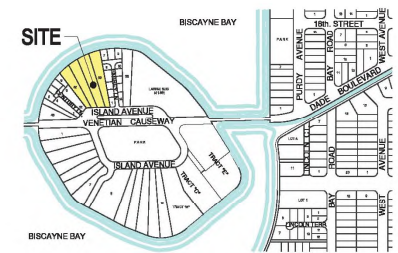


GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

### LEGEND

	= CATCH BASIN		= 0.5' CURB
	= MANHOLE		= 2.00' CURB & GUTTER
	= LIGHT POLE		= CHAIN LINK FENCE
	= WATER METER		= GRADE ELEVATION
	= CATCH BASIN INLET		= ELEVATION
	= UTILITY POLE		= INVERT
	= RISER		= SANITARY
	= FIRE HYDRANT		= PERMANENT REFERENCE MONUMENT
	= HANDHOLE		= CONCRETE
	= SIGN		= ASPHALT PAVEMENT



**LOCATION SKETCH**  
NOT TO SCALE

**LEGAL DESCRIPTION:**

Lots 39, 40, 41 and 42, BULL ISLE, according to the plat thereof as recorded in Plat Book 5 at Page 11 of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S NOTES:**

- All site lots in Section 33, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All parcels are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown herein were NOT abated for restrictions, easements and/or rights-of-way of any kind.
- Bearings shown are referred to an assumed value of N45°43'34" W for the Southeast line of Lot 42, and measured by a found nail and disk stamped 18807 at the Southeast Corner of the lot. The bearing of the line is 18553 at the intersection of the West Line and the Approximate Mean High Water Line.
- Divisions shown herein are relative to the National Geodetic Vertical Datum of 1929, and are based on the mean sea level of the Gulf of Mexico at the station 1725, located 20 miles to the east of the Venetian Causeway, located on December 28, 1978.
- Lands shown herein are located within an area having a Zone Designation AC (1, 9) by the Florida Department of Natural Resources, and are located within the area known as N128°03'41" W, for Community No. 123651, located in Section 33, Township 53, Range 42 East, City of Miami Beach, Miami-Dade County, Florida, and is relative to the National Geodetic Vertical Datum of 1929.
- All parcels depicted herein are field measured by electronic means, unless otherwise noted.
- Updates shown herein containing 104,588 square feet, or 2.336 acres, more or less.
- Based on our review of other notes in Plot Book 5 at Page 11, as well as other considerations, we have determined that the boundary line depicted is located to the wet foot of the Original 1/4" wide, Concrete Bulkheaded Dike at the time the lands were acquired by the City of Miami Beach, and that the boundary line shown has been extended to the Approximate Mean High Water Line of the waterway, existing today.
- All horizontal control measurements are within a precision of 1/10,000.
- This map is intended to be displayed at the graphic scale shown herein or smaller.
- Roof overhanging not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The geographic location of all utilities shown were determined from As-Built plans and/or as-built locations and should be verified before construction.
- Legal description and/or herein furnished by client and no claims as to ownership are made.

**SURVEYOR'S CERTIFICATION:**

I hereby certify that this "Boundary & Topographic Survey" was made under my responsible charge on December 3, 2018 and last updated on December 28, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027 Florida Statutes. The fieldwork was completed on December 28, 2020.

\*Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

FORTIN, LEAVY, SKILES, INC., LB3853

Digitally signed by Daniel C Fortin  
DN: c=US, o=Unaffiliated,  
ou=A01410D0000017402A2BF42000  
4295B, cn=Daniel C Fortin  
Date: 2021.02.15 13:04:53 -05'00'

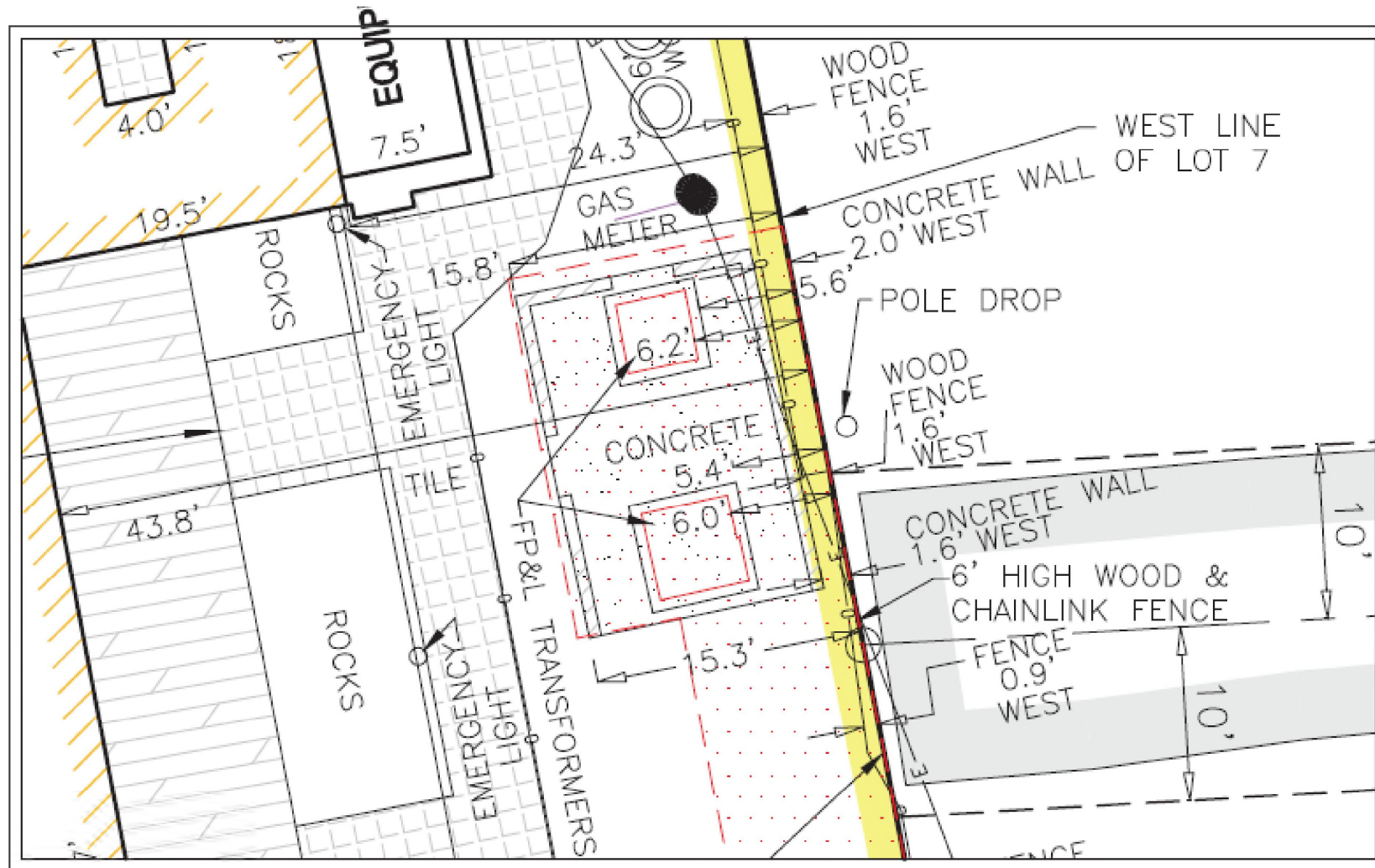
By: Daniel C. Fortin, Jr., For The Firm  
Surveyor and Mapper, LS6435  
State of Florida.

This Drawing is the Property of Farris, Leiby, Selten, Inc. and is an instrument of Service not to be reproduced in whole or in part without the Express Written Permission of Some.			
4	210C28	ADD FPM TRANSFORMERS (2/9/21) — SJD	DWF
3	201238	UPDATE SURVEY (12/28/20) SJD	BLS
2	190617	UPDATE SURVEY (9/25/19) SJD	MAP
1	190224	TREE SURVEY (7/1/19)	GEM
No.	O.N.	Revision Description	

**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00005653  
180 Northwest 168th Street / North Miami Beach, Florida 33162  
Phone 305-553-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

BOUNDARY & TOPOGRAPHIC SURVEY  
STANDARD HOTEL - 40 ISLAND AVENUE  
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

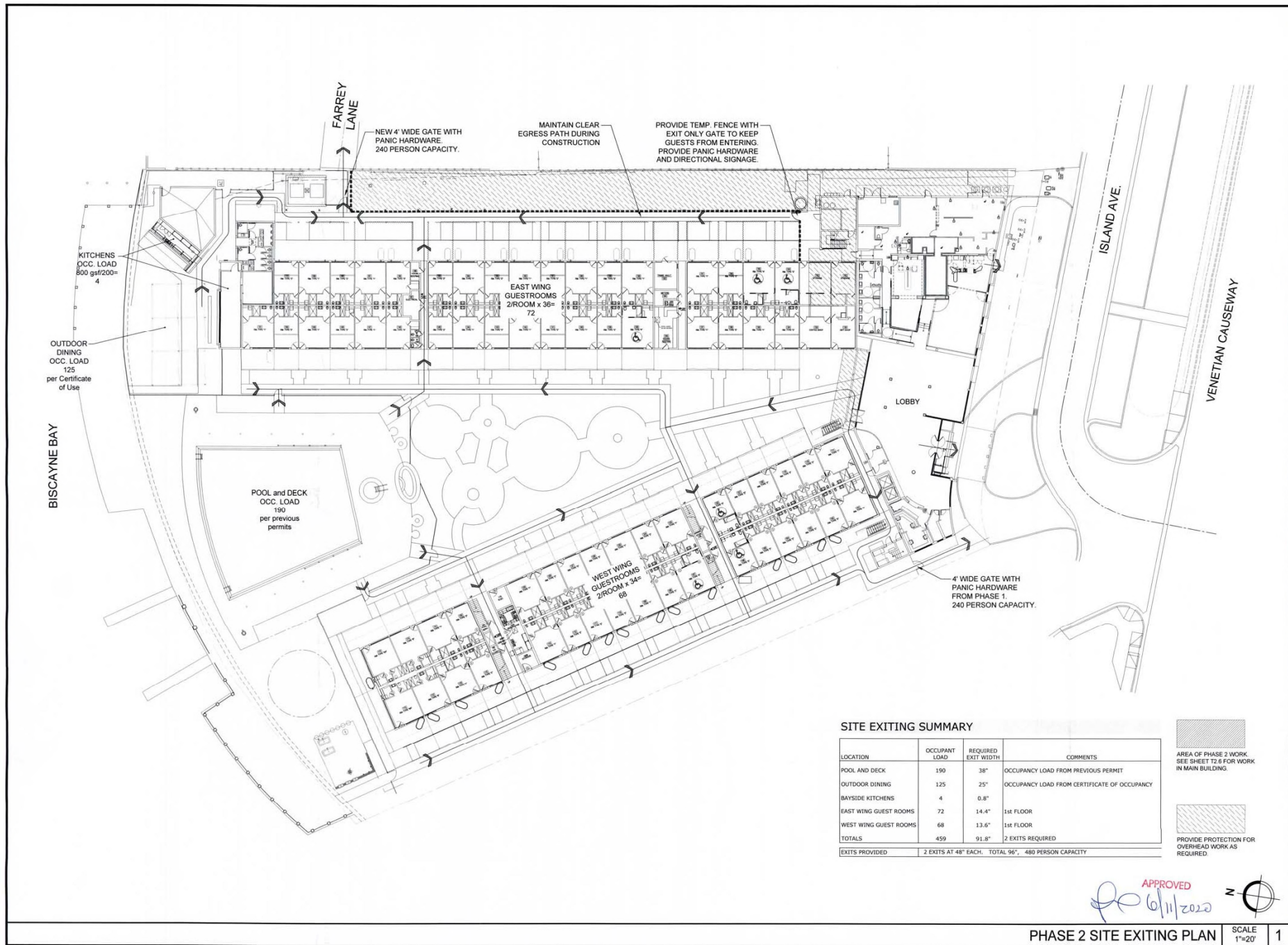
Original Date	12/3/18
Scale	1" = 30'
Drawn By	MAP
CAD No.	181280
Plotted	2/10/21 12:33p
Ref. Dwg.	2007-127
Field Book	RLL
	65057 & FLD.SHTS.
Job No.	181280
Dwg. No.	2018-174
Sheet	1 of 1



## DETAIL "A"

FP&L ENCLOSURE AREA ENLARGED FOR CLARITY PURPOSE,  
SEE CERTIFIED SURVEY ON S0.3 FOR COMPLETE INFORMATION





Summit 7d

40 Island Ave  
Miami Beach  
Florida 33139

THE USE OF THESE DESIGNS, DRAWINGS, SPECIFICATIONS, AND/OR CALCULATIONS IS RESTRICTED TO THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE, REPRODUCTION, OR MODIFICATION OF THESE DESIGNS, DRAWINGS, SPECIFICATIONS, AND/OR CALCULATIONS WITHOUT THE WRITTEN PERMISSION OF SUMMIT 7d IS PROHIBITED.



The Standard

PROJECT NAME  
**THE STANDARD**  
**MIAMI BEACH**  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

PROJECT NUMBER  
18-143

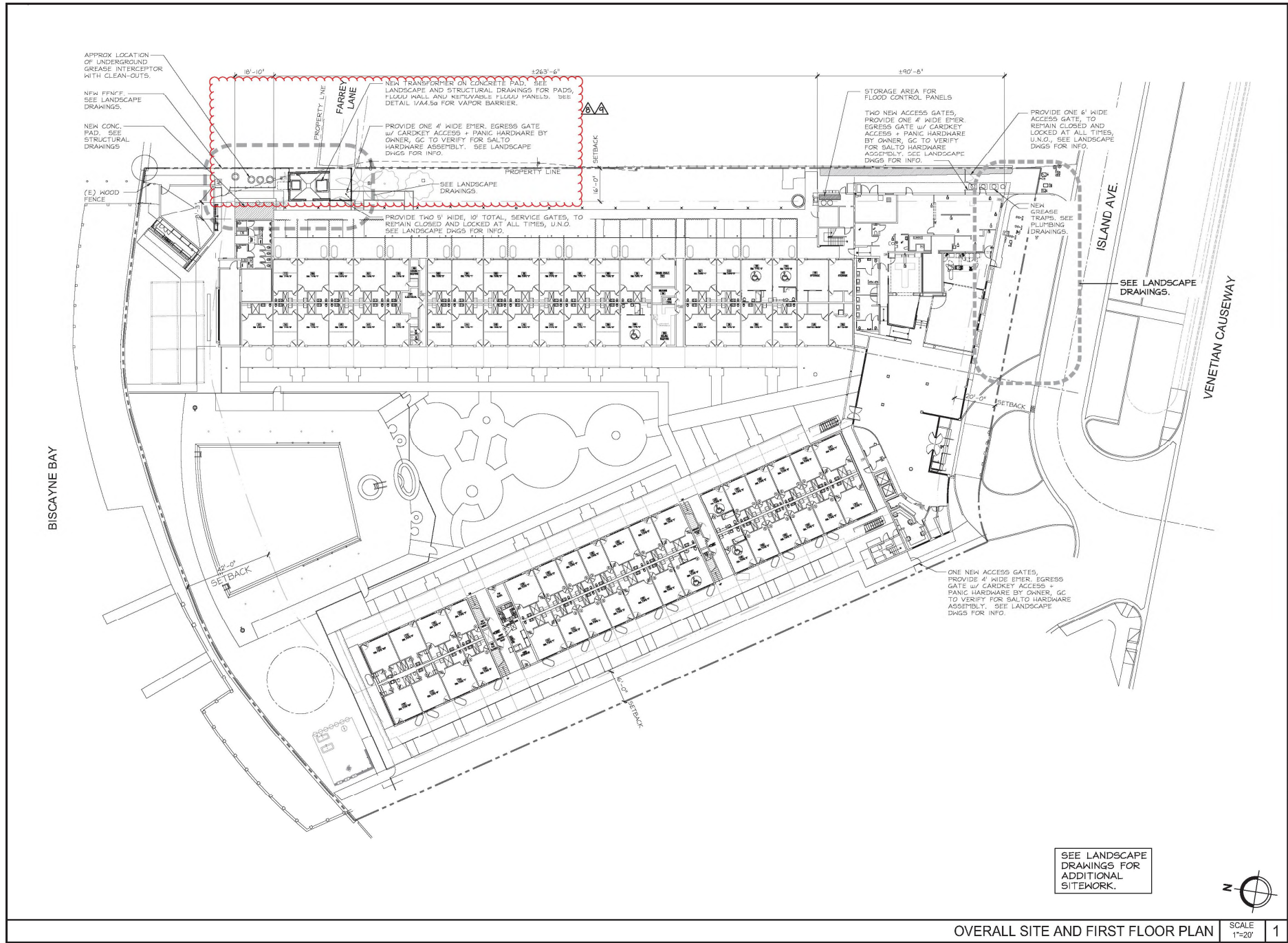
SHEET TITLE  
**PHASE 2 SITE**  
**EXITING PLAN**

DRAWN BY:  
CHECKED BY:

ISSUED FOR: MASTER PLAN CHECK DATE: 7.17.2019  
BY: MSTR PLN CHK RESUB 9.16.2019  
BY: MSTR PLN CHK RESUB 12.6.2019  
BY: MSTR PLN CHK RESUB 5.8.2020

SHEET NUMBER


**T2.6**



Summit 7d

40 Island Ave  
Miami Beach  
Florida 33139

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Digitally signed by AC  
ATHERTON  
Date: 2021.03.18  
16:34:01 -0800

The Standard

PROJECT NAME

**THE STANDARD**  
**MIAMI BEACH**  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

PROJECT NUMBER

18-143

SHEET TITLE

**SITE PLAN**

DRAWN BY:

CHECKED BY:

ISSUED FOR:

DATE

MASTER PLAN CHECK 7.17.2019

MASTER PLAN CHECK REVISION 9.16.2019

MASTER PLAN CHECK REVISION 10.16.2019

MASTER PLAN CHECK REVISION 12.6.2019

PERMIT REVISION 11.4.2020

PERMIT REVISION 1.27.2021

SEE LANDSCAPE DRAWINGS FOR ADDITIONAL SITEWORK.



OVERALL SITE AND FIRST FLOOR PLAN

SCALE  
1"=20'

1

T1.1

SHEET NUMBER



TREES



(PUT) *Pandanus utilis*  
Screw Pine



(MFR) *Myrcianthes fragans*  
Simpson Stopper

PALMS



(AWR) *Acoelorrhaphe wrightii*  
Paurotis Palm (cluster)



(SPC) *Sabal palmetto*  
Sabal Palm (character)



(HLE) *Heterospatha elata*  
Sagisi Palm

SHRUBS



(SR) *Sereona repens* 'Silver Form'  
Silver Saw Palmetto



(PL) *Psychotria ligustrifolia*  
Bahama Wild Coffee

ACCENTS



(PC) *Philodendron Congo* 'Green'  
Same



(HC) *Heliconia caribaea*  
Same

ACCENTS



(AA) *AAave angustifolia* 'Marginata'  
Caribbean Agave



(AC) *Anthurium cubense*  
Bird's Nest Anthurium



(CL) *Crinum* spp.  
Crinum Lily



(DA) *Dracaena arborea*  
Same



(CC2) *Cycas circinalis*  
Queen Sago

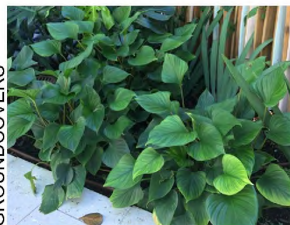
GROUNDCOVERS



(PB) *Philodendron bipinnatifidum*  
Split Leaf Philodendron



(PG) *Philodendron giganteum*  
Giant Philodendron



(HE) *Homalomena*  
Emerald Gem Plant



(TS) *Tradescantia spathacea* Dwarf  
Dwarf Oyster Plant



(BM) *Philodendron* 'Burle Marx'  
Same

(MS) *Microsorium scolopendrium*  
Wart Fern

PROPOSED

LANDSCAPE REFERENCE IMAGES

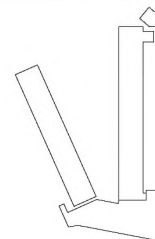
SCALE  
N/A

1

KEY PLAN

TO THE BEST OF OUR KNOWLEDGE,  
THESE PLANS COMPLY WITH ALL  
APPLICABLE BUILDING AND ZONING CODES.

KEY NOTES



Summit 7d

40 Island Ave  
Miami Beach  
Florida 33139

THE USE OF THESE REVISED DRAWINGS, SPECIFICATIONS, AND/OR CALCULATIONS IS RESTRICTED TO THE ORIGINAL PURPOSE FOR WHICH THEY WERE PREPARED AND FURNISHED TO THE CLIENT. ANY OTHER USE, REPRODUCTION, OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN PERMISSION OF SUMMIT 7D IS PROHIBITED.

The Standard

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**MIAMI BEACH**  
Spa Remodel  
40 Island Ave  
Miami Beach  
Florida 33139

PROJECT NUMBER

18-143

LANDSCAPE  
REFERENCE  
IMAGES



www.naturalofficial.com  
6915 Red Road, Suite 224  
Coral Gables, FL 33143  
O: 786.717.6564 / M: 305.321.2341

Peter Anselmo  
R.L.A. # 6667221

DRAWN BY: PS

CHECKED BY: PA

ISSUED FOR

DATE

DRB  
FINAL SUBMITTAL  
2021.07.06  
SHEET NUMBER

L-3.12



Confirming we received all the payments.

This job is currently in design. I will follow up with Rita on timelines in regards to design & get back to you in the next week.

The most timely part of this project will be the permitting with Miami Dade County. City of Miami Beach is on board & should give us the approval quickly.

Once city, county, and dewatering permits are received we will be out 6-8 weeks after to begin construction.

Thanks!  
**Sabrina Caneja**  
Engineer II  
Central Dade Service Center - FPL  
Office: 305-377-6079 Cell: 786-774-3426  
Email: Sabrina.Caneja@fpl.com



**FPL** Please contact me with any questions or concerns. If you cannot reach me, feel free to contact my Engineering Leader Joel Garcia at (o) 305 377 6108 or Joel.R.Garcia@fpl.com

## PAYMENT COUPON

/4115006400556800055647180023112380034235800

Your payment may be eligible to be paid online. Visit [www.fpl.com/construction](http://www.fpl.com/construction) to learn more. You can also mail a check payable to FPL in USD to the FPL address listed below right. Please mail the top portion of the coupon with your check.

Cust. No.: 6800055647	Bill No.: 1800231123
Payment Due Upon Receipt	Amount Due This Bill \$ 342,358.00
Reference# D00009148418	

FERRADO LIDO, LLC  
20411 SW BIRCH ST #360  
NEWPORT BEACH CA 92660

FPL  
General Mail Facility  
Miami FL 33188-0001

-----  
Please retain this portion for your records.

Florida Power & Light Company  
Federal Tax Id.#: 59-0247775  
Customer Name and Address

Customer Number: 6800055647  
Reference Number: D00009148418  
Bill Number: 1800231123  
Bill Date: 11/20/2020

FERRADO LIDO, LLC  
20411 SW BIRCH ST #360  
NEWPORT BEACH CA 92660

### CURRENT CHARGES AND CREDITS

Customer No: 6800055647 Bill No: 1800231123

Description	Amount
40 ISLAND AVE #UGR Reference# D00009148418	342,358.00
For Inquiries Contact: RITA SUAREZ 305-377-6202	Total Amount Due \$342,358.00 Payment Due Upon Receipt