



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE. #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

Audrés

455 LINCOLN ROAD, MIAMI BEACH, FL 33139

HISTORIC PRESERVATION BOARD FINAL SUBMITTAL
JULY 6, 2021

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

HPB SUBMITTAL 07-06-21

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ARCHITECT OF RECORD: OMAR MORALES, AIA
AW2114851

THE CLIENT HEREBY REPRESENTS AND WARRANTS THAT THE PROPERTY OF FORM GROUP, INC. OR PART THEREOF SHALL BE FULLY ENCLOSED OR USED IN WHOLE OR IN PART WITHIN THE BOUNDARIES OF THE PROJECT.

PROJECT NO.: 19-1007

TITLE: COVER

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN

DRAWING NO.: G-00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	455 LINCOLN ROAD, MIAMI BEACH, FL 33139		
2	Board and file numbers :	HPB19-0367		
3	Folio number(s):			
4	Year constructed:	1937	Zoning District / Overlay:	CD-3
5	Based Flood Elevation:	8.0'	Grade value in NGVD:	5.46' NGVD
6	Lot Area:	4,890 S.F	Lot Depth:	47'-3"
7	Lot width:	104'-11"		
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing use:	ASSEMBLY	Proposed use:	ASSEMBLY

	Maximum	Existing	Proposed	Deficiencies
10	Height:	50' (1ST 50') THEN 100'	41'-6"	41'-6"
11	Number of Stories:	N/A	4	4
12	FAR:	13,447 S.F.	10,946.71 S.F.	10,909.45 S.F.
13	Gross square footage:	N/A	10,946.71 S.F.	10,946.71 S.F.
14	Square Footage by use:	N/A	10,946.71 S.F. (ASSEMBLY)	10,909.45 S.F. (ASSEMBLY)
15	Number of units Residential:	N/A	N/A	N/A
16	Number of units Hotel:	N/A	N/A	N/A
17	Number of seats:	N/A	342	342
18	Occupancy load:	N/A	388	413
19	Density (per Comprehensive Plan):	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
20	Front Setback:	0'-0"	N/A	N/A	
21	Side Setback:	0'-0"	N/A	N/A	
22	Side Setback:	0'-0"	N/A	N/A	
23	Side Setback facing street:	0'-0"	N/A	N/A	
24	Rear Setback:	5'-0"	N/A	N/A	
At Grade Parking:					
25	Front Setback:	0'-0"	N/A	N/A	
26	Side Setback:	0'-0"	N/A	N/A	
27	Side Setback:	0'-0"	N/A	N/A	
28	Side Setback facing street:	0'-0"	N/A	N/A	
29	Rear Setback:	5'-0"	N/A	N/A	
Pedestal:					
30	Front Setback:	0'-0"	0.3'	N/A	
31	Side Setback:	0'-0"	N/A	N/A	
32	Side Setback:	0'-0"	N/A	N/A	
33	Side Setback facing street:	0'-0"	0.1'	N/A	
34	Rear Setback:	5'-0"	0.2'	N/A	
Tower:					
35	Front Setback:	0'-0"	N/A	N/A	
36	Side Setback:	0'-0"	N/A	N/A	
37	Side Setback:	0'-0"	N/A	N/A	
38	Side Setback facing street:	0'-0"	N/A	N/A	
39	Rear Setback:	5'-0"	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	N/A			
41	Total number of parking spaces:	N/A	N/A	N/A	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
44	Parking Space Dimensions:	N/A	N/A	N/A	
45	Parking Space configuration (45°,60°,90°,Parallel):	N/A	N/A	N/A	
46	ADA Spaces:	N/A	N/A	N/A	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	N/A	N/A	N/A	
49	Valet drop off and pick up:	N/A	N/A	N/A	
50	Loading spaces:	N/A	N/A	N/A	
51	Trash collection area:	N/A	N/A	INTERIOR TRASH ROOM	
52	Short-term Bicycle Parking, location and Number of racks:	N/A	N/A	NA	
53	Long-Term Bicycle Parking, location and Number of racks:	N/A	N/A	N/A	
Restaurants, Cafes, Bars, Lounges, Nightclubs					
54	Type of use:	N/A	ASSEMBLY	ASSEMBLY	
55	Number of seats located outside on private property:	1/ 15 NET	50	54	
56	Number of seats inside:	-	-	288	
57	Total number of seats:	-	-	342	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	-	GROUND LEVEL: 104 EXTERIOR: 54 THIRD LEVEL: 119 ROOF LEVEL: 65	
59	Total occupant content:	N/A	388	413	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	GROUND LEVEL: 235 MEZZANINE: 66 THIRD LEVEL: 37 ROOF LEVEL: 50	GROUND LEVEL: 192 MEZZANINE: 8 THIRD LEVEL: 141 ROOF LEVEL: 72	
61	Proposed hours of operation:	N/A			
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):				
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	Yes			
64	Is this a contributing building?:	N/A			
65	Located within a Local Historic District?:	Yes			



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ARCHITECT:
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REVISIONS:
HPB SUBMITTAL 07-06-21



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ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA 0014851

PROJECT NO.: 19-1007 TITLE: ZONING LEGEND
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: G-01



OWNER:
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DEVELOPER:

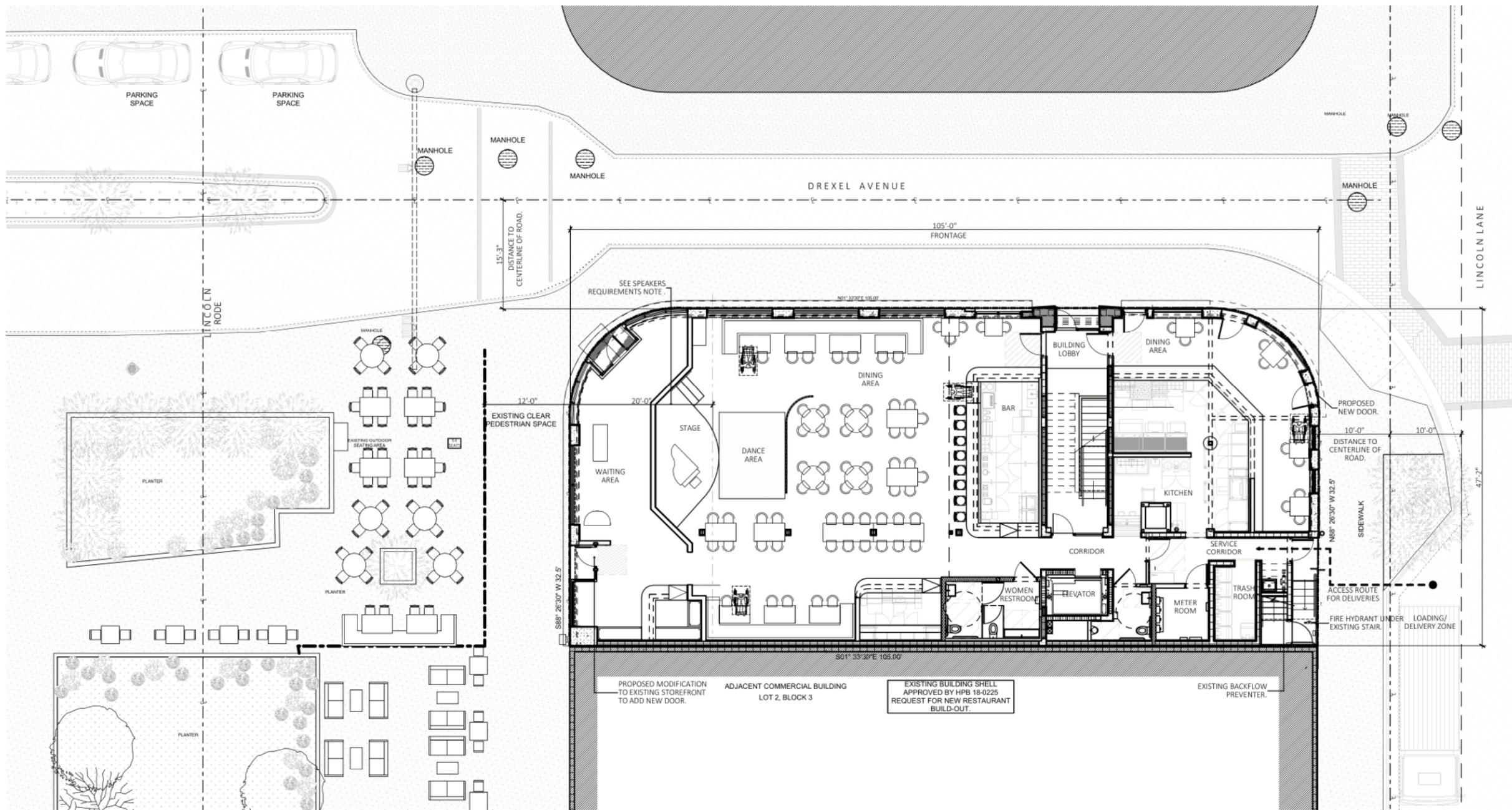
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A PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

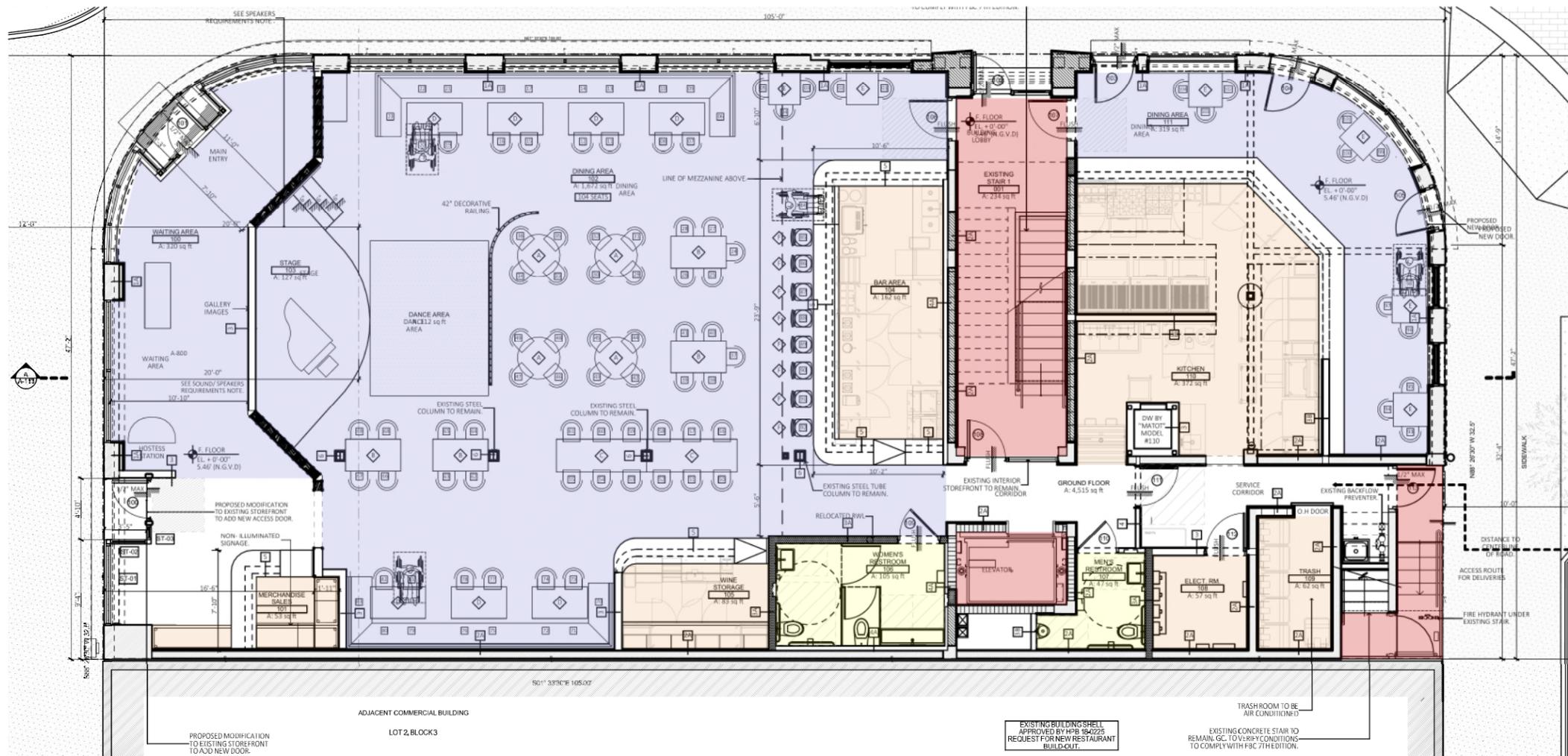
SUMMARY OF	OCCUPANCY	SEATING
GROUND FLOOR:	192	104
EXTERIOR:	N/A	54
MEZANINE LEVEL:	8	-
THIRD FLOOR:	141	119
ROOF LEVEL:	72	65
TOTAL	413	342

PROPOSED BUILDING INFORMATION	
MUNICIPALITY:	CITY OF MIAMI BEACH
ZONING DESIGNATION:	CD-3
OCCUPANCY:	LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF-ASSEMBLY (EXISTING)
LOT AREA:	4,890 SF
CONSTRUCTION TYPE:	EXISTING IIIA
PROPOSED AREA CALCULATION:	GROUND LEVEL ASSEMBLY: 4,552 S.F. MEZANINE LEVEL -KITCHEN: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F.
TOTAL BUILDING: 10,909.45 S.F.	

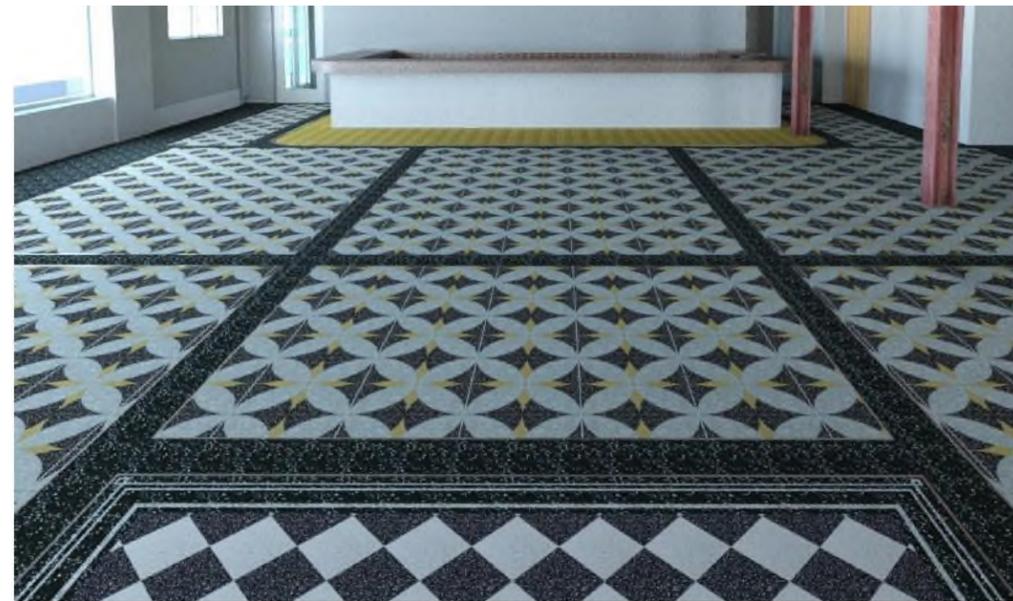


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PROJECT NO.: 19-1007 TITLE: PROPOSED SITE PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-105**



A PROPOSED GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"



1 PROPOSED TERRAZZO TILE PATTERN- DINING ROOMS
NOT TO SCALE

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR.
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

GROUND FLOOR:

DINING:	2,002 S.F. / 15 NET	= 134 PERSONS
WAITING AREA:	295 S.F. / 7 NET	= 43 PERSONS
KITCHEN:	531 S.F. / 200 GROSS	= 3 PERSONS
STAGE AREA:	151 S.F. / 15 NET	= 11 PERSONS
STORAGE:	145 S.F. / 300 GROSS	= 1 PERSONS
TOTAL		= 192 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS
NUMBER OF EXITS PROVIDED: 6

INTERIOR SEATING COUNT

QTY.	DESCRIPTION	LOCATION
9	BAR AREA	GROUND
95	DINING AREA	GROUND
104	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

51 TO 150	4
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PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND

- A** ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
- B** TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
- C** TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
- D** TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
- E** TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
- F** BARSTOOL (MOBILE FURNITURE)
- G** SOFA- 2 PERSONS (MOBILE FURNITURE)

FLOOR FINISH SHCEDULE

1. DINING AREAS: TERRAZZO TILE (SEE IMAGE)
2. BAR / KITCHENS: EPOXY FLOORING
3. RESTROOMS: PORCELAIN TILE
4. BOH SPACES: EPOXY FLOORING



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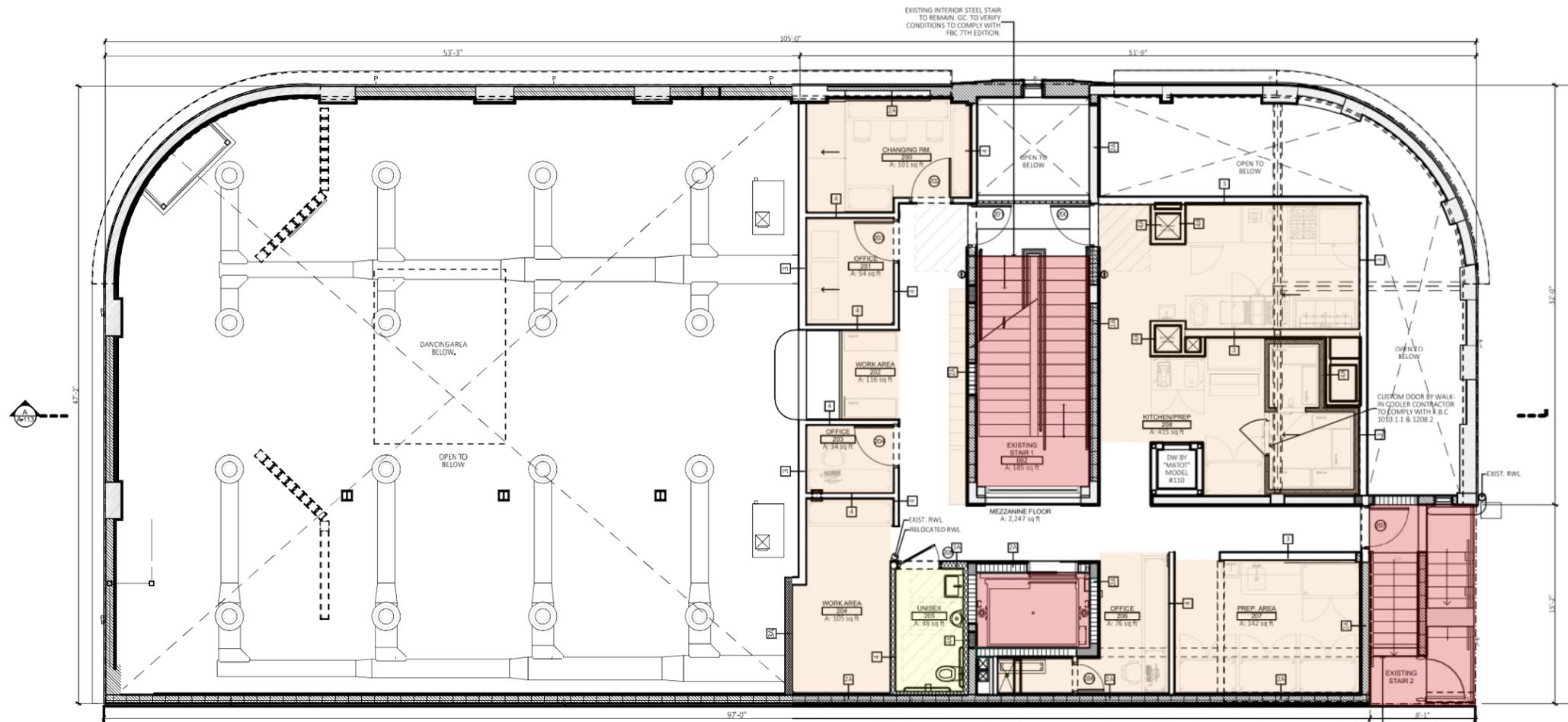
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PROJECT NO.: 19-1007 TITLE: PROPOSED GROUND FLOOR PLAN
DATE: DECEMBER 2, 2019

SCALE: AS SHOWN DRAWING NO.: A-106



A PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR,
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

MEZZANINE FLOOR:

OFFICE:	228 S.F. / 100 GROSS	= 3 PERSONS
KITCHEN:	415 S.F. / 200 GROSS	= 3 PERSONS
STORAGE:	387 S.F. / 300 GROSS	= 2 PERSONS
TOTAL		= 8 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS
NUMBER OF EXITS PROVIDED: 6

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND

A	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
B	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
C	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
D	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
E	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
F	BARSTOOL (MOBILE FURNITURE)
G	SOFA- 2 PERSONS (MOBILE FURNITURE)



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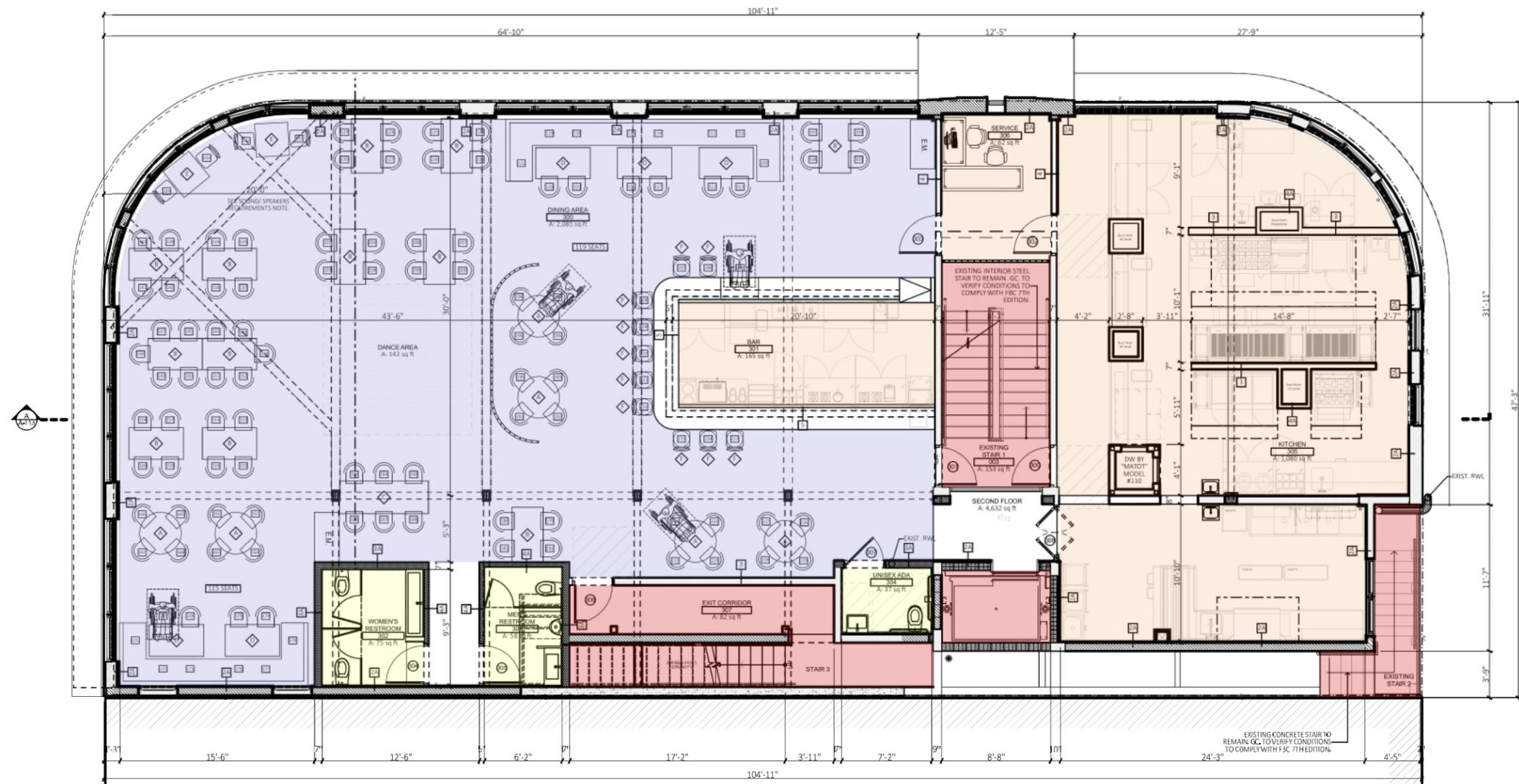
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PROJECT NO.: 19-1007
TITLE: PROPOSED MEZZANINE FLOOR PLAN

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN

DRAWING NO.: A-107



A PROPOSED THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
-RESTAURANT / BAR,
-ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

THIRD FLOOR:

DINING: 1,995 S.F. / 15 NET = 133 PERSONS
KITCHEN: 1,226 S.F. / 200 GROSS = 7 PERSONS
STORAGE: 102 S.F. / 300 GROSS = 1 PERSONS
TOTAL = 141 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS

INTERIOR SEATING COUNT

QTY.	DESCRIPTION	LOCATION
119	DINING AREA	THIRD
119	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

51 TO 150	4
TOTAL	4

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO-ENTERTAINMENT AREAS.

FURNITURE LEGEND

A	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
B	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
C	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
D	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
E	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
F	BARSTOOL (MOBILE FURNITURE)
G	SOFA- 2 PERSONS (MOBILE FURNITURE)



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INTERIOR DESIGNER:

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AIA 014851

PROJECT NO. 19-1007 TITLE: PROPOSED THIRD FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-108**



METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
 -RESTAURANT / BAR.
 -ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

ROOF TERRACE:
 DINING: 1,046 S.F. / 15 NET = 70 PERSONS
 BAR: 168 S.F. / 200 GROSS = 2 PERSONS
TOTAL = 72 PERSONS

TOTAL BUILDING OCCUPANTS: 413 PERSONS

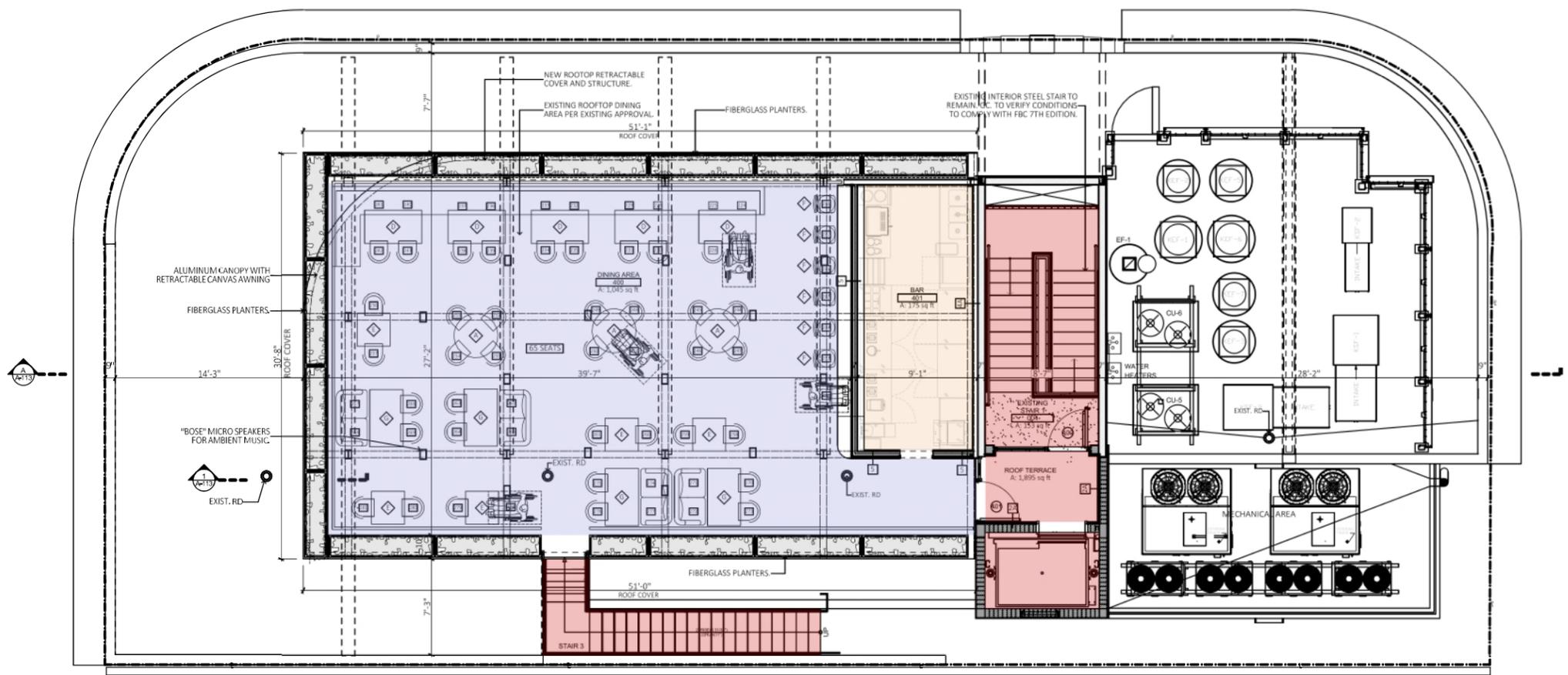
INTERIOR SEATING COUNT		
QTY.	DESCRIPTION	LOCATION
65	DINING AREA	ROOF
65	TOTAL	

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS	
51 TO 150	4
TOTAL	4

PLAN LEGEND	
	ASSEMBLY AREAS (DINING AREAS).
	KITCHEN / BAR AREAS.
	RESTROOMS.
	STAIR / ELEVATOR / CORRIDORS.

NOTE
 NO ROOFTOP ENTERTAINMENT PROPOSED.
 PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO-ENTERTAINMENT AREAS.

FURNITURE LEGEND	
	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4") AND BANQUET. 4 PERSONS
	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
	BARSTOOL (MOBILE FURNITURE)
	SOFA- 2 PERSONS (MOBILE FURNITURE)



A PROPOSED ROOF TERRACE PLAN
 SCALE: 3/32" = 1'-0"

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 AIA 0014851

PROJECT NO.: 19-1007 TITLE: PROPOSED ROOF FLOOR PLAN
 DATE: DECEMBER 2, 2019
 SCALE: AS SHOWN DRAWING NO.: A-109



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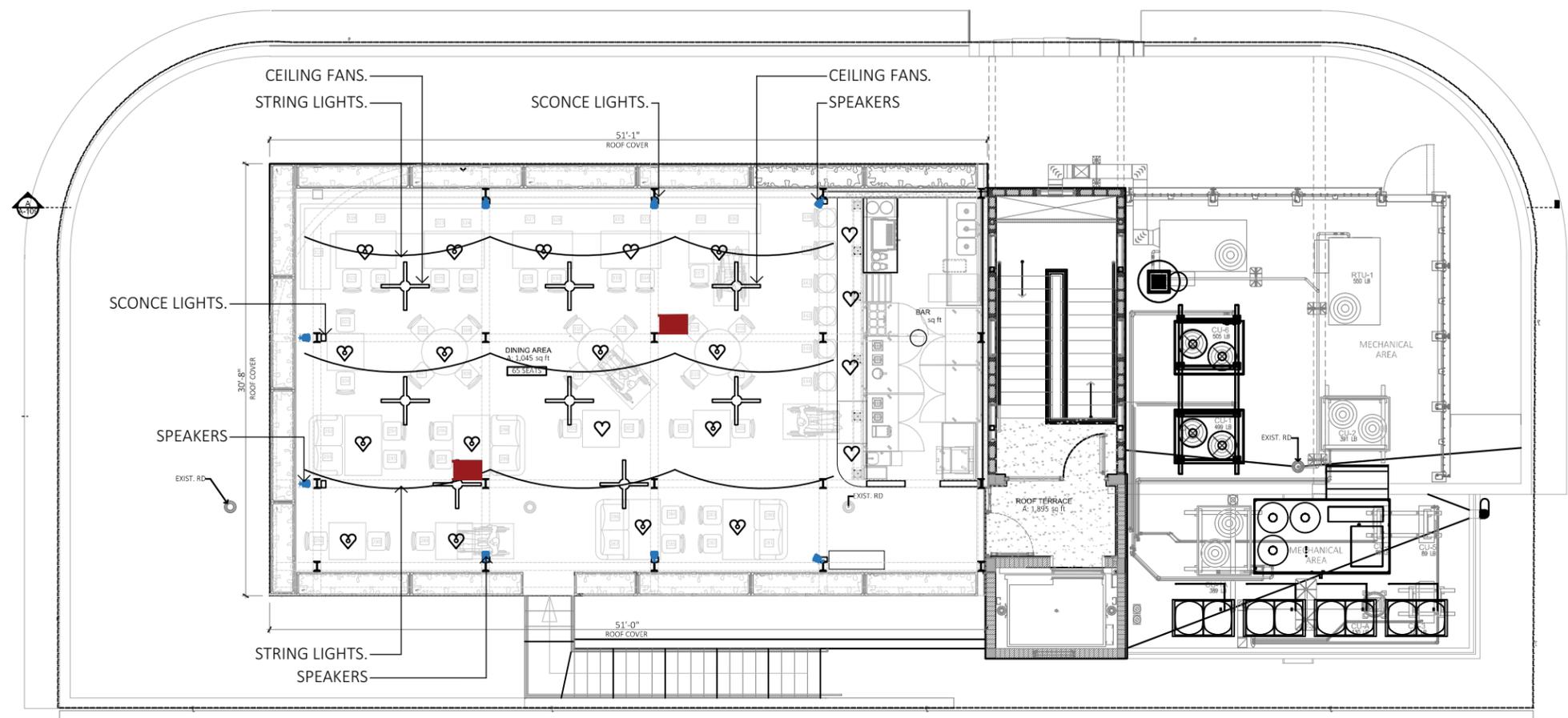
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A PROPOSED ROOF TERRACE CEILING PLAN
SCALE: 1/4" = 1'-0"



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ARCHITECT OF RECORD: OMAR MORALES, AIA
AA0014851

PROJECT NO. 19-1007 TITLE: PROPOSED ROOF-LIGHTING PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-109.1



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LINCOLN DREXEL II, LTD.
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INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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architecture .planning

FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3538
ARCHITECT OF RECORD: OMAR MORALES, AIA
AA 00218851

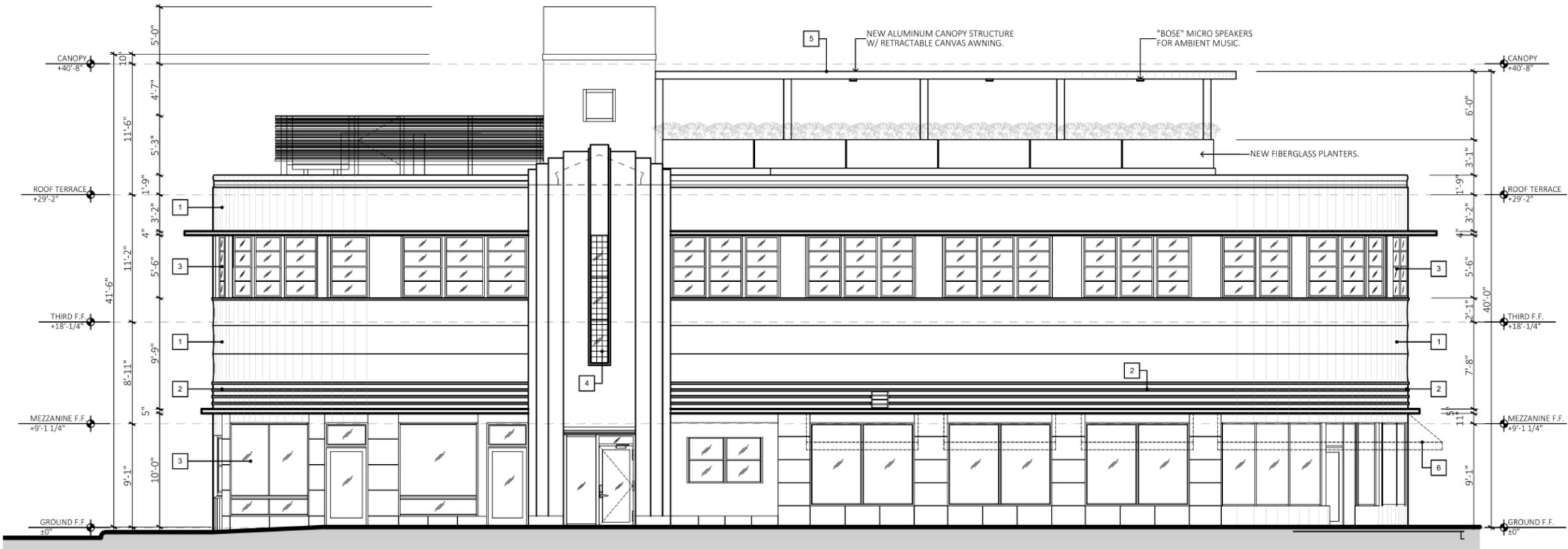
PROJECT NO: 19-1007 TITLE: PROPOSED ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: **A-111**

NOTES:

ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

FINISH NOTES:

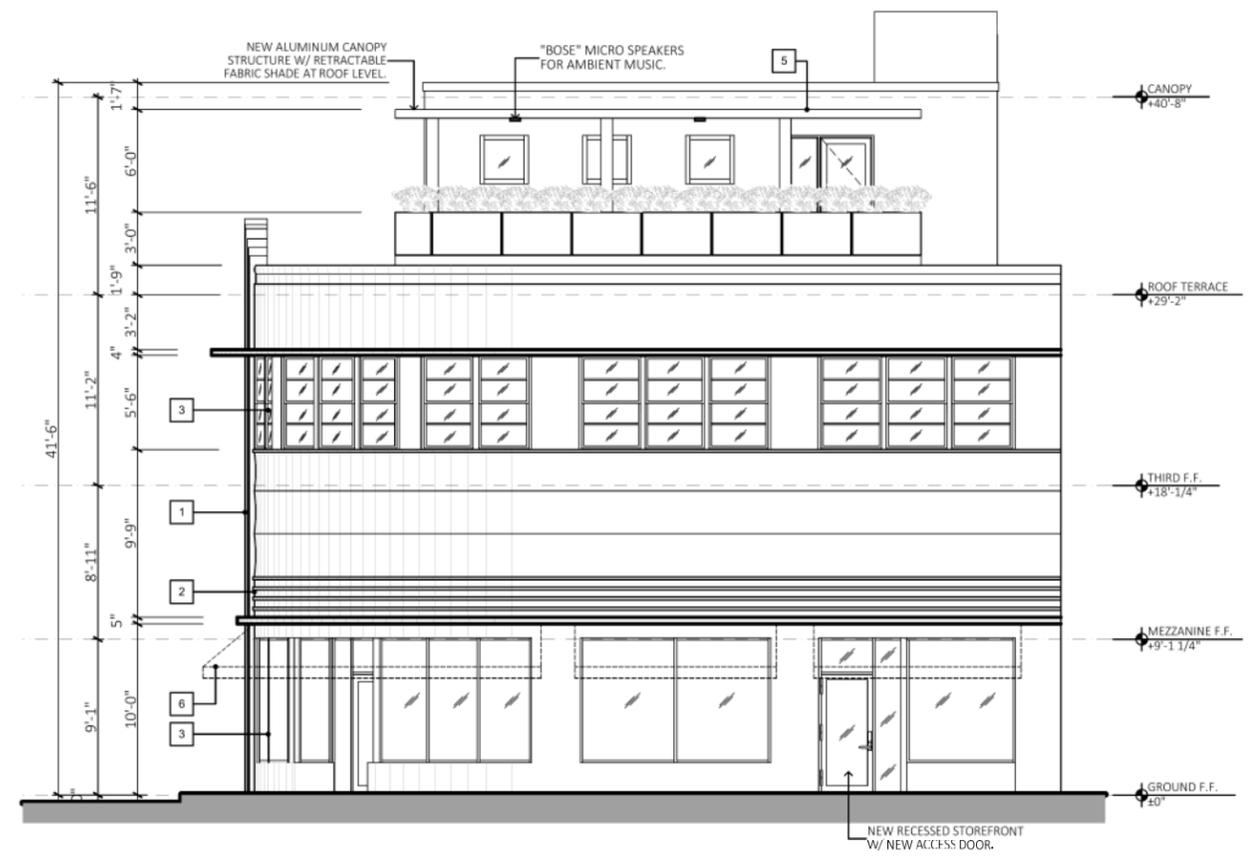
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
2. EXISTING STUCCO BANDING TO REMAIN.
3. EXISTING WINDOWS TO REMAIN.
4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
6. NEW CANVAS AWNINGS TO MATCH EXISTING.
7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



1 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

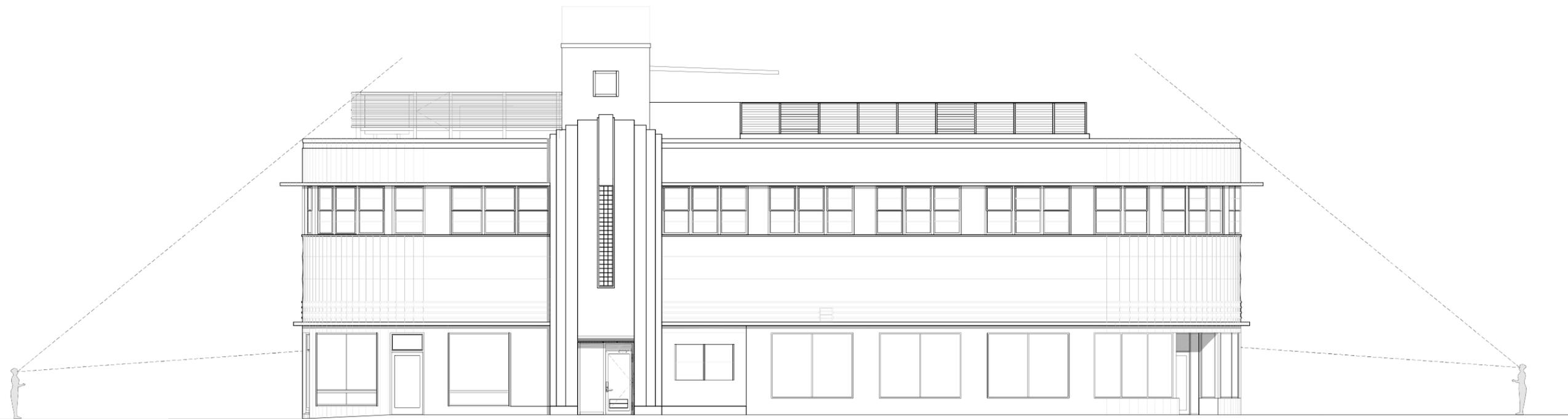
REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
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PROJECT NO.: 19-1007 TITLE: VIEW ANGLES
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-112**



1 WEST ELEVATION- VIEW ANGLE
SCALE: 1:1.80



2 LINCOLN ROAD AND DREXEL AVENUE- 3D VIEW
NOT TO SCALE



1 DREXEL AVENUE- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA 0214851

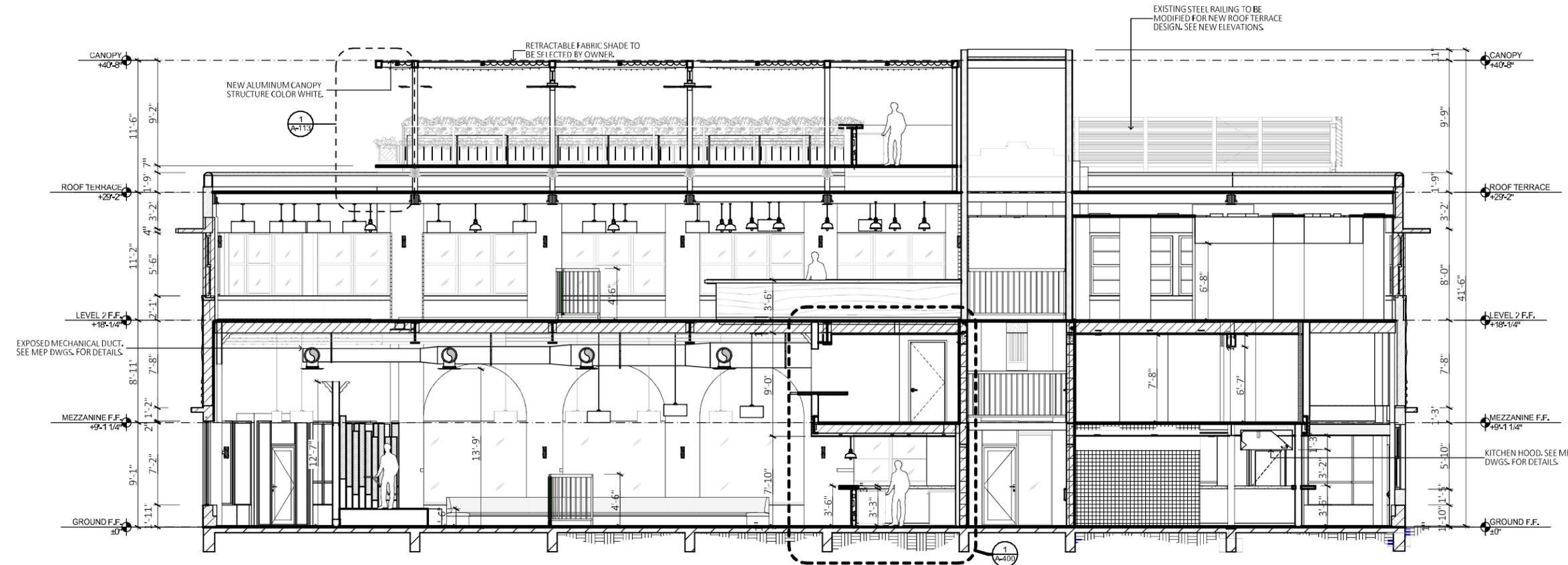
PROJECT NO. 19-1007 TITLE: PROPOSED SECTION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-113**

NOTES:

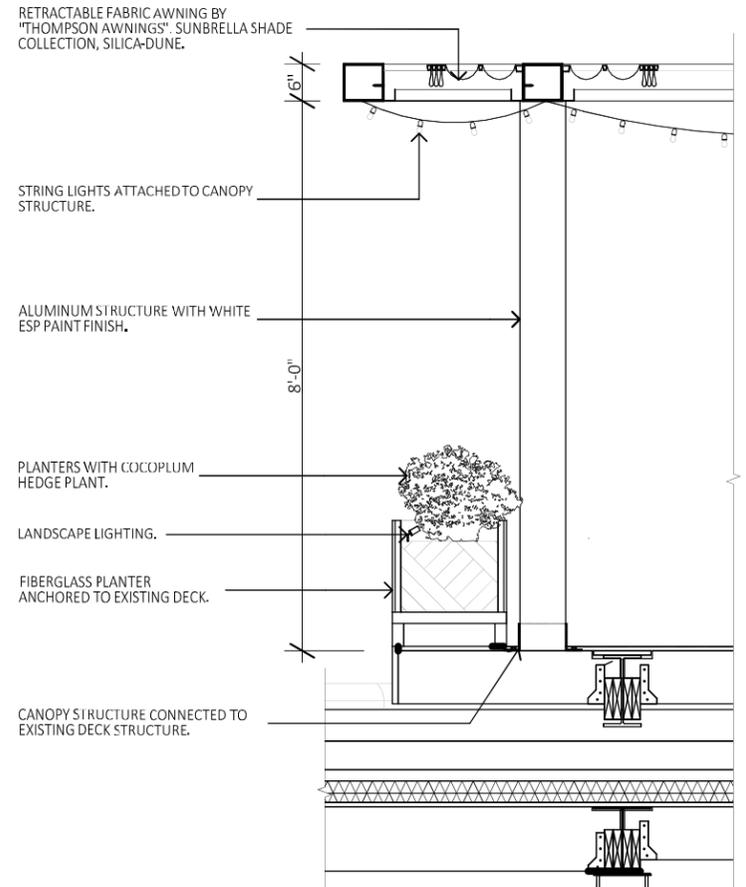
ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

FINISH NOTES:

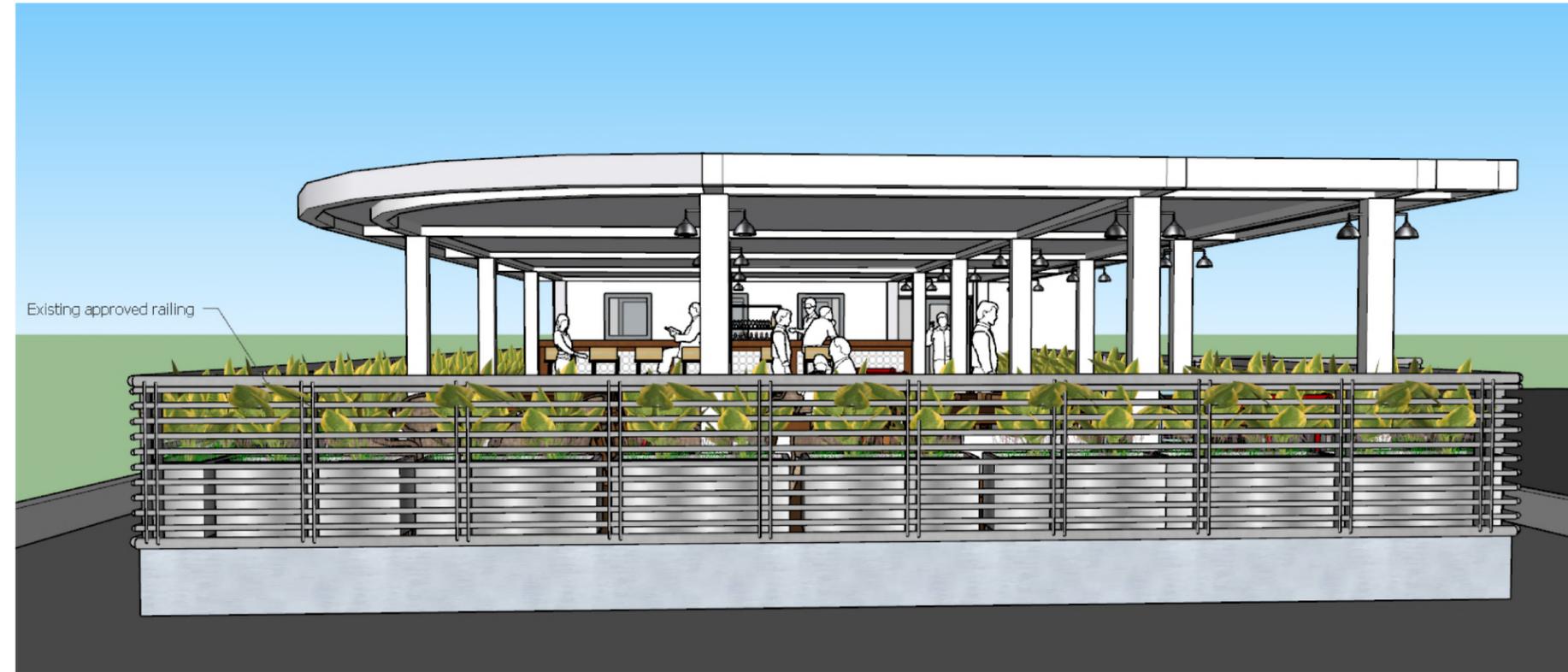
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
2. EXISTING STUCCO BANDING TO REMAIN.
3. EXISTING WINDOWS TO REMAIN.
4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
6. NEW CANVAS AWNINGS TO MATCH EXISTING.
7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



A PROPOSED BUILDING SECTION
SCALE: 3/32" = 1'-0"



1 ROOF CANOPY- SECTION DETAIL
SCALE: 3/8" = 1'-0"



B CANOPY @ ROOF TERRACE - 3D VIEW
NOT TO SCALE



CANOPY- CONCEPT.



RETRACTABLE AWNINGS
FABRIC- SILICA DUNE.



STRING LIGHT-TERRACE
LIGHING CONCEPT.



FIBERGLASS PLANTER- CONCEPT.



LIGHTING FOR PLANTER. CONCEPT.



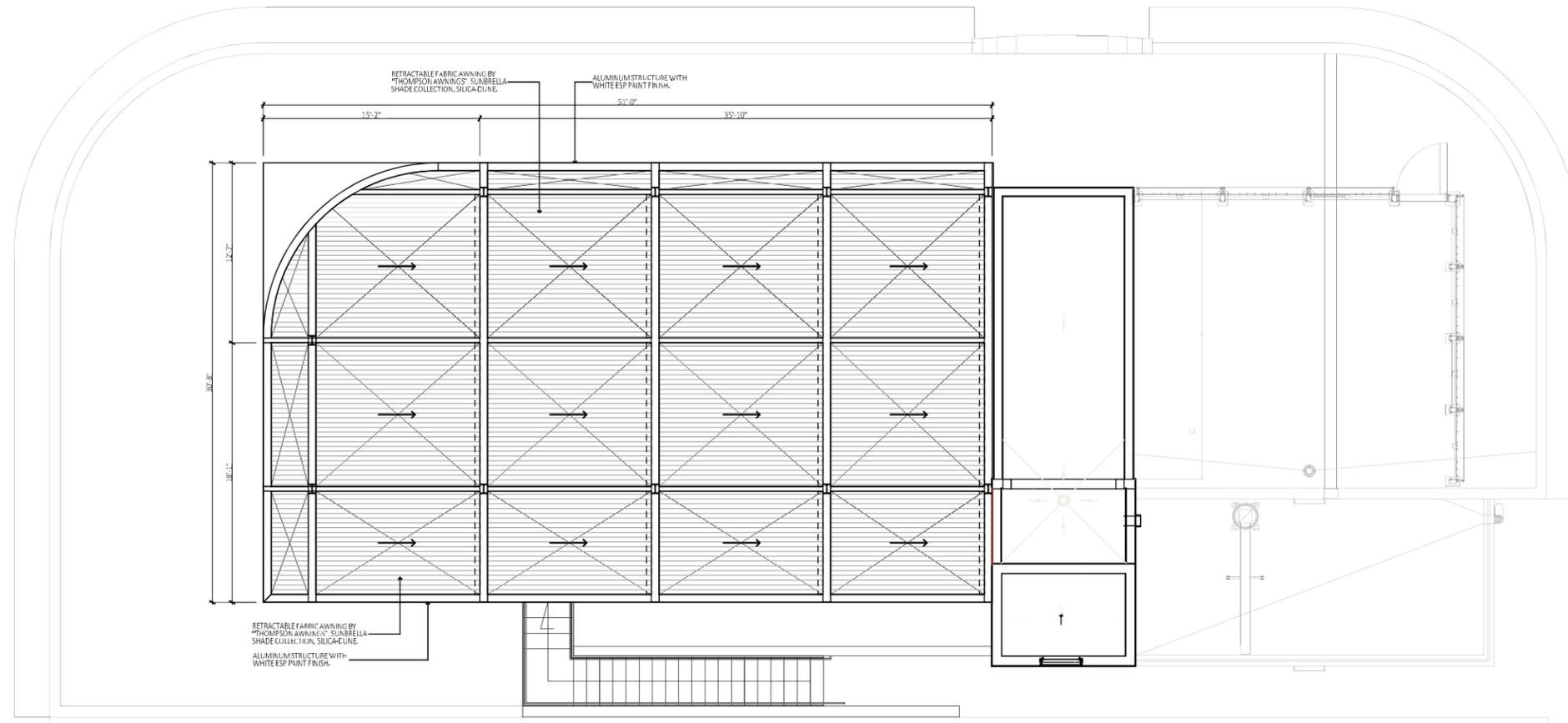
CEILING FANS- CONCEPT.



COCOPLUM EDGE-
LANDSCAPING CONCEPT.



ROOF/TERRACE- LIGHTING CONCEPT.



A PROPOSED CANOPY @ ROOF TERRACE
SCALE: 3/32" = 1'-0"



2 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



3 CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE, #106
MIAMI, FL, 33155

PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

HPB SUBMITTAL 07-06-21

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TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA 0214851

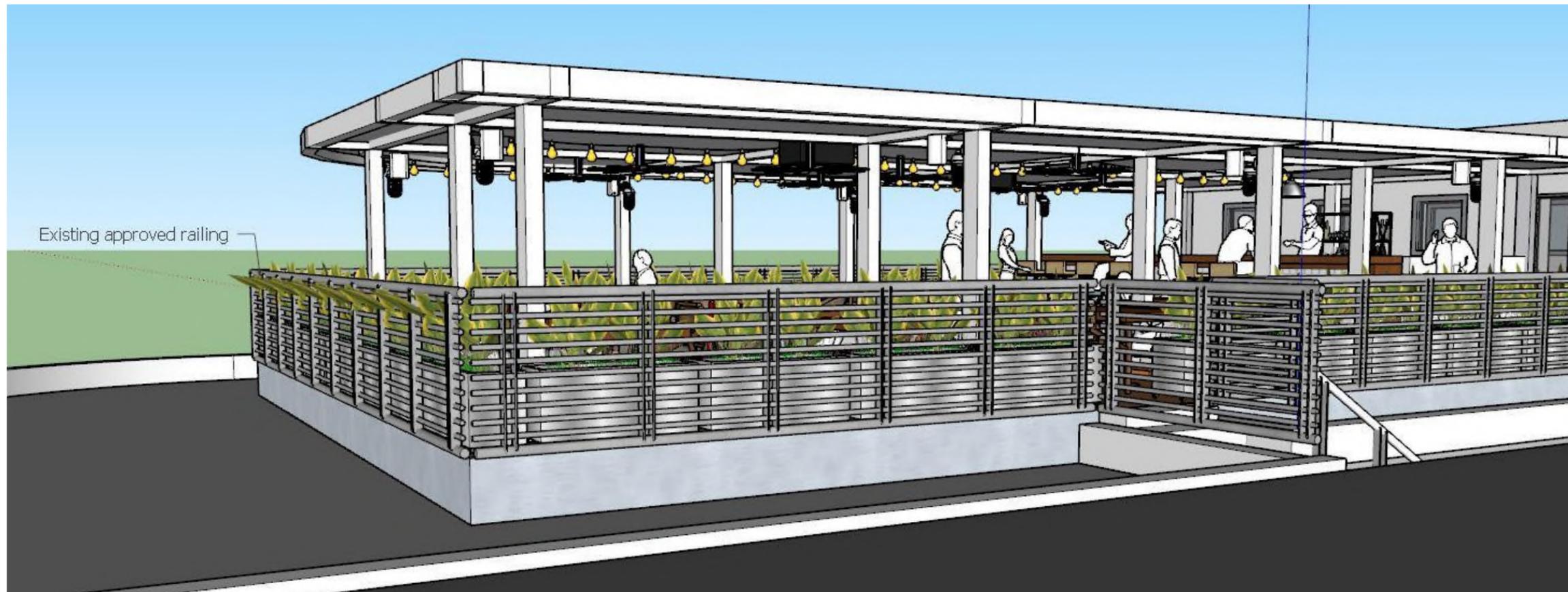
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PROJECT NO. 19-1007 TITLE: PROPOSED CANOPY

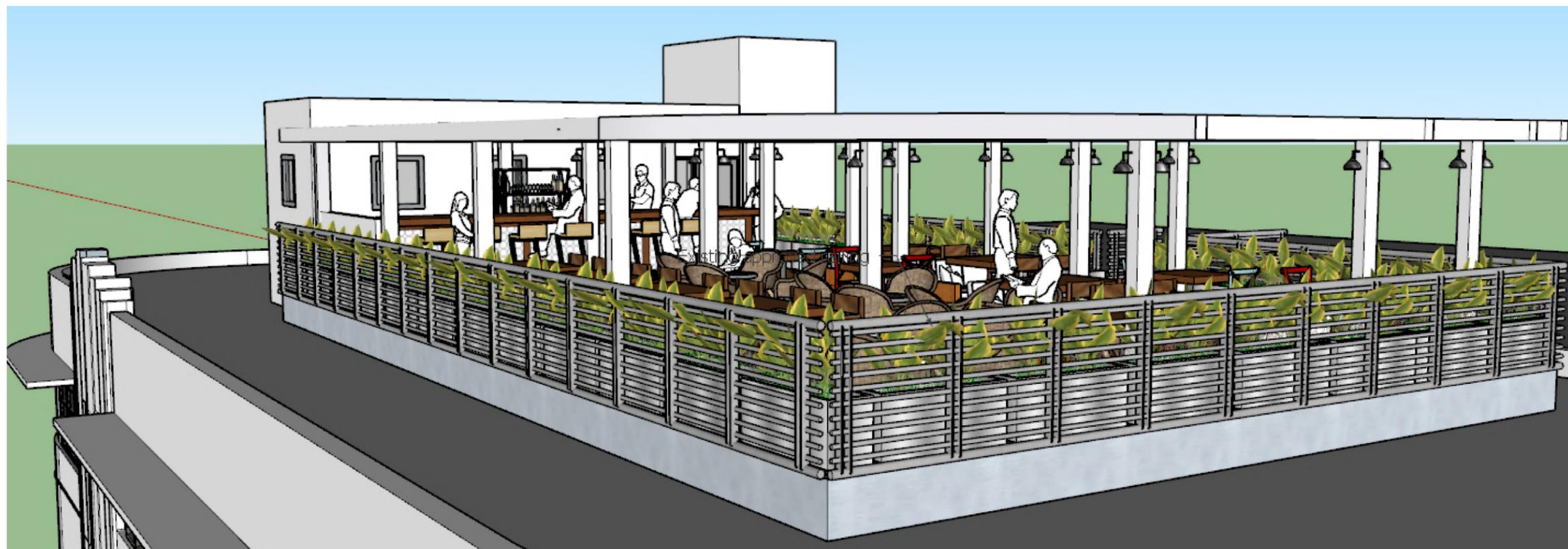
DATE: DECEMBER 2, 2019

SCALE: AS SHOWN DRAWING NO.:

A-114



1 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



2 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155

PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

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PROJECT NO: 19-1007 TITLE: PROPOSED CANOPY- 3D VIEW

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN DRAWING NO: A-114a



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

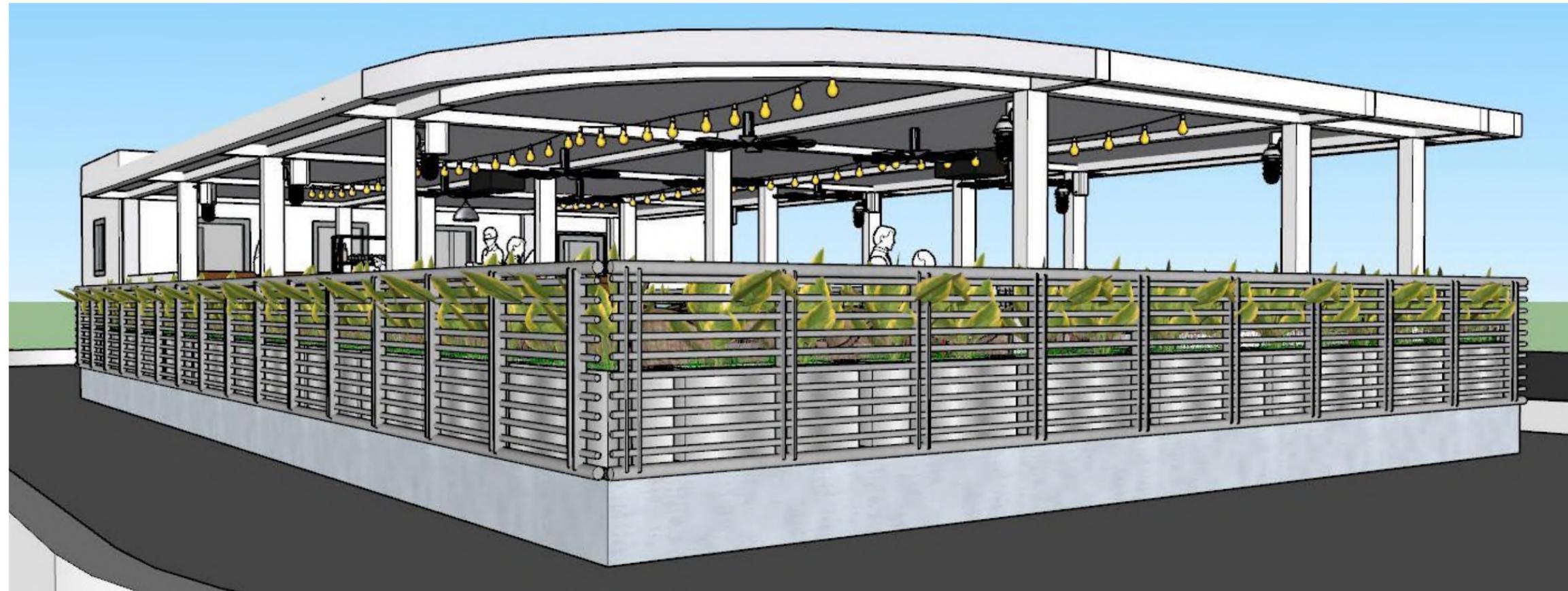
REVISIONS:
HPB SUBMITTAL 07-06-21

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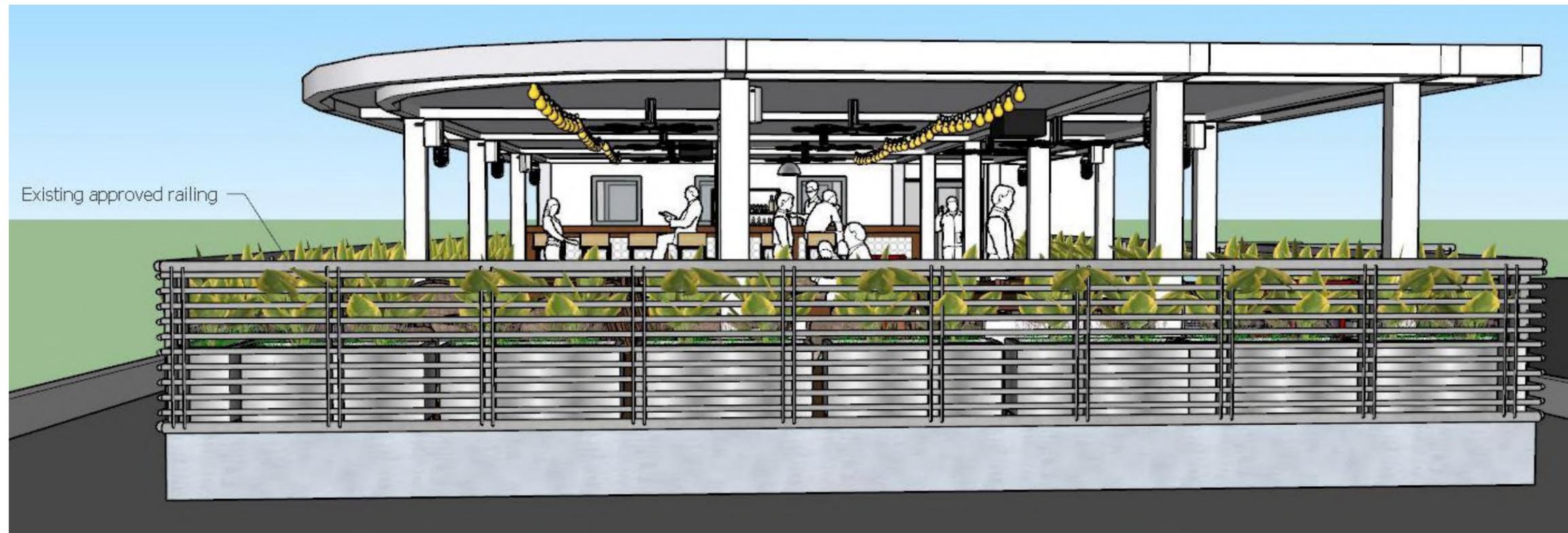
FORM GROUP, INC.
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TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
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PROJECT NO.: 19-1007 TITLE: PROPOSED CANOPY- 3D VIEW
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-114b



1 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



2 PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



OWNER:

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

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PROJECT NO. TITLE:

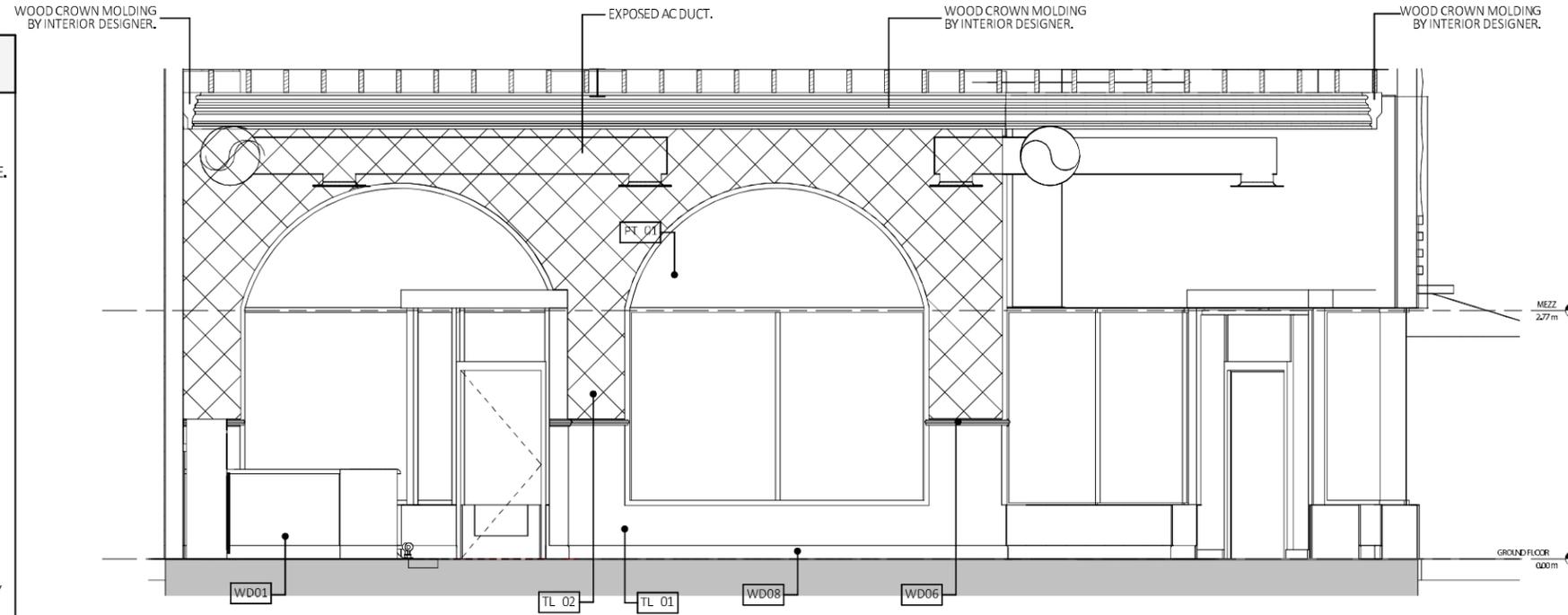
DATE: DECEMBER 2, 2019

SCALE: DRAWING NO.:

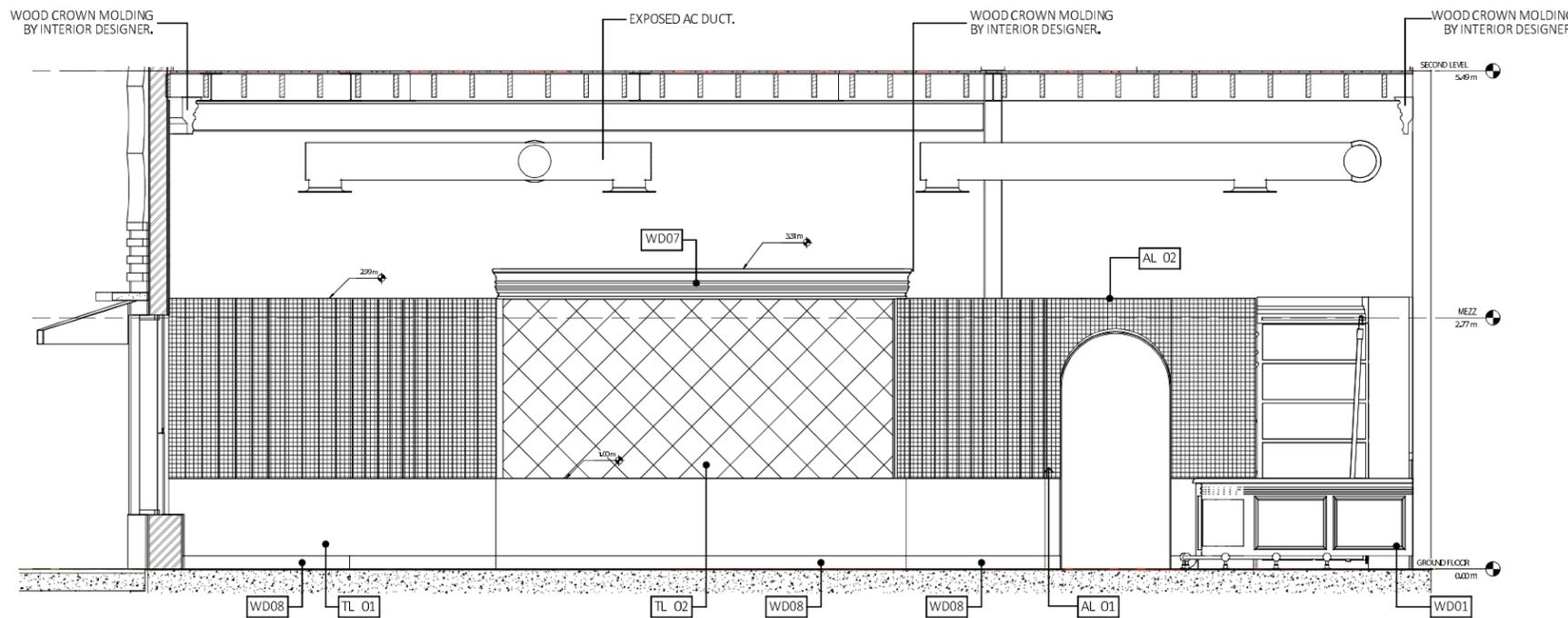
A-115

WALL FINISHES LEGEND

- AL01** ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
- AL02** ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
- FR01** FRP PANEL. COLOR BLACK
- FR02** FRP PANEL. COLOR WHITE (KITCHEN AREAS)
- FB01** EPOXY FLOOR BASE. COLOR WHITE
- FB02** CERAMIC FLOOR BASE. COLOR DARK BLUE.
- PT01** SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
- PT02** SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
- SS01** STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
- ST01** STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
- ST02** STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
- TL01** CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
- TL02** CERAMIC TILE. MARBLE TILE COLOR WHITE.
- TL03** CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
- WD01** WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD02** WOOD BEAM. NATURAL MATTE FINISH.
- WD03** 6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD04** WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD05** WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD06** 3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD07** WOOD MOLDING. PAINTED COLOR LIGHT GREY.
- WD08** 4" WOOD BASE. PAINTED COLOR DARK GREY
- WP01** WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
- WP02** WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
- WP03** WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A WAITING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



B WAITING AREA- INTERIOR ELEVATION.
SCALE: 3/16" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

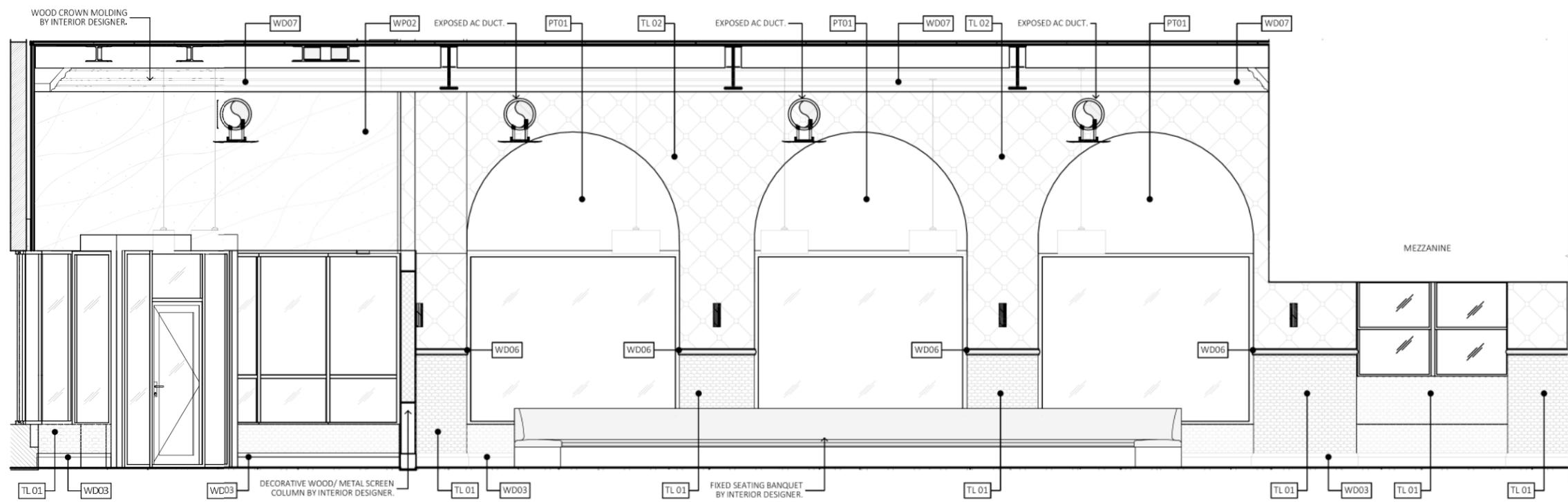


FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD OMAR MORALES, AIA
A0014851

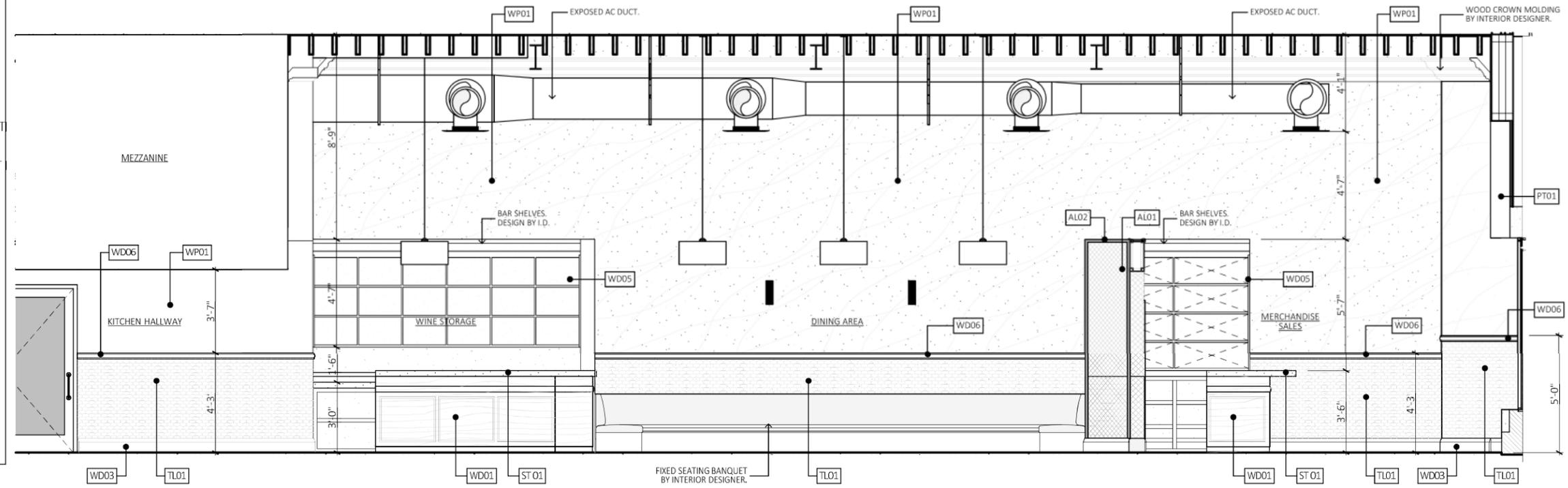
PROJECT NO. 19-1007 TITLE: INTERIOR ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-116**

WALL FINISHES LEGEND

- AL01 ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
- AL02 ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
- FR01 FRP PANEL. COLOR BLACK
- FR02 FRP PANEL. COLOR WHITE (KITCHEN AREAS)
- FB01 EPOXY FLOOR BASE. COLOR WHITE
- FB02 CERAMIC FLOOR BASE. COLOR DARK BLUE.
- PT01 SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
- PT02 SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
- SS01 STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
- ST01 STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
- ST02 STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
- TL01 CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
- TL02 CERAMIC TILE. MARBLE TILE COLOR WHITE.
- TL03 CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
- WD01 WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD02 WOOD BEAM. NATURAL MATTE FINISH.
- WD03 6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD04 WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD05 WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD06 3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
- WD07 WOOD MOLDING. PAINTED COLOR LIGHT GREY.
- WD08 4" WOOD BASE. PAINTED COLOR DARK GREY
- WPO1 WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
- WPO2 WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
- WPO3 WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A **WAITING & DINING AREA- INTERIOR ELEVATION.**
SCALE: 3/16" = 1'-0"



B **WAITING & DINING AREA- INTERIOR ELEVATION.**
SCALE: 3/16" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL, II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE. #106
MIAMI, FL 33156
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

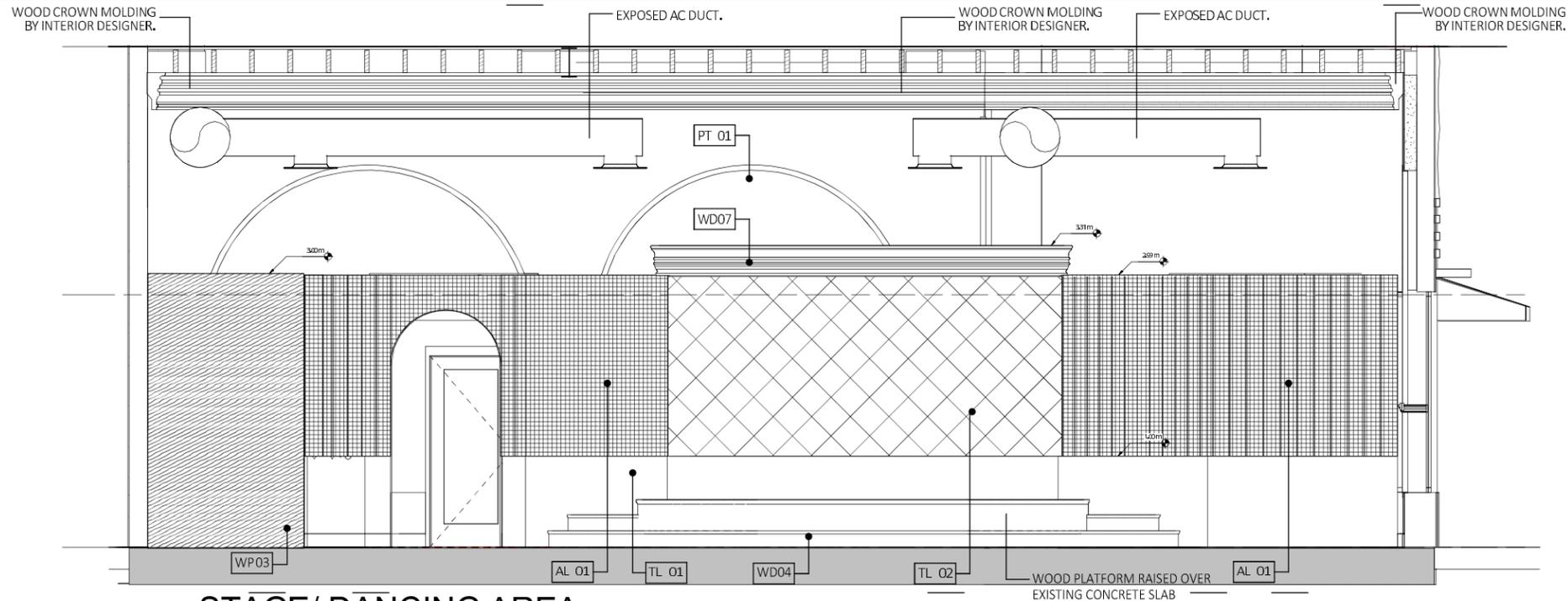
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FORM GROUP, INC.
4300 SW 73 AVE. SUITE 106, MIAMI, FL 33156
TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
A0014851

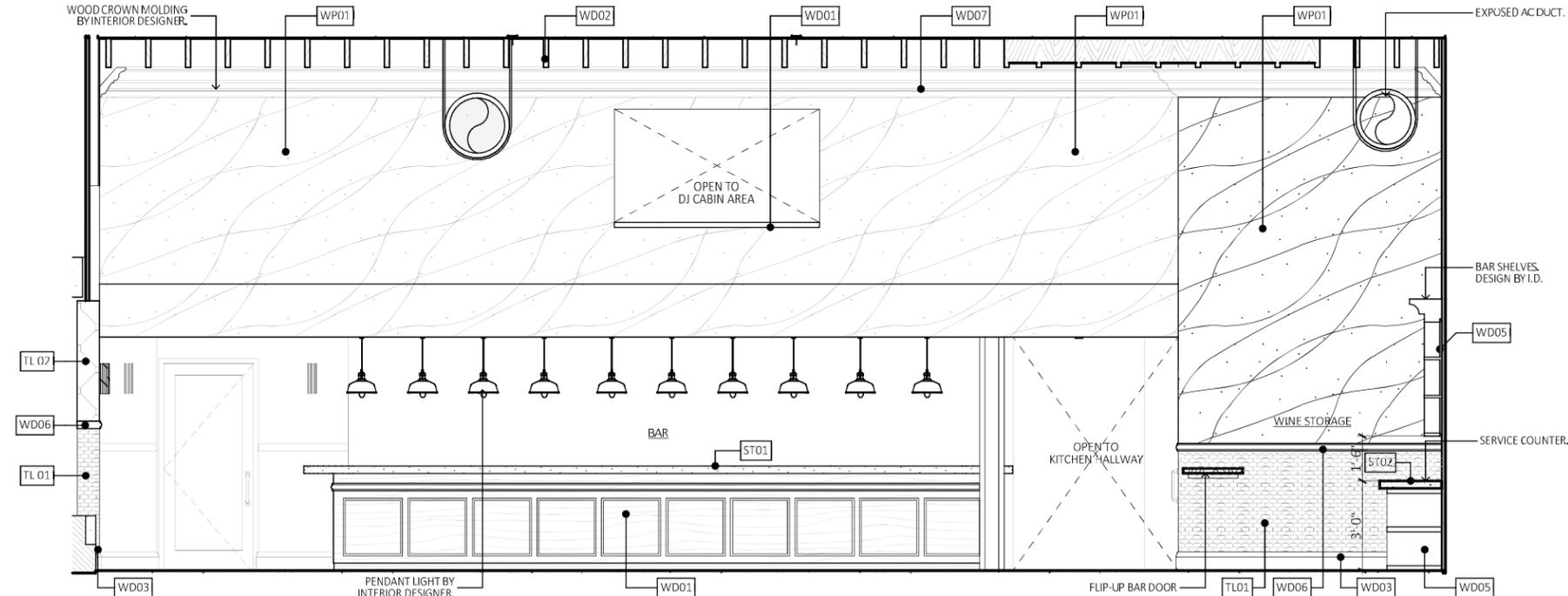
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PROJECT NO. 19-007 TITLE: INTERIOR ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-117**

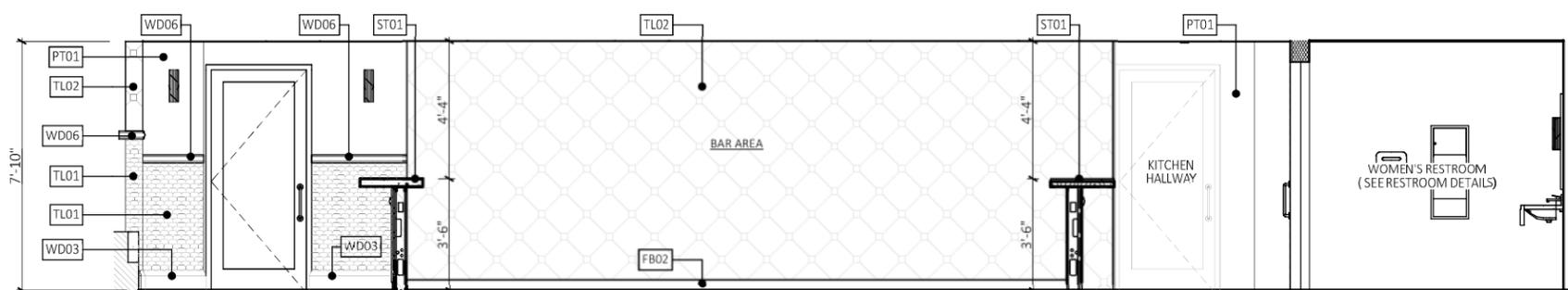
WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE (KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @ RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



A STAGE/ DANCING AREA
SCALE: 3/16" = 1'-0"



B DINING- BAR AREA ELEVATION
SCALE: 3/16" = 1'-0"



C BACK BAR ELEVATION
SCALE: 3/16" = 1'-0"



B DREXEL AVENUE -EXTERIOR RENDERING
NOT TO SCALE



A DREXEL AVENUE -EXTERIOR RENDERING
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21

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TEL: 305.443.4244 FAX: 305.443.5338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA 014851

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PROJECT NO.: 19-1007 **TITLE:** EXTERIOR RENDERINGS

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN **DRAWING NO.:** A-119



(C) EXISTING RESTAURANT
NOT TO SCALE



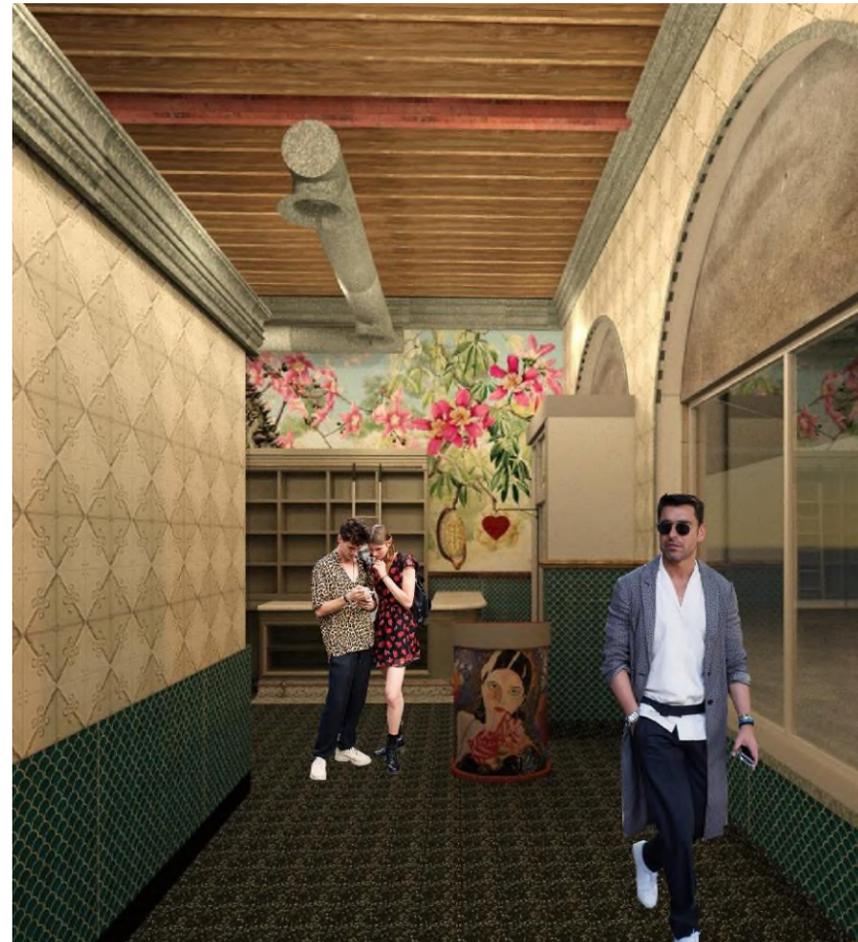
(B) EXISTING RESTAURANT
NOT TO SCALE



(A) EXISTING RESTAURANT
NOT TO SCALE



(F) PROPOSED RESTAURANT
NOT TO SCALE



(E) PROPOSED RESTAURANT
NOT TO SCALE



(D) PROPOSED RESTAURANT
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL, II, LTD.
3921 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4300 SW 73 AVE, #106
MIAMI, FL, 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21



FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.3338
ARCHITECT OF RECORD: OMAR MORALES, AIA
AIA 14851

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PROJECT NO.: 19-1007
TITLE: EXISTING & PROPOSED RENDERING
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN
DRAWING NO.: G-4