CLIEN³

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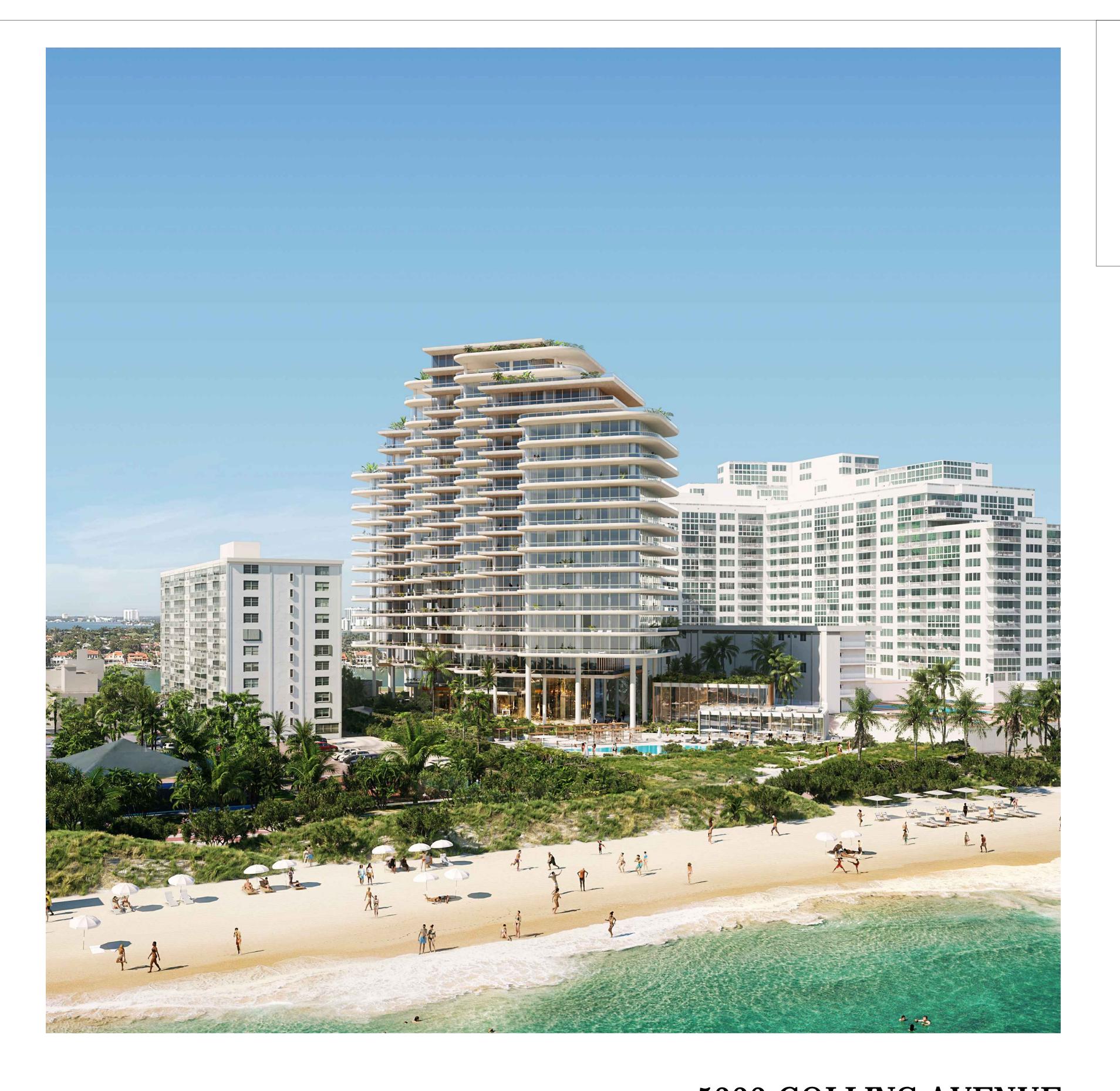


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5333 COLLINS AVENUE MIAMI BEACH, FL 33140

DRB - FINAL SUBMITTAL - JULY 2, 2021

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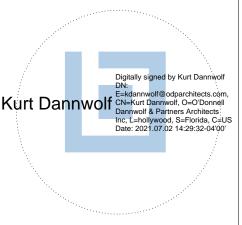
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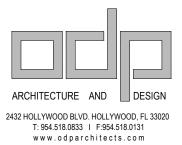
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2432 HOLLYWOOD BOULEVARD



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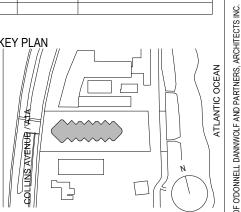
5333 COLLINS

SIONS

DATE DESCRIPTION

06/11/21 DRB - FIRST SUBMITTAL

07/02/21 DRB - FINAL SUBMITTAL



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COVER SHEET

SHEET NO. **A-001**

	DRAWING LIST
SHEET NUMBER	
A-001	COVER SHEET
A-002	DRAWING LIST
A-003	TOPOGRAPHIC SURVEY
A-004	ZONING DATA
A-006	CONTEXT LOCATION PLAN
A-007	DEMOLITION PLAN
A-008	EXISTING CONDITIONS & EXISTING FAR DIAGRAMS
A-009	FAR DIAGRAMS
A-010	FAR DIAGRAMS 2
A-020	SITE PLAN
A-021	CURRENT SITE IMAGE - SITE AND EXISTING
A-022	CURRENT SITE IMAGE
A-023	CURRENT VS. PROPOSAL COMPARISON
A-050	DESIGN CONCEPT
A-051	MATERIAL CONCEPT
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A-062	BEACH VIEW
A-063	FACADE VIEW
A-064	BALCONY VIEW
A-065	COLLINS AVE. VIEW
A-067	ENTRY VIEW
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A-312	ENLARGED N-S SECTION
LD-000	LANDSCAPE CONCEPT
LD-001	PROPOSED - GENERAL ARRANGEMENT LANDSCAPE PLAN
LD-002	PROPOSED - HARDSCAPE MASTERPLAN
LD-003	PROPOSED - LANDSCAPE CANOPY LEVEL SITE PLAN
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LD-004.1	PLANTING SCHEDULE
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LD-005.1	EXISTING TREE SURVEY
LD-005.2 LD-005.3	EXISTING TREE SURVEY SCHEDULE
LD-005.3	LANDSCAPE SECTION A
LD-006	LANDSCAPE SECTION A LANDSCAPE SECTION B
LD-007	HARDSCAPE MATERIALS IMAGES AND SCHEDULE
LD-008	PROPOSED LIGHTING PLAN
LD-009	GRADE AND DUNE CALCULATION
LD-009.1	GRADE AND DUNE CALCULATION
LD-009.2	REAR YARD CALCULATIONS

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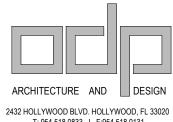
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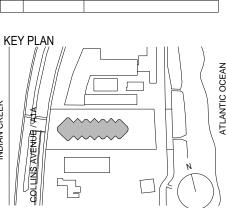


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5333 COLLINS

5333 COLLINS AVE MIAMI BEACH, FL 33140

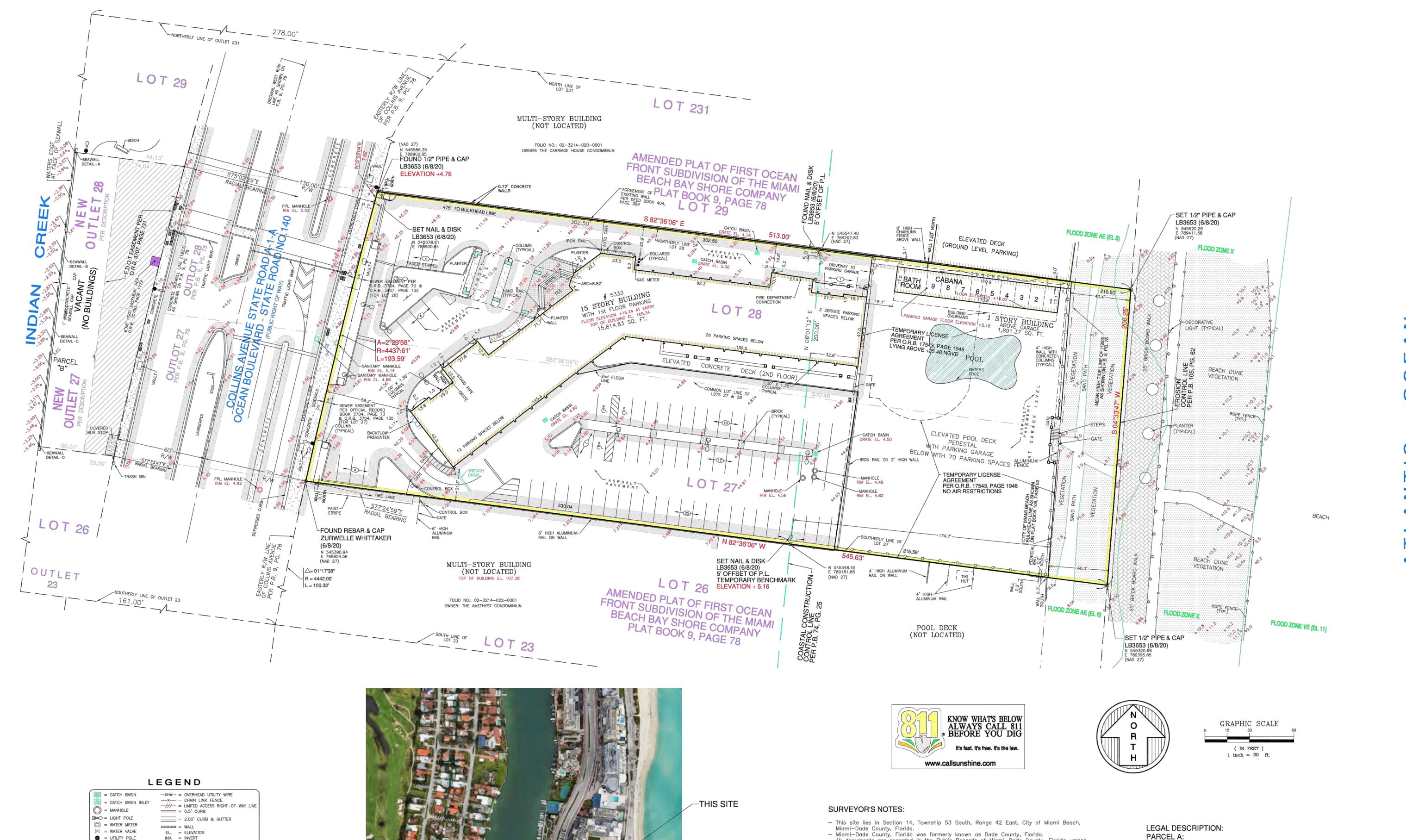
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NO	DATE	DESCRIPTION
	06/11/21	DRB - FIRST SUBMITTAL
	07/02/21	DRB - FINAL SUBMITTAL



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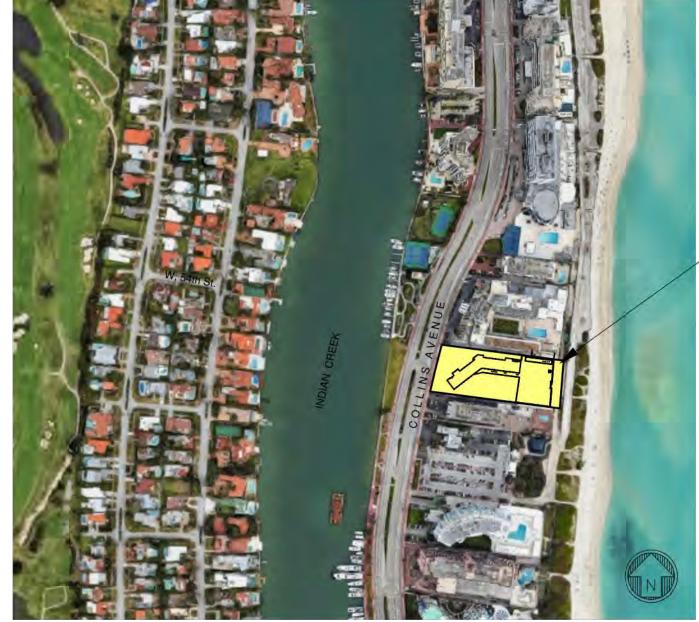
= UTILITY POLE INV. = INVERT = RISER B.O.S. = BOTTOM OF STRUCTURE TO = FIRE HYDRANT T.O.B. = TOP OF BAFFLE = HANDHOLE P.B. = PLAT BOOK PG. = PAGE O.R.B. = OFFICIAL RECORDS BOOK = SEWER/GAS VALVE CONCRETE ⊕ = CLEANOUT = ASPHALT PAVEMENT W = WELL R/W = RIGHT-OF-WAY D = DRAIN

్లు = GRADE ELEVATION

= BOLLARD

€ = CENTER LINE

M = MONUMENT LINE



LOCATION SKETCH NOT TO SCALE

- All documents are recorded in the Public Records of Miami-Dade County, Florida unless
- Lands shown hereon were not abstracted for easements and/or rights—of—way of records. - Bearings hereon are referred to an assumed value of S82*36'06"E for the Northerly line of Lot
- 28, and evidenced by a found 1/2" pipe and cap and set 1/2" pipe & cap. - Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. E-313-R, Elevation +4.04 Located at 53 Street and Highway A-1-A.
- Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0328L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.

- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) & X by the

- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise
- Lands shown hereon contains 106,015 square feet, or 2.434 acres, more or less. - All horizontal control measurements are within a precision of 1:10,000. — This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown. — Underground improvements and/or underground encroachments not shown unless otherwise
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction. - Pursuant to Florida State Statutes in Chapter 161.181, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner. - Legal description shown hereon based on information furnished by client and no claims as to ownership are made or implied.

Lots 27 and 28, of Amended Plat of First Ocean Front Subdivision of the Miami Beach Bay Shore Company, according to the Plat thereof, as recorded in Plat Book 9, Page 78, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on May 5, 2021, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on May 5, 2021.

"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

Daniel C. Fortin Jr, For The Firm Surveyor and Mapper, LS6435 State of Florida.

FORTIN, LEAVY, SKILES, INC., LB3653 Digitally signed by Daniel C Fortin DN: c=US, o=Unaffiliated, ou=A01410D0000017402A2BF42000429 5B, cn=Daniel C Fortin Date: 2021.05.26 21:02:54 -04'00'

Scale 1"=30' Drawn By CAD No. 981365 Plotted 5/19/21 2:18p Ref. Dwg. 2020-068 Field Book F.S. - TMC 210382 Dwg. No. 2020-068-NGVD

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Original Date

5/5/21

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PROJECT DATA

5333 COLLINS

PROJECT ADDRESS: 5333 COLLINS AVE MIAMI BEACH, FL 33140

LEGAL DESCRIPTION

LOTS 27 AND 28, OF AMENDED PLAT OF FIRST OCEAN FRONT SUBDIVISION OF THE MIAMI BEACH BAY SHORE COMPANY, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 78, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ZONING/LOT INFORMATION

JURISDICTION:

CITY OF MIAMI BEACH

ZONING DESIGNATION: RM-3 RESIDENTIAL MULTIFAMILY, HIGH INTENSITY FLOOD ZONE: ZONE "AE" (EL 8 FEET NGVD) ≈ (EL 6.44 FEET NAVD) PARKING DISTRICT NO.1 PARKING DISTRICT:

EXISTING LAND USE: HIGH DENSITY MULTI FAMILY RESIDENTIAL (RM-3);

LOT SIZE: 2.434 ACRES (106,015 SF)

SCOPE OF WORK

FULL DEMOLITION OF EXISTING BUILDING AND PARKING LOT. PROPOSED NEW CONSTRUCTION: 19-STORY MULTI-USE RESIDENTIAL TOWER, GARAGE AND PRIVATE CLUBHOUSE.

	REQUIRED/ALLOWED	<u>PROVIDED</u>
NUMBER OF STORIES: (REFER TO ARCHITECTURAL ELEVATIONS)	N/A	19 STORIES
PROPOSED BUILDING HEIGHT: (PER MIAMI BEACH ZONING)	200'-0" (ABOVE D.F.E.)	200'-0" (ABOVE D.FE.) TO T.O.ROOF SLA MECHANICAL ROOF = 225'-0"
FREEBOARD:	5'-0" ABOVE BFE	5'-0" (13'-0" NGVD)
ESTABLISHED B.F.E.:	8 FEET NGVD	
DESIGN FLOOD ELEVATION:	BFE + FREEBOARD	= 13'-0" NGVD
LOBBY FINISHED FLOOR ELEVATION		13'-0" NGVD

550 SF

LOT DATA

NUMBER OF UNITS PROPOSED

MINIMUM UNIT SIZE

	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA:	7,000 SF	PARCEL A: 2.434 ACRES (106,015 SF
MINIMUM LOT WIDTH:	50'-0"	201'-4"
MAX F.A.R.:	106,015 SF X 3.0 = 318,045 SF	317,994 SF

SETBACK REQUIREMENTS

PARKING DATA

RETAIL STORE

OFF-STREET LOADING

COMMERCIAL SPACE

PARKING REDUCTION

ACCESSIBLE:

ELECTRIC VEHICLE:

PARKING SPACE DIMENSIONS

REGULAR SELF-PARK SPACES:

VALET PARKING SPACES

OFF-STREET LOADING

ACCESSIBLE PARKING

TANDEM PARKING SPACES

LONG-TERM BICYCLE PARKING:

100 UNITS (REFER TO FAR SCHEDULE)

556 SF (REFER TO FAR SCHEDULE)

RESIDENTIAL PARKING REQUIREMENTS

• (2) SPACES PER UNIT FOR UNITS ABOVE 1,200 SF

SUPPLEMENTAL DESIGNATED GUEST PARKING

COMMERCIAL PARKING REQUIREMENTS

TOTAL # OF SPACES BEFORE REDUCTION

(1) OFF-STREET PARKING SPACE FOR EVERY

FIVE LONG-TERM BICYCLE PARKING SPACES

TOTAL # OF SPACES AFTER REDUCTION

PROVIDED OFF-STREET, NOT TO EXCEED 15%

RESIDENTIAL BUILDING OVER 50 UNITS

BUT NOT MORE THAN 100 UNITS:

• (1.5) SPACES PER UNIT FOR UNITS BETWEEN 550 AND 999 SF

• (1.75) SPACES PER UNIT FOR UNITS BETWEEN 1,000 AND 1,200 SF

AT-GRADE PARKING SETBACKS	REQUIRED/ALLOWED	PROVIDED
• FRONT	20'-0"	N/A
• SIDE	5 FEET, OR 5% OF LOT WIDTH WHICHEVER IS GREATER LOT WIDTH 200'-0" X 5%= 10'-0"	N/A
• REAR	50'-0" WEST FROM THE BULKHEAD LINE	N/A
SUBTERRANEAN AND PEDESTAL SETBACKS	REQUIRED/ALLOWED	PROVIDED
• FRONT	20'-0"	36'-0"
• SIDE	SUM OF THE SIDE YARDS SHALL EQUAL 16% OF LOT WIDTH, 7.5 FEET, OR 8% OF LOT WIDTH WHICHEVER IS GREATER LOT WIDTH 200'-0" X 16% = 32'-0" / 2 =16'-0"	16'-0"
• REAR	20% OF LOT DEPTH, 50 FEET FROM THE BULKHEAD LINE WHICHEVER IF GREATER. LOT DEPTH AVERAGE 513.00'(N) + 545.63'(S) = 1,058.63' / 2 = 529.31' X 20% = 105.86' ≈ 105'-11"	105'-11"
TOWER SETBACKS	REQUIRED/ALLOWED	PROVIDED
• FRONT	20'-0" + 1 FOOT FOR EVERY 1 FOOT INCREASE IN HEIGHT ABOVE 50 FEET, TO A MAXIMUM 50'-0". (SECTION 142-1132 ALLOWABLE ENCROACHMENT) UP TO A MAXIMUM PROJECTION OF 6 FEET FOR EXTERIOR UNENCLOSED PRIVATE BALCONIES	56'-1"
• SIDE	THE REQUIRED PEDESTAL SETBACK PLUS 10% OF THE HEIGHT OF THE TOWER PORTION OF THE BUILDING. THE TOTAL SETBACK SHALL NOT EXCEED 50'-0". 16' (PEDESTAL) + 15' (10% OF TOWER HEIGHT) = 31'-0"	55'-1" (SOUTH) 55-1" (NORTH)
• REAR	25% OF LOT DEPTH, 75 FEET MIN. FROM THE BULKHEAD LINE WHICHEVER IF GREATER. LOT DEPTH AVERAGE 513.00'(N) + 545.63'(S) = 1,058.63' / 2 = 529.31' X 25% = 132.33 ≈ 132'-4"	132'-4"

REQUIRED/ALLOWED

7 UNITS X 1.5 SPACES = 10.5 PARKING SPACES ≈ 11 PARKING SPACES

13 UNITS X 1.75 SPACES = 22.75 ≈ 23 PARKING SPACES

10% OF REQ. RESIDENTIAL = 19.4 ≈ 20 PARKING SPACES

ONE SPACE PER EVERY 300 SQUARE FEET OF FLOOR AREA

220 SF OF FLOOR AREA /300 SF = 0 .73 ≈ 1 PARKING SPACE

OVER 2,000 BUT NOT OVER 10,000 = 1 LOADING SPACE

80 UNITS X 2 SPACES = 160 PARKING SPACES

2 LOADING SPACES (10'-0" X 20'-0")

200 SF OF COMMERCIAL SPACE = 0

215 PARKING SPACES X 15% (REDUCTION)

32 PARKING SPACES X 5 BICYLES PARKING SPACES

215 PARKING SPACES - 32 (REDUCTION) = 183 PARKING SPACES

TOTAL NUMBER OF PARKING SPACES REQUIRED 151 TO 200

ELECTRIC VEHICLE MINIMUM OF 2 PERCENT OF REQUIRED

= 32.25 PARKING SPACES REDUCTION

= 5 STANDARD ACCESSIBLE SPACES

183 (REQUIRED PARKING) X 2% = 3.66 ≈ 4

1 ACCESSIBLE VAN SPACE

OFF- STREET PARKING.

8'-6" (W) X 18'-0" (D)

8'-6" (W) X 16'-0" (D)

8'-6" (W) X 32'-0" (D)

10'-0" (W) X 20'-0" (D)

12'-0" (W) + 5'-0" (W) X 18'-0" (D)

215 PARKING SPACES

2 LOADING SPACES

= 160 BICYLE SPACES

2 LOADING SPACES

OCEANFRONT OVERLAY REQUIREMENTS

ADDITIONAL REGULATIONS FOR OCEANFRONT LOTS. THESE REGULATIONS APPLY TO BUILDINGS AND STRUCTURES LOCATED WEST OF THE BULKHEAD LINE.

TOTAL AREA: 9,318 SQ FT

REQUIRED/ALLOWED <u>PROVIDED</u> LOT COVERAGE: LOT COVERAGE SHALL BE AT LEAST 50 PERCENT OF THE REQUIRED AREA OPEN TO SKY AND LANDSCAPED: 4,730 SF REAR YARD SETBACK, OPEN TO THE SKY AND LANDSCAPED. LOT COVERAGE AREA = 51%

LOT COVERAGE AREA = 49%

AREA NOT OPEN TO SKYAND LANDSCAPED: 4,588 SF

67'-9"

REAR YARD SETBACK: 50'-0" FOR GRADE AND SUBTERRANEAN LEVELS MEASURED FROM THE BULKHEAD

SIDE SETBACK: 16'-0"

30'-0" ABOVE GRADE | GRADE: 4.95 NGVD 24'-0" NGVD - 4'-11" (4.95 NGVD) = 19'-1" ABOVE GRADE MAXIMUM HEIGHT:

12'-10" BULKHEAD LINE SETBACK:

PERMITTED ENCLOSED STRUCTURE: MAXIMUM F.A.R. OF 0.5 10,013 SQ (SETBACK AREA) FT X 0.5 (MAX F.A.R.) = 5,006 SQ FT 280 SQ FT (PORTION OF PRIVATE OF THE SETBACK AREA CLUBHOUSE ON OCEANFRONT OVERLAY)

FINISHED FLOOR ELEVATION: DECKS / PATIOS / 11'-3" NGVD DUNE + 2'-6" = 13'-9" +13'-6" NGVD (MAX HEIGHT) PLATFORMS MAX HEIGHT OF 2'-6" ABOVE TOP OF DUNE

DUNE PRESERVATION OVERLAY

	REQUIRED/ALLOWED	PROVIDED
SIZE AND SPACING:	400 SQ FT / 10'-25' SEPERATION	N/A
LOT COVERAGE:	AT LEAST 80 PERCENT OF THE SITE SHALL REMAIN OPEN TO THE SKY, LANDSCAPED OR MAINTAINED AS SAND BEACH.	AREA OPEN TO SKY AND LANSCAPED : 6'880 SF LOT COVERAGE AREA = 84%
	TOTAL AREA: 8,070 SQ FT	AREA NOT OPEN TO SKY AND LANSCAPED : 1,367 SF LOT COVERAGE AREA = 16%
MINIMUM YARDS:	0'-0" FROM BULKHEAD LINE	N/A
MINIMUM SIDE YARD:	FIFTEEN FEET ADJACENT TO ANY SIDE PROPERTY LINE, MUNICIPAL PARK, STREET END, OR RIGHT-OF-WAY.	N/A
MINIMUM YARD FROM EROSION CONTROL LINE:	10'-0"- 15'-0"	N/A
MAXIMUM HEIGHT:	1 STORY OR 12'-0"	N/A
MAXIMUM DENSITY:	0	N/A
PARKING REGULATION:	0	N/A
FINISH FLOOR ELEVATION:	11'-3" NGVD DUNE + 2'-6" = 13'-9"	+13'-6" NGVD (MAX HEIGHT)

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OWNER

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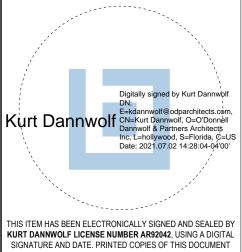
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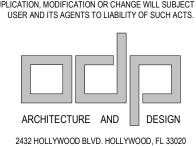
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DESIGN ARCHITECT

O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC



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5333 COLLINS

5333 COLLINS AVE

MIAMI BEACH, FL 33140 **REVISIONS** NO DATE DESCRIPTION
 06/11/2021
 DRB - FIRST SUBMITTAL

 07/02/2021
 DRB - FINAL SUBMITTAL

SCALE: 12" = 1'-0" SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS. DATE: 06/11/21 STARTED BY: ODP

ZONING DATA SHEET

SHEET NO.

F.A.R. SCHEDULE

Floor	Directions	FLOOR	GROSS	CORE AREA	Amenity, Lobby & BOH			RESIDENTIAL																				
Floor	Program	AREA (FAR)	AREA (GSF)	(SF)	LOBBY	AMNT.	CLUB H.	RETAIL	вон			Stu	dio			1BD		2	BD		3 E	3D	4 BD	/5BD		UNIT #		
																	А	В	С	D	А	В	А	В	TOTAL UNITS PER FLOOR	550-999 SF	1000- 1200 SF	1200 SF -
18	Roof		4,032																									
17	Penthouse	9,703	9,703	1,427																			3,974	4,302	2			2
16	Mixed Residence	13,672	13,672	2,469																	3,193	3,119	5,762	5,762	2			2
15	Mixed Residence	15,417	15,417	2,070												1,256		2,099			3,355		3,702	3,702	5			5
14	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
13	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
12	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
11	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
10	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
9	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
8	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
7	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
6	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
5	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
4	Mixed Residence	21,087	21,087	2,070												1,010	2,310	2,099	2,139	2,595			4,049	4,815	7		1	6
3	Mixed Residence	15,417	15,417	2,165						1,256	954	1,089	1,054				2,267	2,139	2,264	2,228					8	1	2	5
2	Mixed Residences & Amenities	11,506	11,506	2,529		4,214	752			700	556	806	680	558	711										6	6		
1	Lobby & Amenity, Restaurant	15,903	15,903	1,191	3,345	5,062	4,705	220	1,380																			
B1	BOH, PARKING	4,414	63,509	1,162					3,252																			
					3345	9276	5,457	220	4632	1,956	1,510	1,895	1,734	558			27,677	27,327	25,793		6,548	3,119	54,275	63,029	100	7	13	80
SUB TOTAL				35,783		14,	733								8,364	12,366				111,570		9,667		117,304				
UNITS		100							22,930						10	12				49		3		26				
TOTAL	PROVIDED	317,994	381,121																					246,905				

<u>PROVIDED</u>

1 PARKING SPACE

0 LOADING SPACES

160 BICYCLE SPACES

183 PARKING SPACES

2 LOADING SPACES

5 STANDARD ACCESSIBLE SPACES

1 ACCESSIBLE VAN SPACE

4 ELECTRIC VEHICLE SPACES

8'-6" (W) X 18'-0" (D)

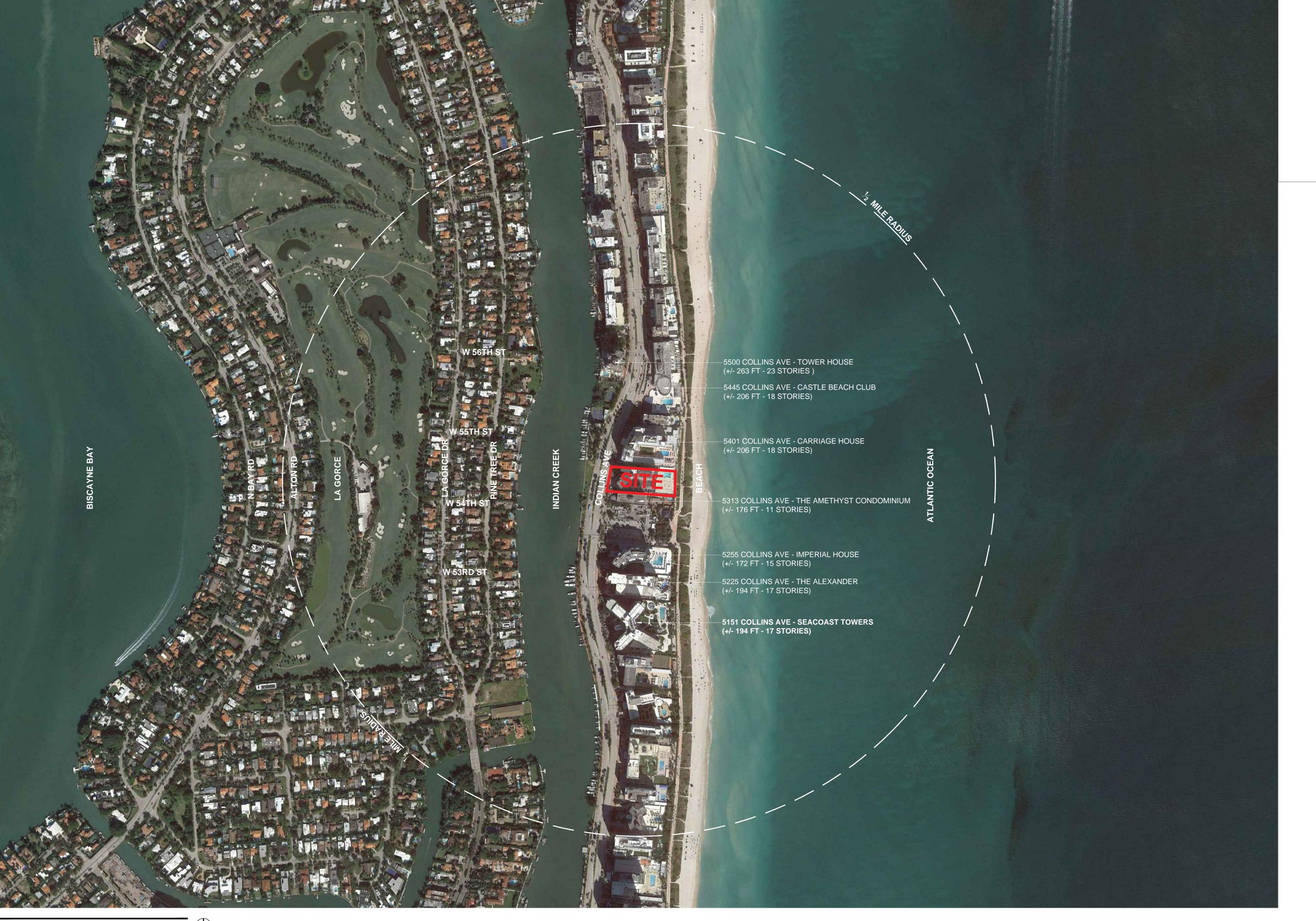
8'-6" (W) X 18'-0" (D)

8'-6" (W) X 36'-0" (D)

10'-0" (W) X 20'-0" (D)

12'-0" (W) + 5'-0" (W) X 18'-0" (D)

2 LOADING SPACES (10'-0" X 20'-0")



5333 ACQUISITIONS, LLC 2601 SOUTH BAYSHORE DRIVE, SUITE 850 COCONUT GROVE, FL 33133 T: 305.531.2426

ARCHITECT OF RECORD

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O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS INC. AA 26000996 2432 HOLLYWOOD BOULEVARD

DESIGN ARCHITECT OMA*AMO ARCHITECTURE AR96924

180 VARICK STREET, SUITE 1328

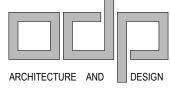
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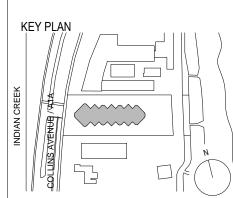
2432 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020 T: 954.518.0833 I F:954.518.0131 www.odparchitects.com

REVISIONS

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MIAMI BEACH, FL 33140

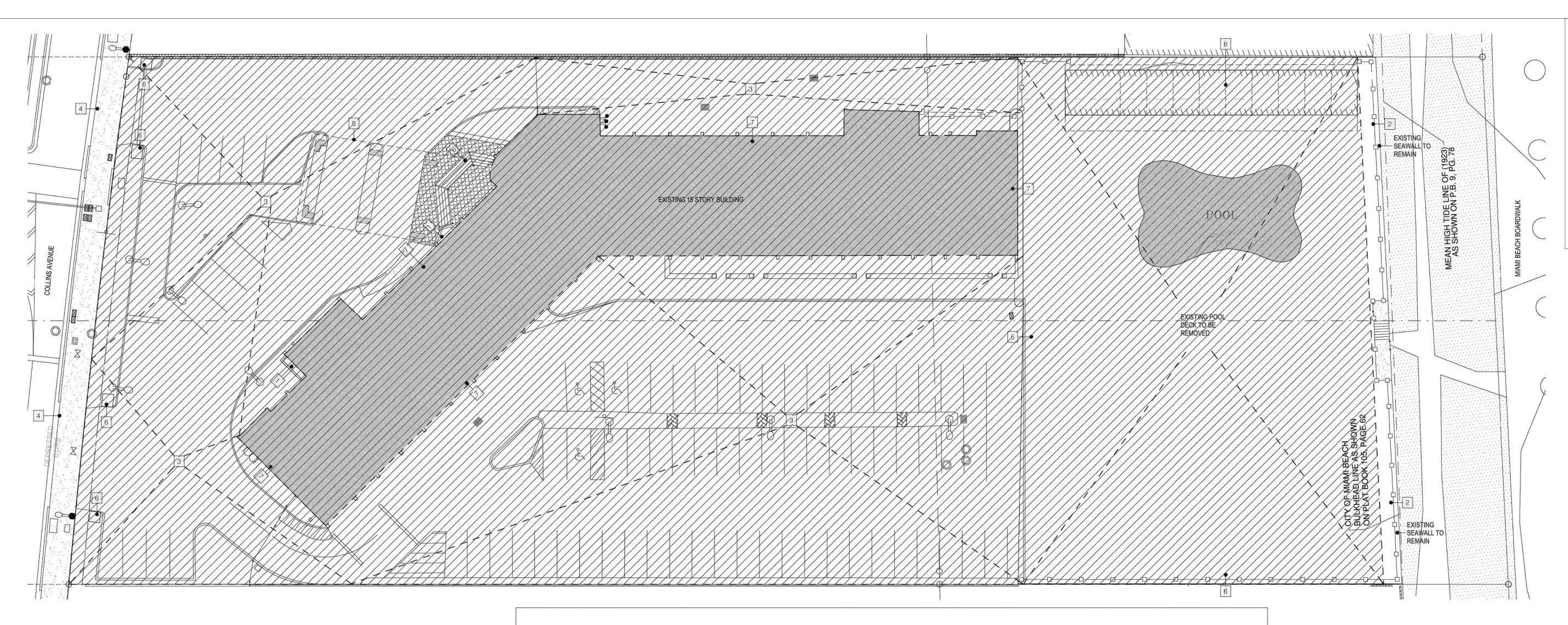
DESCRIPTION



SCALE: XXX SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS. DATE: 07/02/2021 STARTED BY: ODP DRAWING TITLE:

CONTEXT LOCATION PLAN

SHEET NO. A-006



GENERAL DEMOLITION NOTES:

- FURNISH ALL LABOR AND MATERIALS / EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION / CONSTRUCTION AREA ONTO ADJACENT SITES OR ROADWAY.
- 3. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
- AT COMPLETION OF DEMOLITION WORK. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE
- GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS ON SITE DURING
- CONSTRUCTION FOR USE OF ALL TRADES. ENSURE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE SETS OF CONSTRUCTION DRAWINGS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR COORDINATION OF ALL WORK. SECTIONS OF DIVISION 1 - GENERAL REQUIREMENTS, GOVERN THE EXECUTION OF THE WORK OF ALL SECTIONS OF
- SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSTRUCTION STANDARD. ARRANGE FOR EACH TRADE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE RELATING TO
- THEIR WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE OR EXTENSION OF TIME DUE TO CONTRACTOR'S FAILURE OR NEGLIGENCE IN COMPLETELY EXAMINING THE JOB SITE AND CONDITIONS EFFECTING EXECUTION OF THE WORK.
- ALL STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING, DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, WHETHER LISTED HEREIN OR
- MATERIALS, DIMENSIONS AND OTHER CONDITIONS NOT OTHERWISE INDICATE IN THESE DRAWINGS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE IN THE DRAWINGS.
- CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER. ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL(PCB) OR OTHER TOXIC SUBSTANCES. REMOVE ALL UTILITIES IN AREA OF SITE EXCEPT WHERE NOTED AND PROPERLY DISCONNECT AT PROPERTY LINE. DO
- NOT DISTURB ANY EXISTING UNDERGROUND UTILITIES BEYOND THE LIMITS OF THE AREA OF WORK AS DESCRIBED IN THE DRAWINGS. 14. THE GENERAL CONTRACTOR FOR THIS WORK SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH EXISTING
- CONDITIONS IN INCLUDING THE EXISTING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING CONDITIONS. THEY SHALL NOTIFY THE ARCHITECT, IN WRITING, IMMEDIATELY IF ANY DISCREPANCIES OR INCONSISTENCIES EXIST. FAILURE TO VERIFY THE EXISTING CONDITIONS SHALL NOT RELIEVE THE CONTRACTOR OF ANY EXPENSES OR RESPONSIBILITIES RESULTING FROM FAILURE TO INSPECT THE JOB SITE.
- ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY WITH ALL ITS APPURTENANCES, ALL
- OBSTRUCTIONS OR RELATED ITEMS SHALL BE REMOVED AND FIELD VERIFIED BY THE CONTRACTOR. DUE TO THE NATURE OF THE WORK INVOLVED IN DEMOLITION, UNFORESEEABLE CONDITIONS MAY ARISE DURING DEMOLITION. ANY UNFORESEEN CONDITION THAT AFFECTS THE PROGRESS OF THE WORK SHALL BE REPORTED
- IMMEDIATELY TO THE OWNER FOR REVIEW. 17. CONTRACTOR AND SUB CONTRACTORS SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE LAWS, CODES, REGULATIONS, AND BEST STANDARDS OF SAFETY.
- EXISTING CONDITIONS HAVE BEEN DRAWN FROM EXISTING BUILDING DRAWINGS AND OBSERVATIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO EXECUTION OF DEMOLITION. NOTIFY ARCHITECT OF ANY
- DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS. CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TRASH, RUBBISH AND DEBRIS, AND REDIRECT ALL RECYCLED MATERIALS IN A LEGAL MANNER. USE OF BUILDING TRASH DUMPSTER IS NOT PERMITTED. CONTRACTOR SHALL SUPPLY HIS OWN DUMPSTER AT LOCATION AS DIRECTED BY OWNER OR PROVIDE OTHER MEANS FOR STORAGE & REMOVAL OF WASTE MATERIALS. PROPERLY REMOVE AND DISPOSE OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH PERTINENT CODES.
- CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY TO PROVIDE COMPLETE DEMOLITION. THE CONTRACTOR SHALL PROVIDE ALL LABOR FOR THE COMPLETE DEMOLION OF ALL MECHANICAL, ELECTRICAL,
- PLUMBING AND STRUCTURAL SYSTEMS 22. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES, WORK SHALL INCLUDE THE
- REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE. THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF PERSONNEL,
- CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF ADJACENT PROPERTIES TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.
- EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE WORK. DAMAGED BY THE CONTRACTOR SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES, WORK SHALL INCLUDE THE REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE.

- 27. THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF ADJACENT PROPERTIES TO REMAIN
- REPORTED TO THE OWNER IMMEDIATELY. 29. ANY WORK NOT SHOWN OR SPECIFICALLY MENTIONED ON PLANS AND OR SPECIFICATIONS BUT CONSIDERED
- NECESSARY FOR COMPLETION OF THE WORK IN THE PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
- CLOSED FOR FILLED LEVEL AND FLUSH.
- COMMUNICATION SERVICES, RESPECTIVE UTILITIES AND/ OR COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY AND ALL WORK DONE UNDER THEIR SUPERVISION AND ESTABLISHED STANDARDS.
- APPROPRIATE SERVICE PROVIDERS & GOVERNMENT AGENCIES AS REQUIRED. CAP END OF EXISTING UTILITY LINES WITHIN 10 FEET OF PROPERTY LINE.
- 34. AFTER DEMOLITION PROCESS IS COMPLETE THE DEMOLITION AREAS SHALL BE GRADED, LEVELED, COMPACTED AND FILLED WITH CLEAN FILL. THIS REQUIREMENT APPLIES TO ANY AND ALL EXCAVATIONS MADE DURING DEMOLITION. 35. PROTECT EXISTING SIDEWALK, ROADS, ETC. THAT ARE TO REMAIN.
- THE GC IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, M.O.T. AND SAFETY
- 38. EXISTING STORM DRAINAGE PIPES, CATCH BASINS AND DRAINAGE MAINTENANCE ACCESS STRUCTURES WITHIN SITE TO BE REMOVED. CAP END OF EXISTING DRAINAGE LINES TO ALLOW FOR FUTURE CONNECTION. DRAINAGE PIPES CATCH BASINS AND "MAINTENANCE ACCESS STRUCTURES" BEYOND SITE BOUNDARIES TO REMAIN.
- COORDINATE REMOVAL OF ITEMS WITH FPL. 40. PROPERLY DISCONNECT AND REMOVE EXISTING AIR HANDLING UNITS FROM SITE. 41. UTILITY POLE, TRANSFORMERS, TELEPHONE BOXES, RISERS AND OVERHEAD LINES, IF ANY, TO BE REMOVED BY FPL,
- SWINGING OUT NOT THE STREET.
- 44. GC TO PROVIDE ENGINEERED SHOP DRAWINGS FOR FENCE AND GATE.
- PROVIDE SHORING FOR ALL DEMOLITION TASKS AS REQUIRED.
- AND CONTAINERS. ALL DEBRIS SHALL BE DISCARDED IN APPROVED DUMP SITES AND OVER LEGAL HAULING ROUTES.
- GENERAL CONTRACTOR TO MAKE SAFE ALL ELECTRICAL AND PLUMBING CONNECTIONS.

- CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT DEMOLITION IN ORDER TO ENSURE ENVIRONMENTAL REGULATIONS THROUGHOUT DEMOLITION.
- THE SUPPORT STAKES TO PREVENT SOIL SEDIMENT THROUGH THE FENCE.
- SILT FENCES SHALL BE INSTALLED AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT ONTO
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN PUT IN PLACE. 5. PLANS SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS
- CONTRACTORS IS TO PROVIDE EROSION CONTROL / SEDIMENTATION BARRIER (HAY BALES OR FILTER FABRIC CURTAIN

THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES, WORK SHALL INCLUDE THE

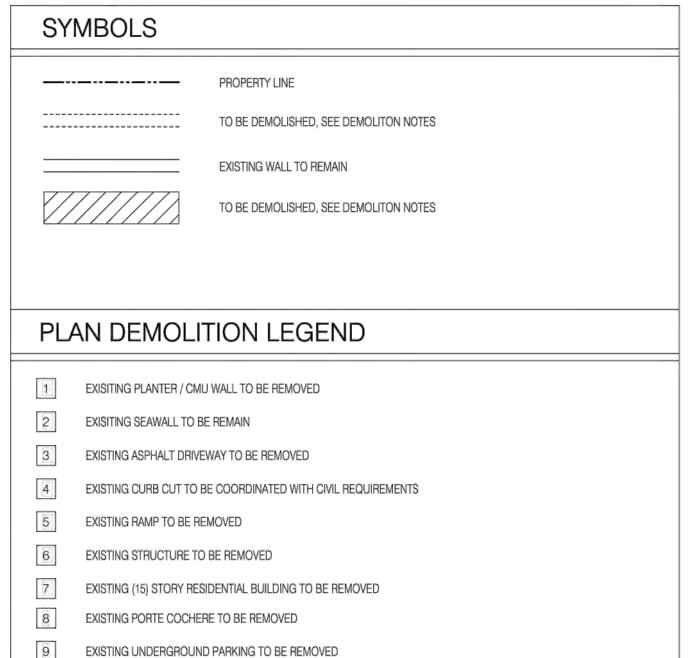
REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.

28. EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE WORK, DAMAGED BY THE CONTRACTOR SHALL BE

- 30. WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE
- 31. WHERE DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM, OR
- 32. ALL UTILITIES SHALL BE TERMINATED PRIOR TO BUILDING DEMOLITION. COORDINATE SERVICE TERMINATION WITH
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF PHASING OF DEMOLITION.
- PROCEDURES.GC SHALL CONFORM WITH TOWN OF SURFSIDE DEMOLITION REQUIREMENTS AND APPLICABLE LAWS. GC SHALL SUBMIT AN OFF-STREET PARKING PLAN FOR DURATION OF CONSTRUCTION TO TOWN OF SURFSIDE.GC SHALL SUBMIT CONSTRUCTION SITE CIRCULATION AND STAGING PLAN TO TOWN OF SURFSIDE.
- 39. REMOVE ELECTRIC PANELS & EQUIPMENT IN THEIR ENTIRETY, COORDINATE DEMOLITION OF POWER, PROPERLY DISCONNECT AND REMOVE ELECTRIC METER, PULL BOX AND ENCLOSED ELECTRICAL SWITCHES IN THEIR ENTIRETY.
- BELLSOUTH/ AT&T AND COMCAST AS APPLICABLE, COORDINATE WITH ALL UTILITIES, CONTACT 180-432-4770 PRIOR TO
- 42. DURING DEMO ENTRY GATES SHALL NOT BE OPEN TO THE RIGHT OF WAY AND SHALL BE SECURED TO PREVENT
- 43. REMOVE ALL UNDERGROUND WATER LINES LOCATED WITHIN SITE BOUNDARIES. PROPERLY CAP LINES AS REQUIRED TO FOR FUTURE CONNECTION INSIDE AND NEAR FENCE LINE.
- 45. ASBESTOS ABATEMENT SHALL BE SAFELY PERFORMED. ALL ASBESTOS AND HAZARDOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM SITE. ASBESTOS INSPECTION HAS BEEN DONE & REPORT IS AVAILABLE UPON REQUEST.
- 47. DO NOT TRENCH, CUT OR ALTER STRUCTURAL SLABS OR EXTERIOR WALLS THAT ARE DETERMINED TO REMAIN. 48. ALL DEBRIS SHALL BE REMOVED FROM PREMISES EXPEDITIOUSLY AND IN A PROPER MANNER USING SEALED BAGS

EROSION / SEDIMENTATION NOTES:

- POLLUTION PREVENTION. CONTRACTOR COMPLIES WITH ALL LOCAL, STATE AND OTHER GOVERNMENTAL
- DURING DEMOLITION ALL CHAIN LINK FENCES SHALL RECEIVE GEOTEXTILE FILTER FABRIC ATTACHED WITH WOODEN STAKES SPACED AT A MAXIMUM OF 6 FT APART. FILTER FABRIC SHOULD BE ENTRENCHED IN THE GROUND BETWEEN
- ADJACENT UNDISTURBED AREAS OR OF SITE AREAS.
- TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE
- TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATER WAYS.



BALCONY ABOVE. GROUND SURFACES BELOW TO BE REMOVED.

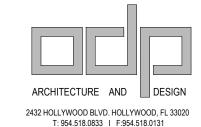
COCONUT GROVE, FL 3313 ARCHITECT OF RECORD O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS IN 2432 HOLLYWOOD BOULEVARI HOLLYWOOD, FL 33020 **DESIGN ARCHITECT** 180 VARICK STREET, SUITE 1328

5333 ACQUISITIONS, LL 2601 SOUTH BAYSHORE DRIVE, SUITE 850



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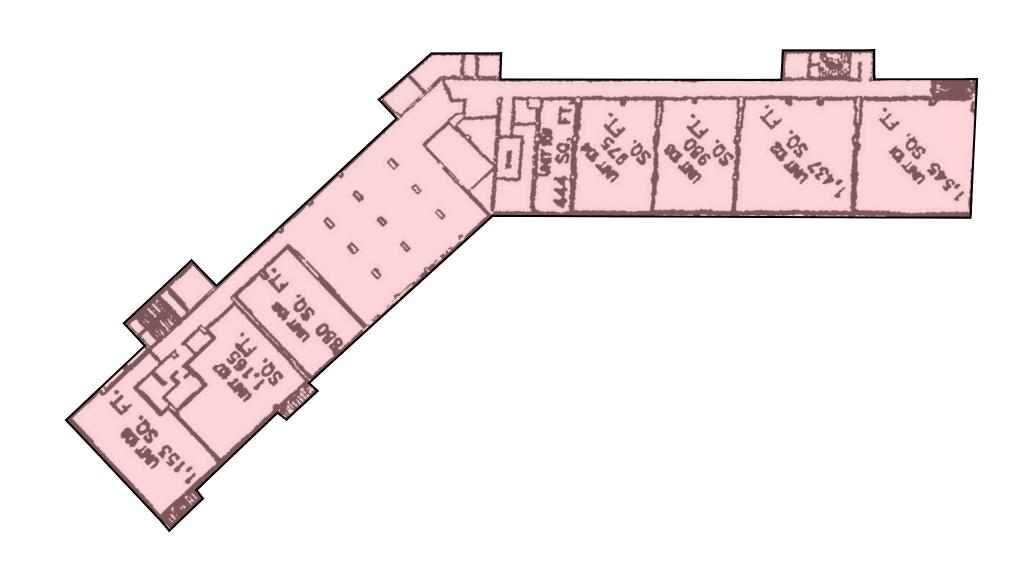
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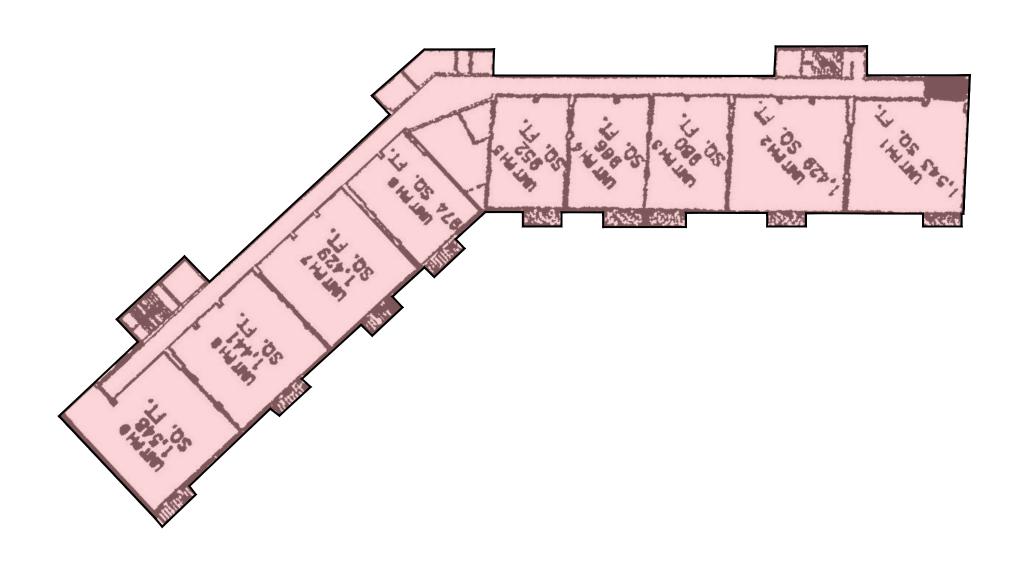
STARTED BY: ODP DRAWING TITLE: **DEMOLITION** PLAN

SHEET NO.

A-007



GROUND FLOOR FAR LOBBY/BOH = 8,360 SF FAR RESIDENCES = 7,569 SF



LEVEL 2 - PH FAR RESIDENCES = 16,424 SF

EXISTING F.A.R

F.A.R RESIDEN	ITIAL BUILDING
LEVEL	AREA (SF)
GROUND LEVEL	15,929 SF
LEVEL 2	16,424 SF
LEVEL 3	16,424 SF
LEVEL 4	16,424 SF
LEVEL 5	16,424 SF
LEVEL 6	16,424 SF
LEVEL 7	16,424 SF
LEVEL 8	16,424 SF
LEVEL 9	16,424 SF
LEVEL 10	16,424 SF
LEVEL 11	16,424 SF
LEVEL 12	16,424 SF
LEVEL 13	16,424 SF
LEVEL 14	16,424 SF
LEVEL PH	16,424 SF
TOTAL F A D	229,441 SF
TOTAL F.A.R	223,441 SF



SITE AERIAL TOTAL FAR = 229,441 SF

ARCHITECT OF RECORD

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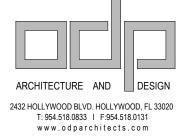
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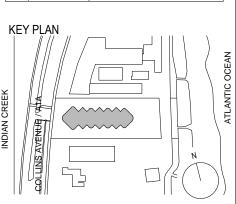
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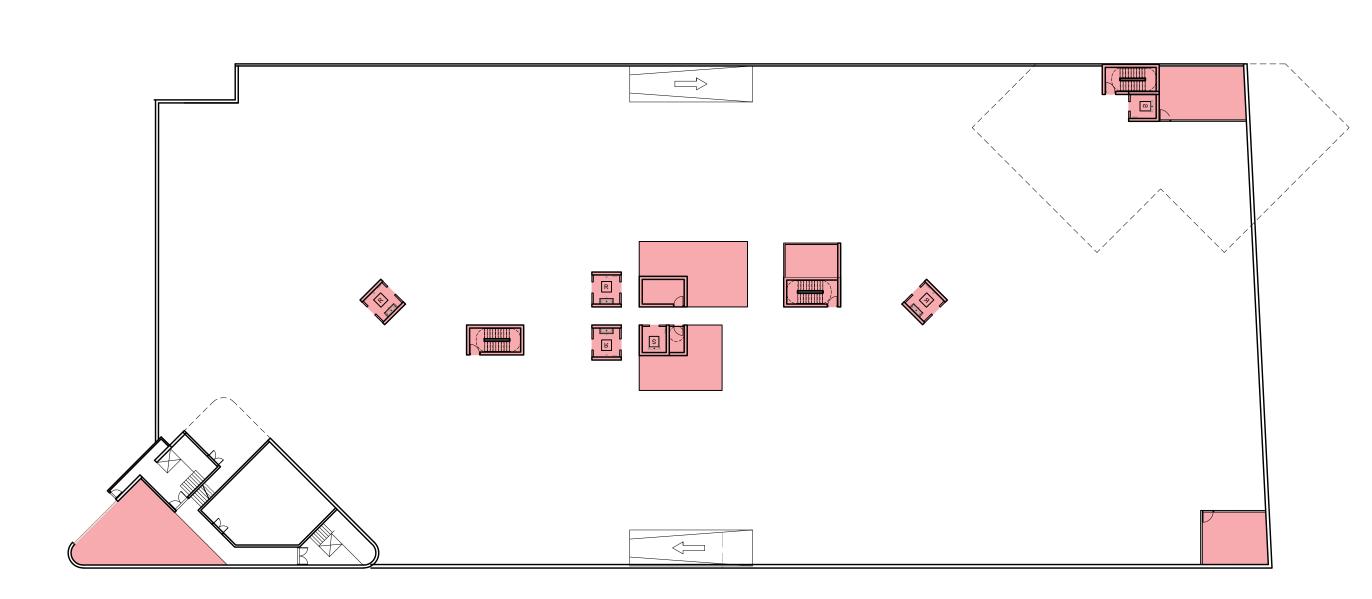
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5333 COLLINS AVE MIAMI BEACH, FL 33140

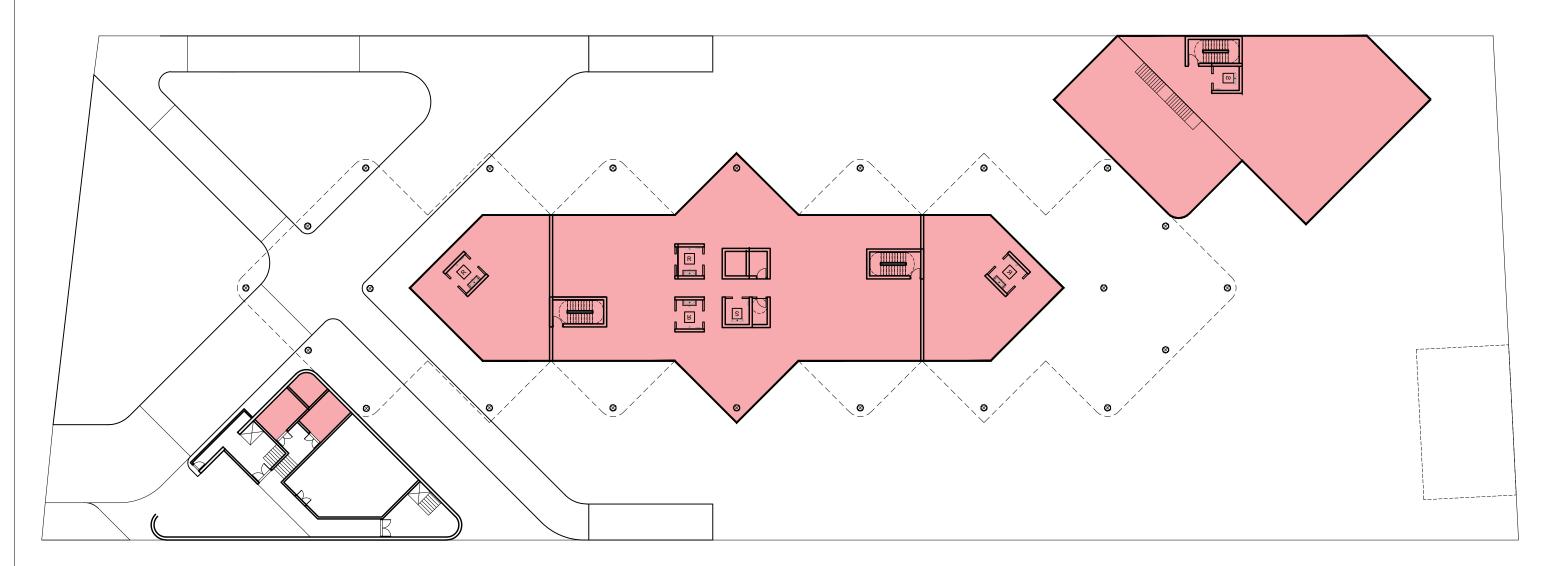
NO	DATE	DESCRIPTION
	06/11/21	DRB - FIRST SUBMITTAL
	07/02/21	DRB - FINAL SUBMITTAL



SCALE: XXX
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.
DATE: 07/02/2021
STARTED BY: ODP
DRAWING TITLE:
EXISTING
CONDITIONS &
EXISTING FAR
DIAGRAMS
SHEET NO.
A-008



CELLAR FAR = 4,414 SF

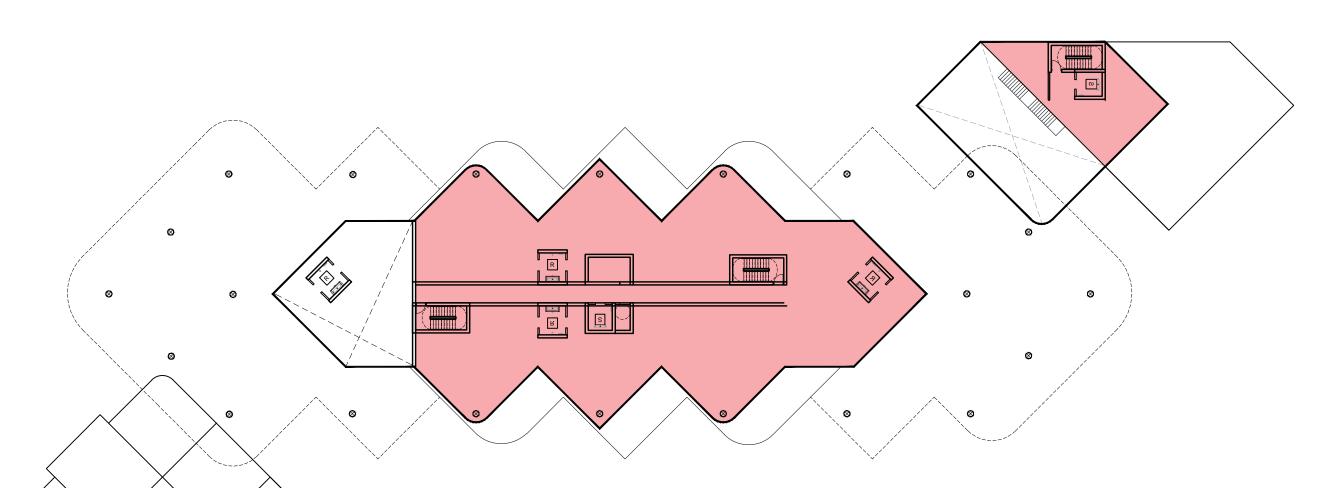


GROUND LEVEL

FAR LOBBY/BOH = 4,627 SF

FAR AMENITIES = 6,269 SF

FAR PRIVATE RESTAURANT/ CLUB HOUSE = 5,007 SF

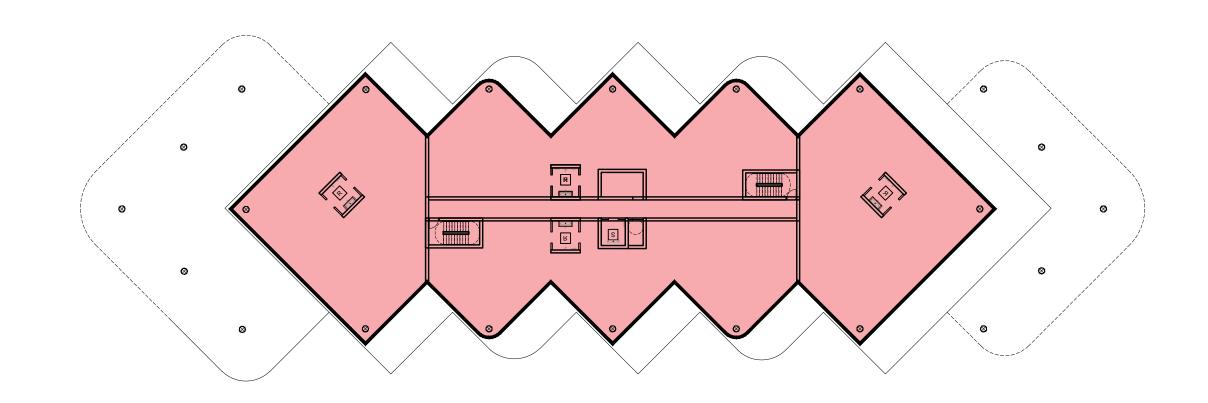


LEVEL 2 - JUNIOR SUITES & AMENITIES

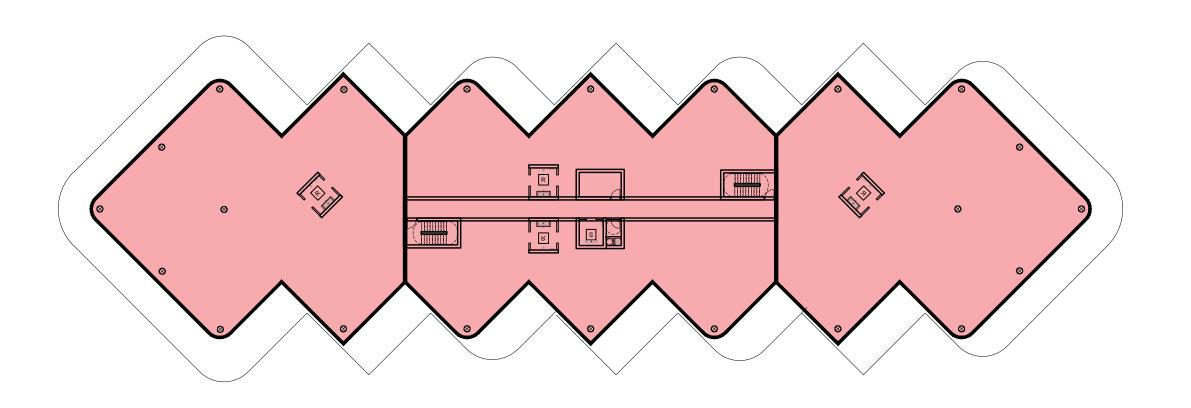
FAR AMENITIES = 5,305 SF

FAR JUNIOR SUITES = 4,905 SF

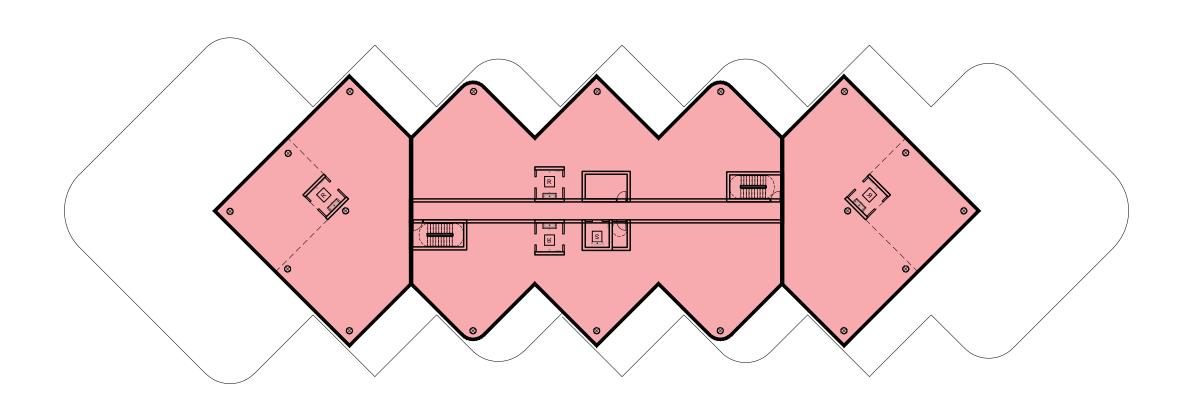
PRIVATE RESTAURANT/ CLUB HOUSE: 1,296 SF



LEVEL 3 RESIDENCES FAR RESIDENCES = 15,417 SF



LEVEL 4 TO 14 RESIDENCES FAR RESIDENCES = 21,087 SF X 11 = 231,962 SF



LEVEL 15 RESIDENCES FAR RESIDENCES = 15,417

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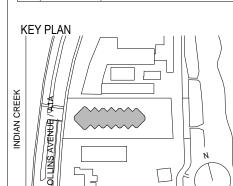
5333 COLLINS

5333 COLLIN MIAMI BEACH, FL

NO DATE DESCRIPTION

06/11/21 DRB - FIRST SUBMITTAL

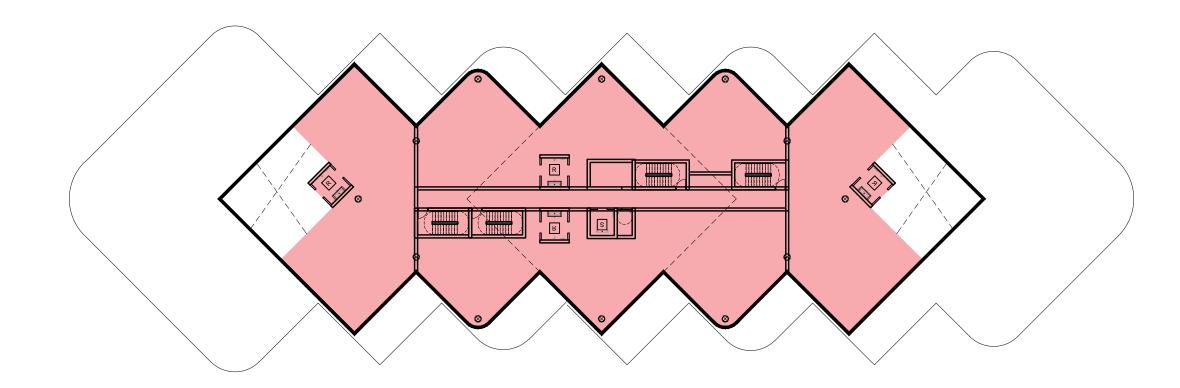
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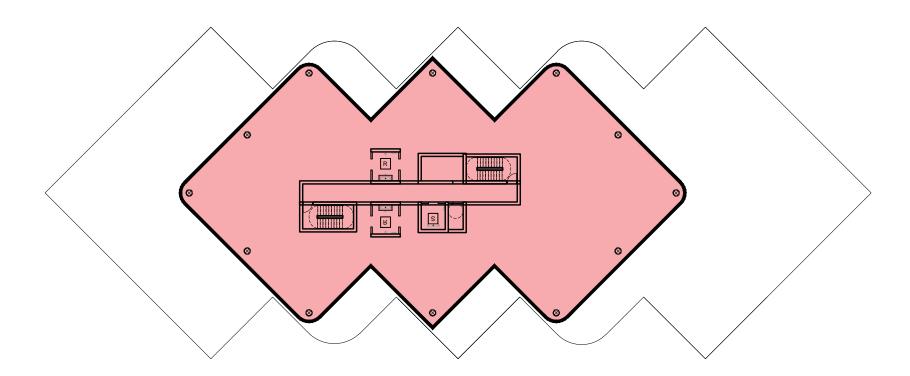
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DATE: 07/02/2021
STARTED BY: ODP
DRAWING TITLE:

FAR DIAGRAMS

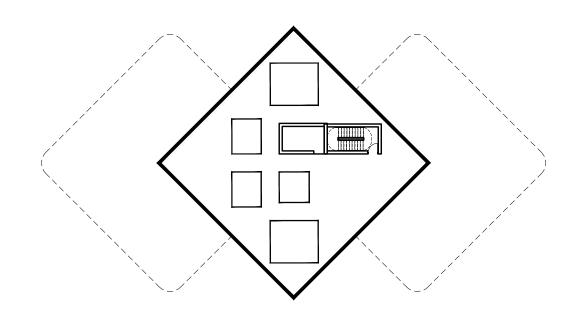
SHEET NO. **A-009**



LEVEL 16 RESIDENCES FAR RESIDENCES = 13,672 SF



LEVEL 17 RESIDENCES FAR RESIDENCES = 9,703 SF



LEVEL MECHANICAL ROOF FAR = 0

PROPOSED F.A.R

F.A.R RESIDEN	ITIAL BUILDING
LEVEL	AREA (SF)
CELLAR LEVEL	4,414 SF
GROUND LEVEL	15,903 SF
LEVEL 2	11,506 SF
LEVEL 3	15,417 SF
LEVEL 4	21,087 SF
LEVEL 5	21,087 SF
LEVEL 6	21,087 SF
LEVEL 7	21,087 SF
LEVEL 8	21,087 SF
LEVEL 9	21,087 SF
LEVEL 10	21,087 SF
LEVEL 11	21,087 SF
LEVEL 12	21,087 SF
LEVEL 13	21,087 SF
LEVEL 14	21,087 SF
LEVEL 15	15,417 SF
LEVEL 16	13,672 SF
LEVEL 17	9,703 SF
LEVEL 18	0 SF
TOTAL F.A.R	317,994 SF

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 NO
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 DESCRIPTION

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OWNER

5333 ACQUISITIONS, LLC 2601 SOUTH BAYSHORE DRIVE, SUITE 850 COCONUT GROVE, FL 33133 T: 305.531.2426

DESIGN ARCHITECT

AR96924 180 VARICK STREET, SUITE 1328 NEW YORK, NY 10014 T: +1 212 337 0770

ARCHITECT OF RECORD

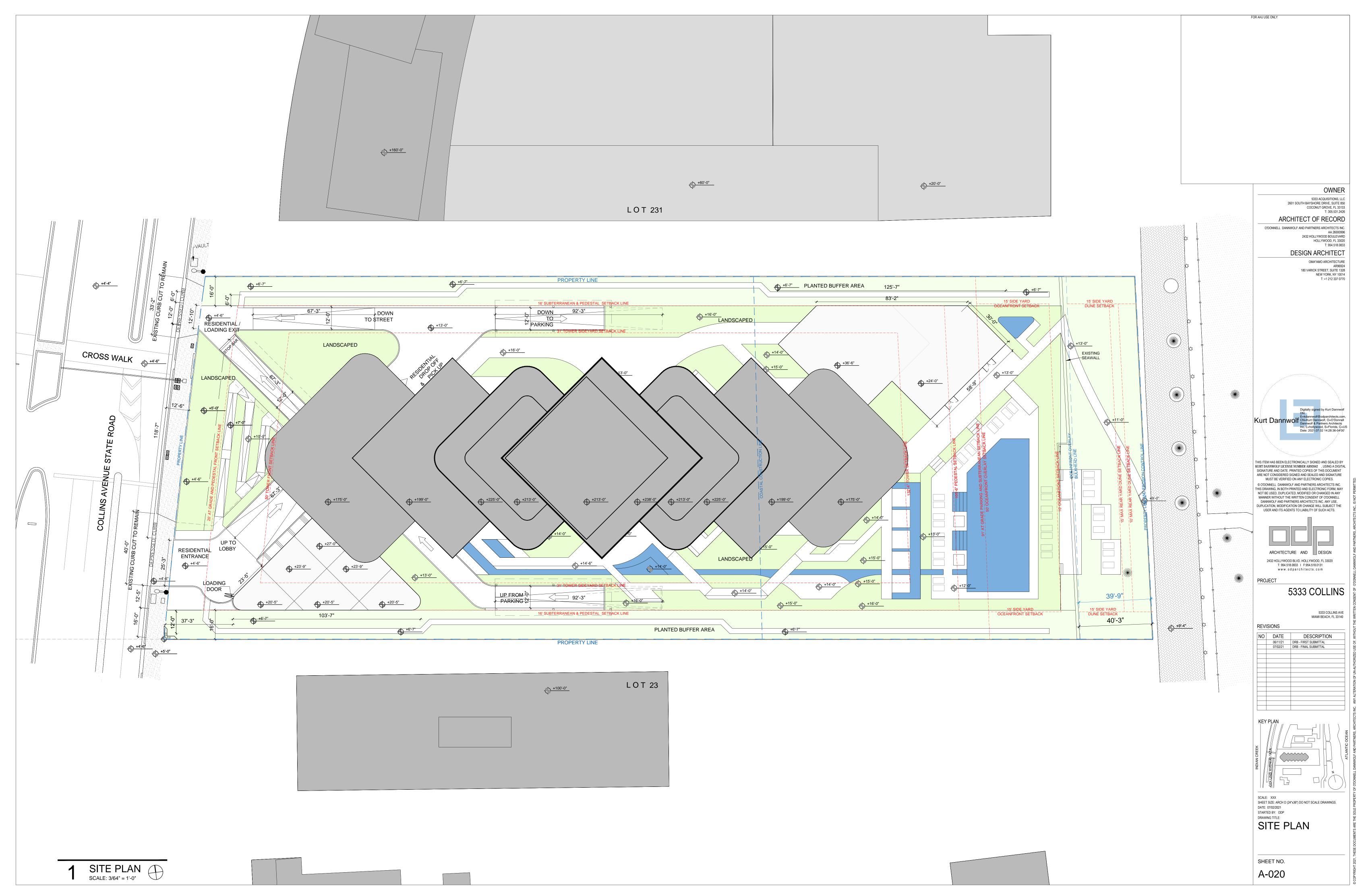
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HOLLYWOOD, FL 33020
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FAR DIAGRAMS 2

SHEET NO.

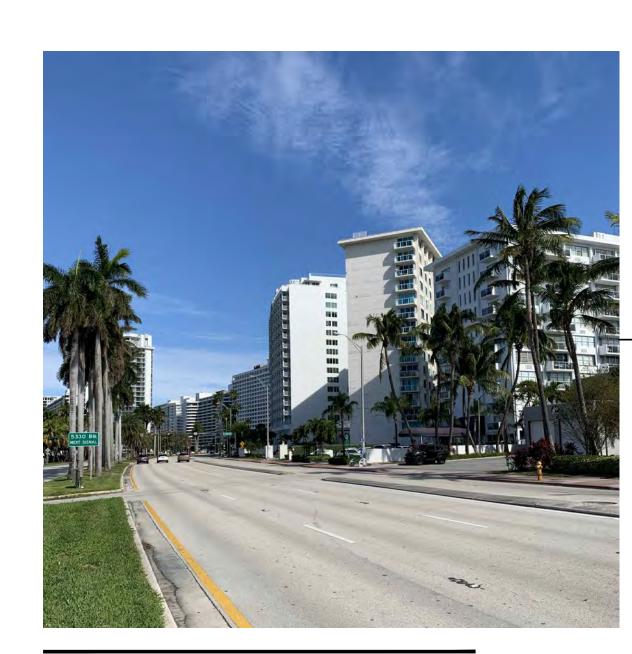
A-010



6 SOUTHBOUND COLLINS AVE



4 COLLINS AVE
18/12/2020



2 NORTHBOUND COLLINS AVE



5 SOUTHBOUND GREENWAY VIEW



3 BEACH VIEW
18/12/2020



NORTHBOUND BEACH VIEW
18/12/2020

5333 ACQUISITIONS, LLC
2601 SOUTH BAYSHORE DRIVE, SUITE 850
COCONUT GROVE, FL 33133
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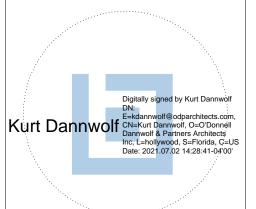
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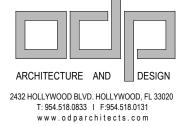
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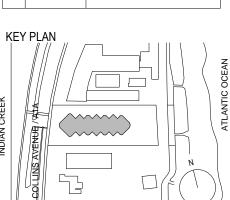


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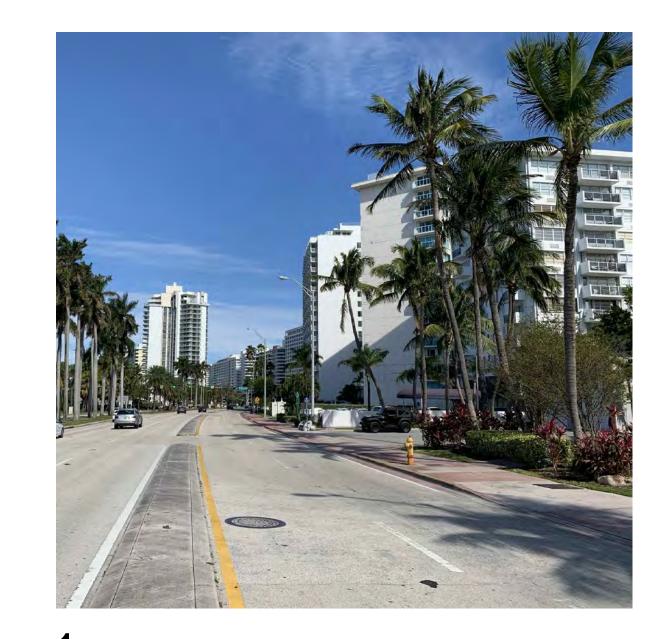
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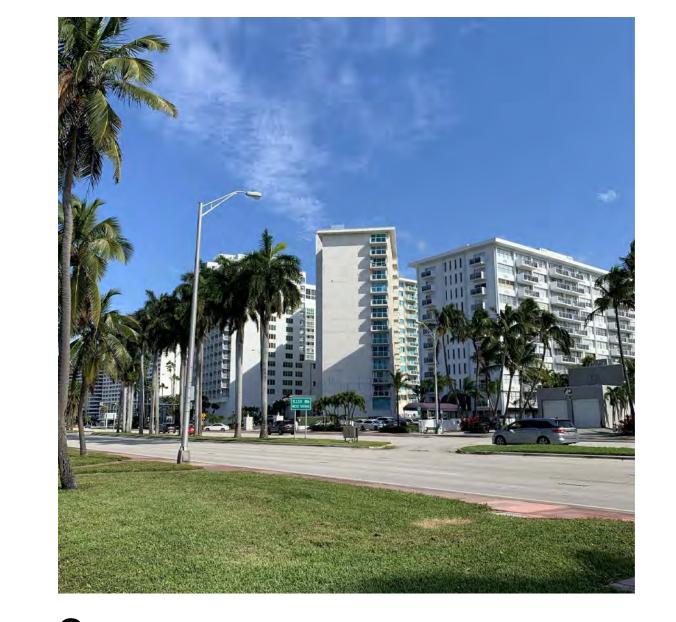


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DATE: 07/02/2021
STARTED BY: ODP
DRAWING TITLE:
CURRENT SITE

CURRENT SITE
IMAGE - SITE
AND EXISTING
SHEET NO.

A-021

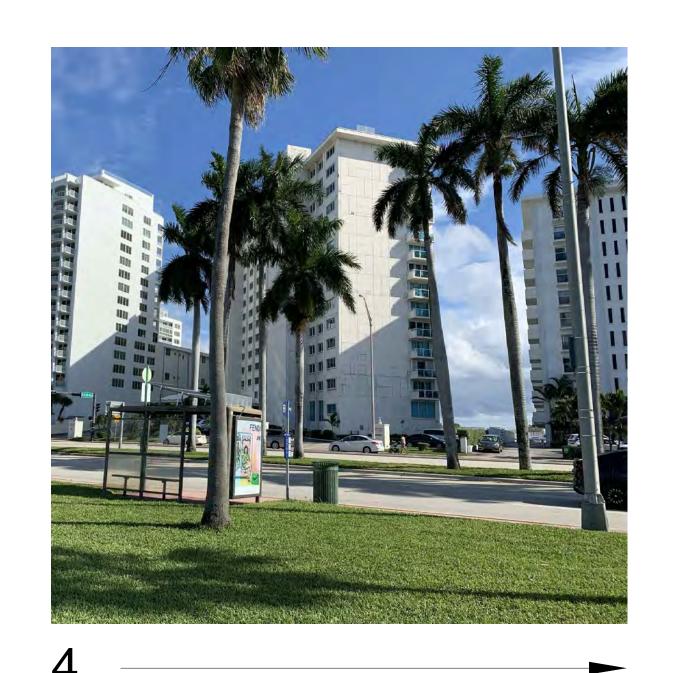


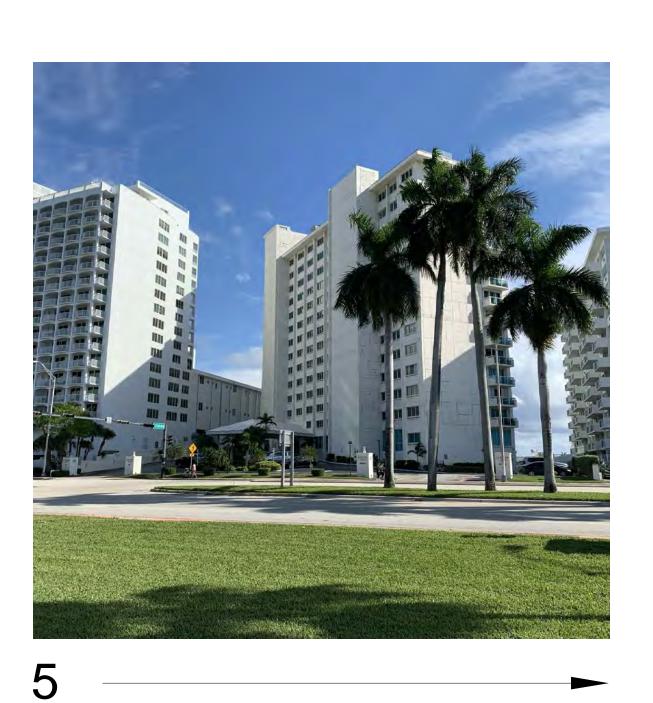


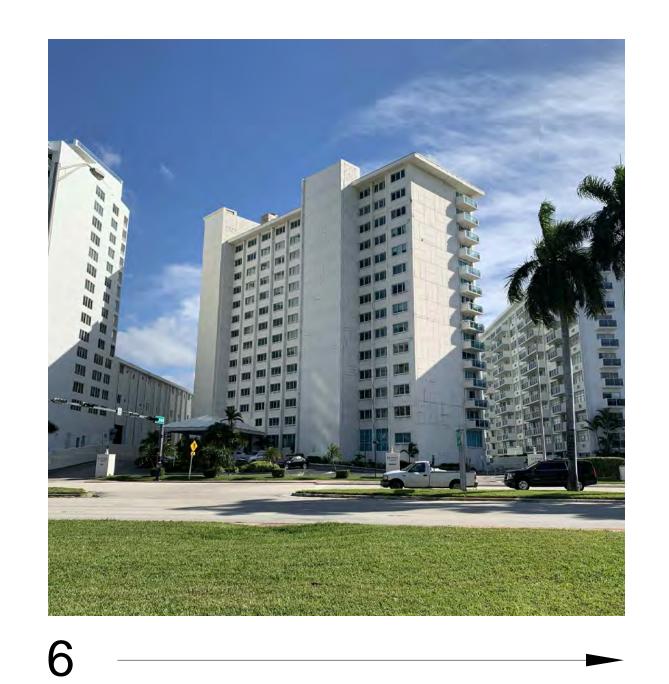


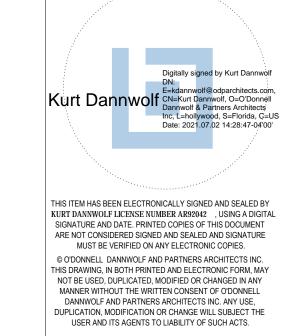
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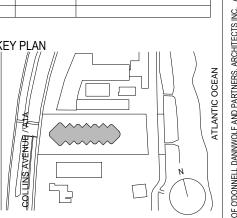


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5333 COLLINS

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DESCRIPTION

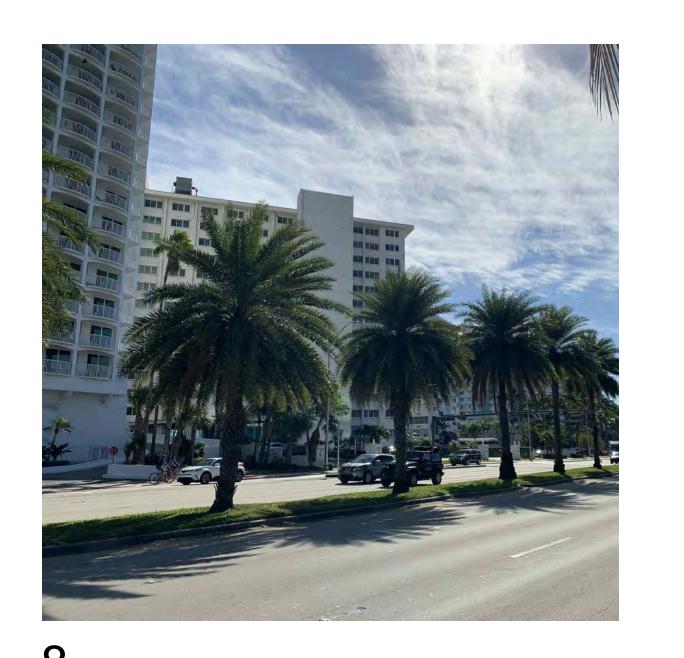


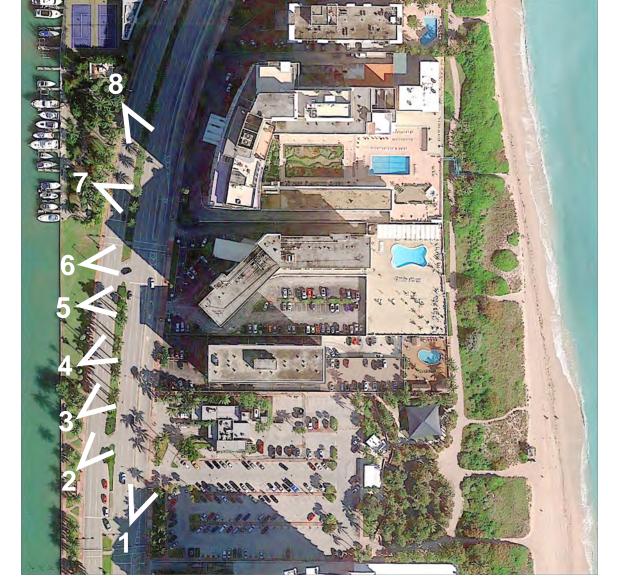
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DRAWING TITLE:
CURRENT SITE

IMAGE

SHEET NO. A-022



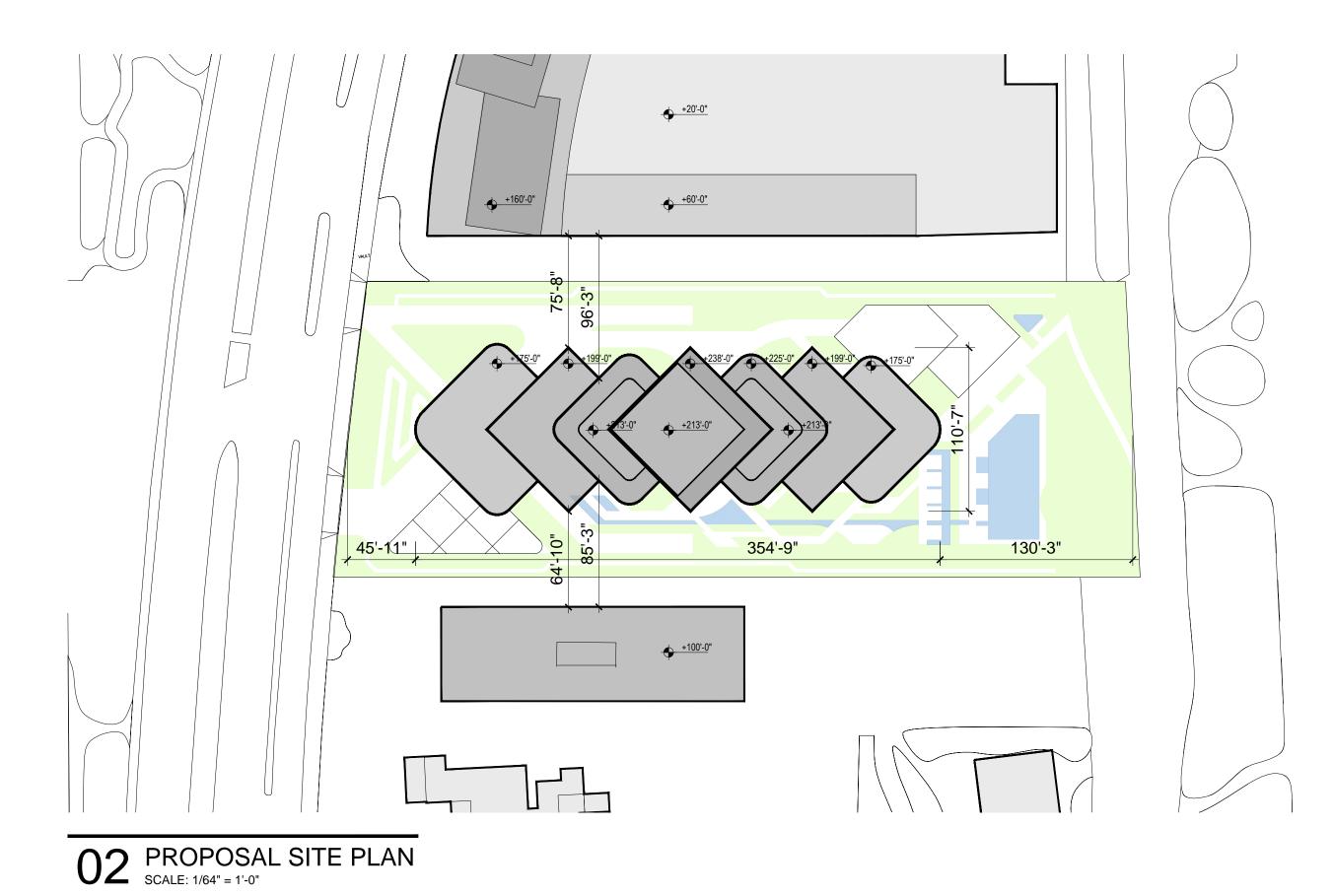




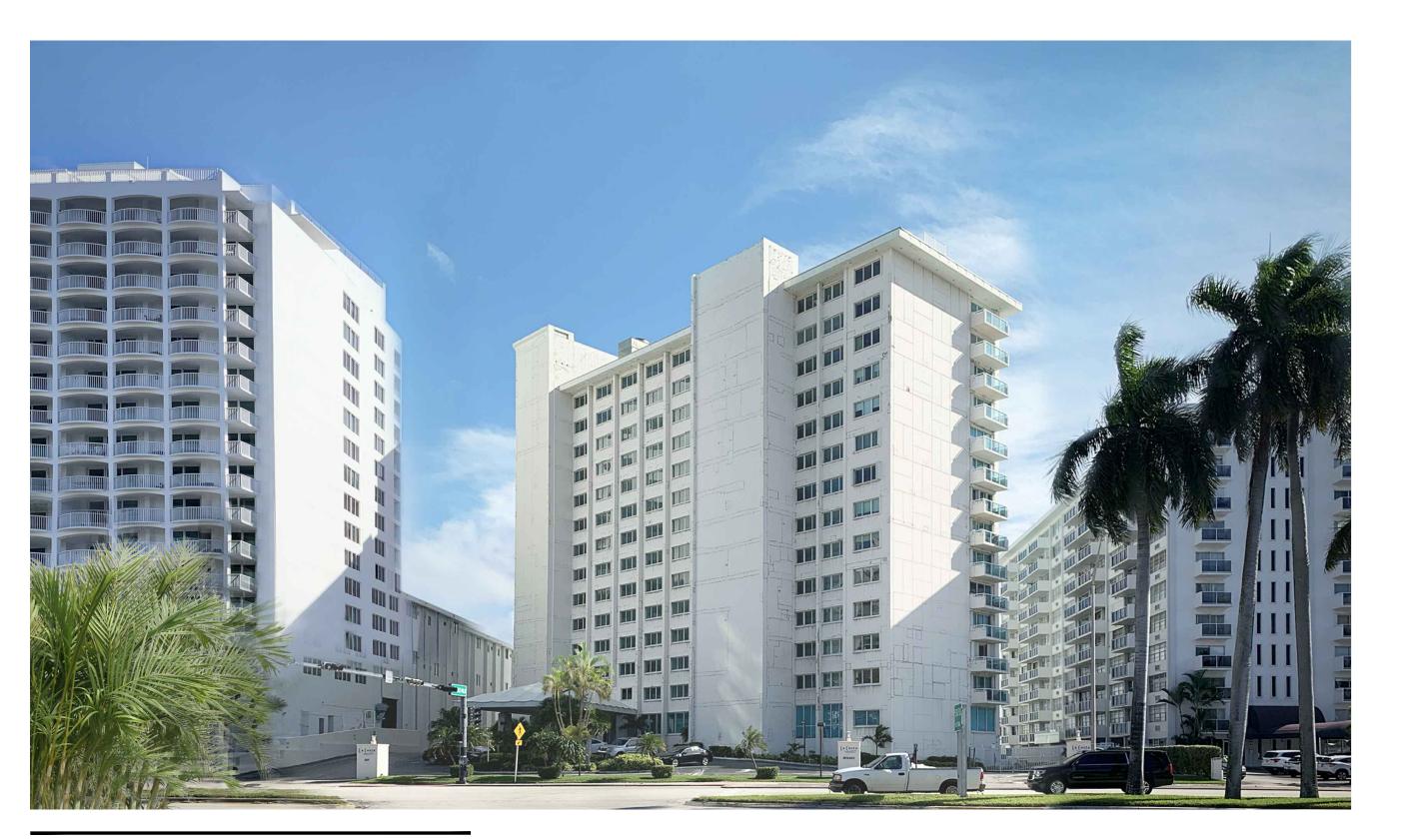
KEY PLAN

O1 EXISTING SITE PLAN SCALE: 1/64" = 1'-0"

EXISTING COLLINS AVE VIEW



PROPOSAL COLLINS AVE VIEW



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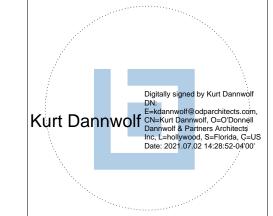
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DESIGN ARCHITECT OMA*AMO ARCHITECTURE AR96924

180 VARICK STREET, SUITE 1328

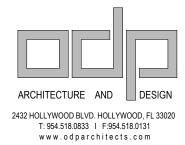
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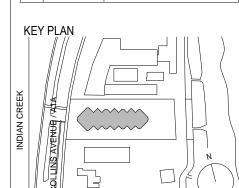
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