

CLIENT

ARCHITECT OF RECORD

ADDRESS: 2432 HOLLYWOOD BOULEVARD, HOLLYWOOD, FL 33020  
PHONE: 954.518.0833

DESIGN ARCHITECT

ADDRESS: 180 VARICK STREET, SUITE 1328. NEW YORK, NY 10014  
PHONE: +1 212.337.0770

**LANDSCAPE ARCHITECT OF RECORD**

ADDRESS: 612 SW 4 AVENUE, FORT LAUDERDALE, FL 33315  
PHONE: 954.764.8858

**LANDSCAPE DESIGN CONSULTANT**

ADDRESS: 1 COBHAM MEWS, AGAR GROVE, LONDON NW1 9SB UK  
PHONE: +44 (0) 207.284.8950

COASTAL ENGINEER

ADDRESS: 2937 SW 27 AVENUE, SUITE 101A. MIAMI, FL 33135  
PHONE: 305.230.1924

TRAFFIC ENGINEER

ADDRESS: 8201 PETERS ROAD, SUITE 2200. PLANTATION, FL 33324  
PHONE: 954.535.5144

**STRUCTURAL ENGINEER**

ADDRESS: 7955 NW 12 STREET, SUITE 418. MIAMI, FL 33126  
PHONE: 786.703.9243

**CIVIL ENGINEER**

ADDRESS: 3240 CORPORATE WAY, MIRAMAR, FL 33025  
PHONE: 954.435.7010

**MEP ENGINEER**

ADDRESS: 600 WEST HILLSBORO BOULEVARD, SUITE 102  
DEERFIELD BEACH, FL 33441  
PHONE: 954.767.8886

**CODE CONSULTANT**

ADDRESS: 260 PALERMO AVENUE, CORAL GABLES, FL 33134  
PHONE: 305.461.9852



5333 ACQUISITIONS, LLC  
2601 SOUTH BAYSHORE DRIVE, SUITE 850  
COCONUT GROVE, FL 33133  
T: 305.531.2426

## ARCHITECT OF RECORD

O'DONNELL DANINWOLF AND PARTNERS ARCHITECTS INC.  
AA 26000996  
2432 HOLLYWOOD BOULEVARD  
HOLLYWOOD, FL 33020  
T: 954 518 0833

## DESIGN ARCHITECT

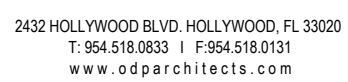
OMA\*AMO ARCHITECTURE  
AR56924  
180 VARICK STREET, SUITE 1328  
NEW YORK, NY 10014  
T: +1 212 337 0770

Digitally signed by Kurt Dannewolf  
CN:  
E=kdannewolf@odparchitects.com,  
CN=Kurt Dannewolf, O=O'Donnell  
Dannewolf & Partners Architects,  
Inc, L=Hollywood, S=Florida, C=US  
Date: 2021.07.02 14:29:32-0400

Kurt Dannwolf

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## PROJECT

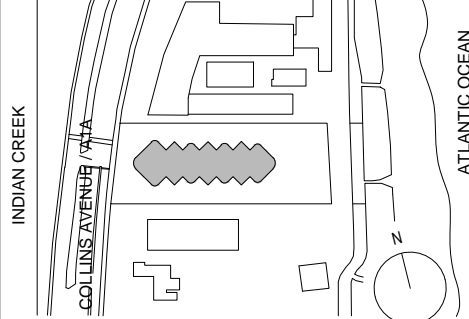
5333 COLLINS

5333 COLLINS AVE  
MIAMI BEACH, FL 33140

## REVISIONS

[illegible]

## KEY PLAN



SCALE: XXX  
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.  
DATE: 07/02/2021  
STARTED BY: ODP  
DRAWING TITLE:

# COVER SHEET

SHEET NO.

A-001



**OWNER**

5333 ACQUISITIONS, LLC  
2601 SOUTH BAYSHORE DRIVE, SUITE 500  
COCONUT GROVE, FL 33133  
T: 305 631 2426

**ARCHITECT OF RECORD**

O'DONNELL DANNWOLF AND PARTNERS ARCHITECTS, INC.  
AA: 3000099000  
2432 HOLLYWOOD BOULEVARD  
HOLLYWOOD, FL 33020  
T: 954 518 0833

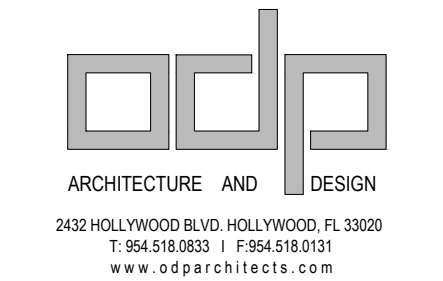
**DESIGN ARCHITECT**

OMA+AMO ARCHITECTURE  
AR#69040  
180 VARIO STREET, SUITE 1200  
NEW YORK, NY 10017  
T +1 212 337 0710



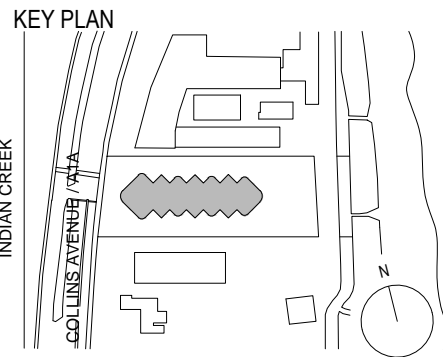
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PROJECT  
5333 COLLINS

5333 COLLINS AVE  
MI BEACH, FL 33140

[illegible]

SCALE: XXX  
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DATE: 07/02/2021  
STARTED BY: ODP  
DRAWING TITLE:

## DRAWING LIST

SHEET NO.

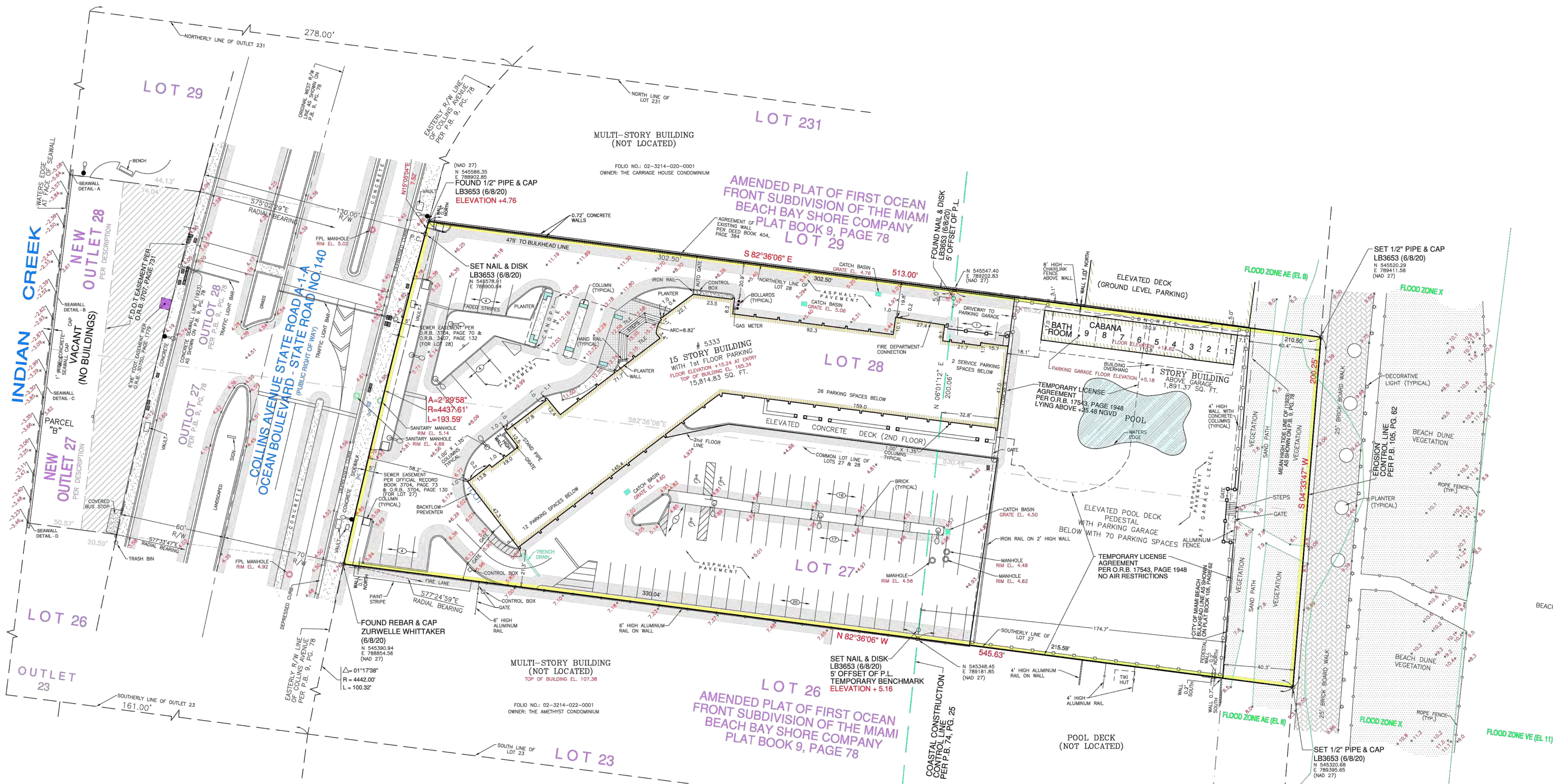
A-002



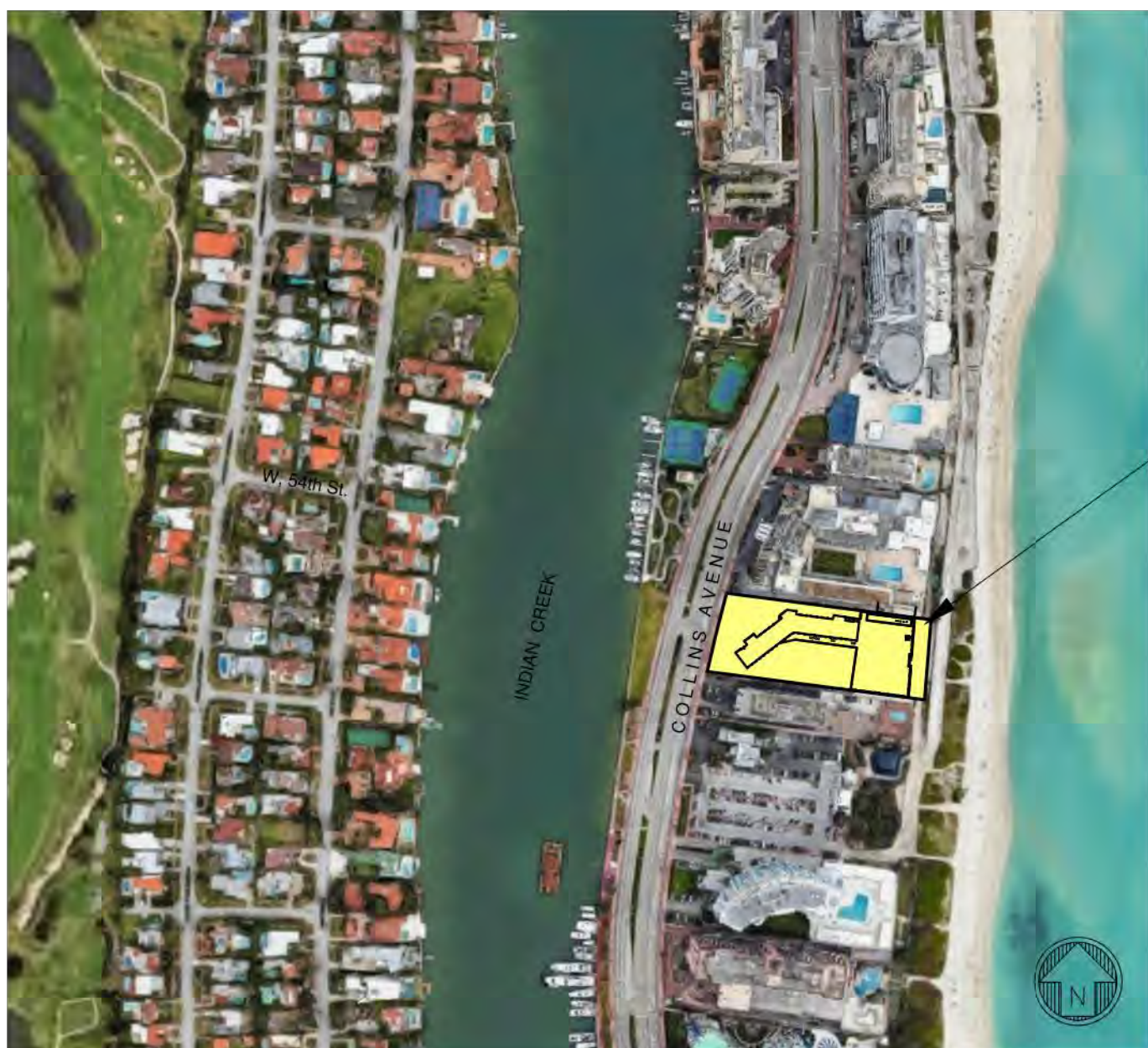
**FORTIN, LEAVY, SKILES, INC.**  
CONSULTING ENGINEERS, SURVEYORS & MAPPERS  
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653  
180 Northeast 168th Street / North Miami Beach, Florida 33162  
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@survey.com

**BOUNDARY & TOPOGRAPHIC SURVEY**  
5333 COLLINS AVENUE - LA COSTA  
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

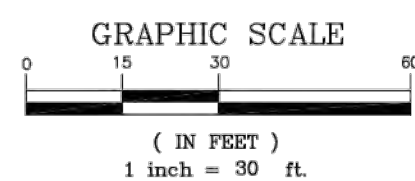
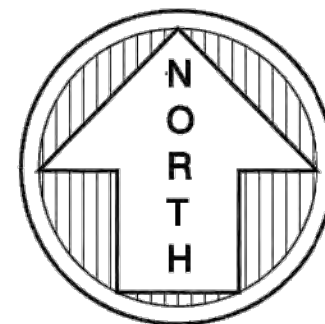
Original Date  
5/5/21  
Scale  
1"=30'  
Drawn By  
DWF  
CAD No.  
981365  
Plotted  
5/19/21 2:18p  
Ref. Dwg.  
2020-068  
Field Book  
F.S. - TMC  
Job No.  
210382  
Dwg. No.  
2020-068-NGVD  
Sheet  
1 of 1



| LEGEND |                                  |
|--------|----------------------------------|
|        | CATCH BASIN                      |
|        | CATCH BASIN INLET                |
|        | MANHOLE                          |
|        | LIGHT POLE                       |
|        | WATER METER                      |
|        | WATER VALVE                      |
|        | UTILITY POLE                     |
|        | RISER                            |
|        | FIRE HYDRANT                     |
|        | HANDHOLE                         |
|        | SEWER/GAS VALVE                  |
|        | CLEANOUT                         |
|        | WELL                             |
|        | DRAIN                            |
|        | GRADE ELEVATION                  |
|        | BOLLARD                          |
|        | OVERHEAD UTILITY WIRE            |
|        | CHAIN LINK FENCE                 |
|        | LIMITED ACCESS RIGHT-OF-WAY LINE |
|        | 0.5' CURB                        |
|        | 2.00' CURB & GUTTER              |
|        | WALL                             |
|        | ELEVATION                        |
|        | INVERT                           |
|        | B.O.S. = BOTTOM OF STRUCTURE     |
|        | T.O.B. = TOP OF BAFFLE           |
|        | P.B. = PLAT BOOK PG. = PAGE      |
|        | O.R.B. = OFFICIAL RECORDS BOOK   |
|        | CONCRETE                         |
|        | ASPHALT PAVEMENT                 |
|        | R/W = RIGHT-OF-WAY               |
|        | C = CENTER LINE                  |
|        | M = MONUMENT LINE                |
|        | S = SIGN                         |



**LOCATION SKETCH**  
NOT TO SCALE



**SURVEYOR'S NOTES:**

- This site lies in Section 14, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- Miami-Dade County, Florida was formerly known as Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were not abstracted for easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of S82°36'06"E for the Northerly line of Lot 28, and evidenced by a found 1/2" pipe and cap and set 1/2" pipe & cap.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. E-313-R, Elevation +4.04 Located at 53 Street and Highway A-1-A.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 8) & X by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0328L, for Community No. 120851, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon contains 106,015 square feet, or 2.434 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Pursuant to Florida State Statutes in Chapter 161.181, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Legal description shown hereon based on information furnished by client and no claims as to ownership are made or implied.

**LEGAL DESCRIPTION:**  
**PARCEL A:**

Lots 27 and 28, of Amended Plat of First Ocean Front Subdivision of the Miami Beach Bay Shore Company, according to the Plat thereof, as recorded in Plat Book 9, Page 78, of the Public Records of Miami-Dade County, Florida.

**SURVEYOR'S CERTIFICATION:**

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on May 5, 2021, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on May 5, 2021.

"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

**FORTIN, LEAVY, SKILES, INC., LB3653**

Digitally signed by Daniel C Fortin  
DN: c=US, o=Unaffiliated,  
ou=A01410D0000017402A2B42000429  
5B, cn=Daniel C Fortin  
Date: 2021.05.26 21:02:54 -04'00'

By: Daniel C. Fortin, Jr., For The Firm  
Surveyor and Mapper, L56435  
State of Florida.









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**odp**  
ARCHITECTURE AND DESIGN

2432 HOLLYWOOD BLVD. HOLLYWOOD, FL 33020  
T: 954 518 0833 | F: 954 518 0131  
[www.odparchitects.com](http://www.odparchitects.com)

PROJECT \_\_\_\_\_  
5333 COLLINS

5333 COLLINS AVE  
MIAMI BEACH, FL 33140

[illegible]

**KEY PLAN**

INDIAN CREEK

COLLINS AVENUE / A1A

ATLANTIC OCEAN

N

SCALE: XXX  
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.  
DATE: 07/02/2021  
STARTED BY: ODP  
DRAWING TITLE:


## CONTEXT

### LOCATION PLAN

SHEET NO.  
A-006

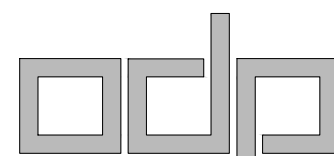




Digitally signed by Kurt Dannwolf  
DN:  
E=kdannwolf@odparchitects.com  
CN=Kurt Dannwolf, O=O'Donnell  
Dannwolf & Partners Architects  
Inc., L=hollywood, S=Florida, C=US  
Date: 2021.07.02 14:28:16-0400

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T: 954.518.0833 | F: 954.518.0131  
[www.odparchitects.com](http://www.odparchitects.com)

PROJECT

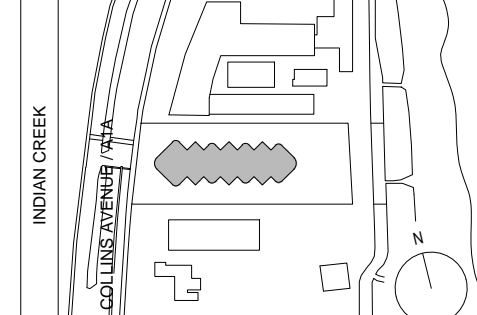
5333 COLLINS

5333 COLLINS AVE  
MIAMI BEACH, FL 33140

## REVISIONS

[illegible]

### KEY PLAN



SCALE: XXX  
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.  
DATE: 07/02/2021  
STARTED BY: ODP  
DRAWING TITLE:

## DEMOLITION PLAN

SHEET NO.  
A-007

GENERAL DEMOLITION NOTES:





1. FURNISH ALL LABOR AND MATERIALS / EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
2. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION / CONSTRUCTION AREA ONTO ADJACENT SITES OR ROADWAY.
3. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING.
4. ALL TYPES OF DEMOLITION WORK, ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
5. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS.
6. CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONTRACT DOCUMENTS ON SITE DURING CONSTRUCTION FOR USE OF ALL TRADES. ENSURE THAT ALL SUBCONTRACTORS RECEIVE COMPLETE SETS OF CONSTRUCTION DRAWINGS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR COORDINATION OF ALL WORK.
7. SECTION 1 - GENERAL REQUIREMENTS, GOVERN THE EXECUTION OF THE WORK OF ALL SECTIONS OF THE SPECIFICATIONS.
8. SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSTRUCTION STANDARD.
9. ARRANGE FOR EACH TRADE TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE RELATING TO THEIR WORK. NO ALLOWANCE SHALL BE MADE FOR ANY EXTRA EXPENSE OR EXTENSION OF TIME DUE TO CONTRACTORS FAILURE OR NEGLIGENCE IN COMPLETELY EXAMINING THE JOB SITE AND CONDITIONS EFFECTING EXECUTION OF THE WORK.
10. ALL STRUCTURAL, ELECTRICAL, MECHANICAL AND PLUMBING, DEMOLITION WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, WHETHER LISTED HEREIN OR NOT.
11. MATERIALS, DIMENSIONS AND OTHER CONDITIONS NOT OTHERWISE INDICED IN THESE DRAWINGS SHALL BE INTERPRETED AS HAVING THE SAME MEANING AS THOSE MOST SIMILARLY DETAILED AND MORE FULLY DEFINED ELSEWHERE IN THE DRAWINGS.
12. CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER, ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL, OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL(PCB) OR OTHER TOXIC SUBSTANCES.
13. REMOVE ALL UTILITIES IN AREA OF SITE EXCEPT WHERE NOTED AND PROPERLY DISCONNECT AT PROPERTY LINE. DO NOT DISTURB ANY EXISTING UNDERGROUND UTILITIES BEYOND THE LIMITS OF THE AREA OF WORK AS DESCRIBED IN THE DRAWINGS.
14. THE GENERAL CONTRACTOR FOR THIS WORK SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS INCLUDING THE EXISTING STRUCTURAL, MECHANICAL, ELECTRICAL AND PLUMBING CONDITIONS. THEY SHALL, NOTIFY THE ARCHITECT, IN WRITING, IMMEDIATELY IF ANY DISCREPANCIES OR INCONSISTENCIES EXIST. FAILURE TO VERIFY THE EXISTING CONDITIONS SHALL NOT RELIEVE THE CONTRACTOR OF ANY EXPENSES OR RESPONSIBILITIES RESULTING FROM FAILURE TO INSPECT THE JOB SITE.
15. ALL ITEMS TO BE DEMOLISHED SHALL BE REMOVED IN THEIR ENTIRETY WITH ALL ITS APPURTENANCES. ALL OBSTRUCTIONS OR RELATED ITEMS SHALL BE REMOVED AND FIELD VERIFIED BY THE CONTRACTOR DUE TO THE NATURE OF THE WORK. INVOLVED IN DEMOLITION, UNFORESEEABLE CONDITIONS MAY ARISE DURING THE WORK, AND ANY UNEXPECTED SITUATION THAT AFFECTS THE PROGRESS OF THE WORK SHALL BE REPORTED IMMEDIATELY TO THE OWNER FOR REVIEW.
17. CONTRACTOR AND SUB CONTRACTORS SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE LAWS, CODES, REGULATIONS, AND BEST STANDARDS OF SAFETY.
18. EXISTING CONDITIONS HAVE BEEN DRAWN FROM EXISTING BUILDING DRAWINGS AND OBSERVATIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO EXECUTION OF DEMOLITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
19. CONTRACTOR SHALL PRESERVE ALL PROJECT SITE OF ALL TREES, RUBBISH AND DEBRIS, AND REDIRECT ALL RECYCLED MATERIALS IN A LEGAL MANNER. USE OF BUILDING TRASH DUMPSTER IS NOT PERMITTED. CONTRACTOR SHALL SUPPLY HIS OWN DUMPSTER AT LOCATION AS DIRECTED BY OWNER OR PROVIDE OTHER MEANS FOR STORAGE & REMOVAL OF WASTE MATERIALS. PROPERLY REMOVE AND DISPOSE OF ALL DEMOLITION MATERIAL IN ACCORDANCE WITH PERMITMENT CODES.
20. CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS NECESSARY TO PROVIDE COMPLETE DEMOLITION.
21. THE CONTRACTOR SHALL PROVIDE ALL LABOR FOR THE COMPLETE DEMOLITION OF ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL SERVICES.
22. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES, WORK SHALL INCLUDE THE REMOVAL AND DISPOSAL, OF MATERIALS FROM THE SITE.
23. THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK, PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF ADJACENT PROPERTIES TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.
24. EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE WORK, DAMAGED BY THE CONTRACTOR SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
25. THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES, WORK SHALL INCLUDE THE REMOVAL AND DISPOSAL, OF MATERIALS FROM THE SITE.

- THE CONTRACTOR SHALL PROVIDE PROTECTION FOR ALL ADJACENT PROPERTIES. WORK SHALL INCLUDE THE REMOVAL AND DISPOSAL OF MATERIALS FROM THE SITE.
- THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCTION OF THE WORK, PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS, PROTECTION OF ADJACENT PROPERTIES TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES. EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE WORK. DAMAGED BY THE CONTRACTOR SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
- ANY WORK NOT SHOWN OR SPECIFICALLY MENTIONED ON PLANS AND OR SPECIFICATIONS BUT CONSIDERED NECESSARY FOR COMPLETION OF THE WORK IN THE PROPER MANNER SHALL BE PROVIDED BY THIS CONTRACTOR WITHOUT ADDITIONAL CHARGE.
- WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE CLOSED FOR FILLED LEVEL AND FLUSH.
- WHEN DEMOLITION WORK REQUIRES TEMPORARY INTERRUPTION OF ELECTRICAL, TELEPHONE, TV, ALARM, OR COMMUNICATION SERVICES, RESPECTIVE UTILITIES AND/OR COMPANY REPRESENTATIVES SHALL BE NOTIFIED AS NECESSARY AND ALL WORK DONE UNDER THEIR SUPERVISION AND ESTABLISHED STANDARDS.
- ALL UTILITIES SHALL BE TERMINATED PRIOR TO BUILDING DEMOLITION. COORDINATE SERVICE TERMINATION WITH APPROPRIATE SERVICE PROVIDERS & GOVERNMENT AGENCIES AS REQUIRED.
- CAP END OF EXISTING UTILITY LINES WITHIN 10 FEET OF PROPERTY LINE.
- AFTER DEMOLITION IS COMPLETE THE DEMOLITION AREAS SHALL BE GRADED, LEVELED, COMPACTED AND FILL TO BE FILLED TO THE SAME ELEVATION AS ADJACENT AREAS AND ALL EXCAVATIONS MADE DURING DEMOLITION. PROTECT EXISTING SIDEWALK, ROADS, ETC. THAT ARE TO REMAIN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF PHASING OF DEMOLITION.
- THE GC IS ULTIMATELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, M.O.T. AND SAFETY PROCEDURES. GC SHALL CONFORM WITH TOWN OF SUFRISE DEMOLITION REQUIREMENTS AND APPLICABLE LAWS. GC SHALL SUBMIT AN OFF-STREET PARKING PLAN FOR DURATION OF CONSTRUCTION TO TOWN OF SUFRISE GC SHALL SUBMIT CONSTRUCTION SITE CIRCULATION AND STAGING PLAN TO TOWN OF SUFRISE
- REMOVE EXISTING DRAINAGE PIPES, CATCH BASINS AND DRAINAGE MAINTENANCE AREAS. STRUCTURES WITHIN SITE TO BE REMOVED. CAP END OF EXISTING DRAINAGE LINES TO ALLOW FOR FUTURE CONSTRUCTION. DRAINAGE PIPES, CATCH BASINS AND MAINTENANCE AREAS STRUCTURES BEYOND SITE BOUNDARIES TO REMAIN.
- REMOVE ELECTRIC PANELS & EQUIPMENT IN THEIR ENTIRETY. COORDINATE DEMOLITION OF POWER. PROPERLY DISCONNECT AND REMOVE ELECTRIC METAL, PULL BOX AND ENCLOSED ELECTRICAL SWITCHES IN THEIR ENTIRETY. COORDINATE REMOVAL OF ITEMS WITH FPL.
- PROPERLY DISCONNECT AND REMOVE EXISTING AIR HANDLING UNITS FROM SITE.
- UTILITY PULLS, PHONE BOXES, RISERS AND OVERHEAD LINES, IF ANY, TO BE REMOVED BY FPL. BELLSTUOUT AT&T AND COMCAST AS APPLICABLE. COORDINATE WITH ALL UTILITIES, CONTACT 180-432-4770 PRIOR TO DIGGING.
- DURING DEMO ENTRY GATES SHALL NOT BE OPEN TO THE RIGHT OF WAY AND SHALL BE SECURED TO PREVENT SWINGING OUT NOT THE STREET.
- REMOVE ALL UNDERGROUND WATER LINES LOCATED WITHIN SITE BOUNDARIES. PROPERLY CAP LINES AS REQUIRED TO PREPARE FOR FUTURE CONNECTION INSIDE AND NEAR FENCE LINE.
- GC TO PROVIDE ENGINEERED SHOP DRAWINGS FOR FENCE AND GATE.
- ASBESTOS ABATEMENT SHALL BE SAFELY PERFORMED. ALL ASBESTOS AND HAZARDOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM SITE. ASBESTOS INSPECTION HAS BEEN DONE & REPORT IS AVAILABLE UPON REQUEST. PROVIDE SHORING FOR ALL DEMOLITION TASKS AS REQUIRED.
- DO NOT TRENCH, CUT OR ALTER STRUCTURAL SLABS OR EXTERIOR WALLS THAT ARE DETERMINED TO REMAIN.
- ALL DEBRIS SHALL BE REMOVED FROM PREMISES EXPEDITIOUSLY AND IN A PROPER MANNER USING SEALED BAGS AND CONTAINERS.
- ALL DEBRIS SHALL BE DISCARDED IN APPROVED DUMP SITES AND OVER LEGAL HaulING ROUTES.
- GENERAL CONTRACTOR TO MAKE SAFE ALL ELECTRICAL AND PLUMBING CONNECTIONS.

EROSION / SEDIMENTATION NOTES:

1. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES THROUGHOUT DEMOLITION IN ORDER TO ENSURE POLLUTION PREVENTION. CONTRACTOR COMPLIES WITH ALL LOCAL, STATE AND OTHER GOVERNMENTAL ENVIRONMENTAL REGULATIONS THROUGHOUT DEMOLITION.
2. DURING DEMOLITION ALL CHAIN LINK FENCES SHALL RECEIVE GEOTEXTILE FILTER FABRIC ATTACHED WITH WOODEN STAKES SPACED AT A MAXIMUM OF 6 FT APART. FILTER FABRIC SHOULD BE ENTRENCHED IN THE GROUND BETWEEN THE SUPPORT STAKES TO PREVENT SOIL SEDIMENT THROUGH THE FENCE.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM 10' BUFFER AS NECESSARY TO CONTROL OR PREVENT DISCHARGE OF SEDIMENT INTO ADJACENT UNDISTURBED AREAS OR SITE OF AREAS.
4. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN PUT IN PLACE.
5. PLAINS SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE.
6. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
7. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
8. CONTRACTORS IS TO PROVIDE EROSION CONTROL / SEDIMENTATION BARRIER HAY BALES OR FILTER FABRIC CURTAIN TO PREVENT SILTATION OF ADJACENT PROPERTY, STREETS, STORM SEWERS AND WATERWAYS.

## SYMBOLS

|   |  |
|---|--|
|  | PROPERTY LINE                          |
|  | TO BE DEMOLISHED, SEE DEMOLITION NOTES |
|  | EXISTING WALL TO REMAIN                |
|  | TO BE DEMOLISHED, SEE DEMOLITION NOTES |

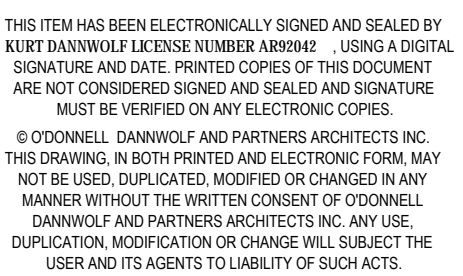
### PLAN DEMOLITION LEGEND

|    |  |
|----|--|
| 1  | EXISTING PLANTER / CMU WALL TO BE REMOVED                  |
| 2  | EXISTING SEAWALL TO BE REMAIN                              |
| 3  | EXISTING ASPHALT DRIVEWAY TO BE REMOVED                    |
| 4  | EXISTING CURB CUT TO BE COORDINATED WITH CIVIL REQUIREMENT |
| 5  | EXISTING RAMP TO BE REMOVED                                |
| 6  | EXISTING STRUCTURE TO BE REMOVED                           |
| 7  | EXISTING (1S) STORY RESIDENTIAL BUILDING TO BE REMOVED     |
| 8  | EXISTING PORTE COCHERE TO BE REMOVED                       |
| 9  | EXISTING UNDERGROUND PARKING TO BE REMOVED                 |
| 10 | BALCONY ABOVE. GROUND SURFACES BELOW TO BE REMOVED.        |





SITE AERIAL  
TOTAL FAR = 229,441 SF



SCALE: XXXX  
SHEET SIZE: ARCH D (24"x36") DO NOT SCALE DRAWINGS.  
DATE: 07/02/2021  
STARTED BY: ODP  
DRAWING TITLE:  
**EXISTING  
CONDITIONS &  
EXISTING FAR  
DIAGRAMS**

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SHEET NO.  
**A-008**























