# MAP OF SURVEY

SHEET 1/2

მ ი<u>ი</u> ⊞

MH MH NGV

#### FLOOD ZONE INFORMATION:

COMMUNITY NO. 120651 PANEL NO. 0317 SUFFIX: L FIRM DATE: **09-11-2009** FLOOD ZONE: **AE +8.0'** 

#### **LEGAL DESCRIPTION:**

LOT 10, BLOCK 3, OF "FLAMINGO TERRACE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10, AT PAGE 3, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

#### SURVEYOR'S NOTES:

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS. LIMITATIONS. RESTRICTIONS. RESERVATIONS OR RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A BOUNDARY SURVEY ONLY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 5/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET

SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929.

#### NET LOT AREA = 19,907.16 SQ.FT. = 0.46 ACRES +-

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND /OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER, ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

### **CERTIFY TO:**

3017 FLAMINGO LLC

#### SURVEYOR'S CERTIFICATION:

IN MY PROFESSIONAL OPINION, THIS "BOUNDARY SURVEY", MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES. AND, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

## 360° SURVEYING AND MAPPING, LLC

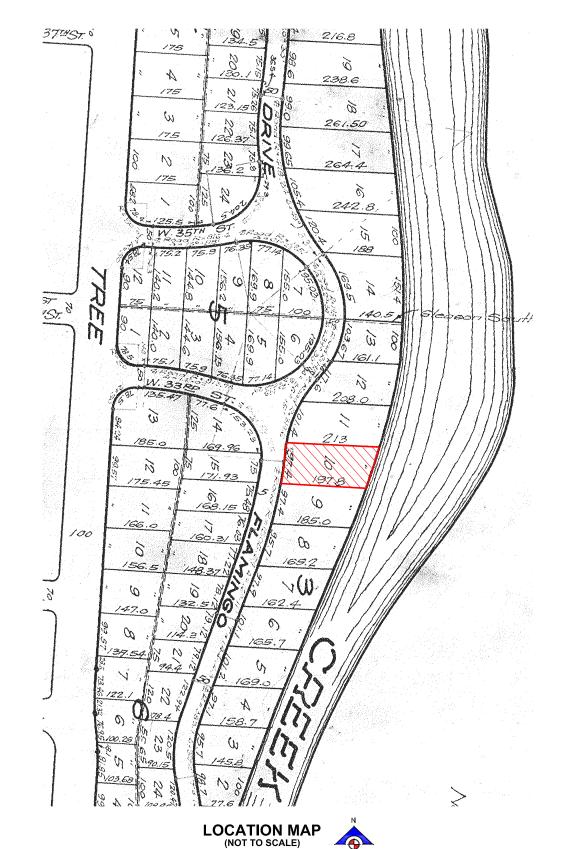
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6356

Oscar E Baez Digitally signed by Oscar E Baez Date: 2021.03.01 09:37:33 -05'00'

OSCAR E. BAEZ-CUSIDO, P.L.S. REGISTERED SURVEYOR AND MAPPER NO. 5034 STATE OF FLORIDA.



REFERENCE G.P.S. STATION: Obs=5, Solution=RTK Fixed, PDOPMax=1.84, SVMin=10, StdDevH=0.02',StdDevV=0.03',RefID=601,RefLat=N25°46'57.83802", RefLon=W80°08'14.16811",RefHgt=-50.89',RefFormat=RTCM3, MountPoint=RTCM3\_NEAR



**REVISIONS AND/OR UP-DATES** 03-01-2021 ADD ELEVATION @ C/L SIDEWALK

# 360° SURVEYING AND MAPPING, LLC

Land Surveyors - Land Planners 2000 S.W. 83rd Court MIAMI, FLORIDA 33155 PHONE: (305) 265-1002

FIELD DATE 01-19-2021

JOB NO. <u>2101-0002</u>

A Alum. BLDG BLC C.B. C.B. C.H.