

3017 FLAMINGO DRIVE

D E S I G N R E V I E W B O A R D S E T

3017 FLAMINGO DRIVE
MIAMI BEACH, FL 33140

S E T 1 / 1

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D\VICE

DESIGN STUDIO
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Digitally signed
by Daniel Ritchie
Date: 2021.08.08
14:38:04 -04'00'

SCOPE OF WORK

- DEMOLITION OF EXISTING RESIDENCE IN ENTIRETY, AND ALL MAN-MADE EXISTING SITE FEATURES, FOUNTAINS, FENCES, AND STRUCTURES.
- CONSTRUCTION OF NEW 2-STORY CBS RESIDENCE, INCLUSIVE OF NEW DRIVEWAY, CARRIAGE HOUSE (GARAGE), AND ACCESSORY STRUCTURE.
- POOL / SPAS UNDER SEPARATE PERMIT.

APPLICABLE CODES

FLORIDA BUILDING CODE 2020 (SEVENTH EDITION)

TYPE OF WORK

NEW CONSTRUCTION TYPE V (AS PER FBC2020 sec 602.5)
OCCUPANCY R-3

FINAL SUBMITTAL DRB21-0639 - SEPT 10 2021

PROPERTY ADDRESS:
3017 FLAMINGO DRIVE, MIAMI BEACH, FL 33140

FLOOD ZONE INFORMATION:

COMMUNITY NO. 120651 PANEL NO. 0317 SUFFIX: L
FIRM DATE: 09-11-2009 FLOOD ZONE: AE +8.0'

LEGAL DESCRIPTION:

LOT 10, BLOCK 3, OF "FLAMINGO TERRACE SUBDIVISION", ACCORDING TO THE PLAT THEREOF, AS
RECORDED IN PLAT BOOK 10, AT PAGE 3, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SURVEYOR'S NOTES:

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR
RECORDED EASEMENTS.

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A **BOUNDARY SURVEY** ONLY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 5/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

ALL MEASUREMENTS SHOWN ARE IN THE UNITED STATES STANDARD FEET

SHOWN ELEVATIONS ARE REFERRED TO N.G.V.D. OF 1929.

NET LOT AREA = 19,907.16 SQ.FT. = 0.46 ACRES +/-

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND DIGITAL SEAL AND /OR THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

CERTIFY TO:

3017 FLAMINGO LLC

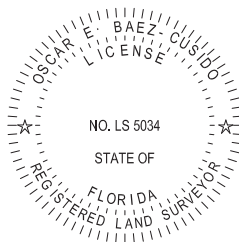
SURVEYOR'S CERTIFICATION:

IN MY PROFESSIONAL OPINION, THIS "**BOUNDARY SURVEY**", MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.05 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
AND, IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

360° SURVEYING AND MAPPING, LLC
FLORIDA CERTIFICATE OF AUTHORIZATION NO. LB 6356

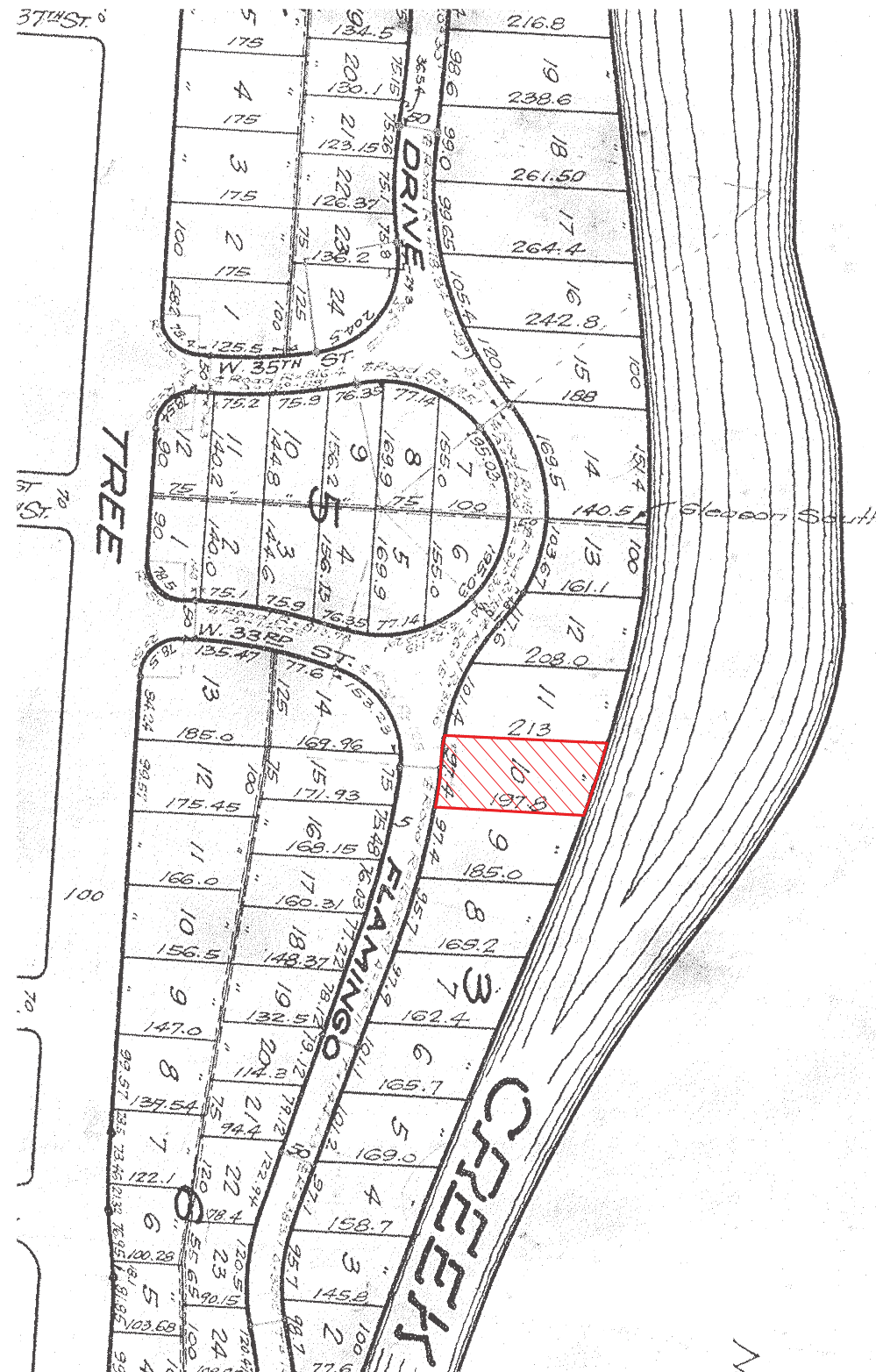
Oscar E Baez Digitally signed by Oscar E Baez
Date: 2021.03.01 09:37:33 -05'00'

OSCAR E. BAEZ-CUSIDO, P.L.S.
REGISTERED SURVEYOR AND MAPPER NO. 5034
STATE OF FLORIDA.



REFERENCE G.P.S. STATION: Obs=5,Solution=RTK Fixed,PDOPMax=1.84,SVMin=10,
StdDevH=0.02',StdDevV=0.03',RefID=601,RefLat=N25°46'57.83802",
RefLon=W80°08'14.16811",RefHgt=-50.89',RefFormat=RTCM3,
MountPoint=RTCM3_NEAR

MAP OF SURVEY



LOCATION MAP
(NOT TO SCALE)



LEGEND OF SURVEY ABBREVIATIONS

A	= ARC LENGTH	CIP	= CONCRETE LIGHT POLE	WH	= WATER HOUSE	PL	= PROPERTY LINE	SWK	= SIDEWALK	Ⓒ	= MW - GAS MONITORING WELL	TILES		ELEVATIONS	$\times 1.29$
ARC	= ARC CONDITIONING PAD	CONC.	= CONCRETE	ML	= MEASURED	(R)	= RECORDED	TV	= TELEPHONE SERVICE BOX	Ⓓ	= MH - STORM DRAIN MANHOLE	BRICK			
ALUM.F	= ALUMINUM FENCE	D	= DIRECTIONAL SERVICE BOX	NL	= NATIONAL LINE	RAD.	= RADIAL	U.D.E.	= UTILITY & DRAINAGE	Ⓔ	= UP - WOOD UTILITY POLE	ASPHALT			
B/C	= BLOCK CORNER	CH	= CHORD DISTANCE	N.G.V.D.	= NATIONAL GEODETIC VERTICAL DATUM	RES.	= RESIDENCE	U.E.	= UTILITY EASEMENT	Ⓕ	= CUP - CONC. UTILITY POLE	BLDG.			
BLK	= BLOCK	F.H.	= FIRE HYDRANT	N.T.S.	= NOT TO SCALE	SEC.	= SECTION	U.P.	= UTILITY POLE	Ⓖ	= CB - CATCH BASIN	CONC.			
BLOCK	= BLOCK	F.P.	= FOUND PIPER	P.B.	= PLAT BOOK	S	= SEWER MANHOLE	W	= WATER METER	Ⓗ	= MH - STORM DRAIN MANHOLE	WALL			
CH.	= CHORD DISTANCE	F.R.	= FOUND REBAR	P.C.P.	= PERMANENT CONTROL POINT	SUP.	= SET IRON PIPE NO.	WM	= WATER METER	Ⓘ	= ID - INSPECTION POINT				
CL.	= CENTER LINE	F.N.	= GAS METER	PG.	= PERMANENT POINT	STY.	= SET IRON PIPE NO.			Ⓚ	= KW - KILN				
CLF	= CHAIN LINK FENCE	L.P.	= LIGHT POLE	P.M.	= PERMANENT MONUMENT	STY.	= SET IRON PIPE NO.			Ⓛ	= L - LIGHT				

REVISIONS AND/OR UP-DATES

03-01-2021 ADD ELEVATION @ C/L SIDEWALK



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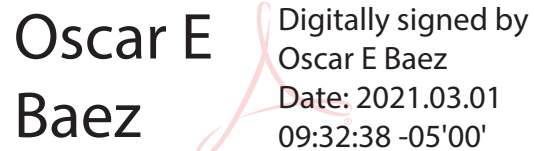
Land Surveyors - Land Planners

2000 S.W. 83rd Court MIAMI, FLORIDA 33155

PHONE: (305) 265-1002

ORIGINAL FIELD DATE	01-19-2021
------------------------	------------

JOB NO. 2101-0002



 **360° SURVEYING AND MAPPING, LLC**
Land Surveyors - Land Planners
2000 S.W. 83rd Court MIAMI, FLORIDA 33155
PHONE: (305) 265-1002

ORIGINAL FIELD DATE	01-19-2021
JOB NO	2101-0002

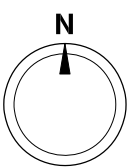


PHOTO KEY PLAN

SIGNATURE

BY: MACHINA

D \ VICE

DESIGN STUDIO

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3017 FLAMINGO DRIVE, MIAMI BEACH, FL 33140

CLIENT	(NAME WITHHELD)	305 900 0000
LANDSCAPE	PLF ENGINEERS	954 583 3237
STRUCTURE	REYES-GAVILAN ENGINEERS	305 846 9928
MEP		305 900 0000
LIGHTING DESIGN		305 900 0000
LOW VOLTAGE DESIGN		305 900 0000
POOL DESIGN		305 900 0000

SEALING ARCHITECT - DANIEL RITCHE AR95253

ISSUED 2020 08 05

REVISED

SCALE
NO SCALE
DESIGNATION
NEIGHBORHOOD

IM00

10/25/2020 10:25:45 AM DAN RITCHE



1

3017 FLAMINGO DRIVE (SUBJECT PROPERTY) 2020-08-20



2

3017 FLAMINGO DRIVE (SUBJECT PROPERTY) 2020-08-20



3

3005 FLAMINGO DRIVE 2020-08-20



4

2995 FLAMINGO DRIVE 2020-08-20



5

2979 FLAMINGO DRIVE 2020-08-20



6

2957 FLAMINGO DRIVE 2020-08-20

SIGNATURE

BY ARCHITECT

D \ VICE

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CLIENT	(NAME WITHHELD)	305 000 0000
LANDSCAPE	PLF ENGINEERS	954 583 3237
STRUCTURE	REYES-GAVILAN ENGINEERS	305 846 9928
MEP		305 000 0000
LOW VOLTAGE DESIGN		305 000 0000
POOL DESIGN		305 000 0000

SEALING ARCHITECT - DANIEL RITCHIE AR95253

ISSUED 2020 08 05

REVISED

SCALE
NO SCALE
DESIGNATION
NEIGHBORHOOD

IM01



7 2945 FLAMINGO DRIVE 2020-08-20



8 2925 FLAMINGO DRIVE 2020-08-20



9 2915 FLAMINGO DRIVE 2020-08-20




10 2901 FLAMINGO DRIVE 2020-08-20



11 2912 FLAMINGO DRIVE 2020-08-20



12 2922 FLAMINGO DRIVE 2020-08-20



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3017 FLAMINGO DRIVE, MIAMI BEACH, FL 33140

CLIENT	(NAME WITHHELD)	305 000 0000
LANDSCAPE	PLF ENGINEERS	954 583 3237
STRUCTURE	REYES-GAVILAN ENGINEERS	305 846 9928
MEP		305 000 0000
LIGHTING DESIGN		305 000 0000
LOW VOLTAGE DESIGN		305 000 0000
POOL DESIGN		305 000 0000

SEALING ARCHITECT - DANIEL RITCHIE AR95253

ISSUED 2020 08 05

REVISED

SCALE
NO SCALE
DESIGNATION
NEIGHBORHOOD

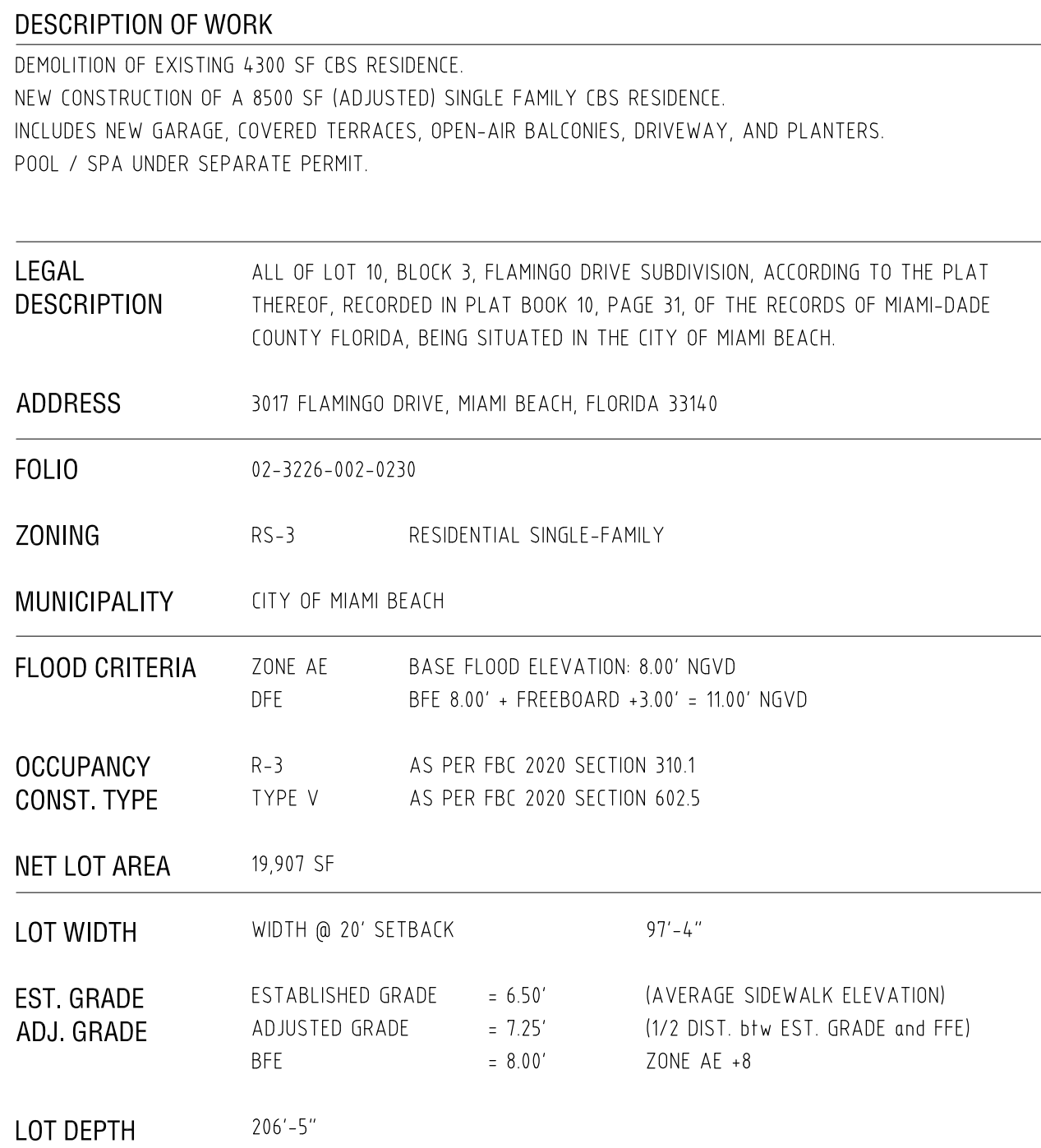
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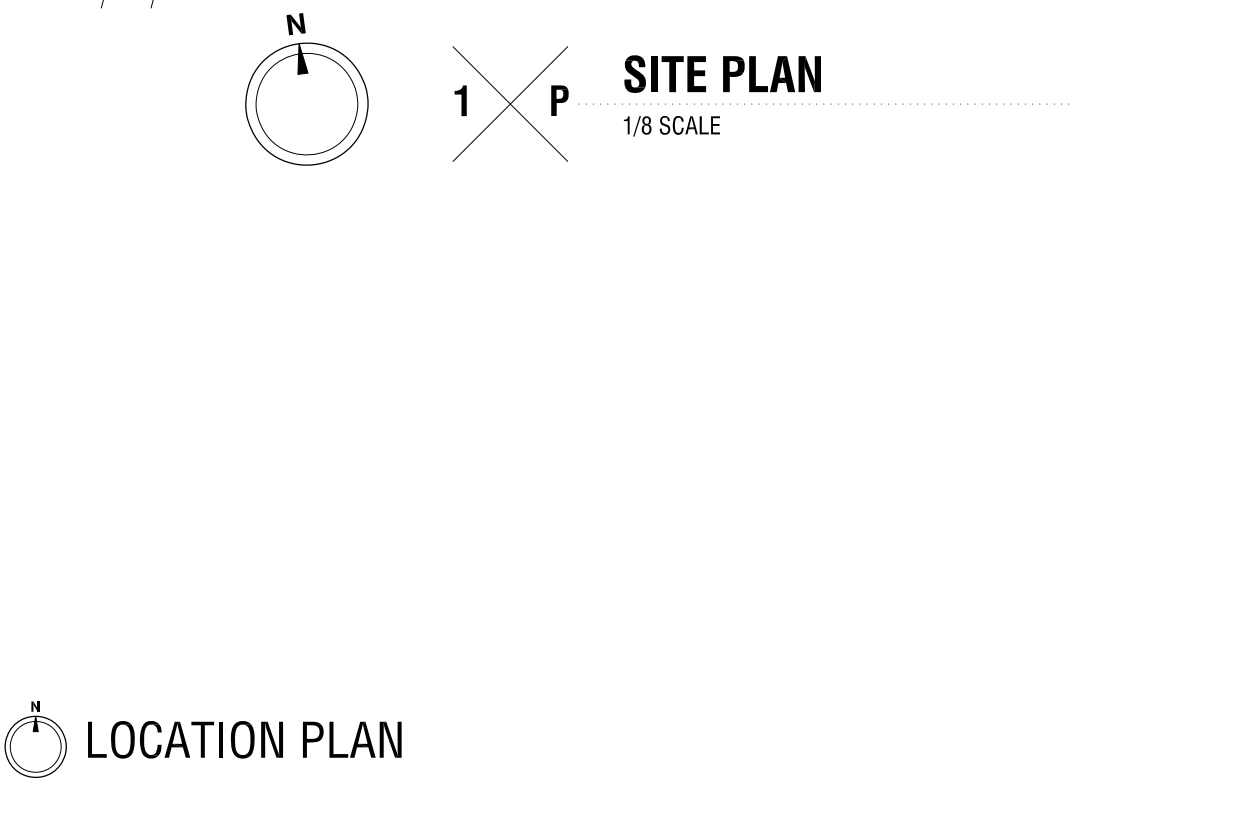


PROP. LINE 15.46
R=294.60
D=3°00'26"



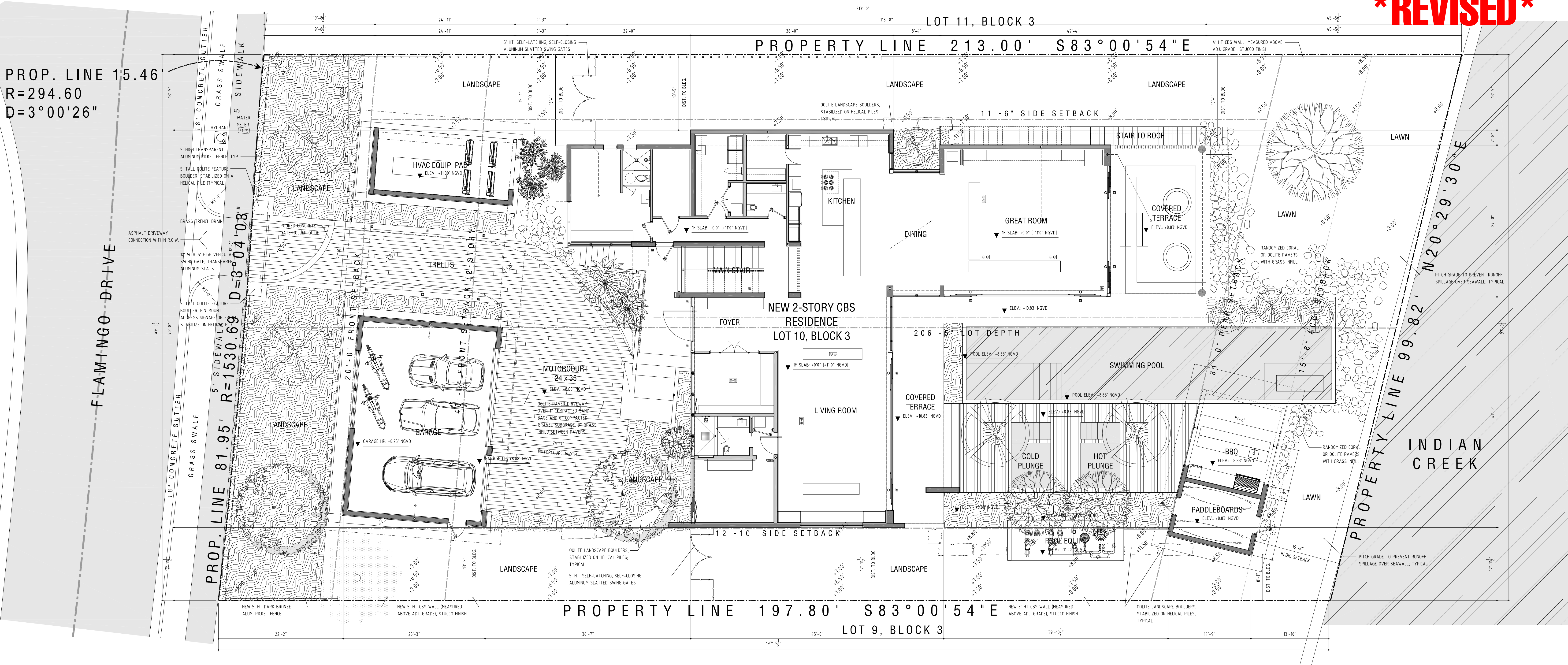
LOT COVERAGE	MAXIMUM LOT COVERAGE (2-STORY)	30 x 19,907 SF	
	ALLOWED	5,972 SF	30%
	PROPOSED	5,638 SF	28.3 %
UNIT SIZE	MAXIMUM UNIT SIZE FOR 2-STORY BUILDING	50 x 19,907 SF	
	ALLOWED	9,954 SF	50%
	PROPOSED	8,474 SF	42.5 %
GREENSPACE	YARD GREENSPACE CALCULATIONS	REQUIRED	PROVIDED
	FRONT YARD = 3693 SF	2585 SF (70%)	2743 SF (74.3%)
	REAR YARD = 3090 SF	2174 SF (70%)	2312 SF (74.8%)
	TOTAL PERVIOUS SITE AREA (ENTIRE)		9630 SF (48.4%)
SETBACKS		REQUIRED	PROVIDED
	PRINCIPAL FRONT SETBACK (1-STORY)	20'-0"	20'-3" (WORST CASE)
	PRINCIPAL FRONT SETBACK (2-STORY)	40'-0"	55'-2" (WORST CASE)
	SUM OF SIDE SETBACKS AS PERCENTAGE OF LOT WIDTH (97'-4") x 25% = 24.33'	24'-4" SUM (25%)	26'-0" SUM (13'-0.5" + 12'-1" (= 27 %))
	REAR SETBACK (15% LOT DEPTH) LOT DEPTH = 206'-5"	31'-0"	34'-15" (WORST CASE)
BUILDING HEIGHT	TOP OF ROOF SLAB (WAIVER UP TO 28' BY DRB)	24'	28' *WAIVER REQUEST * *WAIVER 1 - HEIGHT*

BUILDING AREAS	FIRST FLOOR (A/C)	3938 SF TOTAL
	MAIN HOUSE	3938 SF
	FIRST FLOOR (NON A/C)	834 SF TOTAL
	GARAGE	895 SF
	HVAC EQUIPMENT	295 SF
	PADDLEBOARD STOR.	192 SF
	COVERED TERRACE	367 SF
	VEHICLE BREEZEWAY	(557) SF
	SECOND FLOOR (A/C)	3816 SF TOTAL
	SECOND FLOOR (NON A/C) - TERRACES	556 SF TOTAL
	TOTAL AREAS (A/C)	7,754 SF
	TOTAL AREAS (ADJUSTED)	8,907 SF
NOTES	SWIMMING POOL(S) + WATER FEATURE(S) UNDER SEPARATE PERMIT.	
	ALL WORK, MATERIALS TO BE RETAINED INSIDE PRIVATE PROPERTY.	
	ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT TO BE ELEVATED AT OR ABOVE D.F.E. (+8'-0" BFE + 3'-0" NGVD. = 11'-0" NGVD)	
	ALL <u>NEW</u> CONSTRUCTION MATERIALS BELOW BFE SHALL BE FLOOD RESISTANT ACCORDING TO FEMA TB 2-2008.	



REVISED

PROP. LINE 15.46'
R=294.60
D=3°00'26"



DESCRIPTION OF WORK

DEMOLITION OF EXISTING 4300 SF CBS RESIDENCE.
NEW CONSTRUCTION OF A 8500 SF (ADJUSTED) SINGLE FAMILY CBS RESIDENCE.
INCLUDES NEW GARAGE, COVERED TERRACES, OPEN-AIR BALCONIES, DRIVEWAY, AND PLANTERS.
POOL / SPA UNDER SEPARATE PERMIT.

LEGAL DESCRIPTION	ALL OF LOT 10, BLOCK 3, FLAMINGO DRIVE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 10, PAGE 31, OF THE RECORDS OF MIAMI-DADE COUNTY FLORIDA, BEING SITUATED IN THE CITY OF MIAMI BEACH.		
ADDRESS	3017 FLAMINGO DRIVE, MIAMI BEACH, FLORIDA 33140		
FOLIO	02-3226-002-0230		
ZONING	RS-3	RESIDENTIAL SINGLE-FAMILY	
MUNICIPALITY	CITY OF MIAMI BEACH		
FLOOD CRITERIA	ZONE AE DFE	BASE FLOOD ELEVATION: 8.00' NGVD BFE 8.00' + FREEBOARD +3.00' = 11.00' NGVD	
OCCUPANCY CONST. TYPE	R-3 TYPE V	AS PER FBC 2020 SECTION 310.1 AS PER FBC 2020 SECTION 602.5	
NET LOT AREA	19,907 SF		
LOT WIDTH	WIDTH @ 20' SETBACK		97'-4"
EST. GRADE ADJ. GRADE	ESTABLISHED GRADE ADJUSTED GRADE BFE	= 6.50' = 7.25' = 8.00'	(AVERAGE SIDEWALK ELEVATION) (1/2 DIST. b/w EST. GRADE and FFE) ZONE AE +8
LOT DEPTH	206'-5"		

LOT COVERAGE	MAXIMUM LOT COVERAGE (2-STORY) ALLOWED PROPOSED	30 x 19,907 SF 5,972 SF 5,638 SF	30% 28.3 %
UNIT SIZE	MAXIMUM UNIT SIZE FOR 2-STORY BUILDING ALLOWED PROPOSED	50 x 19,907 SF 9,954 SF 8,462 SF	50% 42.5 %
GREENSPACE	YARD GREENSPACE CALCULATIONS FRONT YARD = 3693 SF REAR YARD = 3090 SF	REQUIRED 2585 SF (70%) 2174 SF (70%)	PROVIDED 2743 SF (74.3%) 2312 SF (74.8%)
SETBACKS	TOTAL PERVIOUS SITE AREA (ENTIRE)	9630 SF (48.4%)	
SETBACKS	PRINCIPAL FRONT SETBACK (1-STORY) PRINCIPAL FRONT SETBACK (2-STORY)	REQUIRED 20'-0" 40'-0"	PROVIDED 20'-3" (WORST CASE) 55'-2" (WORST CASE)
SETBACKS	SUM OF SIDE SETBACKS AS PERCENTAGE OF LOT WIDTH (97'-4") x 25% = 24.33' MIN. 10'-0"	REQUIRED 24'-4" SUM (25%)	PROVIDED 26'-0" SUM (13'-0.5"-12'-11.5") (= 27.3%)
SETBACKS	REAR SETBACK (15% LOT DEPTH) LOT DEPTH = 206'-5"	REQUIRED 31'-0"	PROVIDED 34'-15" (WORST CASE)
BUILDING HEIGHT	TOP OF ROOF SLAB (WAIVER UP TO 28' BY DRB)	REQUIRED 24'	PROVIDED 28' *WAIVER REQUEST*
			WAIVER 1 - HEIGHT

BUILDING AREAS	FIRST FLOOR (A/C) MAIN HOUSE	3938 SF TOTAL 3938 SF
BUILDING AREAS	FIRST FLOOR (NON A/C) GARAGE HVAC EQUIPMENT PADDLEBOARD STOR. COVERED TERRACE VEHICLE BREEZEWAY	834 SF TOTAL 895 SF 295 SF 192 SF 367 SF (557) SF
BUILDING AREAS	SECOND FLOOR (A/C) SECOND FLOOR (NON A/C) - TERRACES	3816 SF TOTAL 556 SF TOTAL
BUILDING AREAS	TOTAL AREAS (A/C) TOTAL AREAS (ADJUSTED)	7,754 SF 8,907 SF
NOTES	SWIMMING POOL(S) + WATER FEATURE(S) UNDER SEPARATE PERMIT. ALL WORK, MATERIALS TO BE RETAINED INSIDE PRIVATE PROPERTY. ALL MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT TO BE ELEVATED AT OR ABOVE D.F.E. (+8.00' BFE + 3.00' N.G.V.D. = 11.00' NGVD) ALL NEW CONSTRUCTION MATERIALS BELOW BFE SHALL BE FLOOD RESISTANT ACCORDING TO FEMA TB 2-2008.	



SITE PLAN
1/8 SCALE

LOCATION PLAN

NOTES

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3017 FLAMINGO DRIVE, MIAMI BEACH, FL 33140

CLIENT	NAME WITHHELD	305.303.7059
LANDSCAPE	ALL LANDSCAPE DATA	954.583.3237
STRUCTURE	PLF ENGINEERS	305.844.9928
MEP	REYES-GAVILAN ENGINEERS	305.500.0000
LIGHTING DESIGN	ACUSTIC ARCHITECTS	305.925.9676
POOL DESIGN		305.900.0000

SEALING ARCHITECT - DANIEL RITCHIE AR95253

ISSUED 2021 05 04

REVISED

SCALE 3/16"=1'

DESIGNATION ZONING DATA & SITE PLAN

A100

LOT COVERAGE
CALCULATION

MAXIMUM LOT COVERAGE FOR 2-STORY BUILDING			.30 x 19,907 SF
PERMITTED	5,972 SF	30%	
PROPOSED	5,638 SF	28.3%	
FIRST FLOOR MAIN HOUSE			4,434 SF
COVERED TERRACE			275 SF
MAIN HOUSE OVERHANGS > 5'			130 SF
GARAGE (-500 SF CREDIT)			395 SF
ACCESSORY STRUCTURE			192 SF
ACCESSORY OVERHANG			212 SF

SHADED AREA DENOTES
LOT COVERAGE

PROP. LINE 15.46'
R=294.60
D=3°00'26"

FLAMINGO DRIVE

PROP. LINE 81.95' R=1530.69 D=3°04'03"

GARAGES (max. credit: 500sf) SHALL NOT BE COUNTED IF:
(1) ONLY 1-STORY IN HEIGHT
(2) ENTRANCE IS NOT PART OF PRINCIPAL FACADE
(3) ENTRANCE IS PERPENDICULAR TO RIGHT-OF-WAY
142-105.(b)(5)d.

EQUIP. PAD
(OPEN TO SKY)

OPEN TRELLIS

GARAGE
+ 895 SF
(-500 SF)

+ 130 SF

+ 4434 SF

+ 275 SF

+ 212 SF

+ 192 SF

PROPERTY LINE 213.00' S 83°00'54"E

11'-6" SIDE SETBACK

206'-5" LOT DEPTH

COVERED PORCHES/TERRACES/OVERHANGS
COVERED PORCHES PROJECTING A MAXIMUM OF
5' FROM AN EXTERIOR WALL SHALL NOT BE
INCLUDED, BUT ALL PORTIONS EXCEEDING 5'
SHALL BE INCLUDED.

142-105.(b)(5)c.2

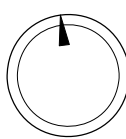
31'-0" REAR SETBACK

15'-6" ACC. SETBACK

PROPERTY LINE 99.82' N 20°29'30"E

INDIAN
CREEK

PROPERTY LINE 197.80' S 83°00'54"E



1 SP

LOT COVERAGE
1/16 SCALE



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WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

3017 FLAMINGO DRIVE, MIAMI BEACH, FL 33140

CLIENT	(NAME WITHHELD)	305 303 7059
LANDSCAPE	ALL LANDSCAPE DATA	
STRUCTURE	PLF ENGINEERS	954 583 3237
MEP	REYES-GAVILAN ENGINEERS	305 846 9928
LIGHTING DESIGN		305 580 0000
LOW VOLTAGE DESIGN	ACOUSTIC ARCHITECTS	305 925 9476
POOL DESIGN		305 900 0000

SEALING ARCHITECT - DANIEL RITCHIE AR95253

ISSUED 2021 05 04

REVISED

SCALE
GRAPHIC
DESIGNATION
LOT COV. DIAGRAM

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