

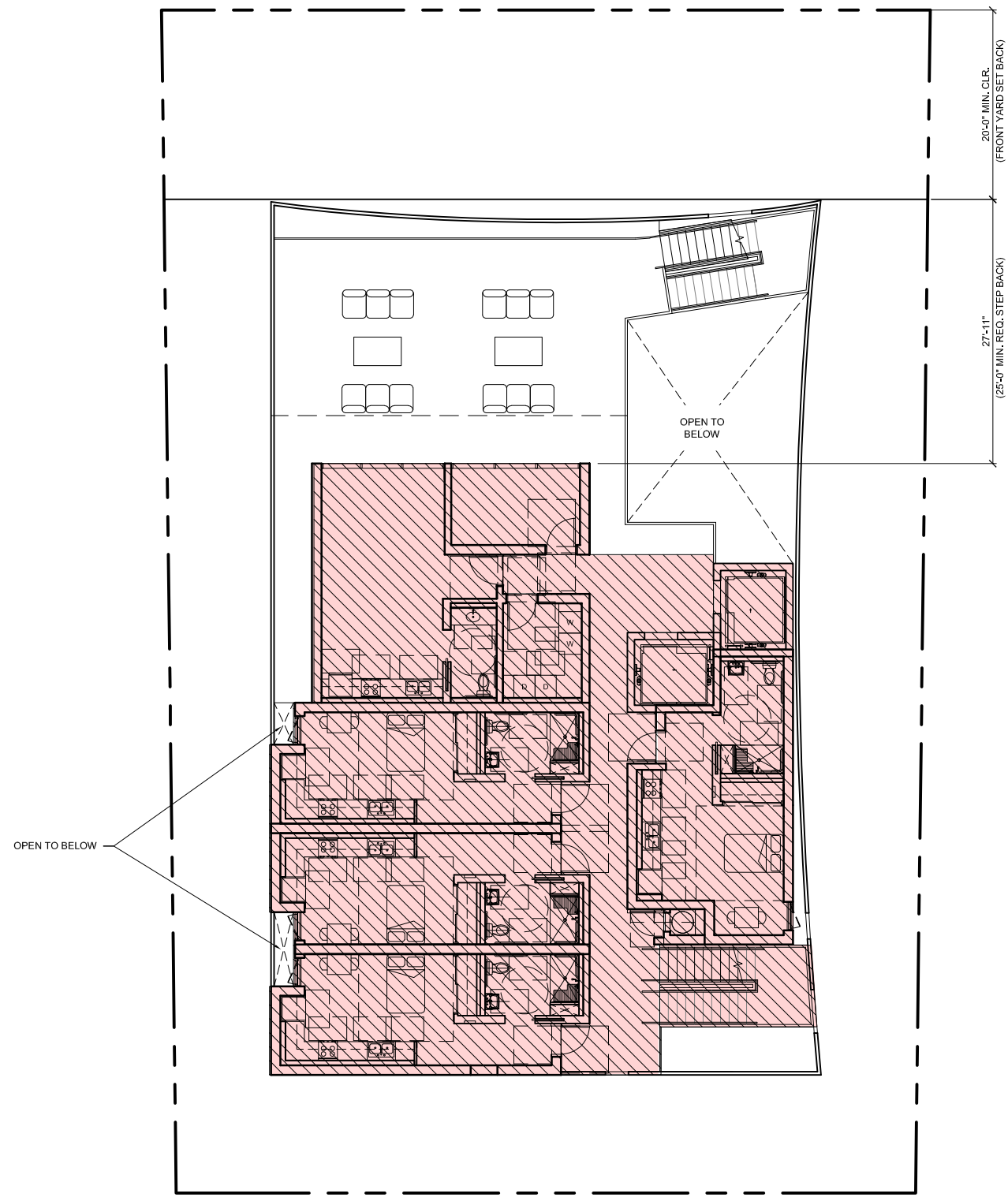
THE HERON | ARCHITECTURAL PLANS

ELDERLY AFFORDABLE MULTI-FAMILY HOUSING

1158 MARSEILLE DRIVE
MIAMI BEACH, FL 33141

JULY 5TH, 2021





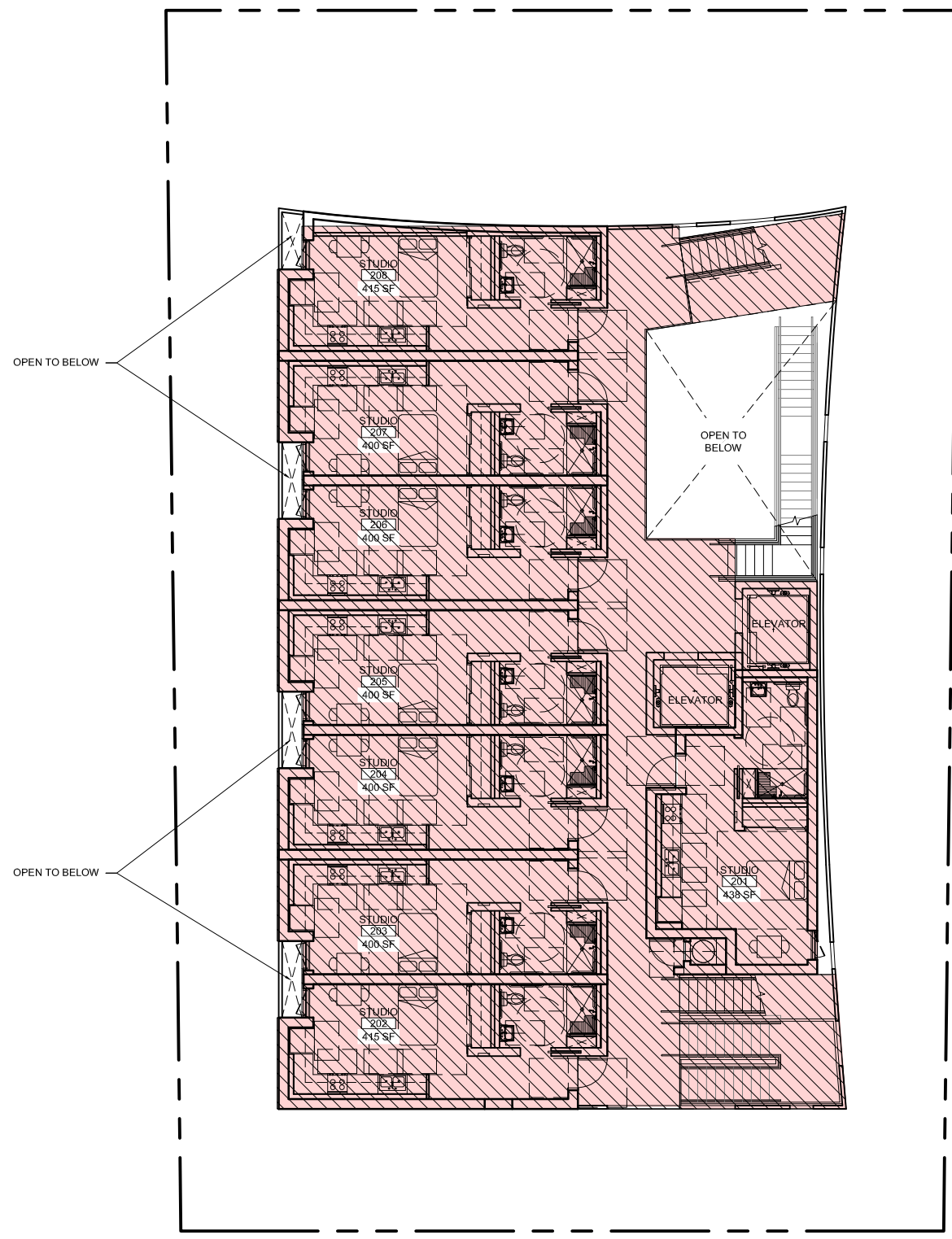
FLOOR AREA CALCULATION		
	FOURTH FLOOR AREA	3,096 SF

FOURTH FLOOR - FAR

REF: PLANS

SCALE: 1/16" = 1'-0"

04



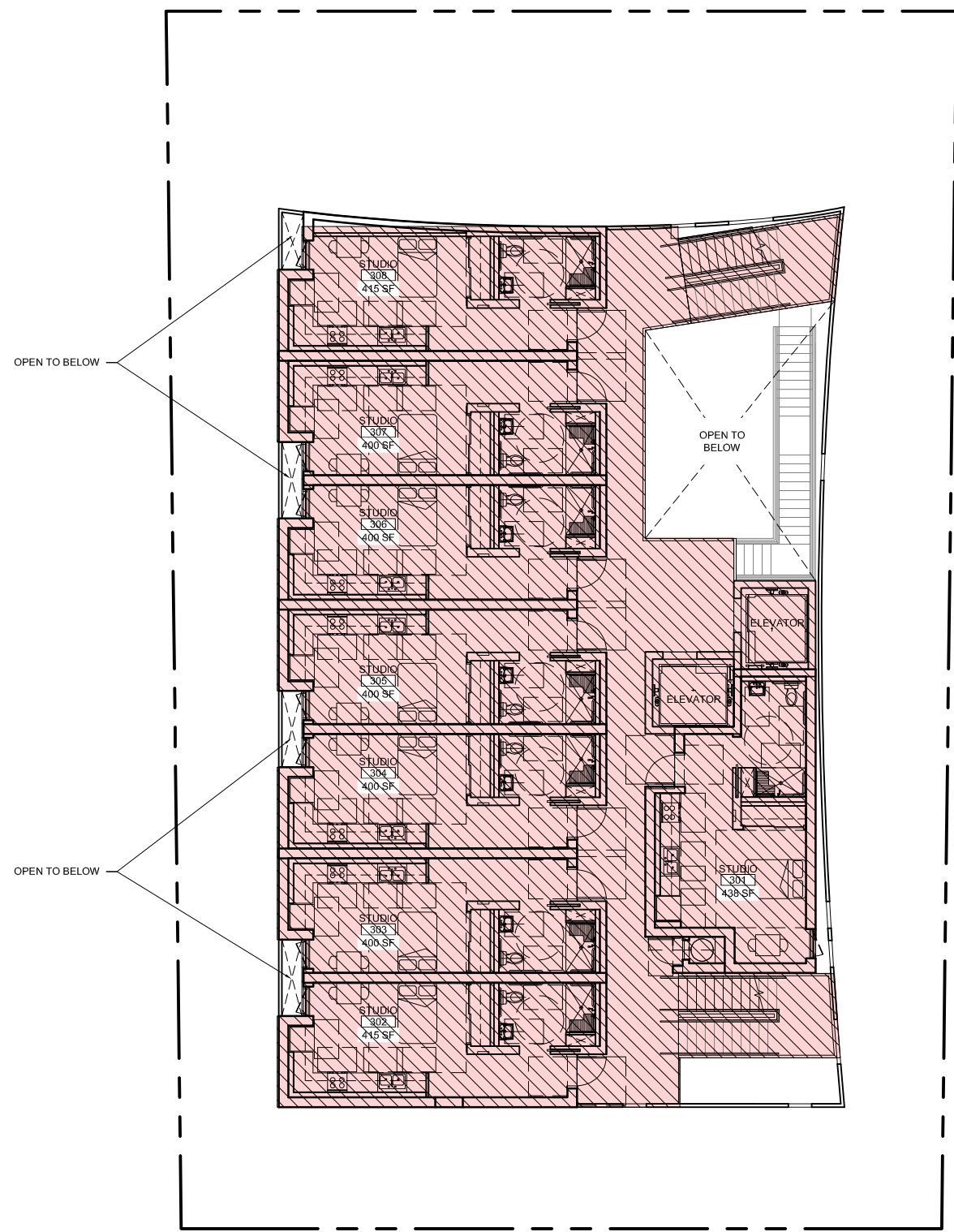
FLOOR AREA CALCULATION		
	SECOND FLOOR AREA	4,487 SF

SECOND FLOOR - FAR

REF: PLANS

SCALE: 1/16" = 1'-0"

02



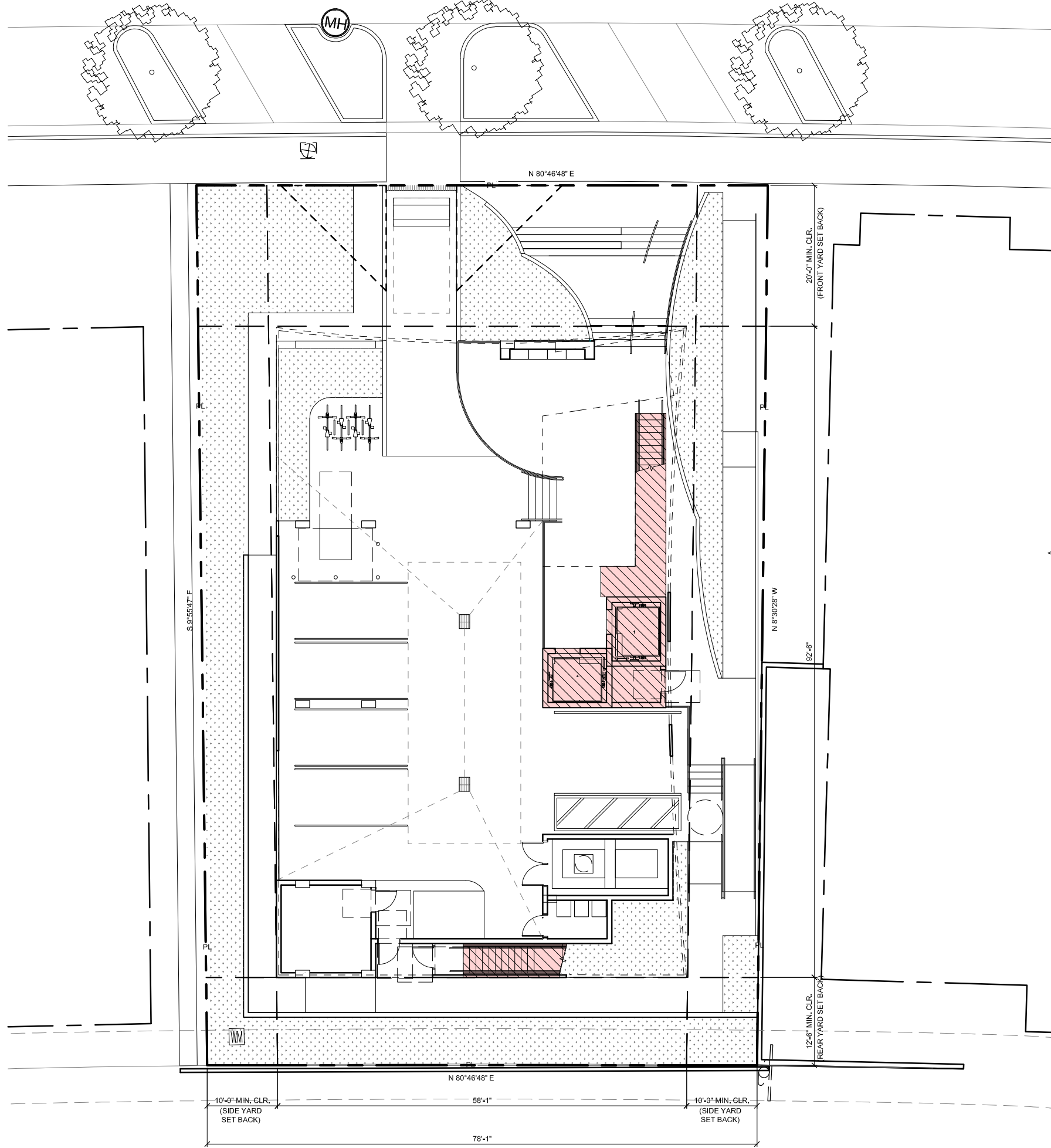
FLOOR AREA CALCULATION		
	THIRD FLOOR AREA	4,401 SF

THIRD FLOOR - FAR

REF: PLANS

SCALE: 1/16" = 1'-0"

03



FLOOR AREA CALCULATION		
	FIRST FLOOR AREA	404 SF

FIRST FLOOR - FAR

REF: PLANS

SCALE: 1/16" = 1'-0"

01

FLOOR AREA SUMMARY:

FLOOR AREA DEFINED:
(SEC.114-1)

THE SUM OF THE GROSS HORIZONTAL AREAS OF THE FLOORS OF A BUILDING OR BUILDINGS, MEASURED FROM THE EXTERIOR FACES OF EXTERIOR WALLS OR FROM THE EXTERIOR FACE OF AN ARCHITECTURAL PROJECTION, FROM THE CENTERLINE OF WALLS SEPARATING TWO ATTACHED BUILDINGS, FOR THE PURPOSE OF CLARITY, FLOOR AREA INCLUDES, BUT IS NOT LIMITED TO, STAIRWELLS, STAIRWAYS, COVERED STEPS, ELEVATOR SHAFTS AT EVERY FLOOR (INCLUDING MEZZANINE LEVEL ELEVATOR SHAFTS), AND MECHANICAL CHUTES AND CHASES AT EVERY FLOOR (INCLUDING MEZZANINE LEVEL).

FOR THE AVOIDANCE OF DOUBT, UNLESS OTHERWISE PROVIDED FOR IN THESE LAND DEVELOPMENT REGULATIONS, FLOOR AREA EXCLUDES ONLY THE SPACES EXPRESSLY IDENTIFIED BELOW:

1. ACCESSORY WATER TANKS OR COOLING TOWERS.
2. UNCOVERED STEPS.
3. ATTIC SPACE, WHETHER OR NOT A FLOOR ACTUALLY HAS BEEN LAID, PROVIDING STRUCTURAL HEADROOM OF LESS THAN SEVEN FEET SIX INCHES.
4. TERRACES, BREEZEWAYS, OR OPEN PORCHES.
5. FLOOR SPACE USED FOR REQUIRED ACCESSORY OFF-STREET PARKING SPACES. HOWEVER, UP TO A MAXIMUM OF TWO SPACES PER RESIDENTIAL UNIT MAY BE PROVIDED WITHOUT BEING INCLUDED IN THE CALCULATION OF THE FLOOR AREA RATIO.
6. COMMERCIAL PARKING GARAGES AND NONCOMMERCIAL PARKING GARAGES WHEN SUCH STRUCTURES ARE THE MAIN USE ON A SITE.
7. MECHANICAL EQUIPMENT ROOMS LOCATED ABOVE MAIN ROOF DECK.
8. EXTERIOR UNENCLOSED PRIVATE BALCONIES.
9. FLOOR AREA LOCATED BELOW GRADE WHEN THE TOP OF THE SLAB OF THE CEILING IS LOCATED AT OR BELOW GRADE. HOWEVER, IF ANY PORTION OF THE TOP OF THE SLAB OF THE CEILING IS ABOVE GRADE, THE FLOOR AREA THAT IS BELOW GRADE SHALL BE INCLUDED IN THE FLOOR AREA RATIO CALCULATION, DESPITE THE FOREGOING, FOR EXISTING CONTRIBUTING STRUCTURES THAT ARE LOCATED WITHIN A LOCAL HISTORIC DISTRICT, NATIONAL REGISTER HISTORIC DISTRICT, OR LOCAL HISTORIC SITE, WHEN THE TOP OF THE SLAB OF AN EXISTING CEILING OF A PARTIAL BASEMENT IS LOCATED ABOVE GRADE, ONE-HALF OF THE FLOOR AREA OF THE CORRESPONDING FLOOR THAT IS LOCATED BELOW GRADE SHALL BE INCLUDED IN THE FLOOR AREA RATIO CALCULATION.
10. ENCLOSED GARBAGE ROOMS, ENCLOSED WITHIN THE BUILDING ON THE GROUND FLOOR LEVEL.

VOLUMETRIC BUILDINGS, USED FOR STORAGE, WHERE THERE ARE NO INTERIOR FLOORS, THE FLOOR AREA SHALL BE CALCULATED AS IF THERE WAS A FLOOR FOR EVERY EIGHT FEET OF HEIGHT.

FLOOR AREA RATIO (FAR):

MAX 1.25 (LOT SIZE OF 9,955.7 SF BY EXTRAPOLATION OF SURVEY), X 1.25 = **12,444.62 SF MAX ALLOWABLE AREA**

FLOOR AREA CALCULATIONS:

FLOOR	GROSS AREA
FIRST FLOOR	404 SF
SECOND FLOOR	4,487 SF
THIRD FLOOR	4,401 SF
FOURTH FLOOR	3,096 SF
TOTAL:	12,388 SF

12,388 SF < 12,444.62 SF MAX ALLOWABLE AREA

MAXIMUM HEIGHT:

45'-0" MAX. HEIGHT IN A HISTORIC DISTRICT.

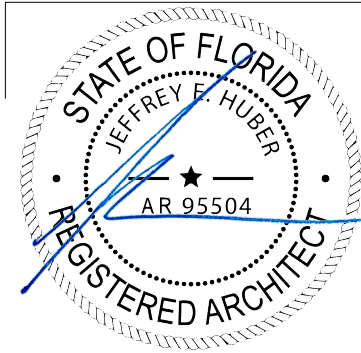
SETBACKS:

FRONT= 20'-0" MIN, SIDE= 10'-0" MIN, REAR= 10% OF LOT DEPTH (125' X 10% = 12.5') MIN.

LOT COVERAGE:

N/A (PER MUNICODIVISION 13. - NORTH BEACH NATIONAL REGISTER CONSERVATION DISTRICT OVERLAY - SEC. 142-870.15. - DEVELOPMENT REGULATIONS AND AREA REQUIREMENT)

- CONCEPTUAL DESIGN -
- SCHEMATIC DESIGN -
- DESIGN DEVELOPMENT -
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THE HERON

1158 MARSEILLE DRIVE
MIAMI BEACH, FL. 33141
PROJECT NUMBER: 20027.0

REVISIONS:

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SHEET TITLE:

FLOOR AREA CALCULATIONS

SCALE: AS INDICATED
DATE PRINTED: 2021-6-29

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GENERAL NOTES

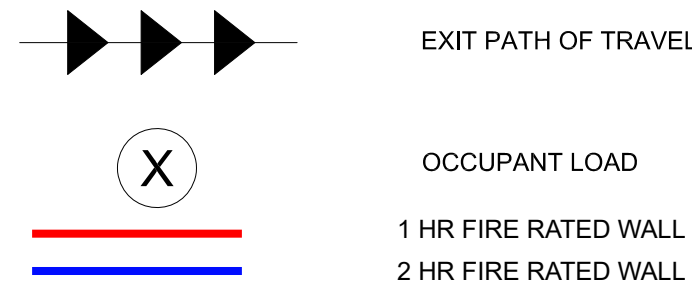
- EXIT SIGN LOCATIONS & DIRECTION SHOWN PER SYMBOLS ON SHEET A0.00.
- EXIT SIGNS SHALL CONFORM TO THE REQUIREMENTS OF FBC 2017 SECT 1011. EXIT SIGNS SHALL BE VISIBLE FROM ANY DIRECTION OF APPROACH. NO POINT SHALL BE MORE THAN 100' FROM THE NEAREST VISIBLE EXIT SIGN.
 - INTERIOR WALL AND CEILING FINISH REQUIREMENTS BASED ON OCCUPANCY PER FBC 2017 T803.13
 - PER CBC 2019 SECT 1013.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS, PROVIDE TACTILE EXIT SIGNS AT THE FOLLOWING LOCATIONS:

COMMON PATH OF EGRESS TRAVEL (PER 2017 FBC):
THAT PORTION OF THE EXIT ACCESS TRAVEL DISTANCE MEASURED FROM THE MOST REMOTE POINT WITHIN A STORY TO THAT POINT WHERE THE OCCUPANTS HAVE SEPARATE ACCESS TO TWO EXITS OR EXIT ACCESS DOORWAYS.

MAXIMUM EXIT ACCESS TRAVEL DISTANCE PER 2017 FBC 1017.2
FOR:
R2 = 250'-0"
A = 250'-0"

MAXIMUM COMMON PATH OF EGRESS TRAVEL PER 2017 FBC 1006.3.2(2)
FOR:
R2 = 125'-0"
A = 75'-0"

LEGEND - EGRESS EXITING



OCCUPANT LOAD TABLE						
LEVEL	ROOM NAME	ROOM NO.	AREA	OCC. TYPE	OCC. LOAD FACTOR	# OF OCCUPANTS
01	RECYCLE ROOM	101	67 SF	S-2	300 GROSS	1
	TRASH ROOM	102	147 SF	S-2	300 GROSS	1
	JANITORS CLOSET	103	103 SF	S-2	300 GROSS	1
	ELECTRICAL ROOM	104	174 SF	S-2	300 GROSS	1
002	RESIDENTIAL	201 - 208	3,315 SF	R-2	200 GROSS	16
003	RESIDENTIAL	301 - 308	3,315 SF	R-2	200 GROSS	16
004	RESIDENTIAL	401 - 404	1,672 SF	R-2	200 GROSS	8
	LAUNDRY	405	106 SF	R-2	300 GROSS	1
	OFFICE	406	130 SF	R-2	150 GROSS	1
	COMMUNITY ROOM	407	450 SF	A-3	15 NET	30
	ROOF TERRACE	--	611 SF	A-3	15 NET	41
TOTAL			10,090	TOTAL		117

FIRE AND LIFE SATFEY NARRATIVE:

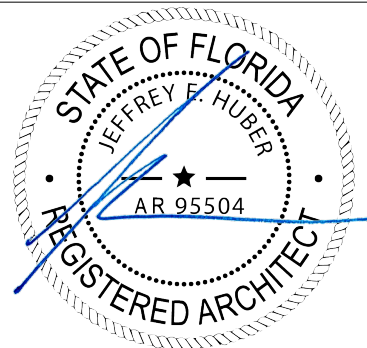
PROPOSED BUILDING IS A NEW 4-STORY, ELDERLY AFFORDABLE HOUSING PROJECT LOCATED IN A RM-1 RESIDENTIAL, MULTIFAMILY LOW INTENSITY ZONE. BUILDING WILL BE TYPE V-A CONSTRUCTION AND WILL BE FULLY SPRINKLERED. THE TOTAL OCCUPANCY OF THE PROJECT IS 117 OCCUPANTS (R-2 RESIDENTIAL GROUP)

EXIT DISCHARGE FROM STAIRS/GROUND FLOOR TO (2) PRIMARY ADA ACCESSIBLE MEANS OF EGRESS, PROVIDES TRAVEL IN OPPOSITE DIRECTIONS TO REACH PUBLIC WAY. 2HR FIRE RATED WALLS ARE PROVIDED ALONG EGRESS PATH, TRASH CHUTE AND VESTIBULES. 1HR FIRE RATED WALLS ARE PROVIDED AT DEMISING WALLS. REQUIRED EXIT SIGNS, EMERGENCY POWER AND LIGHTING TO BE PROVIDED AS PROJECT IS DEVELOPED FURTHER

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- REVISIONS:
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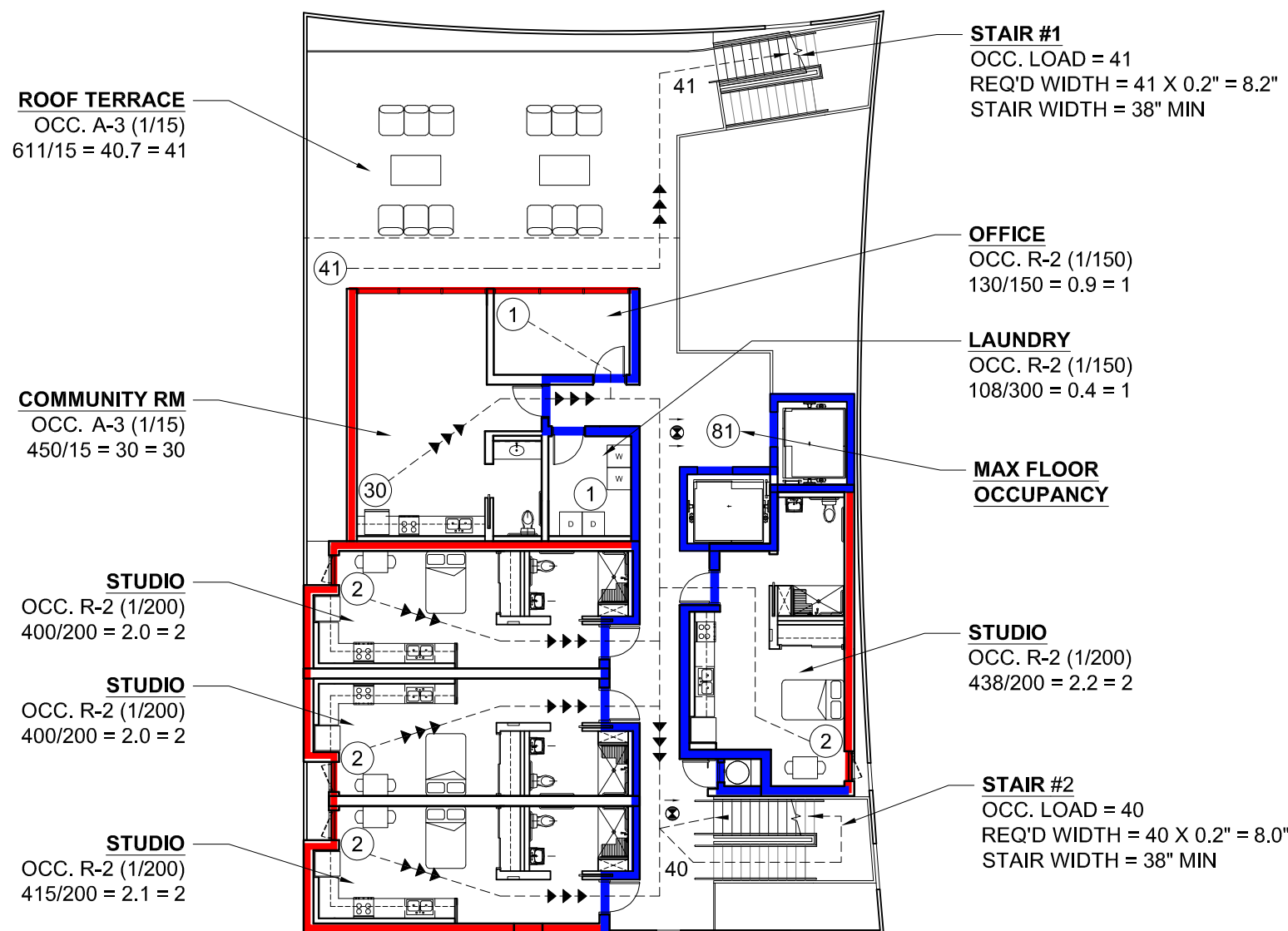
SHEET TITLE:
OCCUPANCY AND EGRESS DIAGRAMS

SCALE: AS INDICATED
DATE PRINTED: 2021-5-18

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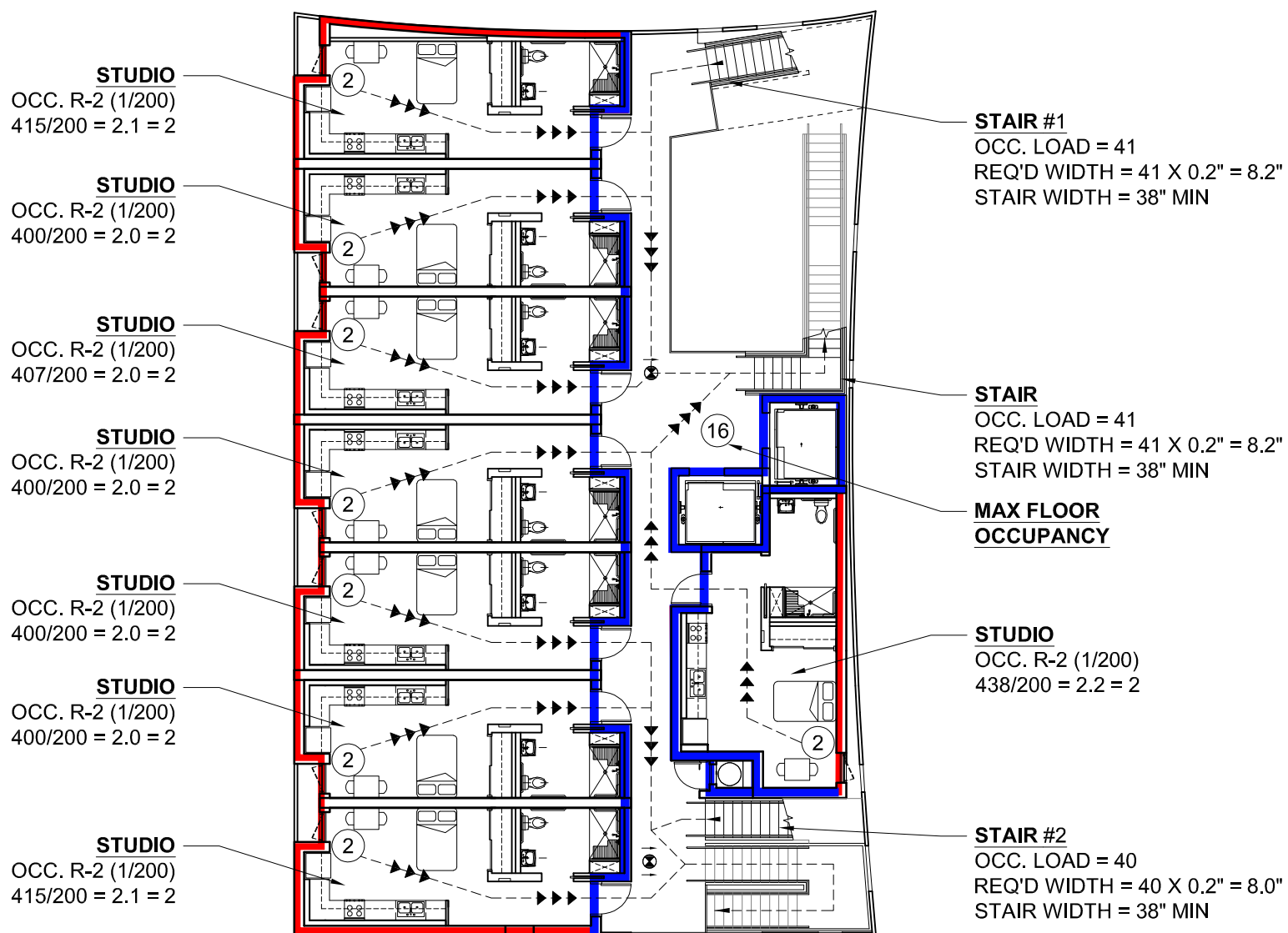
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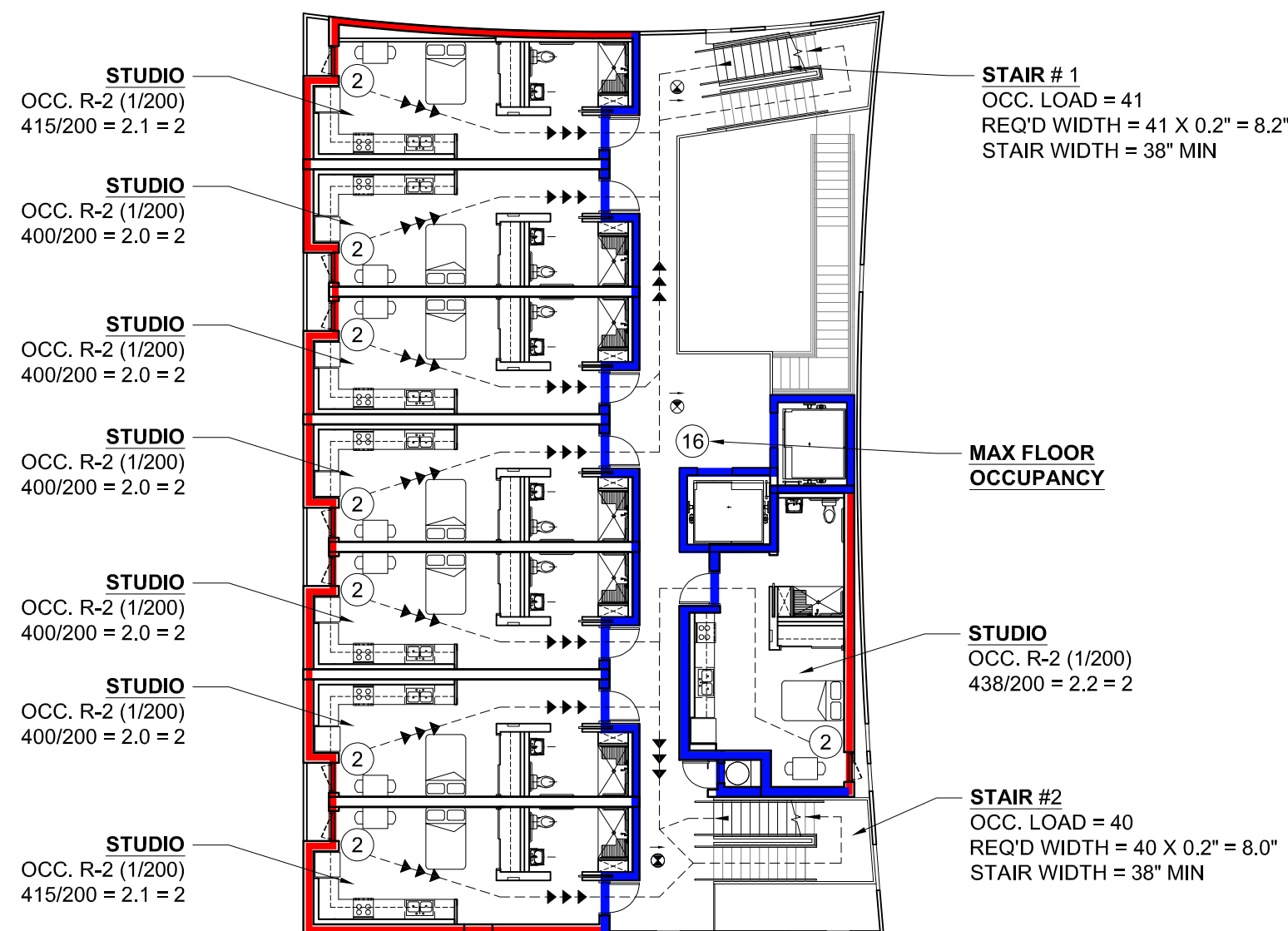
FOURTH FLOOR EGRESS DIAGRAM

REF: -- SCALE: 1/16" = 1'-0"



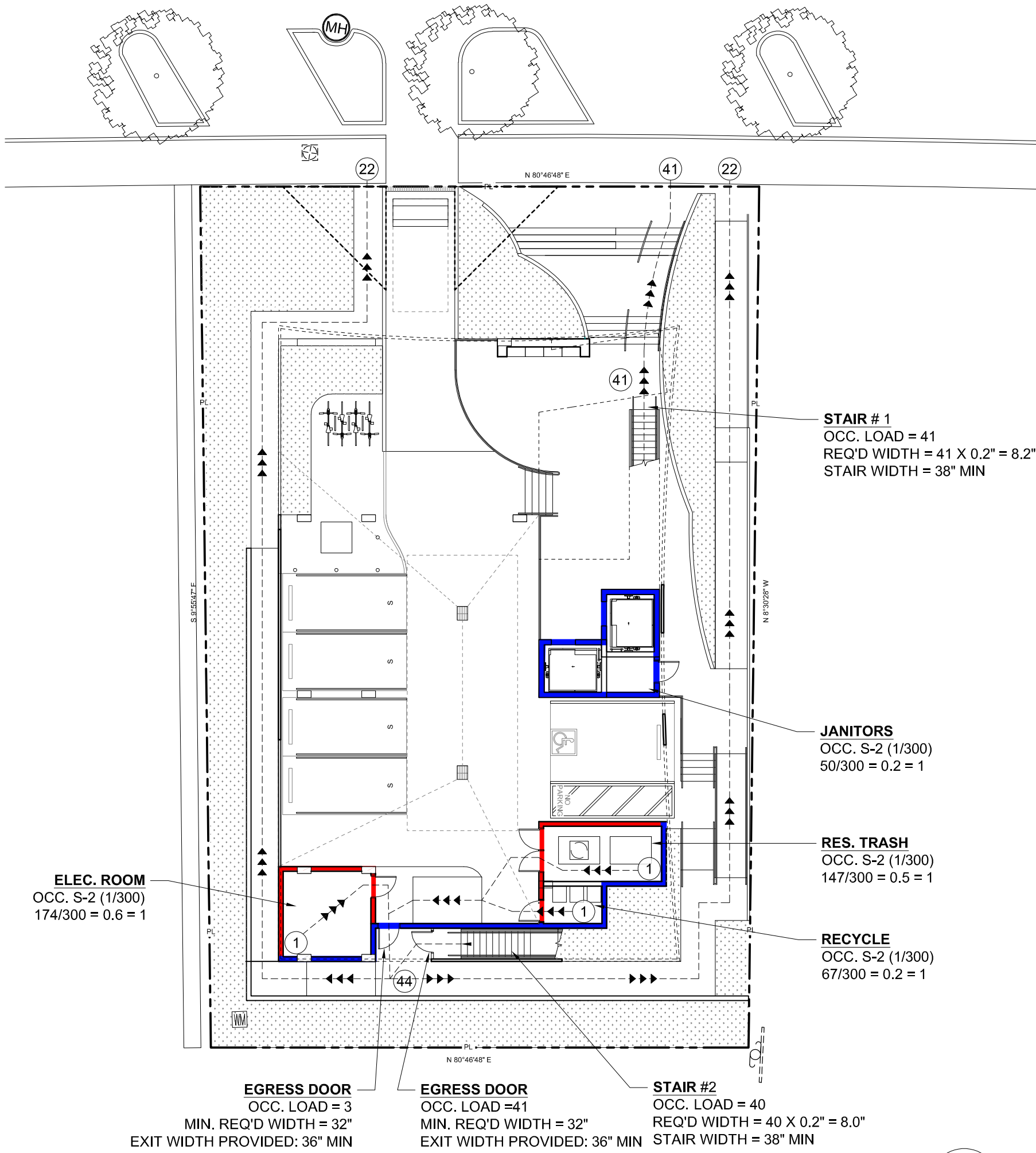
SECOND FLOOR EGRESS DIAGRAM

REF: -- SCALE: 1/16" = 1'-0"



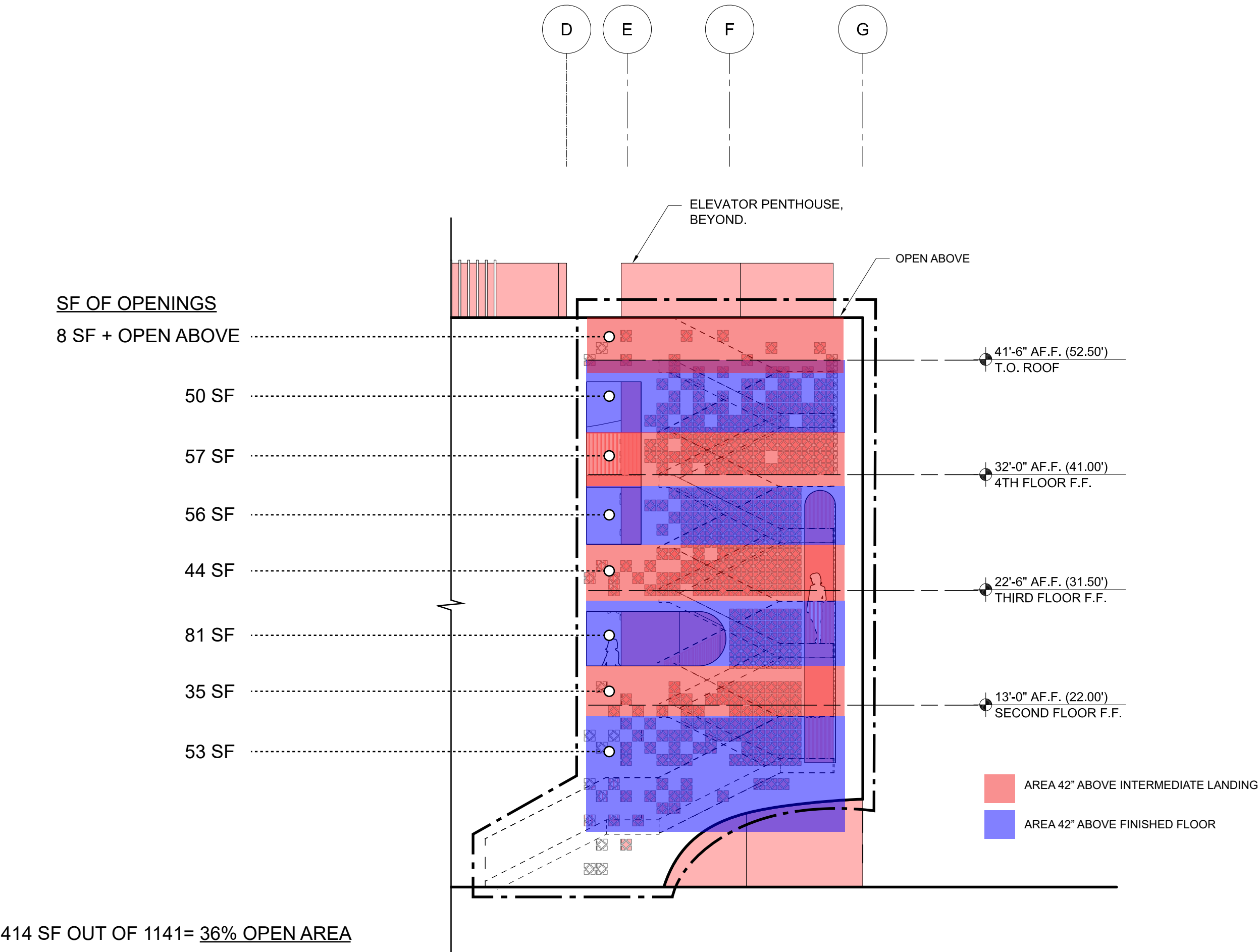
THIRD FLOOR EGRESS DIAGRAM

REF: -- SCALE: 1/16" = 1'-0"



FIRST FLOOR EGRESS DIAGRAM

REF: -- SCALE: 1/16" = 1'-0"



414 SF OUT OF 1141= 36% OPEN AREA

* AREA CALCULATED INCLUDES BREEZE
BLOCKS AND LARGE OPENINGS

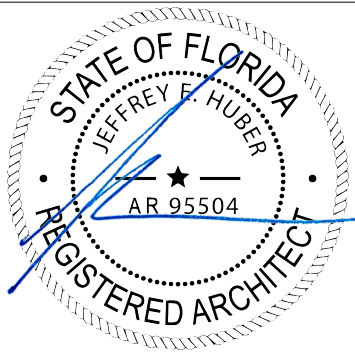
SOUTH STAIR ELEVATION: OPENING CALCULATION

REF:

SCALE: 1/8" = 1'-0"

02

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OPENING CALCULATION DIAGRAM

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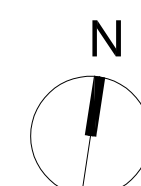
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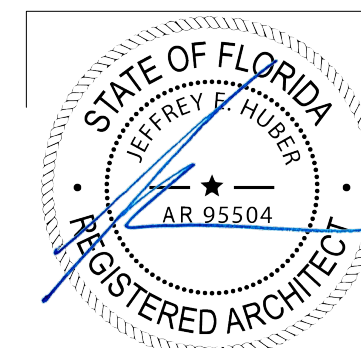
REF: A3.10

SCALE: 1/8" = 1'-0"

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| CONCEPTUAL DESIGN | — |
| SCHEMATIC DESIGN | — |
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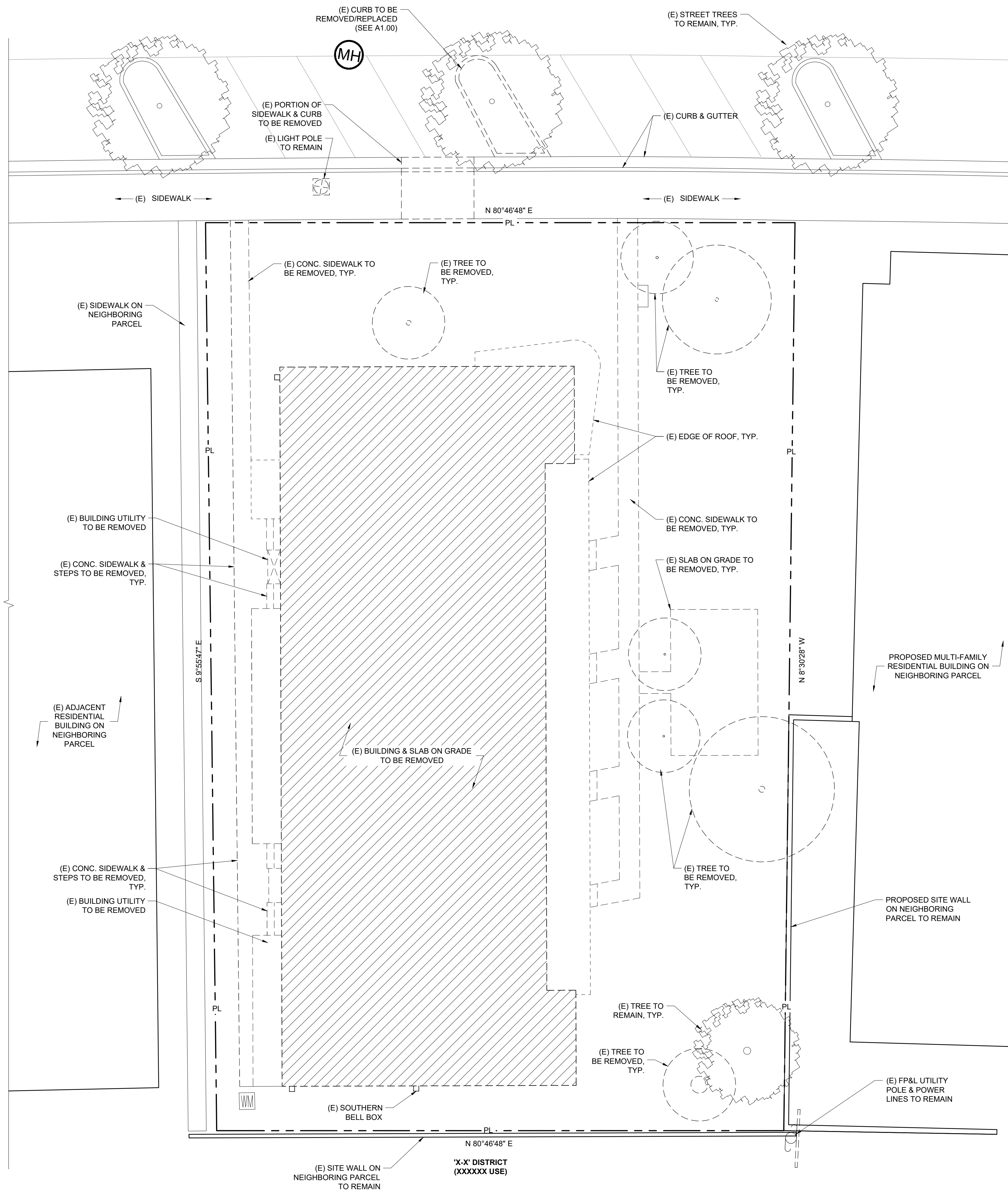
SHEET TITLE:

SITE PLAN

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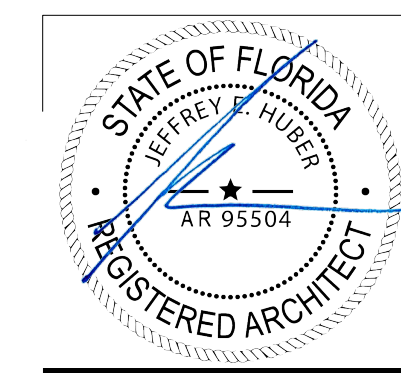
SITE DEMOLITION PLAN

01

REF: A1.00

SCALE: 1/8" = 1'-0"

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SHEET TITLE:

SITE DEMO PLAN

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