



THE HERON | FINAL SUBMITTAL

ELDERLY AFFORDABLE MULTI-FAMILY HOUSING

1158 MARSEILLE DRIVE
MIAMI BEACH, FL 33141

JULY 5TH, 2021

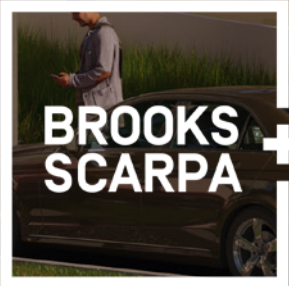


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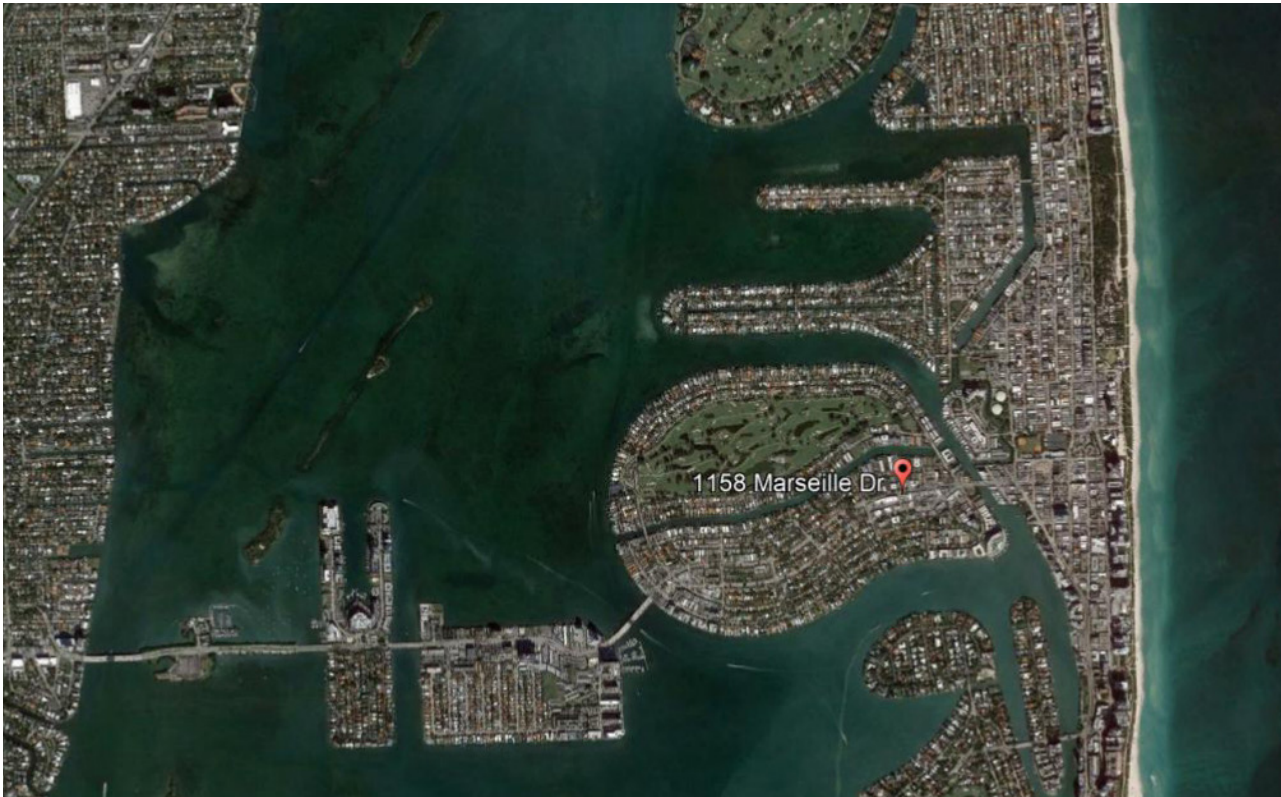
SITE INFORMATION / SITE LOCATION MAPS



SITE LOCATION / MAP 02



SITE LOCATION / MAP 01



SITE LOCATION / MAP 04



SITE LOCATION / MAP 03

SITE INFORMATION / SITE LOCATION AERIAL



AERIAL VIEW / FROM NORTHEAST



SITE LOCATION / FROM NORTHWEST



AERIAL VIEW / FROM SOUTHWEST



SITE LOCATION / FROM SOUTHEAST

SITE INFORMATION / CONTEXT PHOTOS



MARSEILLE DRIVE, LOOKING WEST



MARSEILLE DRIVE, LOOKING EAST

SITE INFORMATION / PROJECT SITE PHOTO



SITE LOCATION: 1158 MARSEILLE DRIVE

PHOTO TAKEN 05/22/2021

SITE INFORMATION / CONTRIBUTING BUILDINGS LEGEND



SITE INFORMATION / CONTRIBUTING BUILDINGS



PHOTO 1- #1127



PHOTO 2- #1130



PHOTO 3- #1144



PHOTO 4- #1101



PHOTO 5- #1125



PHOTO 6- #1135-1145



PHOTO 7- #1177



PHOTO 8- #1165



PHOTO 9- #1145

PHOTOS TAKEN 11/20/2020



PHOTO 10- #1185



PHOTO 11- #1193-1207



PHOTO 12- #1219-1211



PHOTO 13- #1233-1225



PHOTO 14- #1247



PHOTO 15- #1265-1255



PHOTO 16- #1285



PHOTO 17- #1268



PHOTO 18- #1248

PHOTOS TAKEN 11/20/2020



PHOTO 19- #1236-1240



PHOTO 20- #1220



PHOTO 21- #1220



PHOTO 22- #1210



PHOTO 23- #1200



PHOTO 24- #1195



PHOTO 25- #1176



PHOTO 26- #1168

PHOTOS TAKEN 11/20/2020

SITE INFORMATION / PROPERTY SURVEY

MIAMI-DADE COUNTY DEVELOPMENT SERVICES
DIVISION: (305)375-2800
MIAMI-DADE COUNTY
LAND DEVELOPMENT DIVISION: (305) 375-2141
CITY OF MIAMI BEACH BUILDING DEPT.: (305)673-7610

1158 MARSEILLE DRIVE
MIAMI BEACH, FL 33141

02-3210-012-0320

9,955.7± SQ.FT.

1. CHAIN LINK FENCE AT SE CORNER OF PROPERTY ENCROACHES 0.5' OVER PROPERTY LINE.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS HAVE BEEN NOTICED.

THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL






























Florida Power & Light - 305-377-6108
AT&T - 786-489-6418
Water & Sewer - NIFTA RINCON 305-372-6639

RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY

ALL SITE RESTRICTIONS WERE OBTAINED ON FEBRUARY 23, 2021 PER CODE OF THE CITY OF MIAMI BEACH, FLORIDA - CHAPTER 142-ZONING DISTRICTS AND REGULATIONS, ARTICLE II.-DISTRICT REGULATIONS, DIVISION 3.-RESIDENTIAL MULTIFAMILY DISTRICTS, SUBDIVISION II.-RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY. FOR OFFICIAL INFORMATION, PLEASE REFER TO THE CODE OF THE CITY OF MIAMI BEACH, FLORIDA.

Minimum Lot Area (Square Feet)	Minimum Lot Width (Feet)	Minimum Unit Size (Square Feet)	Average Unit Size (Square Feet)	Maximum Building Height (Feet)
5,600	50	<p>New construction—550</p> <p>Non-elderly and elderly low and moderate income housing—400</p> <p>Workforce housing—400</p> <p>Rehabilitated buildings—400</p> <p>Hotel units:</p> <p>15%: 300—335</p> <p>85%: 335+</p> <p>For contributing hotel structures, located within an individual historic site, as a local historic district or a national register district, which are renovated in accordance with the Secretary of the Interior Standards and Guidelines for the Rehabilitation of Historic Structures as amended; retaining the existing room configuration and sizes of at least 200 square feet shall be permitted. Additionally, the existing room configurations for the above described hotel structures may be modified to address applicable life-safety and accessibility regulations, provided the 200 square feet minimum unit size is maintained, and provided the maximum occupancy per hotel room does not exceed 4 persons. Hotel units within historic additions to contributing structures in a historic district and individually designated historic buildings—200.</p>	<p>New construction—800</p> <p>Non-elderly and elderly low and moderate income housing—400</p> <p>Workforce housing—400</p> <p>Rehabilitated buildings—550. The number of units may not exceed the maximum density set forth in the comprehensive plan.</p>	<p>Historic district—40</p> <p>Flagging Park Local Historic District—35 (except as provided in section 142.1161)</p> <p>Otherwise—50</p> <p>For properties outside a local historic district with a ground level consisting of non-habitable parking and/or amenity uses—55</p>

	Front	Side, Interior	Side, Facing a Street	Rear
At-grade parking lot on the same lot except where (b) below is applicable	20 feet	Single lots less than 65 feet in width: 5 feet; otherwise 10 feet; or 8% of lot width, whichever is greater	Single lots less than 65 feet in width: 5 feet; otherwise 10 feet; or 8% of lot width, whichever is greater	5 feet abutting an alley, otherwise 10% of the lot depth
Subterranean and pedestal	20 feet Except lots A and 1—30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231-237 of the Amended Plat of First Ocean Front Subdivision—50 feet	Single lots less than 65 feet in width: 7.5 feet. Lots equal to or greater than 65 feet in width: Minimum 10 feet or 8% of lot width, whichever is greater; and sum of the side yards shall equal 16% of lot width. Notwithstanding the foregoing, rooftop additions to contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming side interior pedestal setbacks.	Single lots less than 65 feet in width: 7.5 feet. Lots equal to or greater than 65 feet in width: Minimum 10 feet or 8% of lot width, whichever is greater; and sum of the side yards shall equal 16% of lot width	10% of lot depth. Notwithstanding the foregoing, rooftop additions to non-oceanfront contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming rear pedestal setbacks.
Tower	20 feet + 1 foot for every 1 foot increase in height above 35 feet to a maximum of 50 feet, then shall remain constant. Except lots A and 1—30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231—237 of the Amended Plat of First Ocean Front Subdivision—50 feet.	The required pedestal setback plus 10% of the lot width. The tower portion of the building. The total required setback shall not exceed 50 feet. Notwithstanding the foregoing, rooftop additions to contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming side interior pedestal setbacks.	Sum of the side yards shall equal 16% of the lot width. Minimum 10 feet or 8% of lot width, whichever is greater	15% of lot depth. Notwithstanding the foregoing, rooftop additions to non-oceanfront contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming rear pedestal setbacks.

LEGEND	
	WATER METER
	CATCH BASIN
	FIRE HYDRANT
	CLEAN OUT
	SANITARY MANHOLE
	STORM MANHOLE
	FPL MANHOLE
	BELL SOUTH MANHOLE
	INLET
	WATER VALVE
	GAS VALVE
	UTILITY POLE
	CONCRETE UTILITY POLE
	TRAFFIC BOX
	TREE
P.B.	PLAT BOOK
PG.	PAGE
SQ.FT.	SQUARE FEET
±	MORE OR LESS
ELEV.	ELEVATION
INV.	INVERT
	CENTERLINE
	CITY OF MIAMI MONUMENT LINE
	PROPERTY LINE
ENCR.	ENCROACHMENT
(M)	MEASURED
(P)	PLAT
(C)	CALCULATED
	OVERHEAD POWER LINES
	WATER MAIN
	SEWER MAIN
	TELEPHONE LINE
	GAS LINE
	CHAIN LINK FENCE
	BACKFLOW PREVENTER
	HANDICAP PARKING
	ELECTRIC BOX
	COLUMN
TBM	TEMPORARY BENCH MARK
	STREET LIGHT POLE

THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS _____, INCLUDING _____ DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS 0, INCLUDING 0 DESIGNATED AS HANDICAPPED SPACES.

TITLE COMMITMENT PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
POLICY NO.: OF6-8175406, AGENT'S FILE REFERENCE: 13-12-909
DATE OF POLICY: JANUARY 22, 2014 @ 09:46 AM

**SCHEDULE B
EXCEPTIONS**

ITEM NO. 1
NOT A SURVEYING MATTER
NOT PLOTTABLE

ITEM NO. 2
NOT A SURVEYING MATTER
NOT PLOTTABLE

ITEM NO. 3
SURVEY SHOWN ON THIS PAGE

ITEM NO. 4
EASEMENTS PROVIDED TO SURVEYOR
PLOTTED AS SHOWN

ITEM NO. 5
NOT A SURVEYING MATTER
NOT PLOTTABLE

ITEM NO. 6
NOT A SURVEYING MATTER
NOT PLOTTABLE

ITEM NO. 7
PLAT OF SECOND REVISED PORTIONS
OF OCEAN SIDE SECTION AND
TROUVILLE SECTION OF ISLE OF
NORMANDY
P.B. 40, PG. 35
AFFECTS PROPERTY
BLANKET IN NATURE
PLOTTED AS SHOWN

THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES; THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.

ALTA/NSPS

Land Title Survey

Lot 26, Block 9
P.B. 40, PG. 35

Lot 27, Block 9
P.B. 40, PG. 35

Lot 25, Block 9
P.B. 25, PG. 60

Lot 26, Block 9
P.B. 40, PG. 35

Lot 25, Block 9
P.B. 25, PG. 60

DJK MIAMI BEACH LLC
1133 NORMANDY DR
FOLIO NO. 02-3210-013-1140

Manhole
Run Elev. = +2.51'
Inv. Elev.:
West = (+)2.19' 8" Clay
East = (+)2.09' 8" Clay
South = (+)2.29' 6" Steel

Marselle Drive

CHORD:
N80°46'48"E
81.19'

70' Total Right-of-Way

+25' Pavement

±14' Parkway

4 Parking Spaces

6.5' Sidewalk

Arc=174.07'

Point of Curvature

Found Nail & Disc #3284

48.91'

L=81.19', R=3278.05"
 $\Delta=1^{\circ}25'09"$
T=40.60'

Found F' Iron Pipe
No Identification

Set 5/8" Rebar
Pipe #3284

portion of Lot 14, Block 9
HOUSING AUTHORITY OF THE
CITY OF MIAMI BEACH
FOLO NO. 02-3210-013-0210

FOLIO NO. 02-3210-013-0210

Building #1168 Marselle Drive
P.B. 40, PG. 35
Finish Floor = +4.15'

One Story Residence
158 MARSELLE DRIVE
ENH'D ELEV. = +3.88'

Column

Base of Light Pole

Found F' Iron Pipe No ID.

Chainlink Fence (TYP)

Lot 15, Block 9
P.B. 25, PG. 60

HOUSING AUTHORITY OF CITY
OF MIAMI BEACH
FOLO NO. 02-3210-013-1110

Lot 15, Block 9
P.B. 40, PG. 35

Lot 15, Block 9
P.B. 40, PG. 35

Southern Bell Box

Overhead Wires

Concrete Block Wall

Utility Pole

Not Accessible

CHORD:
N80°46'48"E
78.09'

Lot 26, Block 9
P.B. 40, PG. 35

5' Utility Easement

28.66' ±

12.00' ±

3.20' ±

2.50' x 0.50'

L=78.10', R=3153.05"
 $\Delta=1^{\circ}25'09"$
T=39.05'

OWNER: REFERENCE ONLY
1145 NORMANDY DR
FOLIO NO. 02-3210-023-0001(Reference)

NUMBER	COMMENT
(1)	Oa
(2)	Oa
(3)	Oa
(4)	Alexander
(5)	Oa
(6)	Washing
(7)	Alexander
(8)	Alexander
(9)	Coco
(10)	Palm
(11)	Yuc

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
①	Oak	Genus Quercus	8"	20'	20'
②	Oak	Genus Quercus	8"	20'	20'
③	Oak	Genus Quercus	8"	20'	20'
④	Alexandria Palm	Archontophoenix alexandrae	4"	30'	10'
⑤	Oak	Genus Quercus	6"	20'	15'
⑥	Washingtonia	Washingtonia robusta	8"	25'	10'
⑦	Alexandria Palm	Archontophoenix alexandrae	3"	30'	10'
⑧	Alexandria Palm	Archontophoenix alexandrae	3"	30'	10'
⑨	Cocunut	Cocos nucifera	10"	30'	20'
⑩	Palmetto	Sabal palmetto	12"	25'	15'
⑪	Yucca	Yucca brevifolia	28"	25'	10'

N.T.S.

Lot 15 and the East 1/2 of Lot 14, Block 9, of SECOND REVISED PLAT OF PORTIONS OF OCEAN SIDE SECTION AND TROUVILLE SECTION OF ISLE OF NORMANDY, according to the Plat thereof, recorded in Plat Book 40, Page 35, of the Public Records of Miami-Dade County, Florida.

- 1) SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE", BASE: 8' BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 22086C0307L, WITH A DATE OF IDENTIFICATION OF 09-11-09, FOR COMMUNITY NUMBER 120851, IN MIAMI-DADE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- 2) THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY
- 3) LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT
- 4) OWNERSHIP IS SUBJECT TO OPINION OF TITLE
- 5) TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY
- 6) LEGAL DESCRIPTION: FURNISHED BY CLIENT
- 7) THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- 8) THIS LAND SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTIRE ESTATE HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES
- 9) UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AGENCY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON
- 10) THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- 11) WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:7500FT.
- 12) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER GRAPHIC POSITIONS.
- 13) NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.

To: HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH:
This is to certify that this map or plat and the survey on which
it is based were made in accordance with the 2021 Minimum
Standard Detail Requirements for ALTA/NSPS Land Title Surveys,
jointly established and adopted by ALTA and NSPS, and includes
Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 13, 16, and 19 of Table
A thereof. The fieldwork was completed on 02-18-2021.
Date of Plat or Map: 02-23-2021

By: _____
Waldo F. Paez,
Professional Surveyor and Mapper No. LS3284
State of Florida

DELTA MAPPING AND SURVEYING, INC.
13301 S.W. 132ND AVENUE
SUITE 117
MIAMI, FL 33186
LB No. 7950

TEL: 786-429-1024
FAX: 786-592-1152

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP
USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NORTH
AMERICAN VERTICAL DATUM OF 1988.
+0.0 DENOTES EXISTING ELEVATION
ELEVATION REFERS TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
BENCHMARK: A-23-R ELEVATION: +2.26' (NAVD88)

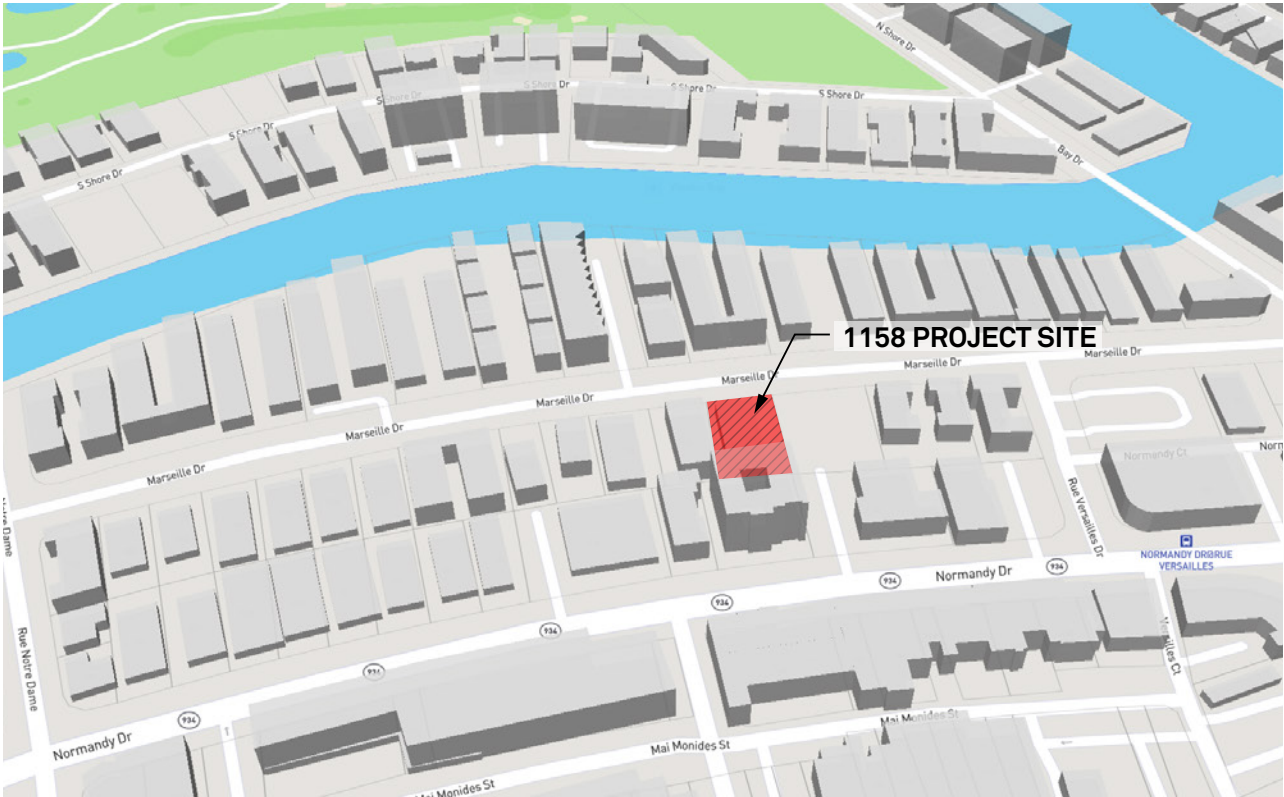
Delta Mapping and Surveying, INC
13301 SW 132nd AVENUE MIAMI, FL 33186
SUITE 117PHONE: (786) 429-1024

Surveyors,
and Planners
& Mappers

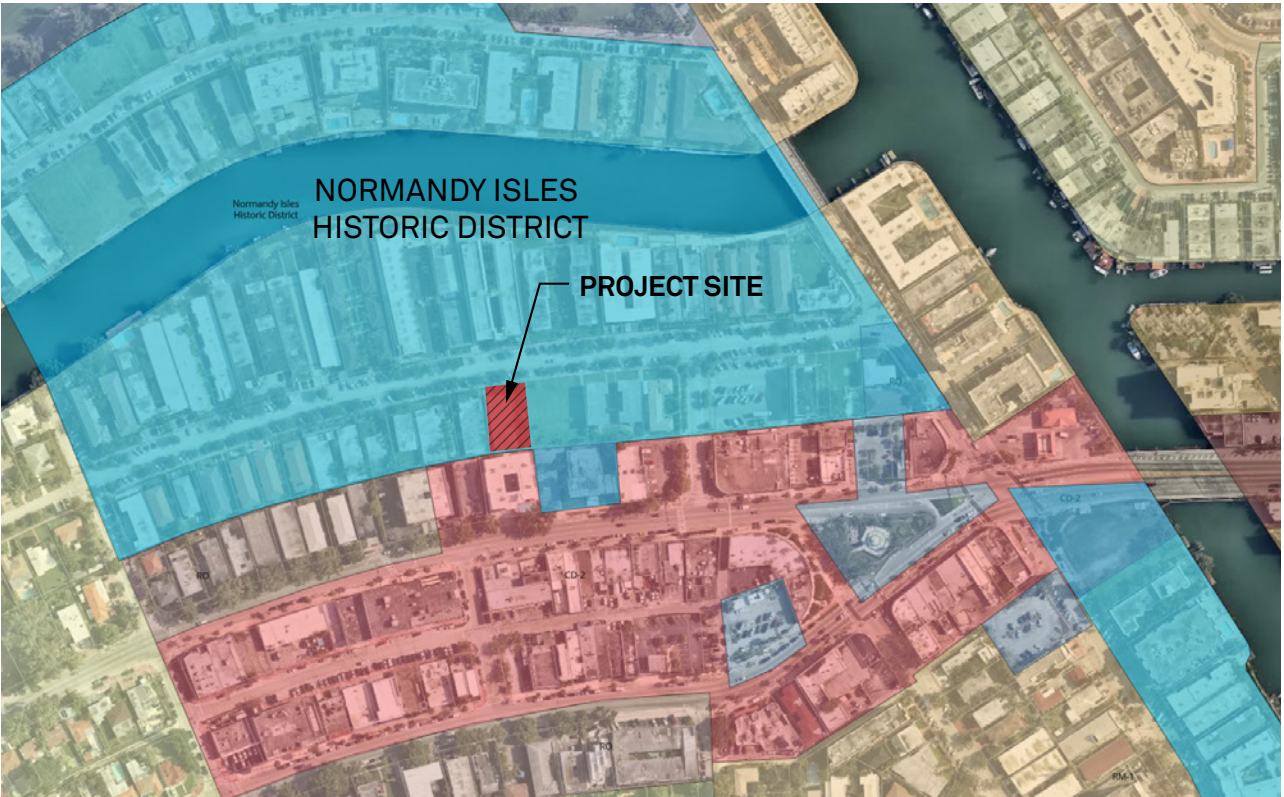
ALTA/NSPS SURVEY

2-23-20
LE:
" = 20'
OWN BY:
/C.
WING NO:
1-0021
ET NO.
OF 1

SITE INFORMATION / ZONING MAPS



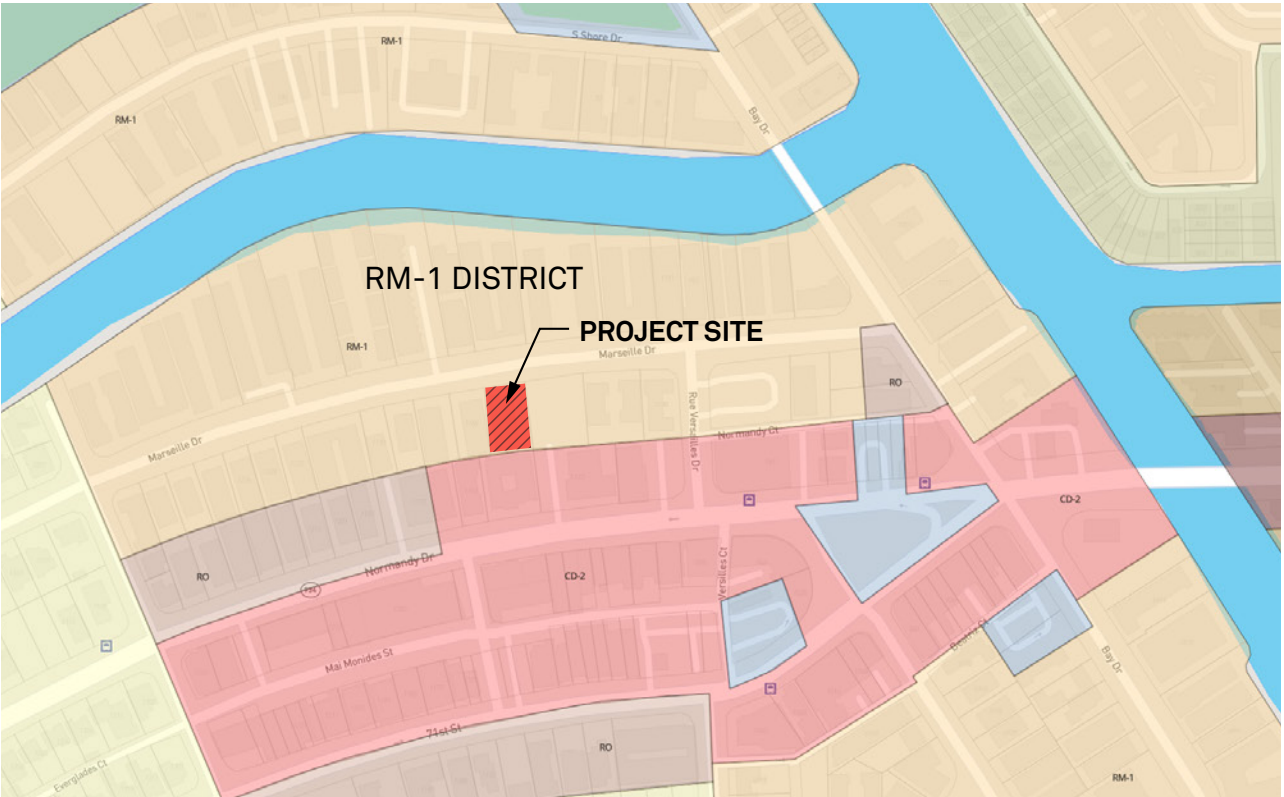
MARSEILLE DRIVE VOLUMETRIC AERIAL MAP



NORMANDY ISLE HISTORICAL DISTRICT MAP



PARKING DISTRICT 1 MAP



PRIMARY ZONING DISTRICT: RM-1

SITE INFORMATION / ZONING DATA TABLE



SETBACK REQUIREMENTS - PARKING (SECTION 142-156(a)) (AS ALLOWED BY NBNRCD OVERLAY SECTION 142-870.15(e)(1)) AND SECTION 142-870.18(d))	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
PARKING DISTRICT	PARKING DISTRICT 1		
TOTAL PARKING SPACES ((Sec 130-32. (6B))	N/A (OFF-STREET PARKING REQ. FOR DISTRICT NO. 1, (6A) A. ELDERLY HOUSING USE AND LOCATION IN HISTORIC DISTRICT, OFF-STREET PARKING NOT REQ. BY CODE.)	7 SPACES	
BICYCLE SPACES	-	4 SPACES	
FRONT	20 FT. MIN.	49'-8"	
INTERIOR SIDE (LOT WIDTH OF 65 FEET OR GREATER) *8% OF LOT WIDTH (81.19 X 0.08= 6.50 FT.)	10 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)*	11'-0" EAST (UNDER BLDG). 9'-7" WEST (UNDER BLDG.)	
STREET SIDE	10 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)	N/A	
REAR *10% OF LOT DEPTH (125.0 FT. X 0.10= 12.5 FT.)	10% OF THE LOT DEPTH (MIN.)*	27'-3"	
PARKING SPACE DIMENSION	8'-6" X 18'-0"	8'-6" X 18'-0"	
PARKING CONFIGURATION	90 DEGREES	90 DEGREES	
ADA SPACES	0-25 = 1 ADA SPACE	1 ADA SPACE	
TANDEM PARKING SPACES	ALLOWED	0 PROVIDED	
DRIVE AISLE WIDTH	18'-0" WIDTH	19'-3" WIDTH	
FLOOD MANAGEMENT INFORMATION	REGULATION CRITERIA		
FLOOD ZONE:	AE		
BASE FLOOD ELEVATION (BFE):	8.0' N.G.V.D (6.44' NAVD)		
DESIGN FLOOD ELEVATION (DFE):	9.0' N.G.V.D (BFE +1.0')		
LOWEST FFE OF HABITABLE SPACE (SECOND FLOOR):	22.0' N.G.V.D (20.44' NAVD)		
LOWEST GRADE ELEVATION ADJACENT TO THE BUILDING:	3.82' N.G.V.D (2.26' NAVD)		
HIGHEST GRADE ELEVATION ADJACENT TO THE BUILDING:	4.12' N.G.V.D (2.56' NAVD)		
LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING:	7.0' N.G.V.D DFE (5.44' NAVD)		
GRADE AT SIDEWALK	4.15' N.G.V.D (2.59' NAVD)		
CROWN OF ROAD ELEVATION:	4.45' N.G.V.D (3.89' NAVD)		
ADJUSTED GRADE ELEVATION:	6.12' N.G.V.D (4.56' NAVD)		
FIRM MAP NUMBER:	12086C0307L - IDEN:09-11-09 - COM#:120651		

CITY OF MIAMI BEACH - ZONING DATA TABULATION			
GENERAL SITE DATA			
LEGAL DESCRIPTION:	LOT 15 AND THE EAST 1/2 OF LOT 14, BLOCK 9, OF SECOND REVISED PLAT OF PORTIONS OF OCEAN SIDE SECTION AND TROUVILLE SECTION OF ISLE OF NORMANDY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 40, PAGE 35, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.		
ADDRESS:	1158 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141		
FOLIO:	02-3210-012-0323		
FLOOD ZONE:	AE		
DESIGN FLOOD ELEVATION, MIN.:	9.0' N.G.V.D		
GRADE SIDEWALK ELEVATION:	4.15' N.G.V.D (2.59' N.A.V.D)		
FIRST FLOOR LEVEL:	EL. +0'-0" = +9.00' N.G.V.D		
SITE SIZE:	9,955.7 S.F.		
STREET FRONTAGE OF SITE:	81.19'		
CATEGORY / USE PROPOSED:	ELDERLY AFFORDABLE MULTI-FAMILY DWELLING HOUSING		
ZONING DATA			
ZONING DISTRICT - UNDERLYING:	RM-1, RESIDENTIAL MULTIFAMILY, LOW INTENSITY		
OVERLAY DISTRICT:	NORMANDY ISLE HISTORIC DISTRICT		
DEVELOPMENT REGULATIONS (SECTION 142-870.15(a))	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
MINIMUM DEVELOPABLE LOT AREA (S.F.)	5,000 S.F. MIN.	9,955.7 S.F.	
MINIMUM DEVELOPABLE LOT WIDTH	50 FT. MIN.	61'-2"	
MAXIMUM DEVELOPABLE LOT WIDTH	N/A (AFFORDABLE HOUSING SHALL HAVE NO MAXIMUM LOT WIDTH RESTRICTION)*	N/A	* NO MINIMUM OR MAXIMUM YARD ELEV. REQ., OR MAXIMUM LOT COVERAGE REQ. (SEC.142-870.15 (c(2))
AREA REQUIREMENTS (SECTION 142-155(a)(1))	REGULATION CRITERIA	PROVIDED DESIGN	
FLOOR AREA RATIO	FAR: 1.25 MAX. LOT 9,955.7 X 1.25 =12,444.62 S.F.	12,388 S.F.	
UNIT SIZE REQUIREMENTS (SECTION 142-870.15(b))	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
MINIMUM UNIT SIZE (NEW CONSTRUCTION)	400 S.F. MIN.	STUDIO 400 S.F.	
AVERAGE UNIT SIZE (AFFORDABLE HOUSING)	550 S.F. AVERAGE	STUDIO 409 S.F. (20 DU)	
HEIGHT REQUIREMENTS (SECTION 142-870.15(c))	REGULATION CRITERIA	PROVIDED DESIGN	
HEIGHT OF FIRST 25 FEET OF BUILDING DEPTH	32 FT. MAX. AT FIRST 25 FT	32'-0" AT FIRST 25 FT.	
HEIGHT OF REMAINDER OF BUILDING DEPTH	45 FT. MAX.	41'-6"	
SETBACK REQUIREMENTS - BUILDING (SECTION 142-870.15 (d)(e)) - NBNRCD OVERLAY	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
FRONT	20 FT. MIN.	20'-0"	
INTERIOR SIDE (LOT WIDTH OF 61 FEET OR GREATER) *8% OF LOT WIDTH (81.19 X 0.08 = 6.50 FT.)	7.5 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)*	10'-0" EAST 10'-0" WEST	
STREET SIDE	5 FT. MIN.	N/A	
REAR	5 FT. MIN.	12'-6"	
GROUND FLOOR REQUIREMENT	12 FT. MIN. HEIGHT FROM BASE FLOOD PLUS FREEBOARD TO UNDERSIDE OF SLAB *	12'-4"	
WIDTH OF ANY NEW BUILDING	85 FT. MAX.	58'-1"	
SEMI-PUBLIC OUTDOOR AREA	500 SQ. FT.	1,023 SQ. FT.	
VARIANCE REQUESTED FOR SEC 142-156(b): RESIDENTIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY. FOR PROPERTIES NOT HAVING ACCESS TO AN ALLEY, THE REQUIRED RESIDENTIAL SPACE SHALL ACCOMMODATE ENTRANCE AND EXIT DRIVES.			
DESIGN AND RESILIENCY STANDARDS (SECTION 142-870.17) - NBNRCD OVERLAY	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
NATURALLY LANDSCAPED AREA GROUND LEVEL	(498 SQ. FT.) 5% LOT	(2,062 SQ. FT.) 20.7% LOT	
ALL CONSTRUCTION AND FINISH MATERIALS BELOW DESIGN FLOOD ELEVATION (BFE + 1.0' = 9.0' N.G.V.D.) SHALL BE FLOOD-DAMAGE RESISTANT MATERIALS (ASCE 24-05 CH. 5.0)			

MATERIAL PALETTE / MIMO COLOR INSPIRATION



MIAMI BEACH RED



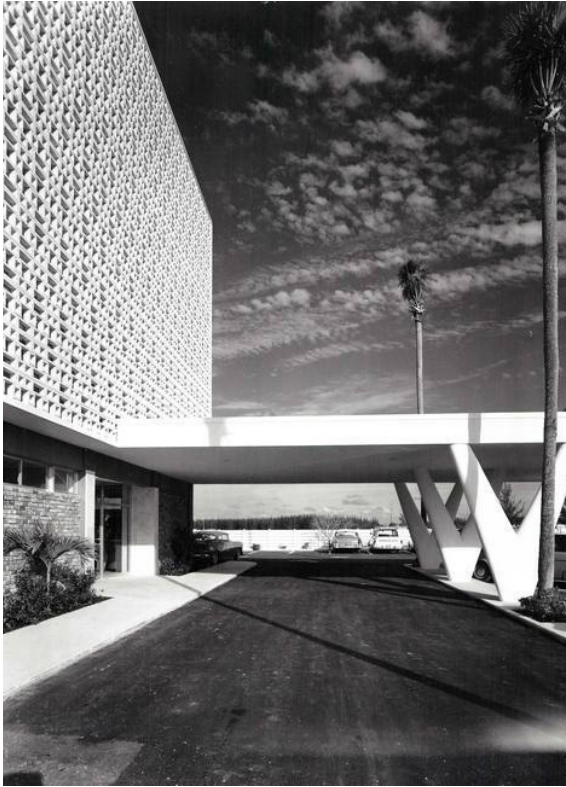
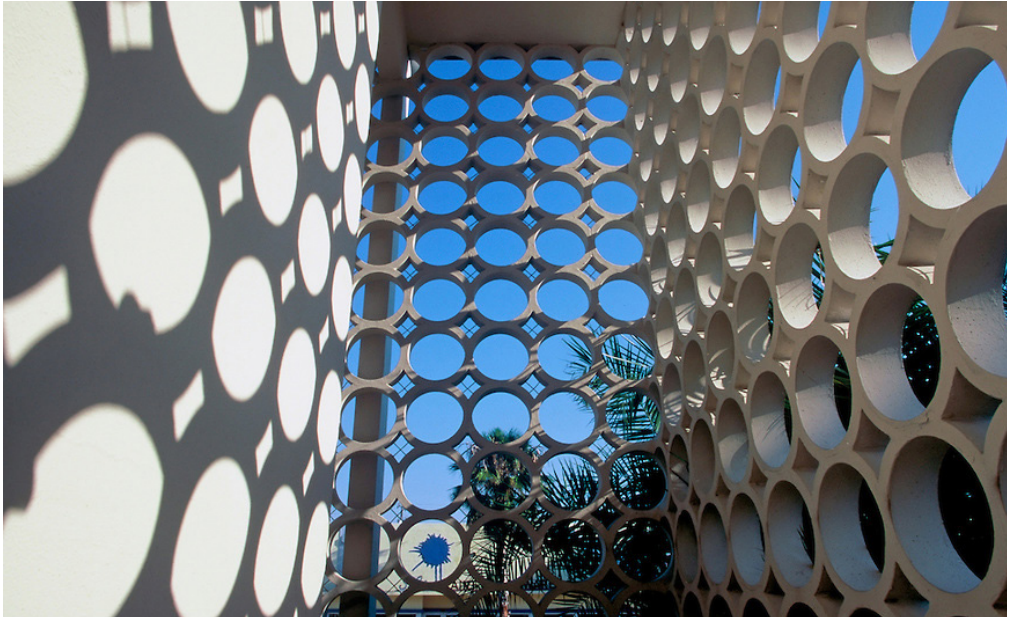
MATERIAL PALETTE / COLOR REFERENCE



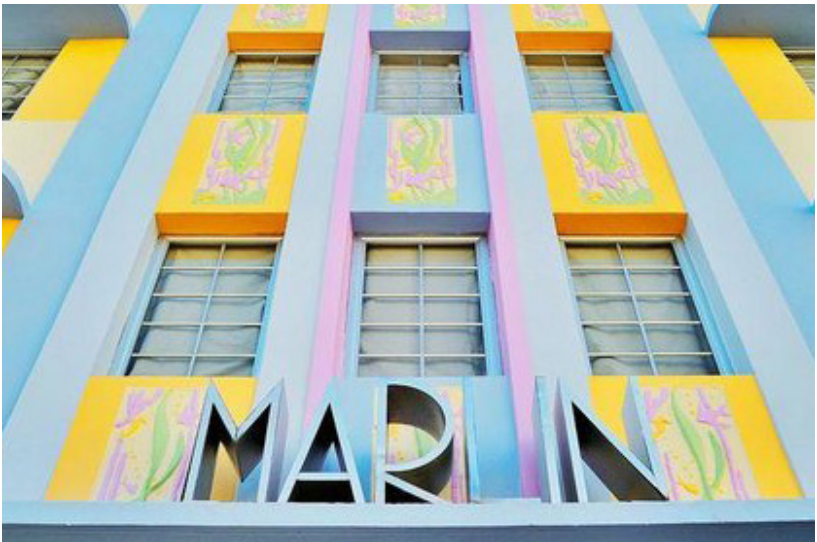
MATERIAL PALETTE / BREEZE BLOCK



MATERIAL PALETTE / MIMO BREEZE BLOCK



MATERIAL PALETTE / MIMO SIGNAGE



MATERIAL PALETTE / MIMO IRON WORKS

