



PROJECT:
STAR ISLAND
RESIDENCE

SHEET
TITLED
COVER SHEET

SCALE:
N.T.S.

SHEET
NUMBER
A0.00



4, 5 & 6 STAR ISLAND DRIVE RESIDENCE

Miami Beach, Florida

DESIGN REVIEW BOARD Final Submittal DRB File No. 21-0675 May 10th, 2021

Scope of Work

- Demolition of existing buildings
- New construction of a 2-story Residence
- Variances and Waviers requested

INDEX OF DRAWINGS	
ARCHITECTURAL	
SHEET #	DESCRIPTION
1 OF 2	BOUNDARY SURVEY
2 OF 2	BOUNDARY SURVEY
A0.00	COVER SHEET
A0.01	INDEX & DATA SHEET
A0.01a	SIDE SETBACK VARIANCE DIAGRAMS
A0.01b	ELEVATOR BULKHEAD VARIANCE DIAGRAM
A0.01c	DRIVEWAY & FENCE VARIANCE DIAGRAMS
A0.02	AERIAL VIEWS
A0.03	AXONOMETRIC VIEWS
A0.04	SITE PHOTO LOCATIONS
A0.05	BUILDING PHOTOS
A0.06	BUILDING PHOTOS
A0.07	BUILDING PHOTOS
A0.08	BUILDING PHOTOS
A0.09	BUILDING PHOTOS
A0.10	BUILDING PHOTOS
A0.11	BUILDING PHOTOS
A0.12	BUILDING PHOTOS
A0.13	BUILDING PHOTOS
A0.14	BUILDING PHOTOS
A0.15	BUILDING PHOTOS
A0.16	BUILDING PHOTOS
A0.17	BUILDING PHOTOS
A0.19	SITE PHOTO LOCATIONS
A0.20	SITE PHOTOS
A0.21	SITE PHOTOS
A0.22	SITE PHOTOS
A0.27	INTERIOR 4 STAR
A0.29	INTERIOR 5 STAR
A0.30	EXISTING LOT COVERAGE
A0.31	PROPOSED LOT COVERAGE
A0.32	PROPOSED LOT COVERAGE - ROOF DECK
A0.33	UNDERSTORY UNIT SIZE DIAGRAM
A0.34	UNIT 1 DIAGRAM
A0.35	UNIT 2 DIAGRAM
A0.36	FRONT YARD DIAGRAM
A0.37	REAR YARD DIAGRAM
A0.38	CONTEXT ELEVATIONS
A0.39	DEMOLITION PLAN
A1.0	SITE PLAN
A1.1	UNDERSTORY FLOOR PLAN
A1.1b	3D IMAGERY - UNDERSTORY
A1.2	FIRST LEVEL FLOOR PLAN
A1.3	SECOND LEVEL FLOOR PLAN
A1.4a	ELEVATOR LOBBY PLAN
A1.4b	ROOF PLAN

SHEET #	DESCRIPTION
A2.0	MAIN HOUSE EAST & WEST ELEVATIONS
A2.1	MAIN HOUSE NORTH & SOUTH ELEVATIONS
A3.0	MAIN HOUSE SECTIONS
A3.1	MAIN HOUSE SECTIONS
A4.0	GUEST HOUSE LEVEL 1 PLAN
A4.0b	GUEST HOUSE LEVEL 1 PLAN
A4.1	GUEST HOUSE LEVEL 2 PLAN
A4.1b	GUEST HOUSE LEVEL 2 PLAN
A4.2	GUEST HOUSE ROOF PLAN
A4.2b	GUEST HOUSE ROOF PLAN
A4.3	GUEST HOUSE NORTH & SOUTH ELEVATIONS
A4.4	GUEST HOUSE EAST & WEST ELEVATIONS
A4.5	GUEST HOUSE
A5.0	MECHANICAL BUILDING LEVEL 1 PLAN
A5.1	MECHANICAL BUILDING LEVEL 2 PLAN
A5.2	MECHANICAL BUILDING ROOF PLAN
A5.3	MECHANICAL BUILDING NORTH & SOUTH ELEVATIONS
A5.4	MECHANICAL BUILDING EAST & WEST ELEVATIONS
A5.5	MECHANICAL BUILDINGS
A6.0	PV PANELS TYPICAL DETAILS
G9.1	MOOD BOARD ARCHITECTURAL STYLE
G9.10	CONCEPT RENDERINGS
G9.11	CONCEPT RENDERINGS
G9.12	CONCEPT RENDERINGS
G9.2	CONCEPT RENDERINGS
G9.3	CONCEPT RENDERINGS
G9.4	CONCEPT RENDERINGS
G9.5	CONCEPT RENDERINGS
G9.6	CONCEPT RENDERINGS
G9.7	CONCEPT RENDERINGS
G9.8	CONCEPT RENDERINGS
G9.9	CONCEPT RENDERINGS
LANDSCAPE	
G1.000	COVER SHEET
LR.100	TREE DISPOSITION PLAN
LR.200	TREE DISPOSITION SCHEDULE
LR.201	TREE DISPOSITION NOTES & DETAILS
LH.100	HARDSCAPE PLAN
LH.400	HARDSCAPE ELEVATIONS
LH.401	HARDSCAPE ELEVATIONS
LH.500	HARDSCAPE SECTIONS
LG.100	GRADING PLAN
LP.100	CANOPY PLANTING PLAN
LP.200	UNDERSTORY PLANTING PLAN
LP.300	PLANTING SCHEDULE/MITIGATION CHART/LANDSCAPE LEGEND
LP.400	PLANTING DETAILS

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	4-5-6 STAR ISLAND DRIVE			
2A	Folio number(s):	02-4204-001-0040 (4-5 STAR) 02-4204-001-0060 (6 STAR)			
2B	Legal Description (4-5 STAR):	CORRECTED PL OF STAR ISLAND, PB-31-60, LOT 4, LOT SIZE 100,000 X 400, OR 19780-1689 07 2001 2(2)			
3	Board and file numbers :	0			
4	Year built:	N/A	Zoning District: 13 - SINGLE FAMILY, LOW DENSITY	RS-1	
5	Based Flood Elevation:	AE +10.00' ZONE	Grade value in : (N.A.V.D.)	5.00'	
6	Adjusted grade (BFE+1)+(Grade)/2:	(11.00'+4.85')/2= 7.92'	Free board (FROM 1' TO 5'):	5'-0"	
7	Lot Area (4-5-6 STAR COMBINED):	120,000 SF			
8	Lot width:	300'	Lot Depth:	400'	
9	Max Lot Coverage SF and %: 30%	.30(120,000 SF) = 36,000 SF	Proposed Lot Coverage SF and %:	29,577.69 SF (24.6%)	
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:	29,577.69 SF (24.6%)	
11A	Required Front Yard Open Space SF: 70%	.70(9,000 SF)= 6,300 SF	Required Rear Yard Open Space SF : 70%	.70(15,000 SF)=10,500 SF	
11B	Proposed Front Yard Open Space SF:	6,828.69 SF (76%)	Proposed Rear Yard Open Space:	10,725.86 SF (71.05%)	
12	Max Unit Size SF and %: 50% of lot	.50(120,000 SF) = 60,000 SF	Proposed Unit Size SF:	58,083.72 SF (48.4%)	
	Min. Unit Size SF:	1,800 SF			
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size SF:	21,509.62 SF	
14	Existing Second Floor Unit Size	N/A	Proposed Second Floor Unit Size SF:	18,444.21 SF	
15			Proposed Understory Unit Size SF:	18,129.89 SF	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
17A	Height:	Required MAX 28'; FLAT 31' SLOPED	Existing N/A	Proposed 28'-0" Above BFE + 5'-0" AND 31' FOR SLOPED ROOF	WAIVER REQUIRED variance req. for elevator bulkhead
Height shall be measured from the required base flood elevation for the lot, plus freeboard, measured to the top of the structural slab for a flat roof and to the mid-point of the slope for a sloped roof. Single story homes shall follow the requirements of section 142-105(b)(4)b					
18	Max number of stories: two stories above the base flood elevation	N/A	2		
19	SETBACKS:				
20	Front (WEST STAR ISLAND DRIVE):	30'	N/A	30'	
21	Interior Side Yard 1 (MIN. 10% OF LOT WIDTH):	{300x0.10}= 30'	N/A	30'-6"	
22	Interior Side Yard 2 (MIN. 10% OF LOT WIDTH):	{75'-30'}= 45'	N/A	44'-6"	
23	Rear (15% OF LOT DEPTH, MAXIMUM OF 50') :	50'	N/A	50'	
	Accessory Structure (2-STORY: 10' MAX SIDE SETBACK OR REQ'D SIDE SETBACK):	30'	N/A	10'	
26	Sum of Side yard : (25% OF LOT WIDTH)	{300x0.25}= 75'	N/A	{30'-6" + 44'-6"} = 75'	
27	Located within a Local Historic District? No	29 determined Architecturally Significant? No.			
28	Designated as an individual Historic Single Family Residence Site?	No			

LP.401	PLANTING NOTES & SPECIFICATIONS
LM.100	LANSCAPE MOOD BOARD
LM.101	LANSCAPE MOOD BOARD
LM.102	LANSCAPE MOOD BOARD
LM.103	LANSCAPE MOOD BOARD
LM.104	LANSCAPE MOOD BOARD
LM.105	LANSCAPE MOOD BOARD
LM.106	LANSCAPE MOOD BOARD
LM.107	LANSCAPE MOOD BOARD
LM.108	LANSCAPE MOOD BOARD
LM.109	LANSCAPE MOOD BOARD
LM.110	LANSCAPE MOOD BOARD
LM.111	LANSCAPE MOOD BOARD
LM.112	LANSCAPE MOOD BOARD
LL.100	LANSCAPE LIGHTING SPECIFICATIONS

LIST OF REVIEWS/WAIVERS	
1	Understory Enclosure (review/waiver)
2	Understory Edge Setback (review/waiver)
3	Location of Elevator Bulkhead (waiver)
LIST OF VARIANCES	
4	North Interior Side Yard Setback
5	Sum of Side Yard Setbacks
6	Elevator Bulkhead
7	Driveway Width
8	Front Fence Height

FINAL DRB SUBMITTAL

MAY 10, 2021

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO M+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL

JENNIFER MCCONNEY, FLORIDA LIC# ARCH004

PROJECT: STAR ISLAND RESIDENCE

SHEET TITLE: INDEX & DATA

SCALE: N.T.S.

SHEET NUMBER: A0.01

SEAL



REV:

PROJECT:

SHEET TITLE:

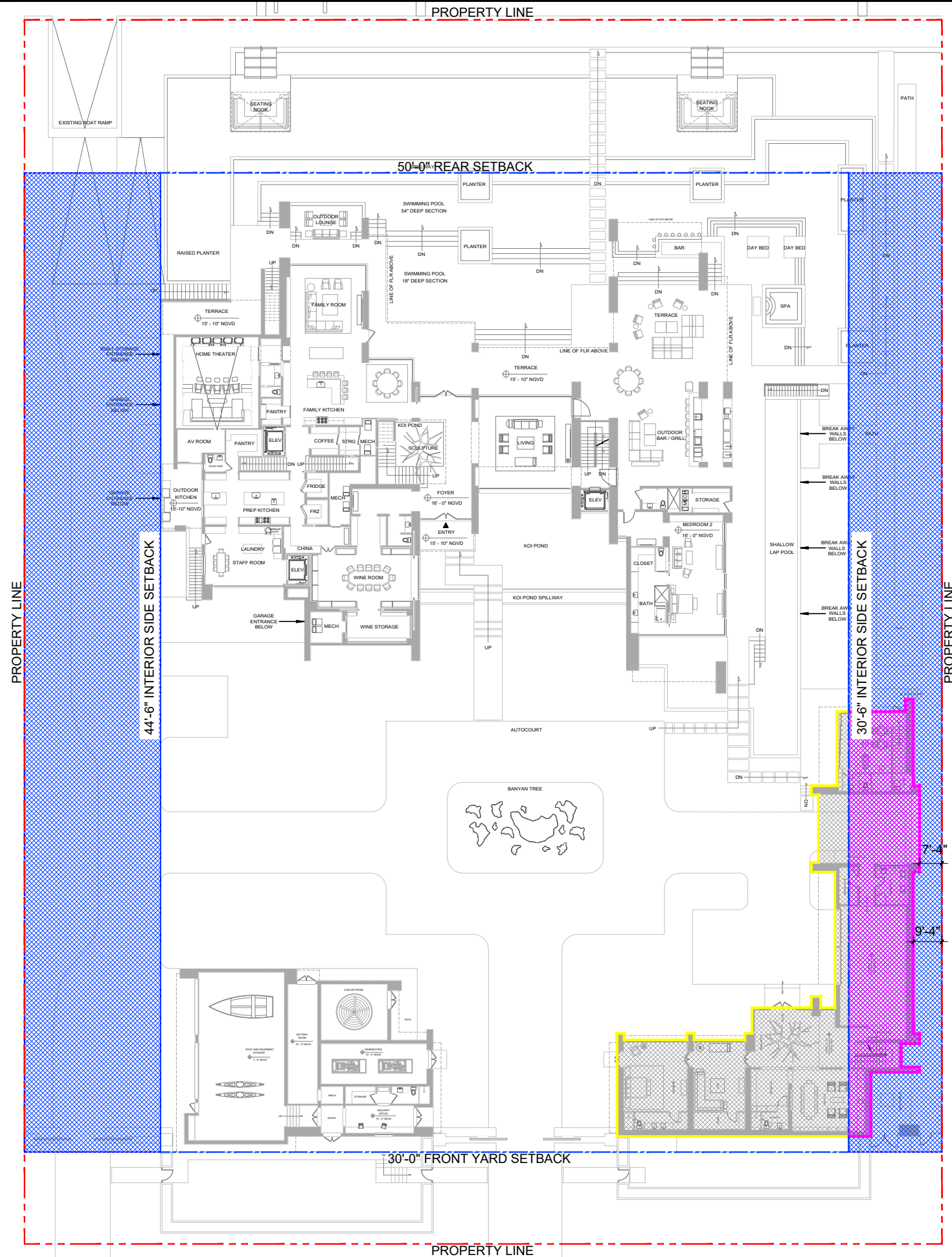
SCALE:

SHEET NUMBER:

STAR ISLAND RESIDENCE

SIDE YARD SETBACKS VARIANCE DIAGRAM

A0.01a



- AREA OF VARIANCES REQUIRED FOR GUEST HOUSE:
- 1. NORTH INTERIOR SIDE YARD SETBACK
- REQUIRED INTERIOR SIDE YARD SETBACK (MIN. 10% OF LOT WIDTH) = $(300 \times 0.10) = 30'$
- PROPOSED INTERIOR SIDE YARD SETBACK = $\sim 7'-4"$
- 2. SUM OF SIDE YARDS SETBACK
- REQUIRED SUM OF SIDE YARD (25% OF LOT WIDTH) = $(300 \times 0.25) = 75'$
- PROPOSED SUM OF SIDE YARD FOR MAIN HOUSE = $(30'-6" + 44'-6") = 75'$
- PROPOSED SUM OF SIDE YARD FOR GUESTHOUSE = $(7'-4" + 44'-6") = 51'-10"$

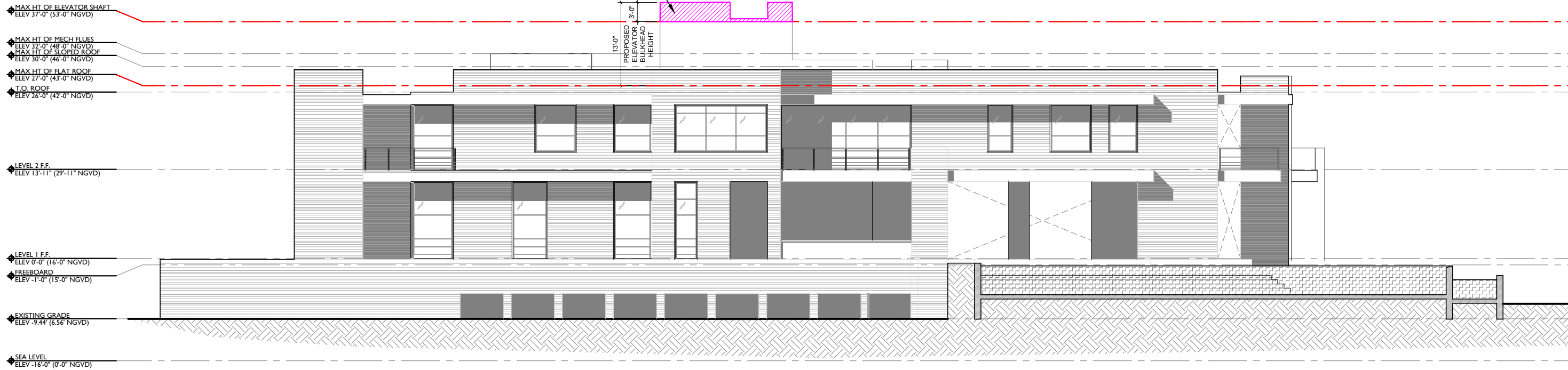
1 NORTH INTERIOR SIDE YARD & SUM OF SIDE YARD VARIANCE DIAGRAM
SCALE: N.T.S.

AREA OF VARIANCE REQUIRED FOR ELEVATOR BULKHEAD:

ALLOWABLE HEIGHT EXCEPTION NOT TO EXCEED 10' ABOVE ROOFLINE OF THE STRUCTURE.

PROPOSED ELEVATOR BULKHEAD HEIGHT FROM ROOFLINE = 13'

ELEVATOR BEYOND



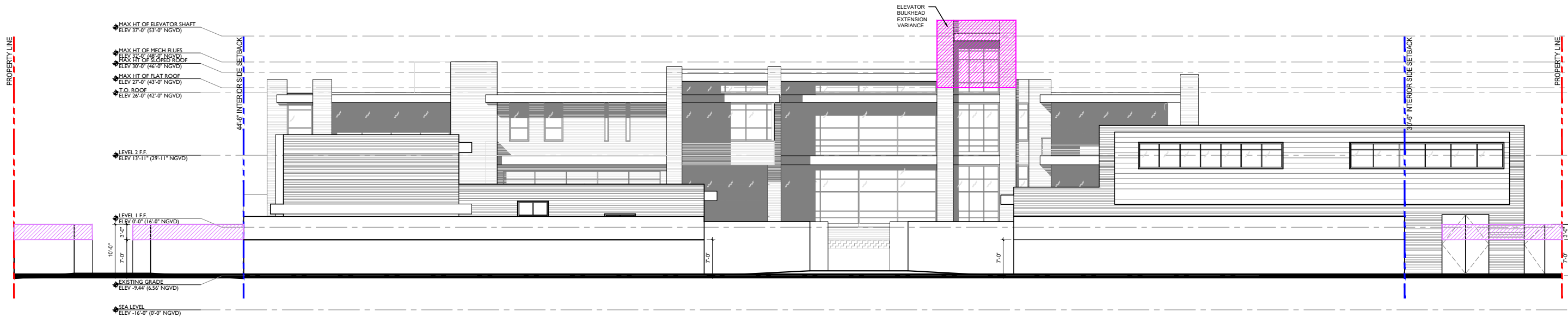
1 ELEVATOR BULKHEAD VARIANCE DIAGRAM
SCALE: 1/16" = 1'-0"



PROJECT: STAR ISLAND RESIDENCE

SHEET TITLE: ELEVATOR BULKHEAD VARIANCE DIAGRAM

SHEET NUMBER: A0.01b



VARIANCE REQUIRED FOR FRONT FENCE:

ALLOWABLE FENCE HEIGHT WITHIN REQUIRED FRONT YARD NOT TO EXCEED 5' MEASURED FROM GRADE

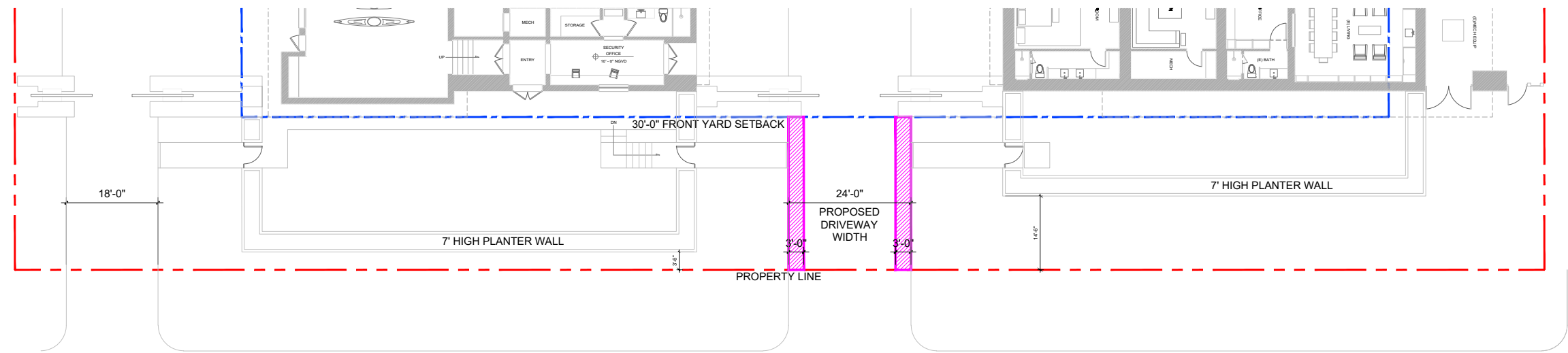
PROPOSED FRONT FENCE HEIGHT WITHIN REQUIRED SIDE YARD = 11'-6"

PROPOSED FENCE HEIGHT BEHIND REQUIRED FRONT YARD = 10'-6"

ALLOWABLE FENCE HEIGHT WITHIN REQUIRED SIDE YARD NOT TO EXCEED 7' MEASURED FROM GRADE.

PROPOSED FENCE HEIGHT WITHIN REQUIRED SIDE YARD = 10'-6"

2 FRONT FENCE VARIANCE DIAGRAM
SCALE: 1/16" = 1'-0"



VARIANCE REQUIRED FOR DRIVEWAY:

ALLOWABLE WIDTH OF DRIVEWAY AT PROPERTY LINE NOT TO EXCEED 15% OF LOT WIDTH & NO GREATER THAN 18' WIDTH.

PROPOSED DRIVEWAY WIDTH AT PROPERTY LINE = 24'

1 DRIVEWAY VARIANCE DIAGRAM
SCALE: N.T.S.



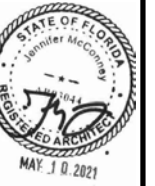
DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL



JENNIFER MCCONNEY, FLORIDA LIC# AR0504

REV:

PROJECT:

STAR ISLAND
RESIDENCE

SHEET
TITLE:

AERIALS

SCALE:

N.T.S.

SHEET
NUMBER:

A0.02



Florida

Miami Beach

SATELLITE IMAGE



BISCAYNE BAY

HIBISCUS
ISLAND

PALM
ISLAND

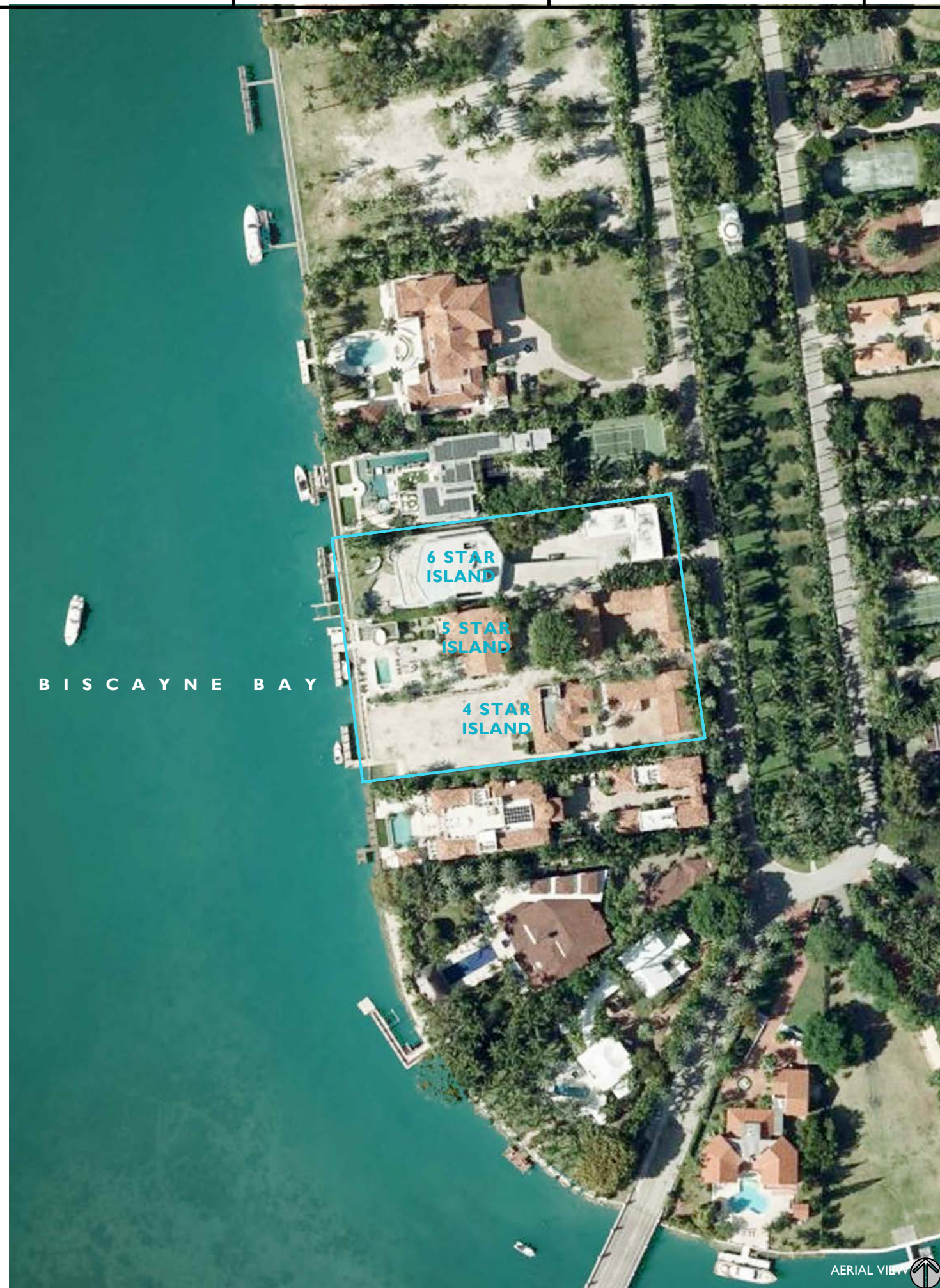
STAR
ISLAND

1/2 MILE RADIUS

SITE

PORT OF MIAMI

AERIAL OF 1/2
MILE RADIUS



B I S C A Y N E B A Y

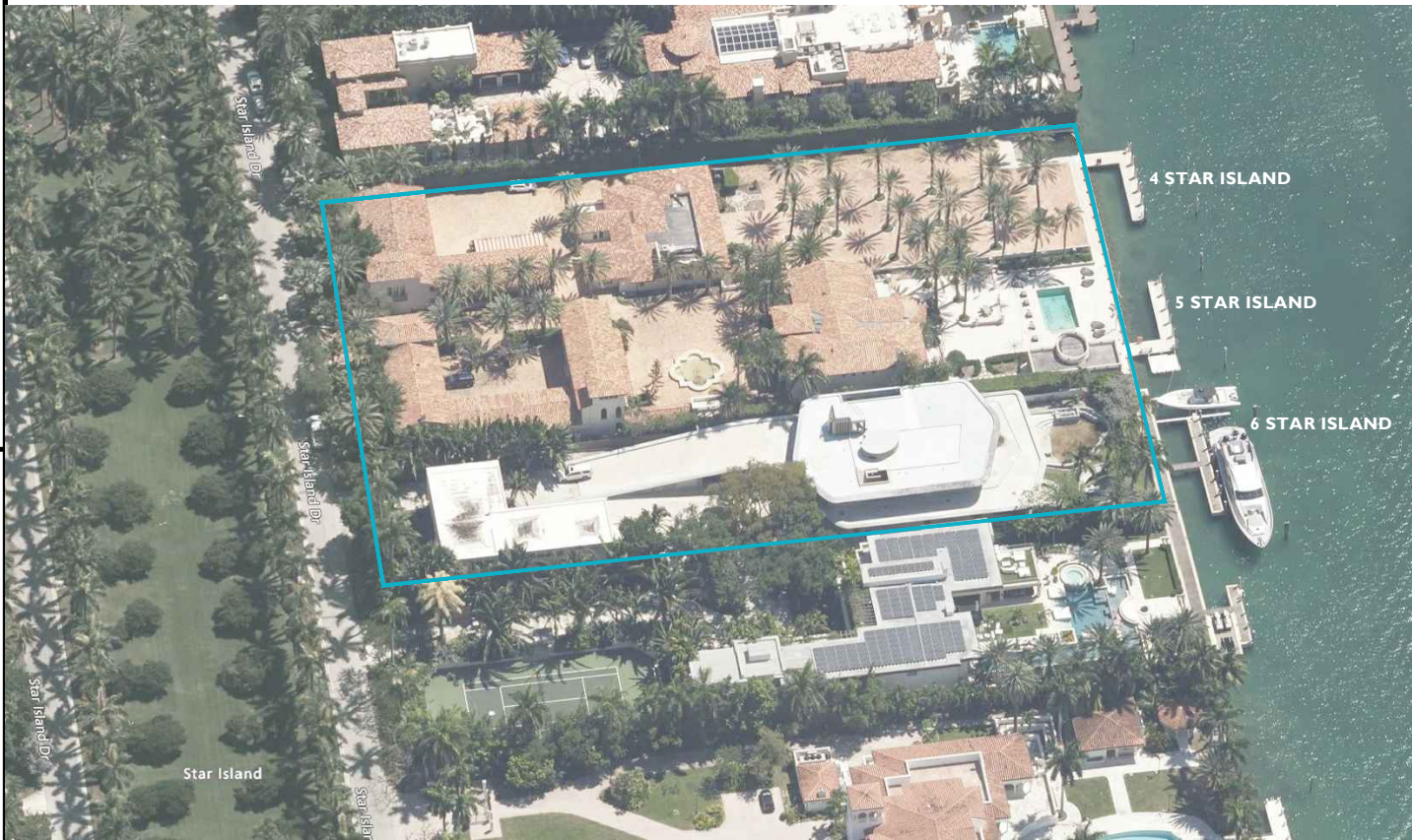
6 STAR
ISLAND

5 STAR
ISLAND

4 STAR
ISLAND

AERIAL VIEW

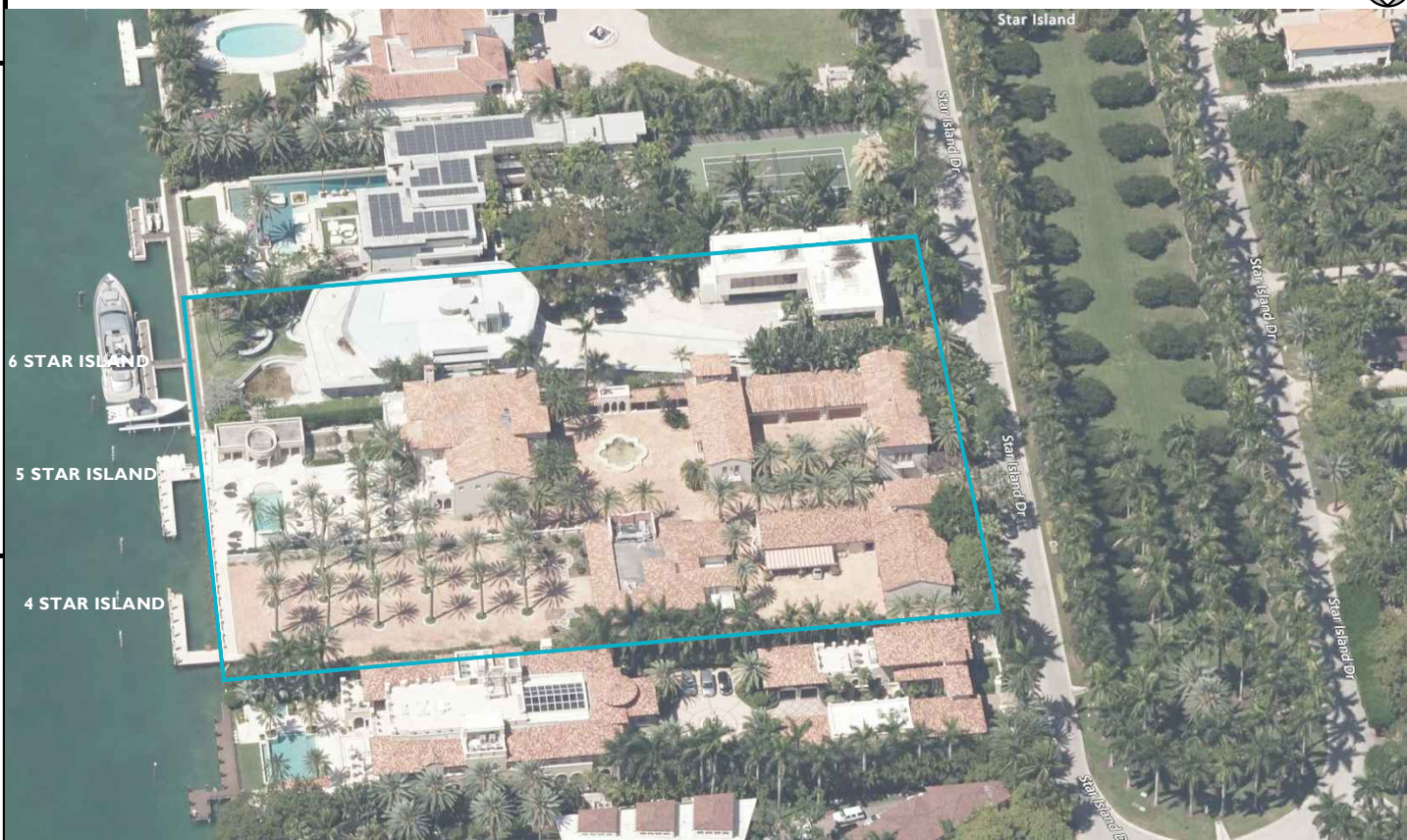




SITE AERIAL - NORTH



SITE AERIAL - WEST



SITE AERIAL - SOUTH



SITE AERIAL - EAST

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344



PROJECT:	STAR ISLAND RESIDENCE
SHEET TITLE:	AXONOMETRIC VIEWS
SCALE:	N.T.S.
SHEET NUMBER:	A0.03



BISCAYNE BAY

W Star Island Dr.

LOT 6

LOT 5

LOT 4

PHOTO LOCATIONS 

FINAL DRB SUBMITTAL

MAY 10, 2021

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344



PROJECT:
STAR ISLAND RESIDENCE

SHEET TITLE:
BUILDING PHOTO LOCATIONS

SHEET NUMBER:
A0.04



2021-03-18

I. VIEW OF LOT 4 FACING EAST



2021-03-18

2. VIEW OF LOT 4 FACING WEST



2021-03-18

3. VIEW OF LOT 2 FACING SW



2021-03-18

4. VIEW OF LOT 4 FACING NW

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL



JENNIFER MCCONNEY FLORIDA LIC# 12454

REV#

PROJECT:
STAR ISLAND
RESIDENCE

SHEET
TITLE:
BUILDING PHOTOS

SCALE:

SHEET
NUMBER:
A0.05



5. VIEW OF LOT 4 FACING EAST



6. VIEW OF LOT 4 FACING NORTH



7. VIEW OF LOT 4 FACING WEST



8. VIEW OF LOT 4 FACING NW

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL



JENNIFER MCCONNEY FLORIDA LIC# 12457

REV#

PROJECT

STAR ISLAND
RESIDENCE

SHEET

BUILDING PHOTOS

SCALE

SHEET

A0.06



2021-03-18

9. VIEW OF LOT 4 FACING NORTH



2021-03-18

10. VIEW OF LOT 4 FACING WEST



2021-03-18

11. VIEW OF LOT 4 FACING SW



2021-03-18

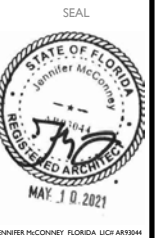
12.. VIEW OF LOT 4 FACING SE

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344



JENNIFER MCCONNEY FLORIDA LIC# AR0504

PROJECT:
STAR ISLAND
RESIDENCE

SHEET
TITLE:
BUILDING PHOTOS

SCALE:

SHEET
NUMBER:



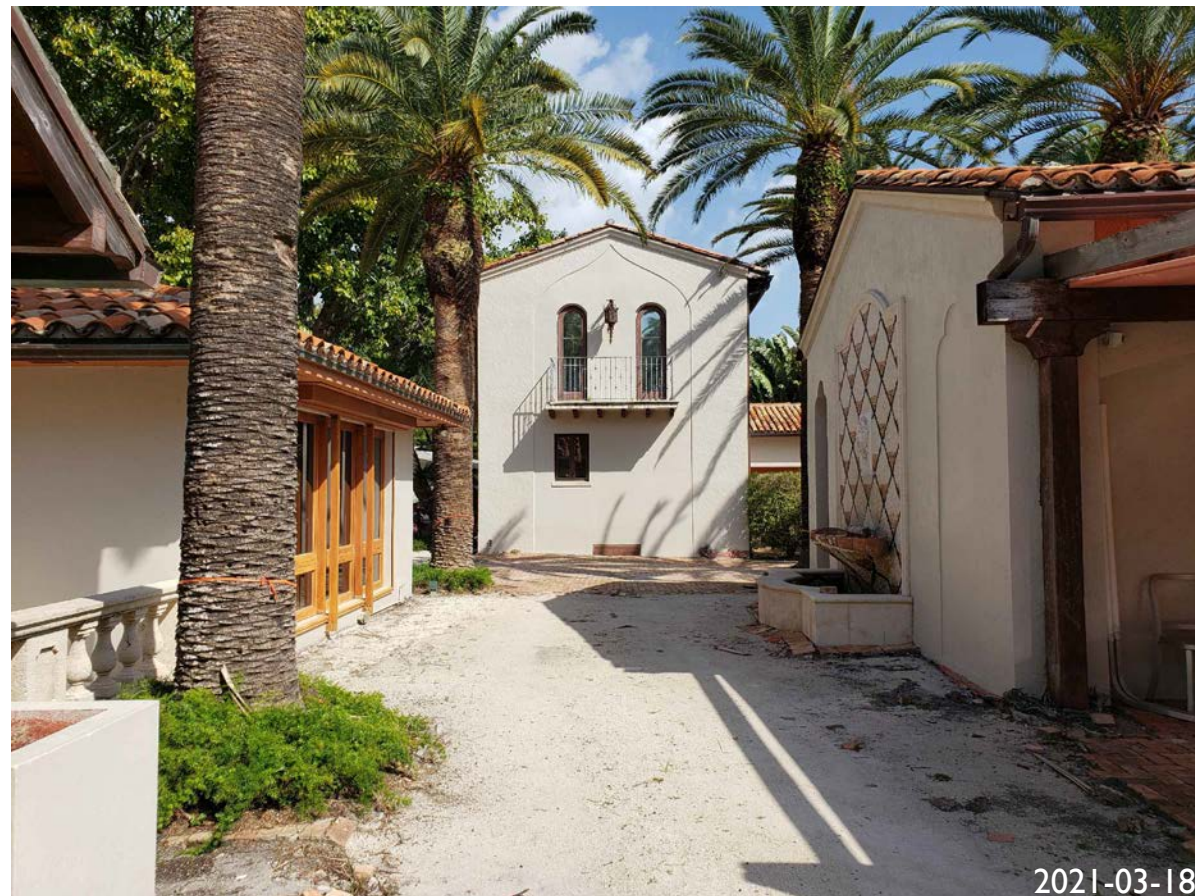
2021-03-18

13. VIEW OF LOT 4 FACING NE



2021-03-18

14. VIEW OF LOT 4 FACING NW



2021-03-18

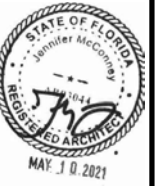
15. VIEW OF LOT 4 FACING NORTH



2021-03-18

16. VIEW OF LOT 4 FACING WEST

SEAL



JENNIFER MCCONNEY, FLORIDA LIC# 12477

REV:

NO.

DATE

BY

NO.

DATE

BY

NO.

DATE

BY

NO.

DATE

BY

NO.

DATE

BY

NO.

DATE

BY



2021-03-18

21. VIEW OF LOT 5 FACING SW



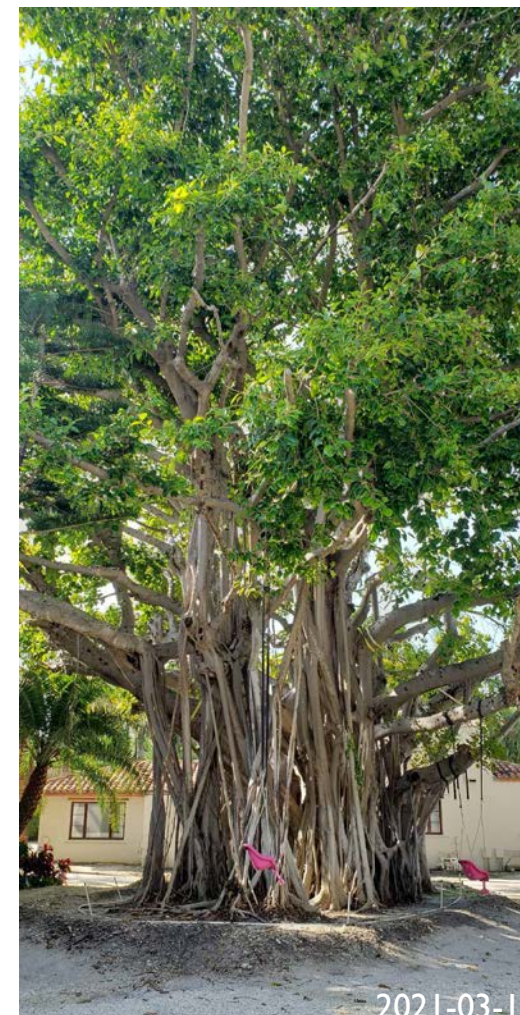
2021-03-18

22. VIEW OF LOTS 5 AND 6 FACING EAST



2021-03-18

23. VIEW OF LOT 5 FACING SW



2021-03-18

24. TREE IN LOT 5 COURTYARD

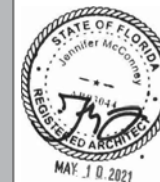
DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL



JENNIFER MCCONNEY, FLORIDA LIC# 12574

REV:

PROJECT:

STAR ISLAND
RESIDENCE

SHEET
TITLE:

BUILDING PHOTOS

SCALE:

SHEET
NUMBER:

A0.10



2021-03-18

33. VIEW OF LOT 5 FACING EAST



2021-03-18

34. VIEW OF LOT 5 FACING EAST



2021-03-18

35. VIEW OF LOT 5 FACING WEST



2021-03-18

36. VIEW OF LOT 5 FACING NORTH

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344



NO:	
PROJECT:	STAR ISLAND RESIDENCE
SHEET TITLE:	BUILDING PHOTOS
SCALE:	
SHEET NUMBER:	A0.13

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344



2021-03-18

37. VIEW OF LOT 6 ENTRANCE.
EXISTING GUESTHOUSE TO BE
REMODELED



2021-03-18

38. VIEW OF LOT 6 BUILDING (UNDER CONSTRUCTION)
TO BE REMOVED FACING WEST



2021-03-18

39. VIEW OF EXISTING GUESTHOUSE TO BE REMODELED
LOT 6 FACING NW



40. VIEW OF EXISTING GUESTHOUSE TO BE REMODELED
LOT 6 FACING NE

SEAL



JENNIFER MCCONNEY FLORIDA LIC# 485934

REV:

PROJECT:
STAR ISLAND
RESIDENCE

SHEET
TITLE:
BUILDING PHOTOS

SCALE:

SHEET
NUMBER:
A0.14

MAY 10, 2021

DESIGNER:
SCOTT MITCHELL STUDIO
181 NORTH MARTEL AVE.
LOS ANGELES, CA 90036
CONTACT: SCOTT MITCHELL
(323) 933-9076

LOCAL ARCHITECT:
STUDIO Mc+G ARCHITECTURE
7500 NE 4TH COURT
STUDIO 102
MIAMI, FL 33138
JENNIFER MCCONNEY-GAYOSO
(305) 573-2728

LANDSCAPE:
RAYMOND JUNGLES, INC.
2954 AVIATION AVENUE
COCONUT GROVE, FL 33133
CONTACT: BENJAMIN GREEN
(305) 858-6777

OWNER'S REPRESENTATIVE:
HANDCRAFT CONSTRUCTION
MANAGEMENT, INC.
1488 NW 3RD STREET
DEERFIELD BEACH, FL 33442
CONTACT: JERRY ROWLAND
(954) 418-6344

SEAL



JENNIFER MCCONNEY FLORIDA LIC# 12574

REV:

PROJECT:

STAR ISLAND
RESIDENCE

SHEET
TITLE:

BUILDING PHOTOS

SCALE:

SHEET
NUMBER:

A0.16



2021-03-18

45. VIEW OF LOT 6 FACING EAST



2021-03-18

46. VIEW OF LOT 6 ROOF DECK FACING EAST



2021-03-18

47. VIEW OF LOT 6 REAR YARD FACING SW



2021-03-18

48. VIEW OF LOT 6 ROOF DECK FACING WEST

