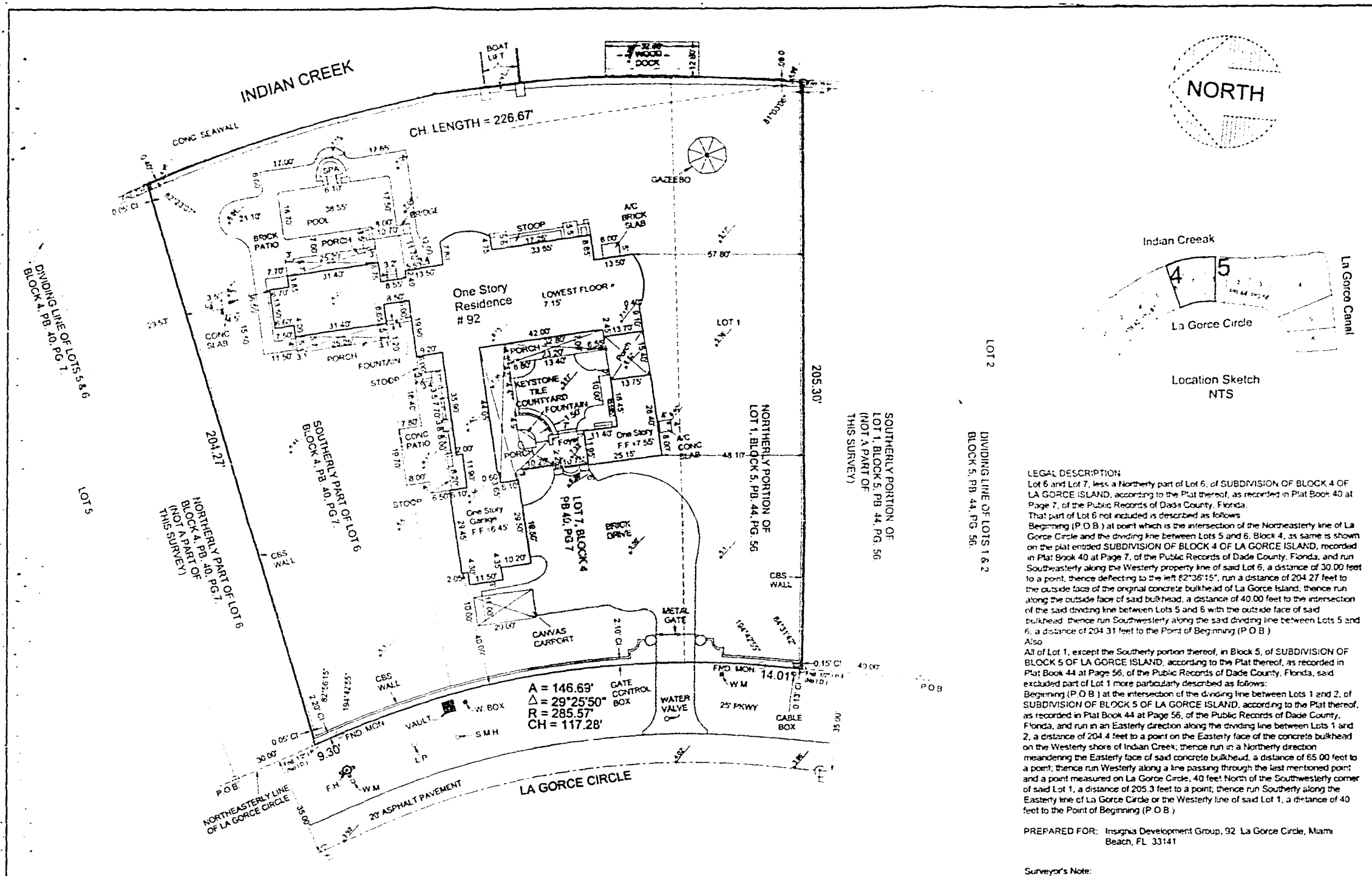


2002
renovation & addition

PERMIT #

B0203220

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LEGAL DESCRIPTION:
 Lot 6 and Lot 7, less a Northern part of Lot 6, of SUBDIVISION OF BLOCK 4 OF LA GORCE ISLAND, according to the Plat thereof, as recorded in Plat Book 40 at Page 7, of the Public Records of Dade County, Florida.
 That part of Lot 6 not included is described as follows:
 Beginning (P.O.B.) at point which is the intersection of the Northeastly line of La Gorce Circle and the dividing line between Lots 5 and 6, Block 4, as same is shown on the plat entitled SUBDIVISION OF BLOCK 4 OF LA GORCE ISLAND, recorded in Plat Book 40 at Page 7, of the Public Records of Dade County, Florida, and run Southeastly along the Western property line of said Lot 6, a distance of 30.00 feet to a point, thence deflecting to the left 82°26'15", run a distance of 204.27 feet to the outside face of the original concrete bulkhead of La Gorce Island, thence run along the outside face of said bulkhead, a distance of 40.00 feet to the intersection of the said dividing line between Lots 5 and 6 with the outside face of said bulkhead, thence run Southwestly along the said dividing line between Lots 5 and 6, a distance of 204.31 feet to the Point of Beginning (P.O.B.)

Also:
 All of Lot 1, except the Southern portion thereof, in Block 5, of SUBDIVISION OF BLOCK 5 OF LA GORCE ISLAND, according to the Plat thereof, as recorded in Plat Book 44 at Page 56, of the Public Records of Dade County, Florida, said including part of Lot 1 more particularly described as follows:
 Beginning (P.O.B.) at the intersection of the dividing line between Lots 1 and 2, of SUBDIVISION OF BLOCK 5 OF LA GORCE ISLAND, according to the Plat thereof, as recorded in Plat Book 44 at Page 56, of the Public Records of Dade County, Florida, and run in an Easterly direction along the dividing line between Lots 1 and 2, a distance of 204.4 feet to a point on the Easterly face of the concrete bulkhead on the Western shore of Indian Creek, thence run in a Northernly direction meandering the Easterly face of said concrete bulkhead, a distance of 65.00 feet to a point, thence run Westerly along a line passing through the last mentioned point, and a point measured on La Gorce Circle, 40 feet North of the Southwestly corner of said Lot 1, a distance of 205.3 feet to a point, thence run Southernly along the Easterly line of La Gorce Circle or the Western line of said Lot 1, a distance of 40 feet to the Point of Beginning (P.O.B.)

PREPARED FOR: Insignia Development Group, 92 La Gorce Circle, Miami Beach, FL 33141

Surveyor's Note:
 - X Denotes Spot Elevation
 - Elevations shown refer to National Geodetic Vertical Datum 1929

NOTES:
 - All distances and/or encroachments shown herein are of apparent nature. Fence ownership by record owners. Legal ownership of fences not determined.
 - Underground structures, if any, not located.
 - Bearings, if shown, are based on assumed meridian or Plat of Record.
 - Lands shown herein were not abstracted for easements and/or rights-of-way of record.
 - Legal description provided by client.

SYMBOL	DESCRIPTION
1	Center Line
2	Center Line
3	Center Line
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9	Center Line
10	Center Line
11	Center Line
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50	Center Line

Legend: 1 - Center Line, 2 - Center Line, 3 - Center Line, 4 - Center Line, 5 - Center Line, 6 - Center Line, 7 - Center Line, 8 - Center Line, 9 - Center Line, 10 - Center Line, 11 - Center Line, 12 - Center Line, 13 - Center Line, 14 - Center Line, 15 - Center Line, 16 - Center Line, 17 - Center Line, 18 - Center Line, 19 - Center Line, 20 - Center Line, 21 - Center Line, 22 - Center Line, 23 - Center Line, 24 - Center Line, 25 - Center Line, 26 - Center Line, 27 - Center Line, 28 - Center Line, 29 - Center Line, 30 - Center Line, 31 - Center Line, 32 - Center Line, 33 - Center Line, 34 - Center Line, 35 - Center Line, 36 - Center Line, 37 - Center Line, 38 - Center Line, 39 - Center Line, 40 - Center Line, 41 - Center Line, 42 - Center Line, 43 - Center Line, 44 - Center Line, 45 - Center Line, 46 - Center Line, 47 - Center Line, 48 - Center Line, 49 - Center Line, 50 - Center Line.

Legend: 1 - Center Line, 2 - Center Line, 3 - Center Line, 4 - Center Line, 5 - Center Line, 6 - Center Line, 7 - Center Line, 8 - Center Line, 9 - Center Line, 10 - Center Line, 11 - Center Line, 12 - Center Line, 13 - Center Line, 14 - Center Line, 15 - Center Line, 16 - Center Line, 17 - Center Line, 18 - Center Line, 19 - Center Line, 20 - Center Line, 21 - Center Line, 22 - Center Line, 23 - Center Line, 24 - Center Line, 25 - Center Line, 26 - Center Line, 27 - Center Line, 28 - Center Line, 29 - Center Line, 30 - Center Line, 31 - Center Line, 32 - Center Line, 33 - Center Line, 34 - Center Line, 35 - Center Line, 36 - Center Line, 37 - Center Line, 38 - Center Line, 39 - Center Line, 40 - Center Line, 41 - Center Line, 42 - Center Line, 43 - Center Line, 44 - Center Line, 45 - Center Line, 46 - Center Line, 47 - Center Line, 48 - Center Line, 49 - Center Line, 50 - Center Line.

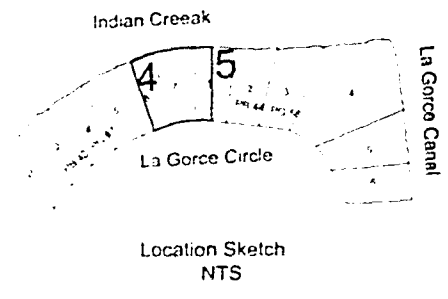
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1. ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, 2001 EDITION.
2. CONCRETE SHALL HAVE 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, UNLESS OTHERWISE NOTED (U.O.N.).
3. REINFORCING STEEL SHALL CONFORM TO ASTM A 615 GRADE (60,000 PSI MIN. YIELD STRENGTH).
4. STRUCTURAL STEEL SHALL MEET ASTM A 36 SPECS (36,000 PSI MIN. YIELD STRENGTH).
5. REINFORCING STEEL SHALL BE DETAILED AND FABRICATED ACCORDING TO THE AIA MANUAL OF STANDARD PRACTICE FOR DETAILED REINFORCED CONCRETE STRUCTURES, U.O.N.
6. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE BEFORE STARTING WORK. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
7. STRUCTURAL DRAWINGS SHALL BE WORKED TOGETHER WITH ARCHITECTURAL, A/C, ELECTRICAL AND MECHANICAL DWGS. TO LOCATE OPENINGS, DRAINS, SLEEVES, SLOPES, DEPRESSED SLABS, BOLTS, CURBS, BEFORE CONSTRUCTION BEGINS, ETC.
8. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 307 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS".
9. REMOVAL OF FORM WORK SHALL BE IN ACCORDANCE WITH ACI 307 "RECOMMENDED PRACTICE FOR CONCRETE FORMWORK".
10. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ARCHITECT/ENGINEER'S APPROVAL.
11. DO NOT SCALE DIMENSIONS. DRAWINGS GOVERN.
12. REBARS SHOWN ON SECTIONS ARE FOR PLACEMENT DETAIL ONLY. SIZE AND AMOUNT OF REBARS ARE AS PER SCHEDULES.
13. SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
14. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.
15. THIS OFFICE DOES NOT ACCEPT ANY RESPONSIBILITY FOR THE INTERPRETATION OF THESE PLANS BY OTHERS, UNLESS REQUESTED IN WRITING, AND IT IS GIVEN THE AUTHORITY TO CHECK AND APPROVE SHOP DRAWINGS, AND TO VERIFY THE ACTUAL PLACING OF REBARS IN THE FIELD.
16. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL ORDINANCES AND THE FLORIDA BUILDING CODE, CURRENT EDITION.
17. SEE PERMITS PROTECTION NOTE ON THIS PAGE.

PERMITS PROTECTION NOTE

- ALL EXISTING LANDSCAPING TO REMAIN, UNLESS INDICATED OTHERWISE FOR NEW ADDITIONS.
 PROVIDE REPLACEMENT SOB AS REQUIRED AT COMPLETION OF CONSTRUCTION.
- ALL WINDOWS & DOORS TO BE WHITE, IMPACT APPROVED, NO SHUTTERS REQUIRED.
 ALL HOLDINGS SMOOTH CEMENT WHITE.
 ALL FACIA & SOFFITS WHITE.

BURGLAR INTRUSION NOTES:

1. ALL LOCKS ON EXTERIOR DOORS SHALL BE CAPABLE OF RESISTING A FORCE OF 300 LBS., APPLIED IN ANY DIRECTION AND IN ACCORDANCE WITH RESISTANCE STANDARDS SET FORTH IN SECTION BC OF THE METROPOLITAN DADE COUNTY CODE.
2. ALL SINGLE EXTERIOR SWING DOORS SHALL HAVE A LOCK TO BE KEYPERATED FROM EXTERIOR. IF KEY KNOB IS USED AN AUXILIARY DEAD BOLT WITH HARDENED
3. THE ACTIVE LEAF OF PAIRS OF EXTERIOR SWING DOORS SHALL HAVE SAME LOCKS AS REQUIRED FOR SINGLE EXTERIOR SWING DOORS. THE INACTIVE LEAF OF THESE PAIRS OF DOORS SHALL HAVE MULTIPLE POINT LOCKS WITH 5/8" MIN. THROW BOLTS WITH INSERTS.
4. OVERHEAD DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT, WITH HARDENED BOLTS, OR BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS AT A MIN. OF 5/8". OTHER LOCKING DEVICES SHALL NOT BE REQUIRED WHERE SUCH DOORS ARE CONTROLLED AND LOCKED BY ELECTRIC POWER.
5. HINGES ON EXTERIOR OR DOOR SWINGING DOORS SHALL HAVE NON EXPOSED SCREWS, AND NON-REMOVABLE PINS.
6. JAMBS OF ALL EXTERIOR OFFSET TYPE IN SWINGING DOORS SHALL BE RABBETED, OF SIMILAR FABRICATION TO PREVENT DEFEATING THE PURPOSE OF THE STRIKE AND THE INTEGRITY OF LOCKS AND LATCHES.
7. SINGLE SWINGING EXT. DOORS, IF WOOD, SHALL BE SOLID CORE OF NOT LESS THAN 1 5/8" THICK.
8. GLASS TO EXTERIOR DOORS SHALL COMPLY WITH THE AMERICAN NATIONAL STANDARDS INSTITUTES Z97.1.
9. VISION PANELS IN EXTERIOR DOORS, OTHER THAN GLAZING WITHIN 40" OF THE INSIDE LOCKING ACTIVATING DEVICE OF LOCKS AND SWINGING GLASS DOORS SHALL COMPLY WITH AMERICAN NATIONAL STANDARDS INSTITUTES STANDARDS Z97.1.
10. VENTS IN OVERHEAD GARAGE TYPE DOORS SHALL NOT BE INSTALLED CLOSER THAN 40" TO THE INSIDE LOCK ACTIVATING DEVICE.
11. SLIDING GLASS DOORS AND WINDOWS SHALL BE INSTALLED AND CONSTRUCTED SO THAT NO PANEL CAN BE LIFTED FROM THE TRACKS WHEN IN THE LOCKED POSITION AND SO AS TO COMPLY WITH THE ARCHITECTURAL ALUMINUM MFGS. ASSOC. STANDARDS FOR FORCED ENTRY RESISTANCE, AAMA 1303.3.
12. SINGLE SWINGING EXTERIOR AND SWING DOORS CONNECTING LIVING AREAS WITH GARAGE AREAS SHALL BE MIN. OF 1 3/8" THICK, SOLID CORE, AND SHALL BE SECURED WITH A LATCH AND SINGLE DEAD BOLT WITH ONE INCH MIN. THROW, OR A COMBINATION OF DEAD BOLT SETS WITH LATCH THROW A MIN. OF 1 1/2" AND BOLTS HAVING A 1" MIN. THROW.
13. FRONT MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH A DOORS SCOPE OR VISION PANELS.

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. FT.)
1	NET LAND AREA	41,207.51 S.F.	
2	AREA EXISTING BUILDING	2,636.347 S.F.	
3	AREA NEW GARAGE	4,412.356 S.F.	
4	AREA NEW DRIVE	691,094 S.F.	
5	AREA NEW DRIVE	470.72 S.F.	
6	AREA NEW DRIVE	7,112.869 S.F.	
7	NEW TOTAL AREA		
8	NEW TOTAL AREA		

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. FT.)
1	REMODEL	34'-9"	
2	REMODEL	45'-0"	
3	REMODEL	27'-7"	7'-5"
4	REMODEL	37'-0"	8'-4"

SITE TO BE FILLED TO COUNTY FLOOD CRITERIA ELEVATION N.G.V.D. OR AN ELEVATION NO LESS THAN THE HIGHEST APPROVED CROWN ELEVATION OF THE ROAD ABUTTING THE PROPERTY.

AREA ADJACENT TO LAKE OR CANAL TO BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER INTO LAKE OR CANAL.

LOT WILL BE GRADED SO AS TO PREVENT DIRECT OVERLAND DISCHARGE OF STORM WATER ONTO ADJACENT PROPERTY. APPLICANT WILL PROVIDE CERTIFICATION PRIOR TO FINAL INSPECTION.

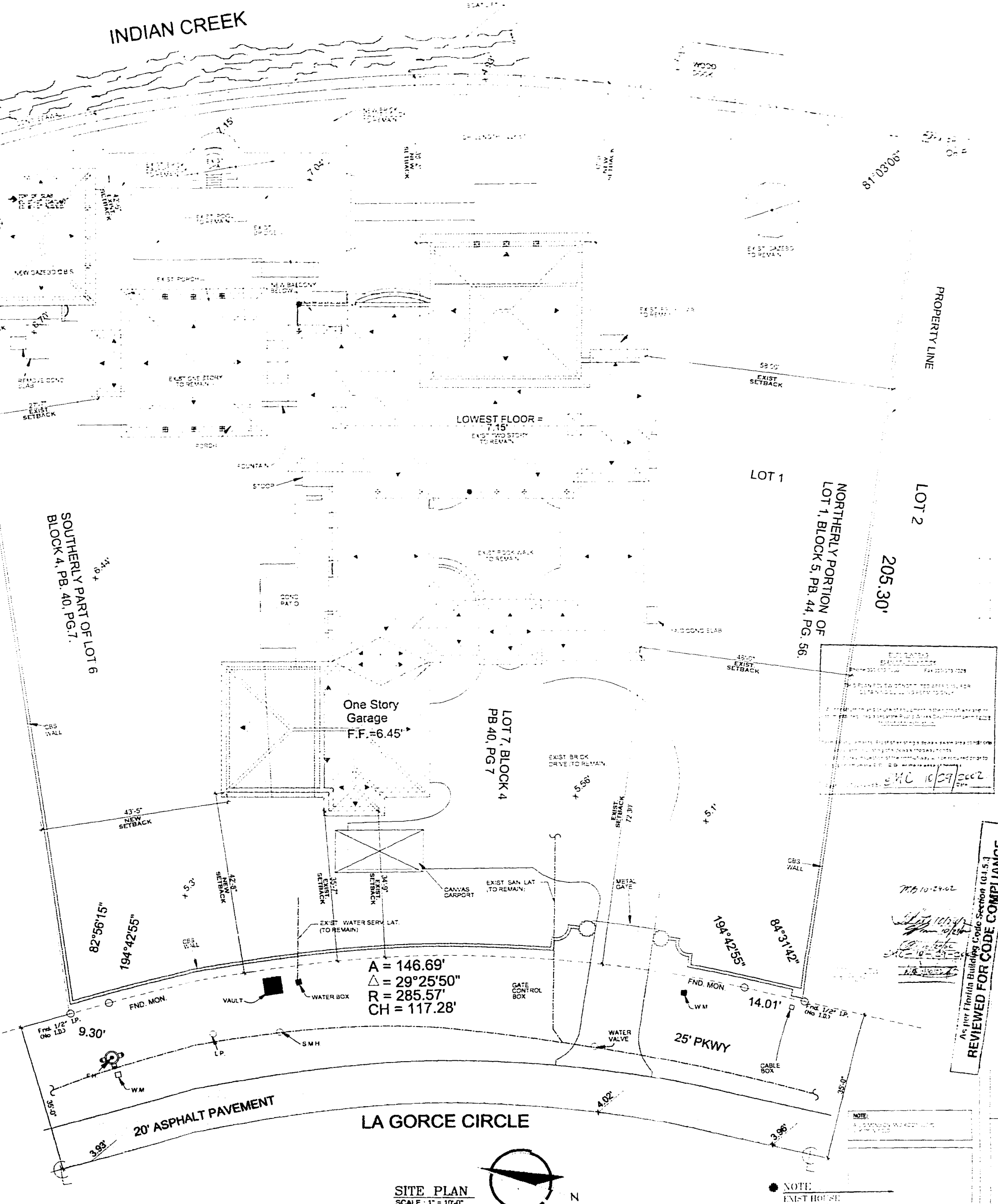
FLOOD LEGEND
 ADDITION, REMODELING, REPAIRS & COMBINATION

NO.	DESCRIPTION	AREA (SQ. FT.)	AREA (SQ. FT.)
1	EXISTING	715' N.G.V.D.	6.45' N.G.V.D.
2	PROPOSED	-0-	6.45' N.G.V.D.

THE OWNER OF THIS PROPERTY UNDERSTANDS THAT THE WORK AMOUNT INDICATED ABOVE IS GOING TO BE KEPT ON THE PERMIT RECORD DURING A SIX (6) MONTH PERIOD FROM THE DATE OF WHICH THE CERTIFICATE OF COMPLETION IS ISSUED. IF ANY ADDITION, REPAIR, RECONSTRUCTION, ALTERATION, ADDITION, REMODELING OR COMBINATION THEREOF IS DONE BEFORE THE CERTIFICATE OF COMPLETION IS ISSUED, OR WITHIN THE TRACKING PERIOD, IT WILL BE CONSIDERED A CONTINUANCE OF THE ABOVE WORK. IF THE PROPERTY IS DECLARED SUBSTANTIALLY IMPROVED OR DAMAGED AND THE FLOOR ELEVATION IS NOT IN COMPLIANCE WITH THE STRUCTURE WILL BE ELEVATED IN ACCORDANCE WITH CHAPTER 110 OF THE MIAMI-DADE COUNTY CODE.

LEGAL DESCRIPTION:
 LOT 6 AND LOT 7, LESS A NORTHERLY PART OF LOT 8, OF SUBDIVISION OF BLOCK 4 OF LA GORCE ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40 AT PAGE 7 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. THAT PART OF LOT 7, DESCRIBED AS FOLLOWS: BEGINNING (P.O.B.) AT POINT WHICH IS THE INTERSECTION OF THE NORTHEASTELY LINE OF LA GORCE ISLAND AND THE DIVIDING LINE BETWEEN LOTS 5 AND 6, BLOCK 4, AS SAME IS SHOWN ON THE PLAT ENTITLED "SUBDIVISION OF BLOCK 4 OF LA GORCE ISLAND, RECORDED IN PLAT BOOK 40 AT PAGE 7 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, AND RUN SOUTHEASTERLY ALONG THE WESTERLY LINE OF SAID LOT 6, A DISTANCE OF 30.00 FEET TO A POINT, THENCE DEFLECTING TO THE LEFT BY 38.15°, RUN A DISTANCE OF 204.27 FEET TO THE OUTSIDE FACE OF SAID BULKHEAD, A DISTANCE OF 40.00 FEET TO THE INTERSECTION OF THE SAID DIVIDING LINE BETWEEN LOTS 5 AND 6 WITH THE OUTSIDE FACE OF SAID BULKHEAD, THENCE RUN SOUTHWESTERLY ALONG THE SAID DIVIDING LINE BETWEEN LOTS 5 AND 6, A DISTANCE OF 204.31 FEET TO THE POINT OF BEGINNING (P.O.B.).

ALSO
 ALL OF LOT 1, EXCEPT THE SOUTHERLY PORTION THEREOF, IN BLOCK 5, OF SUBDIVISION OF BLOCK 5 OF LA GORCE ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44 AT PAGE 56 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA. SAID EXCLUDED PART OF LOT 1, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING (P.O.B.) AT THE INTERSECTION OF THE DIVIDING LINE BETWEEN LOTS 1 AND 2, OF SUBDIVISION OF BLOCK 5 OF LA GORCE ISLAND, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 44 AT PAGE 56 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, AND RUN IN AN EASTERLY DIRECTION ALONG THE DIVIDING LINE BETWEEN LOTS 1 AND 2, A DISTANCE OF 20.4 FEET TO A POINT, ON THE EASTERLY FACE OF THE CONCRETE BULKHEAD ON THE WESTERLY SHORE OF INDIAN CREEK, THENCE RUN IN A NORTHERLY DIRECTION MEASURING THE EASTERLY FACE OF SAID CONCRETE BULKHEAD, A DISTANCE OF 60.00 FEET TO A POINT, THENCE RUN WESTERLY ALONG A LINE PASSING THROUGH THE LAST MENTIONED POINT AND A POINT MEASURED ON LA GORCE CIRCLE, 40 FEET NORTH OF THE SOUTH-WESTERLY CORNER OF SAID LOT 1, A DISTANCE OF 209.3 FEET TO A POINT, THENCE RUN SOUTHERLY ALONG THE EASTERLY LINE OF LA GORCE CIRCLE OR THE WESTERLY LINE OF SAID LOT 1, A DISTANCE OF 40 FEET TO THE POINT OF BEGINNING (P.O.B.).



REVISIONS

NO.	DATE	DESCRIPTION
1	7/10/2002	7/20/02 BLDG DEPT.

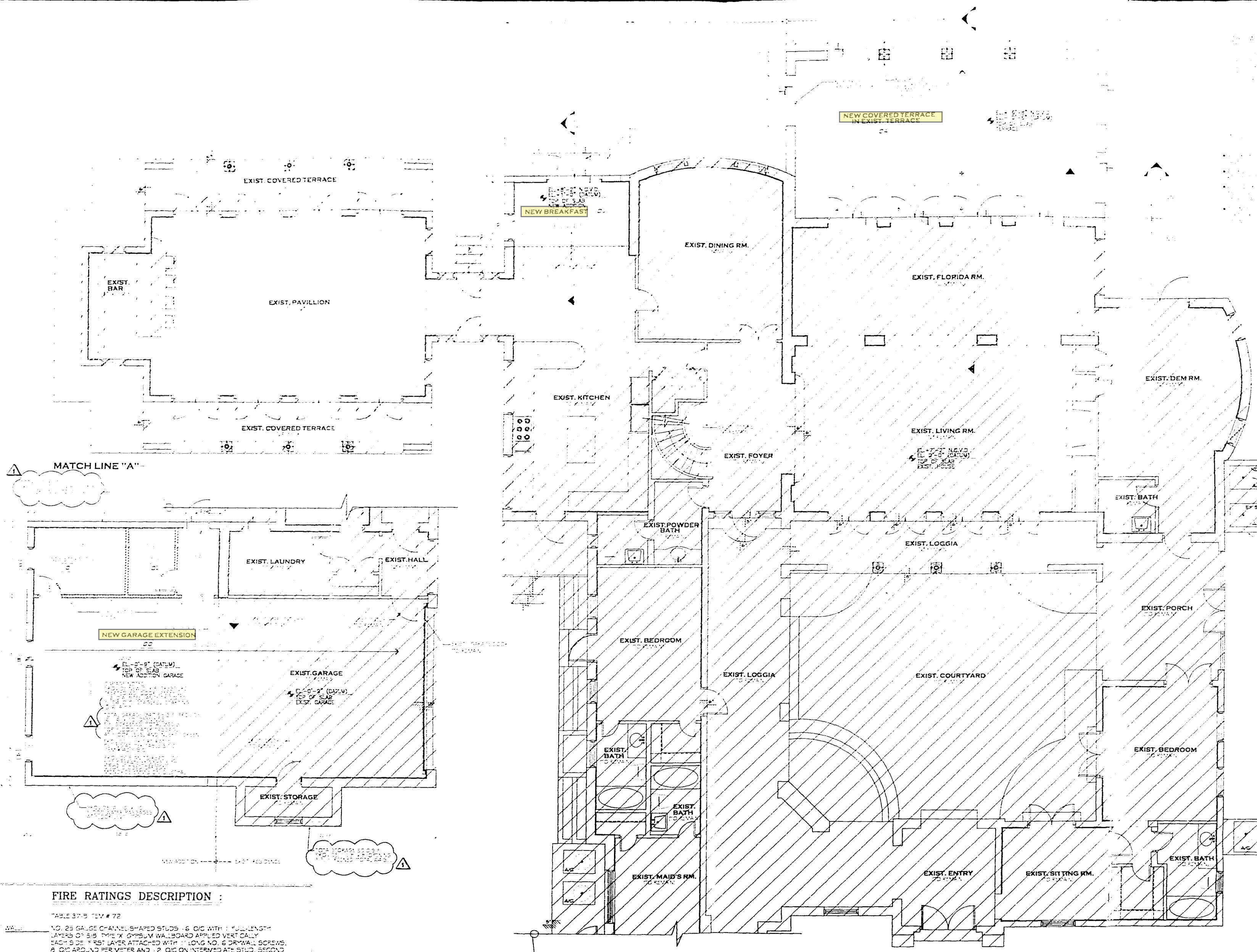
DATE: _____
 ISSUED: _____
 DRAWN: _____
 CHECKED: _____
 PROJECT NO: _____

As per Florida Building Code Section 101.5.1
REVIEWED FOR CODE COMPLIANCE

INSIGNIA
 DEVELOPMENT GROUP
 14147 W. BIRCH RD., SUITE 100
 MIAMI, FL 33186
 (305) 551-1111

LES MANSIONS, L.C.
 82 LA GORCE CIRCLE, MIAMI BEACH, FL 33141
 (305) 551-1111

sheet no. **A-1**
 1 of 10



INSIGNIA
 DEVELOPMENT GROUP
 MIAMI, FLORIDA

LES MANSIONS, L.C.
 92 LA GORGE CIRCLE, MIAMI BEACH FL 33141

NEW REMODELING FOR:

7/10/02
 [Signature]
 [Signature]
 [Signature]

REVIEWED FOR: [Signature]
 APPROVED FOR: [Signature]

date: _____
 issued: _____
 drawn: _____
 checked: _____
 project no: _____

sheet no.

A-2
 2 of 10

FIRE RATINGS DESCRIPTION :

TABLE 37-B ITEM # 72
 WALL: NO. 25 GAUGE CHANNEL SHAPED STUDS 16" O.C. WITH 1" FULL LENGTH LAYERS OF 5/8" TYPE W GYPSUM WALLBOARD APPLIED VERTICALLY. EACH SIDE 1" FIRST LAYER ATTACHED WITH 1" LONG NO. 6 DRYWALL SCREWS. 8" O.C. AROUND PERIMETER AND 12" O.C. ON INTERMEDIATE STUDS. SECOND LAYER APPLIED WITH VERTICAL JOINTS OFFSET ONE STUD SPACE FROM FIRST LAYER USING AN APPROVED ADHESIVE.

TABLE 37-C ITEM # 42
 ROOFING: 1" X 3" FURRING 16" O.C., ONE LAYER 5/8" TYPE X GYPSUM LATH, 5/8" CEMENT-COATED OR RING SHANKED NAILS 6" O.C. PAPER TAPE EMBEDDED IN CONVENTIONAL COMPOUND OVER JOINTS. EXPOSED NAIL HEADS COVERED WITH COMPOUND OVER JOINTS. EXPOSED NAIL HEADS COVERED WITH COMPOUND AND PRODUCT APPROVED INSULATION OF FIBERGLASS OR MINERAL WOOL BATS, OR BLOWN IN FIBERGLASS, MINERAL WOOL OR CELLULOSE INSULATION HAVING A MINIMUM INSULATION VALUE OF R-11.

MATCH LINE "A"
 FOR DETAILS OF THIS ZONE, SEE THIS SHEET

NOTE:
 ALL DIMENSIONS AND ROOM SIZES VERIFY FIELD

REMODELING FIRST FLOOR PLAN



LEGEND:

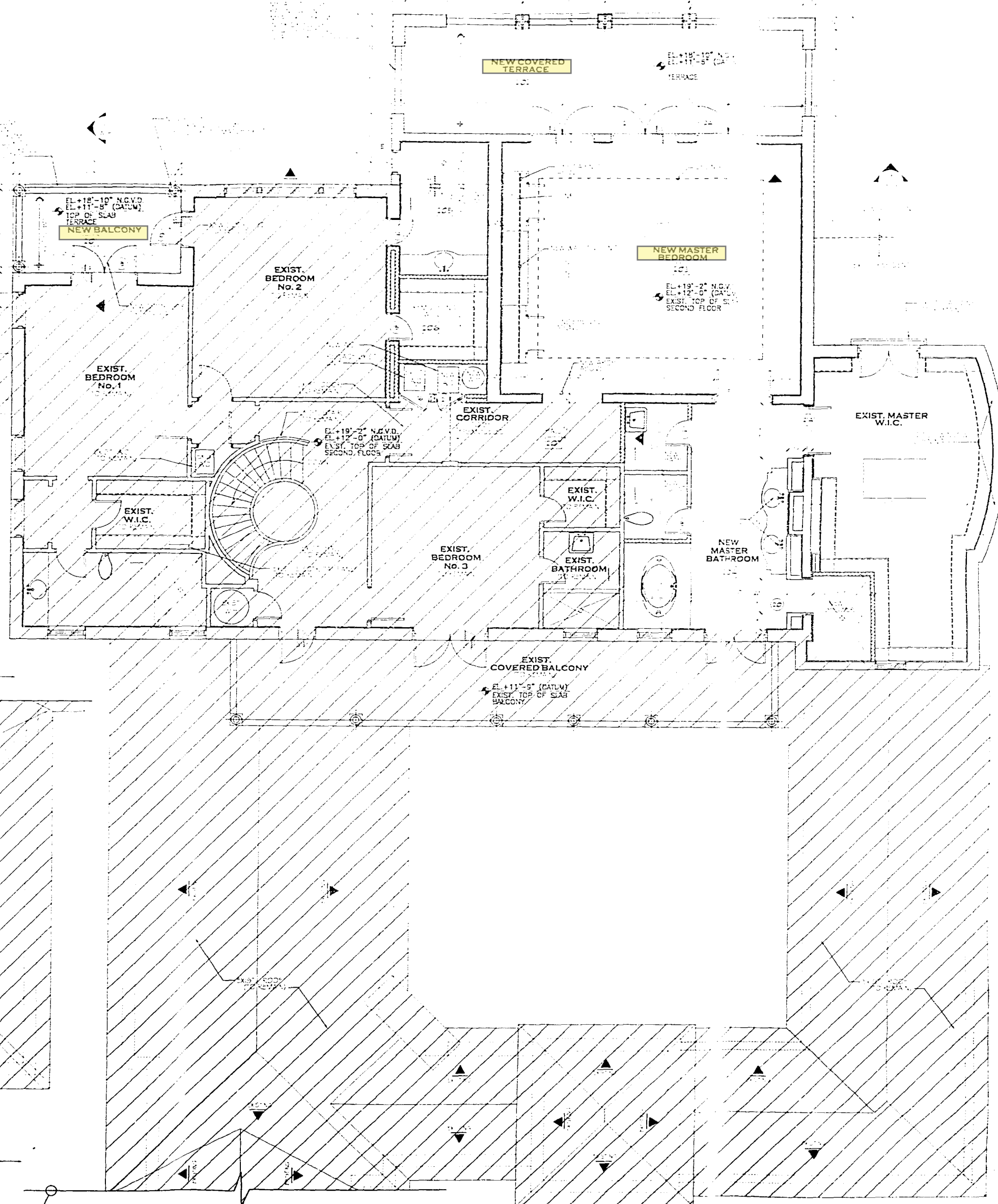
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[Symbol]	NEW CBS WALL
[Symbol]	EXIST. PARTITION
[Symbol]	NEW PARTITION
[Symbol]	EXIST. HOUSE TO REMAIN

REVIEWED BY: [Signature]
 DATE: 7/20/02

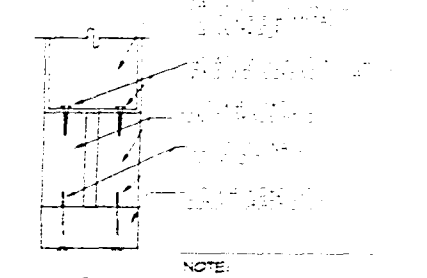
revisions

7/20/02	BLDG. DEPT.

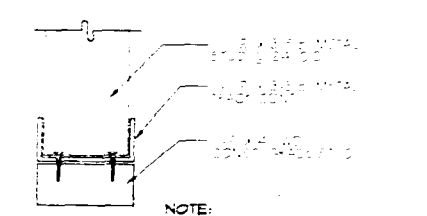
DATE: 7/20/02
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 CHECKED: [Signature]
 PROJECT NO.:



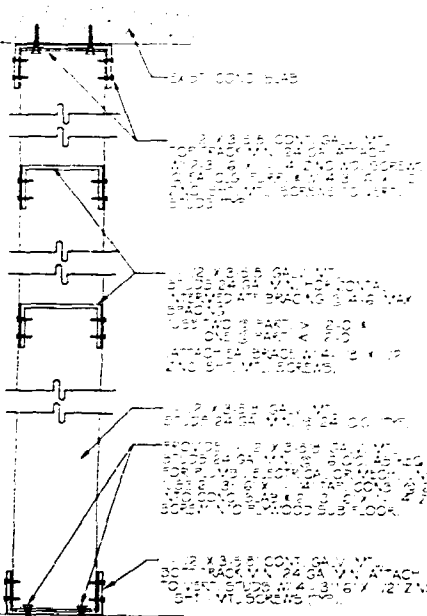
TYP. METAL PARTITION
 DOOR FRAMING DETAIL



DETAIL



DETAIL



DETAIL
 SCALE: 3/4\"/>

MATCH LINE "A"

MATCH LINE "B"
 FOR DETAILS OF THIS
 ZONE. SEE THIS SHEET

NOTE:
 ALL DIMENSIONS AND ROOM SIZES
 VERIFIED FIELD

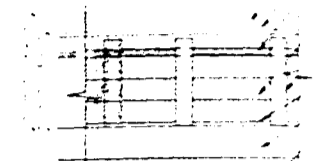
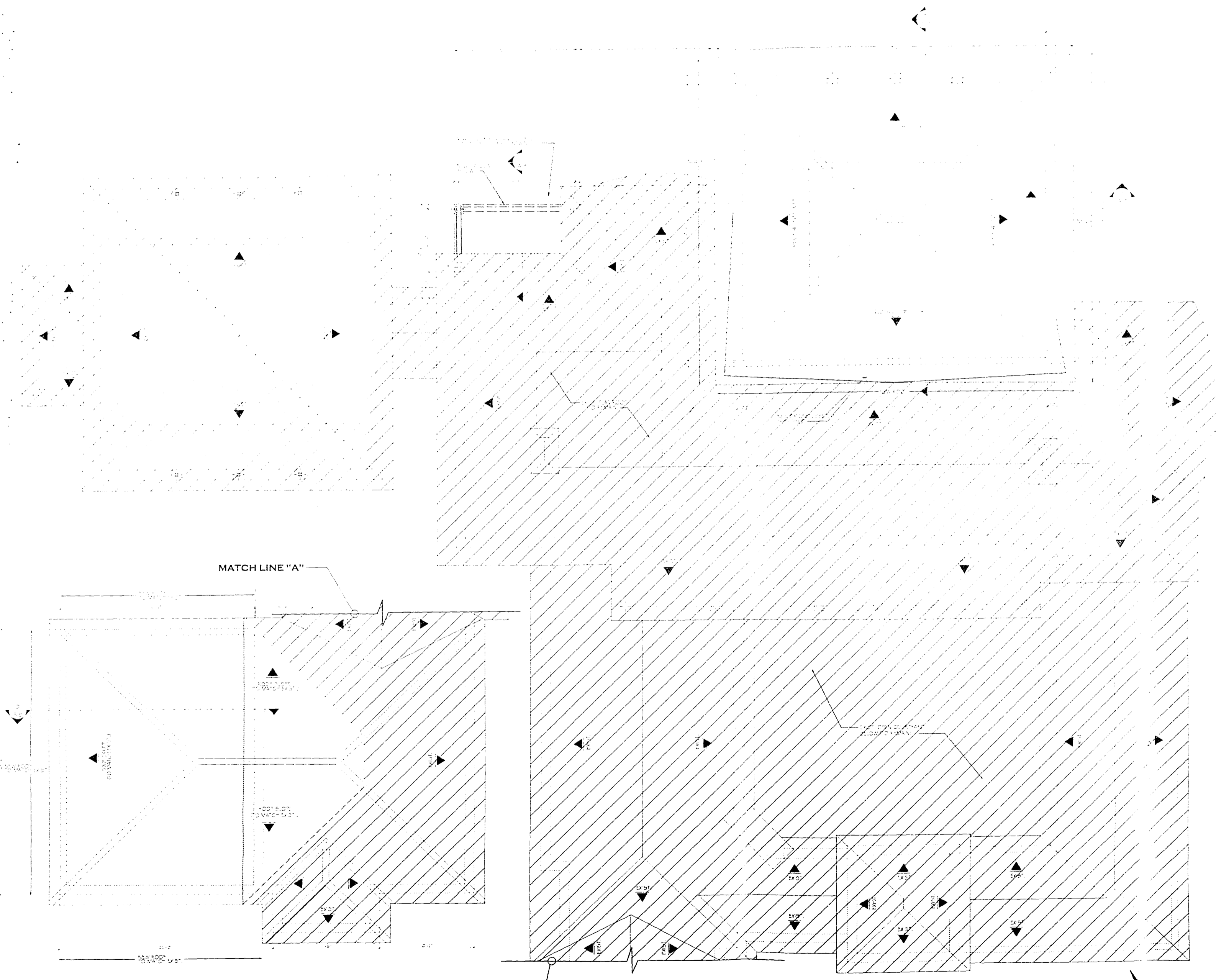
**REMODELING
 SECOND FLOOR PLAN**

LEGEND:

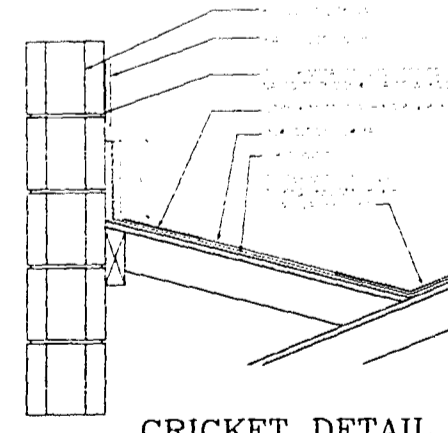
[Symbol]	EXIST. GBS WALL
[Symbol]	NEW GBS WALL
[Symbol]	EXIST. PARTITION
[Symbol]	NEW PARTITION
[Symbol]	EXIST. NO. TO REMAIN



ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND THE LATEST EDITIONS OF THE INTERNATIONAL ROOFING INSTITUTE (IRI) STANDARDS.



SOFFIT DETAIL (TYP.)



LEGEND:

[Symbol]	EXIST. CSS WALL
[Symbol]	NEW CSS WALL
[Symbol]	EXIST. PARTITION
[Symbol]	NEW PARTITION
[Symbol]	EXIST. ROOF TO REMAIN

NOTE:
ALL DIMENSIONS AND ELEVATIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.

REMODELING ROOF PLAN
SCALE 1/4" = 1'-0"



INSIGNIA
DEVELOPMENT GROUP
ALANGAVAZIL ALIA ARCHITECTS
12000 Northway 4, 7708 Court, Miami, FL 33157, PH: 305-575-1100

LES MANSIONS, L.C.
92 LA GORCE CIRCLE, MIAMI BEACH FL 33141

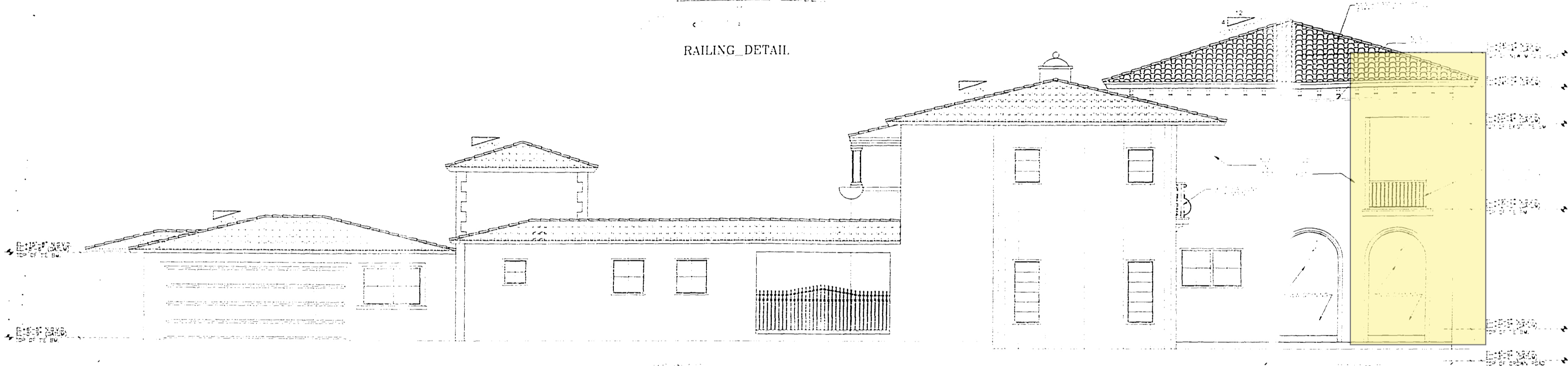
NEW REMODELING FOR:

revisions	
7/20/02	BLOS DEPT.
date	
issued	
drawn	
checked	
project no.	

sheet no.
A-4
4 of 10

As per Florida Building Code, Section 905.3
REVIEWED FOR CODE COMPLIANCE

RAILING DETAIL



PROPOSED
RIGHT SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



PROPOSED
REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

NOTE:
ALL DIMENSIONS AND FOOTINGS
VERY IMPORTANT

EXIST. RESIDENCE
(TO REMAIN)

NOTE:
ALL DIMENSIONS AND FOOTINGS
VERY IMPORTANT

INSIGNIA
DEVELOPMENT GROUP
ALANGAVAZI AA AR001-1003

NEW REMODELING FOR:
LES MANSIONS, L.C.
92 LA GORCE CIRCLE, MIAMI BEACH FL 33141

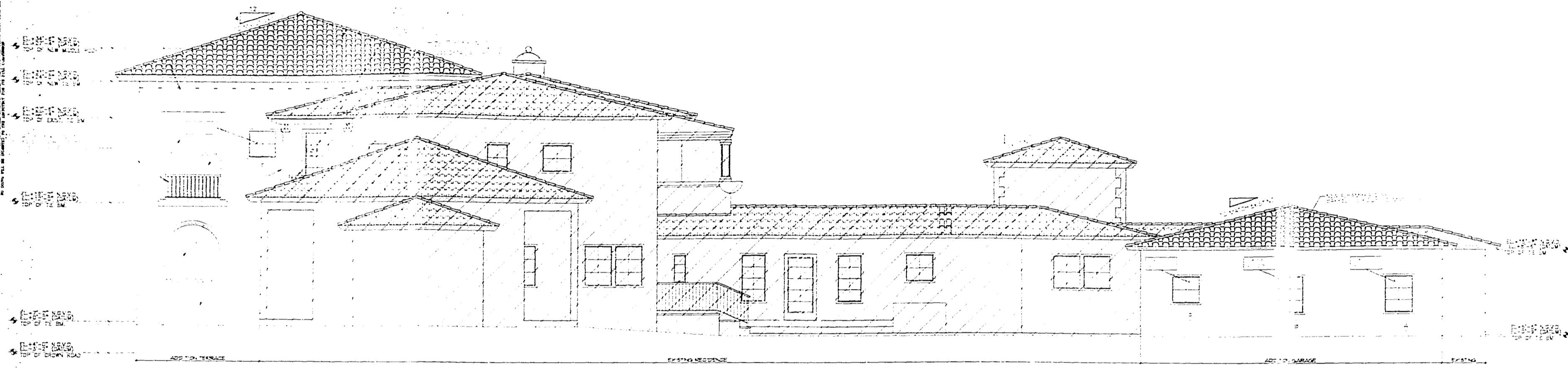
As per Florida Building Code Section 105.5.3
REVIEWED FOR CODE COMPLIANCE

revisions

7/20/08	BLDG. DEPT.

date: 3/08
issued: SAVER
drawn: SAVER
checked: SAVER
project no.:

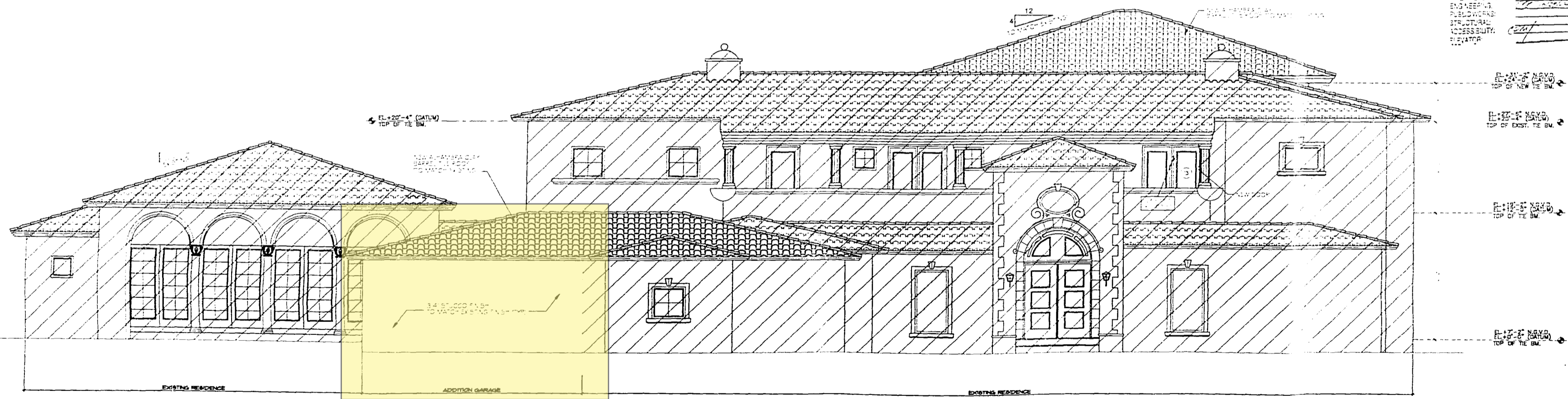
sheet no.
A-5
5 of 10



PROPOSED
LEFT SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

TRUE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY THE FOLLOWING:

BUILDING	<i>[Signature]</i>
ENGINEERING	<i>[Signature]</i>
ELECTRICAL	<i>[Signature]</i>
MECHANICAL	<i>[Signature]</i>
PLUMBING	<i>[Signature]</i>
STRUCTURAL	<i>[Signature]</i>
ACCESSIBILITY	<i>[Signature]</i>
TELEPHONE	<i>[Signature]</i>



PROPOSED
FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

REVISIONS

NO.	DATE	DESCRIPTION

NEW REMODELING FOR:

date / /
issued
drawn
checked
project no.

sheet no.

A-6

6 of 10

NOTE:
ALL DIMENSIONS AND ROOM SIZES
VERIFY IN FIELD.

NOTE:
ALL WORK SHALL BE IN ACCORDANCE WITH
THE CITY OF MIAMI BEACH
DEPARTMENT OF PERMITS
AND INSPECTION.

EXIST. RESIDENCE
(TO REMAIN)

ELECTRICAL NOTES:

- PART 1 - GENERAL**
- THE GENERAL AND SPECIAL CONDITIONS AND REQUIREMENTS OF THE CONTRACT AND SPECIFICATION AS WELL AS PLANS AND NOTIFICATIONS OF OTHER CONTRACTORS SHALL APPLY AND BE PART OF THIS WORK. HEREBY SPECIFIED THESE SPECIAL CONDITIONS AND THE NECESSARY PLANS AND NOTIFICATIONS FOR THE WORK SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
 - COMPLIANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND REGULATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
 - WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS RANKER AND SHALL BE COMPLETED AND FULLY OPERATIVE TO THE SATISFACTION OF THE ARCHITECT/ENGINEER.
 - MATERIALS CONTRACTOR SHALL PROVIDE ALL NEW MATERIALS BEARING THE UNDER WRITERS LABORATORY (UL) LABEL AS APPLICABLE MATERIALS SHALL BE ACCEPTABLE AND MEET STANDARDS QUALITY NORMALLY USED FOR THE PURPOSE AS CALLED FOR ON PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE DELIVERY SCHEDULES OF MATERIALS.
 - DRAWINGS ARE DIAGNOSTIC AND INTENDED TO SHOW APPROXIMATE EQUIPMENT LOCATION AND ARRANGEMENTS. NOT TO SHOW EVERY MINOR DETAIL. PLANS SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION AND DIMENSIONS. PROVIDE ALL SPECIAL FITTINGS AND ACCESSORIES REQUIRED FOR A COMPLETE, ACCEPTABLE, WORKING INSTALLATION.
 - SUPPLEMENTAL MATERIALS OR MANUFACTURED PRODUCTS NECESSARY TO COMPLY WITH THE INTENT OF THE CONTRACT DRAWINGS OR SPECIFICATIONS, BUT NOT SPECIFIED OR SPECIFIED ON THESE SECTIONS, SHALL BE PROVIDED AS REQUIRED TO COMPLETE THE INSTALLATION AT NOT ADDITIONAL COST TO THE OWNER.
 - EXISTING CONDITION CONTRACTOR SHALL VISIT THE JOB SITE AND ASCERTAIN ALL EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK. FAILURE TO DO SO WILL NOT BE ACCEPTED AS A REASON FOR REQUESTING EXTRA PAY WHEN THE EXISTING CONDITIONS RESULT IN EXTRA MATERIAL OR LABOR. ANY EXISTING CONDITION FOUND BY THE CONTRACTOR WHICH WILL ADVERSELY AFFECT THE WORK SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENTS OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
 - PERMITS CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, TAXES, INTEREST, TESTS, FINES AND OTHER ITEMS AS REQUIRED FOR THE INSTALLATION OF A COMPLETE ELECTRICAL SYSTEM AS OUTLINED HEREIN AND SHOWN ON PLANS. PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
 - INTERFERENCE PLANS ARE GENERALLY DIAGNOSTIC AND THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF OTHER TRADES, SO THAT INTERFERENCES WITH EXISTING CONDITIONS, CONDUITS, PIPING, PLUMBING, ARCHITECTURAL STRUCTURAL AND WORK WITH OTHER TRADES WILL BE AVOIDED.

- PART 2 - PRODUCTS**
- DISCONNECT SWITCHES FOR POOL AREA SHALL BE QUICK-MADE, QUICK-BRAKE ACTION, LOCKABLE TYPE PER NEC 680-12.
 - CONDUCTORS SHALL BE THW/THHN SOFT-DRAWN 95% CONDUCTIVITY COPPER INSTALLED IN CONDUIT, COLOR CODED PER NEC AND TRADE STANDARDS. MINIMUM SIZE SHALL BE #14 FOR POWER WIRING AND #18 FOR CONTROL CIRCUITS. PROVIDE #10 WIRES FOR 120V LOWER CIRCUIT HOMERUNS LONGER THAN 100 FEET, ASIDE FROM THE PANELBOARD CUTTER. CONDUCTORS ON THE LOAD SIDE OF A GFCI MUST NOT BE USED IN ANY RACEWAY OR OTHER ENCLOSURE CONTAINING CONDUCTORS THAT ARE NOT GFCI-PROTECTED.
 - CONDUIT SHALL BE "BUSH" OR "TWO" HOT-DIPPED GALVANIZED FOR ALL EXTERIOR LOCATIONS. WHERE EXPOSED TO PHYSICAL DAMAGE ALL FITTING SHALL BE STEEL. "PVC" SCHEDULE 40 SHALL BE USED WHERE CONDUIT IS RUN IN CONCRETE SLABS. "PVC" MAY BE RUN UNDERGROUND WHERE BURIED 18" BELOW FINISHED GRADE, 24" UNDER VEHICULAR TRAFFIC AREAS. GREENFIELD TYPE FLEXIBLE METALLIC CONDUIT SHALL BE USED FOR MOTORS AND VIBRATING EQUIPMENT CONNECTIONS. NOT TO EXCEED 18". PROVIDE "PVC" JACKETED TYPE FOR EXTERIOR AND/OR MOISTURE EXPOSED LOCATIONS FOR UNDERWATER LIGHTING FIXTURES AS PER NEC 680-20.
 - CONNECT ALL SMOKE DETECTORS AHEAD OF SWITCHES THRU BATHROOMS OR KITCHEN CIRCUIT. SMOKE DETECTORS SHALL OPERATE AT 120V AND HAVE BATTERY BACK-UP.
 - THIS CONTRACTOR SHALL COORDINATE WITH IFMIL THE CONNECTION FOR THIS SERVICE AND REVISE INTERRUPTING CAPACITY AVAILABLE PRIOR INSTALLATION OF ALL DISCONNECTING DEVICES AND INCREASE THE INTERRUPTING CAPACITY IN PANELS AND DISCONNECTING DEVICES IF REQUIRED.

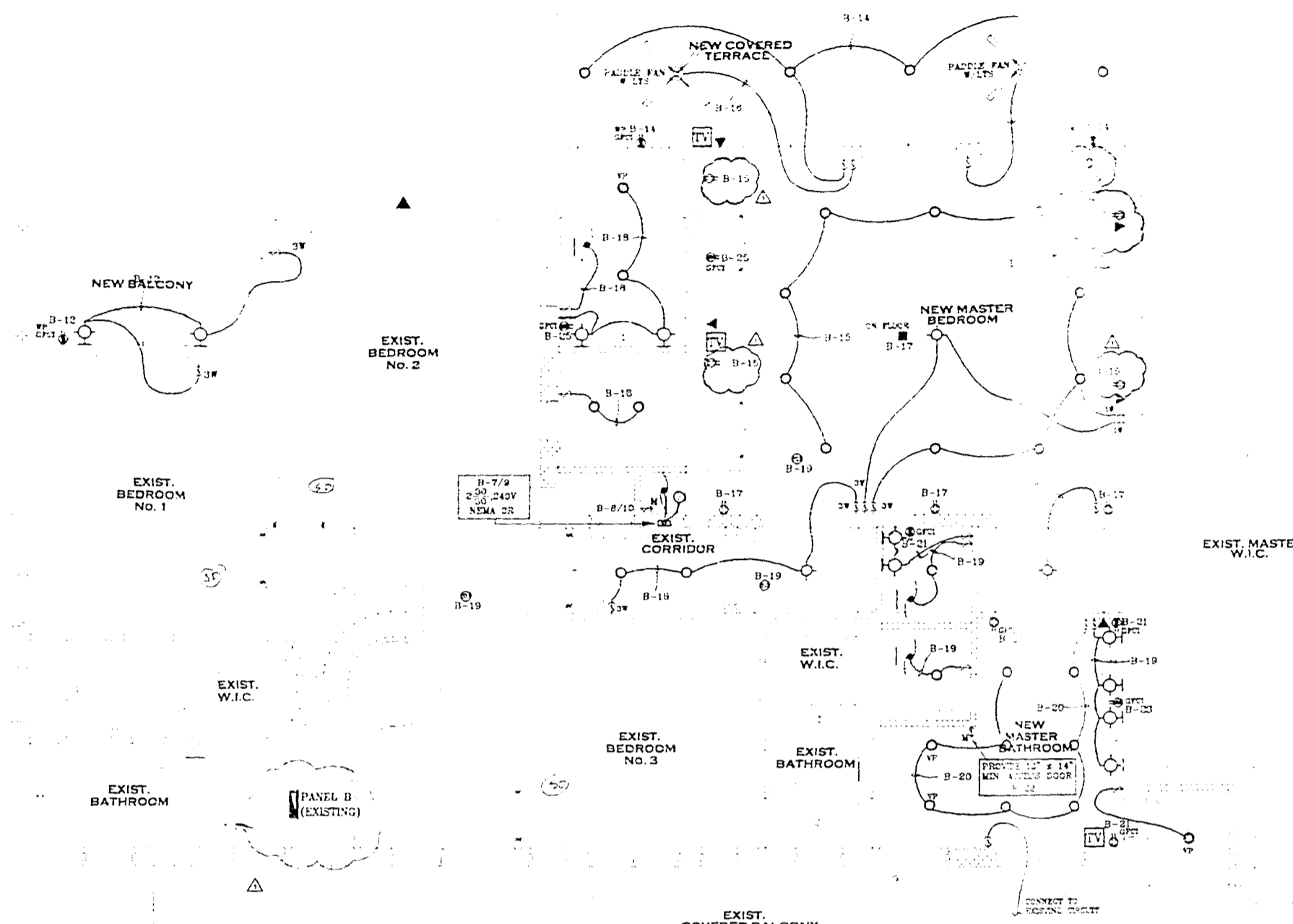
- PART 3 - EXECUTION**
- CONDUIT RUNS, RACEWAYS AND PIPING SHALL BE CONCEALED IN WALLS, CEILING, SLABS AND PARTITIONS. NO RACEWAYS SHALL BE EXPOSED WITHIN INTERIOR SPACES EXCEPT FOR OPEN CEILING AREAS.
 - GROUNDING AND BONDING SHALL COMPLY WITH NEC 250-60, 650-41 & 252. ALL METALLIC RACEWAYS SHALL BE GROUNDED AND BONDED PER NEC 250-60. NON-METALLIC RACEWAYS SHALL BE PROVIDED WITH A GROUNDING CONDUCTOR SIZED PER NEC 250-95. PROVIDE #4 BOLD BONDING CONDUCTOR TO CONNECT ALL METAL PARTS AT THE POOL SUCH AS POOL REINFORCE STEEL, METAL JET PUMP MOTORS, METAL CONDUITS, LIGHTING FIXTURES, METAL SHEET PILING AND SECONDARY WINDING OF POOL TRANSFORMERS, POOL STAIRS, ETC. TO COMPLY WITH 1999 NEC CODE SECTION 680-20.
 - MOTORS, TRANSFORMERS AND MECHANICAL EQUIPMENT SHALL BE PROVIDED WITH GREENFIELD FLEXIBLE CONDUITS, WAREHOUSES WHERE EXPOSED TO MOISTURE AND WEATHER CONDITIONS. MOTORS, TRANSFORMERS AND MECHANICAL EQUIPMENT FOR THE POOL AND JACUZZI PER NEC 680-42.
 - OUTLETS AND ANY OTHER EQUIPMENT INSTALLED IN POOL AREA SHALL BE INSTALL AT A MINIMUM DISTANCE OF 10'-0" FROM POOL'S EDGE OR AS PER 1999 NEC CODE SECTION 680.

GENERAL NOTE:
ALL ELECTRICAL OUTLETS ON GEMSE FIRE RATED PARTITIONS SHALL NOT BE LOCATED BACK-TO-BACK BUT WITH A MINIMUM DISTANCE OF 24" IN BETWEEN.

NOTE:
SMOKE DETECTORS SHALL BE 120V WITH BATTERY BACK-UP AND INTER-CONNECTED FROM KITCHEN OR BATH LIGHTING CIRCUIT AHEAD OF ALL SWITCHES.

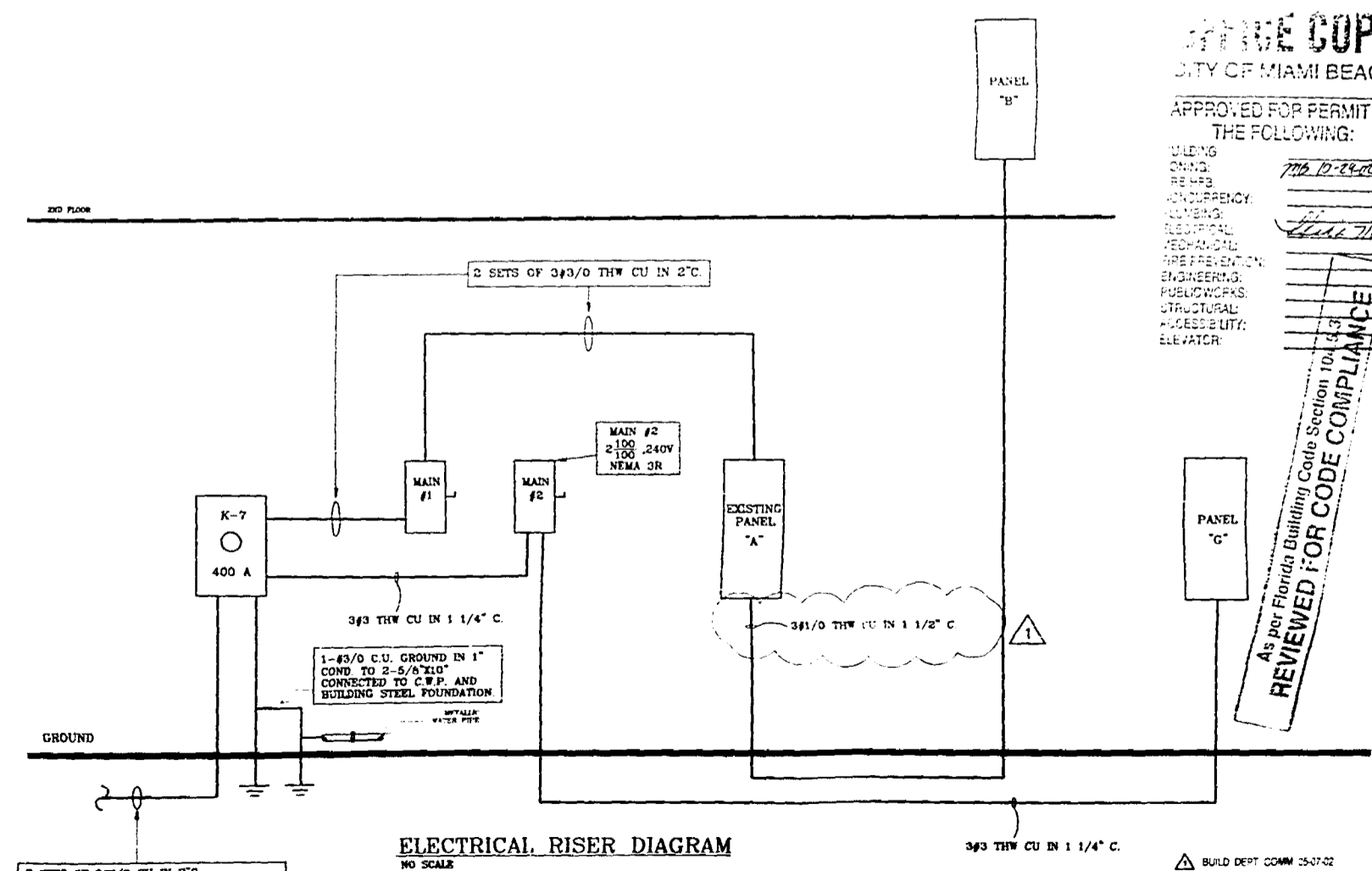
NOTE:
ALL SMOKE DETECTORS SHALL BE INTERCONNECTED BETWEEN THEM. THE ACTIVATION OF ANY SMOKE DETECTOR SHALL ACTIVATE THE OTHERS.

NOTE:
POOL & WHIRLPOOL NOTE: THIS CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR POOL & WHIRLPOOL (SEPARATE CONTRACT, NOT PART OF THIS PERMIT) PROVIDE & INSTALL GROUNDS FOR POOL & WHIRLPOOL. SEE ELECTRICAL NOTES 2 & 4 ON PART 3 ON SHEET 3-2.



ELECTRICAL SECOND FLOOR PLAN (MASTER ROOM)
SCALE: 1/4"=1'-0"

TYPE: SQUARE "D"		SERVICE: 10_3M		MAIN BUS: 150_AMPS									
VOLTAGE: 120/240 V.		MOUNTING: FLUSH		NEUTRAL: F/N									
MOUNTING: FLUSH		MOUNTING: FLUSH		MAIN: M.L.O.									
MOUNTING: FLUSH		MOUNTING: FLUSH		LOCATION: WALL FIRST FLOOR									
K/VOLT AMP	POLE	TRIP	CONDUIT	WIRE	REMARKS	CKT. NO.	CKT. NO.	REMARKS	WIRE	CONDUIT	TRIP	POLE	K/VOLT AMPS.
1.08	1	20	1/2"	#12	GENERAL LIGHTS	1	2	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	GENERAL LIGHTS	3	4	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	GENERAL LIGHTS	5	6	GENERAL LIGHTS	#12	1/2"	20	1	1.08
8.00	2	40	3/4"	#8	AHU MASTER BEDROOM *	7	8	W/R MASTER BATHROOM	#10	3/4"	30	2	5.00
6.25	2	30	3/4"	#10	CU MASTER BEDROOM *	9	10						
1.08	1	20	1/2"	#12	GENERAL LIGHTS **	11	12	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	GENERAL LIGHTS **	13	14	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	GENERAL LIGHTS **	15	16	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	GENERAL LIGHTS **	17	18	GENERAL LIGHTS	#12	1/2"	20	1	1.08
1.08	1	20	1/2"	#12	MASTER BATHROOM LIGHTS	19	20	MASTER BATHROOM LIGHTS	#12	1/2"	20	1	1.08
1.50	1	20	1/2"	#12	BATH GFCI	21	22	JACUZZI	#12	1/2"	20	1	1.08
1.50	1	20	1/2"	#12	BATH GFCI	23	24	SPARE					1.08
1.50	1	20	1/2"	#12	BATH GFCI	25	26	SPARE					1.08
---	1	---	---	---	SPACE	27	28	SPACE					---
---	1	---	---	---	SPACE	29	30	SPACE					---
---	1	---	---	---	SPACE	31	32	SPACE					---
25.23	TOTAL		TOTAL CONNECTED LOAD: 42.11 KVA		TOTAL		TOTAL		TOTAL		TOTAL		18.88
												TOTAL LOAD WITHOUT CU'S: 35.86 KVA	
												I=150 AMPS.	



ELECTRICAL RISER DIAGRAM
NO SCALE

TRUE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

DATE: 7/15/2008
 REVIEWED FOR CODE COMPLIANCE
 AS PER FLORIDA BUILDING CODE SECTION 104.11.3

NEW ADDITION FOR:
LES MANSIONS, L.C.
 92 LA GARDE COURSE, MIAMI BEACH FL 33139

PROVISIONS:
 BUILD DEPT COMM 2507C

date: 04/11/08
 issued: NS
 drawn: NS
 checked: CF
 project no:

sheet no:
E-3
 3 of 3

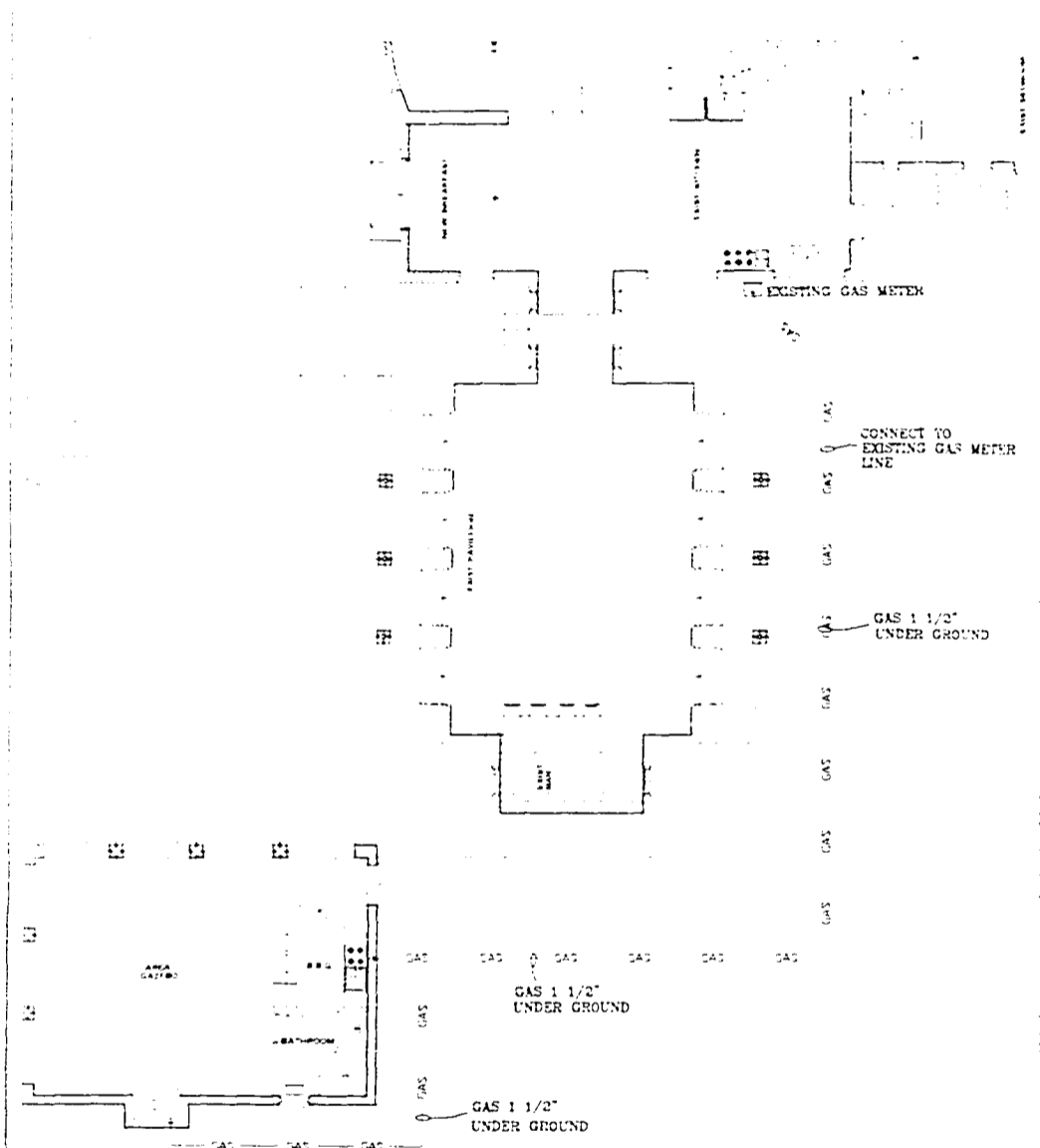
DFG
 ELECTRICAL ENGINEER
 1500 S.W. 15TH AVENUE, SUITE 100
 MIAMI, FL 33135
 (305) 351-1111

GENERAL PLUMBING NOTES

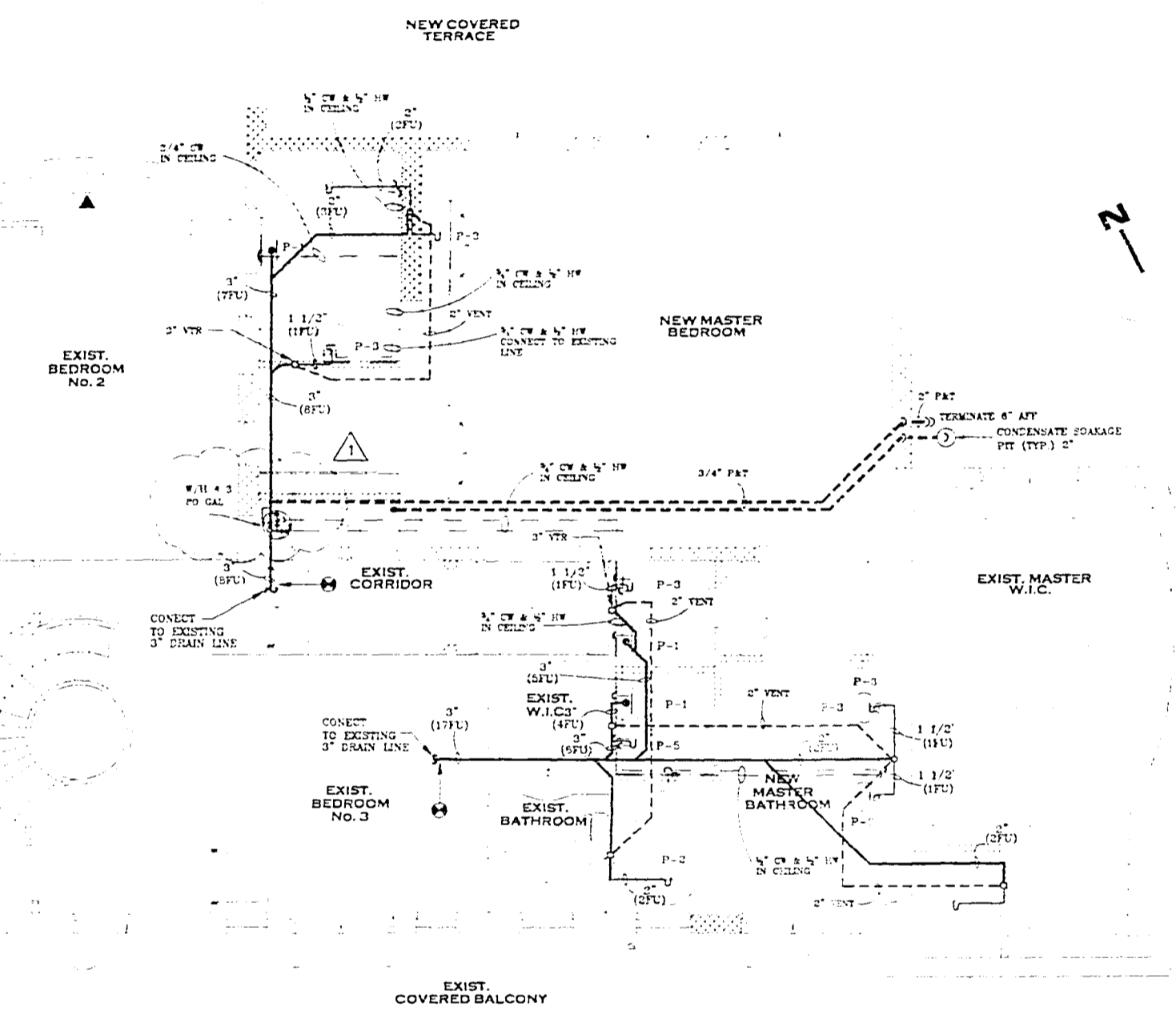
1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SOUTH FLORIDA PLUMBING AND BUILDING CODES (STATE AND LOCAL ORDINANCES).
2. BUILDING DRAINAGE SYSTEM TO BE INSTALLED AT 1" PER FT. MIN. FALL AND DRAINAGE SHALL BE APPROVED BY ARCHITECT/ENGINEER.
3. FLOOR CLEANOUTS SHALL BE INSTALLED AT BASE OF EVERY WASTEWATER ALL CLEANOUTS TO BE FLOOR MOUNTED.
4. MATCHINGS SHALL BE ALL NEW AND AS FOLLOWS:
 - A. DRAINAGE WASTE AND VENT PIPING IN BATHING CREAS, WASH, SINK, DRAINAGE, WASTE AND PIPING (DWV) CONFORMING TO ASTM D 2526 AND NEW CAST IRON (CIR) STANDARD 303 ABOVE GROUND AND CAST IRON (CIR) STANDARD 154 WITH NEW DRAIN CAPS (CIR) UNDERGROUND.
 - B. WATER PIPING COPPER TYPE "K" ASTM B-88 ABOVE GROUND AND COPPER TYPE "K" ASTM B-88 UNDERGROUND.
 - C. CONDENSATE DRAIN PIPING COPPER TYPE "M" ASTM B-88 INSIDE THE BUILDING AND PVC SCH 40 ABOVE ROOF AND UNDERGROUND PROVIDED 1" OF GEAULEX PIPE INSULATION TO ALL CONDENSATE DRAIN PIPING.
 - D. FLOOR DRAINS (IF REQUIRED) JOSAM SERIES 50000 OR EQUAL EXCEPT AT TRANSFORMER VAULT WHICH SHALL BE JOSAM SERIES 30000 OR EQUAL. KITCHEN FLOOR DRAIN JOSAM 50400-50, 1" SQUARE SINKLAY TOP, SATIN FINISH, 1" 2" PRIMER CONNECTION, BRONZE ELEMENT BUCKET.
 - E. FLOOR CLEANOUTS JOSAM SERIES 50000 OR EQUAL.
 - F. WALL CLEANOUTS JOSAM SERIES 50750 WITH ACCESS COVER OR EQUAL.
 - G. VALVES 125 PSI NIBCO SCOTT, STOCKHAM OR EQUAL.
 - H. HOSE ENDS CHICAGO 837 OR EQUAL WITH VACUUM BREAKER.
 - I. ELECTRIC WATER HEATER GLASS-LINED, P & T RELIEF VALVE, 5 YEAR WARRANTY MINIMUM.
5. PERFORM THE FOLLOWING TEST:
 - A. WATER PIPING SHALL BE SUBJECT TO HYDROSTATIC PRESSURE TEST OF 100 PSIG FOR A PERIOD OF TIME SUFFICIENT TO EXAMINE ENTIRE SYSTEM BUT NOT LESS THAN ONE HOUR.
 - B. DRAINAGE SYSTEM BEFORE INSTALLATION OF ANY DRAINS, THE END OF THE SYSTEM SHALL BE CAPPED & ALL LINES FILLED WITH WATER TO HIGHEST POINT & ALLOWED TO STAND UNTIL INSPECTION IS MADE AND WATER LEVELS REMAIN CONSTANT.
 - C. CORRECT ALL DEFECTS DISCLOSED BY ABOVE TESTS.
 - D. COMPLETE SYSTEM FIXTURE & EQUIPMENT SHALL BE GIVEN AN IN-SERVICE TEST AFTER COMPLETION OF THE INSTALLATION.
 - E. STERILIZE ALL WATER LINES WITH A MIXTURE OF (3) POUNDS OF CHLORINATED LIME TO EACH 1000 GAL. OF WATER (50 PPM OF AVAILABLE CHLORINE) RETAIN MIXTURE IN PIPES FOR 24 HOURS AND FLUSH THOROUGHLY WITH POTABLE WATER BEFORE PLACING IN SERVICE.
6. PLUMBING CONTRACTOR SHALL FURNISH A WRITTEN GUARANTEE THAT ALL PLUMBING WORK SHALL BE FREE FROM DEFECTS OF MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE, AND THAT HE WILL, AT HIS EXPENSE, REPAIR AND REPLACE ALL WORK WHICH BECOMES DEFECTIVE DURING GUARANTEE PERIOD.
7. CONTRACTOR SHALL FIELD VERIFY EXACT LOCATION OF EXISTING UTILITIES AND POINTS OF CONNECTION BEFORE COMMENCING ANY WORK.
8. PLUMBING CONTRACTOR SHALL PAY ALL FEES, INSPECTION AND CONNECTION CHARGES REQUIRED.
9. SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL OF ALL EQUIPMENT, MATERIALS AND LAYOUTS PRIOR TO INSTALLATION.
10. OFFSET PIPING AS REQUIRED TO CLEAR BUILDING STRUCTURE, DUCTWORK, ETC. AS SHOWN ON DRAWINGS AND AS REQUIRED BY FIELD CONDITIONS.
11. PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL A/C CONDENSATE DRAIN AND TRAP. SEE A/C PLANS FOR LOCATION OF UNITS AND DRAINS.
12. PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
13. COORDINATE WORK WITH OTHER TRADES.
14. FURNISH AND INSTALL FIXTURES AS SPECIFIED IN SCHEDULE IF PROVIDED, OTHERWISE PROVIDE SHOP DRAWINGS.
15. EACH BATHROOM GROUP AND KITCHEN SHALL BE PROVIDED WITH AIR CHAMBERS OR SHOCK ABSORBERS AS PER S.F.B.C.
16. PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE, JUST BEFORE CONNECTING TO FIXTURE.
17. WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
18. MECHANICAL CONTRACTOR SHALL COORDINATE AND VERIFY HEIGHT AND LOCATION OF STUB-UPS.
19. REFER TO SUPPLIER DRAWING AND SPECIFICATIONS FOR ADDITIONAL INFORMATION AND COORDINATION OF EQUIPMENT TERMINATION DETAILS.
20. PROVIDE AT REFRIGERATOR LOCATION 3/8" CW LINE TO 1/4" FITTING 6" ABOVE FLOOR. FURNISH 48" OF 1/4" SOFT COPPER TUBING FOR CONNECTION TO REFRIGERATOR.
21. PROVIDE ANTI SCALD AT ALL TUB AND SHOWERS.

PLUMBING FIXTURE CONNECTION SCHEDULE					
MARK	DESCRIPTION	WASTE	CW	HW	REMARKS/NOTES
P-1	WATER CLOSET	2"	1 1/2"		FLOOR MOUNTED FLUSH TANK
P-2	BATHTUB	2"	1 1/2"	1 1/2"	5 FT. LONG PRESSURE BALANCING FAUCET
P-2A	SHOWER	2"	1 1/2"	1 1/2"	PRESS. BALANCING FAUCET
P-3	LAVATORY	1 1/2"	1 1/2"	1 1/2"	COUNTER TOP
P-3A	LAVATORY	1 1/2"	1 1/2"	1 1/2"	WALL HUNG
P-4	KITCHEN SINK	1 1/2"	1 1/2"	1 1/2"	COUNTER TOP
W	WASHER	2"	1 1/2"	1 1/2"	WATER SUPPLY VALVE & DRAIN IN RECEIVED BOX WALL MOUNTED

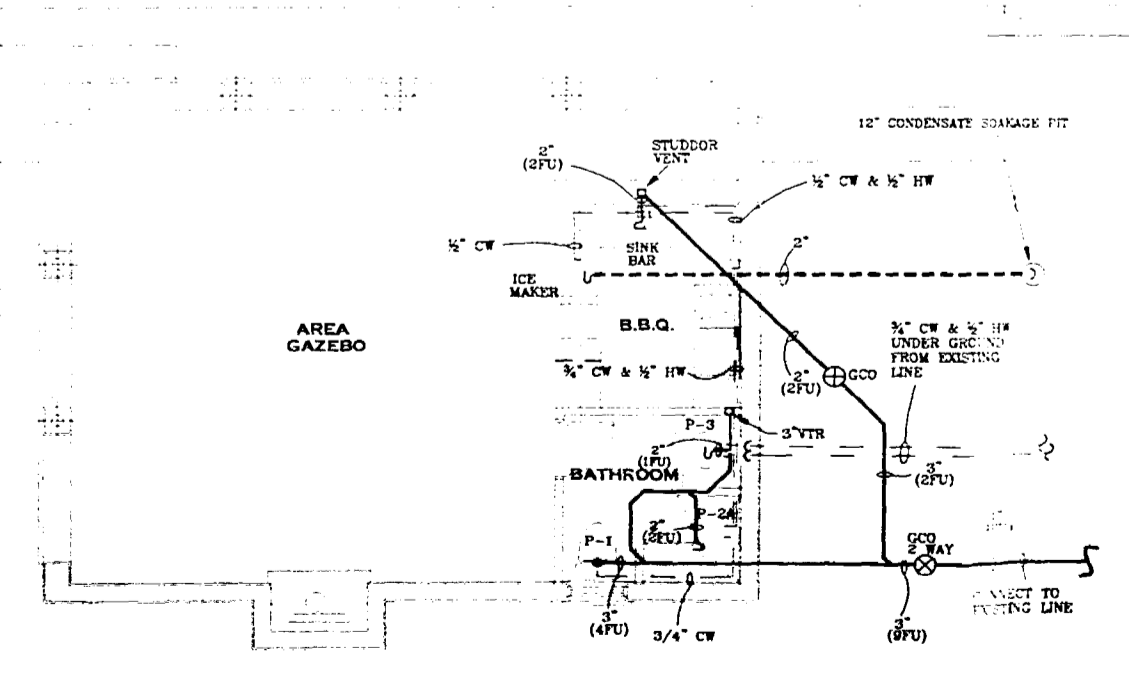
NOTE: CONTRACTOR TO COORDINATE PLUMBING FIXTURE SELECTION WITH OWNER, ARCHITECT FOR FIXTURE AND FAUCET STYLE & COLOR.



GAS LINE
SCALE: 1/8"=1'-0"



PLUMBING SECOND FLOOR PLAN (MASTER ROOM)
SCALE: 1/4"=1'-0"

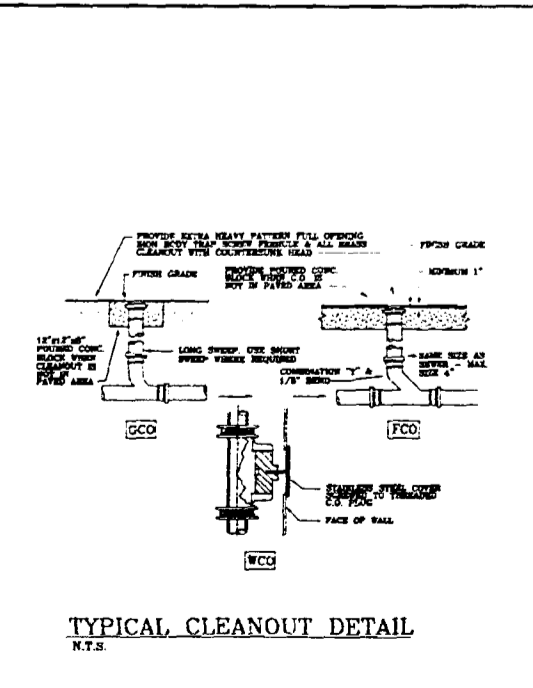


PLUMBING GAZEBO FLOOR PLAN
SCALE: 1/4"=1'-0"

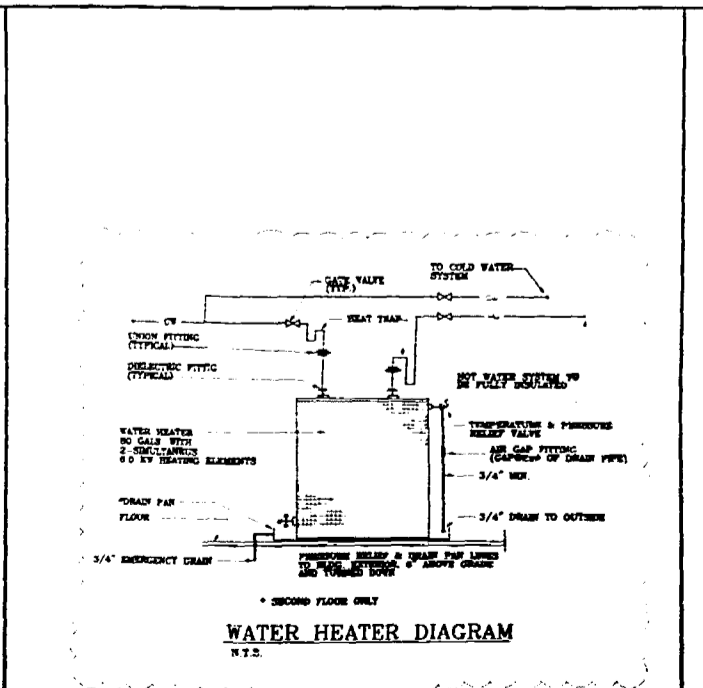
PLUMBING SYMBOLS

- COLD WATER PIPE
- HOT WATER PIPE
- WATER HAMMER ARRESTOR
- AIR CHAMBER
- HOSE BIBB W/ VACUUM BREAKER AND SHUT-OFF VALVE
- SANITARY LINE
- C.D. — CONDENSATE LINE
- W.C. — WALL CLEANOUT
- F.C. — FLOOR CLEANOUT
- GATE VALVE (SHUT-OFF VALVE)

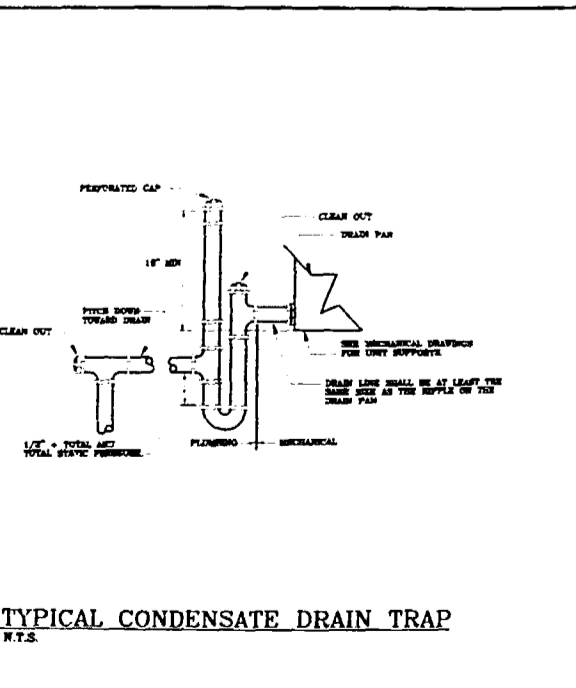
As per Florida Building Code Section 104.5.3
REVIEWED FOR CODE COMPLIANCE



TYPICAL CLEANOUT DETAIL
N.T.S.



WATER HEATER DIAGRAM
N.T.S.



TYPICAL CONDENSATE DRAIN TRAP
N.T.S.

DFG
 CONSULTING ENGINEERS, INC.
 DESIGN - INSPECTIONS

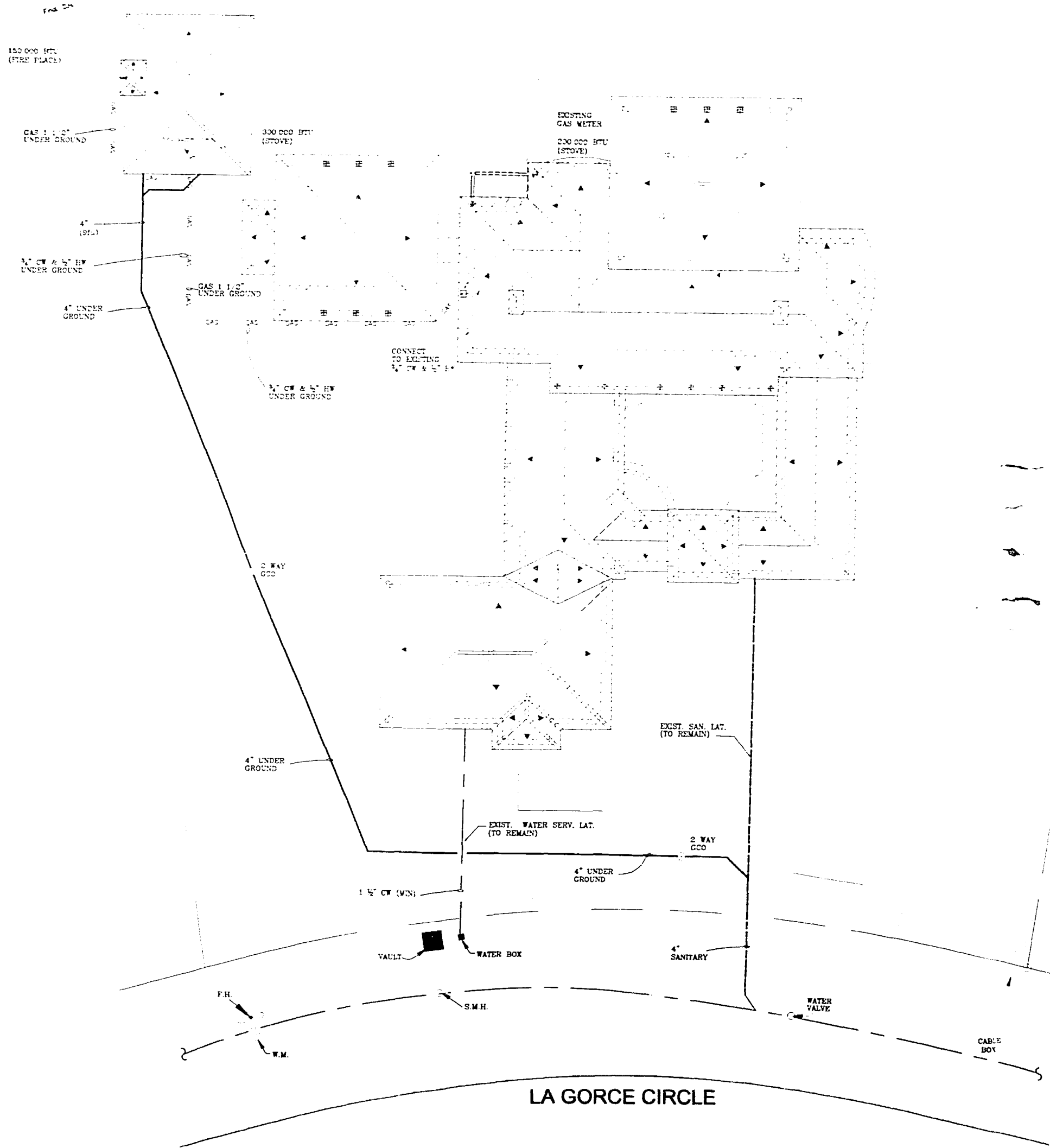
OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY THE FOLLOWING:
 [Signature]

INSIGNIA
 DEVELOPMENT GROUP

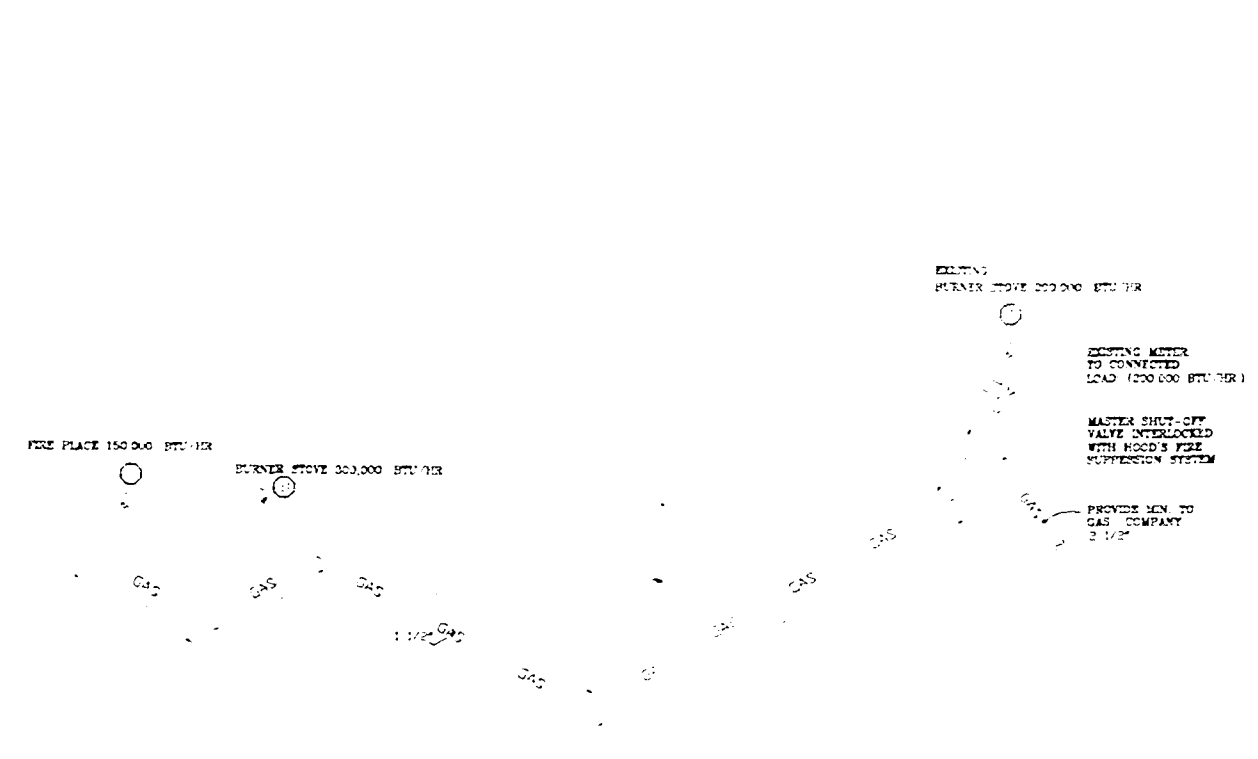
NEW ADDITION FOR:
LES MANSIONS, L.C.
 95 LA GRIFFIN CIRCLE, MIAMI BEACH, FL 33139

date: 04-01-01
 issued: [initials]
 drawn: [initials]
 checked: [initials]
 project no.: [initials]
 sheet no.: **P-1**
 1 of 2

INDIAN CREEK



PLUMBING SITE PLAN
SCALE: 1/4"=1'0"



ISOMETRIC GAS LINE (GAZEBO)
SCALE: NTS

GAS TOYS

ITEM	DESCRIPTION	QTY
1	BURNER (EARTH)	1
2	BURNER (EARTH)	1
3	PIPE FLARE	1
4	TOTAL GAS	3

ITEM	DESCRIPTION	QTY
1	CONNECT TO EXISTING GAS METER	1
2	CONNECT TO EXISTING WATER SERV. LAT.	1
3	CONNECT TO EXISTING SANITARY	1

OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY THE FOLLOWING:

- BUILDING
- ENGINEERING
- MECHANICAL
- ELECTRICAL
- PLUMBING
- FIRE PREVENTION
- ENGINEERING
- PUBLIC WORKS
- STRUCTURAL
- ACCESSIBILITY
- ELEVATION

DATE: 7/12/2002
BY: [Signature]

REVIEWED FOR CODE COMPLIANCE

NEW ADDITION FOR:

LES MANSIONS, L.C.

97 LA GORCE CIRCLE, MIAMI BEACH FL 33141

date: 04-21-00
issued: [Signature]
drawn: [Signature]
checked: [Signature]
project no.:

sheet no.

P-2

2 of 2

DAVID S. GONZALEZ, P.E.
REGISTERED ENGINEER
1000 BAYVIEW BLVD., SUITE 1000
MIAMI BEACH, FL 33134
TEL: 305-444-4444
FAX: 305-444-4444

300 MIAMI AVENUE
MIAMI BEACH, FL 33139
TEL: 305-444-4444
FAX: 305-444-4444

DFG
DESIGN FIRM GROUP
INCORPORATED ENGINEERS AND ARCHITECTS

INSIGNIA
DEVELOPMENT GROUP

01/17/03
BB LA CORRE CR

111

10-31-2002
Receipt Number: 0221700
Status: APPROVED
Date Applied: 05/14/2002
Date Issued: 10/20/2002
Entered By: BLR/RODRIG
City: MIAMI BEACH, FL 33139
City of Miami Beach
Receipt of Payment
(This is not a proof of receipt only)
Agency: ADMINS TO SINGLE FAMILY RESIDING & NW CABANA
92 LA CORRE CR NORTH
MIAMI BEACH, FL 33139
Project #: 22110000000
Contract #: 125 MANSONS C
1500 NW 27 ST
MIAMI BEACH, FL 33139
Agent: JILAO RODRIGUEZ
1200 S.W. 28TH STREET 3115
305 486-0111
APPROVED: 01/17/03
Value: \$17,000.00
Balance Due: \$0.00

CITY OF MIAMI BEACH
Miami Beach, Florida 33139
RECEIPT OF PAYMENT
(This is not a permit or a receipt for a fee)

Form 2002
Date: 05/14/2002
City: MIAMI BEACH
Account No: 04282003
Amount: \$21,000.00
Payee: LORAND ENTERPRISES INC
110 RODRIGUEZ
2240 S.W. 24TH STREET, SUITE 200
MIAMI, FL 33135

City Clerk: [Signature]
City Manager: [Signature]

Payments made for this receipt:

Current Payment Made to the Following Items:

Account Summary for Fees and Payments:

1101

PAID BY
LORAND ENTERPRISES INC
CR