

# JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM

777 N.W. 72nd AVENUE  
SUITE 3025  
MIAMI, FLORIDA 33126  
PH: (305) 262-0400  
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.  
SUITE B  
CAPE CORAL, FL 33904  
PH: (239) 540-2660  
FAX: (239) 540-2664



## ABBREVIATIONS AND MEANINGS

A = ARC  
A/C = AIR CONDITIONER PAD  
A.E. = ANCHOR EASEMENT  
AR = ALUMINUM ROOF  
AS = ALUMINUM SHED  
ASPH. = ASPHALT  
B.C. = BLOCK CORNER  
B.C.R. = BROWARD COUNTY RECORDS  
BUDS = BUILDING  
B.M. = BENCH MARK  
B.O.B. = BASIS OF BEARINGS  
B.S.L. = BUILDING SETBACK LINE  
C = CALCULATED  
C.B. = CATCH BASIN  
C.B.S. = CONCRETE BLOCK STRUCTURE  
CBW = CONCRETE BLOCK WALL  
CH = CHORD  
CH.B. = CHORD BEARING  
CL = CLEAR  
C.L.F. = CHAIN LINK FENCE  
C.M.E. = CANAL MAINTENANCE EASEMENTS  
CONC. = CONCRETE  
C.P. = CONC. PORCH  
C.S. = CONCRETE SLAB  
C.U.P. = CONC. UTILITY POLE  
C.W. = CONCRETE WALK  
D.E. = DRAINAGE EASEMENT  
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS  
DRIVE = DRIVEWAY  
° = DEGREES  
E = EAST  
EB = ELECTRIC BOX  
E.T.P. = ELECTRIC TRANSFORMER PAD  
ELEV. = ELEVATION  
ENCR. = ENCROACHMENT  
F.H. = FIRE HYDRANT  
F.I.P. = FOUND IRON PIPE  
F.I.R. = FOUND IRON ROD  
F.F.E. = FINISHED FLOOR ELEVATION  
F.N.D. = FOUND NAIL & DISK  
FR = FRAME  
FT = FEET  
F.N.P. = FEDERAL NATIONAL INSURANCE  
F.N. = FOUND NAIL  
H. = HIGH (HEIGHT)  
I.C.V. = IRRIGATION CONTROL VALVE  
I.F. = IRON FENCE  
IN & EG. = INGRESS AND EGRESS EASEMENT  
L.B. = Certificate of Authorization L.B.#7806  
L.P. = LIGHT POLE  
L.F.E. = LOWEST FLOOR ELEVATION  
L.M.E. = LAKE MAINTENANCE EASEMENT  
M = MINUTES  
M. = MEASURED DISTANCE  
MB = MAIL BOX  
M.D.C.R. = MIAMI DADE COUNTY RECORDS  
M.E. = MAINTENANCE EASEMENTS  
MON. = MONUMENT LINE  
MH = MAINHOLE  
ML = MONUMENT LINE  
N.A.P. = NOT A PART OF  
NGVD = NATIONAL GEODETIC VERTICAL DATUM  
N. = NORTH  
N.T.S. = NOT TO SCALE  
#NO. = NUMBER  
O.S. = OFFSET  
O.H. = OVERHEAD  
O.H.L. = OVERHEAD UTILITY LINES  
O.R.B. = OFFICIAL RECORDS BOOK  
OVH = OVERHANG  
P.V.M.T. = PAVEMENT  
PL = PLANTER  
PL = PROPERTY LINE  
P.C.C. = POINT OF COMPOUND CURVE  
P.C. = POINT OF CURVE  
PT = POINT OF TANGENCY  
POC = POINT OF COMMENCEMENT  
POB = POINT OF BEGINNING  
P.R.C. = POINT OF REVERSE CURVE  
P.B. = PLAT BOOK  
PG. = PAGE  
PWY. = PARKWAY  
PRM. = PERMANENT REFERENCE MONUMENT  
P.L.S. = PROFESSIONAL LAND SURVEYOR  
R. = RECORDED DISTANCE  
RR = RAIL ROAD  
RES. = RESIDENCE  
PROP. COR. = PROPERTY CORNER  
R/W = RIGHT-OF-WAY  
R.P. = RADIUS POINT  
RGE. = RANGE  
SEC. = SECTION  
STY. = STORY  
SWK. = SIDEWALK  
S.I.P. = SET IRON PIPE L.B. #7806  
S.P. = SCREENED PORCH  
S. = SOUTH  
S. = SECONDS  
T = TANGENT  
TB = TELEPHONE BOOTH  
T.U.E. = TECHNOLOGY UTILITY EASEMENT  
TSB = TRAFFIC SIGNAL BOX  
T.S.P. = TRAFFIC SIGNAL POLE  
TWP. = TOWNSHIP  
UTIL. = UTILITY  
U.P. = UTILITY POLE  
W.M. = WATER METER  
W.F. = WOOD FENCE  
W.R. = WOOD ROOF  
W.M. = WATER METER  
W.F. = WOOD FENCE  
W.R. = WOOD ROOF  
W.S. = WOOD SHED  
W. = WEST  
CL = CENTER LINE  
CA = CENTRAL ANGLE  
A = ANGLE

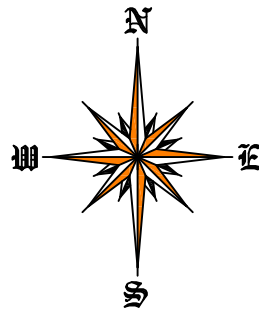
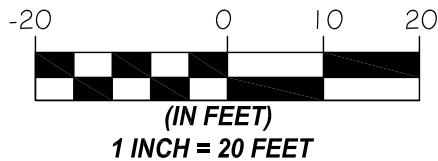
## LEGEND

—O+— = OVERHEAD UTILITY LINES  
—X—X—X— = CONCRETE BLOCK WALL  
—X—X—X— = CHAIN LINK FENCE  
—O—O—O— = IRON FENCE  
—//—//— = WOOD FENCE  
—//—//— = BUILDING SETBACK LINE  
—//—//— = UTILITY EASEMENT  
—//—//— = LIMITED ACCESS R/W  
—//—//— = NON-VEHICULAR ACCESS R/W  
—x 0.00— = EXISTING ELEVATIONS

## MAP OF BOUNDARY SURVEY

803 2nd STREET, MIAMI BEACH, FLORIDA 33139

## GRAPHIC SCALE



## LOCATION SKETCH

SCALE = N.T.S.

## CERTIFICATION:

TBD GROUP LLC

## LEGAL DESCRIPTION:

THE SOUTH 6 FEET OF THE EASTERLY 44.63 FEET OF LOT 7 AND THE EASTERLY 44.63 FEET OF LOT 8, BLOCK 77 OF OCEAN BEACH ADDITION NUMBER THREE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

## TREE TABLE

No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	TREE	5	45	65
2	PALM	2.50	25	20
3	PALM	0.75	40	20
4	PALM	0.60	25	15
5	PALM	0.70	40	15
6	PALM	0.60	40	15
7	TREE	1.10	25	30
8	SEAGRAPE	0.60	15	8

## SURVEYOR'S NOTE:

AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.

## FLOOD ZONE INFORMATION:

THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: AE  
BASE FLOOD ELEVATION: 8.00 FT.  
COMMUNITY: 120651  
PANEL: 0319  
SUFFIX: L  
DATE OF FIRM: 09/11/2009  
THE SUBJECT PROPERTY LIES IN A SPECIAL FLOOD HAZARD AREA.

## SURVEYOR'S NOTES:

1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY. IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.  
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.  
3. CERTIFICATE OF AUTHORIZATION LB #7806.

## SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Digitally signed by JOHN A IBARRA  
Date: 2021.03.31 15:58:23 -04'00'  
Adobe Acrobat version: 2021.001.20145  
BY: JOHN IBARRA (DATE OF FIELD WORK) **03/23/2021**

PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA

REVISED ON: \_\_\_\_\_

REVISED ON: \_\_\_\_\_

**DRAWN BY:** LK

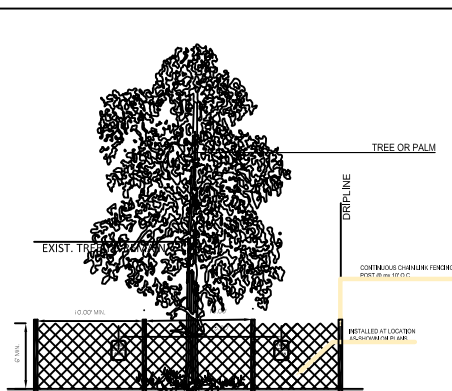
**FIELD DATE:** 03/23/2021

**SURVEY NO:** 15-004089-2

**SHEET:** 1 OF 1



Digitally signed by JOHN A IBARRA  
Date: 2021.03.31 15:58:46 -04'00'  
Adobe Acrobat version: 2021.001.20145



TREE PROTECTION BARRIER DETAIL

N.T.S.

NOTE:

- BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES.
- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCIRCLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
- FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE FENCE.