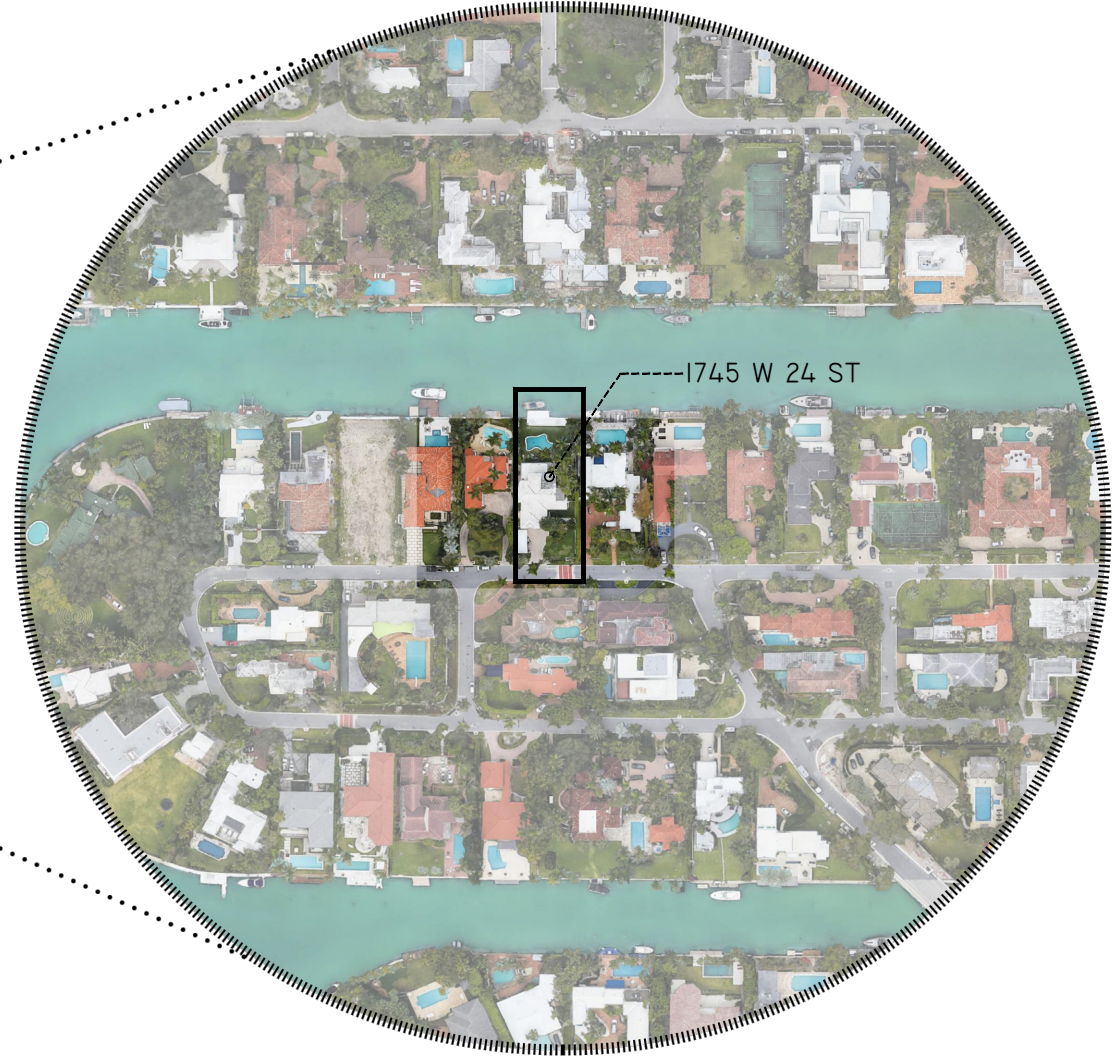
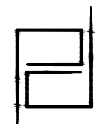




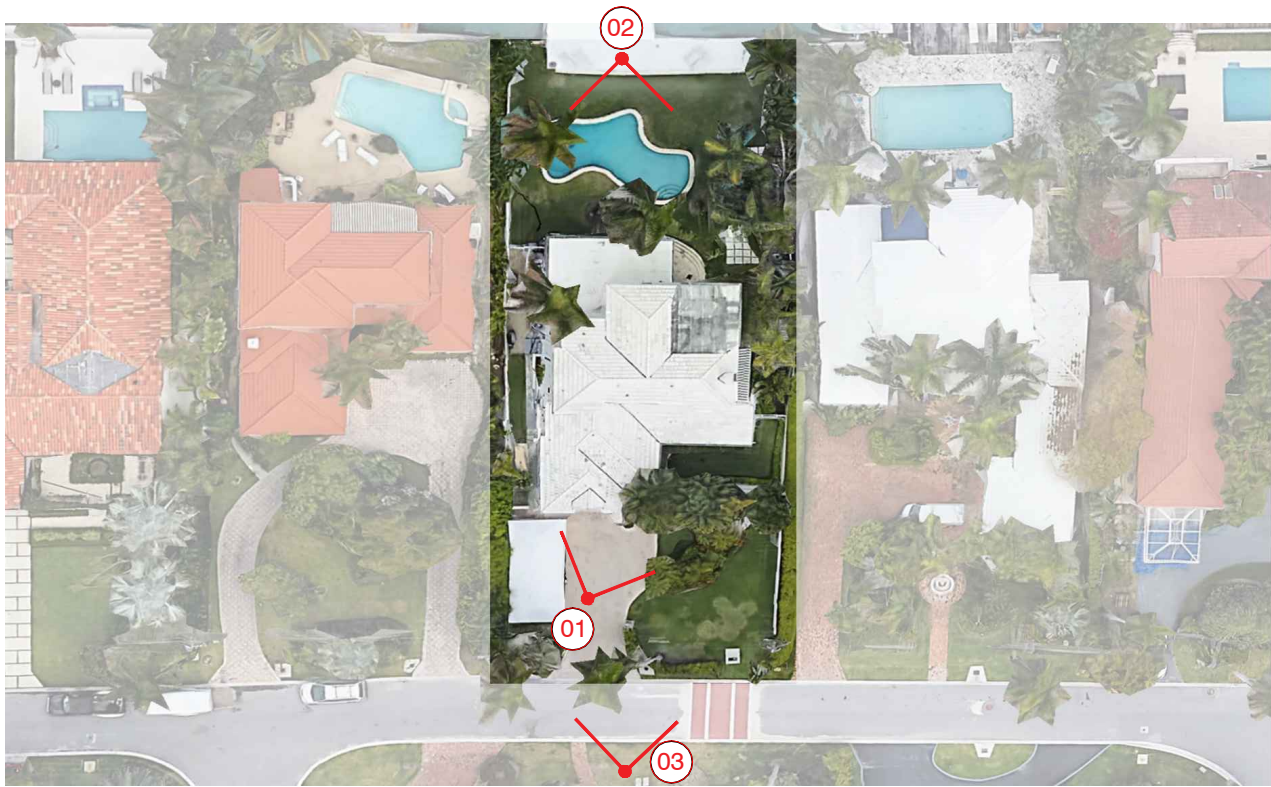
LOCATION - 1/2 MI RADIUS
 SUNSET ISLAND RESIDENCE
 1745 W 24 ST, MIAMI BEACH, FL 33140
 DATE: 07.05.2021



PRESCHEL + BASSAN
 STUDIO

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 NORTH MIAMI BEACH, FLORIDA 33160
 INFO@PRESCHELBASSAN.COM

A-02



00 LOCATION MAP



02 NORTH FACADE (REAR VIEW)



01 SOUTH FACADE (FRONT VIEW)



03 STREET VIEW

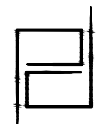


EXISTING CONDITIONS

SUNSET ISLAND RESIDENCE

1745 W 24 ST, MIAMI BEACH, FL 33140

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A-03



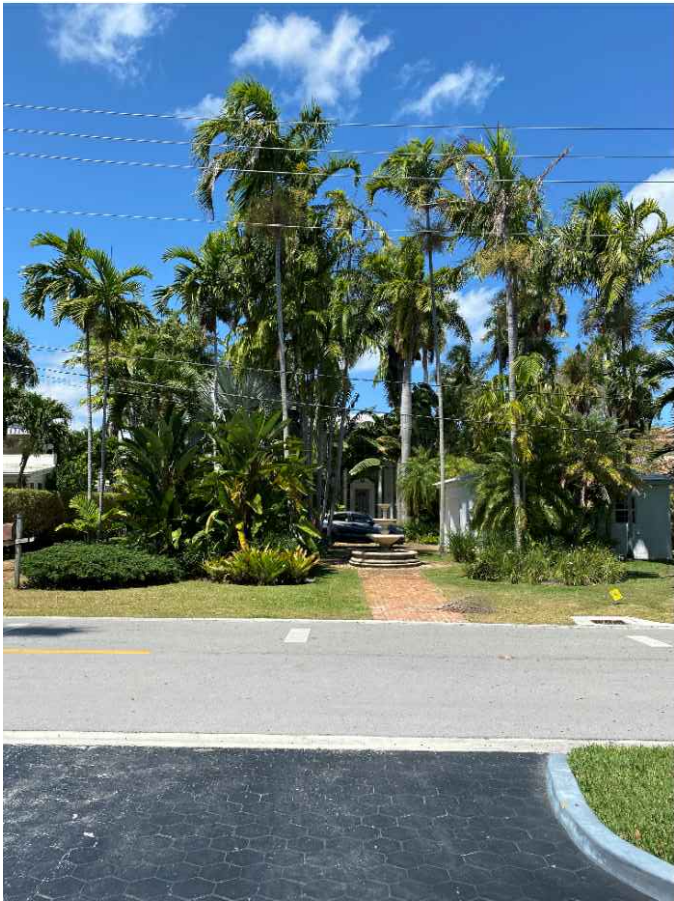
00 LOCATION MAP



02 NEIGHBORING PROPERTY ACROSS 24TH ST



01 WEST NEIGHBORING PROPERTY - STREET VIEW



03 EAST NEIGHBORING PROPERTY - STREET VIEW

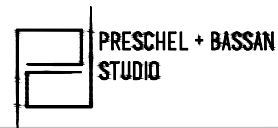


04 NEIGHBORING PROPERTIES ACROSS CANAL



EXISTING CONDITIONS - NEIGHBORING SITES

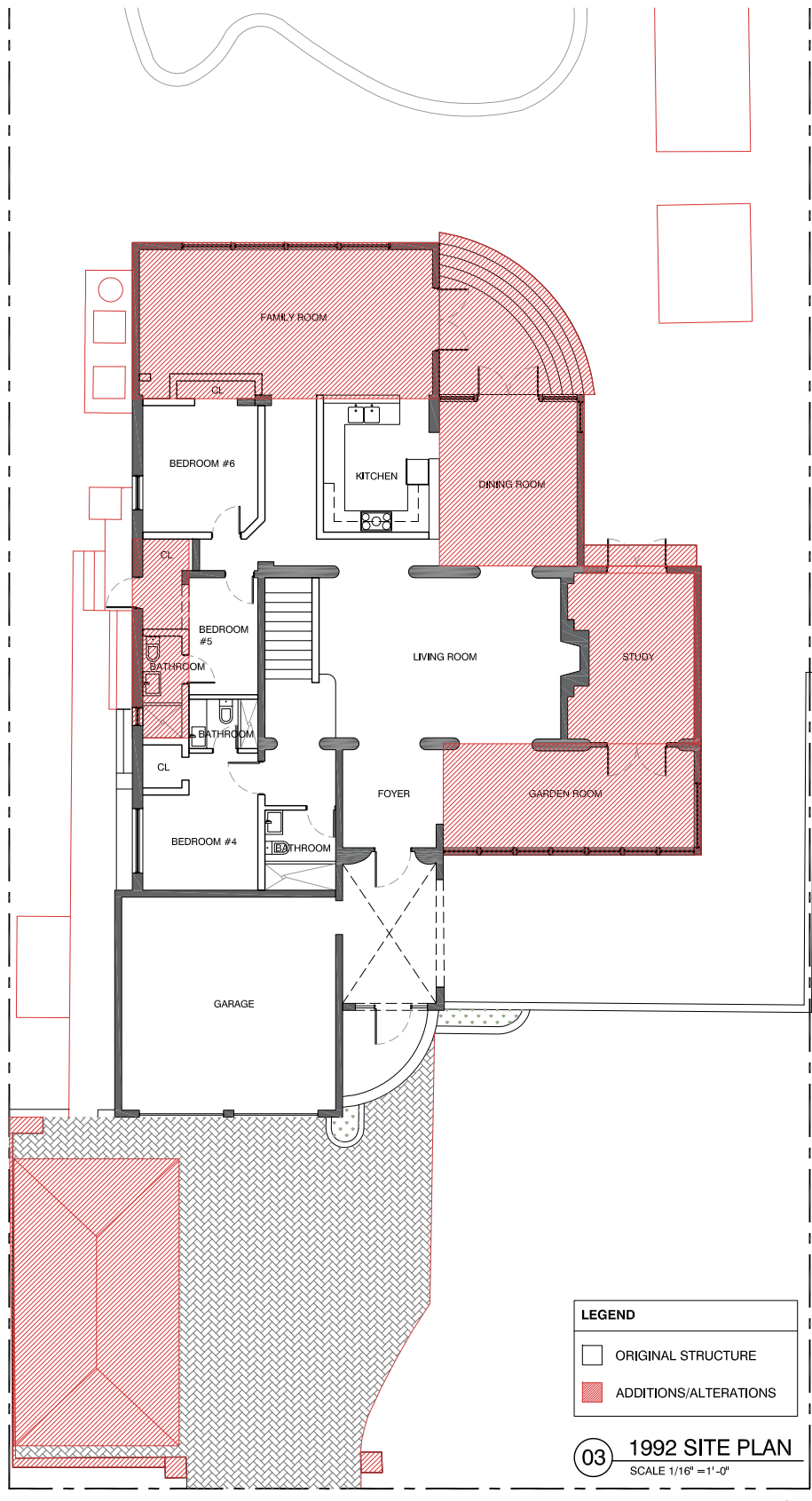
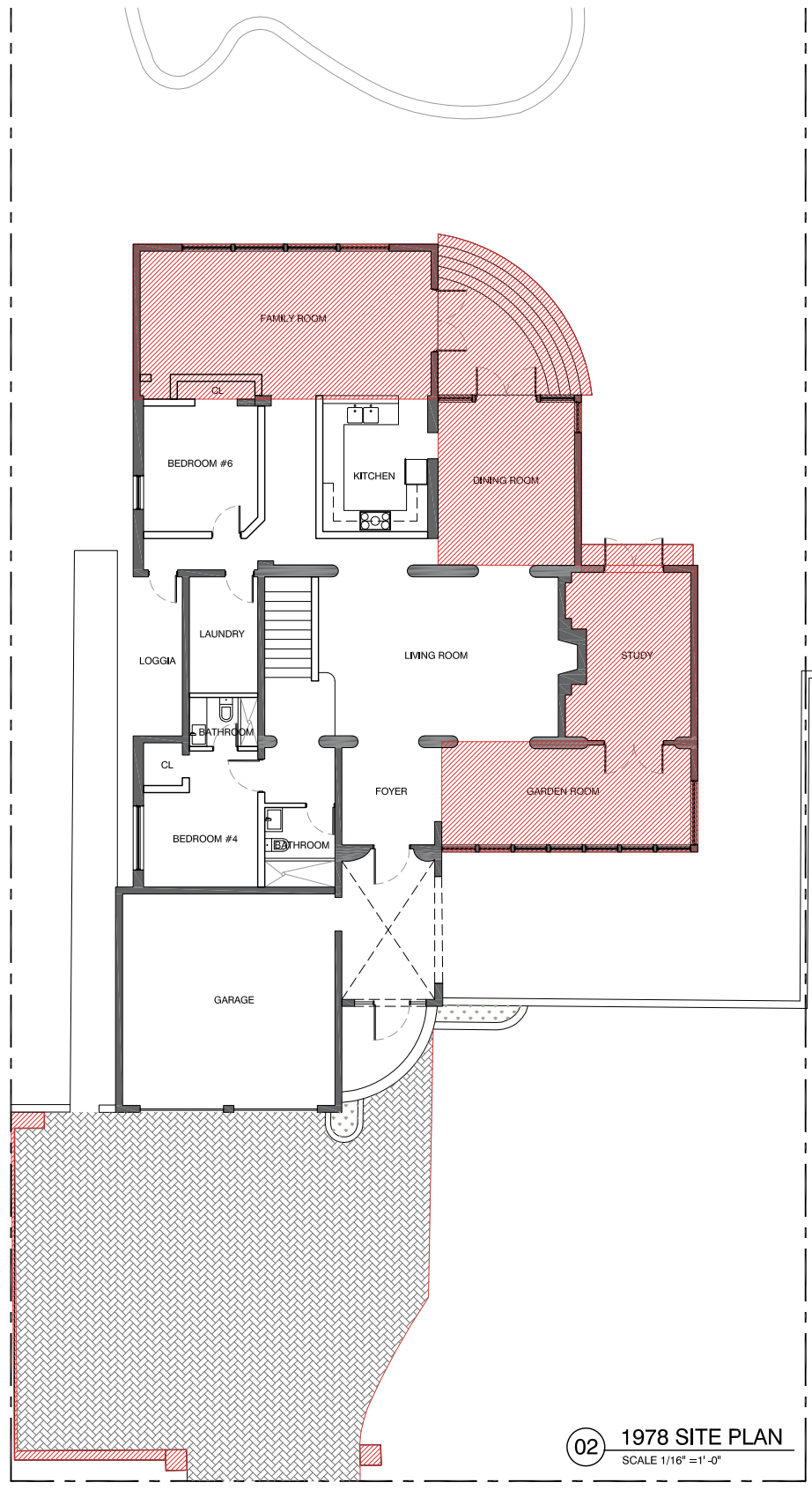
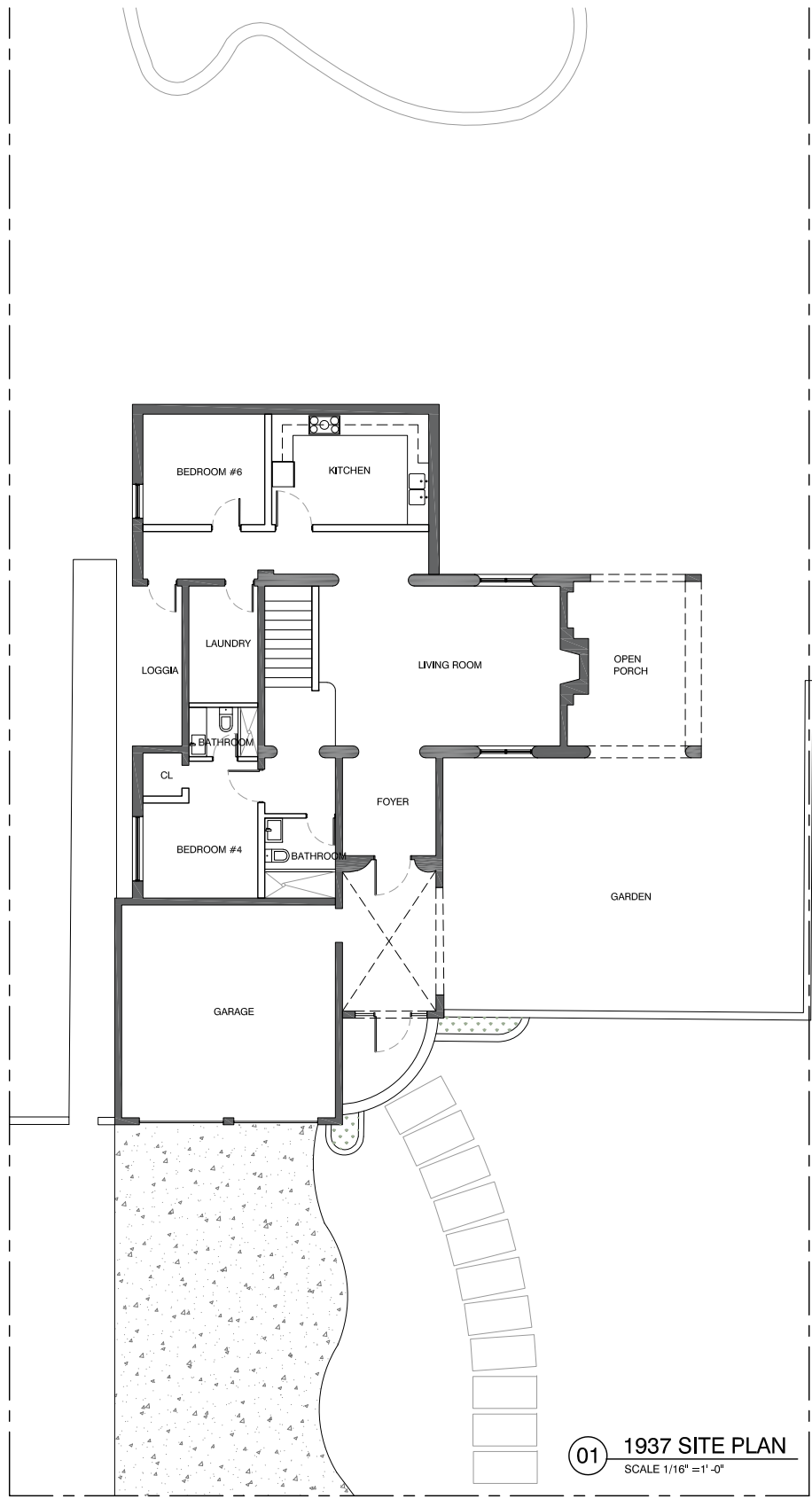
SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 07.05.2021



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A-04

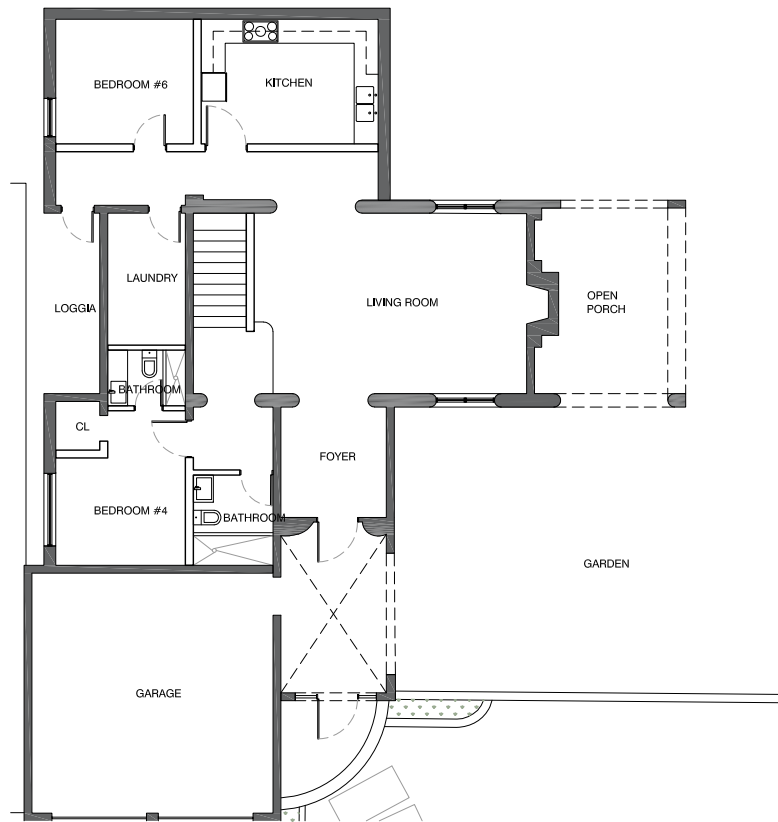


LEGEND

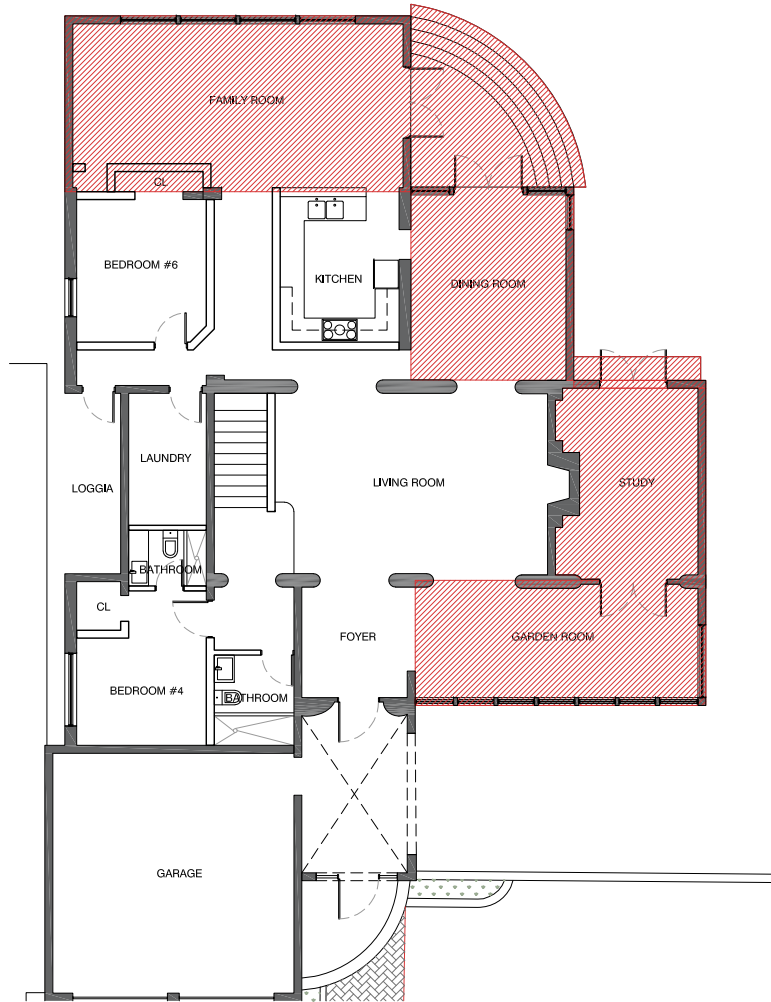
□ ORIGINAL STRUCTURE

■ ADDITIONS/ALTERATIONS

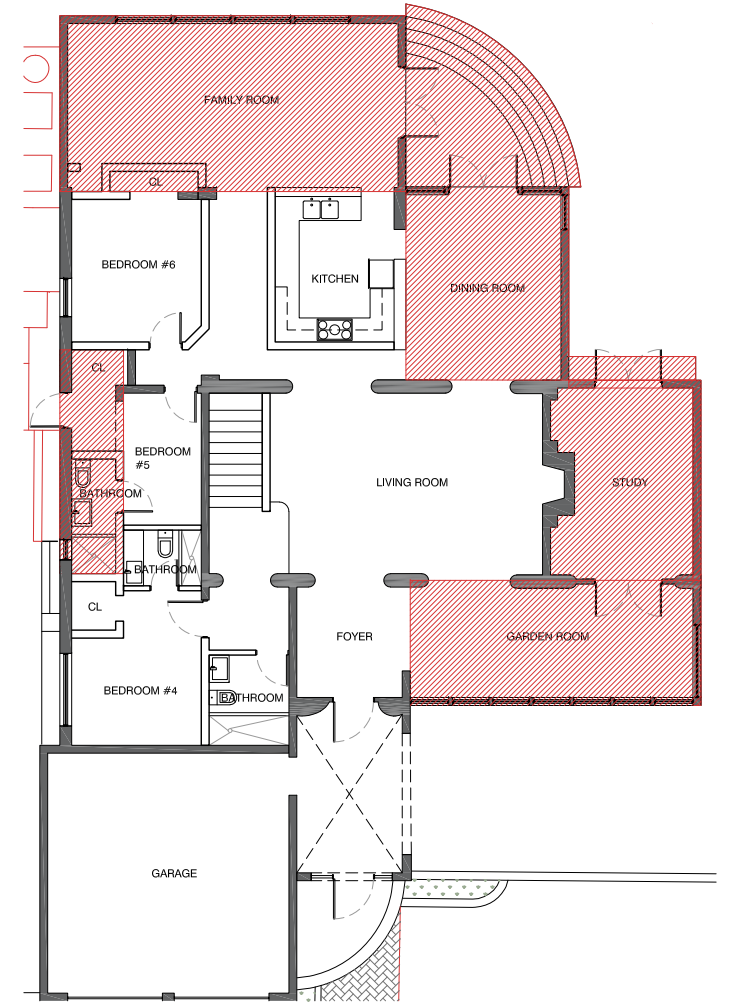




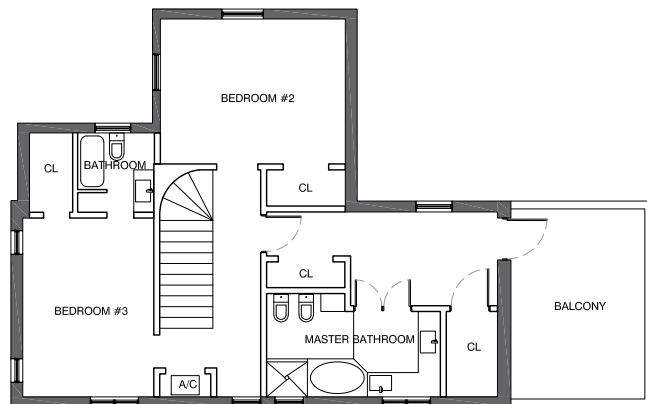
01 1937 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



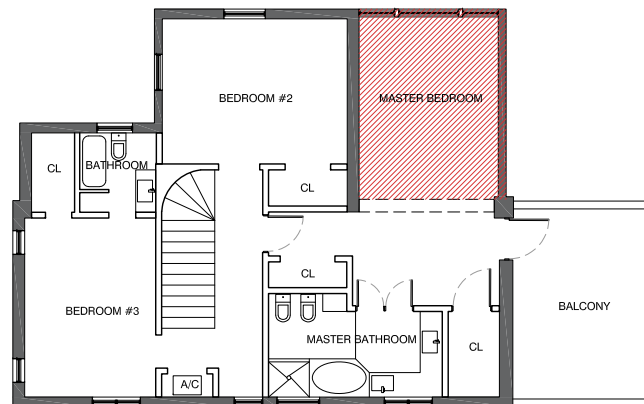
03 1978 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



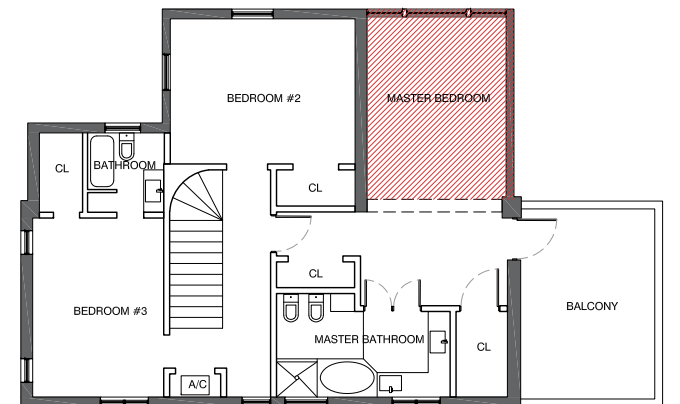
05 1992 FIRST FLOOR PLAN
SCALE 1/16" = 1'-0"



02 1937 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



04 1978 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"



06 1992 SECOND FLOOR PLAN
SCALE 1/16" = 1'-0"

1937

1978

1992

FLOOR PLAN EVOLUTION TIMELINE

SUNSET ISLAND RESIDENCE
1745 W 24 ST, MIAMI BEACH, FL 33140
DATE: 07.05.2021

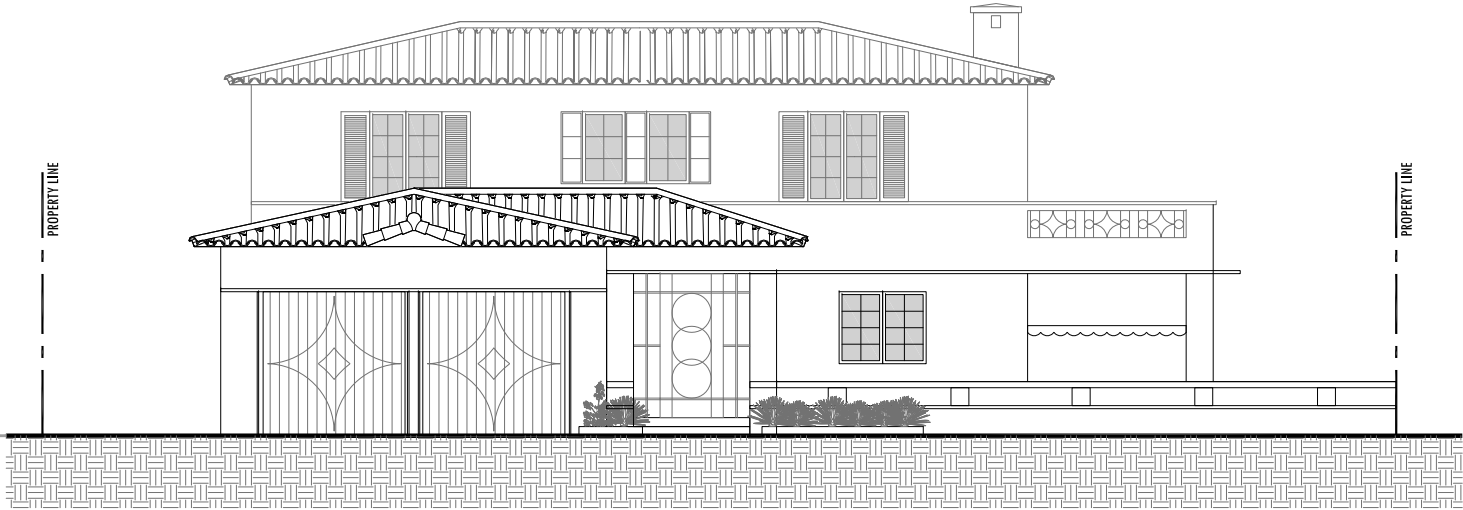
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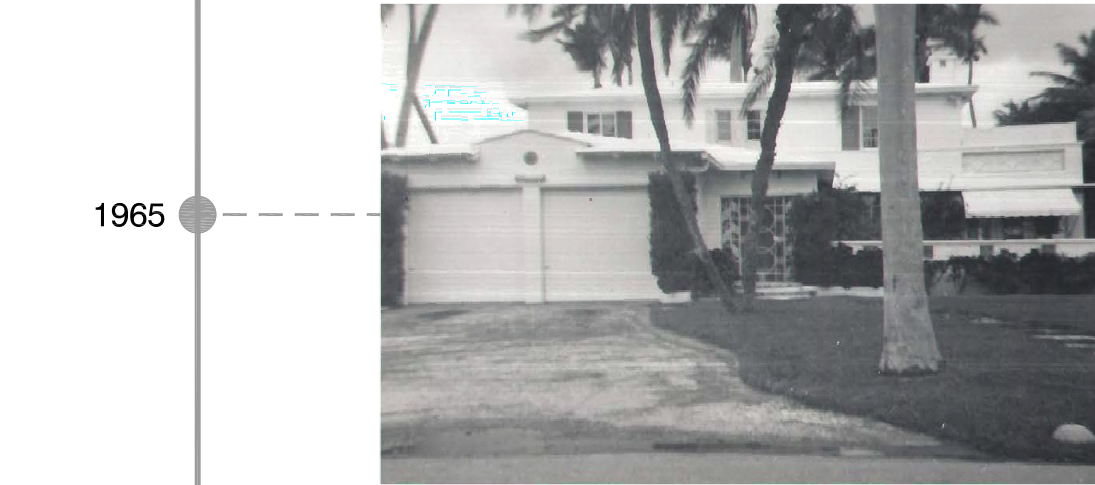
A-06



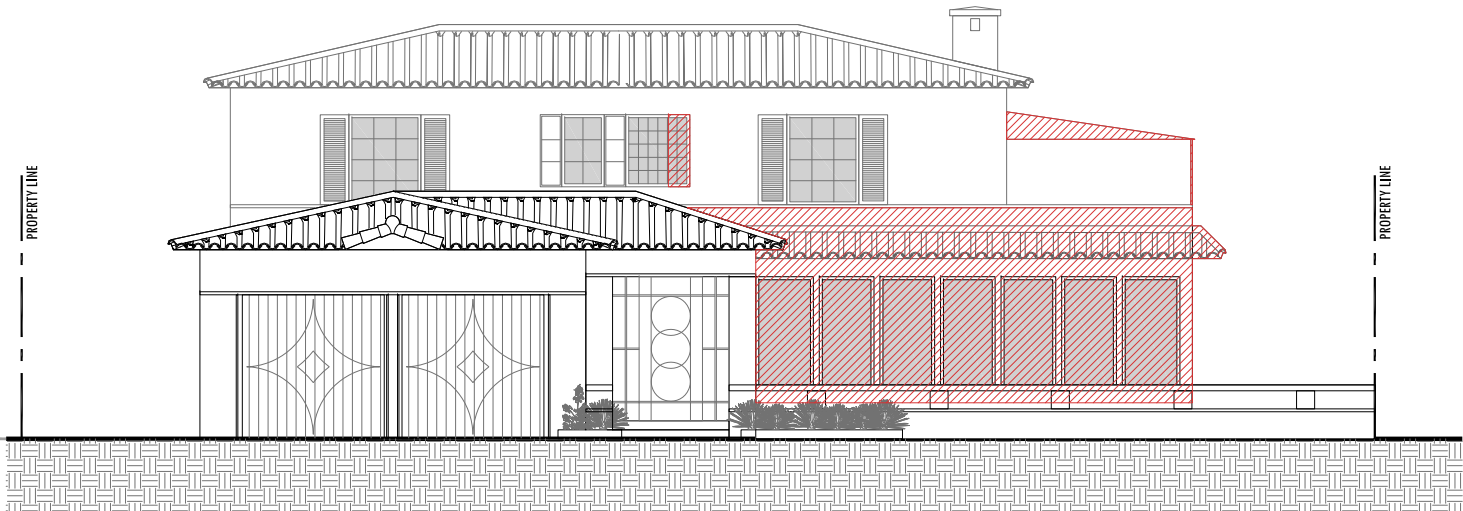
01 1937 FRONT PHOTOGRAPH



02 1937 FRONT ELEVATION
SCALE 3/32" = 1' - 0"



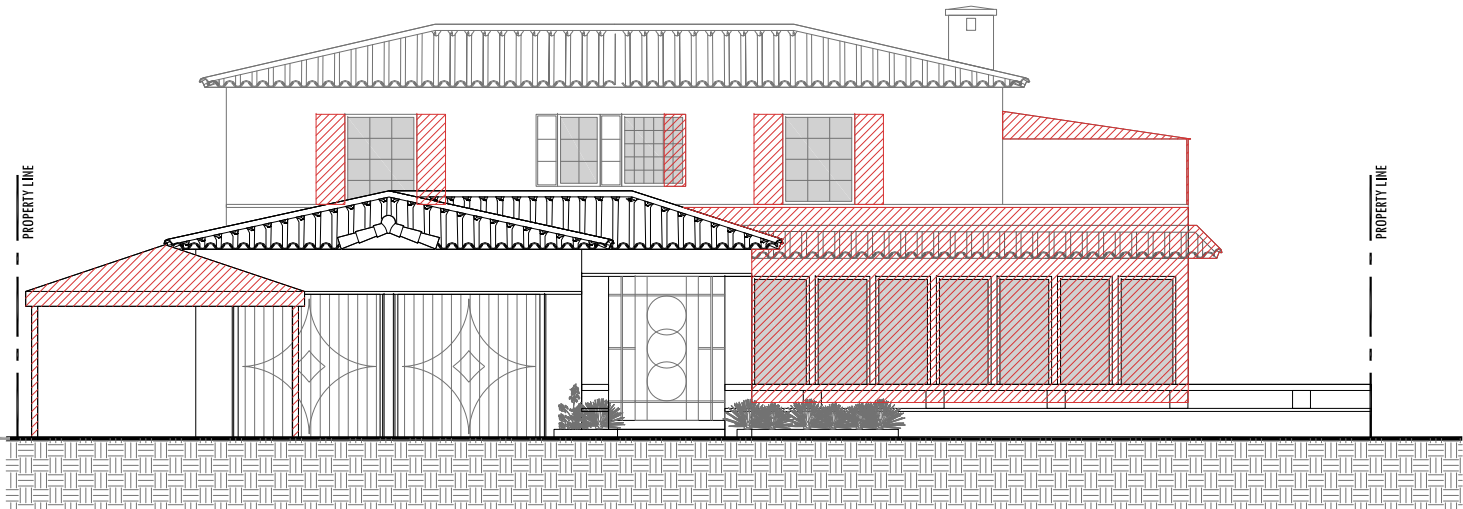
03 1965 FRONT PHOTOGRAPH



04 1978 FRONT ELEVATION
SCALE 3/32" = 1' - 0"



05 CURRENT FRONT PHOTOGRAPH



06 1992 FRONT ELEVATION
SCALE 3/32" = 1' - 0"

CURRENT
↓

FRONT FACADE EVOLUTION TIMELINE

SUNSET ISLAND RESIDENCE
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A-07

1937

1965

1978

1992

CURRENT



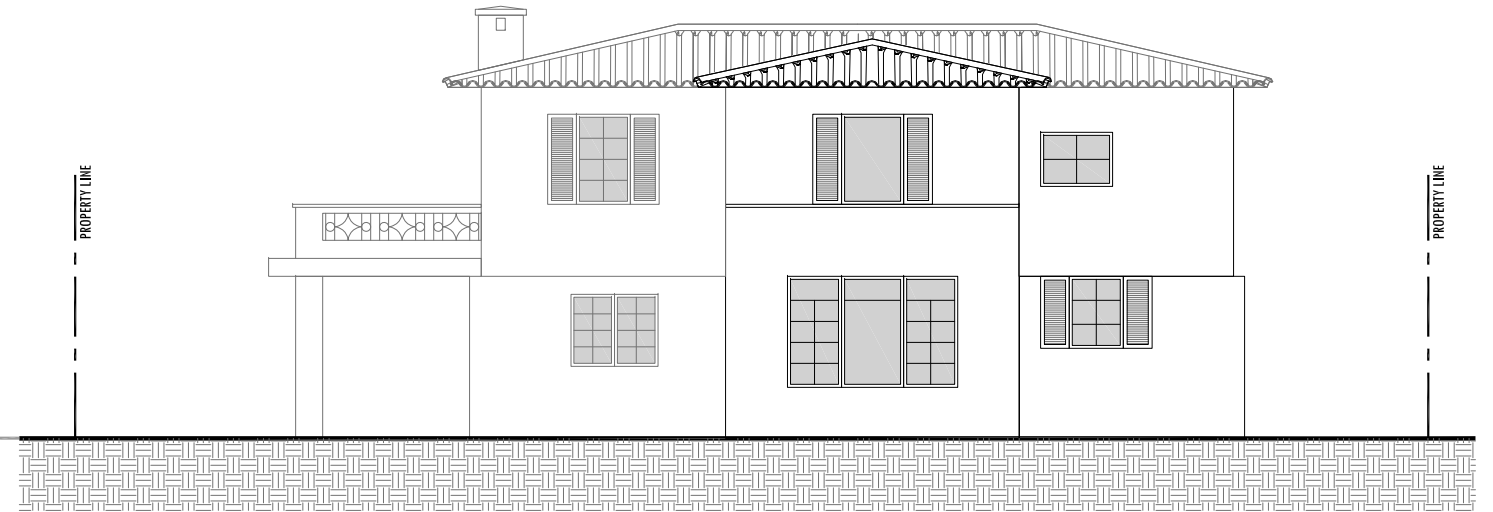
01 1965 REAR PHOTOGRAPH



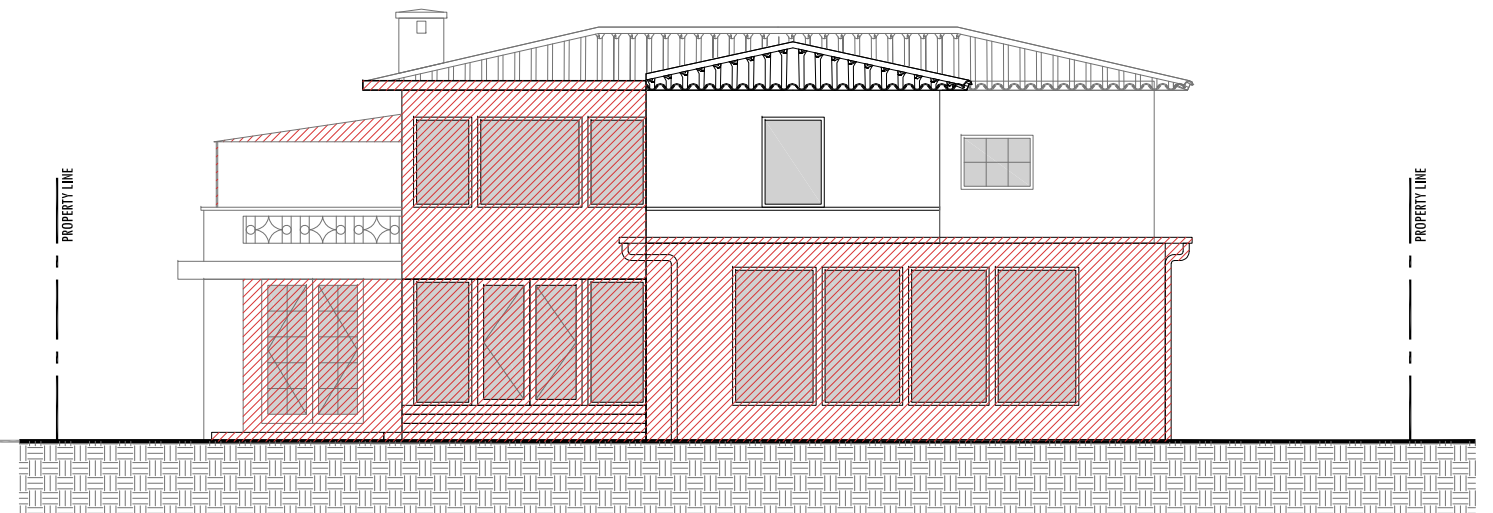
03 REAR PHOTOGRAPH



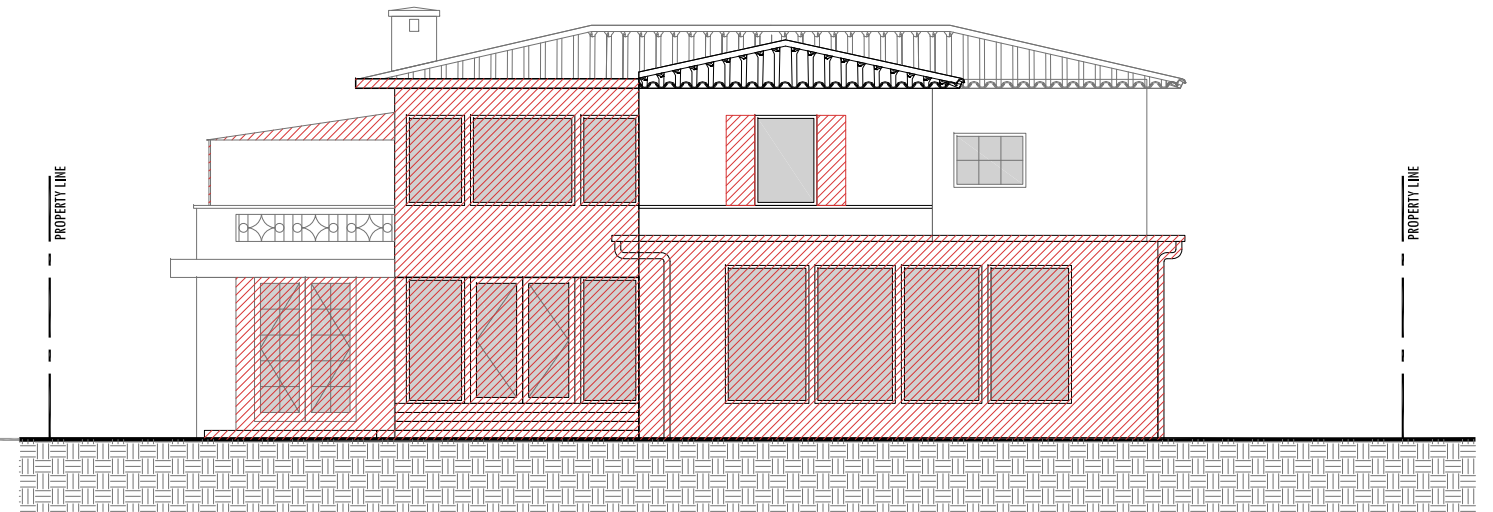
05 CURRENT REAR PHOTOGRAPH



02 1937 REAR ELEVATION
SCALE 3/32" = 1' - 0"



04 1978 REAR ELEVATION
SCALE 3/32" = 1' - 0"



06 1992 REAR ELEVATION
SCALE 3/32" = 1' - 0"

REAR FACADE EVOLUTION TIMELINE

SUNSET ISLAND RESIDENCE

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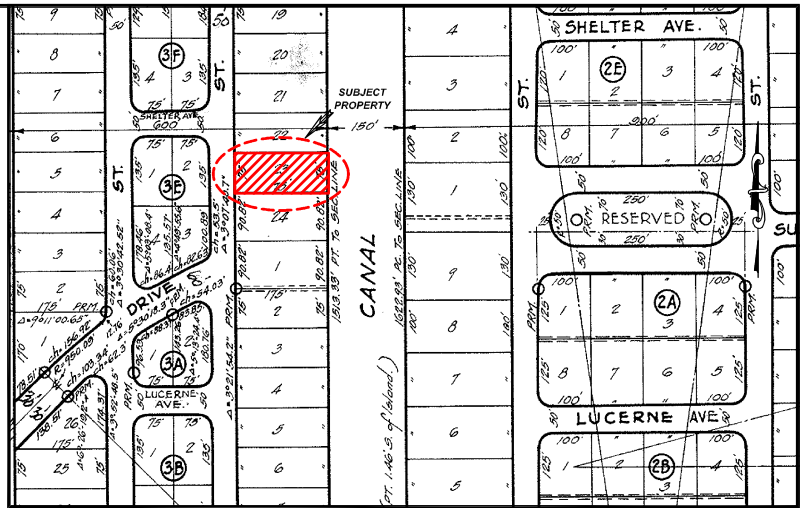
A-08

BOUNDARY SURVEY

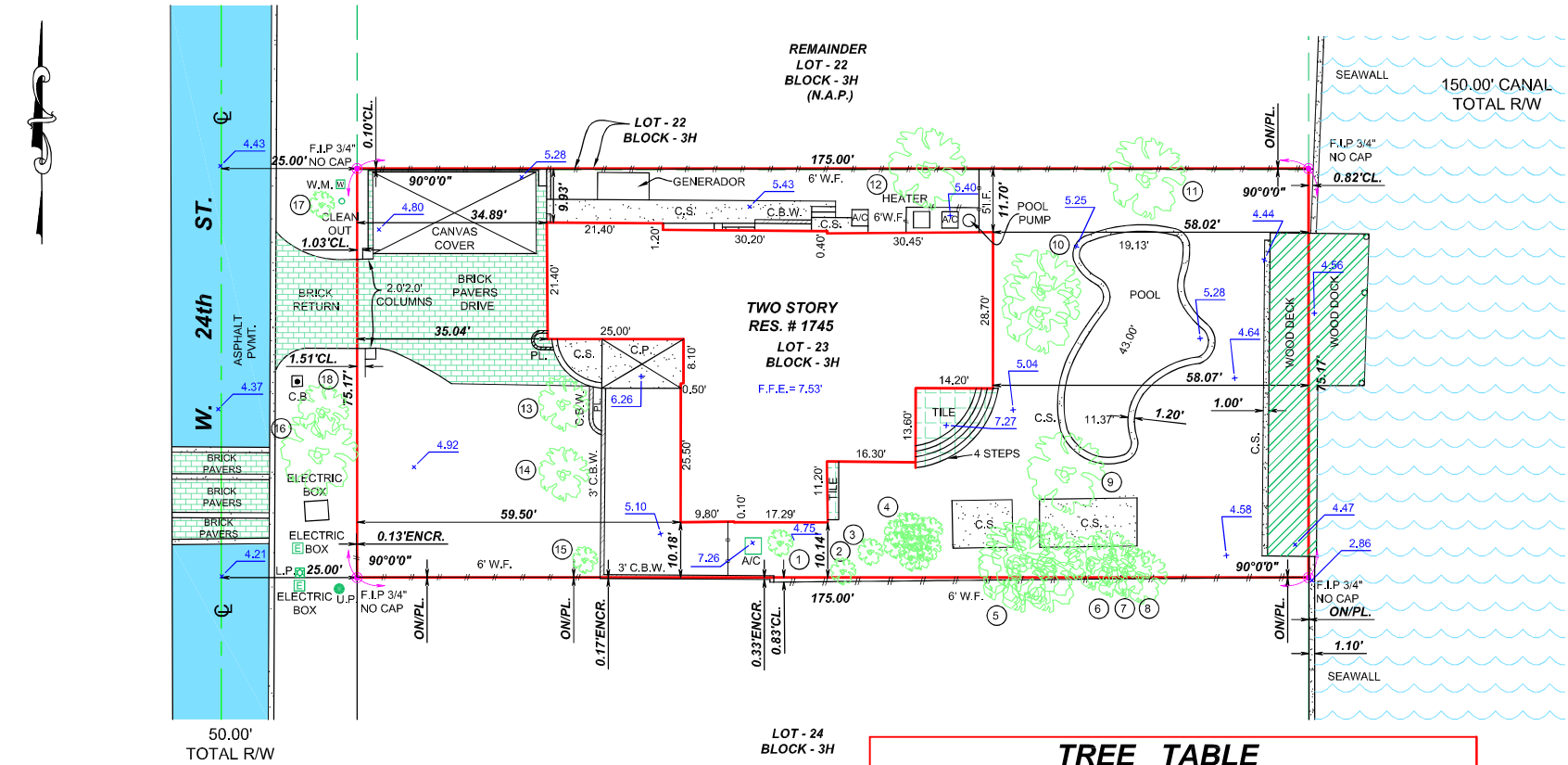
GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.



LOCATION SKETCH N.T.S.



LEGAL DESCRIPTION:

SURVEY OF THE EAST 2 INCHES OF LOT 22, AND ALL OF LOT 23 , BLOCK 3H, OF THIRD REVISED PLAT OF SUNSET ISLANDS ACCORDING TO THE PLAT THEREOF AS RECORDED IN THE PLAT BOOK 40, PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS

1745 W 24 ST
MIAMI BEACH, FL 33140

CERTIFICATIONS:

SUNSET ISLANDS DEVELOPMENTON, LLC C/O ERIC J. GRABOIS PL.

SURVEYOR'S NOTES:

- IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY, TOWNSHIP MAPS. NORTH ARROW BASED ON PLAT
- ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929
MIAMI-DADE COUNTY BENCH MARK # D-166 LOCATOR NO. 3235 SW
ELEVATION 7.27 FEET OF N.G.V.D. OF 1929
- THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
I HEREBY CERTIFY: THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION, COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

Digitally signed by GEORGE IBARRA
DN: c=US, st=Florida, l=Miami,
o=NOVA SURVEYOR, INC.,
cn=GEORGE IBARRA,
email=georgeibarra@gmail.com
Date: 2021.04.19 12:34:16 -04'00'
BY: _____ 11/17/2020
GEORGE IBARRA (DATE OF FIELD WORK)
PROFESSIONAL LAND SURVEYOR NO. :2534
STATE OF FLORIDA
FIRM L.B. # 6044

(VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR).

REVISED ON: 04-13-2021 SURVEY, CONSTRUCTION ELEVATIONS & TREE SURVEY

REVISED ON:

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY (SURVEY):
- EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- LEGAL DESCRIPTION PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND OR NOT TO SCALE.
- EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE NOTED.
- THE TERM "ENCROACHMENT" MEANS VISIBLE ON AND ABOVE GROUND ENCROACHMENT.
- ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS AND SETBACKS AND THEY WILL BE RESPONSIBLE OF SUBMITTING PLOT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN A NEW CONSTRUCTIONS, UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- FENCE OWNERSHIP NOT DETERMINED.
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN: ZONE: "AE" COMMUNITY/PANEL/SUFFIX: 120651/0317/L. DATE OF FIRM: 09/11/2009
BASE FLOOD ELEVATION: 8 FEET.

A = ARC
A/C = AIR CONDITIONER PAD.
A.E. = ANCHOR EASEMENT.
A/R = ALUMINUM ROOF.
A/S = ALUMINUM SHED.
ASPH. = ASPHALT.
B.C. = BLOCK CORNER.
BLDG. = BUILDING.
B.M. = BENCH MARK.
B.N.H. = BELLSOUTH MANHOLE
B.O.B. = BASIS OF BEARINGS.
C = CALCULATED
C.B. = CATCH BASIN.
C.B.S. = CONCRETE BLOCK STRUCTURE.
CBW = CONCRETE BLOCK WALL.
CH. = CHORD.
CH.B. = CHORD BEARING.
CL = CLEAR
C.L.F. = CHAIN LINK FENCE.
C.M.E. = CANAL MAINTENANCE EASEMENTS.

CONC. = CONCRETE.
C.P. = CONC. PORCH.
C.S. = CONCRETE SLAB.
D.E. = DRAINAGE EASEMENT.
D.M.E. = DRAINAGE MAINTENANCE EASEMENTS
DRIVE = DRIVEWAY
* = DEGREE.
E = EAST.
E.T.F. = ELECTRIC TRANSFORMER PAD.
ELEV. = ELEVATION.
ENCR. = ENCROACHMENT.
F.H. = FIRE HYDRANT.
F.I.P. = FOUND IRON PIPE.
F.I.R. = FOUND IRON ROD.
F.F.E. = FINISHED FLOOR ELEVATION.
F.N.D. = FOUND NAIL & DISK.
FR = FRAME.
FT = FEET.

ABBREVIATIONS AND MEANINGS

PROP. COR. = PROPERTY CORNER
FNIP. = FEDERAL NATIONAL INSURANCE
F.W. = FOUND WALL.
H. = HIGH (HEIGHT)
IN. & EG. = INGRESS AND EGRESS EASEMENT.
L.B. = LICENSED BUSINESS
L.P. = LIGHT POLE.
L.F.E. = LOWEST FLOOR ELEVATION.
L.M.E. = LAKE MAINTENANCE EASEMENT.
M. = MEASURED DISTANCE.
MON. = MONUMENT LINE.
M/W = MANHOLE.
M/L = MONUMENT LINE.
N.A.P. = NOT A PART OF.
NGVD = NATIONAL GEODETIC VERTICAL DATUM.
N. = NORTH.
N.T.S. = NOT TO SCALE.
#-NO. = NUMBER.
O/S = OFFSET.

O.H. = OVERHEAD
O.H.L. = OVERHEAD UTILITY LINES
OVL = OVERHANG
P.VMT. = PAVEMENT.
PL. = PLANTER.
P/L = PROPERTY LINE.
P.C.C. = POINT OF COMPOUND CURVE.
P.C. = POINT OF CURVE.
P.T. = POINT OF TANGENCY.
POC. = POINT OF COMMENCEMENT.
POB. = POINT OF BEGINNING.
P.R.C. = POINT OF REVERSE CURVE
P.B. = PLAT BOOK.
PG. = PAGE.
PHY. = PARKWAY.
PRM. = PERMANENT REFERENCE MONUMENT.
P.L.S. = PROFESSIONAL LAND SURVEYOR.
R. = RECORDED DISTANCE.

RR. = RAIL ROAD.
RES. = RESIDENCE.
R/W = RIGHT-OF-WAY.
R.P. = RADIUS POINT.
RGE. = RANGES.
SEC. = SECTION.
STY. = STORY.
SWK. = SIDEWALK.
S.I.P. = SET IRON PIPE L.B. #6044.
S. = SOUTH.
" = SECONDS
T = TANGENT.
TWP = TOWNSHIP.
UTIL. = UTILITY.
U.P. = UTILITY POLE.
W.M. = WATER METER.
W.F. = WOOD FENCE.

—+—+—+— = IRON FENCE.
W.S. = WOOD SHED.
W = WEST.
C. = CENTER LINE.
Δ = CENTRAL ANGLE.
∠ = ANGLE.
—+—+—+— = WOOD FENCE.
—+—+—+— = CHAIN LINK FENCE.
= C.B.S. WALL. (C.B.N.)
= EXISTING ELEVATIONS.
= PROPOSED ELEVATIONS.
→ = TRAFFIC FLOW
⊙ = DRAINAGE MH

