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No.	O.N.	Revision	Description
4	210028	ADD	FP&L TRANSFORMERS (2/9/21) - SJD
3	201132	UPDATE	SURVEY (12/28/20) SJD
2	190917	UPDATE	SURVEY (9/25/19) SJD
1	190524	TREE	SURVEY (7/1/19)

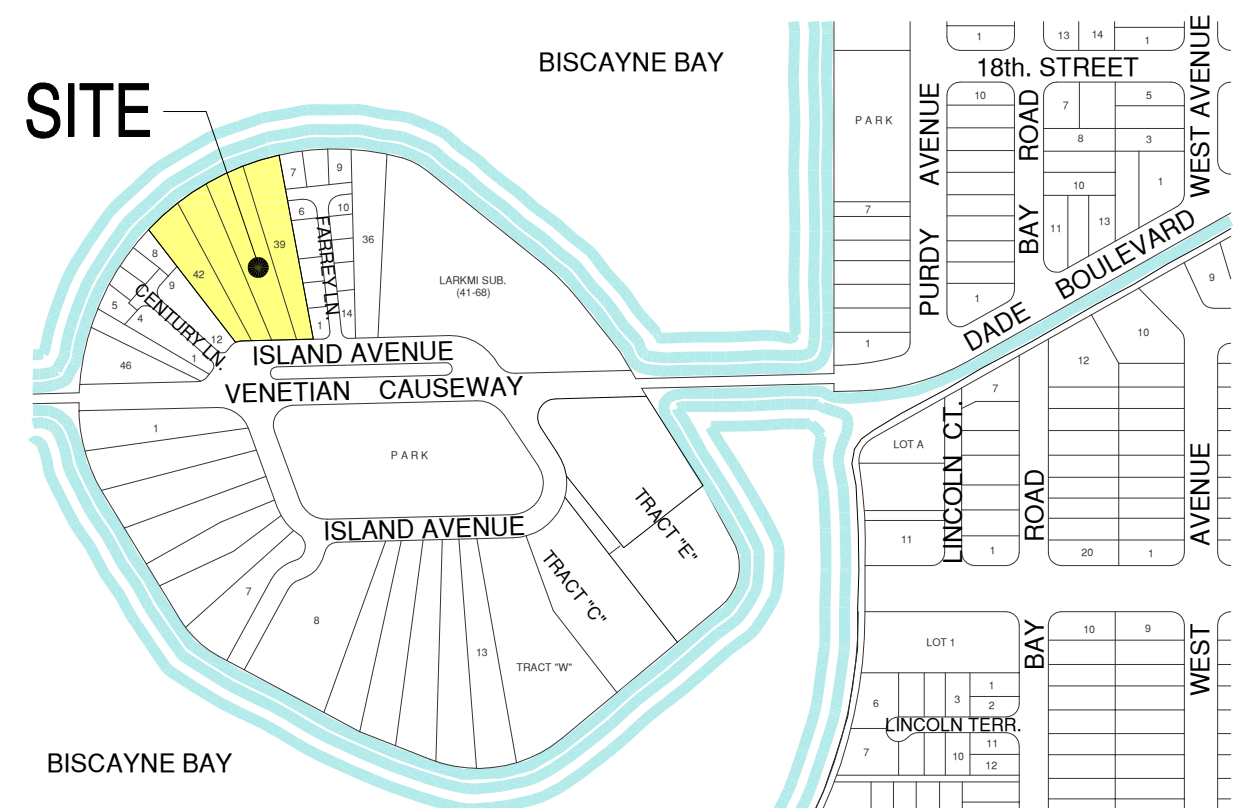
FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00003653
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-653-4493 / Fax 305-651-7152 / Email fls@flsurvey.com

BOUNDARY & TOPOGRAPHIC SURVEY

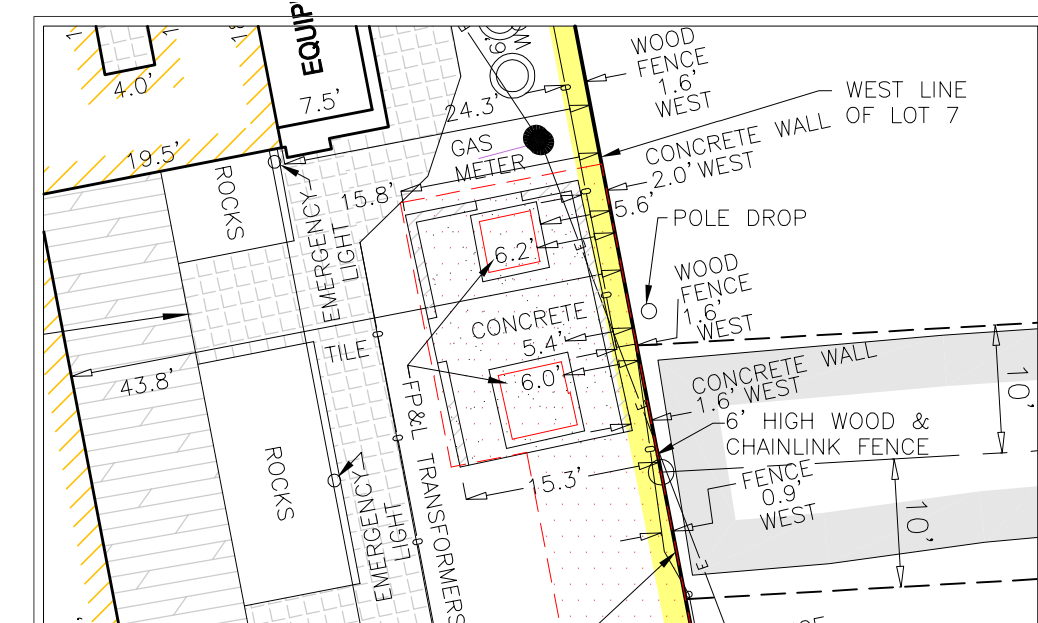
STANDARD HOTEL - 40 ISLAND AVENUE

CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

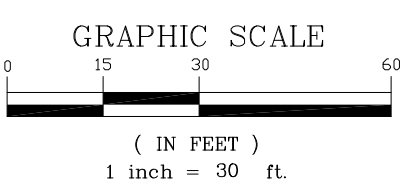
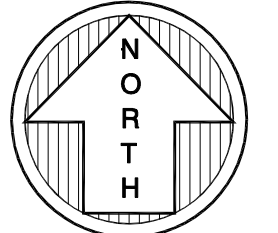
Original Date	12/3/18
Scale	1" = 30'
Drawn By	MAP
CAD No.	181289
Plotted	2/10/21 1:23p
Ref. Dwg.	2007-127
Field Book	RLL
65057 & FLD.SHTS.	
Job No.	181289
Dwg. No.	2018-174
Sheet	1 of 1



LOCATION SKETCH
NOT TO SCALE



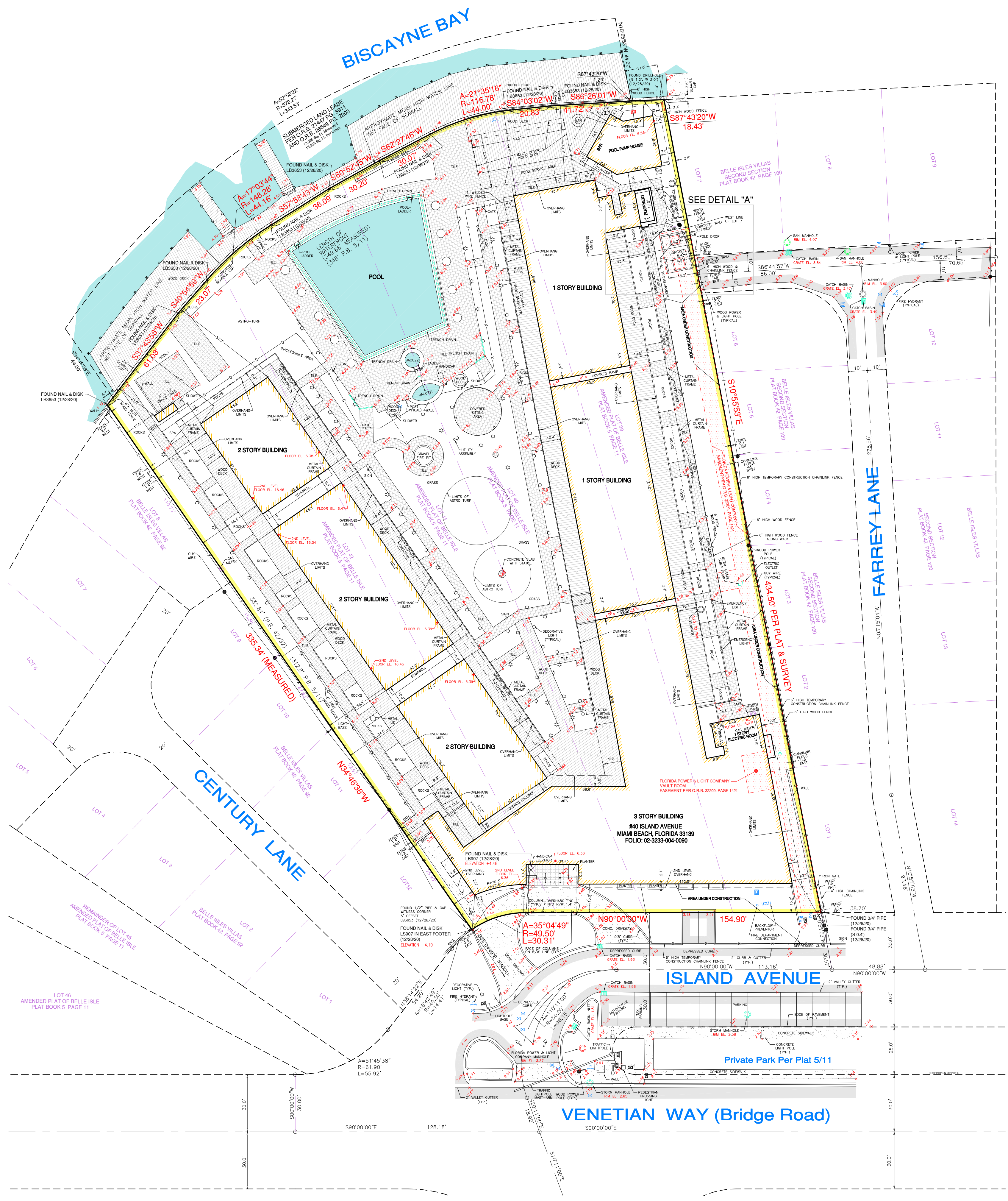
DETAIL "A"
SCALE: 1" = 15'



LEGEND

	CATCH BASIN		0.5' CURB
	MANHOLE		2.0' CURB & GUTTER
	LIGHT POLE		CHAIN LINK FENCE
	WATER METER		GRADE ELEVATION
	WATER VALVE		INVERT
	CATCH BASIN INLET		SANITARY
	RISER		PERMANENT REFERENCE MONUMENT
	FIRE HYDRANT		CONCRETE
	HANDHOLE		ASPHALT PAVEMENT
	SIGN		

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LEGAL DESCRIPTION:

Lots 39, 40, 41 and 42, BELLE ISLE, according to the plat thereof as recorded in Plat Book 5 at Page 11 of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 33, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N34°46'38"W for the Southwesterly line of Lot 42, and evidenced by a Found Nail and Disk Stamped LB907 at the Southwest Corner and evidenced by a Found Nail and Disk Stamped LB3653 at the intersection of the West Line and the Approximate Mean High Water Line.
- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. D-188, Elevation +7.75, Located 20' North of the centerline of the Venetian Causeway. Located on December 2018.
- Lands shown hereon are located within an area having a Zone Designation AE (EL 9) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 1206600317L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Uplands shown hereon containing 104,388 square feet, or 2.396 acres, more or less.
- Based on our review of other lots in Plat Book 5 at Page 11, as well as other contemporary plats on Belle Isle, the depths of the Lots were intended to extend to the west face of the Original 1" wide, Concrete Bulkhead Existing at the time of the Plat(s); therefore the depths of Lots 40, 41, and 42, shown hereon have been extended to the Approximate Mean High Water Line of the seawalls, existing today.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary & Topographic Survey" was made under my responsible charge on December 3, 2018 and last updated on December 28, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on December 28, 2020.

Not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper

FORTIN, LEAVY, SKILES, INC., LB3653

By:

Digitally signed by Daniel C Fortin
DN: c=US, o=Unaffiliated,
ou=A01410D0000017402A2BF42000
4295B, cn=Daniel C Fortin
Date: 2021.02.15 13:04:53 -05'00'