

# NEW SINGLE FAMILY RESIDENCE - DRB21-0670 FINAL SUBMITTAL

DRB PRE-APPLICATION MEETING: APRIL 8TH, 2021  
DRB FIRST CSS SUBMITTAL: APRIL 19TH, 2021  
**FINAL DRB CSS SUBMITTAL: MAY 10TH, 2021**  
DESIGN REVIEW BOARD MEETING: JULY 6TH, 2021

2120 LUCERNE AVE

MIAMI BEACH, FLORIDA

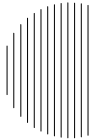
| CLIENT                                                   | ARCHITECT                                                                                 | STRUCTURAL ENGINEER                                                                              | MEP ENGINEER                                                                                      | LANDSCAPING                                                                                 | CIVIL ENGINEER                                                                                    | DESIGN CONSULTANT                                                             | SCOPE OF WORK                                   |
|----------------------------------------------------------|-------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------|-------------------------------------------------|
| TODD GLASER<br>2120 LUCERNE AVE<br>MIAMI BEACH FL, 33140 | CALIL ARCHITECTS<br>1728 CORAL WAY #102<br>MIAMI, FL 33145<br>(305) 860-9600<br>AR0009383 | OPTIMUS STRUCTURAL DESIGN<br>1850 NW 146 ST SUITE 305<br>MIAMI LAKES, FL 33016<br>(305) 512-5860 | VIDAL & ASSOCIATES INC.<br>241 NW SOUTH RIVER DR<br>MIAMI, FL 33138<br>(305) 571-1860<br>PE 56204 | CHRISTOPHER CAWLEY<br>180 NE 69 ST #106<br>MIAMI, FL 33138<br>(305) 979-1585<br>LC 26000460 | OCEAN ENGINEERING INC.<br>333 NE 24 ST SUITE 408<br>MIAMI, FL 33137<br>(786) 253-5252<br>PE 61747 | A12 DESIGN CORP<br>3631 TORREMOLINOS AVE<br>DORAL, FL 33178<br>(305) 520-9242 | - NEW CONSTRUCTION OF A SINGLE FAMILY RESIDENCE |



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2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



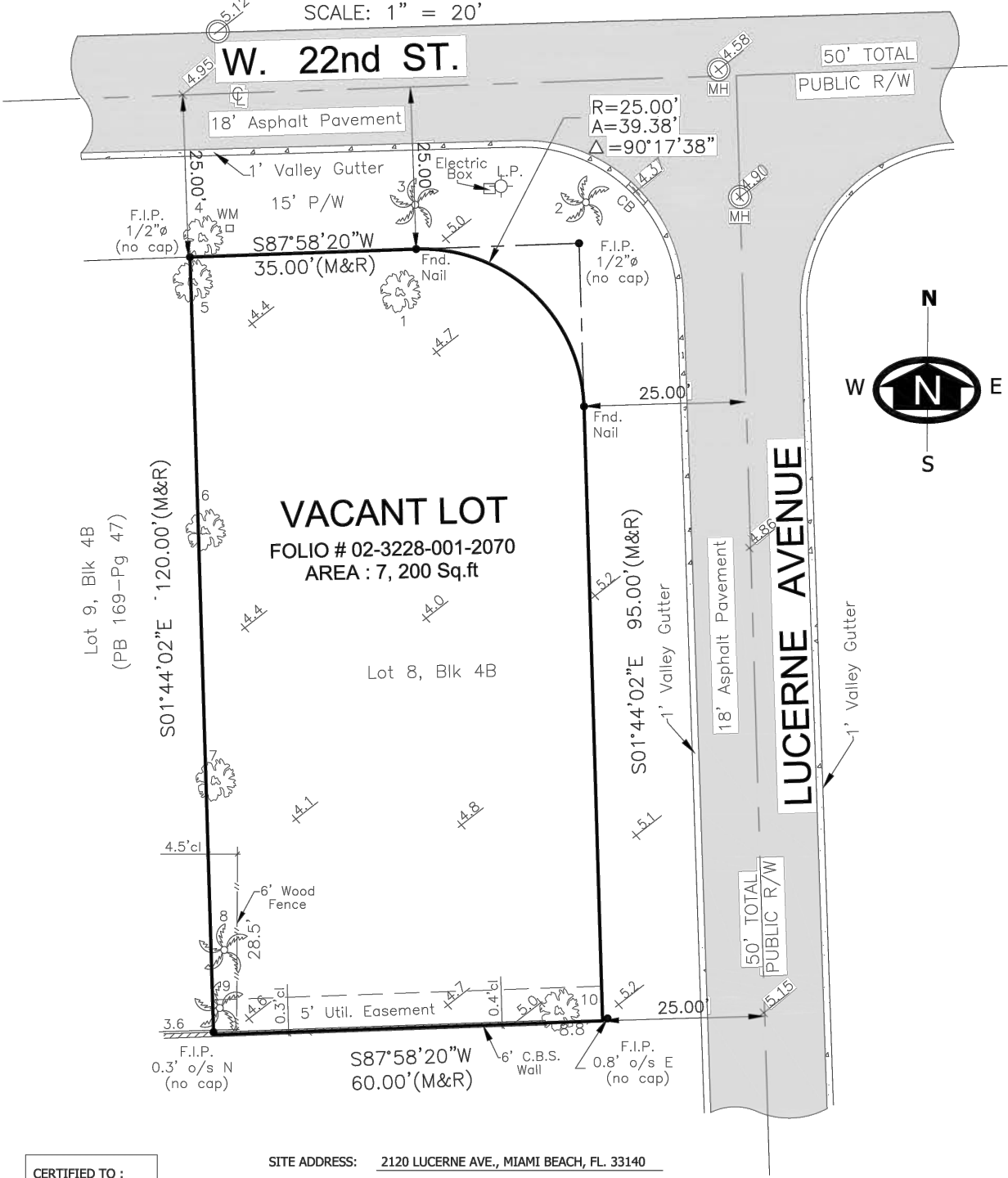
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COVER

SKETCH OF BOUNDARY SURVEY



CERTIFIED TO :  
TODD GLASER

SITE ADDRESS: 2120 LUCERNE AVE., MIAMI BEACH, FL. 33140  
JOB NUMBER: 21-103  
DATE OF SURVEY: JANUARY 12, 201  
FOLIO NUMBER: 02-3228-001-2070

LOCATION MAP  
SCALE: NTS



SITE PICTURE



ABREVIATION (IF ANY APPLIED)

A = CURVE  
A/C = AIR CONDITIONING UNIT  
ASPH. = ASPHALT  
B.M. = BENCH MARK  
BLK/Corr. = BLOCK CORNER  
CALC.(C) = CALCULATED  
CB = CATCH BASIN  
C.B.S. = CONCRETE BLOCK STRUCTURE  
CL = CLEAR MONUMENT  
CONC. = CONCRETE  
D.M.E. = DRAINAGE MAINT. EASEMENT  
REC. (R) = RECORDED  
EASMT. = EASEMENT  
ELEV. = ELEVATION  
ENC. = ENCROACHMENT  
F.D/H = FOUND DRILL HOLE  
F.H. = FIRE HYDRANT  
F.N/D = FOUND NAIL AND DISC  
F.I.P. = FOUND IRON PIPE  
F.S. = FOUND SPIKE  
L.P. = LIGHT POLE  
MEAS.(M) = MEASURED  
MH = MANHOLE  
M = MONUMENT  
M = MONUMENT LINE  
NTS = NOT TO SCALE

P/W = PARKWAY  
P.O.B. = POINT OF BEGINNING  
P.O.C. = POINT OF COMMENCEMENT  
P.C. = POINT OF CURVATURE  
P.I. = POINT OF INTERSECTION  
P = PROPERTY LINE  
P.P. = POWER POLE  
P.R.M. = PERMANENT REFERENCE MONUMENT  
P.T. = POINT OF TANGENCY  
RAD. = RADIAL  
REC. (R) = RECORDED  
RES. = RESIDENCE  
R/W = RIGHT OF WAY  
SEC. = SECTION  
S.D/H = SET DRILL HOLE  
S.N/D = SET NAIL AND DISC  
S.I.P. = SET IRON PIPE  
S.R.B. = SET REBAR  
STY = STORY  
SWK. = SIDEWALK  
T.O.P. = TOP OF BANK  
U.E. = UTIL. EASEMENT  
W.P. = WOODEN POLE  
§ = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE  
STRUCTURE (BLDG.)  
CONCRETE BLOCK WALL  
METAL FENCE  
WOODEN FENCE  
CHAIN LINK FENCE  
WOOD DECK/DOCK  
ASPHALTED AREAS  
CONCRETE  
BRICKS OR PAVERS  
ROOFED AREAS  
WATER (EDGE OF WATER)

CATCH BASIN  
MANHOLE  
OVERHEAD ELECT.  
POWER POLE  
LIGHT POLE  
HANDICAP SPACE  
FIRE HYDRANT  
EASEMENT LINE  
WATER VALVE  
TV-CABLE BOX  
WATER METER  
CONC. LIGHT POLE  
Electric BOX

| No. | TREE NAME      | BOTANICAL NAME        | D.B.H. | HEIGHT | SPREAD |
|-----|----------------|-----------------------|--------|--------|--------|
| 1   | AVOCADO TREE   | PERSEA AMERICANA      | 1.5'   | 50'    | 30'    |
| 2-3 | ROYAL PALM     | ROYSTONIA ELATA       | 1.5'   | 50'    | 40'    |
| 4-5 | STRANGLER FIG  | FICUS AUREA           | 2.0'   | 15'    | 15'    |
| 6   | LIVE OAK       | QUERCUS VIRGINIANA    | 0.5'   | 25'    | 12'    |
| 7   | UNKNOWN        | UNKNOWN               | 1.5'   | 40'    | 40'    |
| 8   | MEXICAN PALM   | WASHINGTONIA ROBUSTA  | 0.8'   | 25'    | 12'    |
| 9   | MACARTHUR PALM | PTYCHOSPERMA MACARTHU | 0.4'   | 30'    | 10'    |
| 10  | STRANGLER FIG  | FICUS AUREA           | 3.0'   | 12'    | 12'    |

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **126051-0317L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **7,200 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. A-36**, WITH AN ELEVATION OF **7.33 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF 5.01°44'02"E., BEING THE RECORDED BEARING FOR THE CENTERLINE OF LUCERNE AVE., AS SHOWN ON PLAT BOOK 40 AT PAGE 8 OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER CHAPTER 5J-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

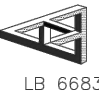
LEGAL DESCRIPTION:  
LOT 9, BLOCK 4B, OF SUNSET ISLANDS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 40 AT PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

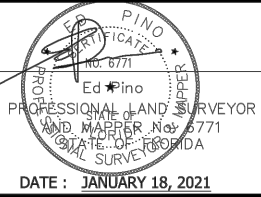
- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE IS A 5' UTIL. EASEMENT ON THE REAR OF THE SUBJECT PROPERTY

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FOR THE FLORIDA STATUTES.

**American Services of Miami, Corp.**  
Consulting Engineers . Planners . Surveyors  
**3195 PONCE DE LEON BLVD, SUITE 200**  
**CORAL GABLES, FL 33134**  
**PHONE: (305)598-5101 FAX: (305)598-8627**  
**ASOMIAMI.COM**



LB 6683



NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

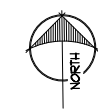
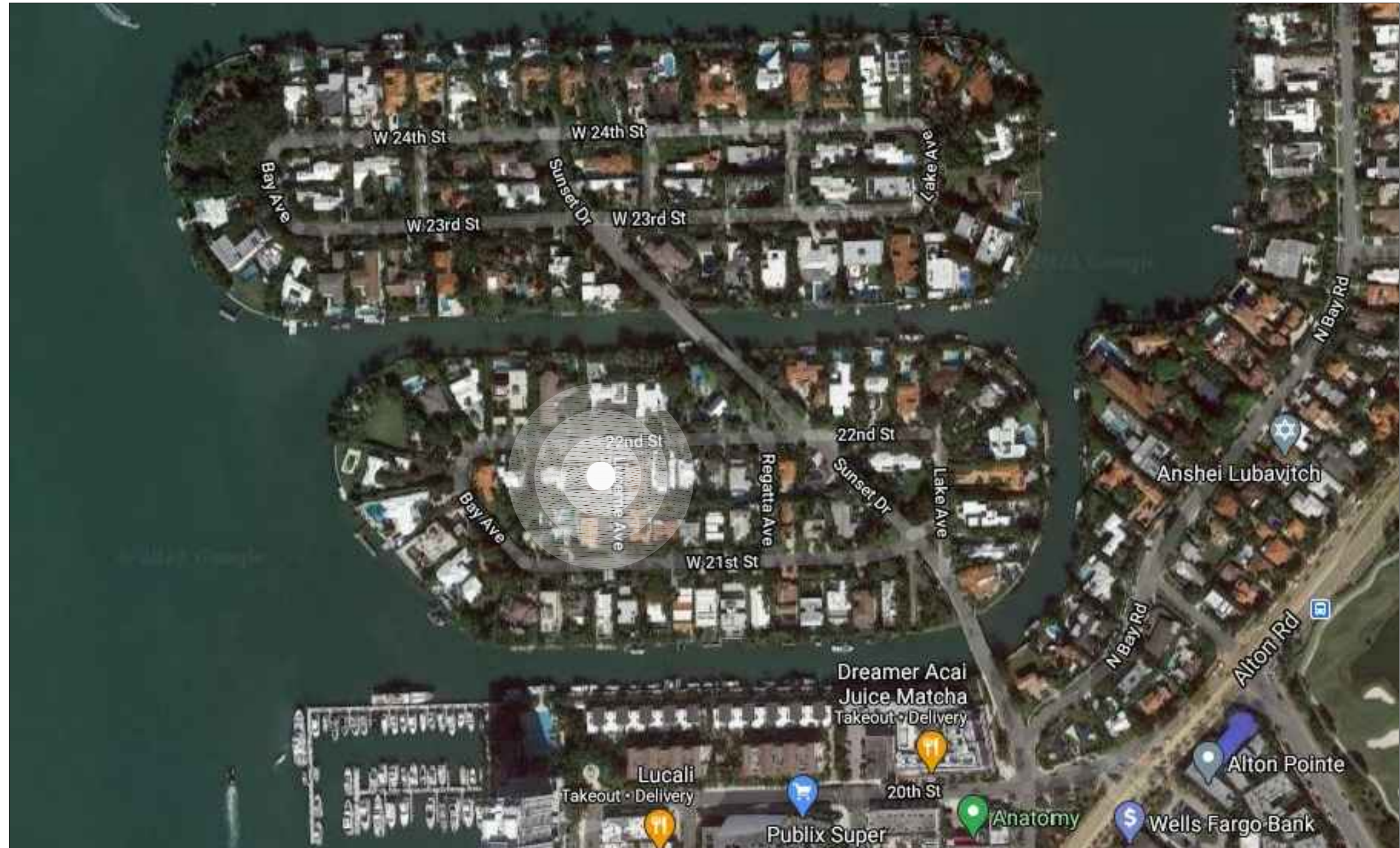
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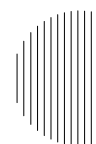
EX-0.00

# LOCATION MAP



**LOCATION PLAN**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



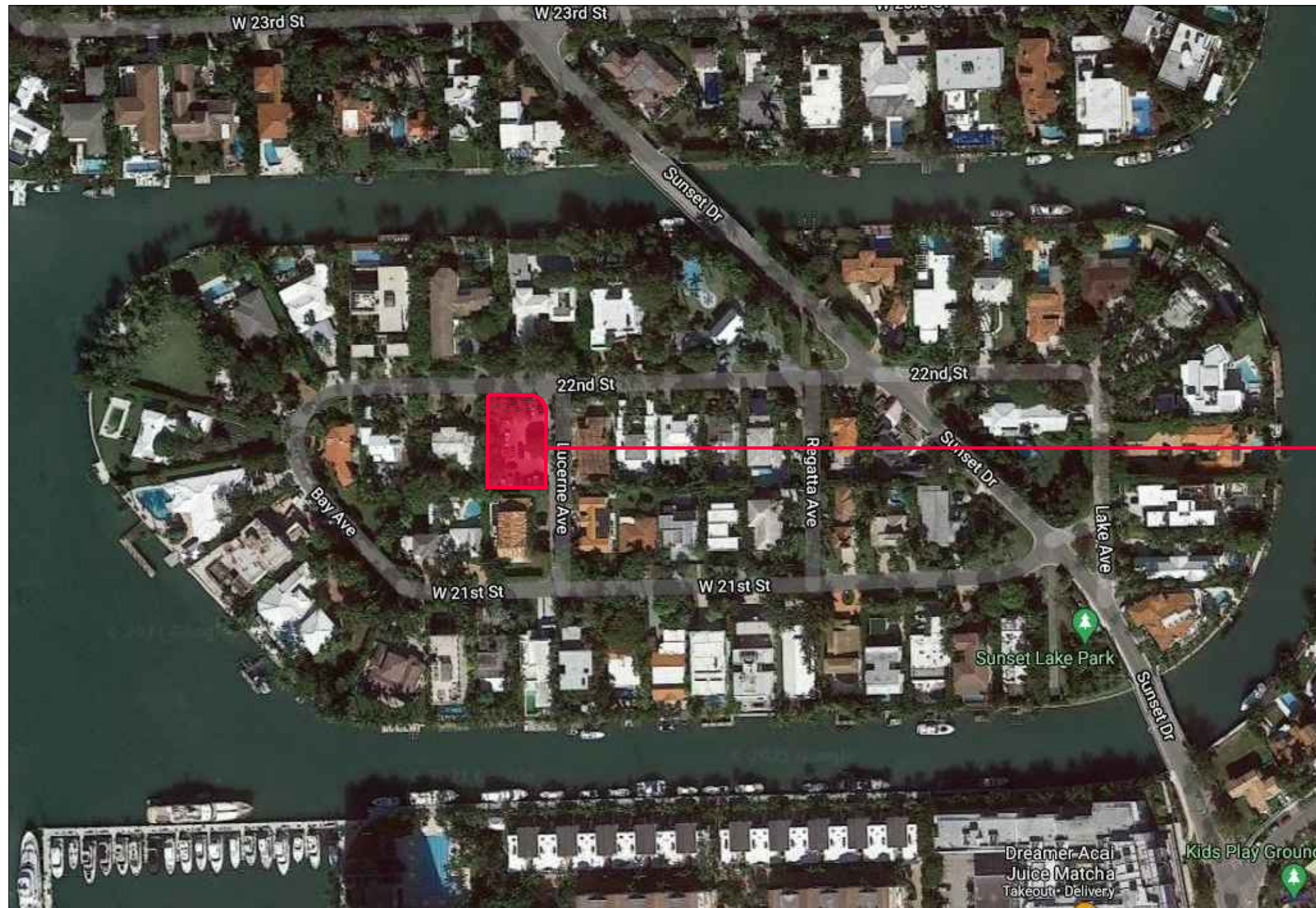
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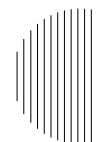
**EX-1.01**

# NEIGHBORHOOD ANALYSIS

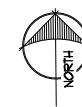


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NEIGHBORHOOD ANALYSIS - KEY PLAN  
N.T.S.



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EX-1.02

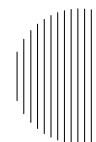
# NEIGHBORHOOD ANALYSIS



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NEIGHBORHOOD ANALYSIS - EXISTING SITE



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EX-1.03

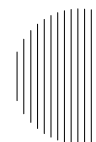
# NEIGHBORHOOD ANALYSIS



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## NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



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EX-1.04

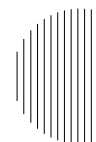
# NEIGHBORHOOD ANALYSIS



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## NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



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EX-1.05

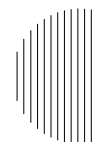
# NEIGHBORHOOD ANALYSIS



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## NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



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EX-1.06

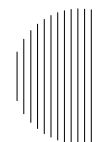
# NEIGHBORHOOD ANALYSIS



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## NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



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EX-1.07

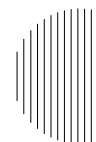
# NEIGHBORHOOD ANALYSIS



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## NEIGHBORHOOD ANALYSIS -ADJACENT PROPERTIES



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EX-1.08

ZONING DATA SHEET



Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

| ITEM # | Zoning Information              |                                        |                                                                                                                                       |                      |
|--------|---------------------------------|----------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|----------------------|
| 1      | Address:                        | 2120 LUCERNE MIAMI BEACH FLORIDA 33140 |                                                                                                                                       |                      |
| 2      | Folio number(s):                | 02-3228-001-2070                       |                                                                                                                                       |                      |
| 3      | Board and file numbers :        | DRB 21-0670                            |                                                                                                                                       |                      |
| 4      | Year built:                     | N/A                                    | Zoning District:                                                                                                                      | RS-4                 |
| 5      | Based Flood Elevation:          | 8.00' NGVD                             | Grade value in NGVD:                                                                                                                  | 4.76' NGVD           |
| 6      | Adjusted grade (Flood+Grade/2): | 6.38' NGVD                             | Free board:                                                                                                                           | 1.00'                |
| 7      | Lot Area:                       | 7,200 sq ft                            |                                                                                                                                       |                      |
| 8      | Lot width:                      | 60'                                    | Lot Depth:                                                                                                                            | 120'                 |
| 9      | Max Lot Coverage SF and %:      | 2,160 SQ FT (30%)                      | Proposed Lot Coverage SF and %:                                                                                                       | 1,779 SQ FT (24.7%)  |
| 10     | Existing Lot Coverage SF and %: | N/A                                    | Lot coverage deducted (garage-storage) SF:                                                                                            | 427 SQ FT            |
| 11     | Front Yard Open Space SF and %: | 535 SQ FT (57.3%)                      | Rear Yard Open Space SF and %:                                                                                                        | 848 SQ FT (70.7%)    |
| 12     | Max Unit Size SF and %:         | 3,600 SQ FT (50%)                      | Proposed Unit Size SF and %:                                                                                                          | 3,502 SQ FT (48.64%) |
| 13     | Existing First Floor Unit Size: | N/A                                    | Proposed First Floor Unit Size:                                                                                                       | 1,752 SQ FT          |
| 14     | Existing Second Floor Unit Size | N/A                                    | Proposed Second Floor volumetric Unit Size SF and %<br>(Note: to exceed 70% of the first floor of the main home require DRB Approval) | N/A                  |
| 15     |                                 |                                        | Proposed Second Floor Unit Size SF and % :                                                                                            | 1,750 SQ FT          |
| 16     |                                 |                                        | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):                                 | N/A                  |

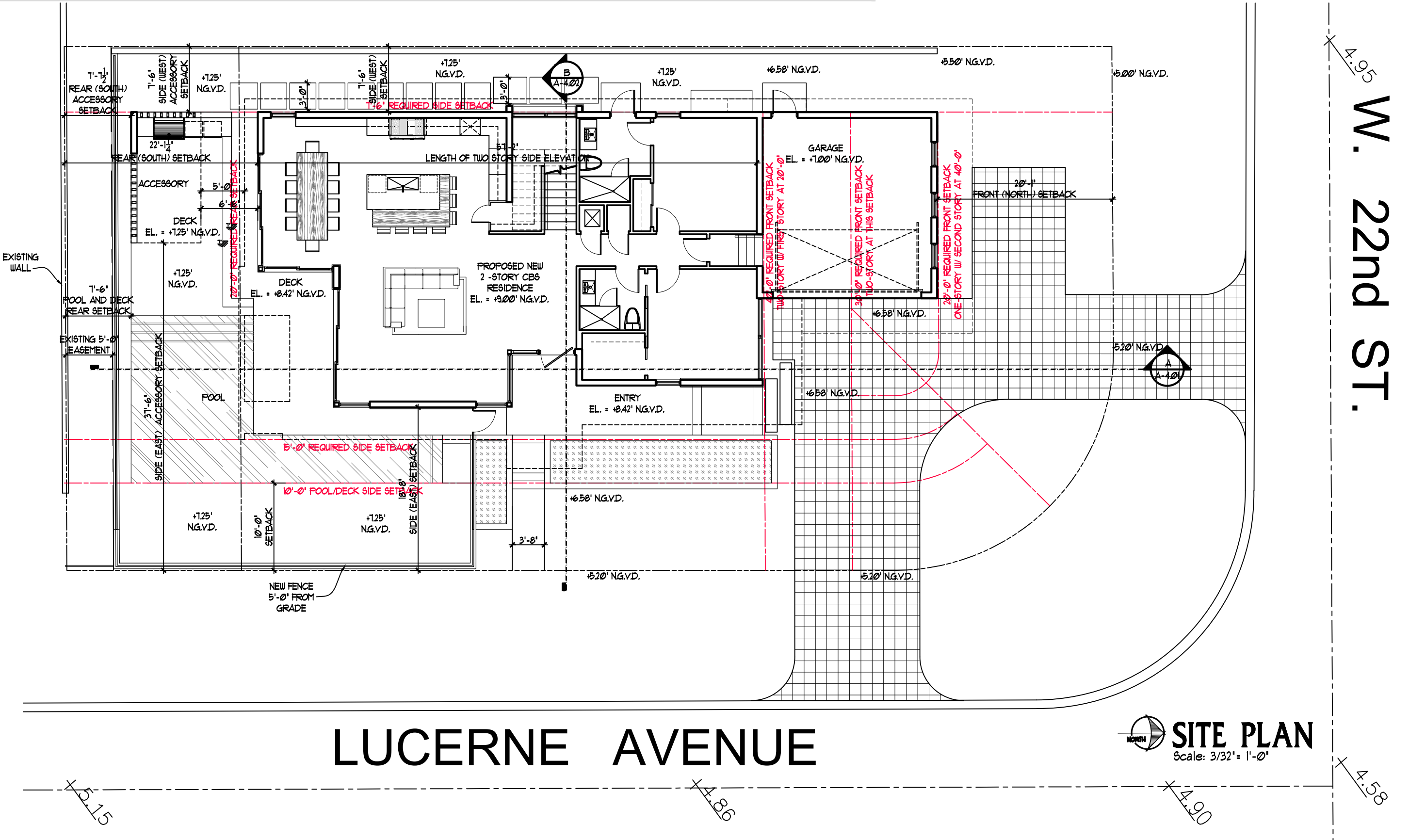
|    |                                                 | Required | Potential Future | Proposed   | Deficiencies |
|----|-------------------------------------------------|----------|------------------|------------|--------------|
| 17 | Height:                                         | 24'-0"   |                  | 24'-0"     | N/A          |
| 18 | Setbacks:                                       |          |                  |            |              |
| 19 | Front First level:                              | 20'-0"   |                  | 20'-1"     | N/A          |
| 20 | Front Second level:                             | 40'-0"   |                  | 40'-0"     | N/A          |
| 21 | Side 1:                                         | 7'-6"    |                  | 7'-6"      | N/A          |
| 22 | Side 2 or (facing street):                      | 15'-0"   |                  | 18'-8"     | N/A          |
| 23 | Rear:                                           | 20'-0"   |                  | 22'-1 1/4" | N/A          |
|    | Accessory Structure Side 1:                     | 10'-0"   |                  | 7'-6"      | N/A          |
| 24 | Accessory Structure Side 2 or (facing street) : | 7'-6"    |                  | 37'-6"     | N/A          |
| 25 | Accessory Structure Rear:                       | N/A      |                  | 7'-7 1/2"  | N/A          |
| 26 | Sum of Side yard :                              | 22'-6"   |                  | 25'-8"     |              |

|    |                                                                    |    |
|----|--------------------------------------------------------------------|----|
| 27 | Located within a Local Historic District?                          | NO |
| 28 | Designated as an individual Historic Single Family Residence Site? | NO |
| 29 | Determined to be Architecturally Significant?                      | NO |

Notes:  
If not applicable write N/A  
All other data information should be presented like the above format

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

SITE PLAN



LUCERNE AVENUE

**SITE PLAN**  
Scale: 3/32" = 1'-0"

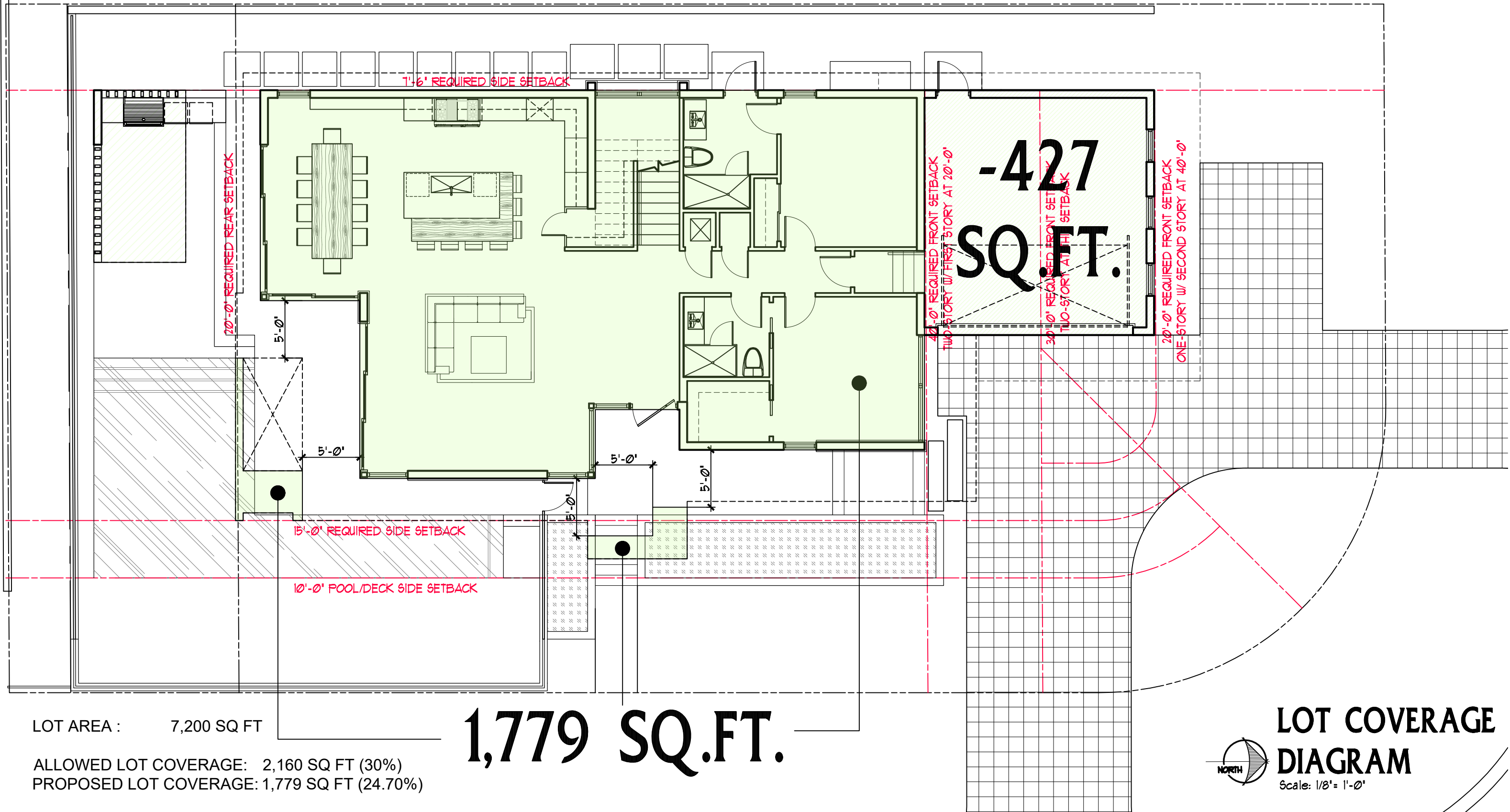
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**A12**  
DESIGN CORP  
DESIGN CONSULTANT

A-0.01

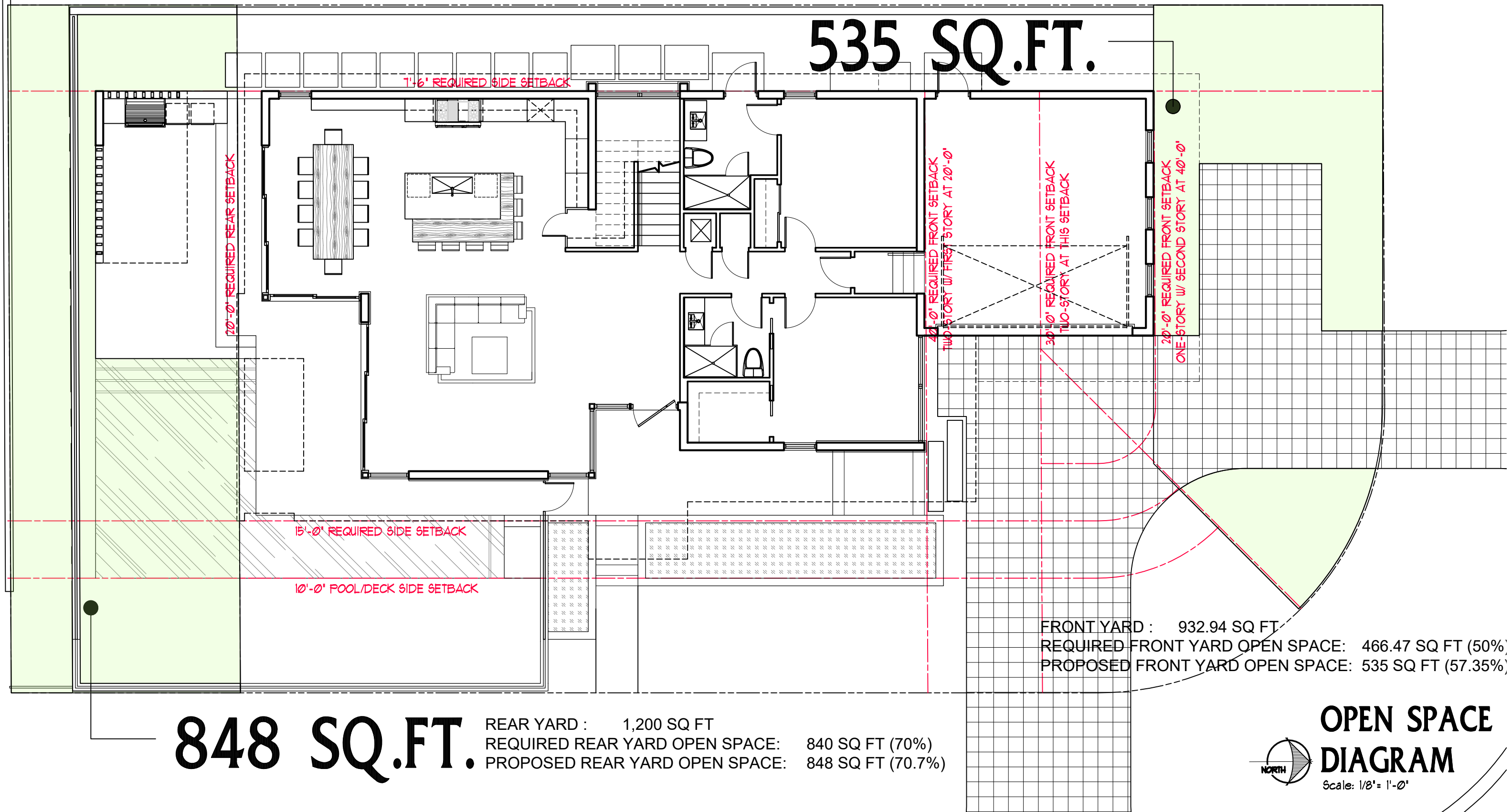
# DIAGRAMS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

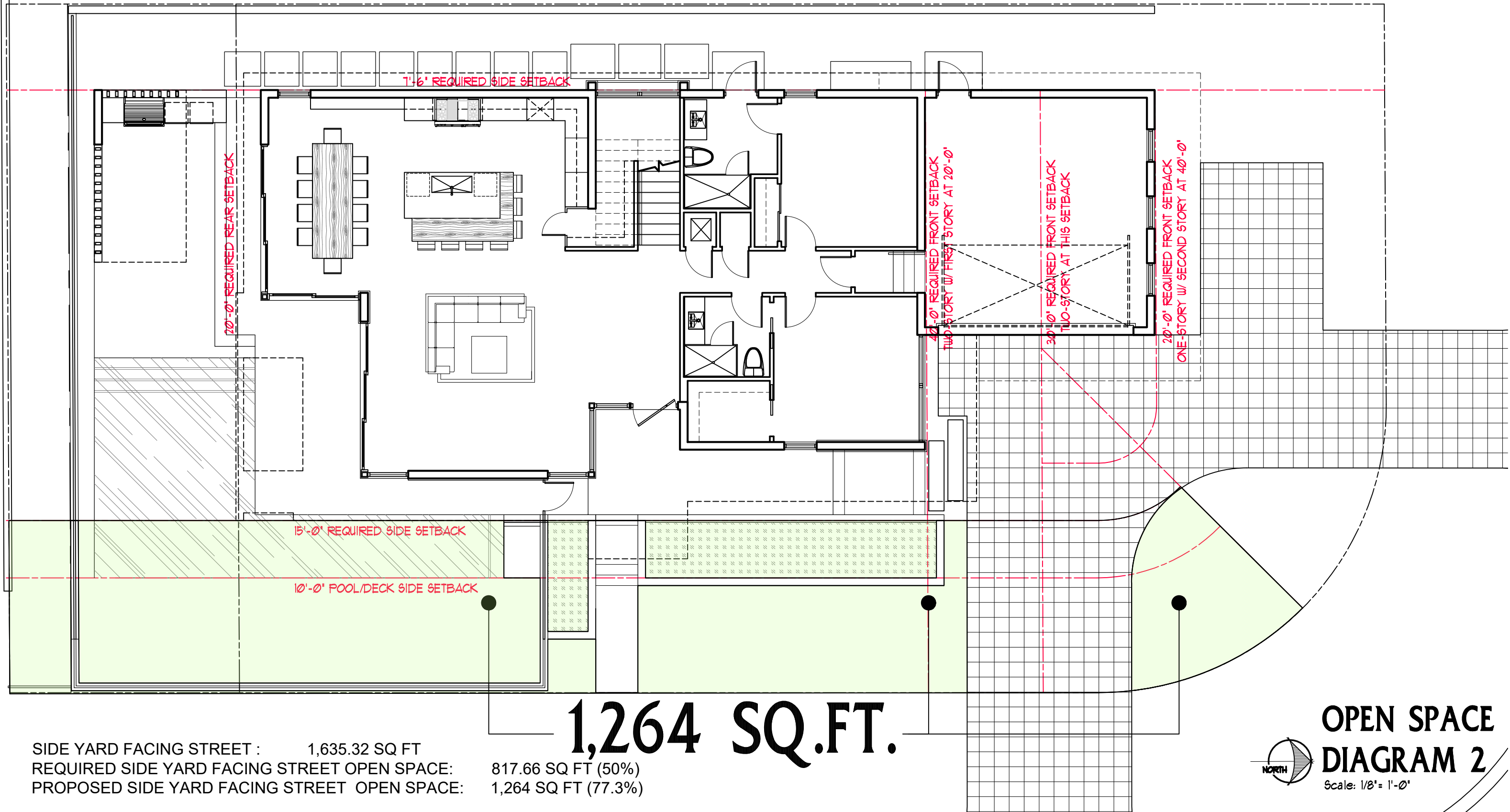


# DIAGRAMS

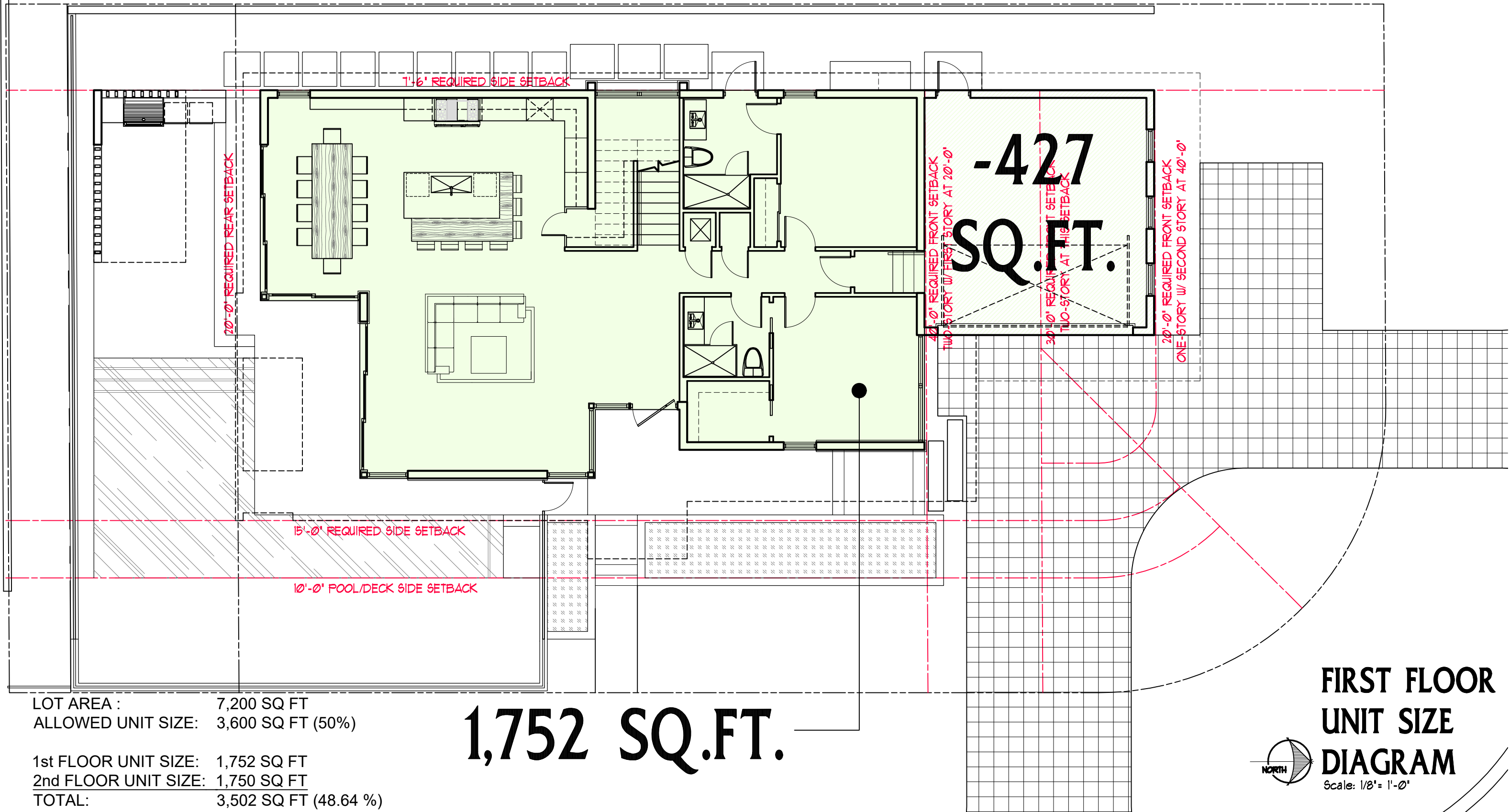


2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

# DIAGRAMS

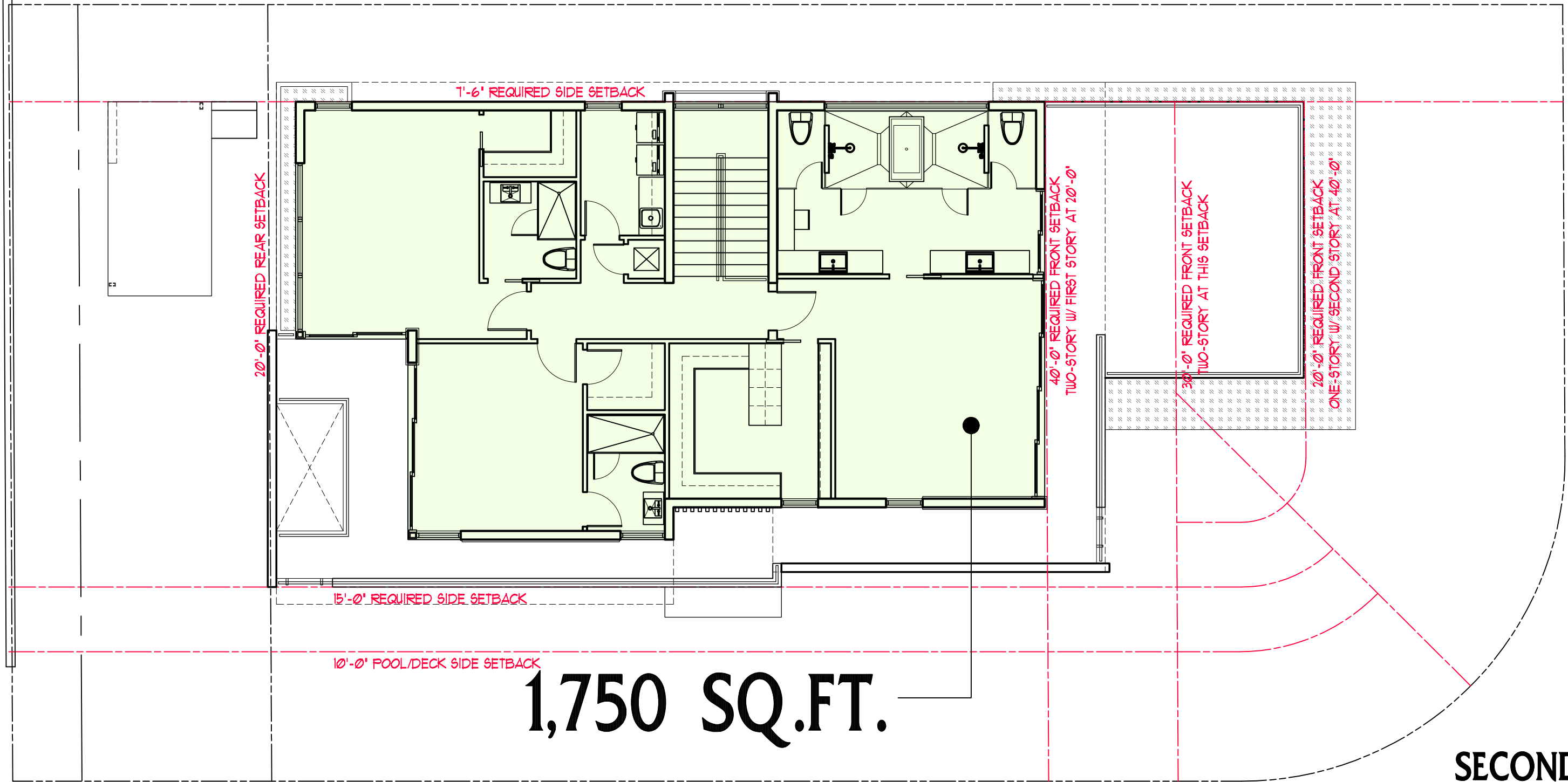


# DIAGRAMS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

# DIAGRAMS



LOT AREA : 7,200 SQ FT  
 ALLOWED UNIT SIZE: 3,600 SQ FT (50%)

1st FLOOR UNIT SIZE: 1,752 SQ FT  
 2nd FLOOR UNIT SIZE: 1,750 SQ FT  
 TOTAL: 3,502 SQ FT (48.64 %)

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

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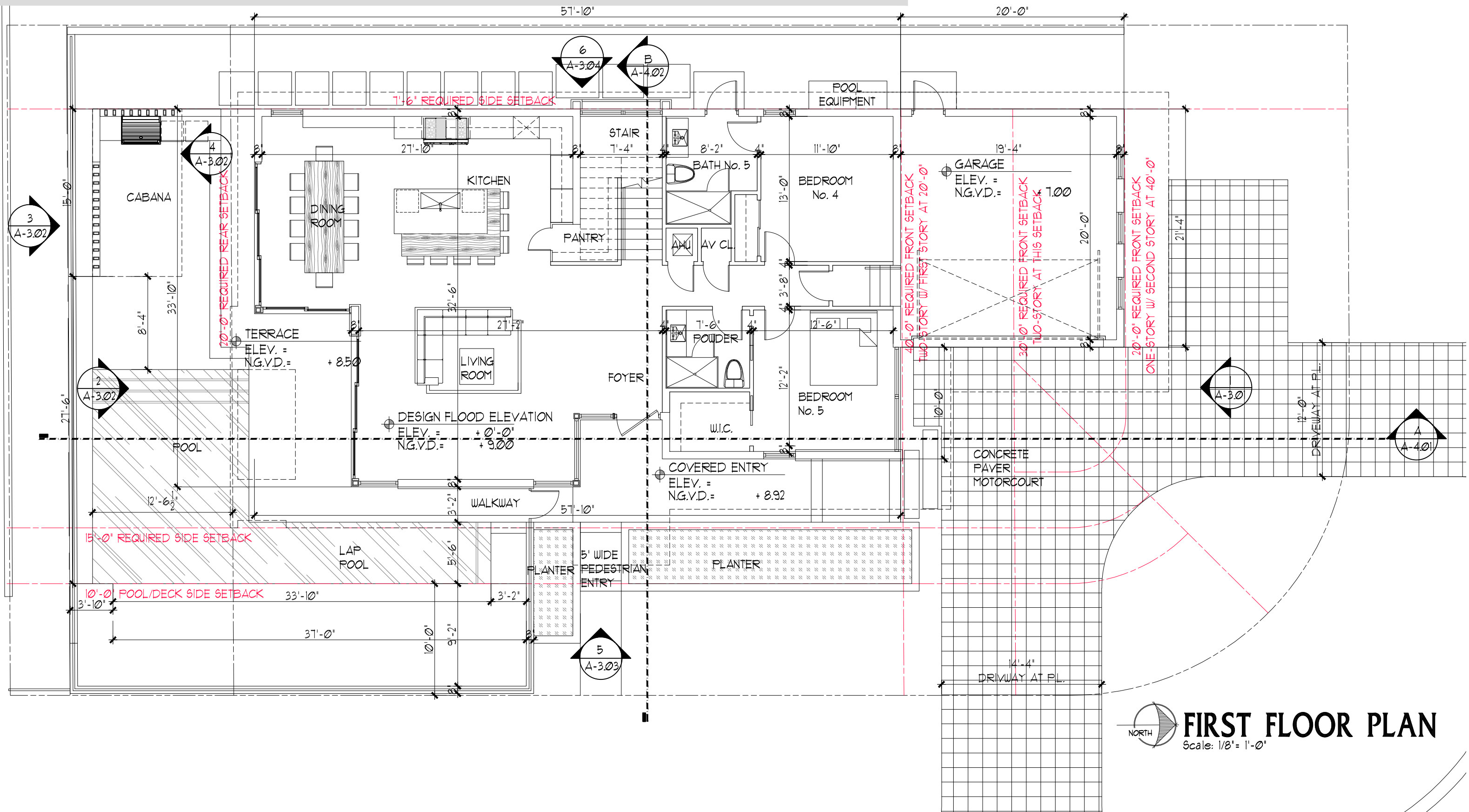
**A2**  
 AI2 DESIGN CORP  
 DESIGN CONSULTANT



**SECOND FLOOR  
 UNIT SIZE  
 DIAGRAM**  
 Scale: 1/8" = 1'-0"

**A-0.06**

# FLOOR PLANS

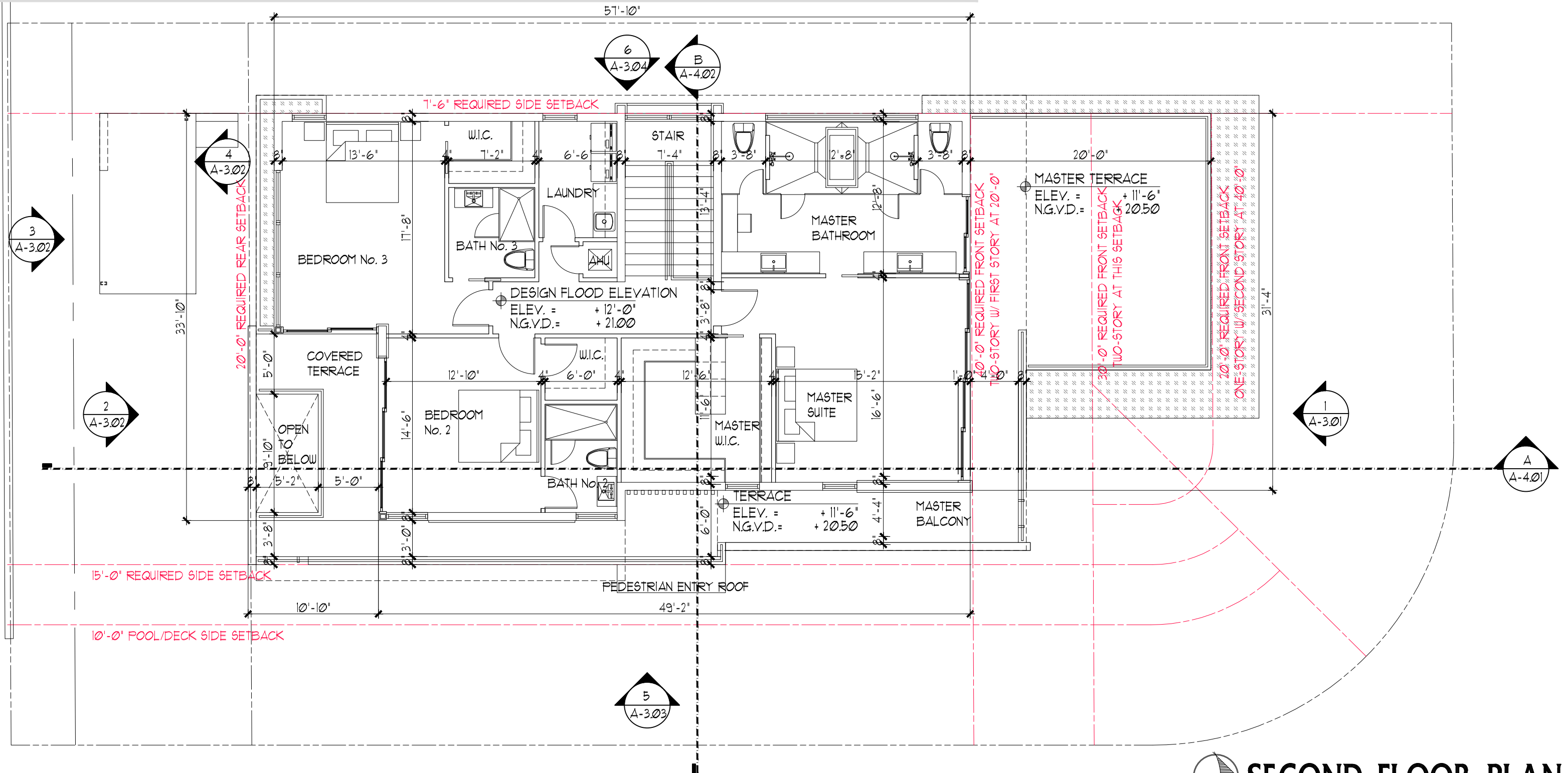


**FIRST FLOOR PLAN**  
Scale: 1/8" = 1'-0"

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



## FLOOR PLANS



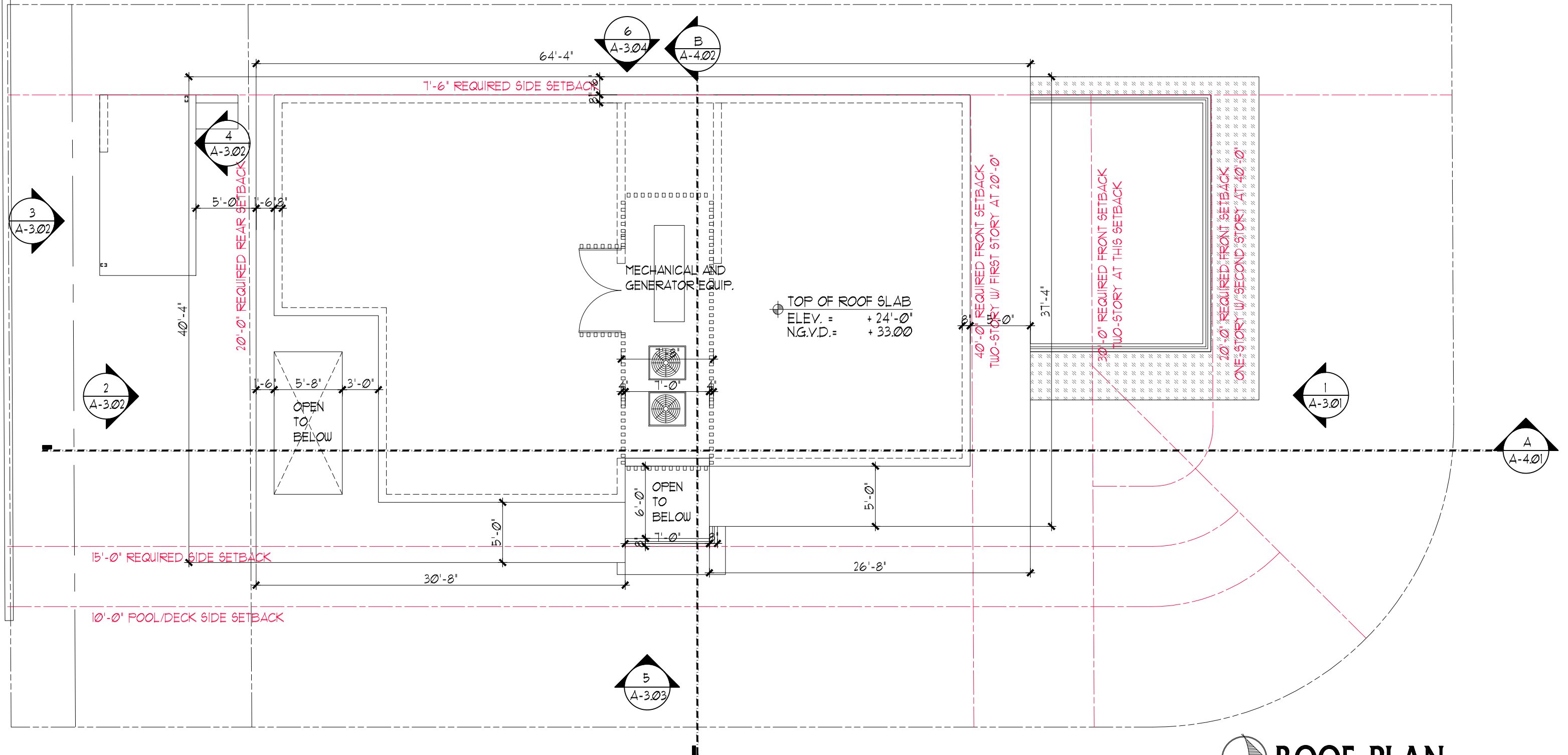
 **SECOND FLOOR PLAN**  
Scale: 1/8" = 1'-0"

**2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140**



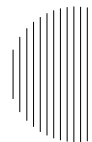
**A-1.02**

# FLOOR PLANS



 **ROOF PLAN**  
Scale: 1/8" = 1'-0"

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

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+

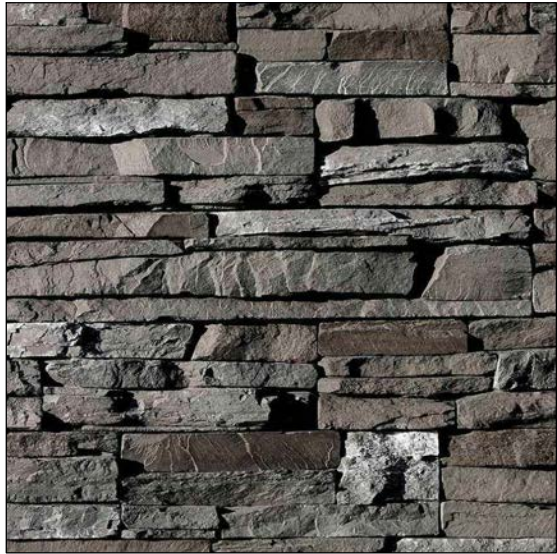
 **AI2**  
DESIGN CORP  
DESIGN CONSULTANT

**A-1.03**

# MATERIAL PALETTE



**SF1** SMOOTH GREY  
STUCCO



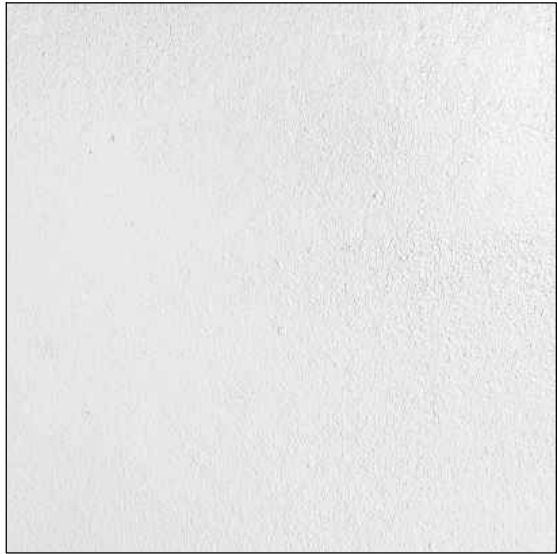
**ST** STACKED STONE



**CT** PRECAST  
CONCRETE TILE



**MT** BRONZE METAL  
FINISH



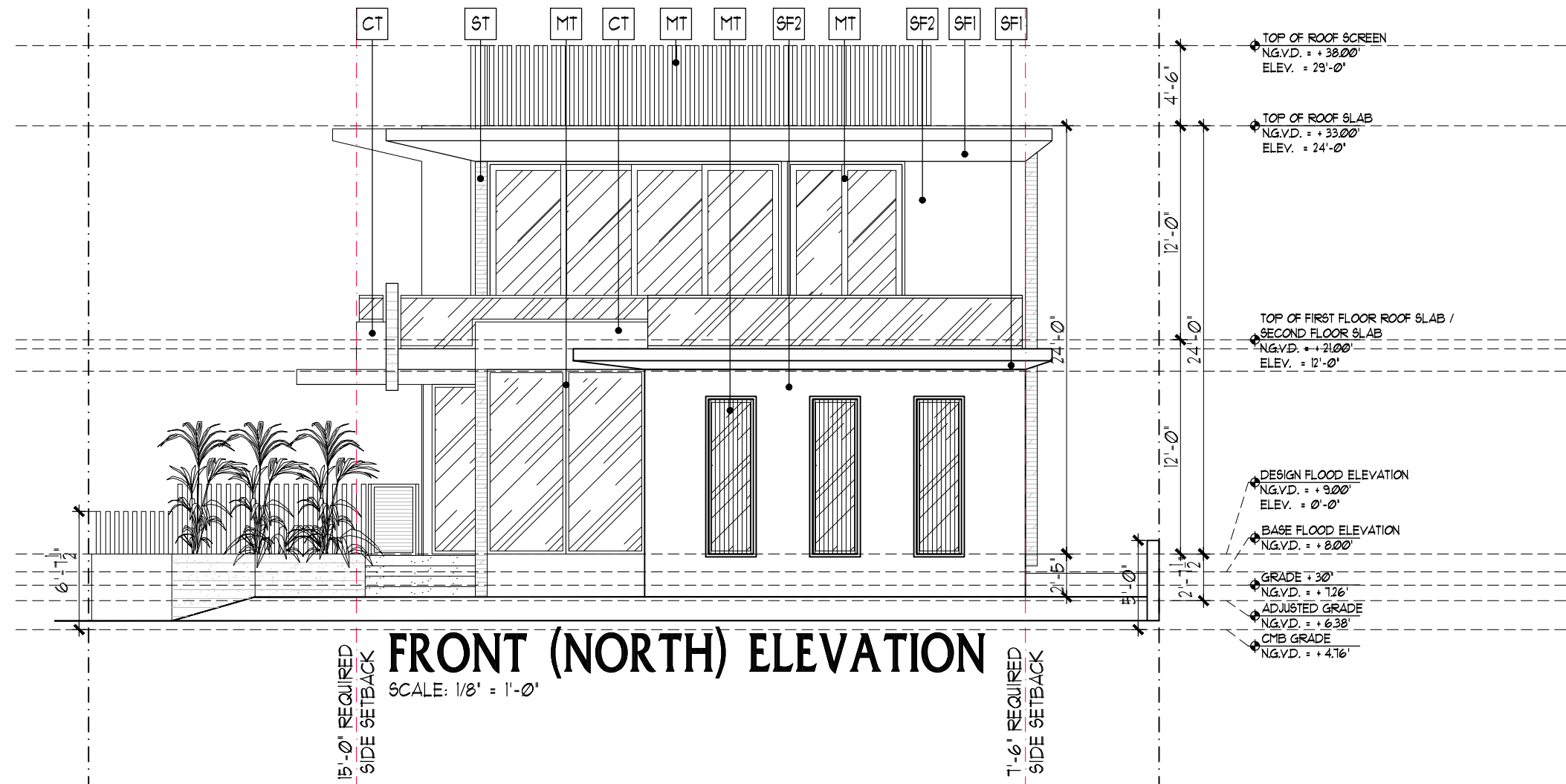
**SF2** SMOOTH WHITE  
STUCCO



**WD** WOOD

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

# ELEVATIONS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

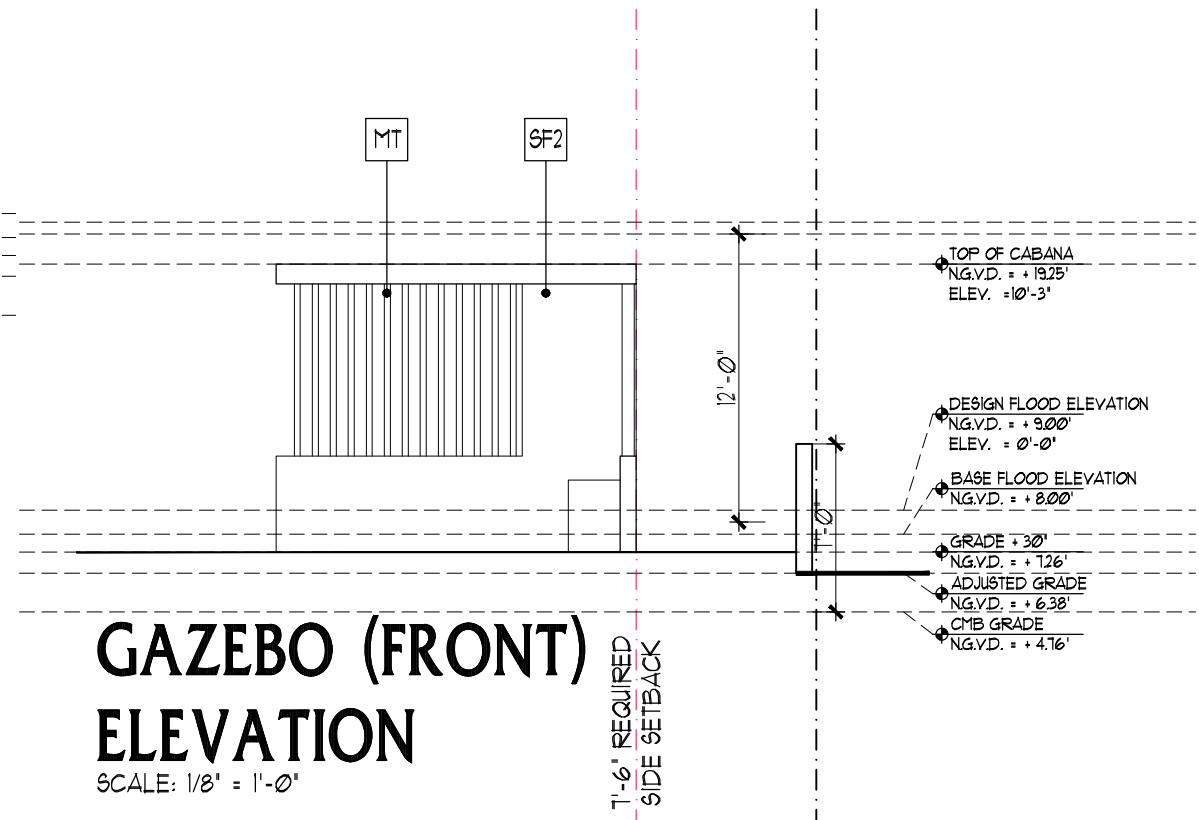
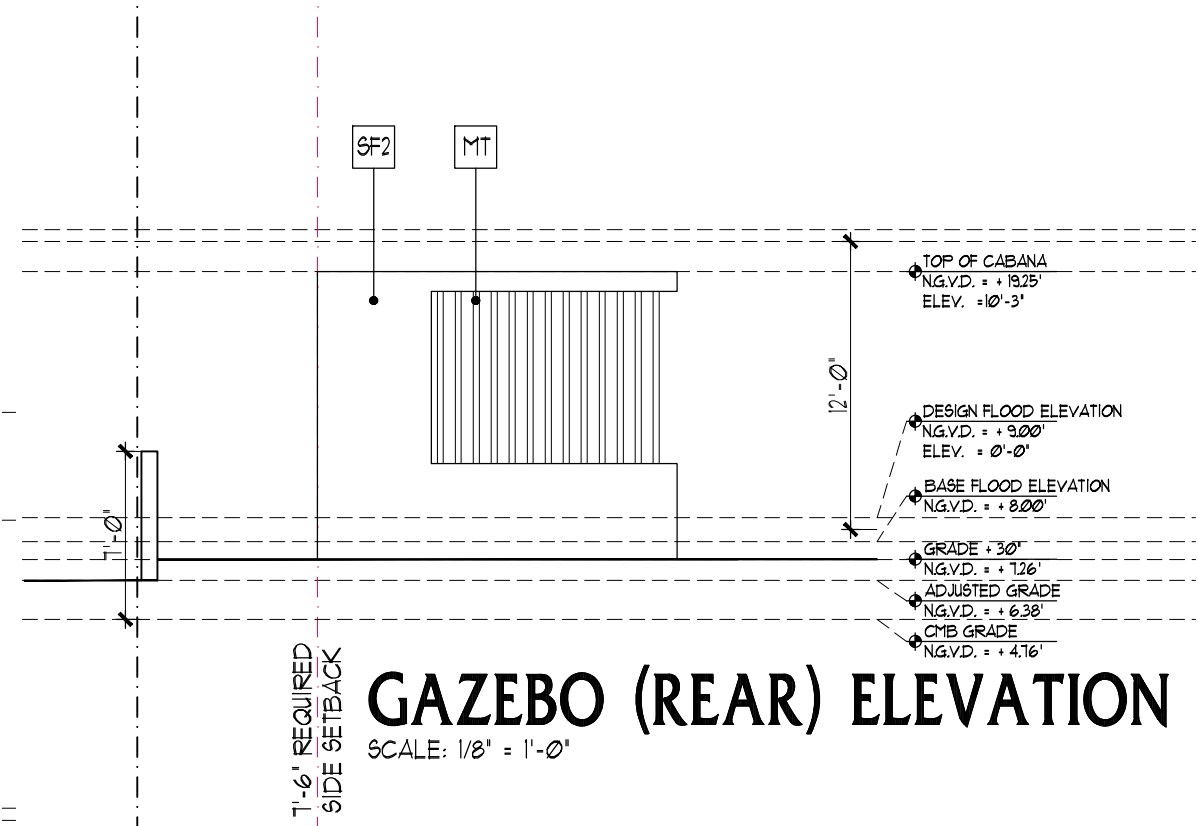
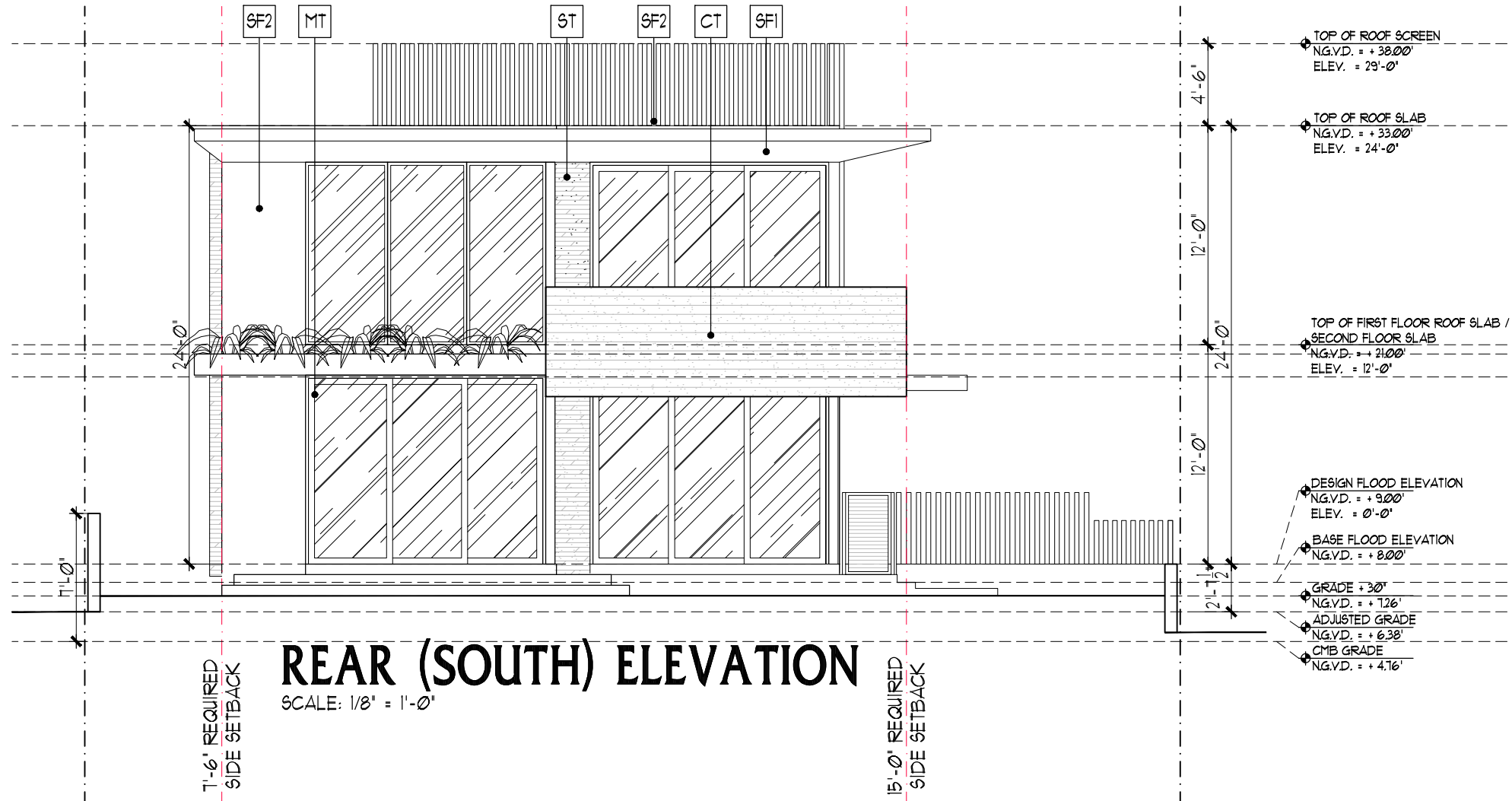
**CALIL**  
ARCHITECTS  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN

+

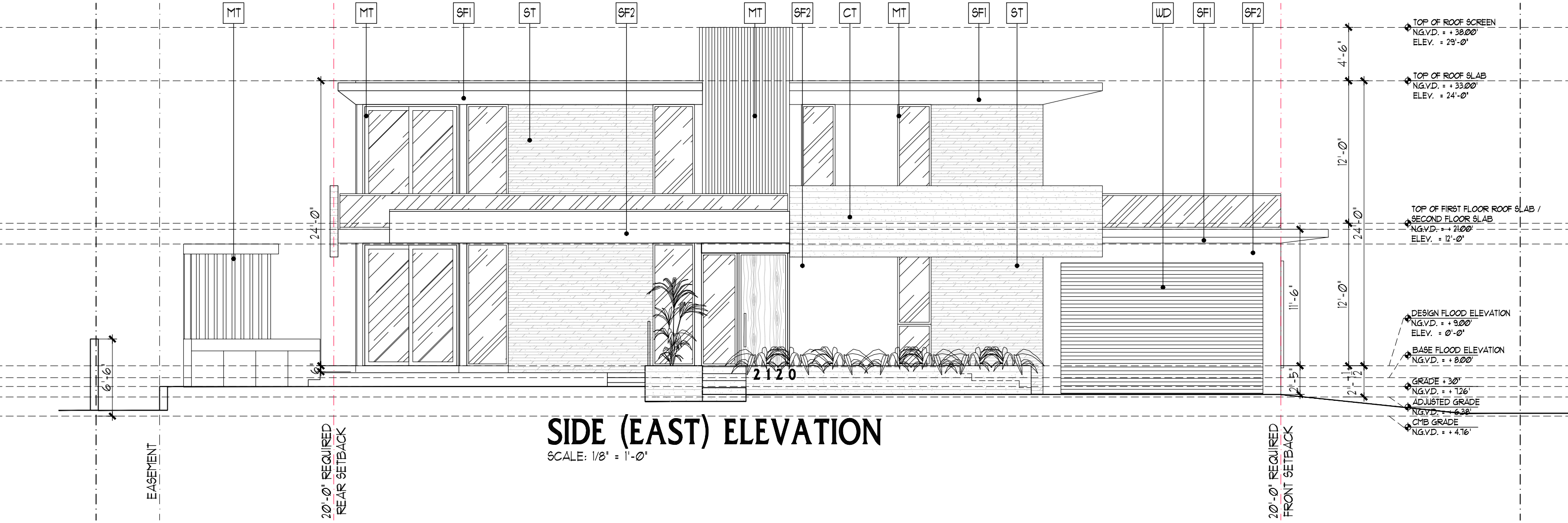
**A2**  
A12 DESIGN CORP  
DESIGN CONSULTANT

A-3.01

# ELEVATIONS



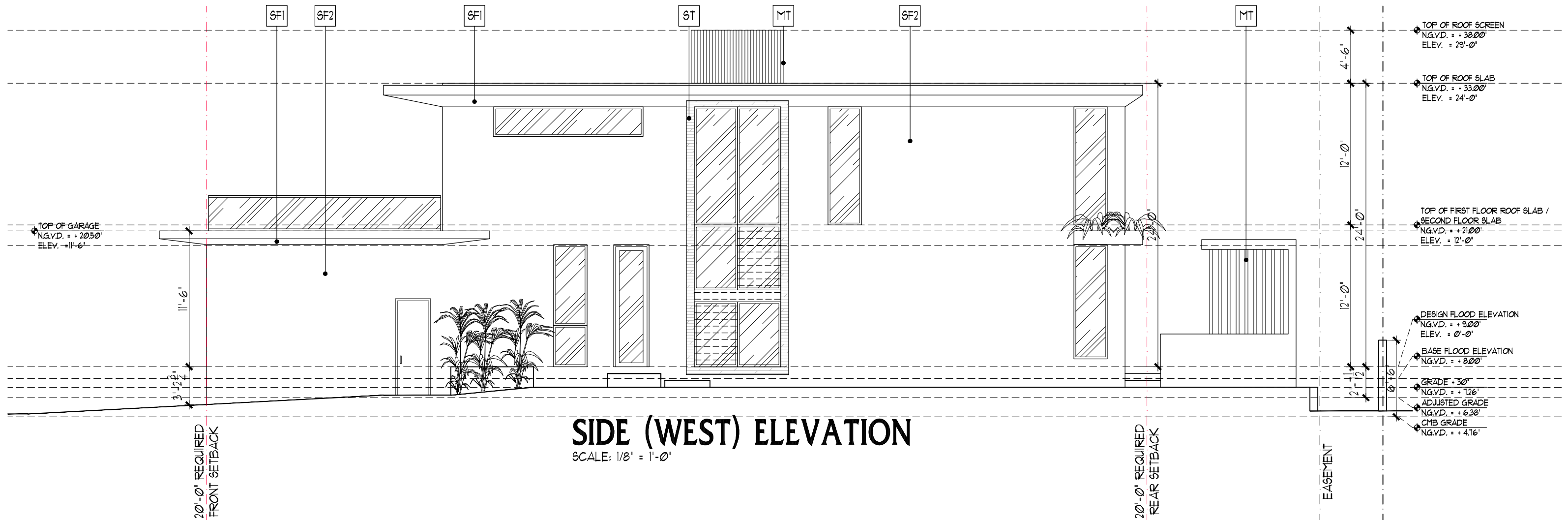
ELEVATIONS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



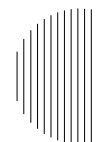
# ELEVATIONS



## SIDE (WEST) ELEVATION

SCALE: 1/8" = 1'-0"

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



**CALIL**

**ARCHITECTS**

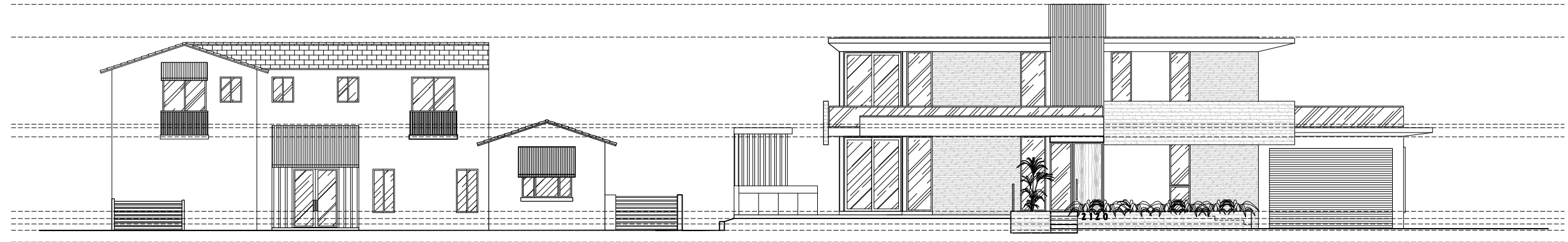
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN



AI2 DESIGN CORP  
DESIGN CONSULTANT

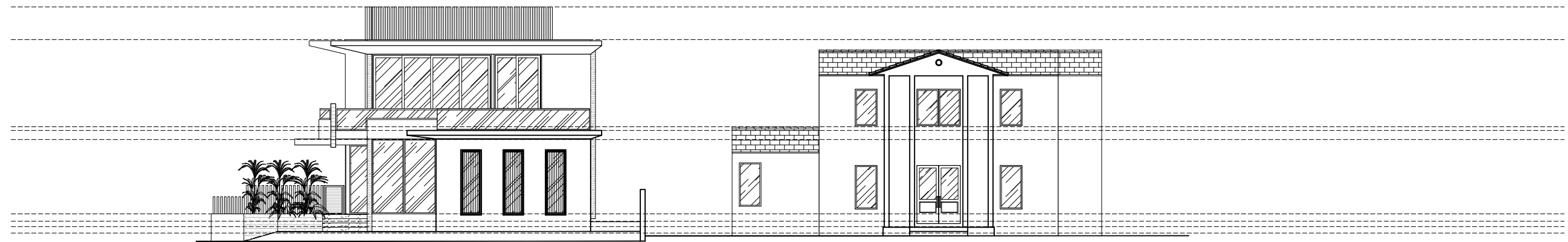
**A-3.04**

# CONTEXT ELEVATIONS



**2110 LUCERNE AVE**  
SCALE: 1/16" = 1'-0"

**2120 LUCERNE AVE**  
SCALE: 1/16" = 1'-0"

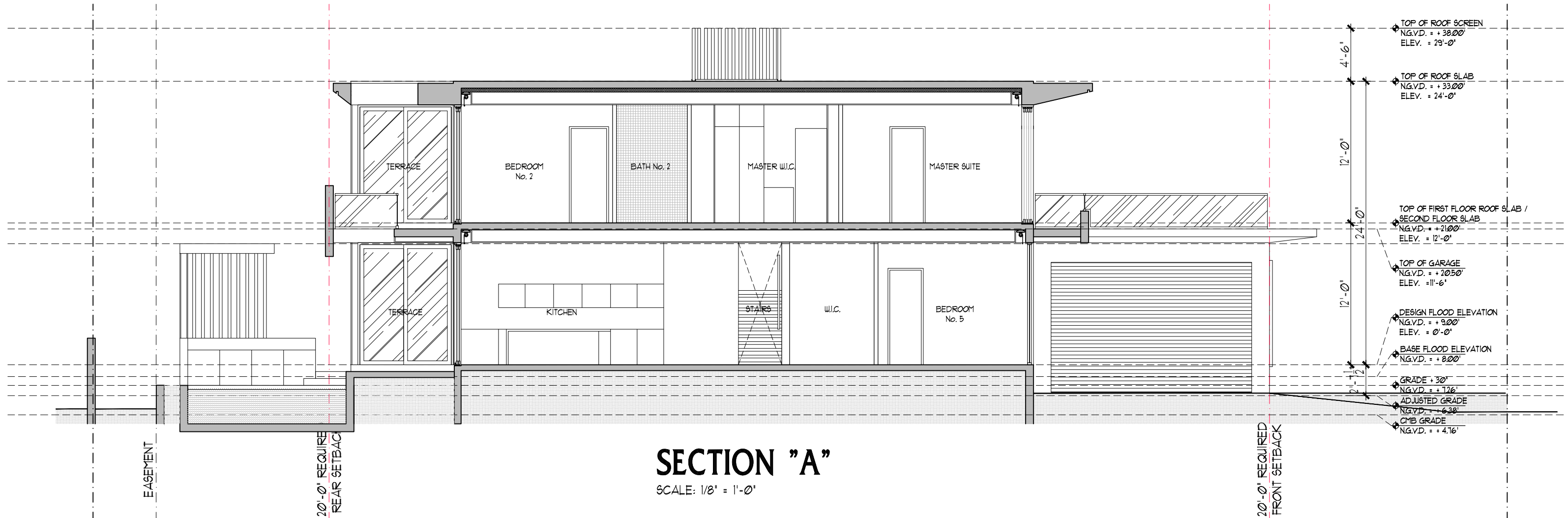


**2120 LUCERNE AVE**  
SCALE: 1/16" = 1'-0"

**1616 W 22 ST**  
SCALE: 1/16" = 1'-0"

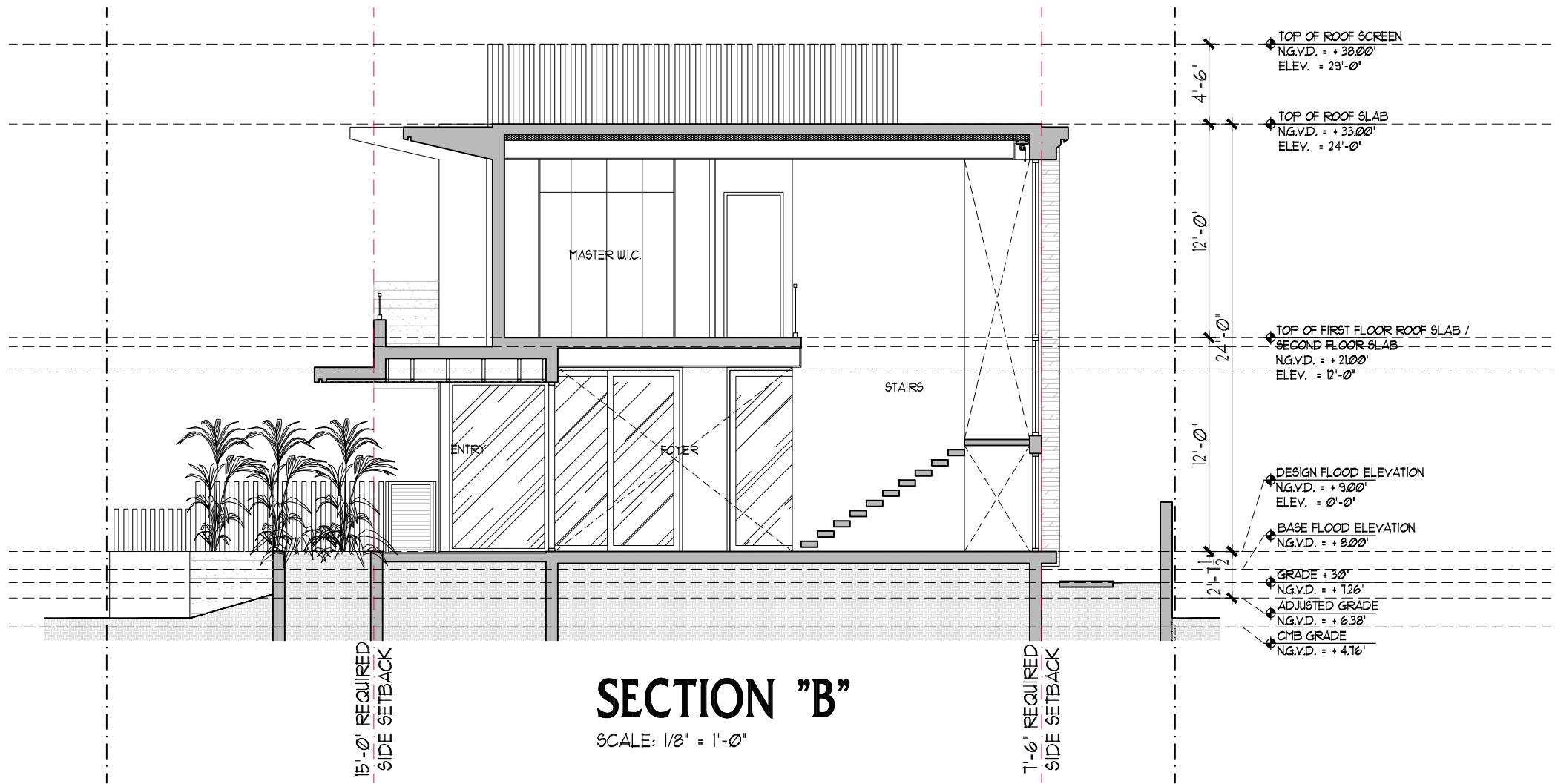
2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

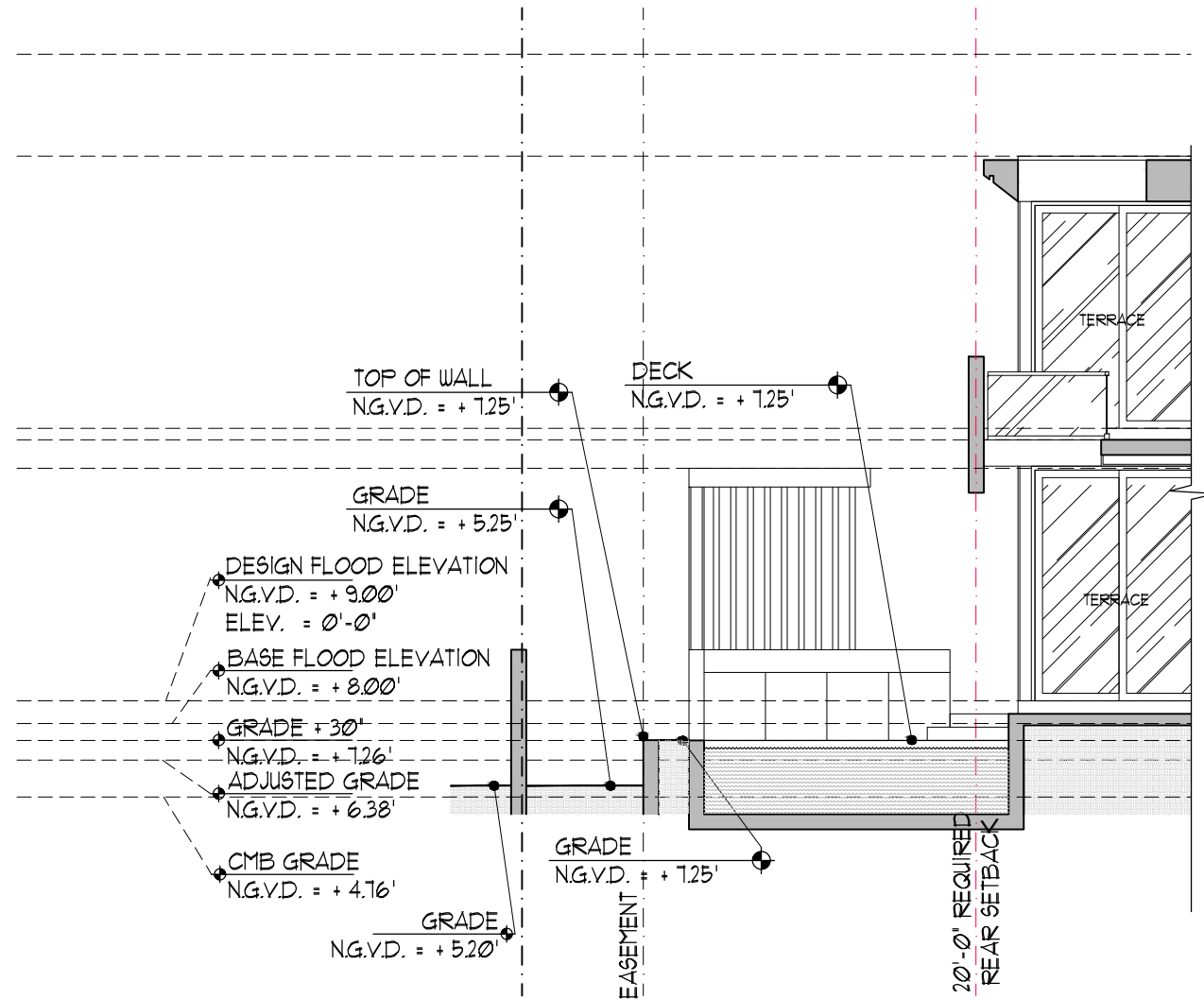
# SECTIONS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

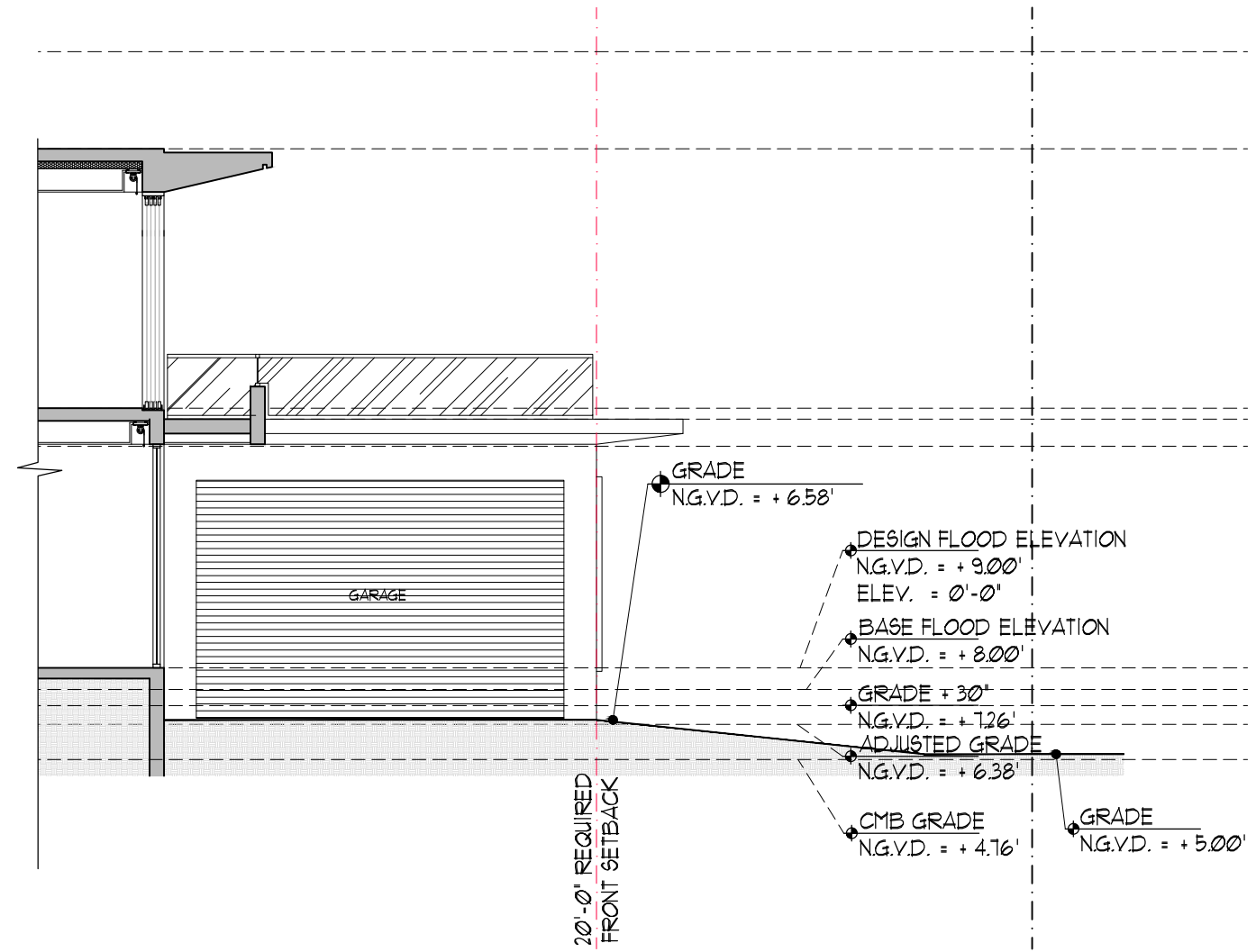






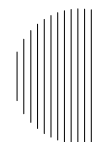
**REAR YARD SECTION - SOUTH**

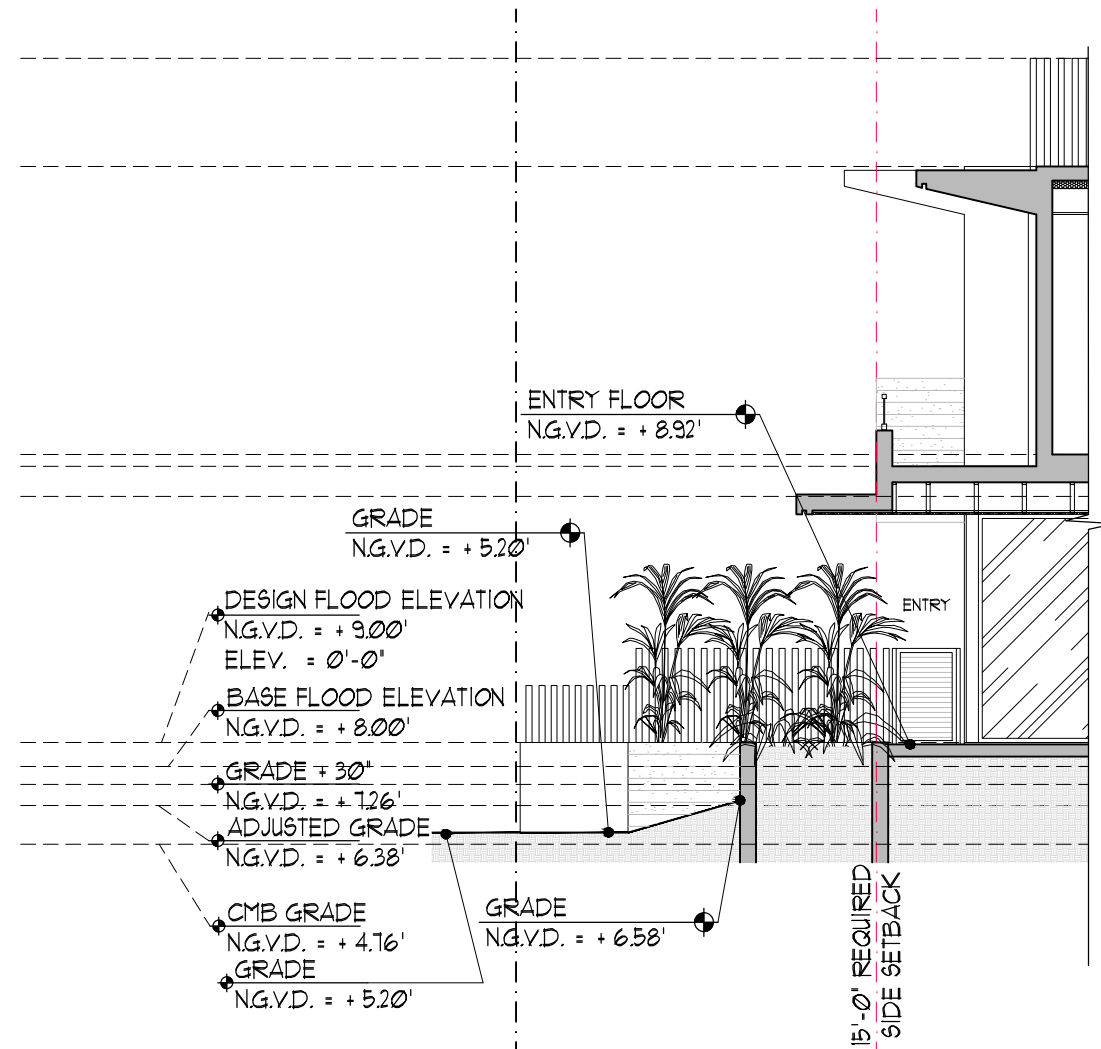
SCALE: 1/8" = 1'-0"



**FRONT YARD SECTION - NORTH**

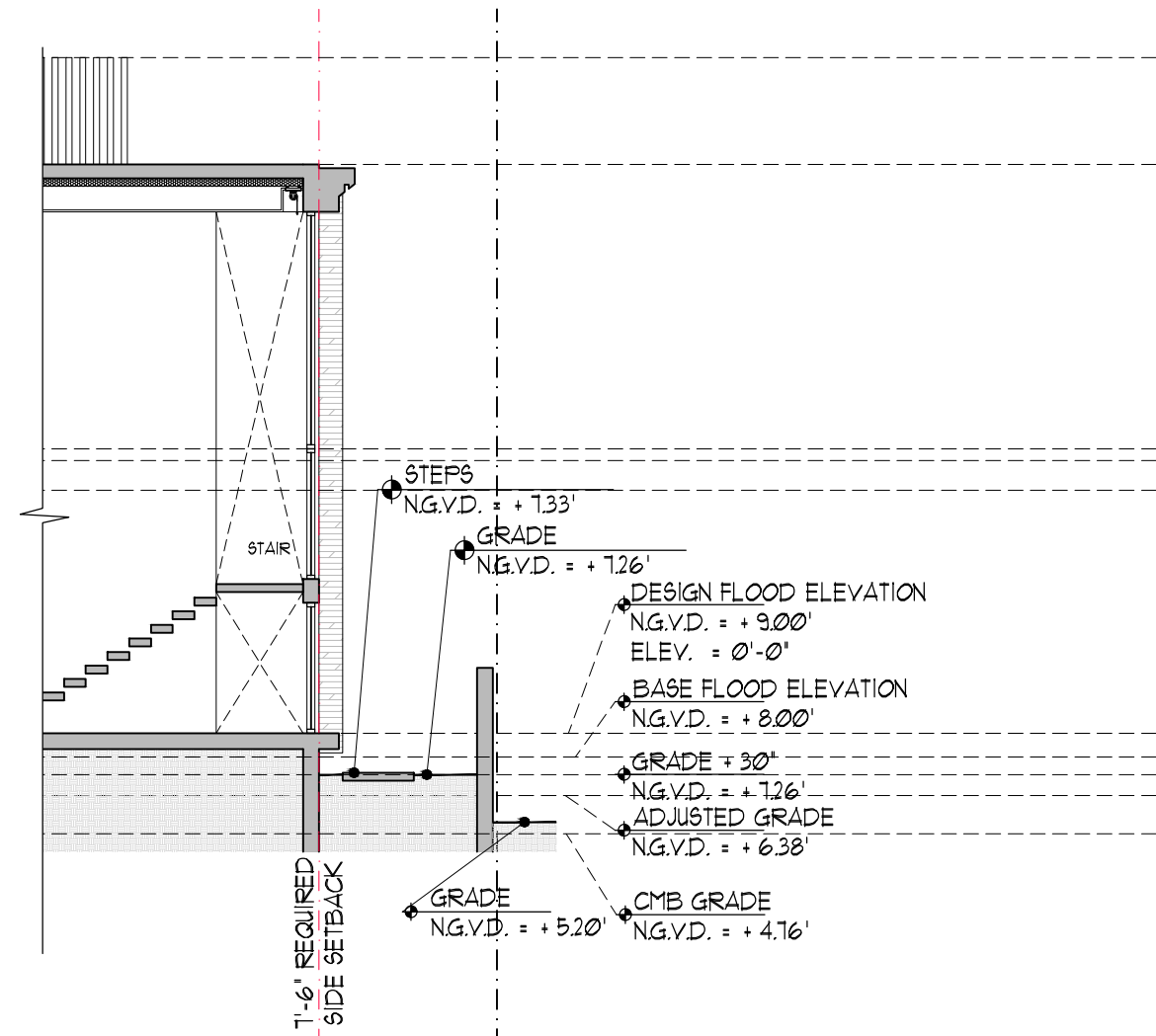
SCALE: 1/8" = 1'-0"





## SIDE YARD SECTION - EAST

SCALE: 1/8" = 1'-0"



## SIDE YARD SECTION - WEST

SCALE: 1/8" = 1'-0"

# ISOMETRIC VIEWS



2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



+

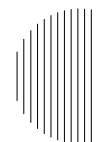


A-5.01



**FRONT RENDERING**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



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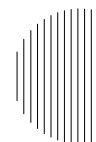
A12 DESIGN CORP  
DESIGN CONSULTANT

**A-5.02**



**REAR RENDERING**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



**CALIL**  
**ARCHITECTS**  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN



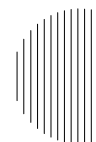
A12 DESIGN CORP  
DESIGN CONSULTANT

**A-5.03**



**SIDE RENDERING**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



**CALIL**  
**ARCHITECTS**  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN



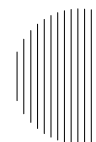
A12 DESIGN CORP  
DESIGN CONSULTANT

**A-5.04**



**SIDE RENDERING 2**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140



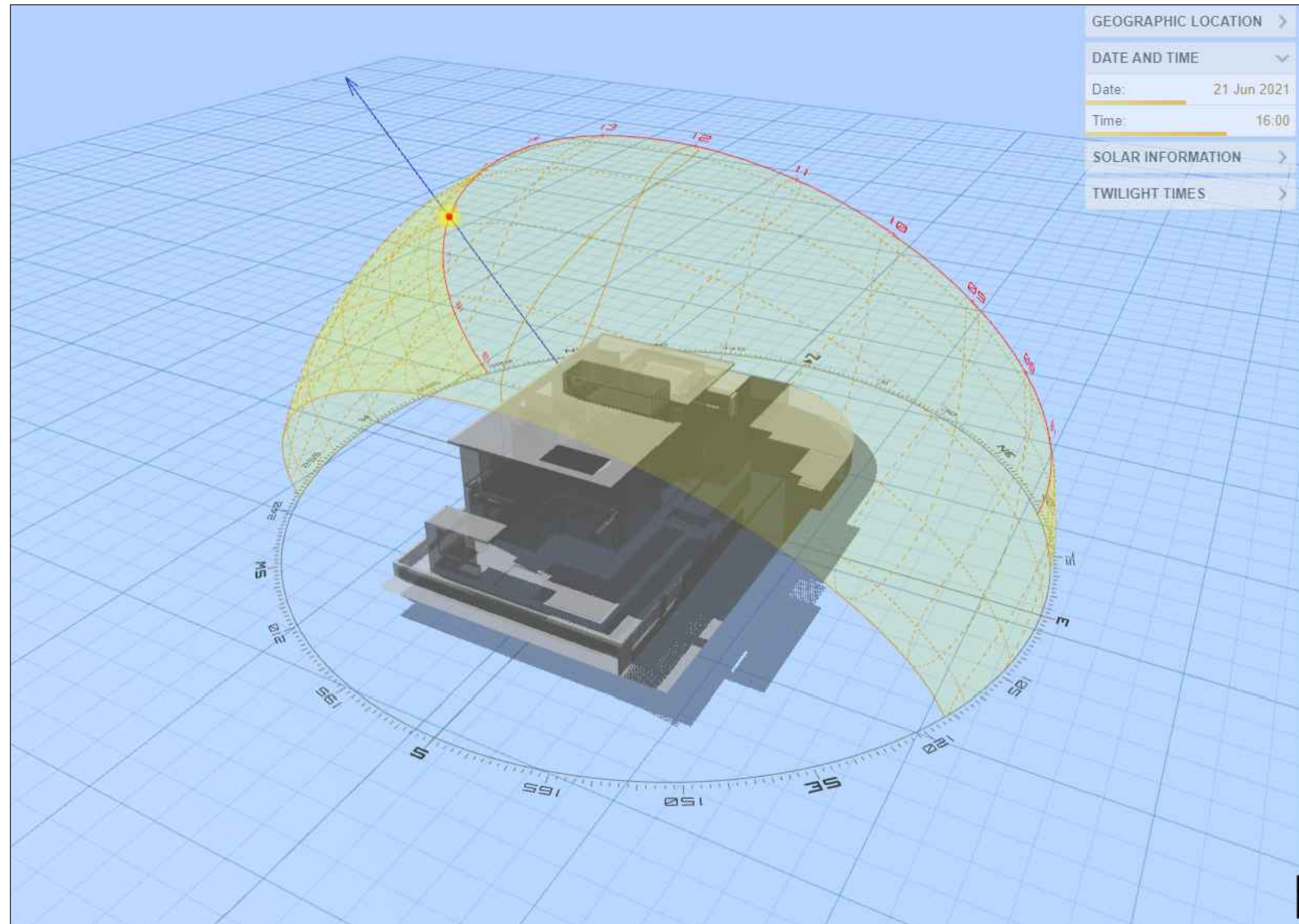
**CALIL**  
**ARCHITECTS**  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN



A12 DESIGN CORP  
DESIGN CONSULTANT

**A-5.05**

# SUN PATH DIAGRAMS



**SUMMER SOLSTICE**  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

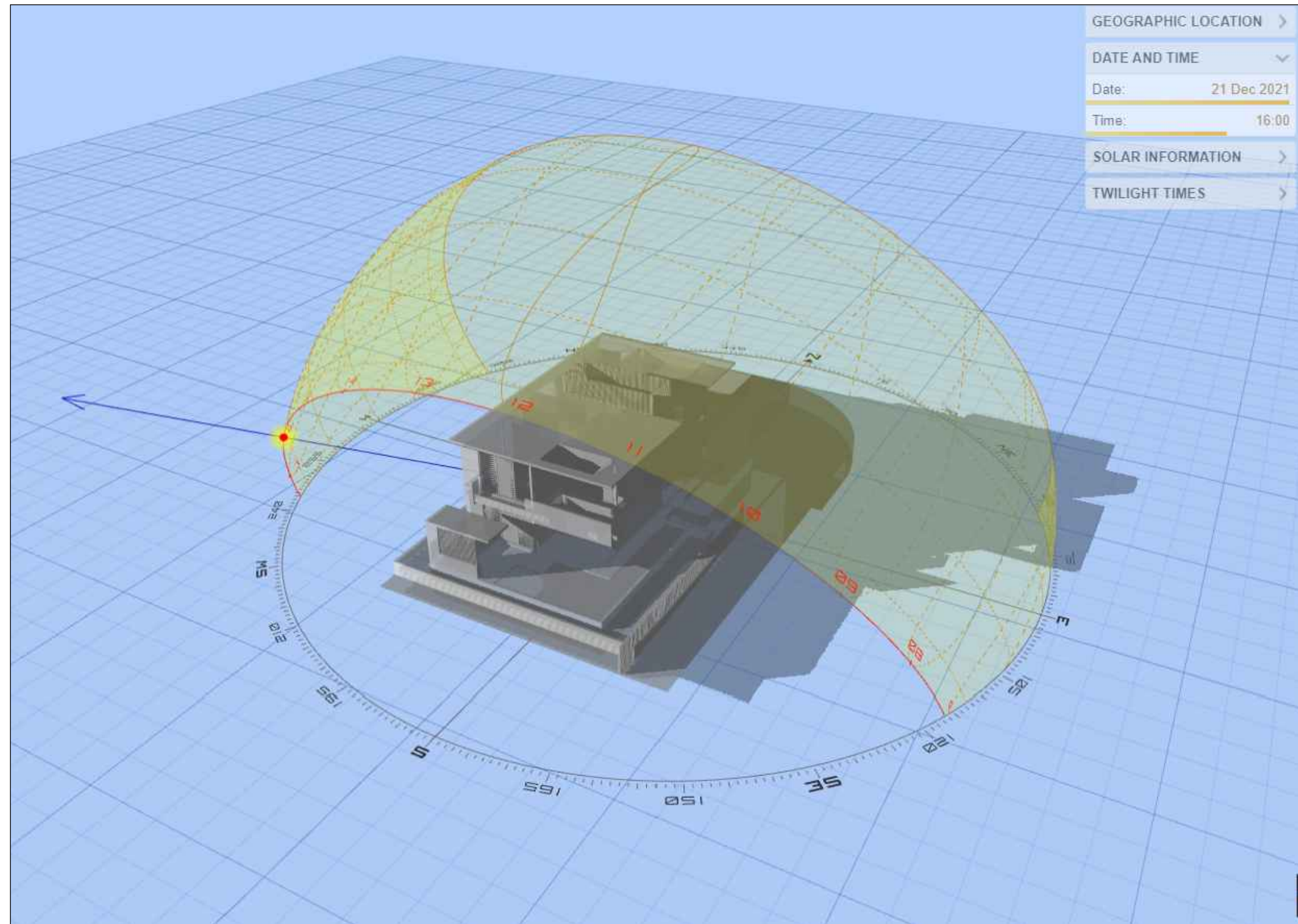
**CALIL**  
ARCHITECTS  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN

+

**A12**  
DESIGN CORP  
DESIGN CONSULTANT

**A-5.06**

# SUN PATH DIAGRAMS



WINTER SOLSTICE  
N.T.S.

2120 LUCERNE AVE MIAMI BEACH, FLORIDA 33140

**CALIL**  
ARCHITECTS  
CALIL ARCHITECTS INC AA 26001949  
ARCHITECTURE + DESIGN

+

**A12**  
A12 DESIGN CORP  
DESIGN CONSULTANT

A-5.07