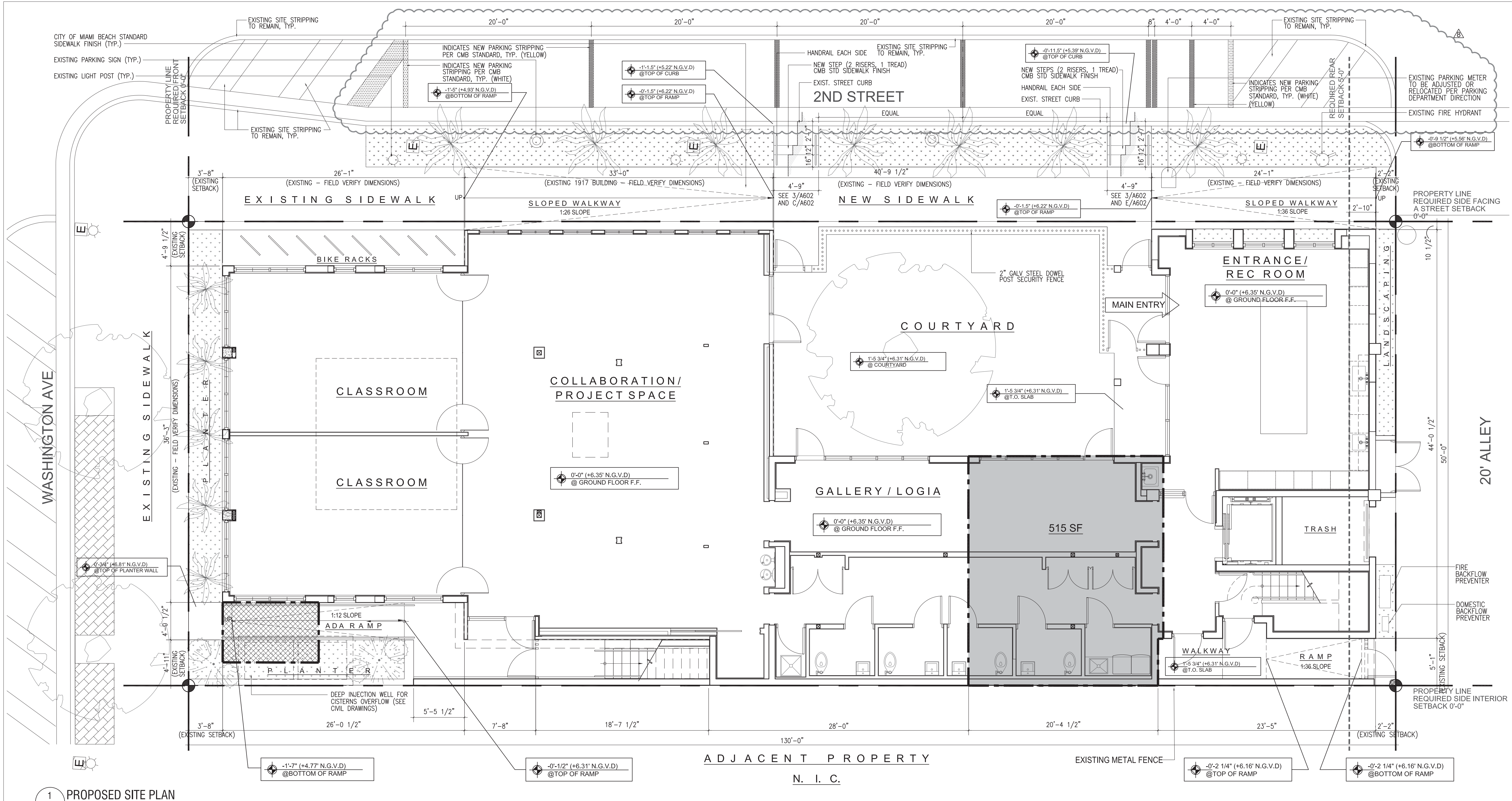
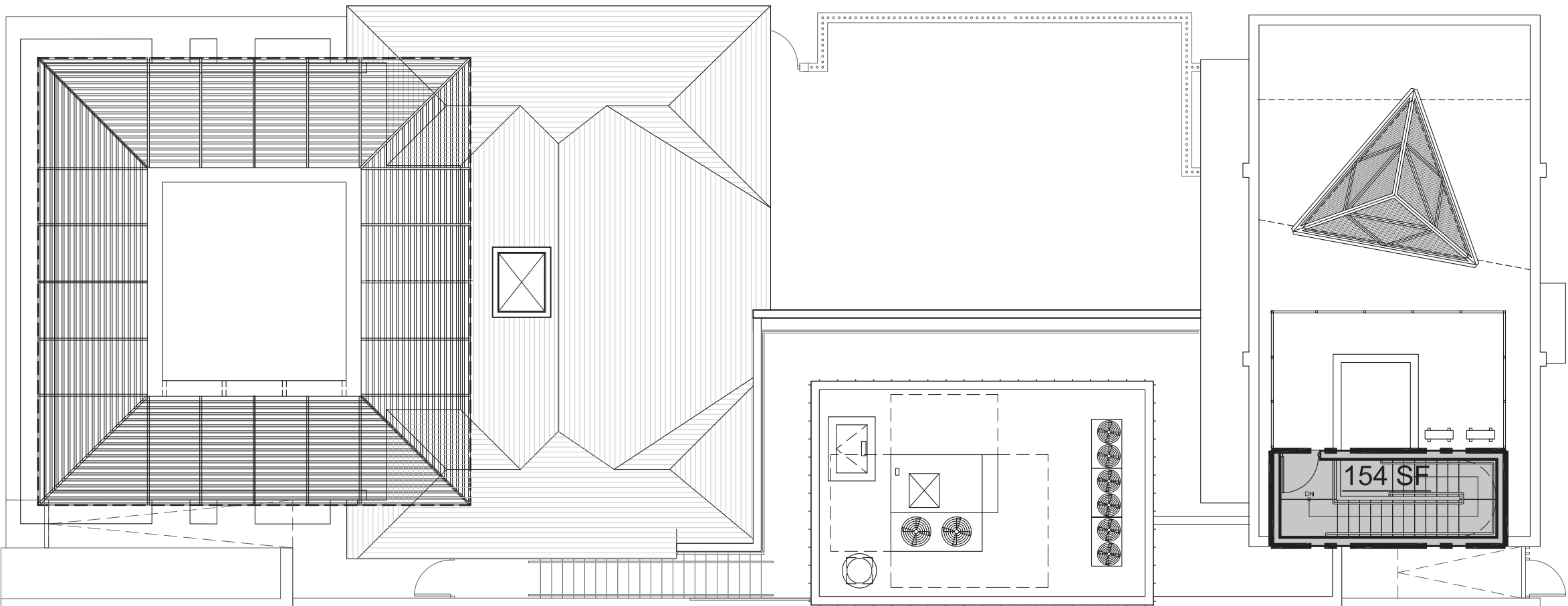
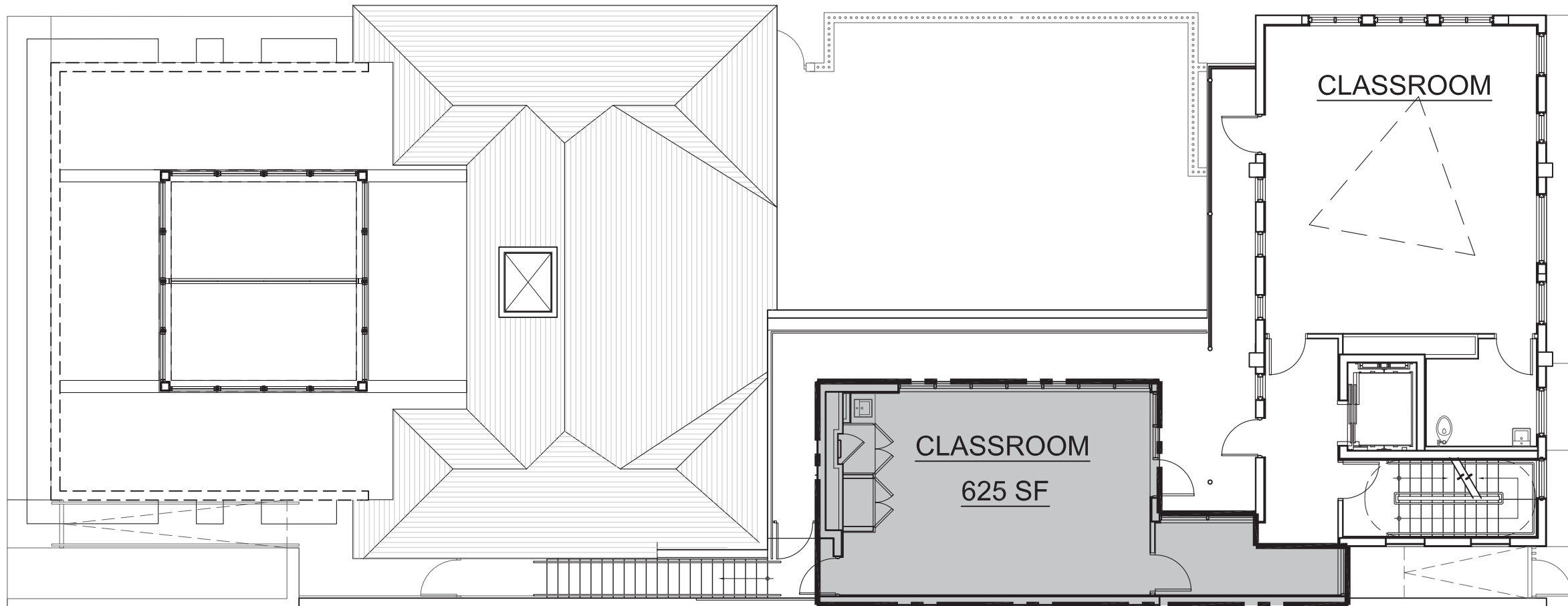




1 PROPOSED SITE PLAN
3/16" = 1'-0"



3 3RD FLOOR / ROOF AREA PLAN
3/32" = 1'-0"



2 2ND FLOOR AREA PLAN
3/32" = 1'-0"

EXISTING AREA OF TO BE REMOVED = 68 S.F.

PROPOSED AREA TO BE ADDED = 1,294 S.F.

SEE SHEET A102 FOR ZONING ANALYSIS DATA

BaseCamp305

BUILDING ALTERATION & ADDITION

224 2ND STREET
MIAMI BEACH, FL 33139

ARCHITECT OF RECORD:

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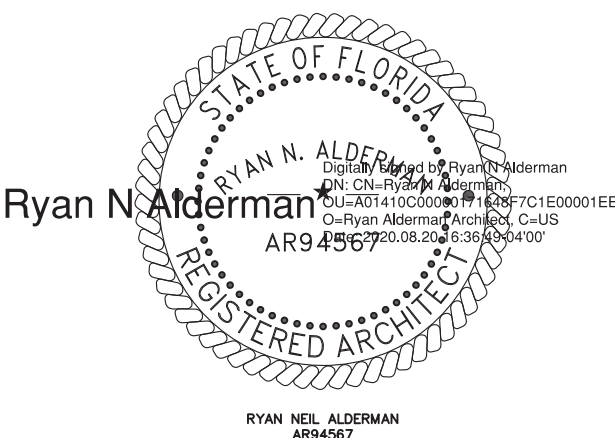
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KEY PLAN



SEAL / SIGNATURE / DATE



PERMIT SET

05-28-19

Issue #	Issue Date / For
1	01-31-2020 / General Revision
2	05-14-2020 / Bldg. Dept. Comments
3	06-11-2020 / Bldg. Dept. Comments
4	08-10-2020 / Public Works Comments

RAA Project No.: 19-004

Drawn by:

Approved by:

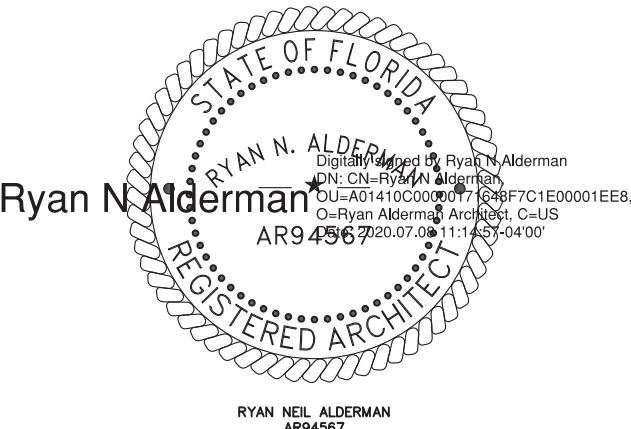
SHEET INDEX

SITE PLAN

SCALE:

SHEET NO.

A101



PERMIT SET
05-28-19

Issue #	Issue Date / For
1	01-31-2020 / General Revision
2	03-26-2020 / Bldg Dept Comments
3	05-14-2020 / Bldg Dept Comments
4	06-11-2020 / Bldg Dept Comments

RAA Project No.: 19-004

Drawn by:

Approved by:

SHEET INDEX

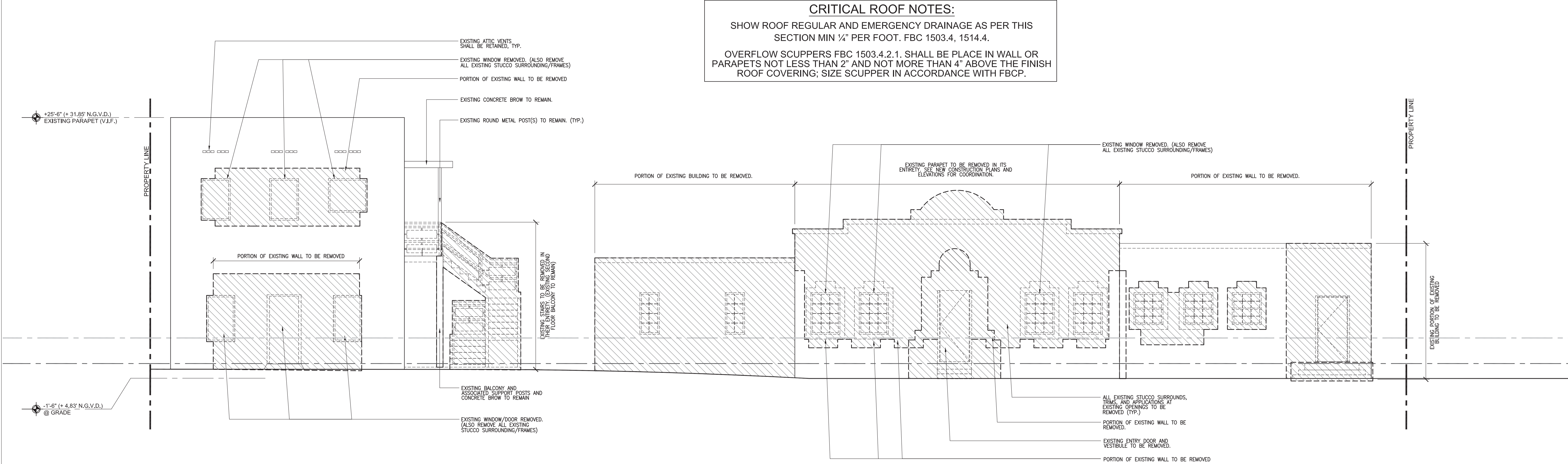
EXISTING / PROPOSED
NORTH ELEVATION

SCALE:

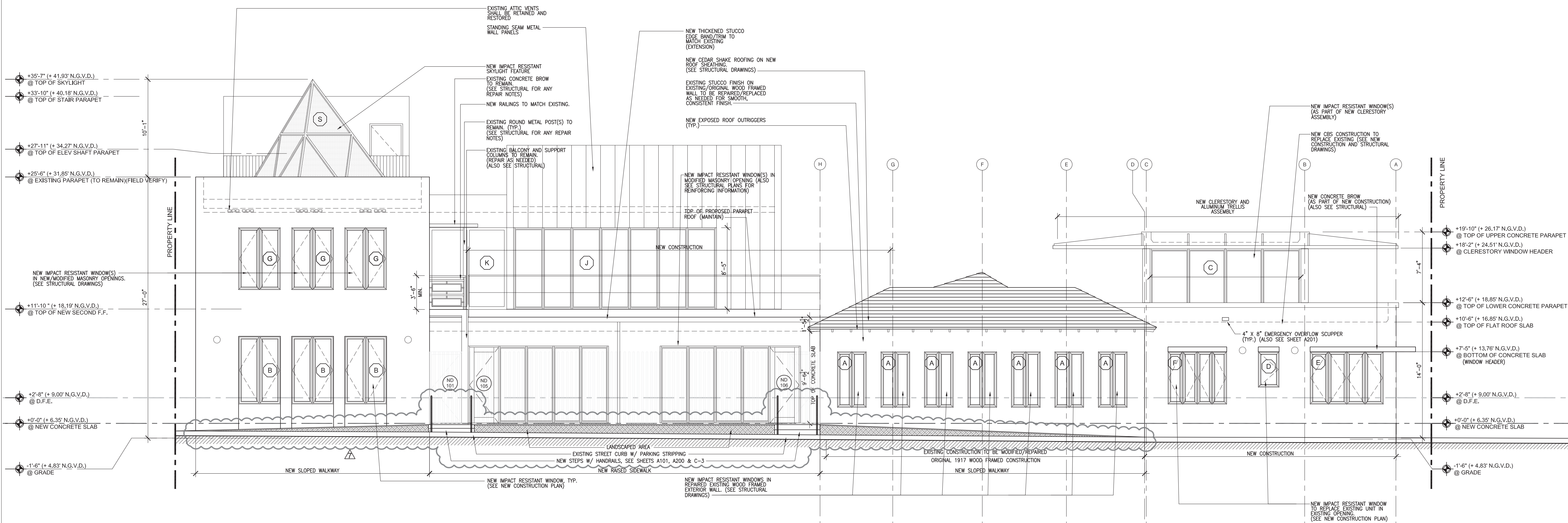
SHEET NO.

A300

CRITICAL ROOF NOTES:
SHOW ROOF REGULAR AND EMERGENCY DRAINAGE AS PER THIS SECTION MIN ¼" PER FOOT. FBC 1503.4, 1514.4.
OVERFLOW SCUPPERS FBC 1503.4.2.1. SHALL BE PLACE IN WALL OR PARAPETS NOT LESS THAN 2" AND NOT MORE THAN 4" ABOVE THE FINISH ROOF COVERING; SIZE SCUPPER IN ACCORDANCE WITH FBCP.



1
A300
EXISTING NORTH ELEVATION
3/16" = 1'-0"



2
A300
PROPOSED NORTH ELEVATION
3/16" = 1'-0"

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The seal of the State of Florida Registered Architects is circular with a rope-like border. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED ARCHITECTS" at the bottom. In the center, the name "RYAN W. ALDERMAN" is written in large letters, with "P.E." below it. To the right of the name are two smaller inscriptions: "No. C24769-FL Architect" and "Exp. 08/01/2020". Below the name is the registration number "AR94357". At the very bottom, it says "RYAN MEL ALDERMAN AR#94357".

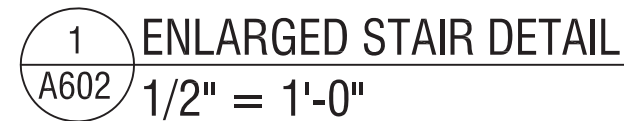
RYAN W. ALDERMAN
P.E.
No. C24769-FL Architect
Exp. 08/01/2020
AR94357
RYAN MEL ALDERMAN
AR#94357

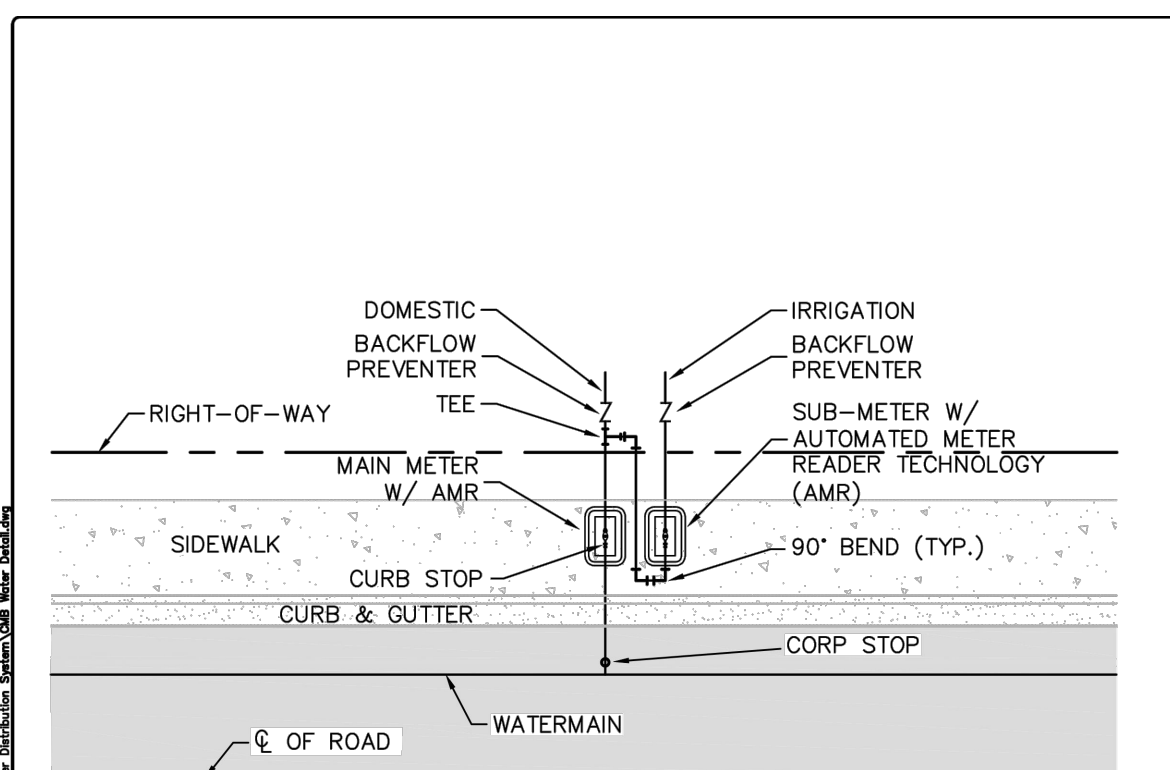
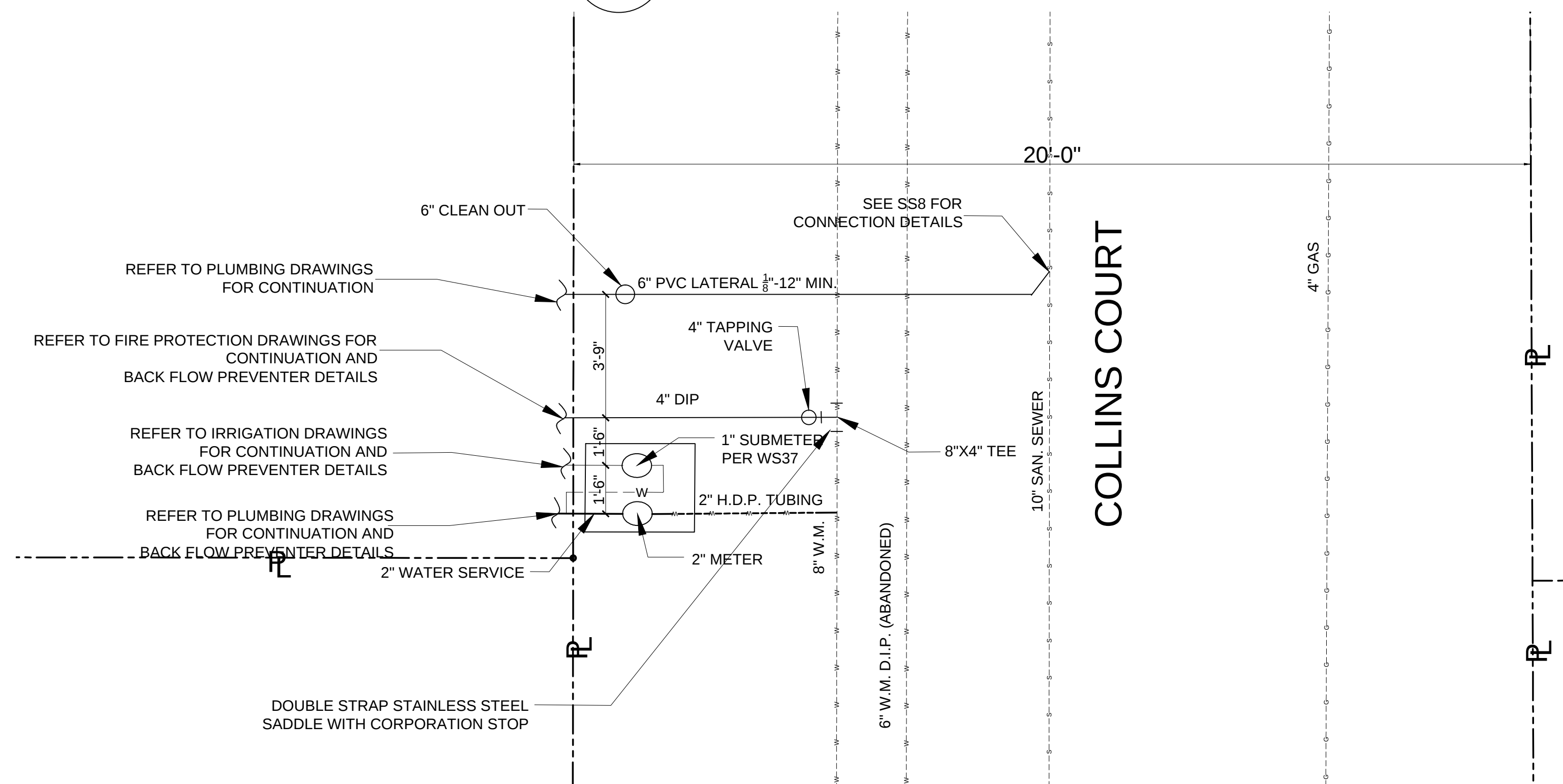
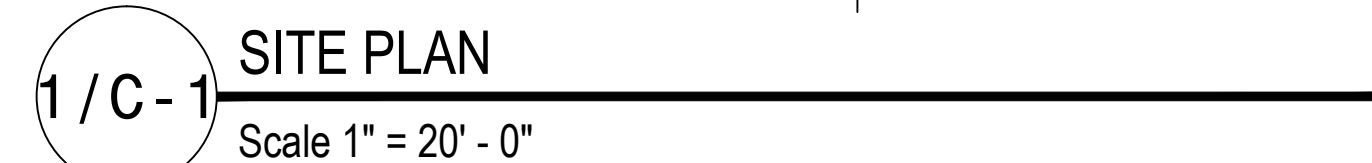
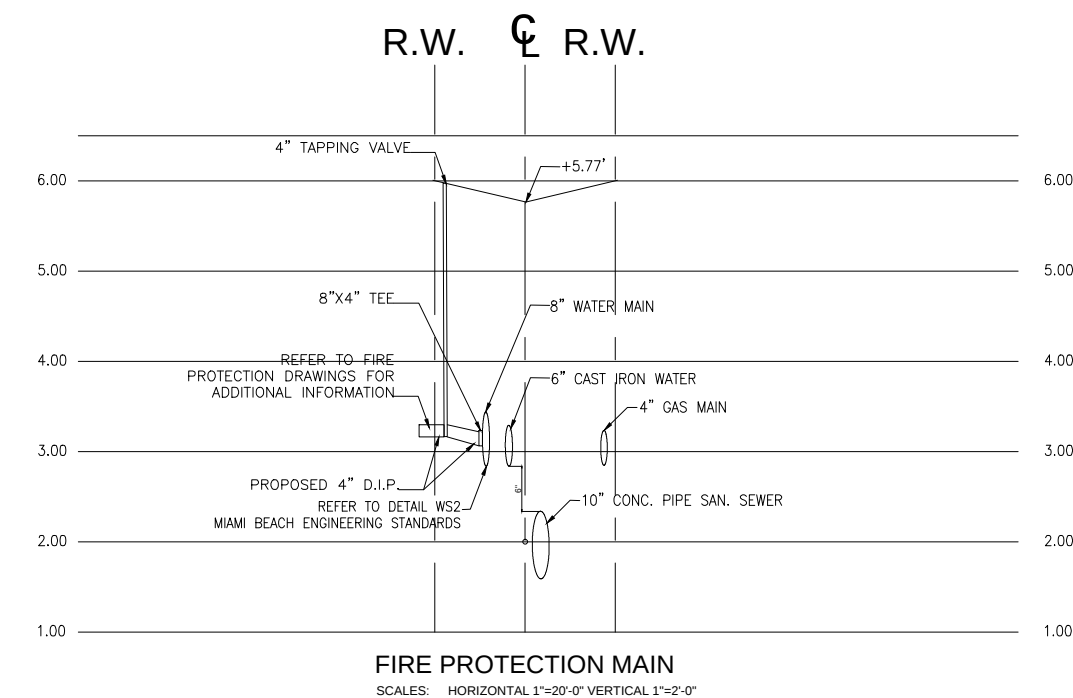
Issue #	Issue Date / For
4	01-31-2020 / General Revision
6	05-14-2020 / Bldg. Dept. Comments
7	06-11-2020 / Bldg. Dept. Comments

Approved by:

ENLARGED STAIR & RAMP PLANS, SECTIONS & DETAILS

A602





1. MUST USE RECTANGULAR BOX TO ACCOMMODATE BOTH THE SUB-METER AND SHUT-OFF VALVE.
2. MUST HAVE SHUT-OFF VALVE ON INLET SIDE BEFORE METER.
3. MUST PLACE SUB-METER BOX WITHIN 5 FEET OF MAIN METER, EASILY ACCESSIBLE TO METER READER.
4. MUST CALL METER SHOP AT 305-673-7681 WHEN INSTALLATION IS COMPLETED FOR FINAL INSPECTION IN ORDER TO OBTAIN SEWER CREDIT.
5. SUB-METER CANNOT BE LARGER THAN THE DOMESTIC METER WATER SERVICE LINE.

- A HORIZONTAL DISTANCE OF AT LEAST 6 FEET, AND PREFERABLY 10 FEET (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN GRAVITY AND/OR PRESSURE SEWER PIPES AND WATER PIPES. THE MINIMUM HORIZONTAL SEPARATION CAN BE REDUCED TO 3 FEET FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS CROSSING UNDER THE WATER PIPE IS AT LEAST 12 INCHES BELOW THE BOTTOM OF THE WATER PIPE.

a- ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
a- THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED TO 150 PSI
b- THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
c- THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER PIPE.
2. A VERTICAL DISTANCE OF AT LEAST 12 INCHES (OUTSIDE TO OUTSIDE) SHALL BE MAINTAINED BETWEEN ANY WATER AND SEWER MAINS WITH SEWER PIPES PREFERABLY CROSSING UNDER WATER MAINS. THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES FOR VACUUM-TYPE SEWERS OR FOR GRAVITY SEWERS WHERE THE SEWER PIPE IS BELOW THE WATER MAIN. THE CROSSING SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST 6 FEET FROM ANY JOINTS IN GRAVITY SEWERS. WHEN THE WATER MAIN IS ABOVE THE SEWER, THE MINIMUM VERTICAL SEPARATION CAN BE REDUCED TO 6 INCHES. WHEN THE ABOVE SPECIFIED VERTICAL DISTANCE CRITERIA CANNOT BE MET DUE TO AN EXISTING UNDERGROUND FACILITY CONFLICT, SMALLER SEPARATIONS ARE ALLOWED IF:
a- THE SEWER PIPES ARE DESIGNED AND CONSTRUCTED EQUAL TO THE WATER PIPE AND PRESSURE TESTED TO 150 PSI
b- THE SEWER IS ENCASED IN A WATERTIGHT CARRIER PIPE OR CONCRETE.
3. IN HIGHLY CONGESTED AREAS, WHERE EITHER WATER OR SEWER FACILITIES ARE EXISTING AND THE SEPARATION REQUIREMENTS CANNOT BE MET, SPECIAL CONSIDERATION MAY BE GIVEN SUBJECT TO SUBMITTAL OF DOCUMENTATION SHOWING THAT THE PROPOSED ALTERNATIVE WILL RESULT IN AN ADEQUATE PROTECTION LEVEL.
4. THE CONTRACTOR SHALL VERIFY NATURE, DEPTH, AND CHARACTER OF EXISTING UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
5. ALL OTHER PUBLIC OR PRIVATE UTILITY FACILITIES SHALL BE CONSIDERED AT LEAST 5 FEET FROM ANY WATER AND SEWER MAIN AS MEASURED FROM THE OUTSIDE BELL OF THE WATER OF THE UTILITY PIPE.
6. WHEN THE 5 FEET SEPARATION BETWEEN PROPOSED AND EXISTING LINE IS NOT POSSIBLE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING UTILITIES BY PROVIDING A FLEXIBLE WITH POWER EQUIPMENT EXCAVATION.
7. IN NO CASE SHALL A CONTRACTOR INSTALL UTILITY PIPES, CONDUITS, CABLES, ETC. IN THE SAME TRENCH PARALLEL TO OR CROSSING ANY EXISTING WATER OR SEWER PIPE EXCEPT WHERE THEY CROSS. ANY DEVIATION FROM NOTES 6, 7 AND 8 SHALL BE APPROVED IN WRITING BY THE RESPONSIBLE WATER AND SEWER UTILITY.
8. A NON-RESETTABLE ELAPSED TIME METER SHALL BE INSTALLED AT EACH PUMP TO RECORD THE TOTAL NUMBER OF OPERATING HOURS OF THE STATION.

1. FDEP final permit approval along with its supporting geological report and Assurance Report that indicates the proposed well design shall prevent upcoming or permit leakage into the overlying aquifer, and Certified Flow Test results from the well to confirm design assumptions must be submitted before a TCO (Temporary Certificate of Occupancy) will be approved by Public Works.
2. The contractor/permit holder shall employ an effective Integrated Mosquito Management Program utilizing Best Management Practices during the entire time the permit is in effect.
3. A CMB Right of Way Construction Permit is required before starting any demolition and/or construction activity inside right-of-way. This permit is going to be granted during a walk through Permit Process at the Public Works Department on 4th Floor at City Hall.

ADEQUATE DRAINAGE SHALL BE PROVIDED, AND SURFACE RUN-OFF WATER SHALL BE DIVERTED TO A STORM CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION IN ACCORDANCE WITH FLORIDA BUILDING CODE AND CITY OF MIAMI BEACH CODE ORDINANCES. ALL SITE DRAINAGE IS DESIGNED AND SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RUN-OFF RATES, VOLUME AND POLLUTANT LOADS NOT EXCEEDING PREDEVELOPMENT CONDITIONS AND PREVENTING FLOODING OF ADJACENT PROPERTIES AND PUBLIC RIGHT-OF-WAY



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RYAN NEIL ALDERMAN
JULY 2007

05-28-19

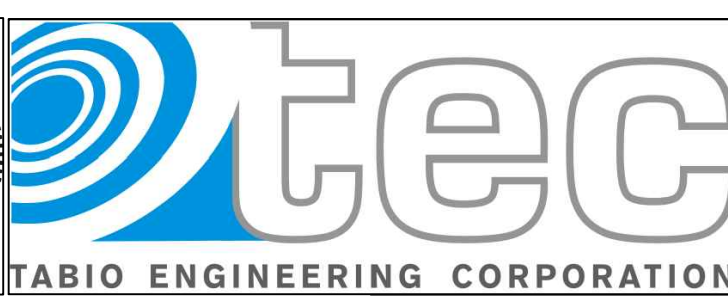
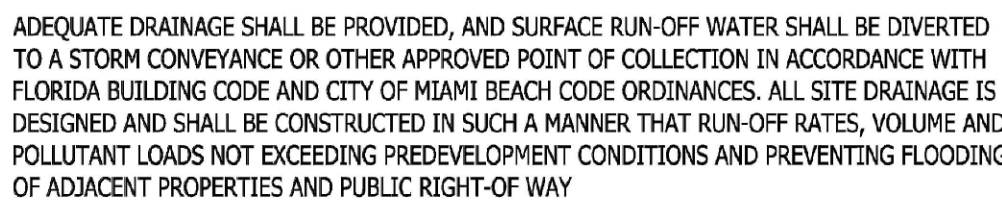
Issue #	Issue Date / For
1	REISSUED PLAN 8-5-19
2	comments 12-5-19
8	REISSUED 8-10-2020

Drawn by:

SCALE :

SHEET NO.

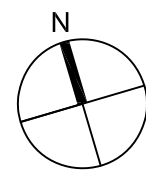
C-01

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e-mail: msalazar@tabioengineering.net

SHEET NO

C-01.1



BaseCamp305

BUILDING ALTERATION & ADDITION

224 2ND STREET
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KEY PLAN

SEAL / SIGNATURE / DATE

RYAN MEL ALDERMAN
494567

PERMIT SET

05-28-19

Issue #	Issue Date / For
1	12-05-19 - COMMENTS
2	12-20-19 - OWNER REQ. REV.
3	8-10-2020

RAA Project No.: 19-004

Drawn by:

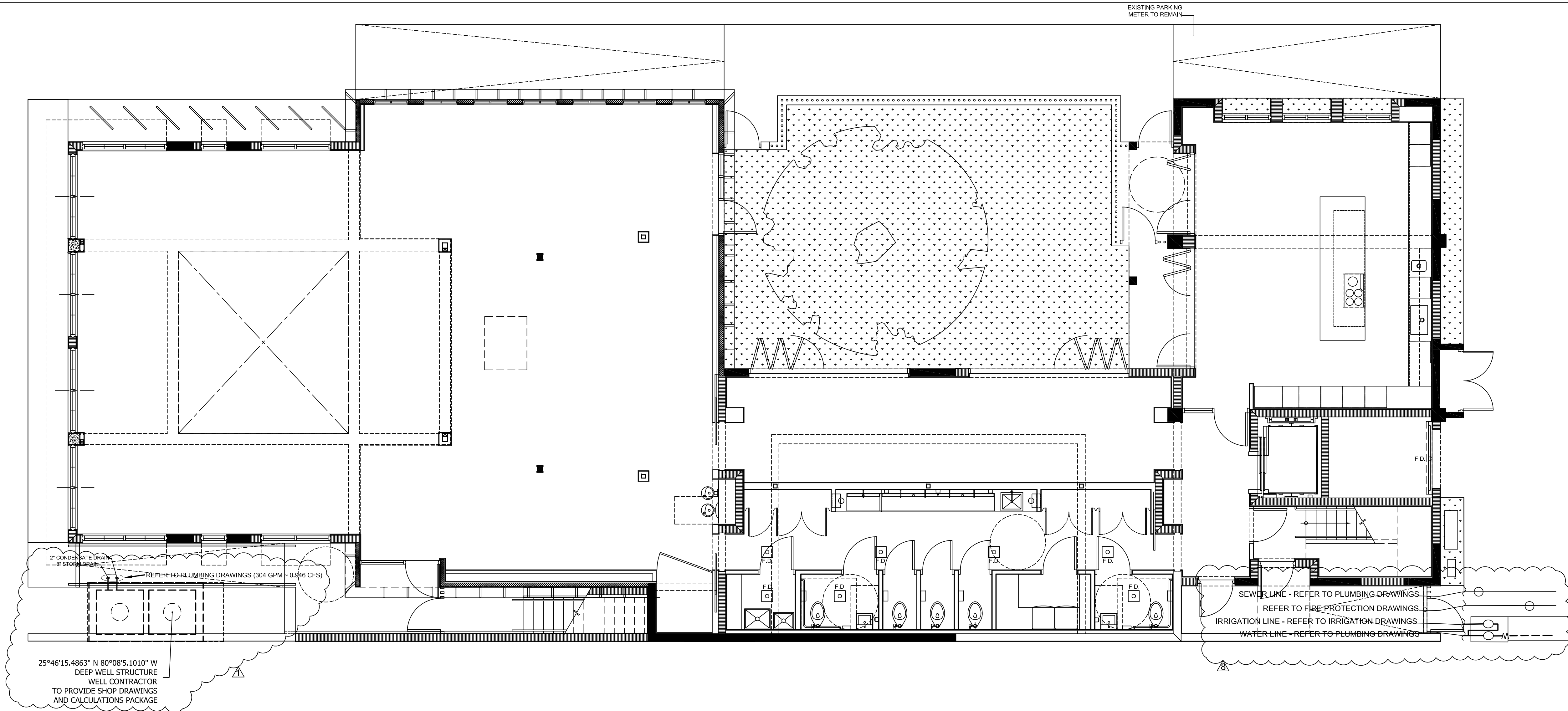
Approved by:

SHEET INDEX

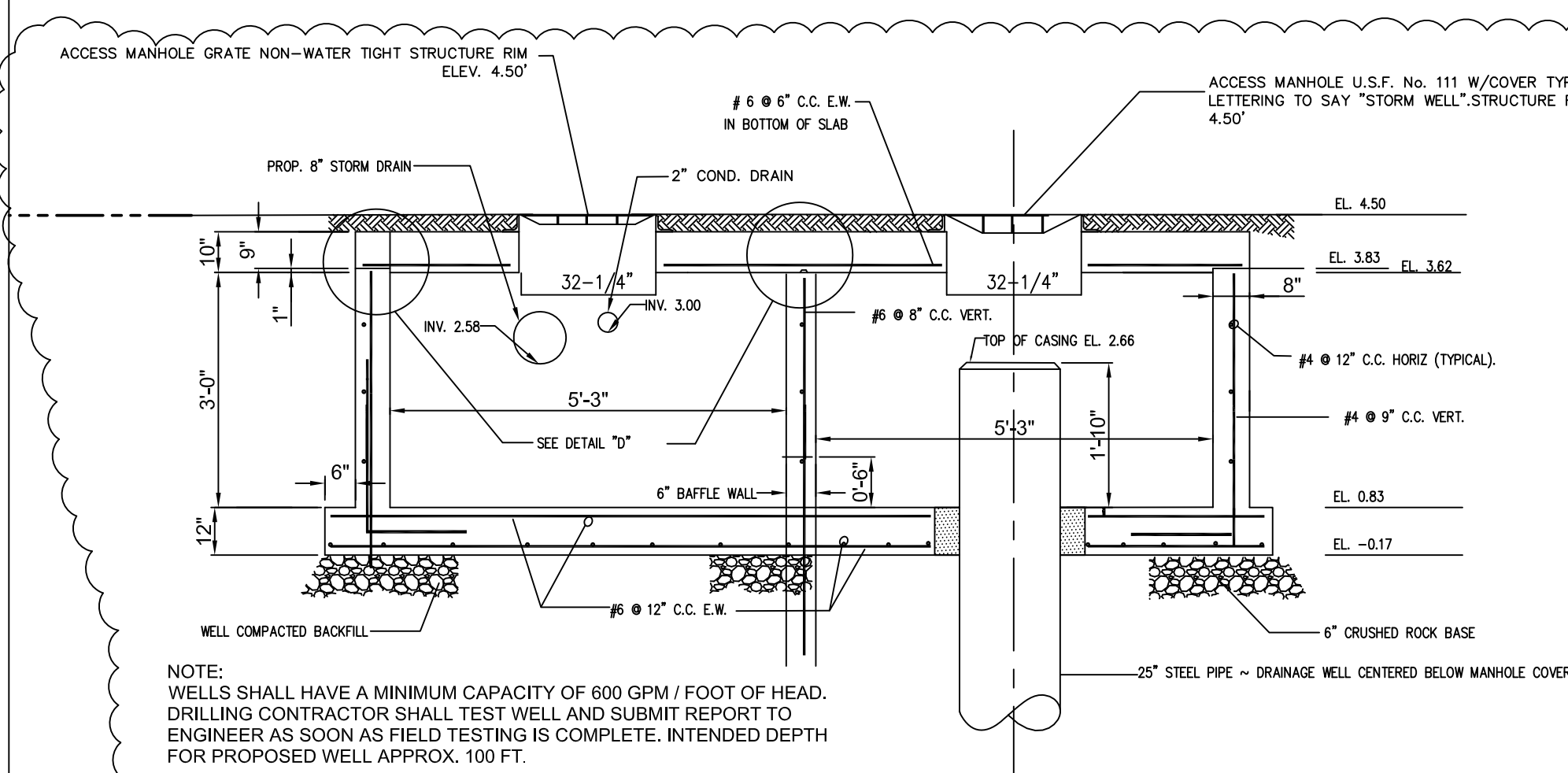
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C-2

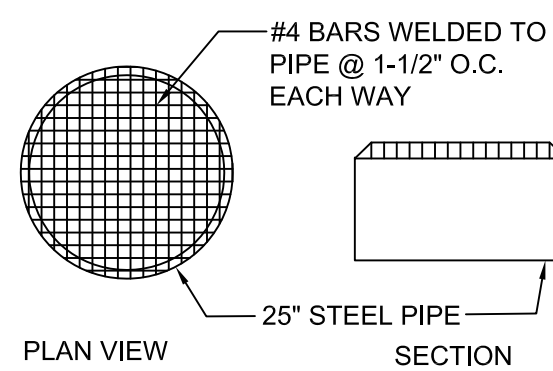
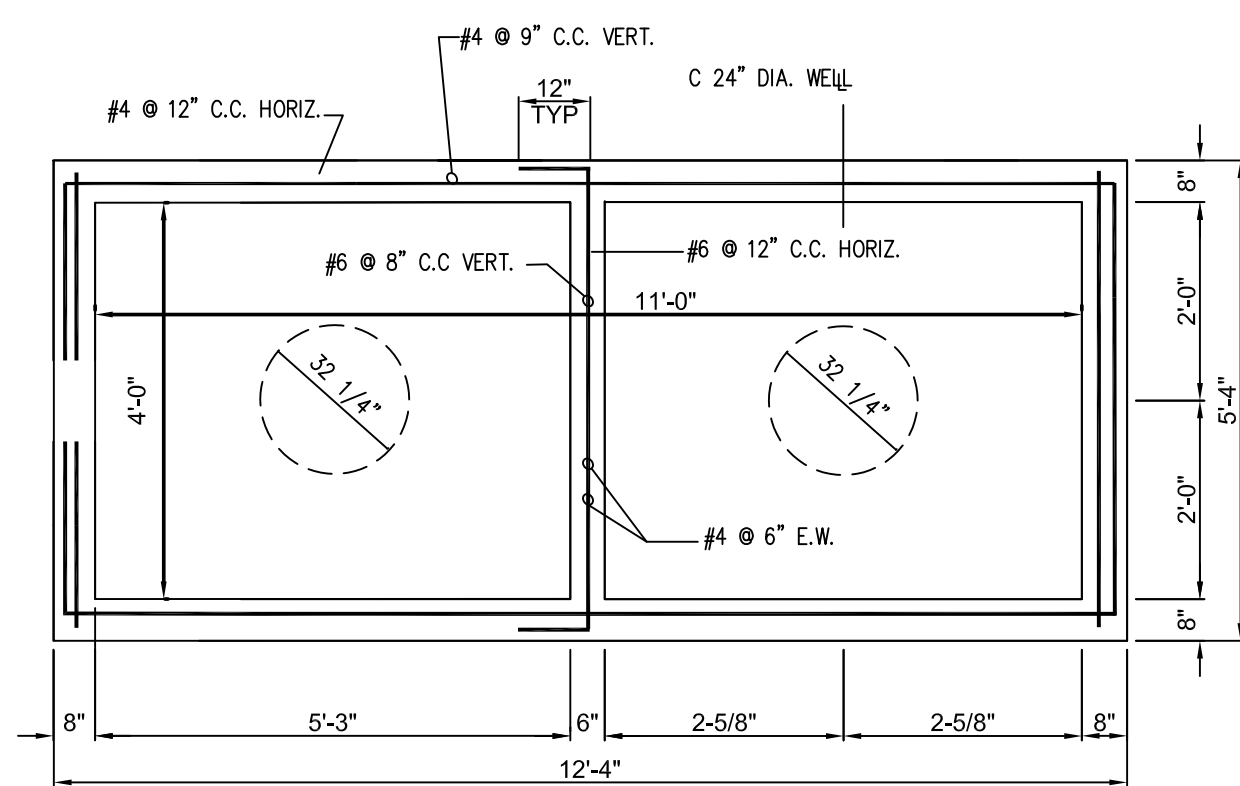


1 FIRST FLOOR DRAINAGE PLAN
Scale 3/16" = 1'-0"



LONGITUDINAL SECTION
TYPICAL DRAINAGE WELL BOX
N.T.S.

2 DEEP WELL DETAILS
Scale 1/2" = 1'-0"



3 WELL SCREEN DETAIL
Scale N.T.S.

PLAN
#4 BARS, WELDED AT 1-1/2" CTRS E-W. AND COATED WITH COAL TAR EPOXY. DO NOT FASTEN TO CASING. ONE EACH WELL.

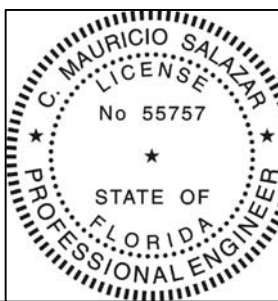
NOTE:
MANHOLE COVERS NEED TO BE WATER TIGHT, FITTED WITH NEOPRENE WASHERS AND BOLTED DOWN.

D CORNER REINFORCING DETAIL
Scale N.T.S.

SPECIFICATIONS:

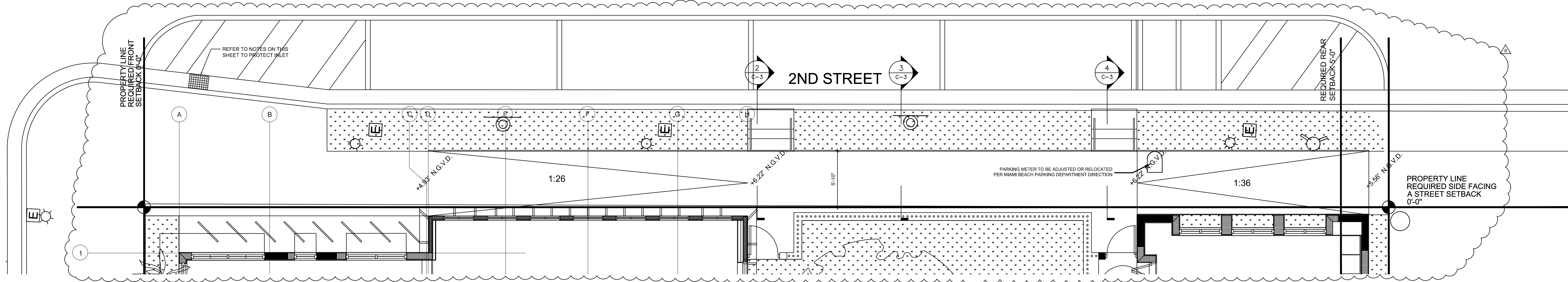
- USE CONCRETE MIN. 5000 PSI AT 28 DAYS WITH A TARGET SLUMP OF 3" AND A W/C RATIO OF 0.46
- DEEP WELL CASING SHALL BE A NEW 0.375" WALL BLACK STEEL PIPE CONFORMING TO ASTM A-53 STANDARD
- CONTRACTOR IS ADVISED TO EET OSHA REQUIREMENTS FOR EXCAVATION PER C.F.R.-29
- USE #57 STONE FOR BEDDING MATERIAL AT ALL CONCRETE STRUCTURES
- BACKFILL COMPACTION TO BE PERFORMED IN LAYERS NO THICKER THAN 6". REQUIRED DENSITY FOR BACKFILL IS 100% OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T 99, METHOD 'C'

ADEQUATE DRAINAGE SHALL BE PROVIDED, AND SURFACE RUN-OFF WATER SHALL BE DIVERTED TO A STORM CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION IN ACCORDANCE WITH FLORIDA BUILDING CODE AND CITY OF MIAMI BEACH CODE ORDINANCES. ALL SITE DRAINAGE IS DESIGNED AND SHALL BE CONSTRUCTED IN SUCH A MANNER THAT RUN-OFF RATES, VOLUME AND POLLUTANT LOADS NOT EXCEEDING PREDEVELOPMENT CONDITIONS AND PREVENTING FLOODING OF ADJACENT PROPERTIES AND PUBLIC RIGHT-OF WAY

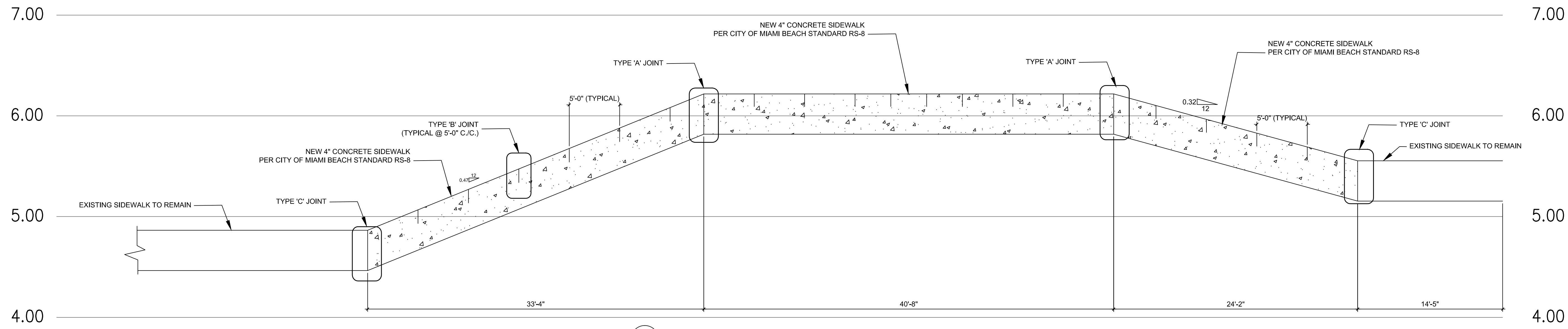


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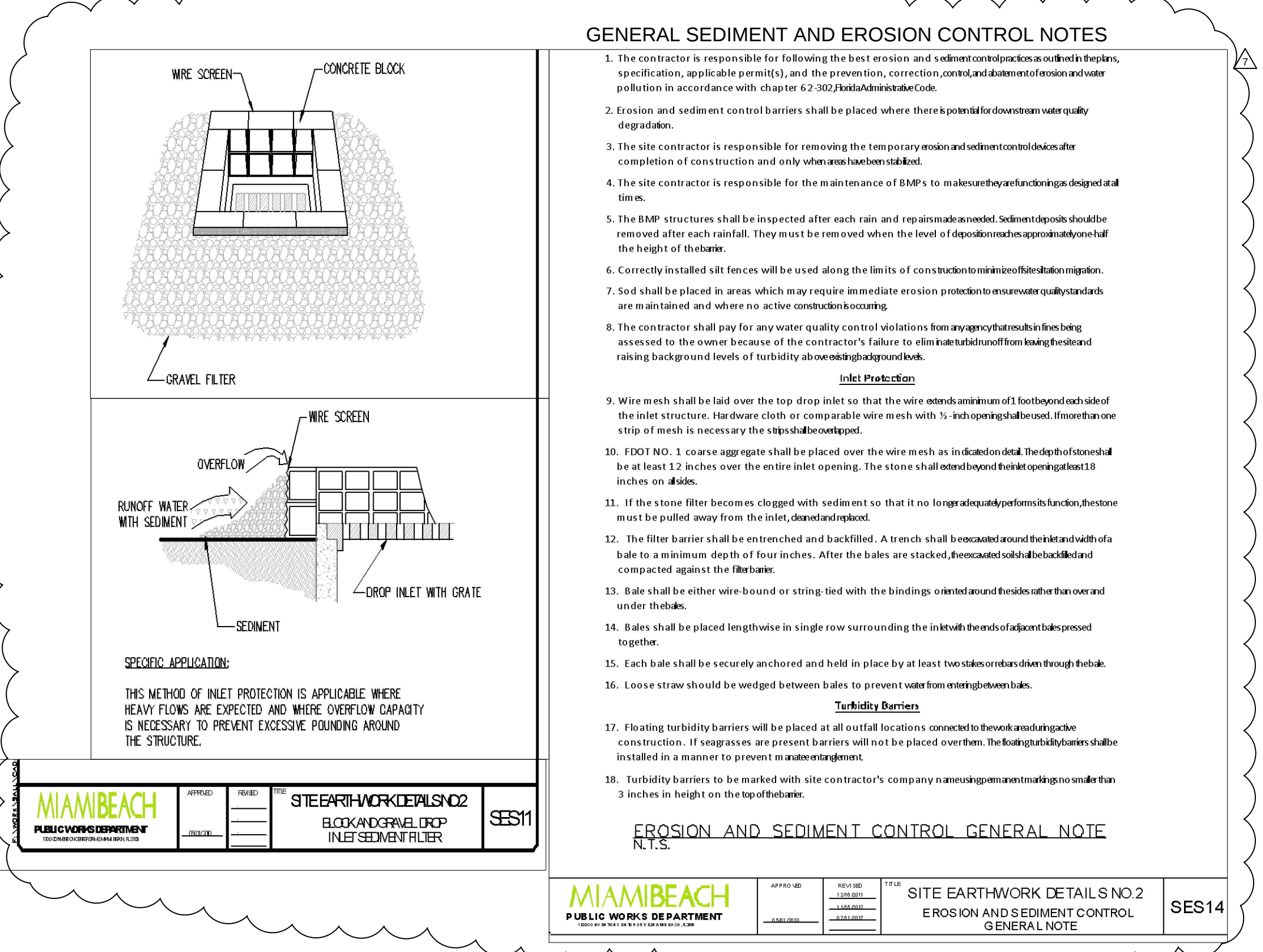
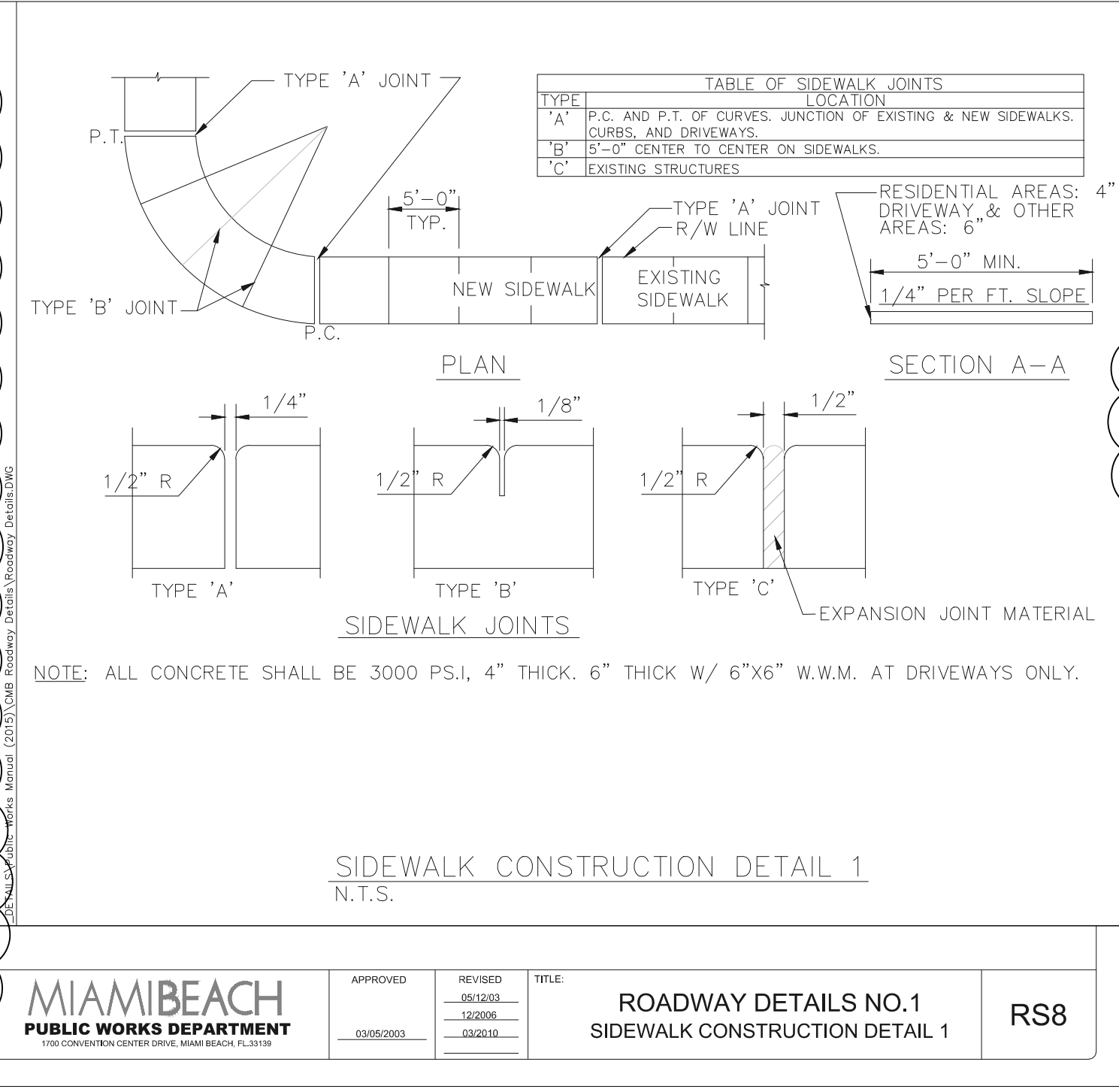
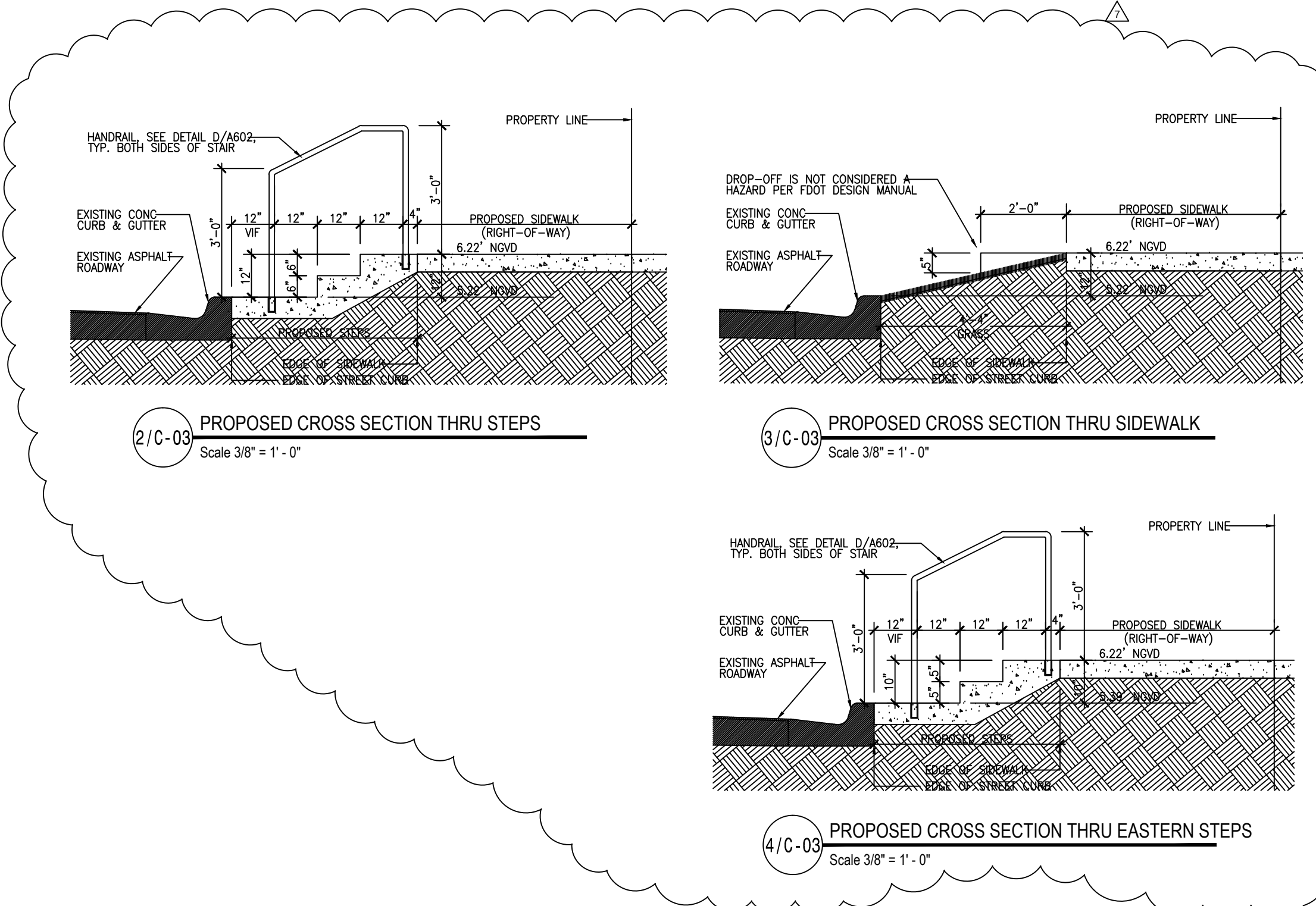
e-mail: msalazar@tabioengineering.net



2 FIRST FLOOR PLAN
Scale 3/16" = 1' - 0"



1/C-03 PROPOSED SIDEWALK LONGITUDINAL SECTION
Scale H= 3/16" = 1' - 0"



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KEY PLAN

SEAL / SIGNATURE / DATE

RYAN NEL ALDERMAN
ARCHITECT

PERMIT SET

02-12-19

Issue # Issue Date / For
1 6-11-2020
2 8-10-2020

RAA Project No.: 19-004
Drawn by:
Approved by:

SHEET INDEX

SCALE:

SHEET NO.

C-3