



**1801 ALTON ROAD
MIAMI BEACH, 33139**

1/2 MILE RADIUS
FROM PROPERTY

SUNSET
HARBOUR

VENETIAN
WAY

BELLE
ISLE

RIVO ALTO ISLAND

DI LIDO ISLAND

01 LOCATION PLAN AERIAL
SCALE: N.T.S



SLIDE 1

1035 N. MIAMI AVENUE
SUITE 406
MIAMI, FLORIDA 33136
TELE: 305.440.4314
gonzalezarchitecture.com
create@gonzalezarchitecture.com



ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

A002



01 ALTON ROAD LOOKING EAST AT 1801 ALTON ROAD



02 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



03 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



04 ALTON ROAD / DADE BLVD LOOKING NORTH AT 1801 ALTON ROAD

SITE PHOTOS

SLIDE 2

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A014



05 DADE BOULEVARD LOOKING NORTHWEST



06 DADE BOULEVARD LOOKING NORTH



07 ALTON ROAD LOOKING SOUTHEAST



08 EXISTING PARKING LOT LOOKING SOUTH



09 EXISTING PARKING LOOKING SOUTHWEST



10 EXISTING PARKING LOOKING SOUTH



11 EXISTING PARKING LOOKING SOUTHEAST



12 EXISTING PARKING LOT LOOKING SOUTH



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A016



13 EXISTING PARKING LOOKING SW



14 EXISTING PARKING LOOKING SE



15 19TH STREET LOOKING SOUTH AT THE 1801 ALTON ROAD

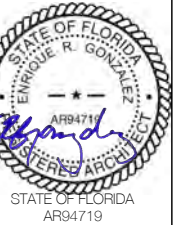


16 19TH STREET LOOKING SOUTH AT PUBLIX REAR SERVICE

SITE PHOTOS



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A017



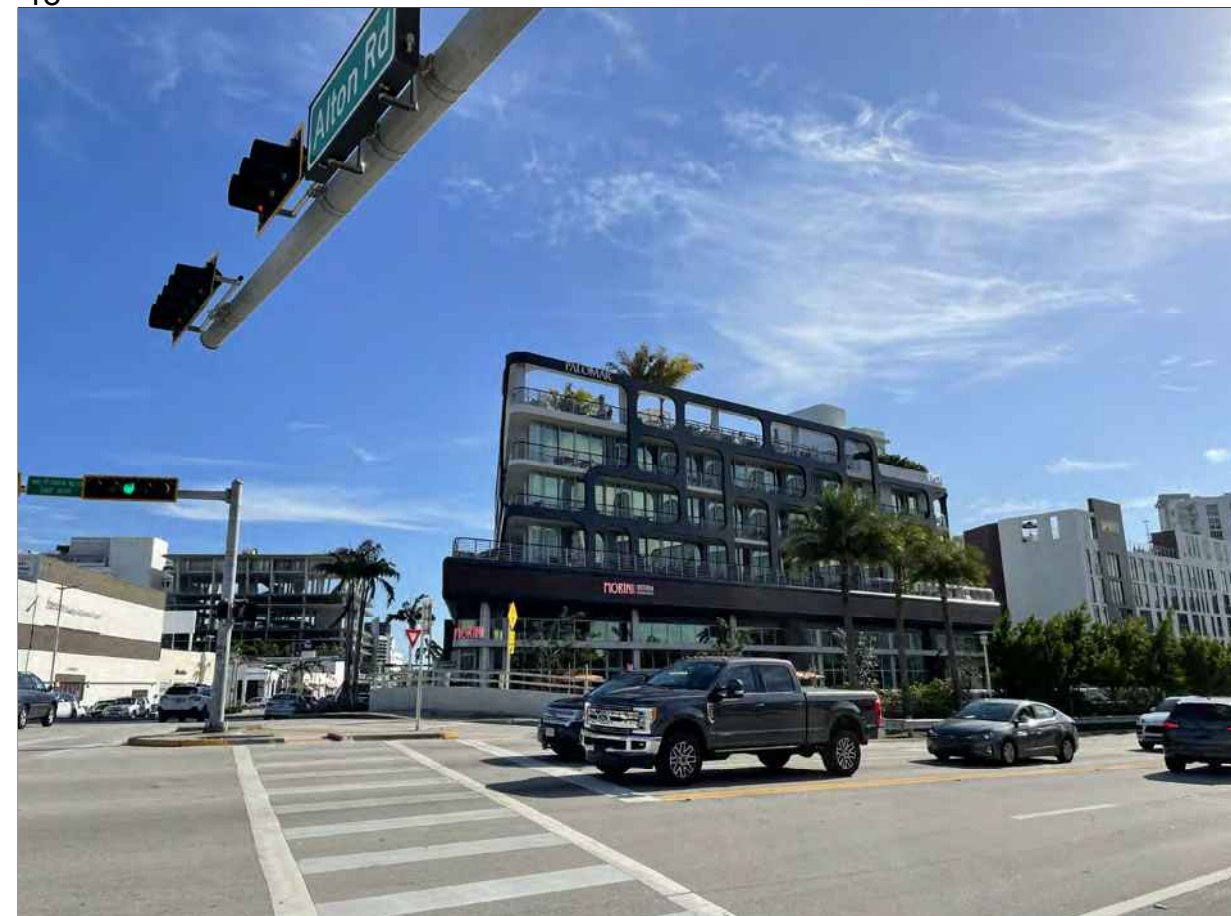
17 DADE BOULEVARD LOOKING NORTH AT PUBLIX



18 DADE BOULEVARD LOOKING SOUTH AT SHOPS ACROSS CANAL



19 ALTON RD / DADE BLVD LOOKING WEST AT MICHAEL'S BUILDING



20 ALTON RD / DADE BLVD LOOKING SOUTH AT THE PALOMAR



21 ALTON ROAD LOOKING WEST AT ANIMAL HOSPITAL



22 ALTON ROAD LOOKING NORTH EAST AT WALGREENS



23 ALTON ROAD / 19TH STREET LOOKING SOUTHEAST AT WALGREENS



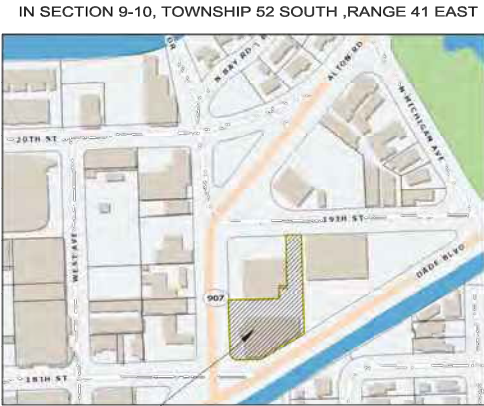
24 ALTON ROAD / 19TH STREET LOOKING NORTH AT WELLS FARGO

TOPOGRAPHIC SURVEY

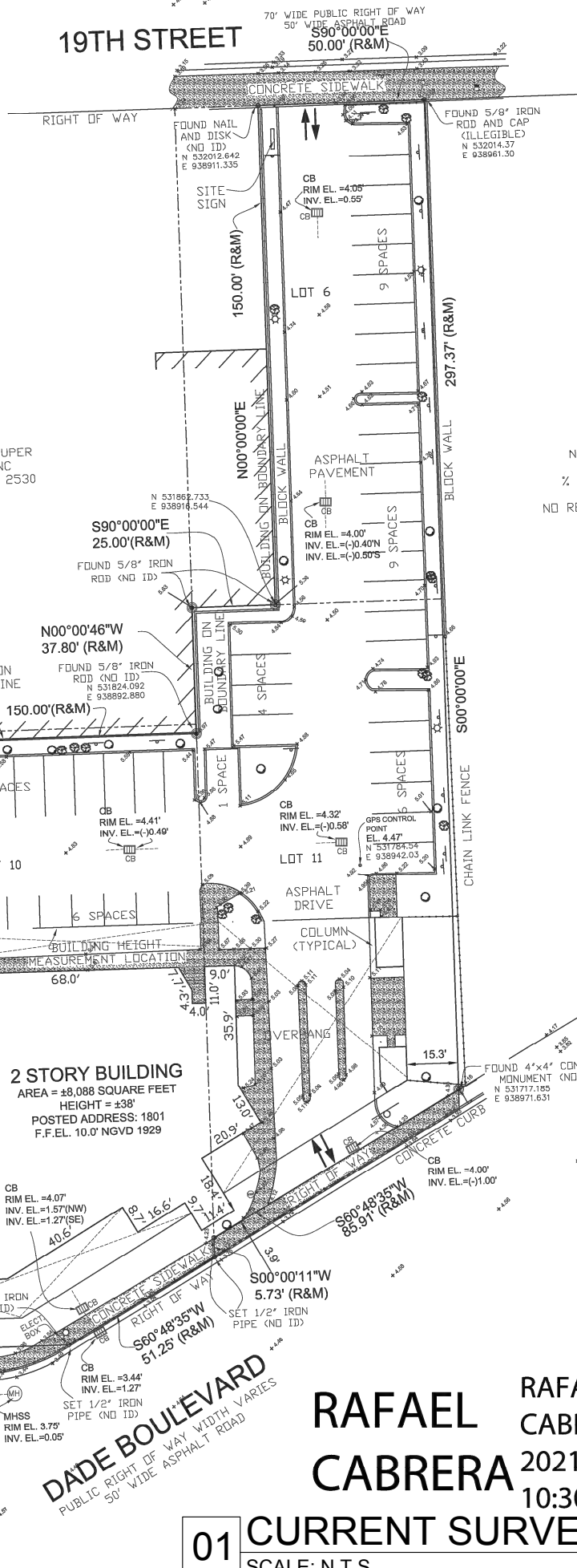
1801 ALTON ROAD
MIAMI BEACH, FL 33139

FOLIO: 02-3233-012-0090

LOCATION SKETCH N.T.S.



19TH STREET



America Layout Corp

SYMBOL LEGEND

- CENTER LINE
- ⊗ POWER POLE
- ⊙ LIGHT POLE
- ⊛ STOP SIGN
- ⊚ FIRE HYDRANT
- ⊞ WATER VALVE
- ⊟ SIGN
- WATER METER
- ✱ PALM
- ⊕ TREE
- CONC. L-P
- ⊞ SANITARY M-H
- ⊞ CATCH BASIN
- P/L PROPERTY LINE
- PB PLAT BOOK
- PG PAGE
- x0.00' EXISTING ELEV.

ABBREVIATIONS

- AVE = AVENUE
- ASPH = ASPHALT
- A/W = ANCHOR WIRE
- A/C = AIR CONDITIONER
- BLDG = BUILDING
- CB = BLOCK CORNER
- C = CALCULATED
- CH = CHORD
- CLP = CHAIN LINK FENCE
- CNC = CONCRETE
- COL = COLUMN
- COMP = COMPRIED
- CUP = CONCRETE UTILITY POLE
- CLP = CONCRETE LIGHT POLE
- CBS = CONCRETE BLOCK STRUCTURE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- D = DELTA
- D/W = DRIVEWAY
- DME = DRAINAGE & MAINTENANCE EASEMENT
- ENC. = ENCROACHMENT
- GAS. = GASCHENT
- ENC. = ENCROACHMENT
- E.T.P. = ELECTRIC TRANSFORMER PAD
- F.P.L. = FLORIDA FIRE AND LIGHT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.F. = FINISH FLOOR
- F.B.H. = FOUND BOLT HOLE
- F.R. = FOUND REBAR
- F.D. = FOUND DISC
- F.W. = FOUND WALL
- I/F = IRON FENCE
- L = LENGTH
- L.F.E. = LOWEST FLOOR ELEVATION
- L.P. = LIGHT POLE
- M. = MEASURED
- M.H. = MAN HOLE
- M/L = MONUMENT LINE
- N.G.V.D. = NATIONAL GEODETIC DATUM
- N.T.S. = NOT TO SCALE
- OE. = OVERHEAD ELECTRIC LINE
- D/L = ON LINE
- OUT = OVERHANGING ROOF
- D/S = DFT SET
- P = PLAT
- P.C. = POINT OF CURVATURE
- P.T. = POINT OF TERMINATION
- P.R.C. = POINT OF REVERSE CURVATURE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C.P. = PERMANENT CONTROL POINT
- PL = PLANTER
- P.M. = PARKING METER
- P.R.M. = PERMANENT REFERENCE MONUMENT
- R = RECORD
- R/W = RIGHT OF WAY
- S.I.H. = SET IRON HOLE
- S.I.P. = SET IRON PIPE
- S.N. = SET NAIL
- SD/WLK = SIDEWALK
- T = TANGENT
- U.E. = UTILITY EASEMENT
- W/F = WOOD FENCE
- W/S = WOOD SHED
- W.V. = WATER VALVE
- W.U.P. = VOID UTILITY POLE
- IRON FENCE
- CHAIN LINK FENCE
- WOOD FENCE
- WOOD LINK FENCE
- CONCRETE FENCE
- CBS WALL
- OVERHEAD ELEC.
- CENTER LINE
- EASEMENT
- BENTON ELEVATIONS
- BUILDING
- DISTANCE
- CATCH BASIN
- WATER METER
- W.U.P.
- STATE ROAD
- HI. HIGHWAY
- INTERSTATE
- COLUMNS
- W.U.P. = VOID UTILITY POLE

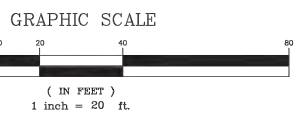


America Layout Corp
Tel. 305-606-0031

PROJECT:
TOPOGRAPHIC SURVEY

JOB No. 2020800
FIELD BOOK:
CAD FILE: LD-9
DATE: 02-11-2021
SCALE: AS SHOWN
DRAWN: LDD
REV: RC

REVISIONS
SHEET No.
1-OF-1



SURVEYOR'S NOTES:

- The property depicted hereon were surveyed per the legal description of record and no claims of ownership, code restrictions or matters of title are made or implied. Examination of the abstract of title will have to be made to determine recorded instruments, if any, affecting this property. Ownership is subject to an opinion of title.
- All clearance and/or encroachments shown hereon are of apparent nature. Fence ownership was not determined.
- If shown, bearings are to be based on an assumed meridian (by plat).
- Dimensions shown are in US survey feet and were taken from record documents unless otherwise shown or stated.
- Not valid without the signature and the original raised seal of the Florida licensed surveyor and mapper in responsible charge.
- Reproduction, addition and/or deletions of maps, sketches or reports by any party other than the signing party are prohibited without the written consent of the signing party.
- Some Underground installations or improvements have not been located unless otherwise noted.
- Benchmark: N.G.V.D 1929
Name: C-100
Elev.(NGVD29): 11.05
Elev.(NAVD88): 9.50
Location1: DADE BLVD --- 25' SOUTH OF C/L OF EASTBOUND LANE
Location2: WEST AVE --- BRIDGE OVER COLLINS CANAL
Location3: BAY RD --- 65' EAST OF C/L OF ROAD
Description1: BRASS DISC IN NORTH CORNER OF BRIDGE.
ELEVATIONS SHOWN HEREON ARE BASED ON THE NGVD 1929
- Some underground taken elevations may not accurate for nature, has to be verify by construction contractor
- The purpose of this survey is to depict actual conditions and elevations on the field.
- Total lot Area = 47,312 Sq. Ft. by MIAMI-DADE RECORDS
Total lot Area = 46,845.0615 Sq. Ft. Calculated.

HORIZONTAL PRIMARY CONTROL INFORMATION

MIAMI-DADE COUNTY GPS. CONTROL POINT
DESIGNATION: MIAMI BEACH TANK ECC
PID: AC3464
STATE/COUNTRY: FL/MIAMI-DADE
COUNTRY: US
USGS QUAD: MIAMI (2018)
North East Units Scale Factor Converg.
631,424.67 939,930.62 aFT 1.00003351 +0° 22' 31.0"

STATION DESCRIPTION:
DESCRIBED BY COAST AND GEODETIC SURVEY 1934 (JB)
THIS ECCENTRIC STATION, LOCATED ON TOP OF THE MIAMI BEACH WATER TANK IN THE FLOOR OF THE WALL AROUND THE TANK, 2.871 METERS W OF THE CENTER OF THE TANK, 0.42 METER E OF THE INNERSIDE OF THE W WALL OF THE TANK, SET FLUSH WITH AN OLD DRILL HOLE.

ELEVATION INFORMATION
National Flood Insurance Program
FEMA Elev. Reference to NGVD 1929
Map Number: 12086C0317L
Community Name: MIAMI BEACH, CITY OF
Community Number: 120651
Parcel Number: 0317
Firm Zone: AE
B. Elev. 8.0
Date of Firm: 09-11-2019
BSuffic: L

LEGAL DESCRIPTION
All that certain lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the City of Miami Beach, County of Miami-Dade, State of Florida.

The East 50 feet of Lot 6, Lot 10, Less the North 2.8 feet thereof, and Lot 11, Block 11, of Island View Subdivision, according to the plat thereof as recorded in Plat Book 6, Page 115, of the Public Records of Miami-Dade County, Florida, less those lands conveyed to the City of Miami Beach by deeds recorded in Deed Book 1343, Page 69 and Deed Book 1343, Page 74 of the Public Records of Miami-Dade County, Florida, all together being more particularly described as shown on a survey made by Lou Boudreau of Rock & Clark Corp., Project/Job Number 9200900147, dated 07/09/09, last revised March 25, 2010 as follows:

Beginning at the northwest corner of said Lot 10, thence South 90 degrees 00 minutes 00 seconds East, a distance of 150.00 feet to a point on the West line of said Lot 11; thence North 00 degrees 00 minutes 46 seconds West, a distance of 37.80 feet to the northwest corner of said Lot 11, said point also being the southwest corner of said Lot 6; thence South 90 degrees 00 minutes 00 seconds East, along the south line of said Lot 6, a distance of 25.00 feet; thence North 00 degrees 00 minutes 00 seconds East, a distance of 150.00 feet to a point on the North line of said Lot 6, said point also being on the south right of way line of 19th Street; thence South 90 degrees 00 minutes 00 seconds East, a distance of 50.00 feet to the northeast corner of said Lot 6; thence South 00 degrees 00 minutes 00 second East, a distance of 297.37 feet along the east line of said Lots 6 and 11 to the southeast corner of said Lot 11, said point lying and being on the North right of way line of Dade Boulevard; thence South 60 degrees 48 minutes 35 seconds West, a distance of 85.91 feet to a point on the east line of said Lot 10; thence South 00 degrees 00 minutes 11 seconds West, a distance of 5.73 feet to the southeast corner of said Lot 10; thence South 60 degrees 48 minutes 35 seconds West, a distance of 51.25 feet; thence South 90 degrees 00 minutes 00 seconds West, a distance of 90.25 feet to a point of curvature to the right, having a radius of 15.00 feet and a central angle of 90 degrees 00 minutes 00 seconds; thence along the arc of said curve in a northerly direction a distance of 23.56 feet to a point on the east right of way line of Alton Road and the West line of said Lot 10; thence North 00 degrees 00 minutes 00 seconds West, along said East right of way line of Alton Road and west line of said Lot 10, a distance of 167.20 feet to the point of beginning.

THE LANDS SURVEYED, SHOWN AND DESCRIBED HEREON ARE THE SAME LANDS AS DESCRIBED IN THE TITLE COMMITMENT PROVIDED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. WTRFL-070572, DATED NOVEMBER 29, 2011.

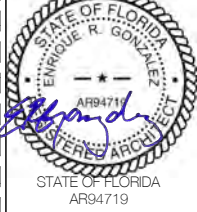
RAFAEL CABRERA
2021.02.12
10:30:35 -05'00'
01 CURRENT SURVEY
SCALE: N.T.S.

BY *Rafael Cabrera*
Professional Surveyor & Mapper
Certificate No. 5886
STATE OF FLORIDA
02-11-2021

1035 N. MIAMI AVENUE
SUITE 406
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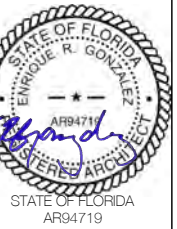
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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB
03-08-2021
FINAL SUB

A003



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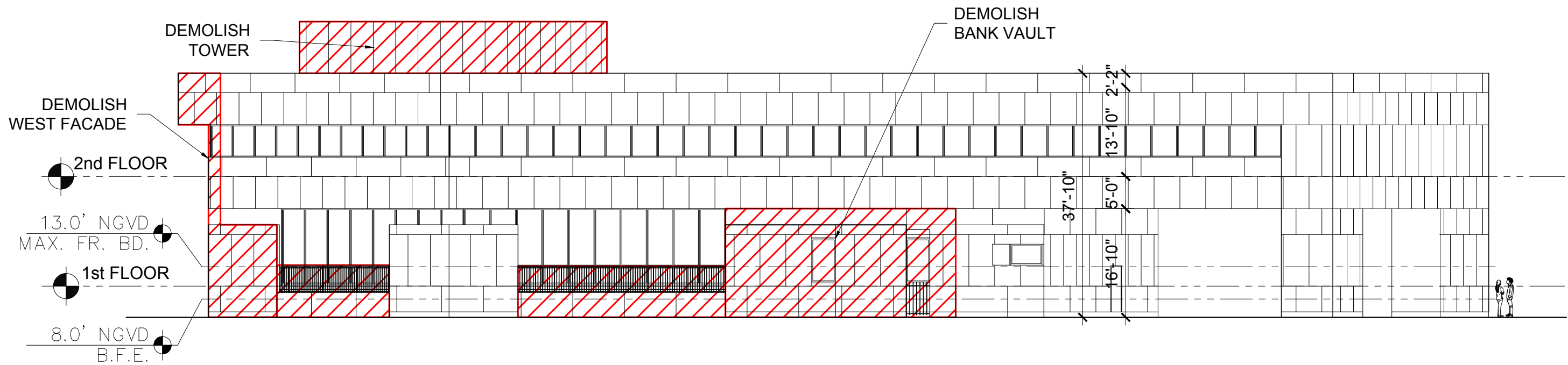


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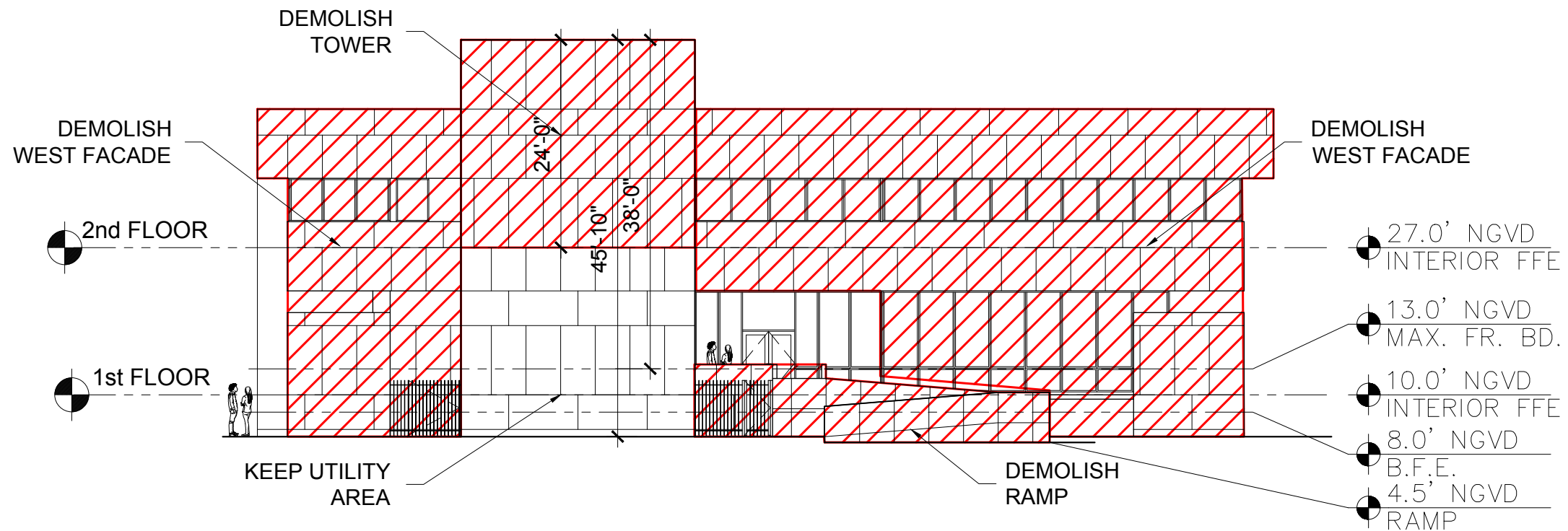
02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

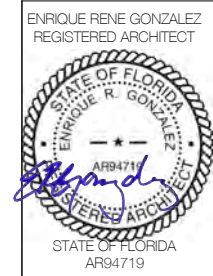
A008



01 EXISTING SOUTH ELEVATION DADE BOULEVARD
SCALE: 1/16" = 1'-0"



02 EXISTING WEST ELEVATION ALTON ROAD
SCALE: 1/16" = 1'-0"

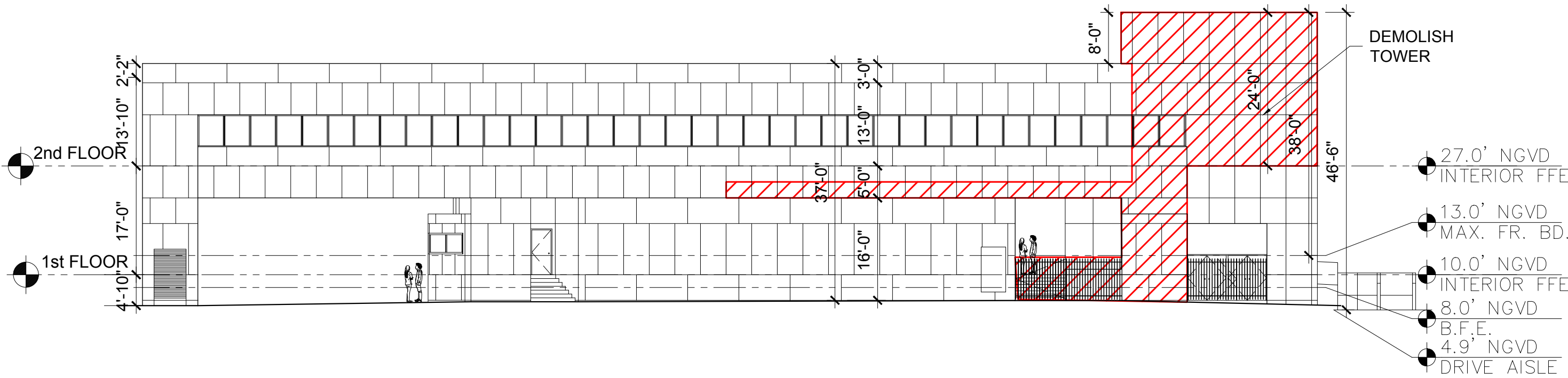


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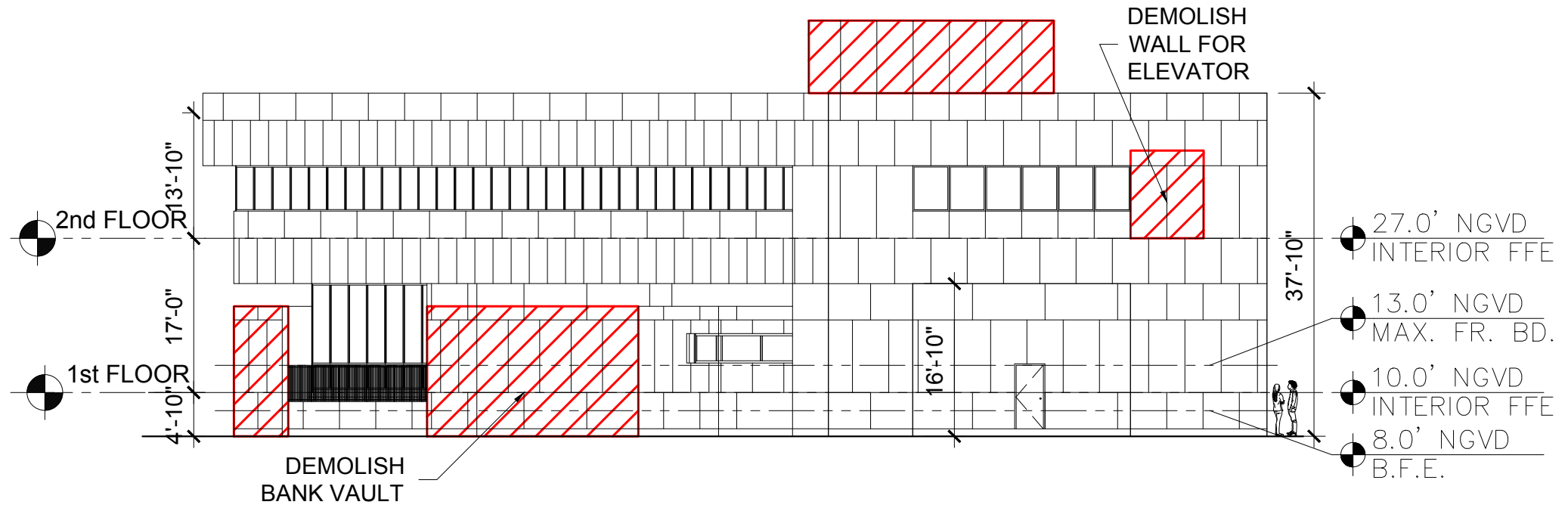
02-16-2021
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03-08-2021
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A009



01 EXISTING NORTH ELEVATION
SCALE: 1/16" = 1'-0"



02 EXISTING EAST ELEVATION
SCALE: 1/16" = 1'-0"



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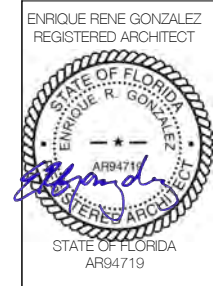
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A020

01 PHOTO MONTAGE RENDER AT ALTON ROAD AND DADE BLVD (LOOKING NORTH EAST)



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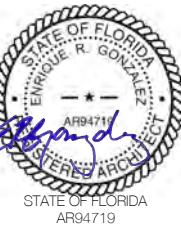
03-08-2021
FINAL SUB

A021

01 NIGHT RENDERING AT ALTON ROAD (LOOKING SOUTH EAST)



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A023

01 RENDERING AT ALTON ROAD (LOOKING EAST)



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A024

01 STREET VIEW RENDERING AT ALTON AND DADE (LOOKING NORTH)



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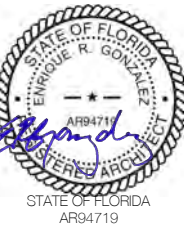
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A025

01 DUSK RENDERING AT DADE BLVD (LOOKING NORTH)



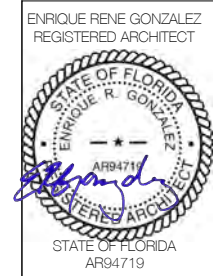
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A028

01 DUSK VIEW OF PARKING ENTRANCE FROM 19TH STREET (LOOKING SOUTHWEST)

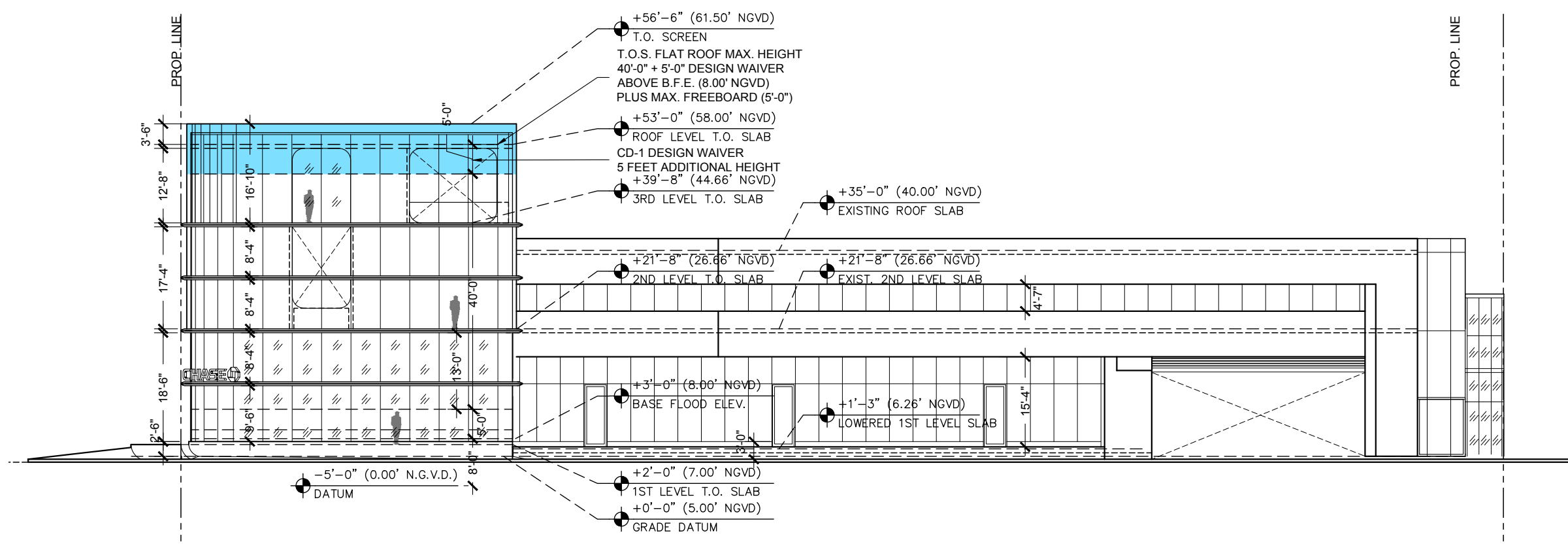


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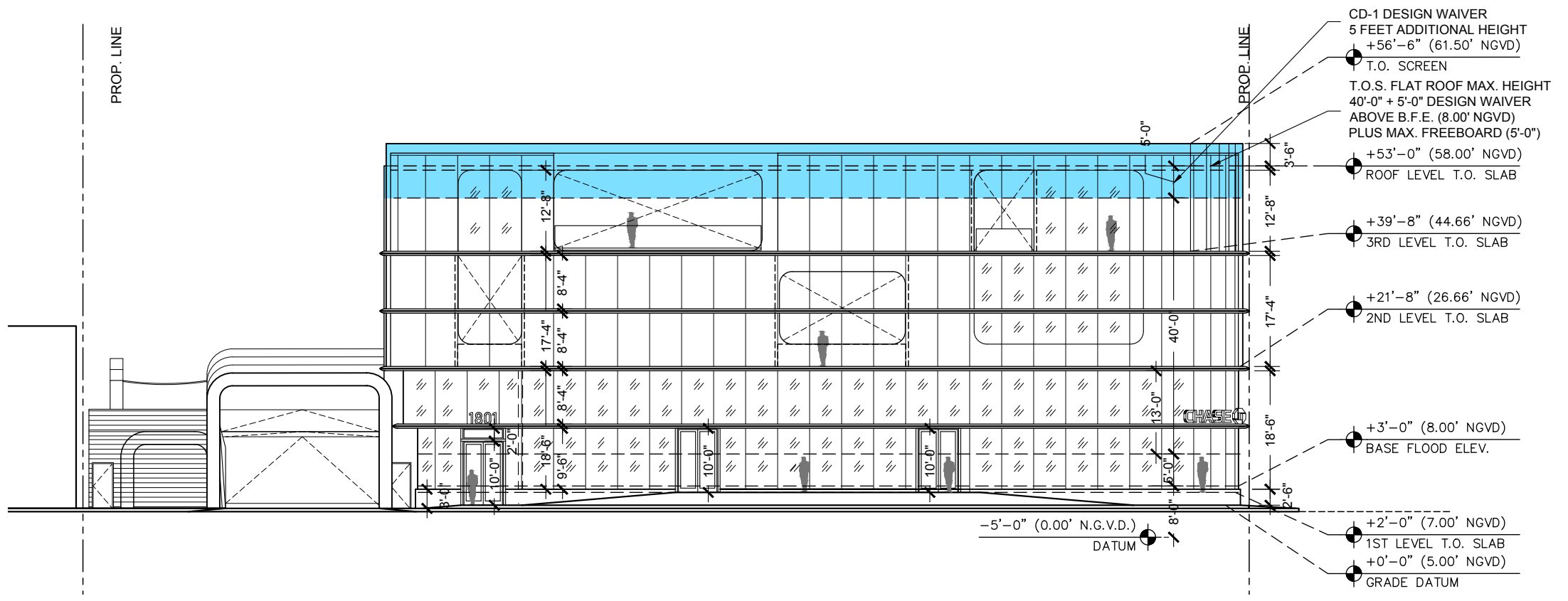
02-16-2021
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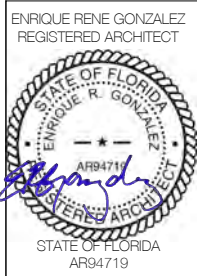
A031



01 PROPOSED SOUTH ELEVATION WAIVER DIAGRAM
SCALE: 3/64" = 1'-0"



02 PROPOSED WEST ELEVATION WAIVER DIAGRAM
SCALE: 3/64" = 1'-0"

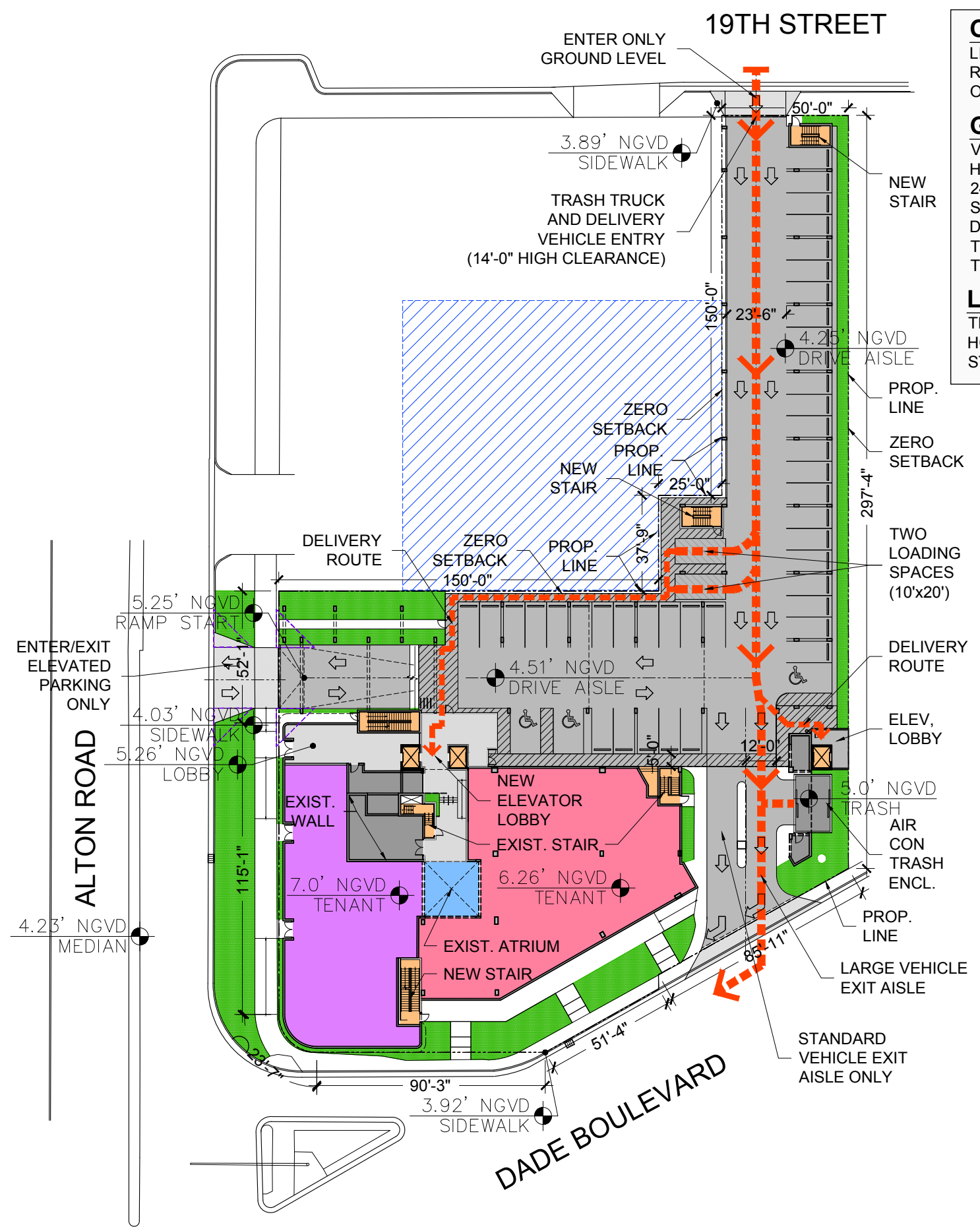


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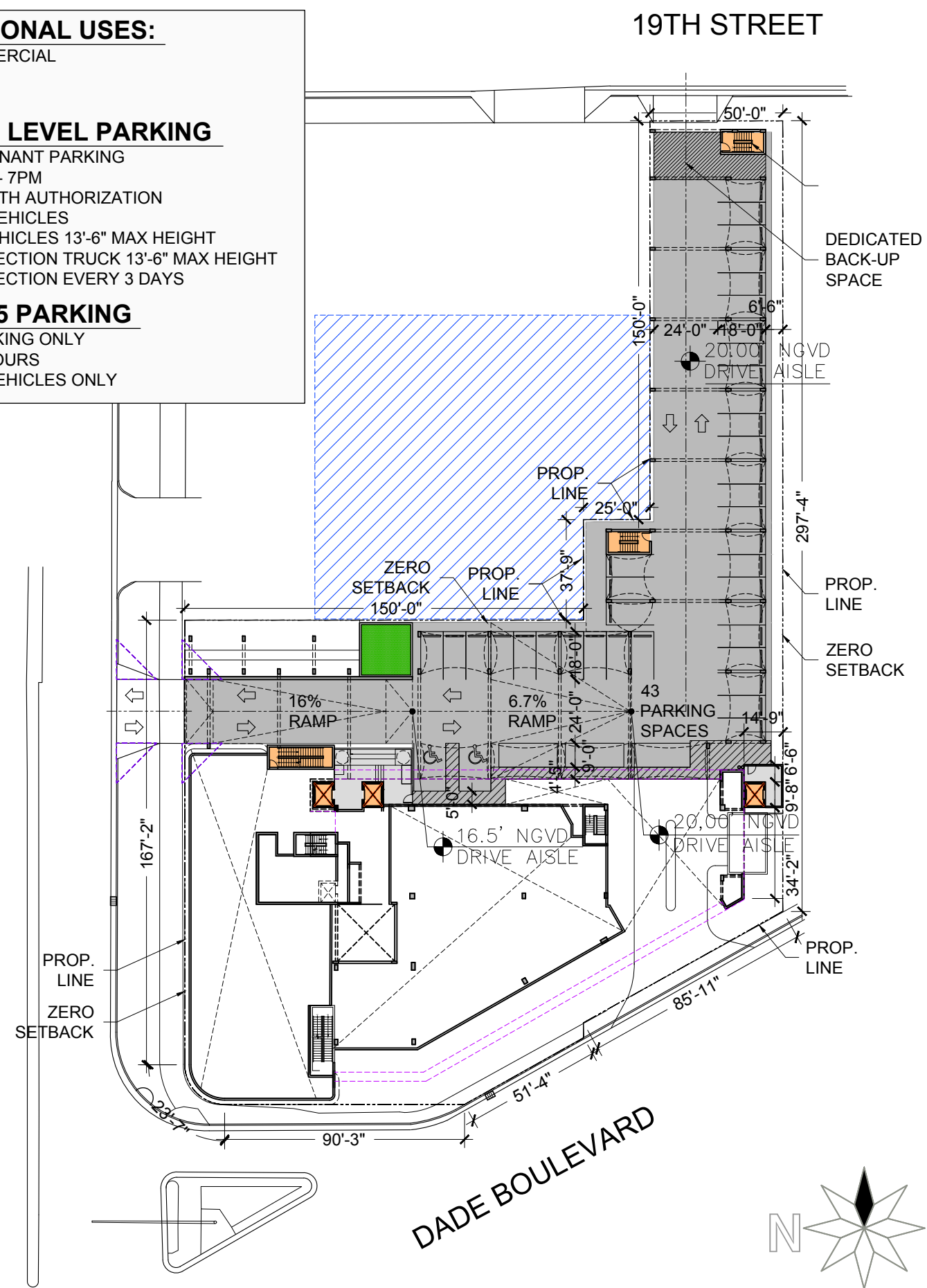


OPERATIONAL USES:
LIGHT COMMERCIAL
RETAIL
OFFICE

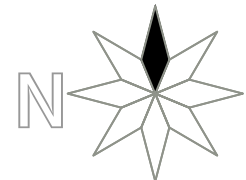
GROUND LEVEL PARKING
VISITOR & TENANT PARKING
HOURS: 7AM - 7PM
24 HOURS WITH AUTHORIZATION
STANDARD VEHICLES
DELIVERY VEHICLES 13'-6" MAX HEIGHT
TRASH COLLECTION TRUCK 13'-6" MAX HEIGHT
TRASH COLLECTION EVERY 3 DAYS

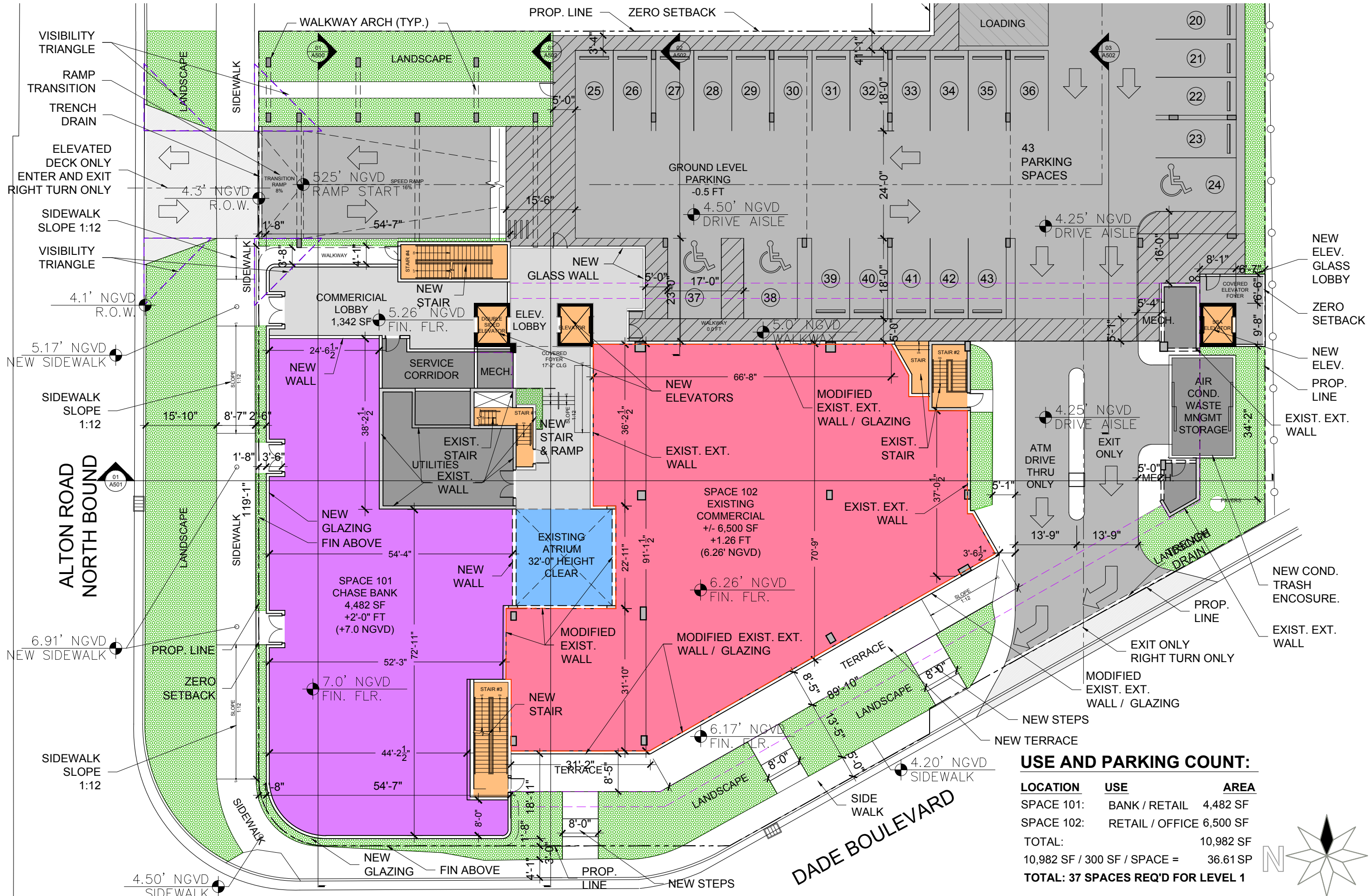
LEVEL 1.5 PARKING
TENANT PARKING ONLY
HOURS: 24 HOURS
STANDARD VEHICLES ONLY

01 GROUND LEVEL OPERATIONAL PLAN
SCALE: 1" = 50'-0"



02 LEVEL 1.5 PARKING OPERATIONAL PLAN
SCALE: 1" = 50'-0"

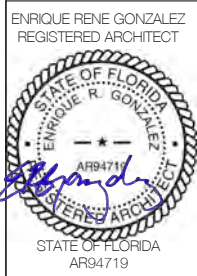




USE AND PARKING COUNT:

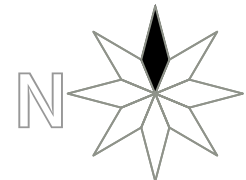
LOCATION	USE	AREA
SPACE 101:	BANK / RETAIL	4,482 SF
SPACE 102:	RETAIL / OFFICE	6,500 SF
TOTAL:		10,982 SF
	10,982 SF / 300 SF / SPACE =	36.61 SP
TOTAL: 37 SPACES REQ'D FOR LEVEL 1		

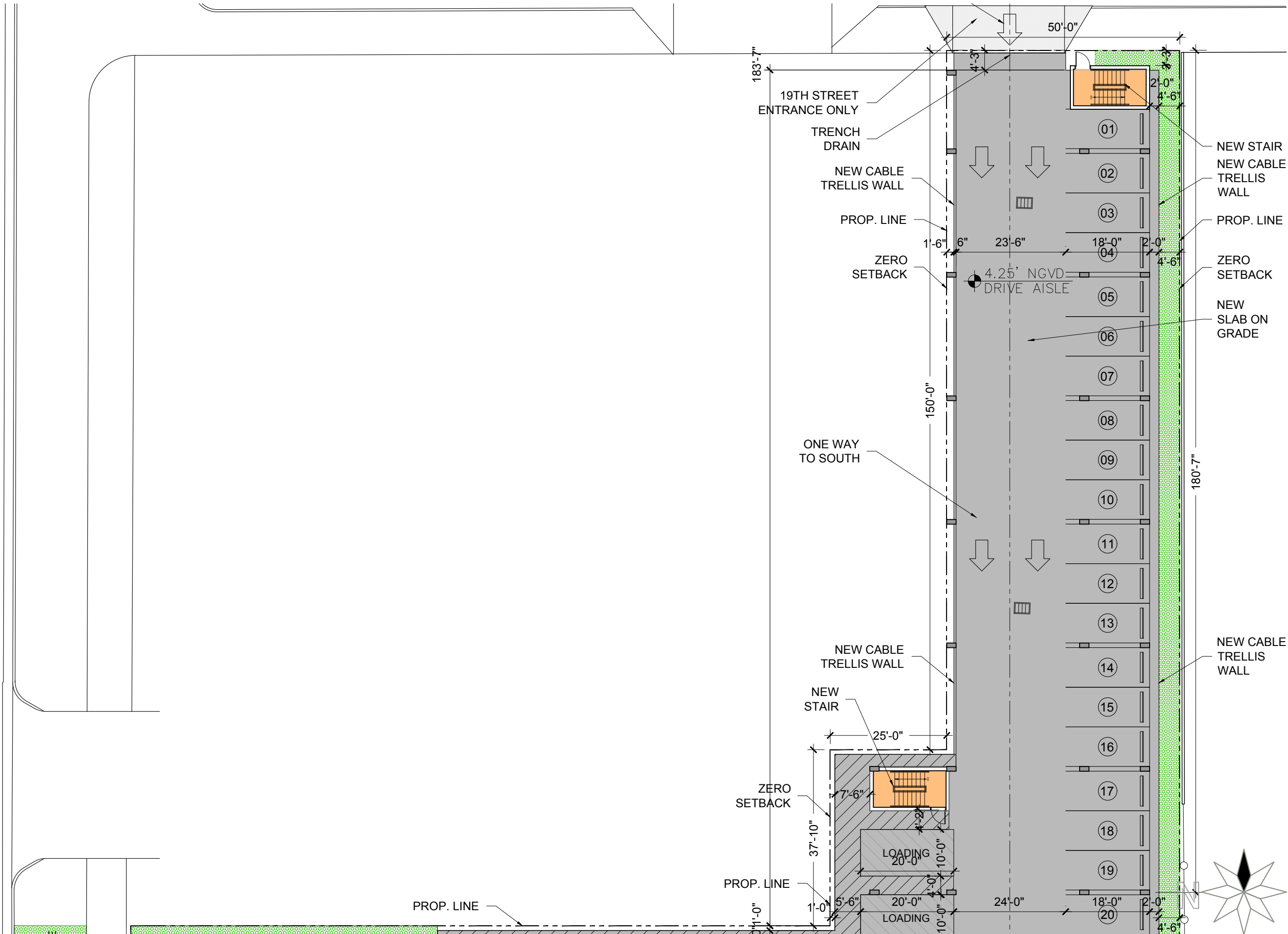
01 PROPOSED GROUND LEVEL PLAN
SCALE: 1" = 20'-0"



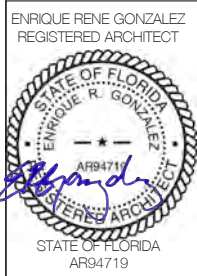
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01 PROPOSED GROUND LEVEL PLAN - NORTH
SCALE: 1" = 20'-0"

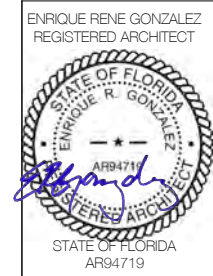


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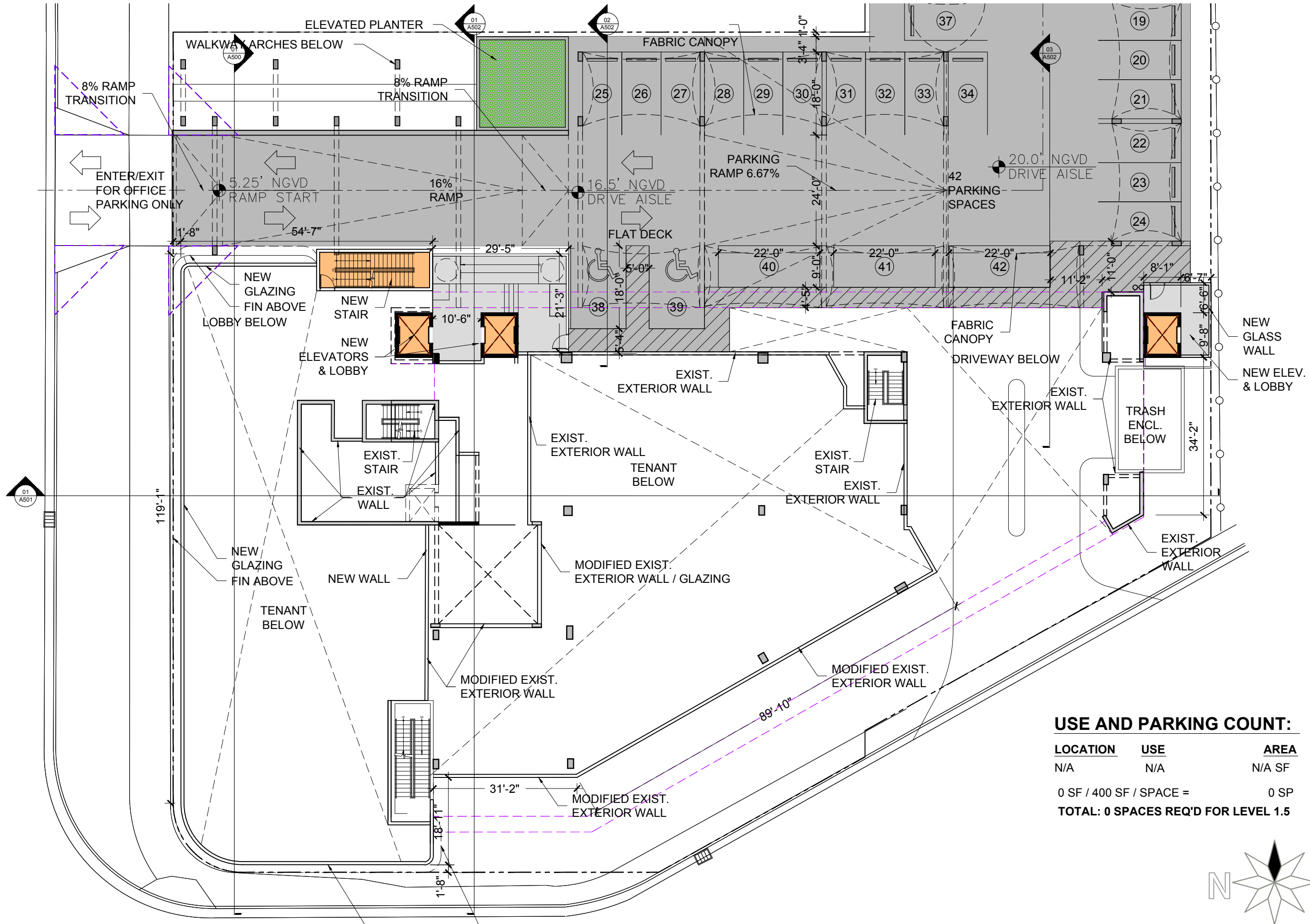
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FINAL SUB

A101

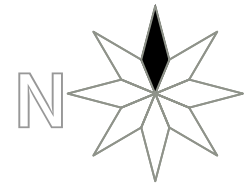


COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

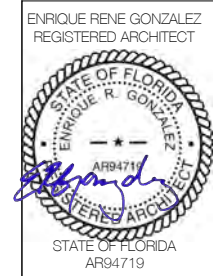


USE AND PARKING COUNT:

LOCATION	USE	AREA
N/A	N/A	N/A SF
0 SF / 400 SF / SPACE =		0 SP
TOTAL: 0 SPACES REQ'D FOR LEVEL 1.5		



01 PROPOSED LEVEL 1.5 PARKING PLAN
SCALE: 1" = 20'-0"

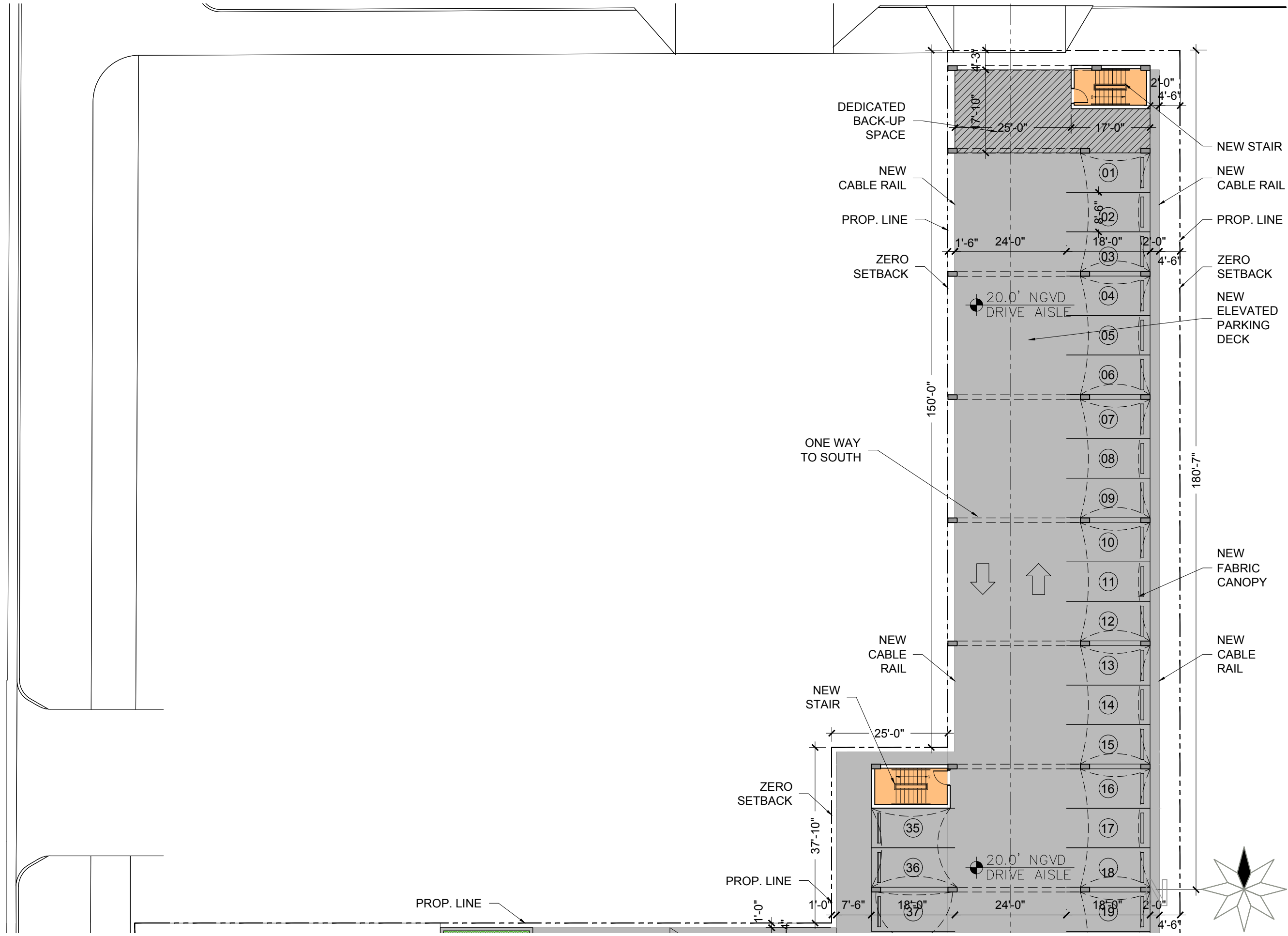


COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

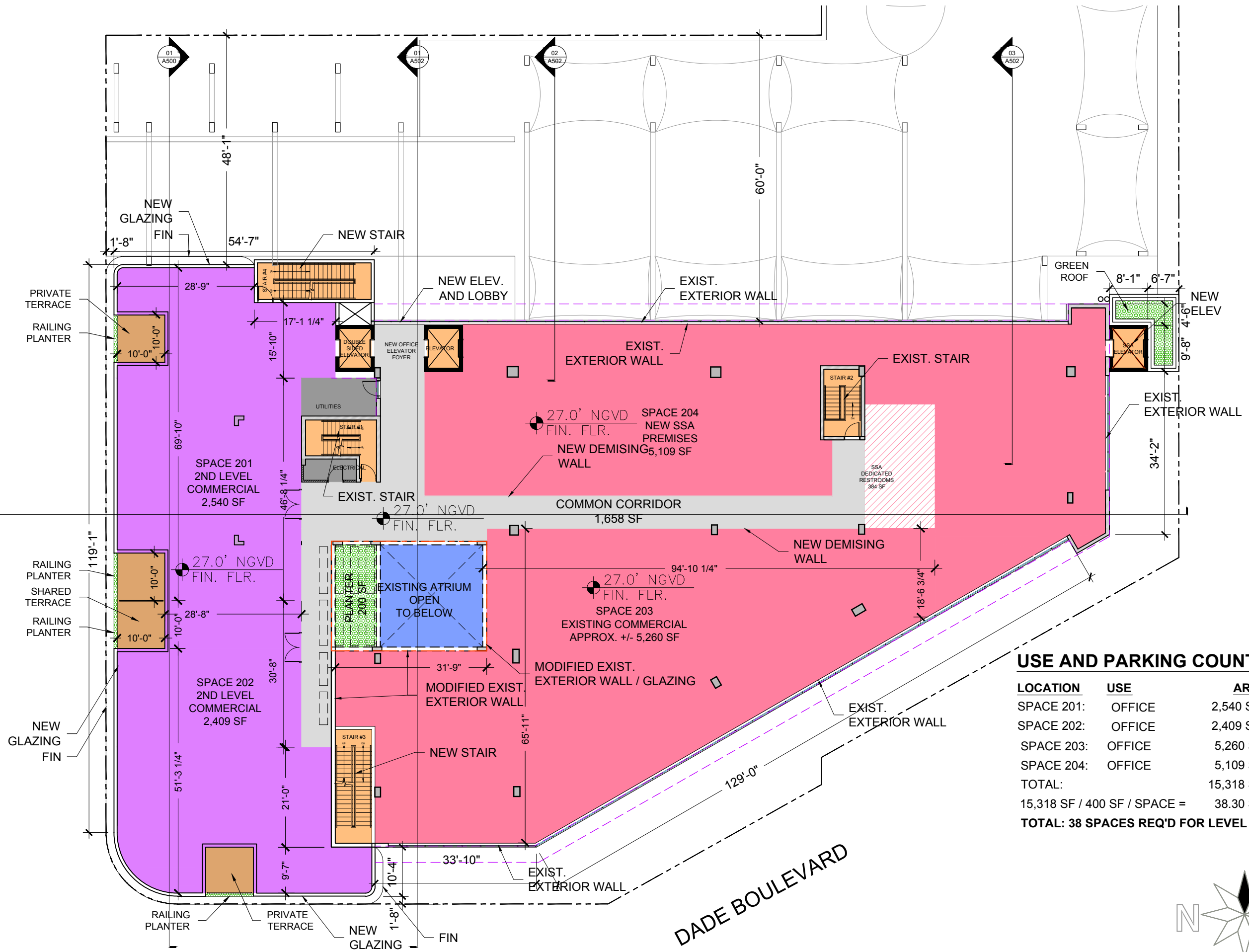
03-08-2021
FINAL SUB

A103



01 PROPOSED LEVEL 1.5 PARKING PLAN - NORTH
SCALE: 1" = 20'-0"

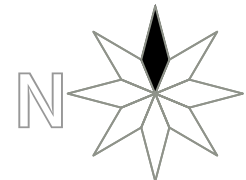
ALTON ROAD
NORTH BOUND



USE AND PARKING COUNT:

LOCATION	USE	AREA
SPACE 201:	OFFICE	2,540 SF
SPACE 202:	OFFICE	2,409 SF
SPACE 203:	OFFICE	5,260 SF
SPACE 204:	OFFICE	5,109 SF
TOTAL:		15,318 SF
15,318 SF / 400 SF / SPACE =		38.30 SP
TOTAL: 38 SPACES REQ'D FOR LEVEL 2		

01 PROPOSED SECOND LEVEL PLAN
SCALE: 1" = 20'-0"



**COMMERCIAL ADDITION
TO EXISTING BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

GREEN ROOF:

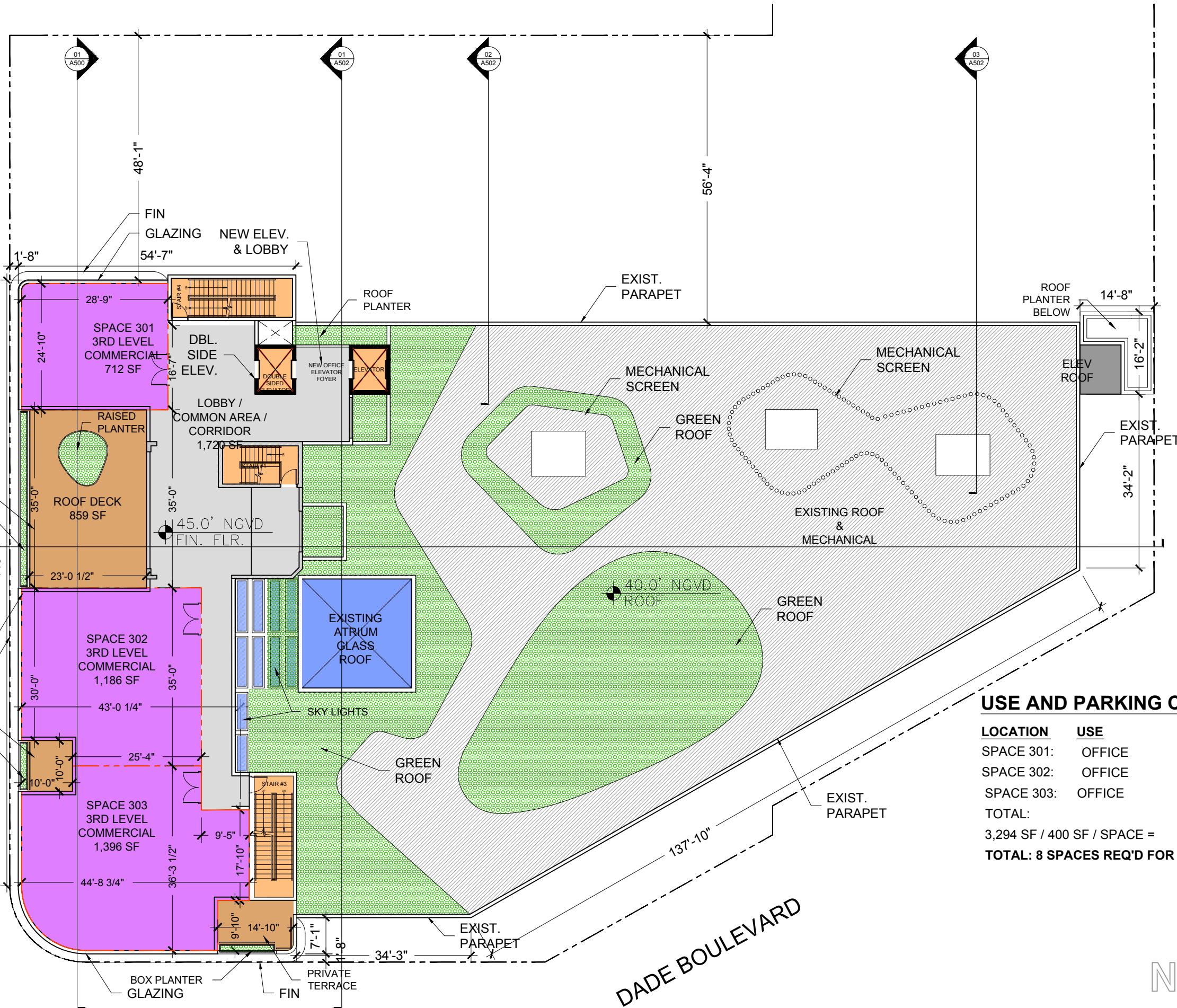
50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

ACCESSIBLE ROOF DECK:

ACCESSIBLE ROOF DECK AREA CANNOT EXCEED 50% OF THE AREA OF THE FLOOR BELOW:

- ACCESSIBLE ROOF DECK: 859 SF
- ACCESSIBLE SHAR. TERR.: 100 SF
- ACCESSIBLE PRIV. TERR.: 146 SF
- TOTAL: 1,105 SF

AREA OF FLOOR BELOW: 5,746 SF
 1,105 SF / 5,746 SF = .192 = 19%

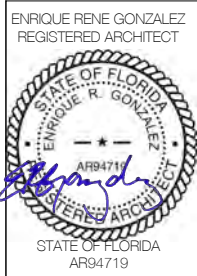


USE AND PARKING COUNT:

LOCATION	USE	AREA
SPACE 301:	OFFICE	712 SF
SPACE 302:	OFFICE	1,186 SF
SPACE 303:	OFFICE	1,136 SF
TOTAL:		3,294 SF
3,294 SF / 400 SF / SPACE =		8.24 SP
TOTAL: 8 SPACES REQ'D FOR LEVEL 3		

01 PROPOSED THIRD LEVEL PLAN
 SCALE: 1" = 20'-0"

1035 N. MIAMI AVENUE
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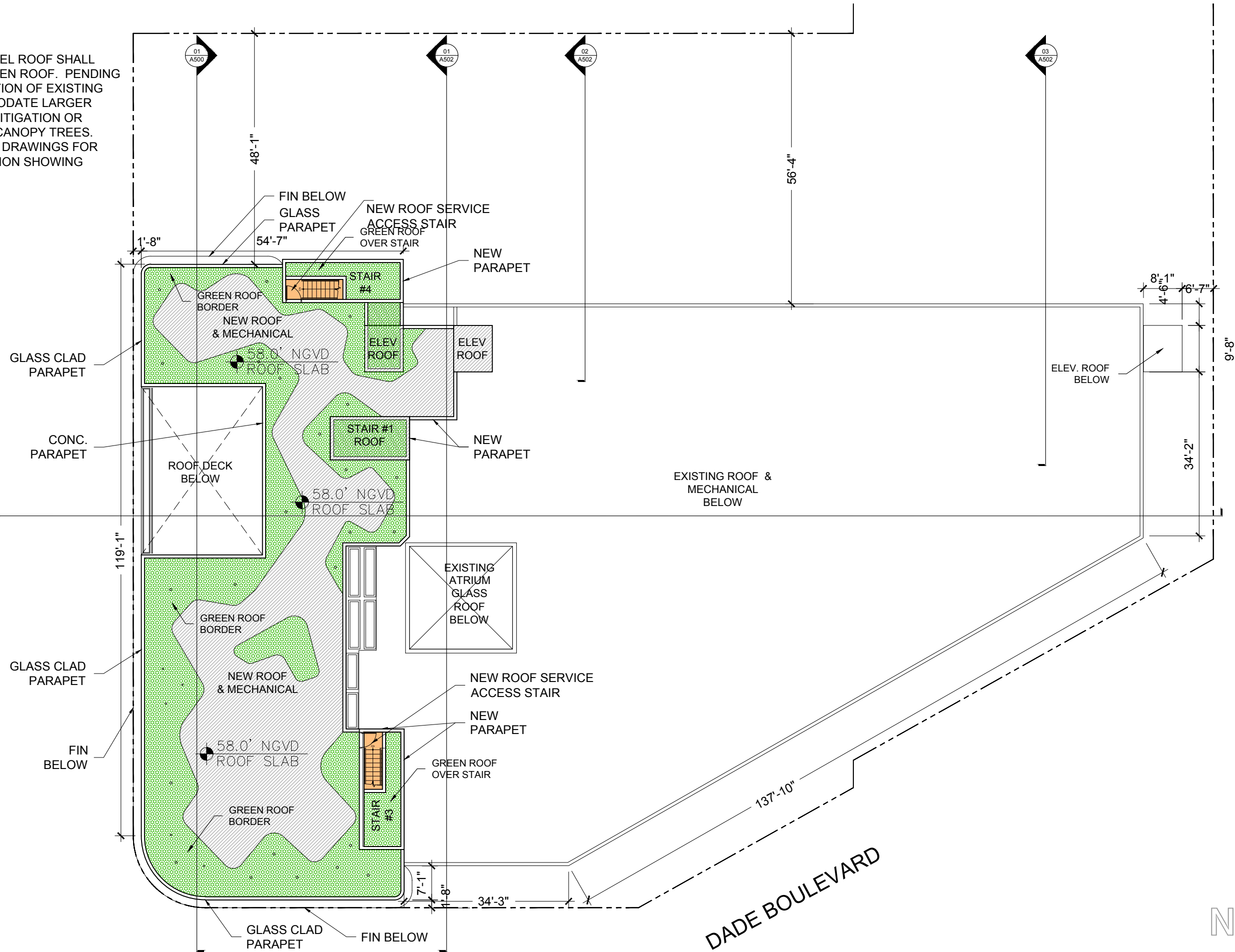
COMMERCIAL ADDITION
 TO EXISTING BUILDING
 1801 ALTON ROAD
 MIAMI BEACH, FLORIDA 33139

02-16-2021
 FIRST SUB
 03-08-2021
 FINAL SUB

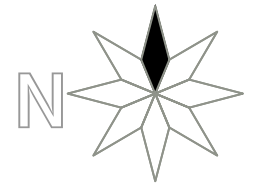
GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

ALTON ROAD
NORTH BOUND



DADE BOULEVARD



01 PROPOSED NEW ROOF PLAN
SCALE: 1" = 20'-0"

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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

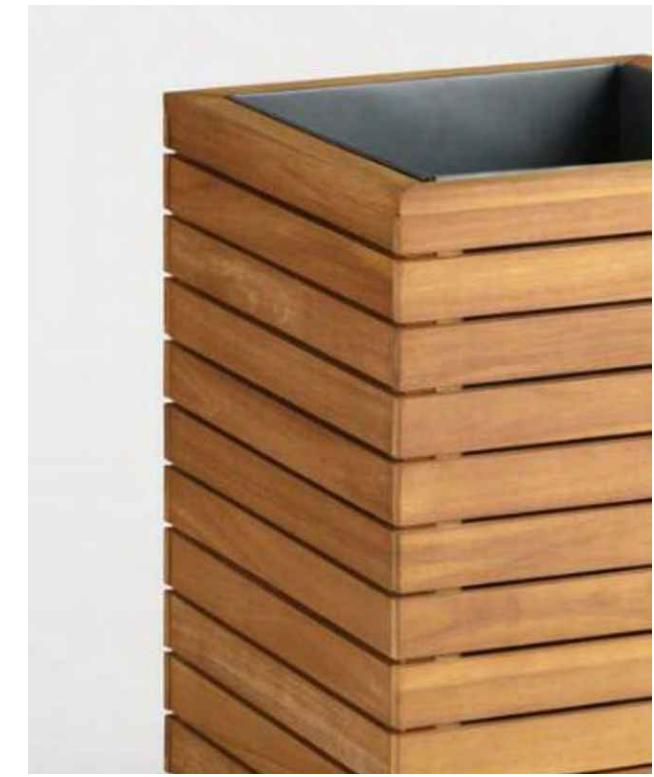


- 01 CAST IN PLACE ARCHITECTURAL CONCRETE
- 02 LOW E CLEAR GLAZING WITH LIGHT U/V TINT
- 03 FLEX FACADE PERFORATED SCREEN
- 04 TEAK WOOD BOX PLANTER
- 05 ARCHITECTURAL FIN CHROME FINISH

- 03 FLEX FACADE PERFORATED SCREEN
- 02 LOW E CLEAR GLAZING WITH LIGHT U/V TINT
- 01 BASE - KNEEWALL CAST IN PLACE ARCHITECTURAL CONCRETE



05 ARCHITECTURAL FIN CURTAIN WALL COVER CAP/FIN. CHROME FINISH



04 TEAK WOOD BOX PLANTER

06 RENDERING



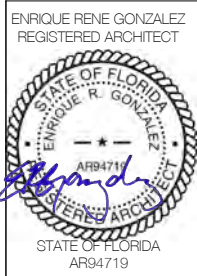
03 FLEX FACADE PERFORATED SCREEN BY STRUCTURFLEX



02 LOW E CLEAR INSULATED GLAZING WITH LIGHT U/V TINT



01 CAST IN PLACE ARCHITECTURAL CONCRETE



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

EXHIBIT A

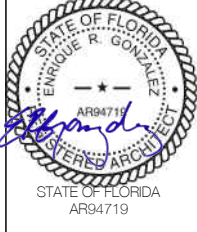


SLIDE 27

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ENRIQUE RENE GONZALEZ
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COMMERCIAL ADDITION
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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

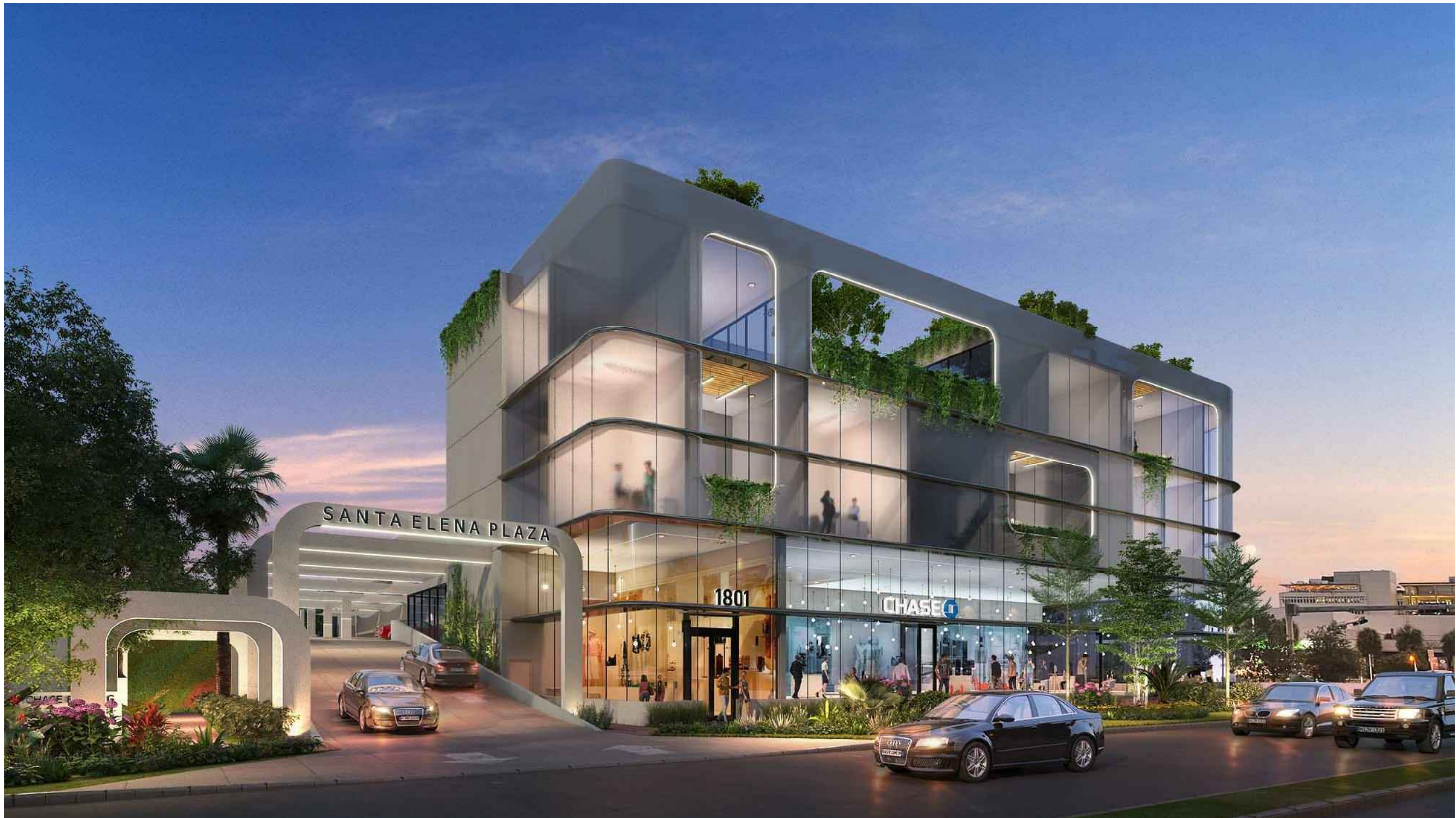
03-08-2021
FINAL SUB

05-04-2021
EXH. A

A033
REVISED
EXH. A

UPDATED
01 PHOTO MONTAGE RENDER AT ALTON ROAD AND DADE BLVD (LOOKING NORTH EAST)

EXHIBIT A



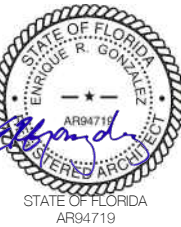
01 UPDATED RENDERING AT ALTON ROAD (LOOKING SOUTH EAST)

SLIDE 28

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ENRIQUE RENE GONZALEZ
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COMMERCIAL ADDITION
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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

05-04-2021
EXH. A

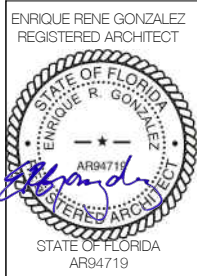
A034
REVISED
EXH. A

EXHIBIT A



SLIDE 29

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COMMERCIAL ADDITION
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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

05-04-2021
EXH. A

A035
REVISED
EXH. A

01 UPDATED RENDERING AT DADE BOULEVARD (LOOKING NORTHWEST)

EXHIBIT A

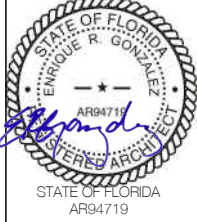


SLIDE 30

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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

05-04-2021
EXH. A

A036
REVISED
EXH. A

01 UPDATED RENDERING AT THIRD FLOOR TERRACE (LOOKING NORTHEAST)

EXHIBIT A



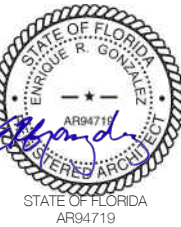
01 UPDATED RENDERING AT THIRD FLOOR TERRACE (LOOKING SOUTH)

SLIDE 31

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ENRIQUE RENE GONZALEZ
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1801 ALTON ROAD
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02-16-2021
FIRST SUB

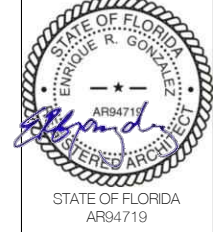
03-08-2021
FINAL SUB

05-04-2021
EXH. A

A037
REVISED
EXH. A



ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



STATE OF FLORIDA
AR94719

COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

05-04-2021
EXH. B

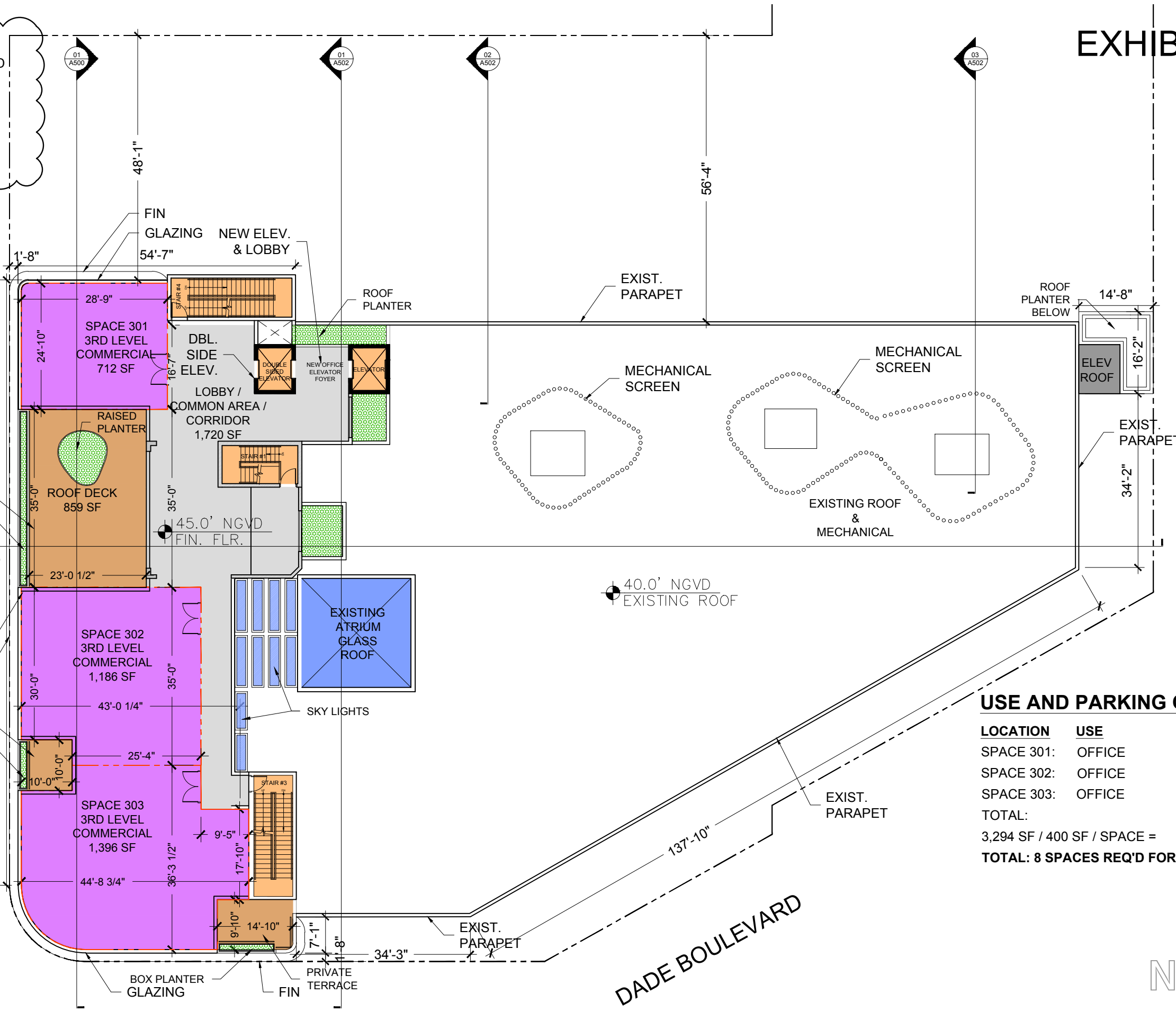
A105
REVISED
EXH. B

EXHIBIT B

GREEN ROOF:
THE GREEN ROOF SHALL NOT BE LOCATED ON THE EXISTING BUILDING ROOF DUE TO SAFETY AND STRUCTURAL LIMITATIONS. ANY PLANTING MATERIAL IS LIMITED TO THE AREA ADJACENT TO THE NEW ADDITION STRUCTURE AND LIMITED TO GRASS/SOD AND LIGHT WEIGHT PLANTING MATERIAL

ACCESSIBLE ROOF DECK:
ACCESSIBLE ROOF DECK AREA CANNOT EXCEED 50% OF THE AREA OF THE FLOOR BELOW:
ACCESSIBLE ROOF DECK: 859 SF
ACCESSIBLE SHAR. TERR.: 100 SF
ACCESSIBLE PRIV. TERR.: 146 SF
TOTAL: 1,105 SF

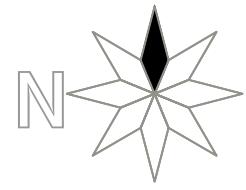
AREA OF FLOOR BELOW: 5,746 SF
1,105 SF / 5,746 SF = .192 = 19%



USE AND PARKING COUNT:

LOCATION	USE	AREA
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SPACE 302:	OFFICE	1,186 SF
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TOTAL:		3,294 SF
3,294 SF / 400 SF / SPACE =		8.24 SP
TOTAL: 8 SPACES REQ'D FOR LEVEL 3		

01 PROPOSED THIRD LEVEL PLAN
SCALE: 1" = 20'-0"



ALTON ROAD
NORTH BOUND

DADE BOULEVARD

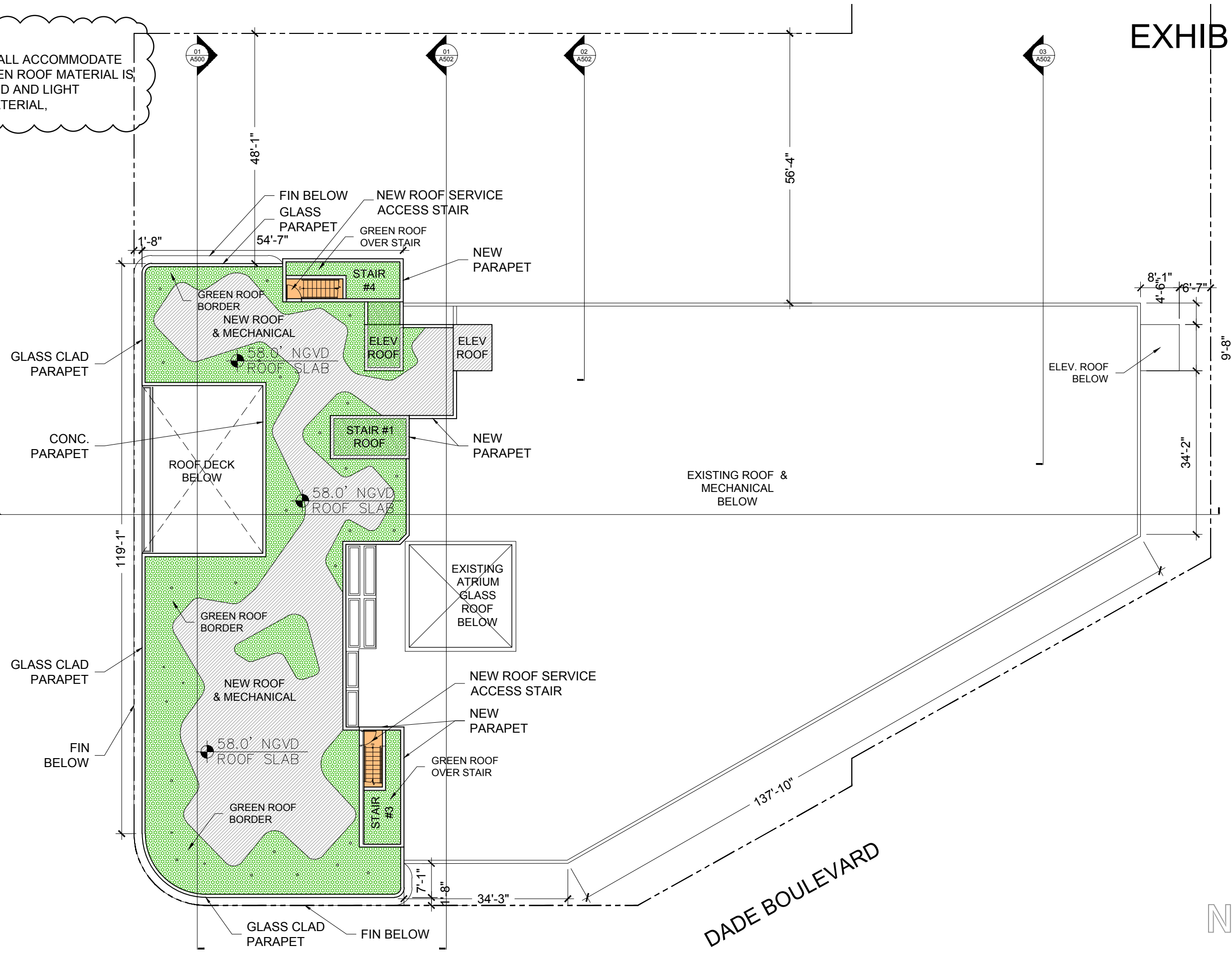
GREEN ROOF:

50% OF THE ROOF SHALL ACCOMMODATE A GREEN ROOF. GREEN ROOF MATERIAL IS LIMITED TO GRASS SOD AND LIGHT WEIGHT PLANTING MATERIAL,

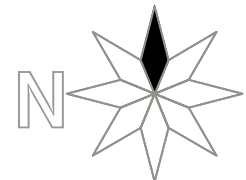
EXHIBIT B

ALTON ROAD
NORTH BOUND

DADE BOULEVARD



01 PROPOSED NEW ROOF PLAN
SCALE: 1" = 20'-0"



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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



STATE OF FLORIDA
AR94719

COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

05-04-2021
EXH. B

A106
REVISED
EXH. B

COMMERCIAL ADDITION TO AN EXISTING COMMERCIAL BUILDING 1801 ALTON ROAD MIAMI BEACH, 33139

FINAL SUBMITTAL
DRB20-0553 1801 ALTON ROAD MARCH 08, 2021

INDEX

ARCHITECTURAL

- A000 COVER, SCOPE OF WORK AND INDEX
- A001 ZONING DATA SHEET
- A002 AERIAL WITH 1/2 MILE RADIUS

- A003 SURVEY N.T.S.
- A004 EXISTING PLANS F.A.R. DIAGRAMS
- A005 PROPOSED PLANS F.A.R. DIAGRAMS, GROUND AND PARKING LEVEL
- A006 PROPOSED PLANS F.A.R. DIAGRAMS, LEVEL 2 AND LEVEL 3
- A008 EXISTING WEST AND SOUTH ELEVATION AND DEMOLITION NOTES
- A009 EXISTING EAST AND NORTH ELEVATION AND DEMOLITION NOTES
- A010 PROPOSED SITE PLAN GROUND FLOOR AND PARKING LEVEL

- A011 PROPOSED SITE PLAN LEVEL 2 AND LEVEL 3
- A012 PROPOSED SITE PLAN ROOF PLAN
- A013 PHOTO KEY PLAN AERIAL
- A014 SITE PHOTOS 01 - 04
- A015 SITE PHOTOS 05 - 08
- A016 SITE PHOTOS 09 - 12
- A017 SITE PHOTOS 13 - 16
- A018 CONTEXT PHOTOS 17 - 20
- A019 CONTEXT PHOTOS 21 - 24
- A020 NIGHT RENDERING AT ALTON ROAD AND DADE BLVD (LOOKING NORTH EAST)

- A022 NIGHT RENDERING AT ALTON ROAD (LOOKING EAST)
- A023 NIGHT RENDERING AT ALTON ROAD (LOOKING SOUTH EAST)

- A024 STREET VIEW RENDERING AT ALTON ROAD (LOOKING NORTH)
- A026 NIGHT RENDERING AT DADE BLVD (LOOKING NORTH WEST)
- A028 DUSK RENDERING OF PARKING ENTRANCE FROM 19TH STREET (LOOKING SOUTH WEST)
- A029 DUSK RENDERING OF PARKING ENTRANCE FROM 19TH STREET (LOOKING SOUTH)
- A030 LANDSCAPE 2D ELEVATIONS
- A031 WAIVER DIAGRAM ELEVATIONS

- A032 OPERATIONAL PLAN

- A102 PROPOSED PLAN / PARKING LEVEL SOUTH
- A103 PROPOSED PLAN / PARKING LEVEL NORTH

- A104 PROPOSED PLAN / LEVEL 3
- A106 PROPOSED PLAN / ROOF LEVEL
- A400 PROPOSED ELEVATIONS / ALTON ROAD WEST ELEVATION
- A401 PROPOSED ELEVATIONS / DADE BLVD SOUTH ELEVATION
- A402 PROPOSED ELEVATIONS / EAST ELEVATION
- A403 PROPOSED ELEVATIONS / NORTH ELEVATION / SECTION

- A500 PROPOSED NORTH-SOUTH SECTION
- A501 PROPOSED EAST-WEST SECTION
- A502 PROPOSED PARKING SECTIONS
- A503 PROPOSED DETAIL SECTION

LANDSCAPE ARCHITECTURE

- LE-1.0 DISPOSITION PLAN
- LP-1.0 GROUND LEVEL LANDSCAPE PLAN
- LP-2.0 LEVEL 1.5 LANDSCAPE PLAN
- LP-3.0 LEVEL 2 LANDSCAPE PLAN
- LP-4.0 LEVEL 3 LANDSCAPE PLAN
- LP-5.0 LEVEL 4 ROOF LANDSCAPE PLAN
- LP-6.0 PROPOSED PLANTING IMAGES



DIGITAL SIGNATURE:

SCOPE OF WORK

1. DEMOLISH EXISTING PARKING AND AREAS OF EXISTING BUILDING
2. ADD AN ADDITIONAL THREE STORY OFFICE AND COMMERCIAL BUILDING TO THE WEST OF THE EXISTING BUILDING
3. ADD A TWO LEVEL PARKING FACILITY
4. REMODEL THE EXISTING BUILDING TENANT AND UTILITY SPACES
5. SITE IMPROVEMENTS TO ACCOMMODATE CITY OF MIAMI BEACH AND F.D.O.T.

SLIDE 34

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COMMERCIAL ADDITION
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02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

A000



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1801 ALTON ROAD, MIAMI BEACH FLORIDA 33139		
2	Board and file numbers :	DRB20-0553		
3	Folio number(s):	02-3233-012-0090		
4	Year constructed:	1982	Zoning District / Overlay:	CD-1 LOW INTENSITY INTENSITY DISTRICT
5	Based Flood Elevation:	AE8 8.0' N.G.V.D.	Grade value in NGVD:	4.3' NGVD
6	Lot Area:	46,845 SF (SURVEY)	Lot Depth:	IRREG. 296'-10"
7	Lot width:	IRREG. 225'-0"		
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing use:	COMMERCIAL / OFFICE	Proposed use:	COMMERCIAL / OFFICE

	Maximum	Existing	Proposed	Deficiencies
10	Height:	40'-0"	38'-0"	45'-0" W/ DESIGN WAIVER 5'-0" DESIGN WAIVER
11	Number of Stories:	N/A	TWO (2)	THREE (3)
12	FAR:	46,845	22,071	43,792
13	Gross square footage:	N/A	25,030	82,492 W/PARKING
14	Square Footage by use:	N/A	18,951	29,592
15	Number of units Residential:	N/A		
16	Number of units Hotel:	N/A		
17	Number of seats:	N/A		
18	Occupancy load:	N/A		
19	Density (per Comprehensive Plan):	N/A		

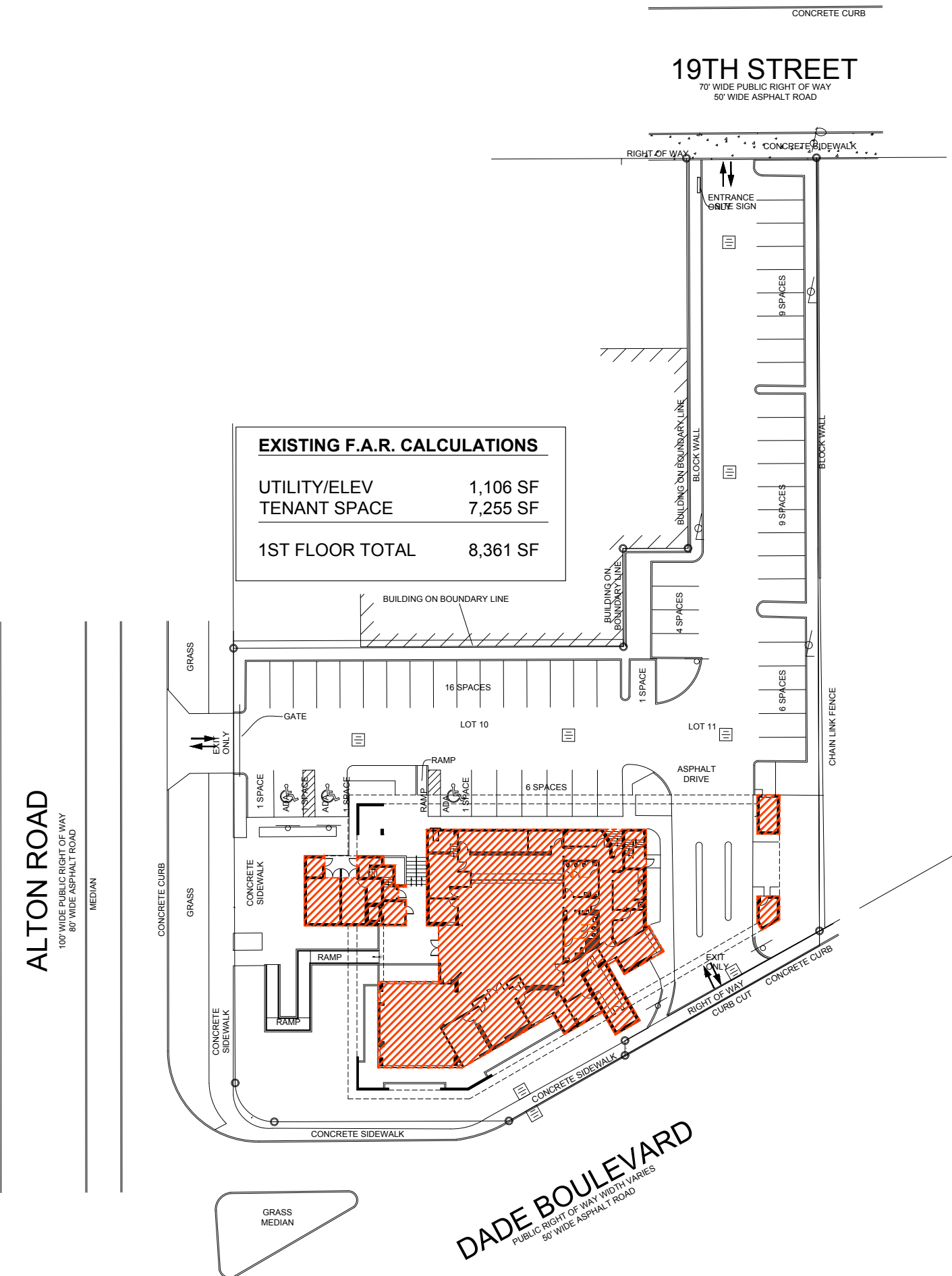
	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
20	Front Setback:	0'-0"	26'-10"	1'-8"	
21	Side Setback:	0'-0"	15'-3"	0'-0"	
22	Side Setback:	0'-0"	57'-0"	0'-0"	
23	Side Setback facing street:	0'-0"	8'-8"	1'-8"	
24	Rear Setback:	0'-0"	N/A	0'-0"	
At Grade Parking:					
25	Front Setback:	5'-0"	7'-0"	6'-6"	
26	Side Setback:	5'-0"	7'-0"	6'-6"	
27	Side Setback:	5'-0"			
28	Side Setback facing street:	5'-0"			
29	Rear Setback:				
Pedestal:					
30	Front Setback:	N/A			
31	Side Setback:	N/A			
32	Side Setback:	N/A			
33	Side Setback facing street:	N/A			
34	Rear Setback:	N/A			
Tower:					
35	Front Setback:	N/A			
36	Side Setback:	N/A			
37	Side Setback:	N/A			
38	Side Setback facing street:	N/A			
39	Rear Setback:	N/A			

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	#1			
41	Total number of parking spaces:	83	55	85	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	83	55	85	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	55 SURFACE LOT	43 GROUND LEVEL 42 ELEVATED LEVEL	
44	Parking Space Dimensions:	8'-6" X 18'-0"	8'-6" X 18'-0"	8'-6" X 18'-0"	
45	Parking Space configuration (45°, 60°, 90°, Parallel):	90 DEGREE	90 DEGREE	90 DEGREE	
46	ADA Spaces:	4	3	5	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	22'-0"	22'-0"	23'-6"	
49	Valet drop off and pick up:	N/A			
50	Loading spaces:	1	0	2	1
51	Trash collection area:	1	0	1	
52	Short-term Bicycle Parking, location and Number of racks:	1	0	1	
53	Long-Term Bicycle Parking, location and Number of racks:	0	0	0	

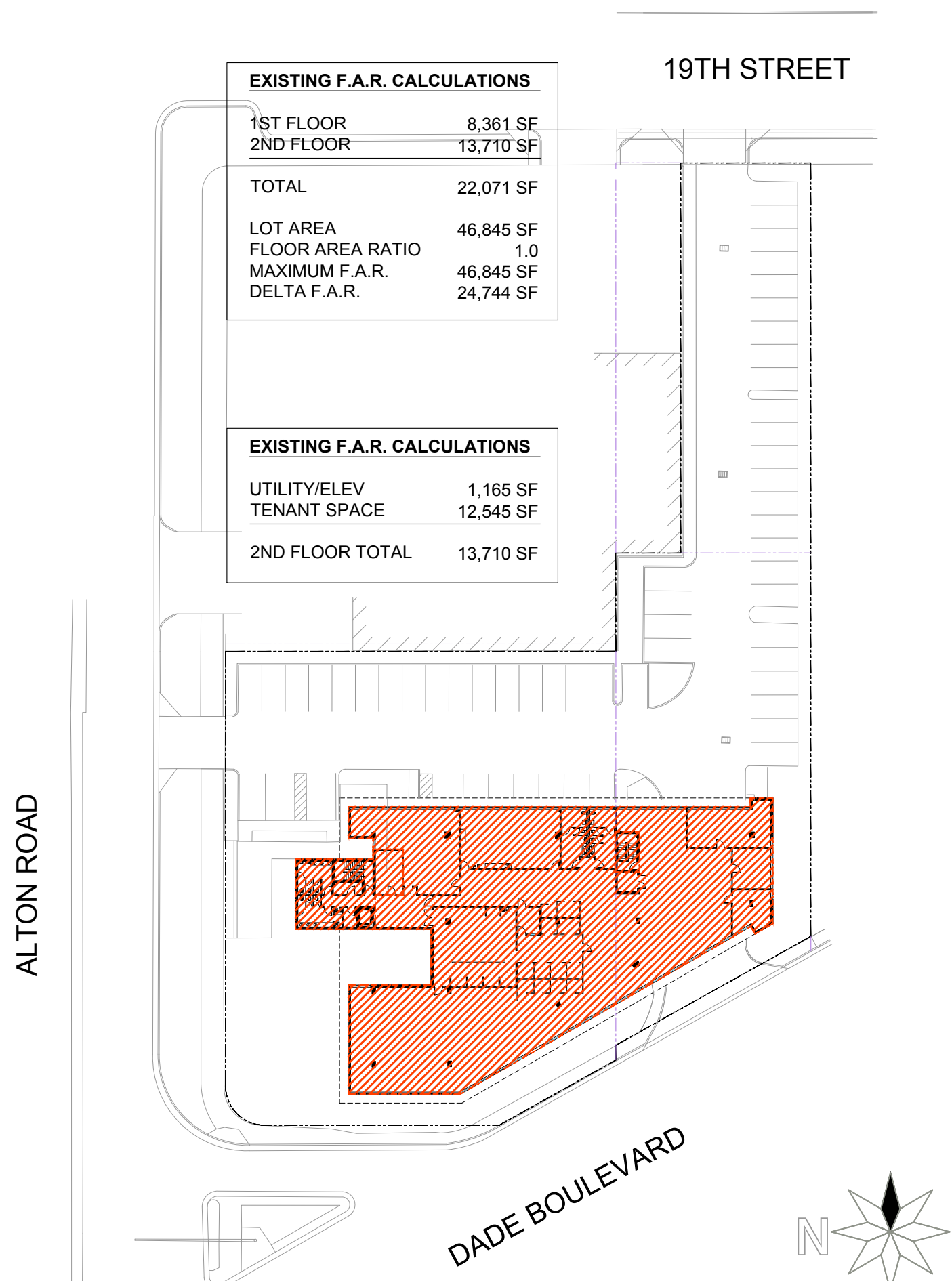
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	N/A	N/A	
55	Number of seats located outside on private property:	N/A	N/A	N/A	
56	Number of seats inside:	N/A	N/A	N/A	
57	Total number of seats:	N/A	N/A	N/A	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
59	Total occupant content:	N/A	N/A	N/A	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	

61	Proposed hours of operation:	N/A			
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	N/A			
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	N/A			
64	Is this a contributing building?:			NO	
65	Located within a Local Historic District?:			NO	

Notes:
Please write N/A if section is Not Applicable
Any additional data must be presented in the format above



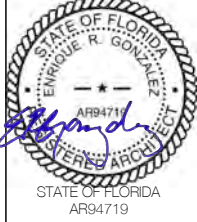
01 EXISTING GROUND LEVEL F.A.R. DIAGRAM
SCALE: 1" = 50'-0"



02 EXISTING 2ND LEVEL F.A.R. DIAGRAM
SCALE: 1" = 50'-0"



ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT

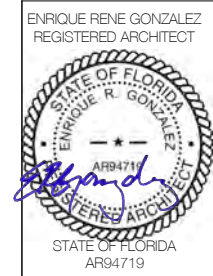


COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

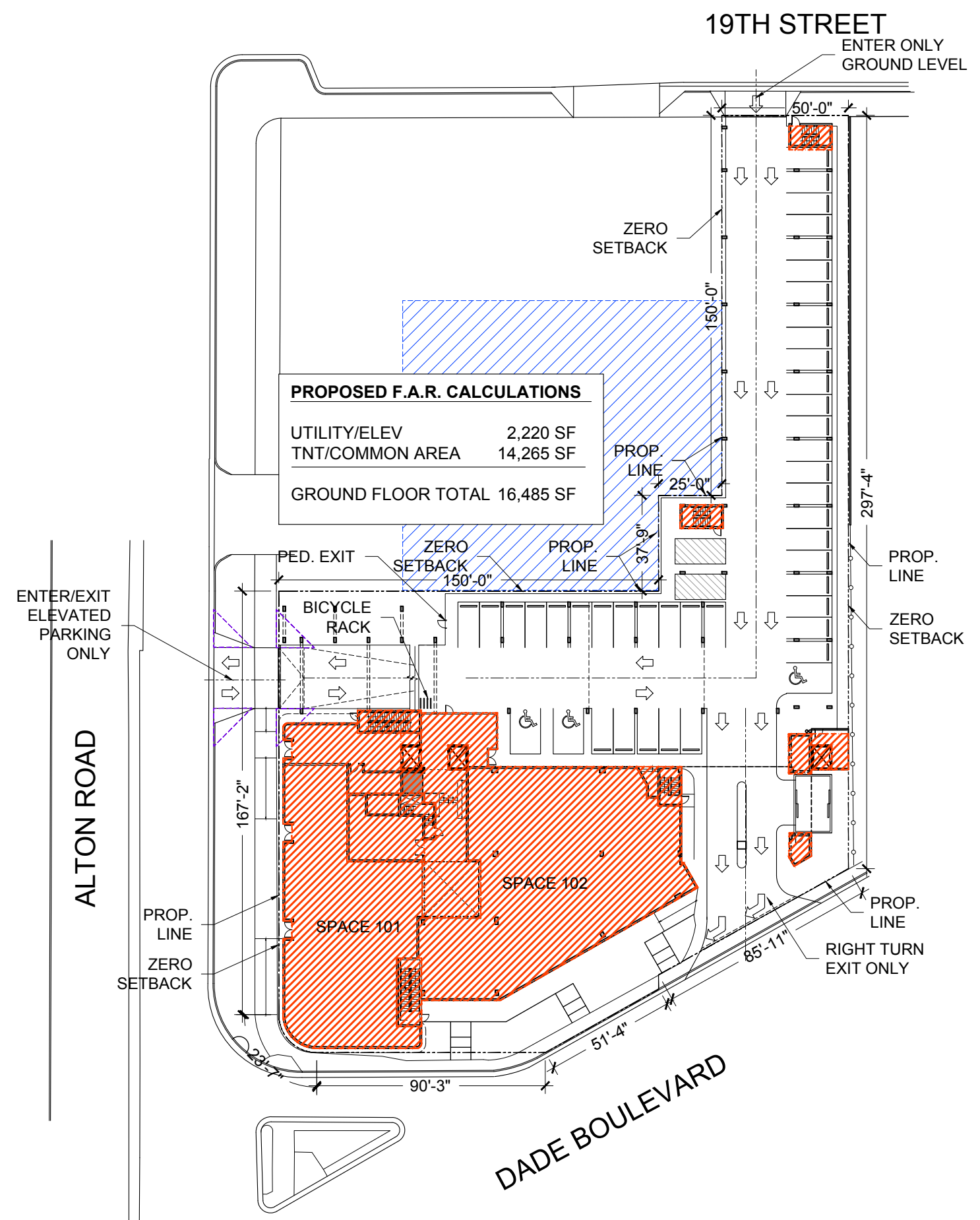
A004



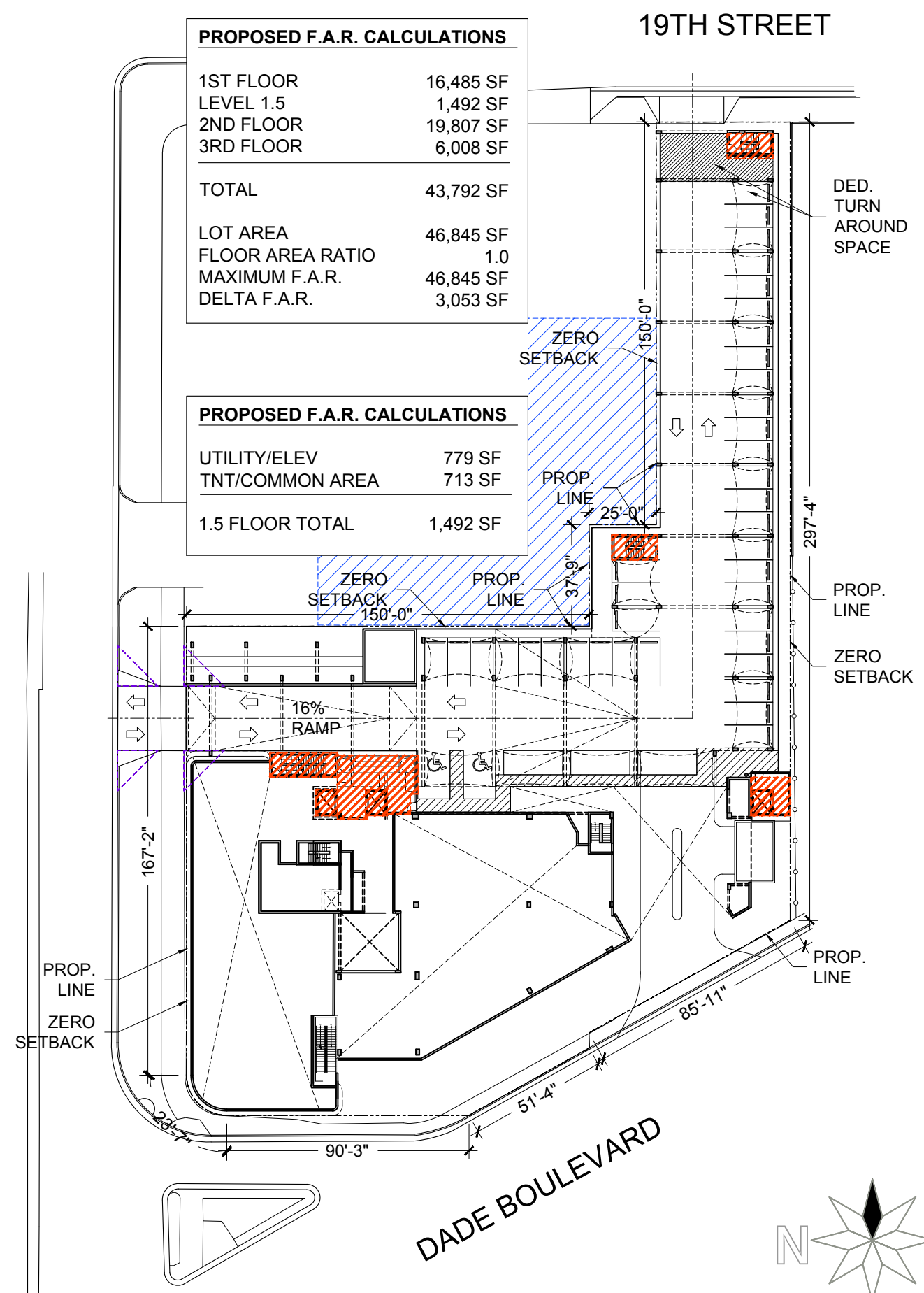
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB
03-08-2021
FINAL SUB

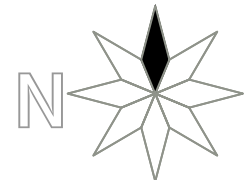
A005

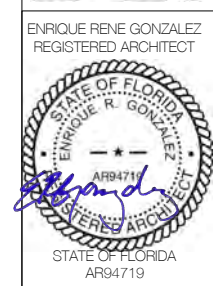


01 PROPOSED GROUND LEVEL SITE PLAN F.A.R.
SCALE: 1" = 50'-0"



02 PROPOSED LEVEL 1.5 PARKING SITE PLAN F.A.R.
SCALE: 1" = 50'-0"





COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

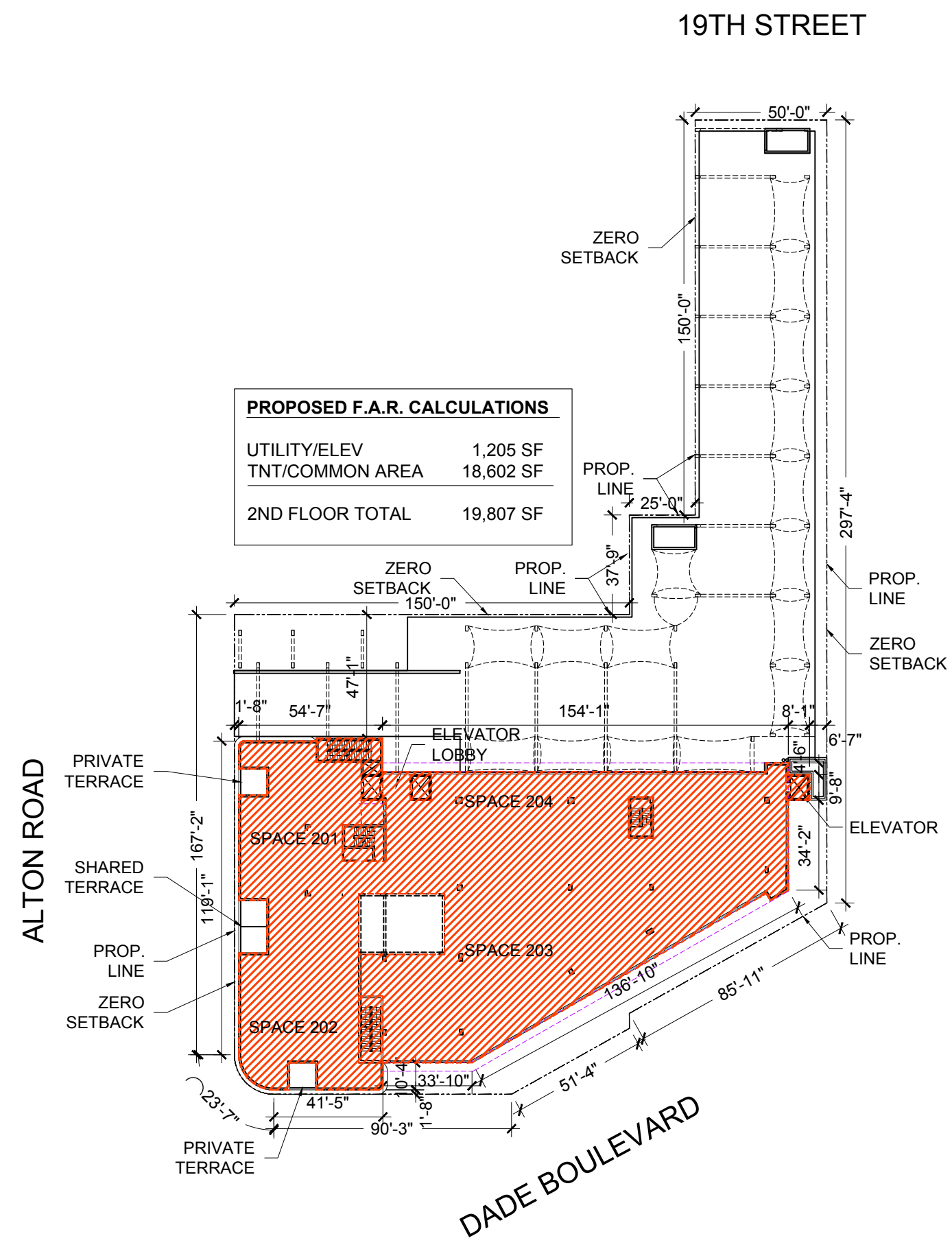
A006

19TH STREET

PROPOSED F.A.R. CALCULATIONS	
1ST FLOOR	16,485 SF
LEVEL 1.5	1,492 SF
2ND FLOOR	19,807 SF
3RD FLOOR	6,008 SF
TOTAL	43,792 SF
LOT AREA	46,845 SF
FLOOR AREA RATIO	1.0
MAXIMUM F.A.R.	46,845 SF
DELTA F.A.R.	3,053 SF

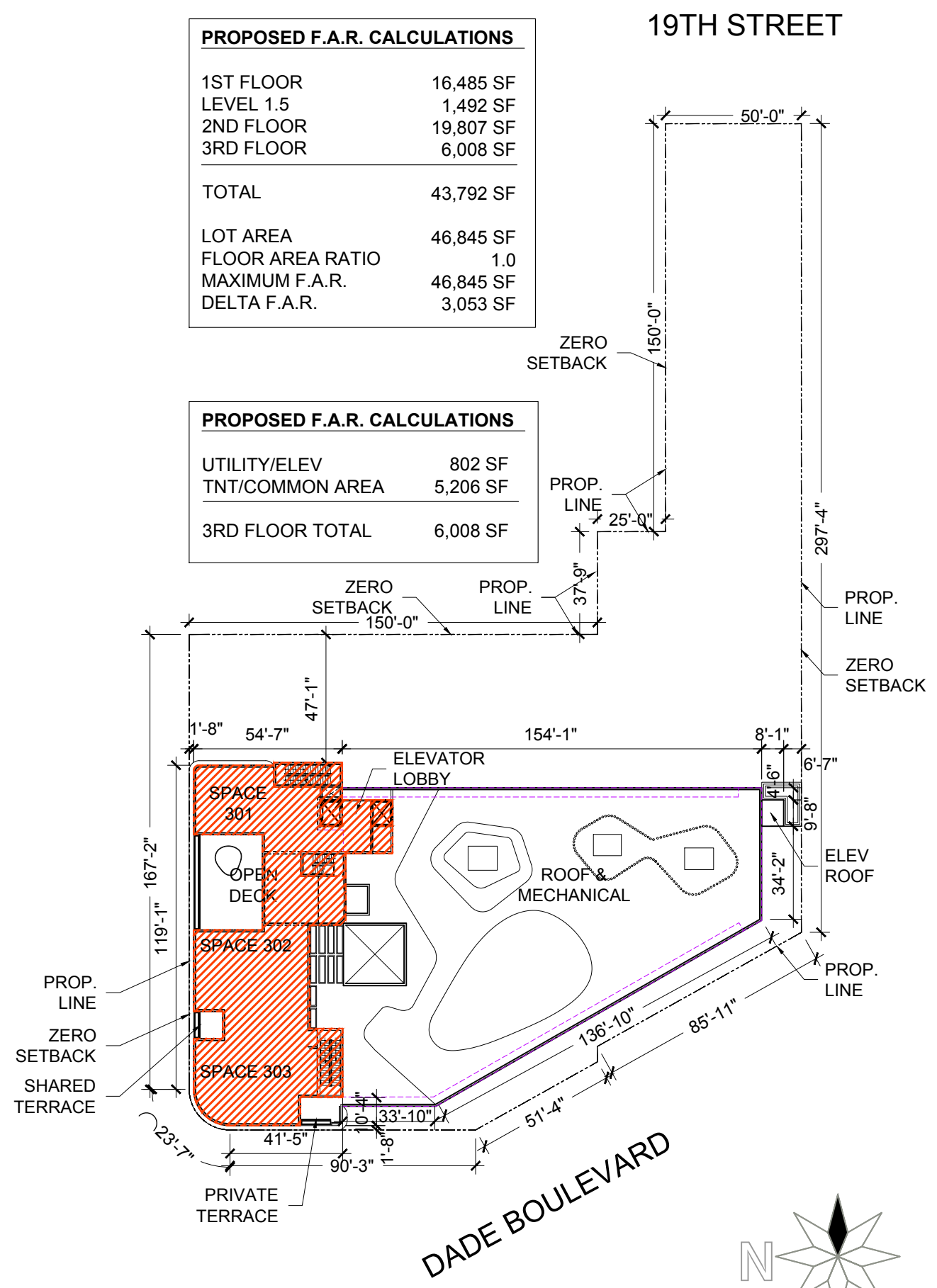
19TH STREET

PROPOSED F.A.R. CALCULATIONS	
UTILITY/ELEV	802 SF
TNT/Common Area	5,206 SF
3RD FLOOR TOTAL	6,008 SF



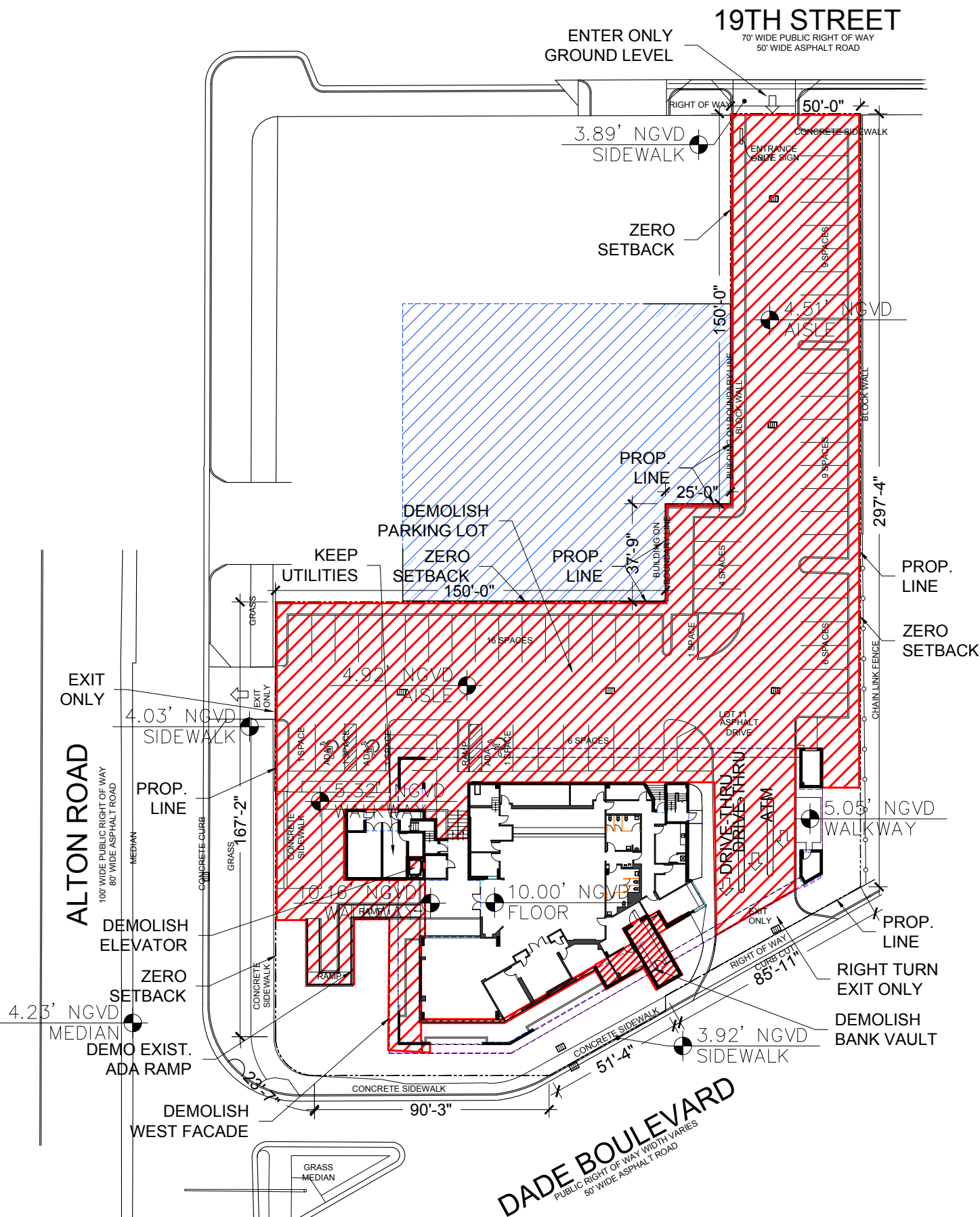
01 PROPOSED SECOND LEVEL SITE PLAN F.A.R.
SCALE: 1" = 50'-0"

ALTON ROAD

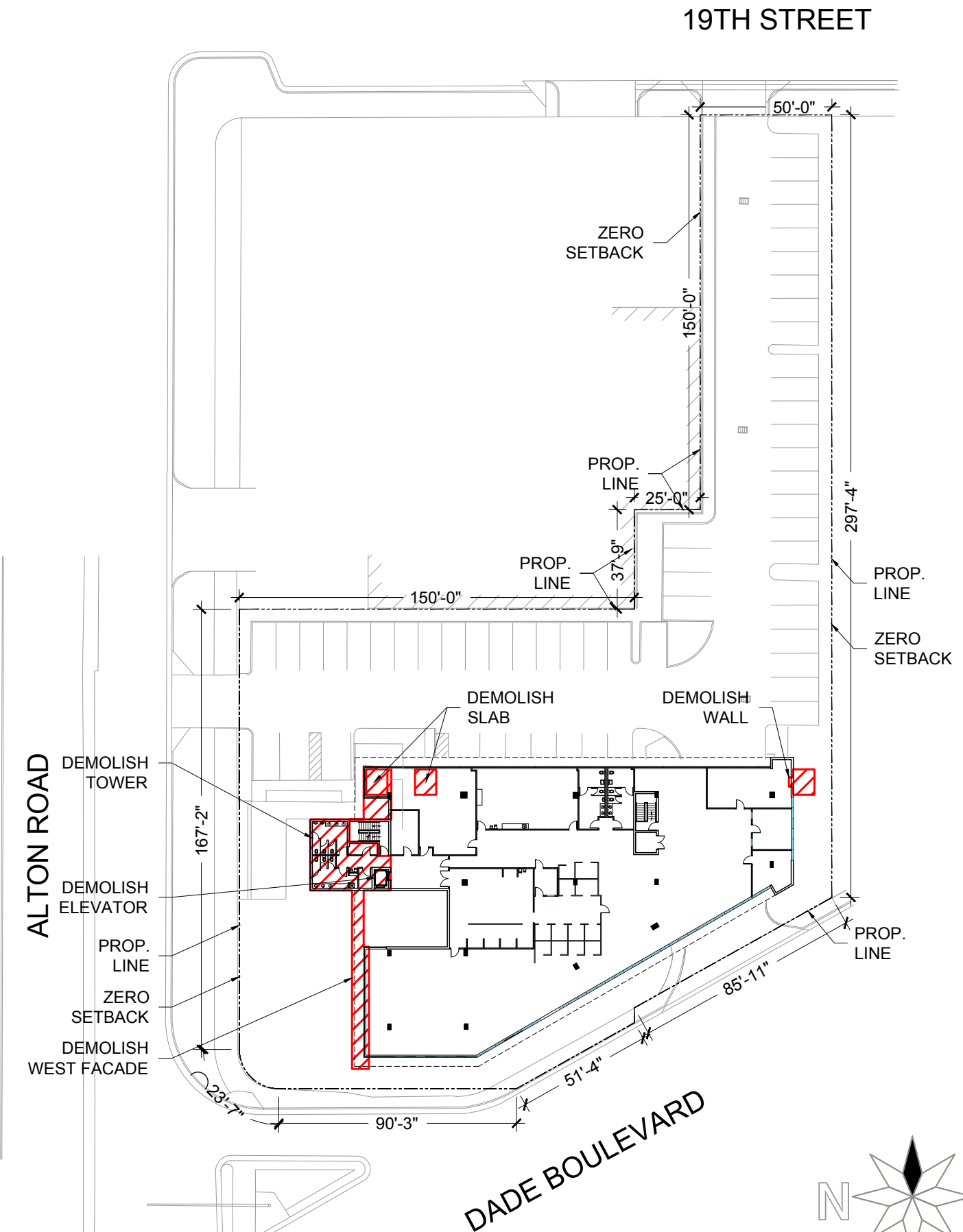


02 PROPOSED THIRD LEVEL SITE PLAN F.A.R.
SCALE: 1" = 50'-0"

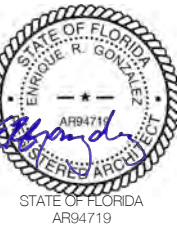


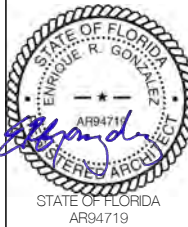


01 EXISTING GROUND LEVEL SITE PLAN DEMO
SCALE: 1" = 50'-0"



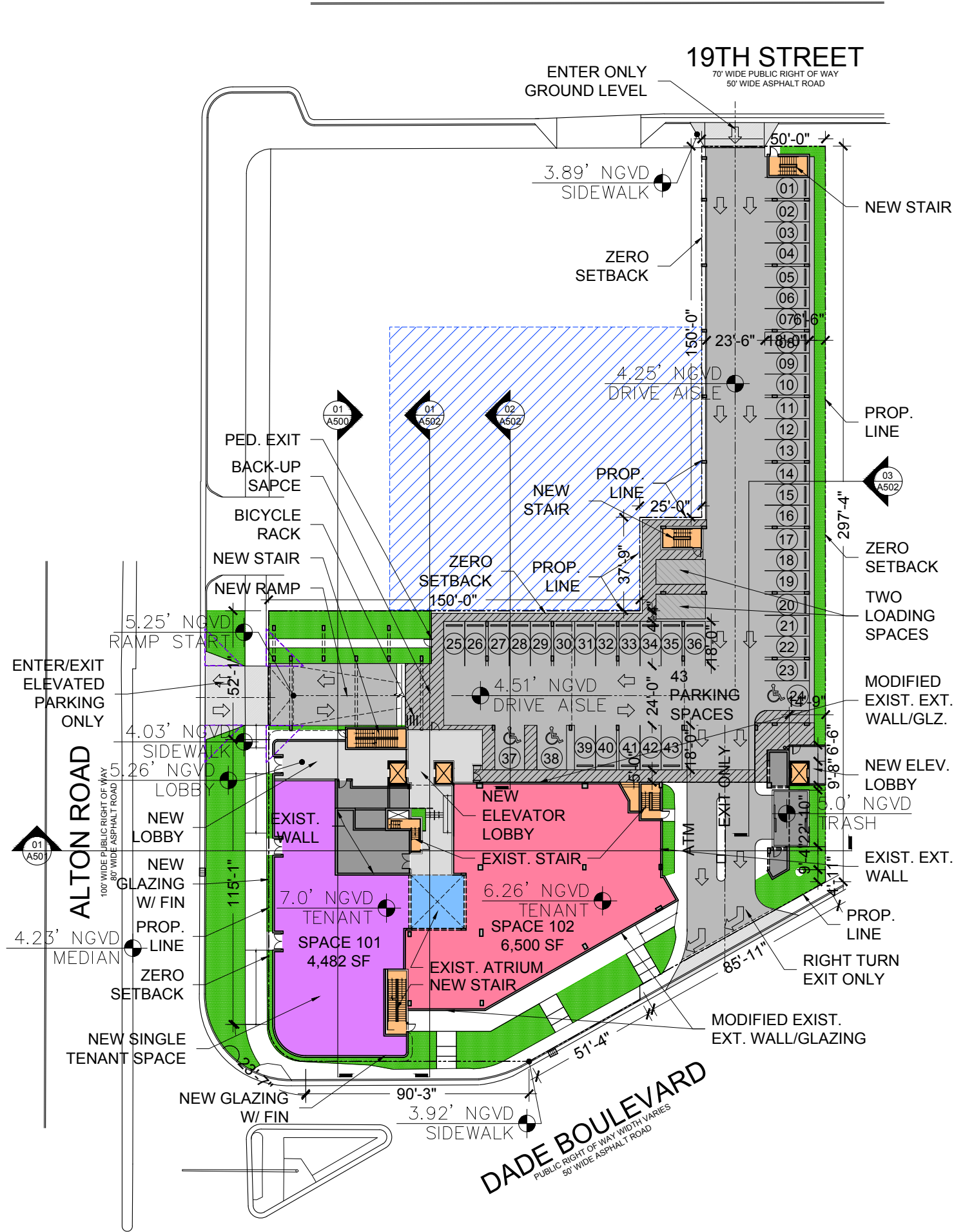
02 EXISTING 2ND LEVEL SITE PLAN DEMO
SCALE: 1" = 50'-0"





02-16-2021
FIRST SUB

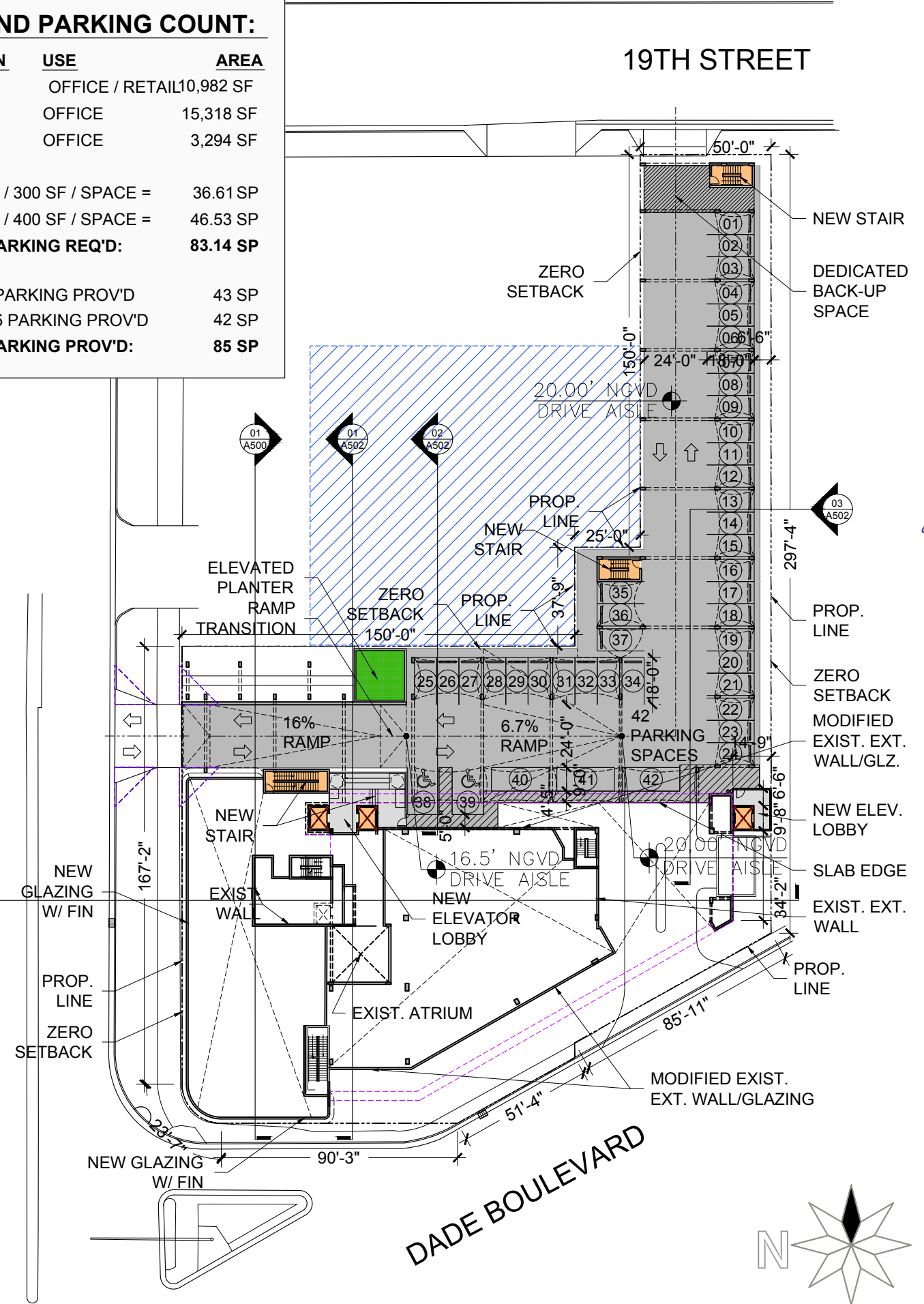
03-08-2021
FINAL SUB



USE AND PARKING COUNT:

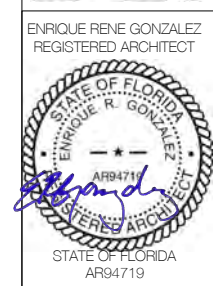
LOCATION	USE	AREA
LEVEL 1:	OFFICE / RETAIL	10,982 SF
LEVEL 2:	OFFICE	15,318 SF
LEVEL 3:	OFFICE	3,294 SF
10,982 SF / 300 SF / SPACE =		36.61 SP
18,612 SF / 400 SF / SPACE =		46.53 SP
TOTAL PARKING REQ'D:		83.14 SP
LEVEL 1 PARKING PROV'D		43 SP
LEVEL 1.5 PARKING PROV'D		42 SP
TOTAL PARKING PROV'D:		85 SP

01 PROPOSED GROUND LEVEL SITE PLAN
SCALE: 1" = 50'-0"



02 PROPOSED LEVEL 1.5 PARKING SITE PLAN
SCALE: 1" = 50'-0"





COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

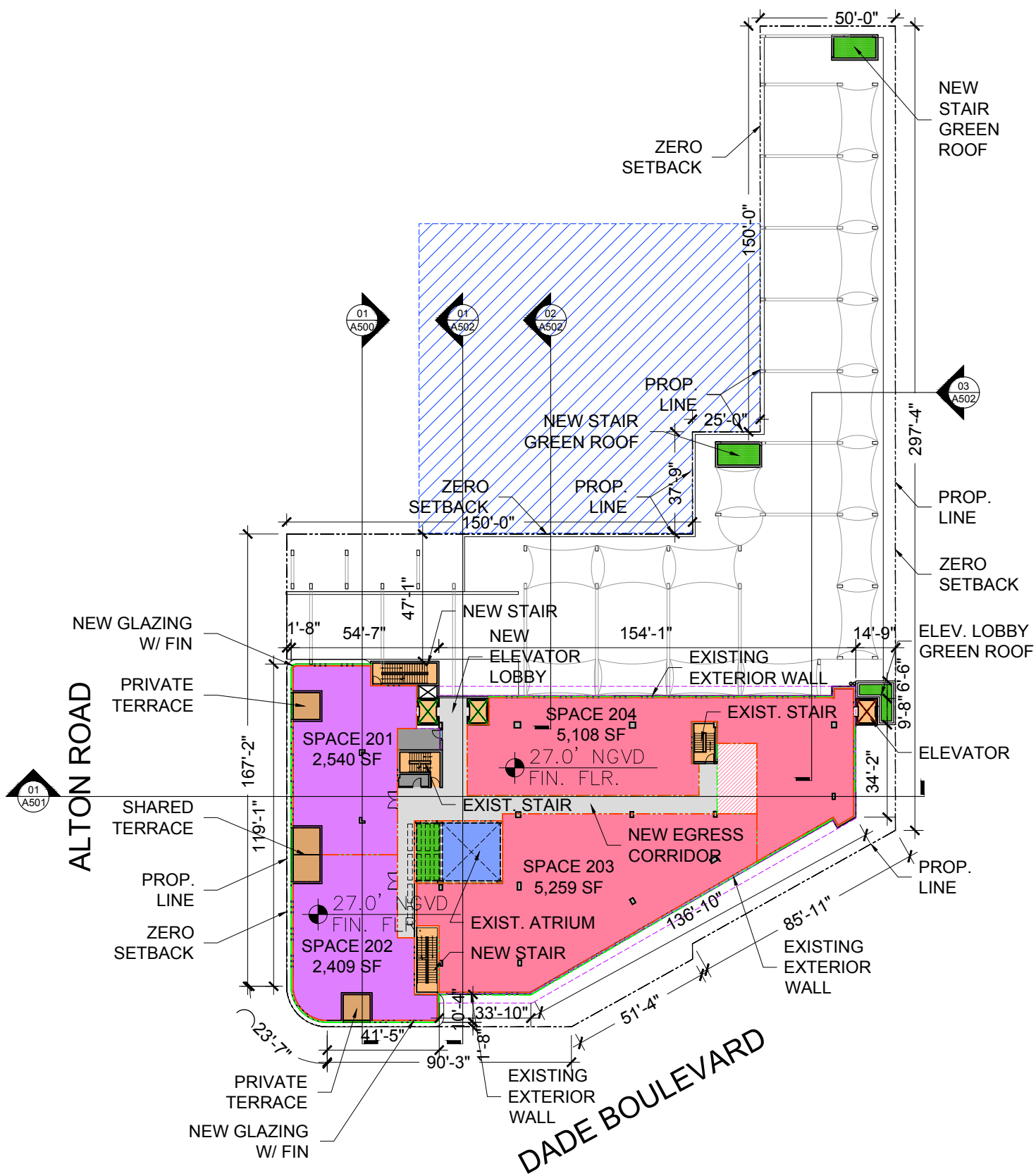
02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

A011

19TH STREET

19TH STREET



GREEN ROOF:

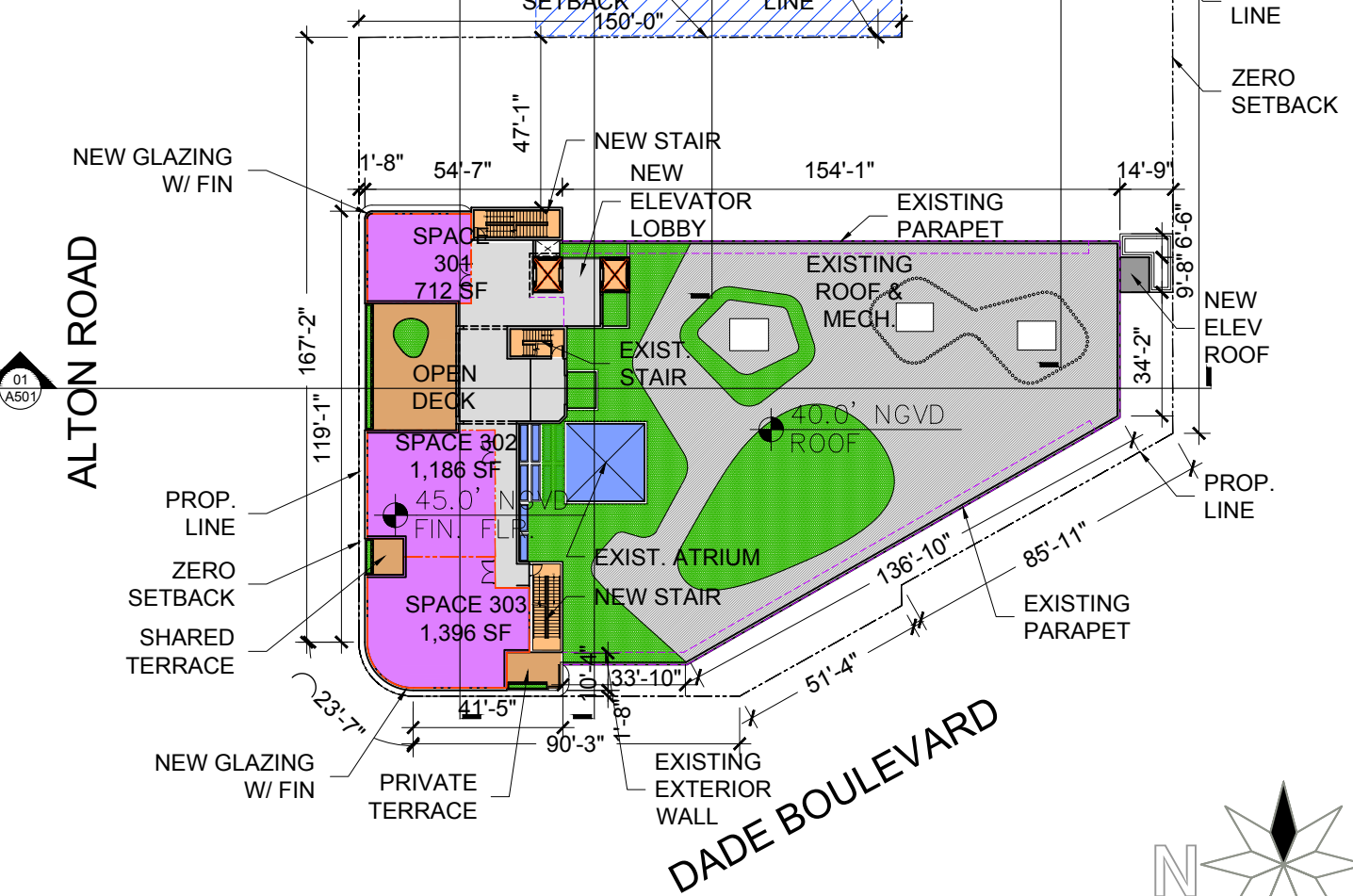
50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

ACCESSIBLE ROOF DECK:

ACCESSIBLE ROOF DECK AREA CANNOT EXCEED 50% OF THE AREA OF THE FLOOR BELOW:

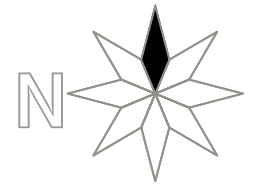
- ACCESSIBLE ROOF DECK: 859 SF
- ACCESSIBLE SHAR. TERR.: 100 SF
- ACCESSIBLE PRIV. TERR.: 146 SF
- 1,105 SF

AREA OF FLOOR BELOW: 5,746 SF
1,105 SF / 5,746 SF = .192 = 19%



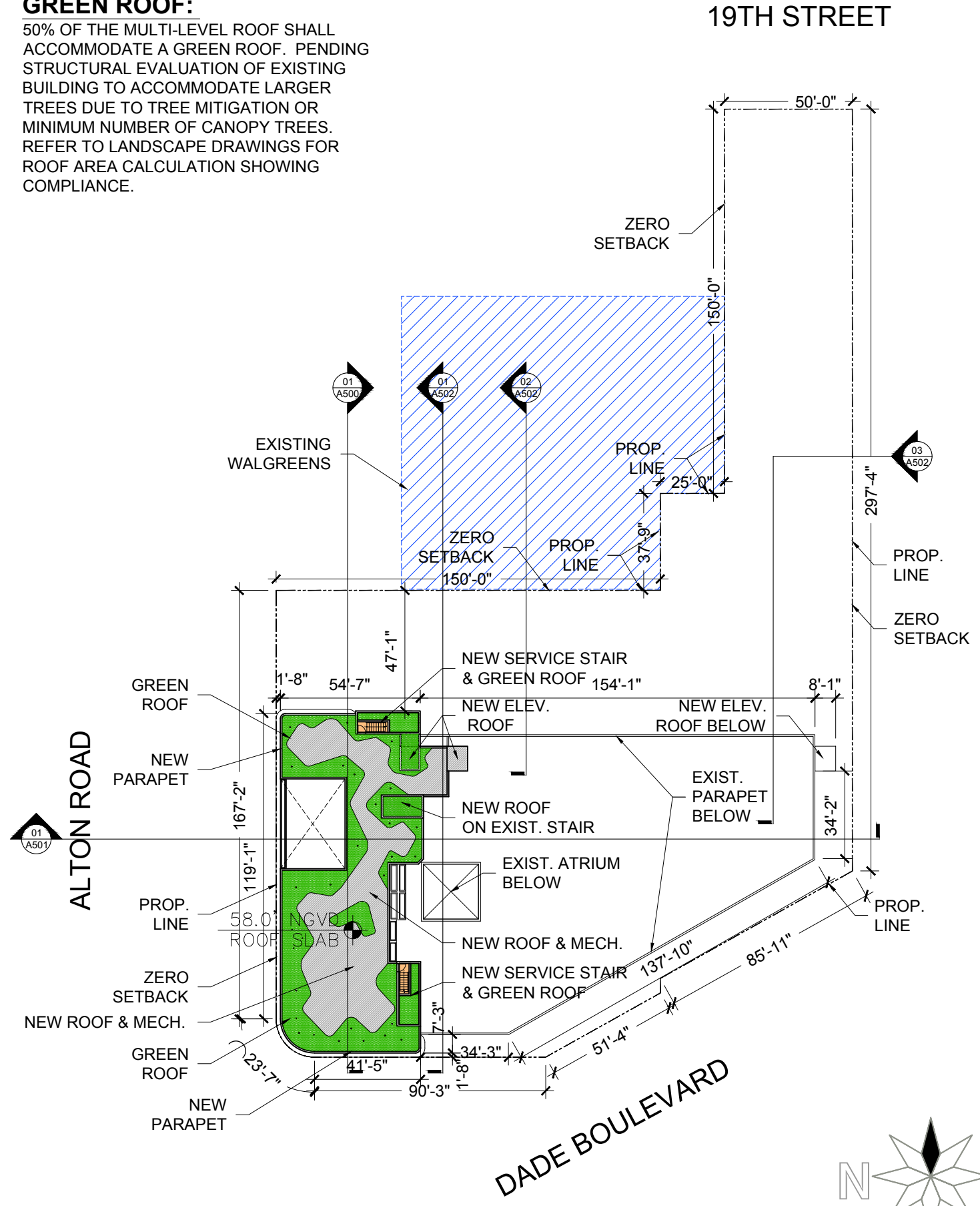
01 PROPOSED SECOND LEVEL SITE PLAN
SCALE: 1" = 50'-0"

02 PROPOSED THIRD LEVEL SITE PLAN
SCALE: 1" = 50'-0"

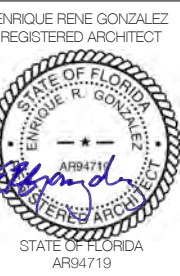


GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.



01 PROPOSED NEW ROOF PLAN
SCALE: 1" = 50'-0"



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

A012



2 | DADE BLVD ELEVATION WITH LANDSCAPE
SCALE: 3/64" = 1'-0"



1 | ALTON ROAD ELEVATION WITH LANDSCAPE
SCALE: 3/64" = 1'-0"



ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT

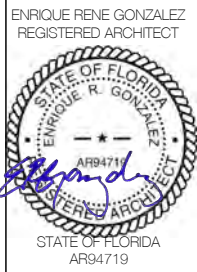


STATE OF FLORIDA
AR94719

COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

A030



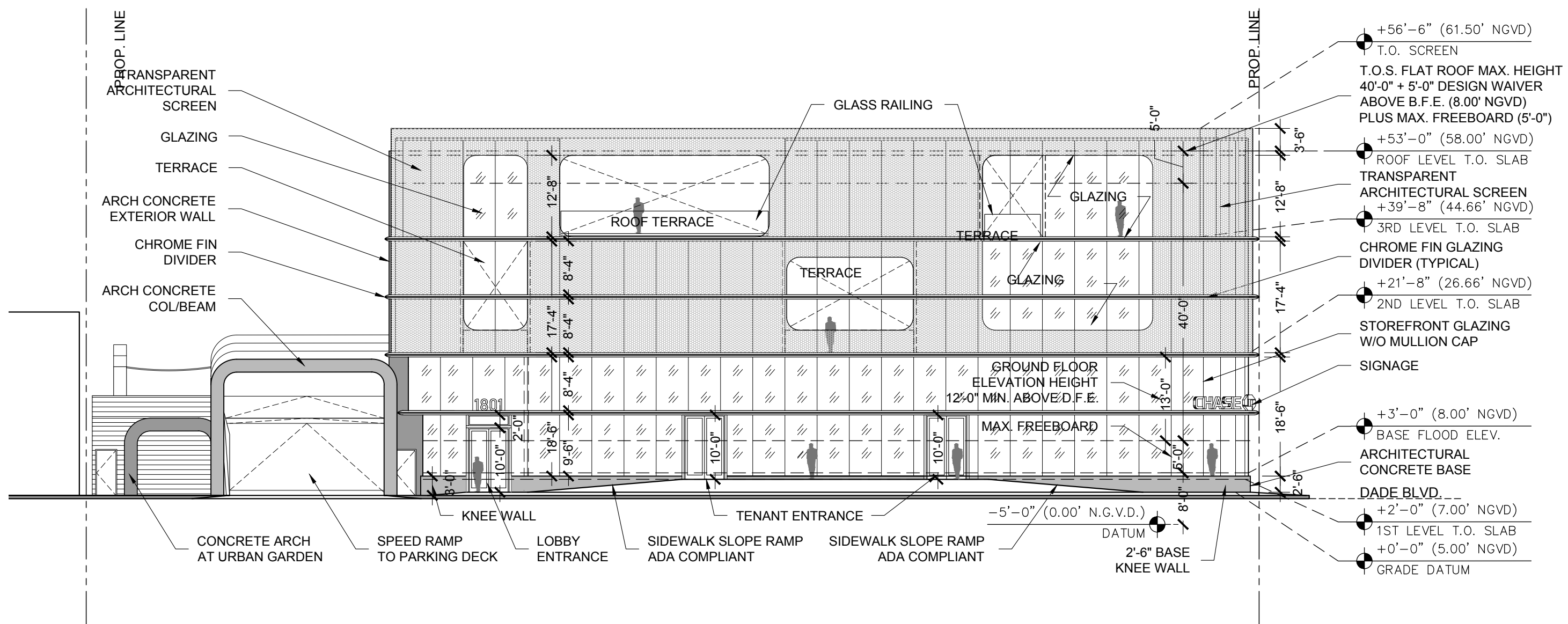
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

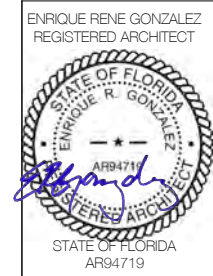
03-08-2021
FINAL SUB

A400

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED WEST ELEVATION
SCALE: 1/16" = 1'-0"

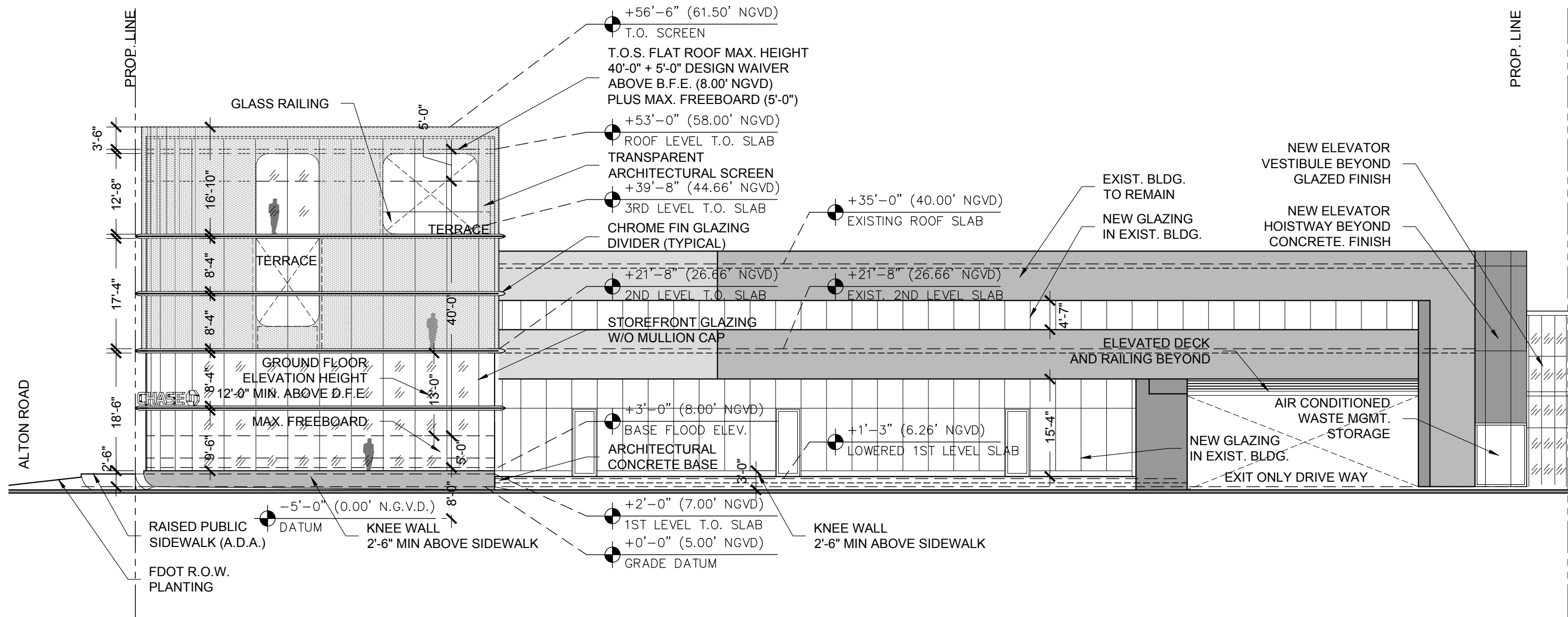


COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

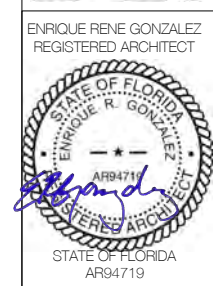
02-16-2021
FIRST SUB
03-08-2021
FINAL SUB

A401

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



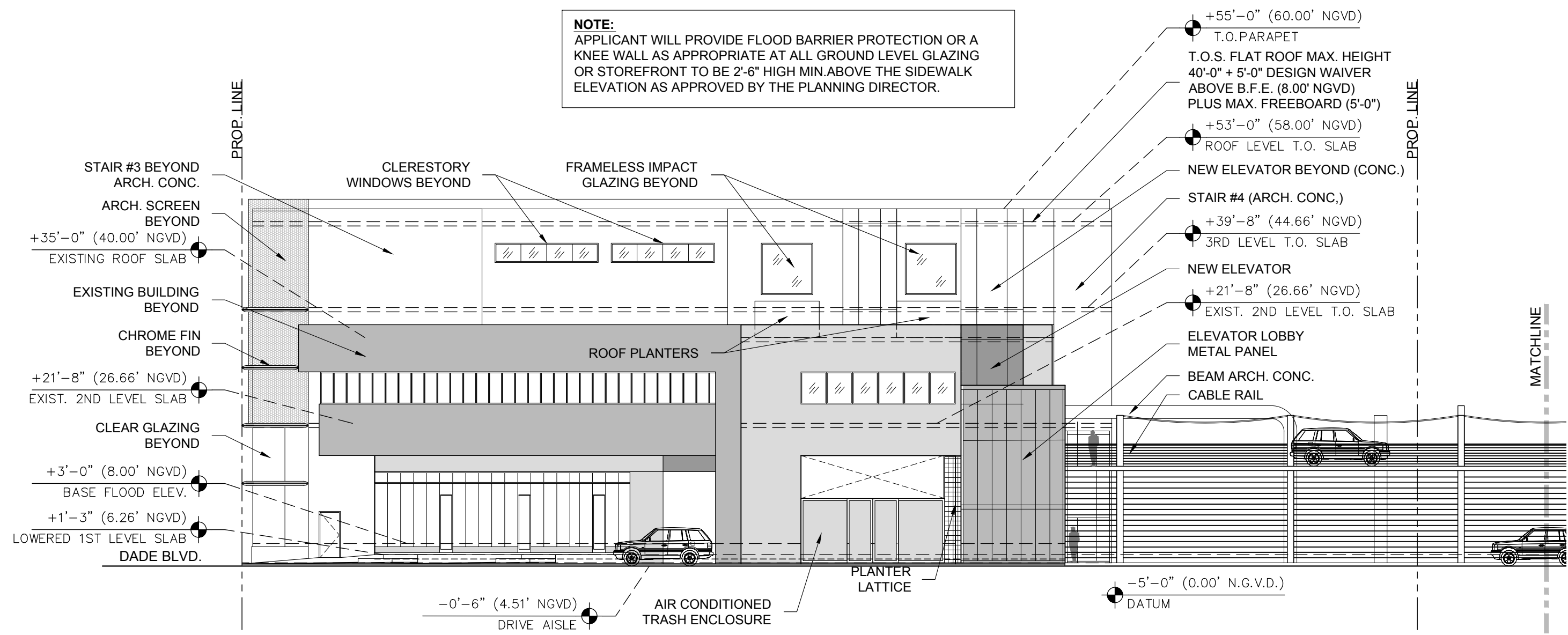
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

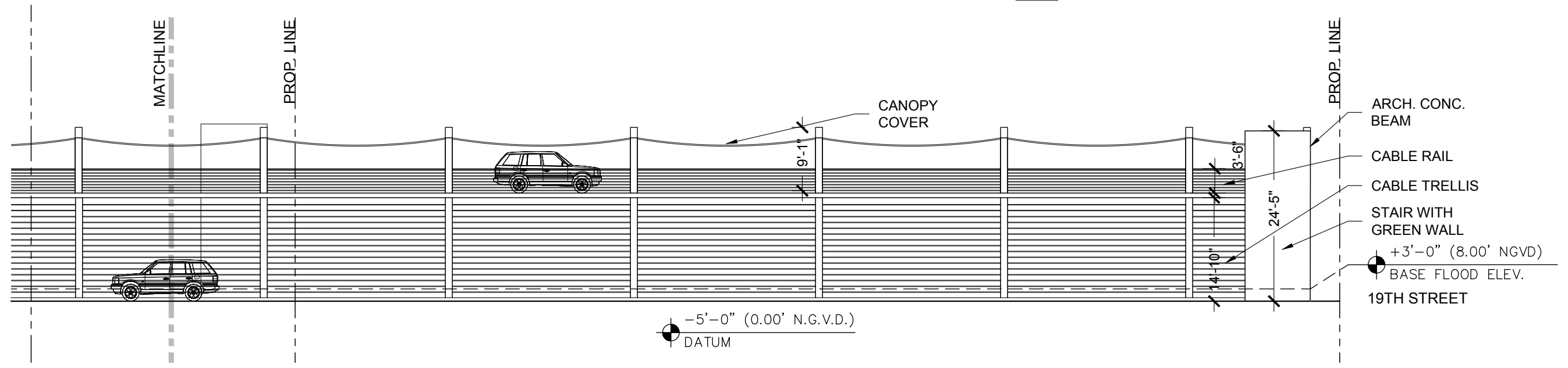
03-08-2021
FINAL SUB

A402

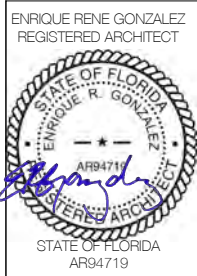
NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED EAST ELEVATION
SCALE: 1/16" = 1'-0"



02 PROPOSED EAST ELEVATION PARKING
SCALE: 1/16" = 1'-0"



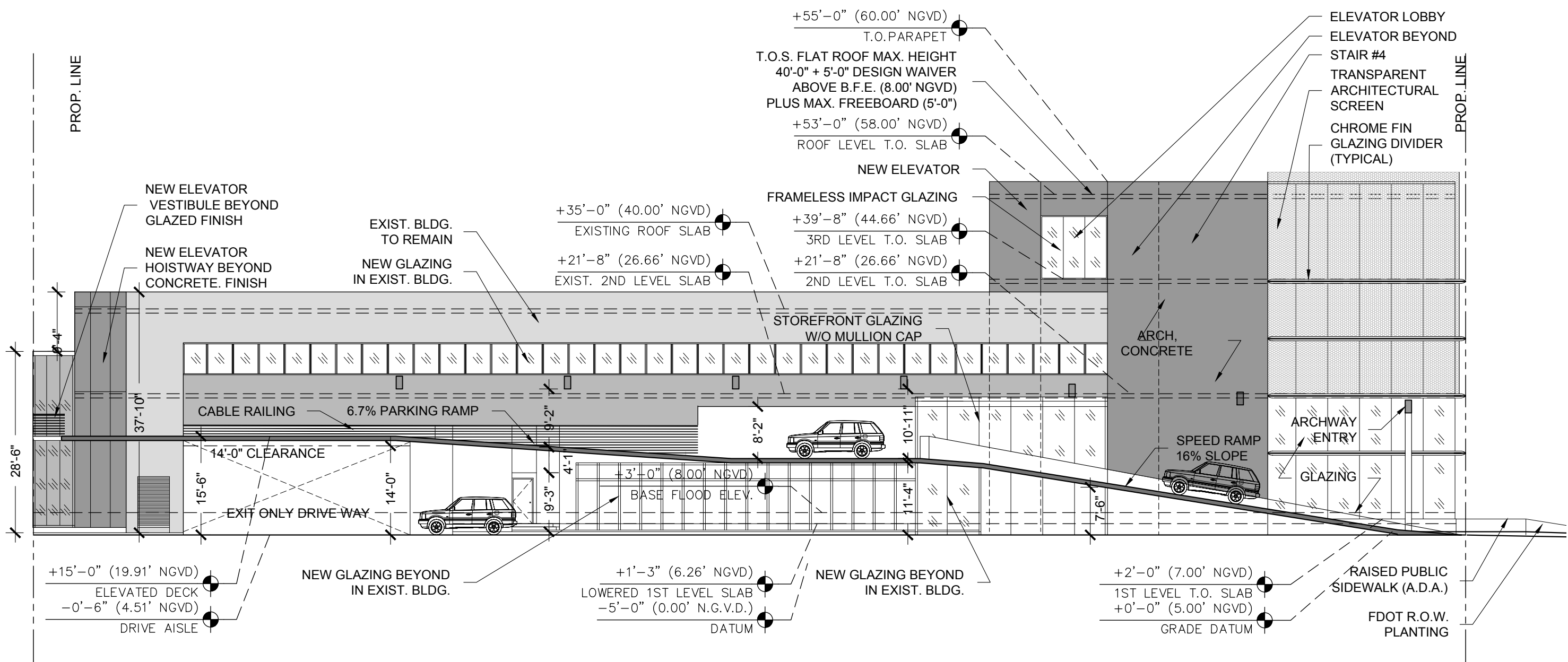
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

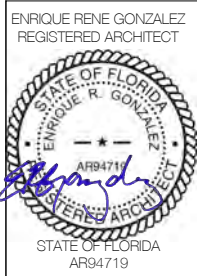
03-08-2021
FINAL SUB

A403

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED NORTH ELEVATION - SECTION
SCALE: 1/16" = 1'-0"



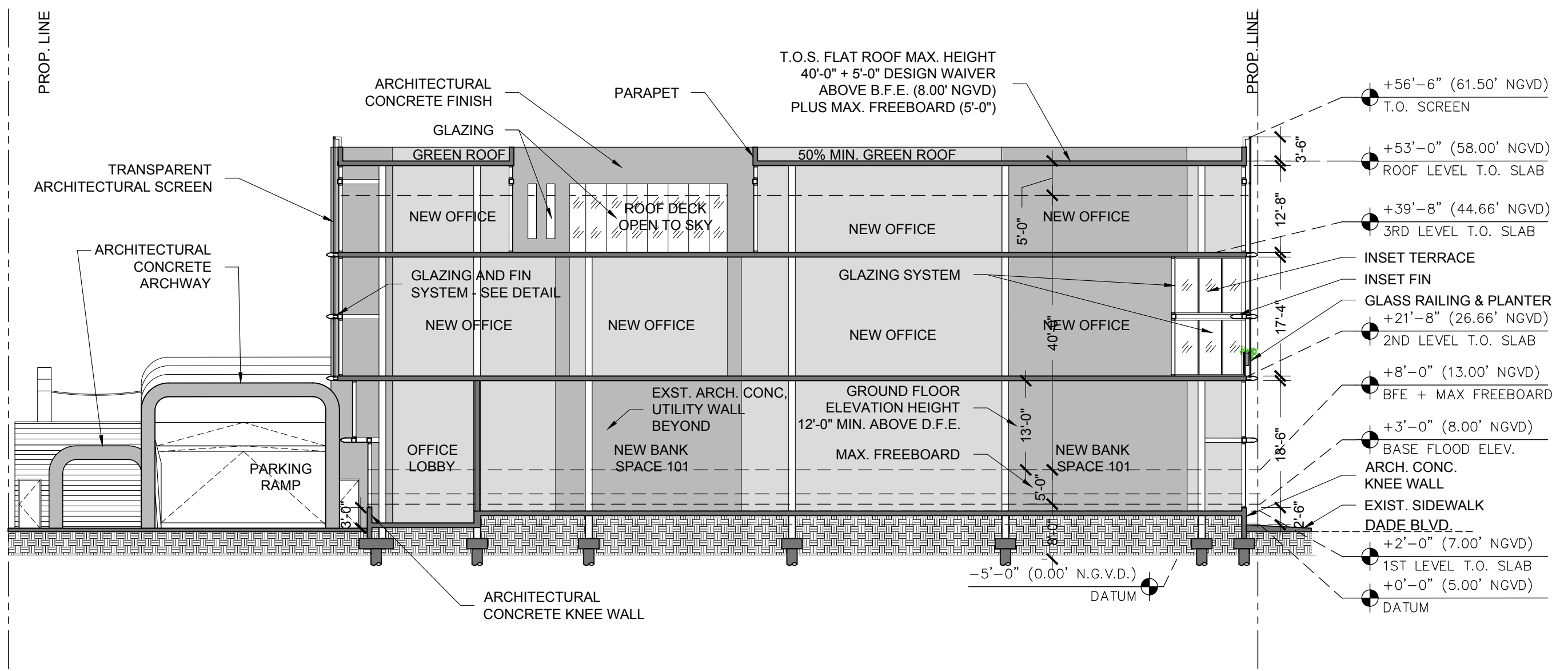
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

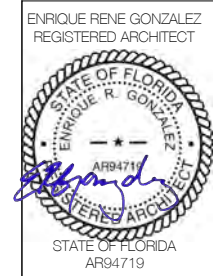
03-08-2021
FINAL SUB

A500

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED NORTH-SOUTH SECTION
SCALE: 1/16" = 1'-0"



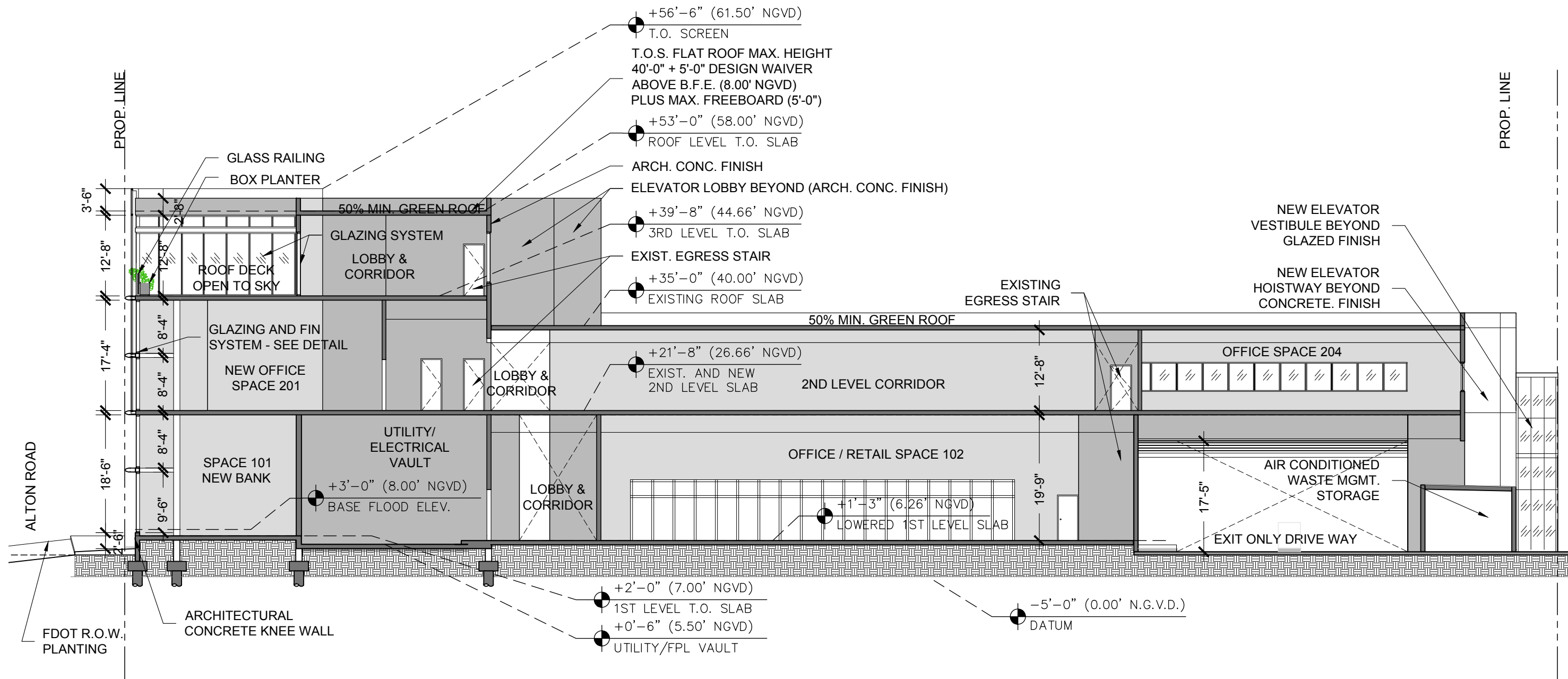
COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

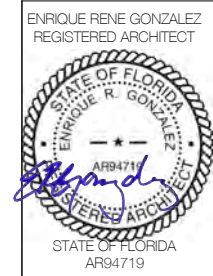
03-08-2021
FINAL SUB

A501

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



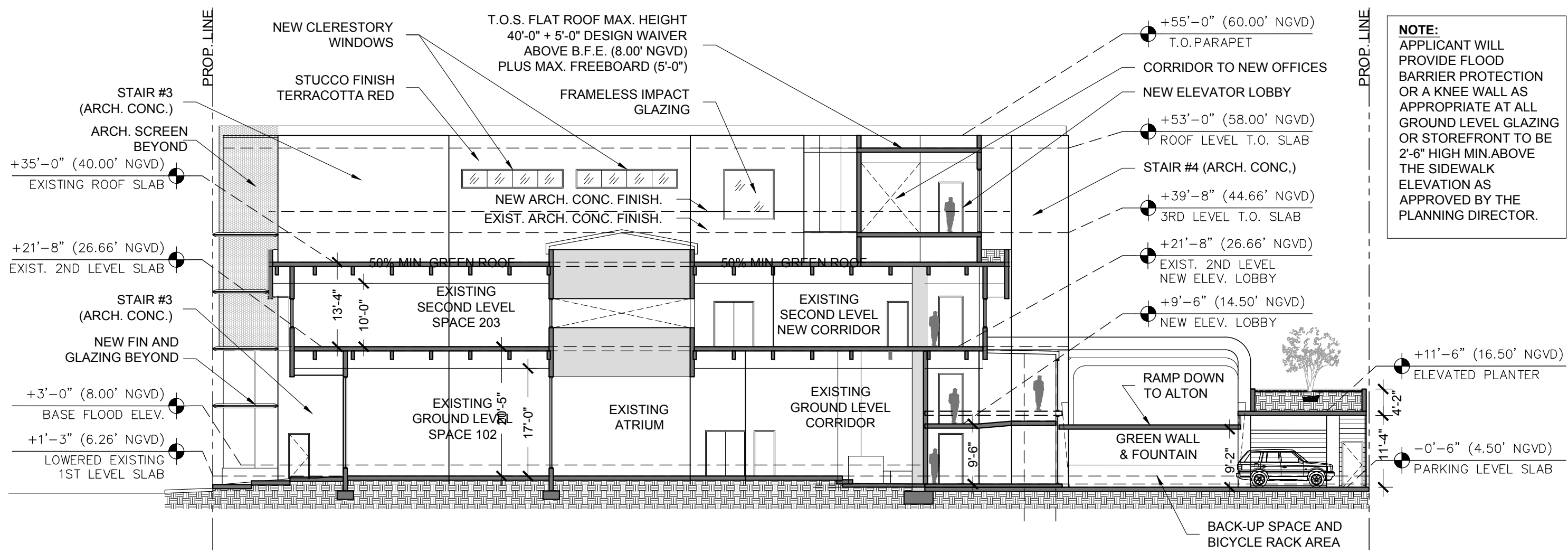
01 PROPOSED EAST-WEST SECTION
SCALE: 1/16" = 1'-0"



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

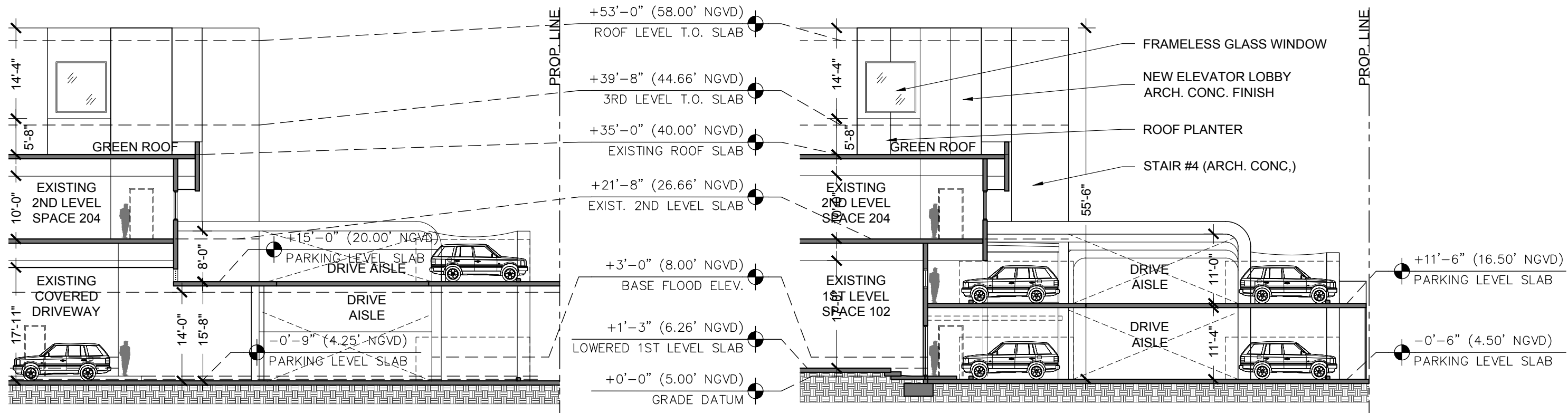
02-16-2021
FIRST SUB
03-08-2021
FINAL SUB

A502



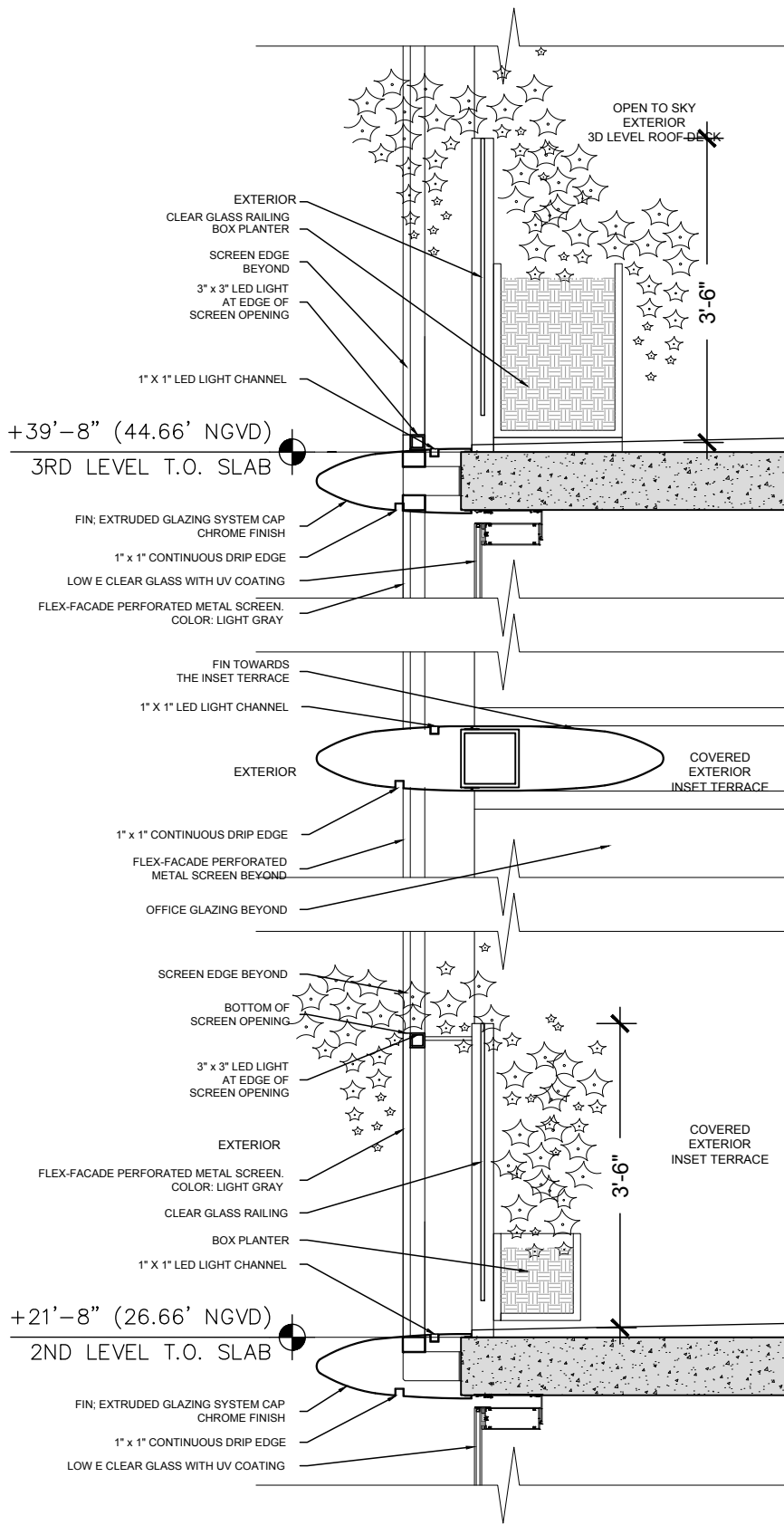
NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.

01 NORTH-SOUTH SECTION EXIST. BLDG. & PARKING LEVEL
SCALE: 1/16" = 1'-0"

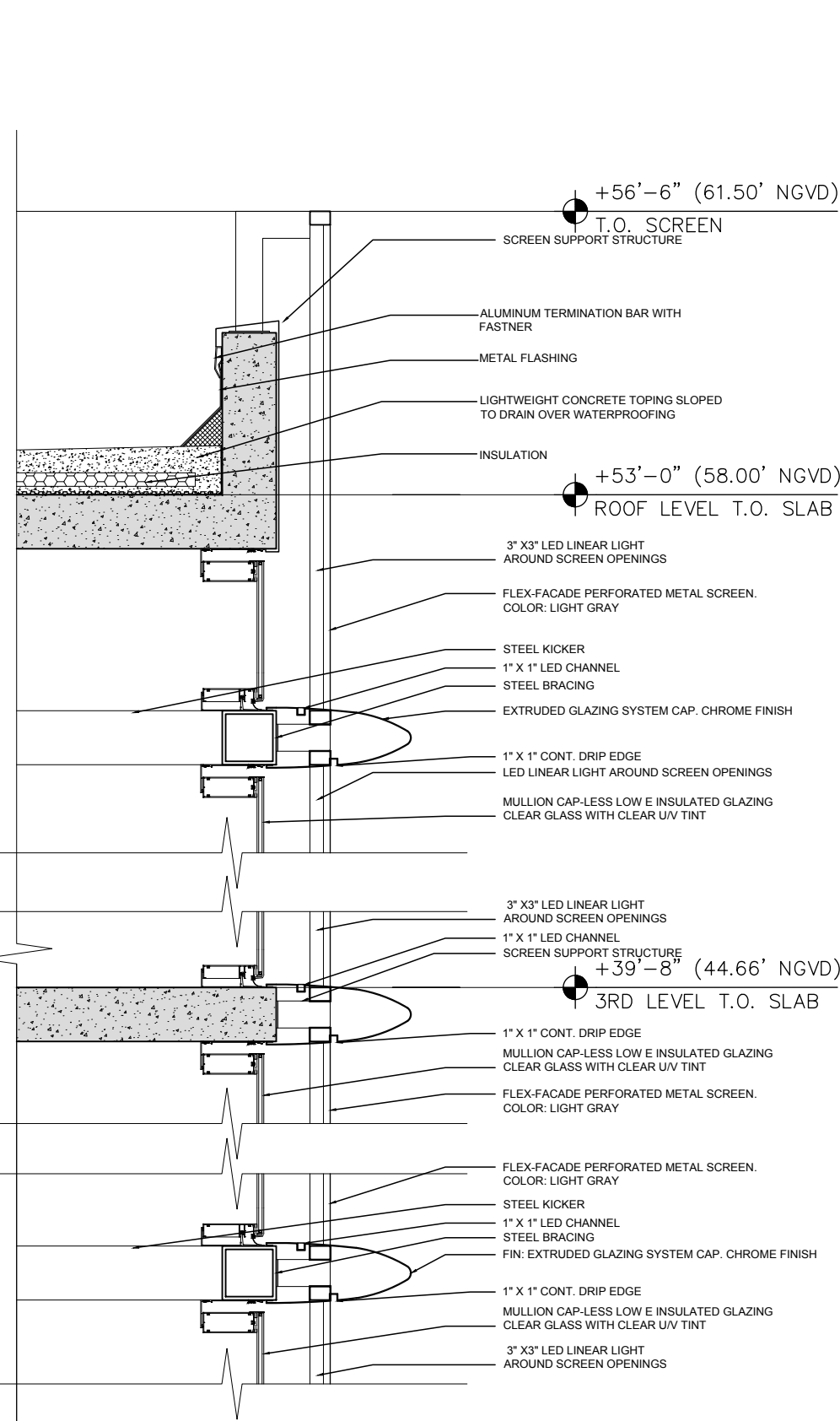


03 NORTH-SOUTH SECTION AT PARKING
SCALE: 1/16" = 1'-0"

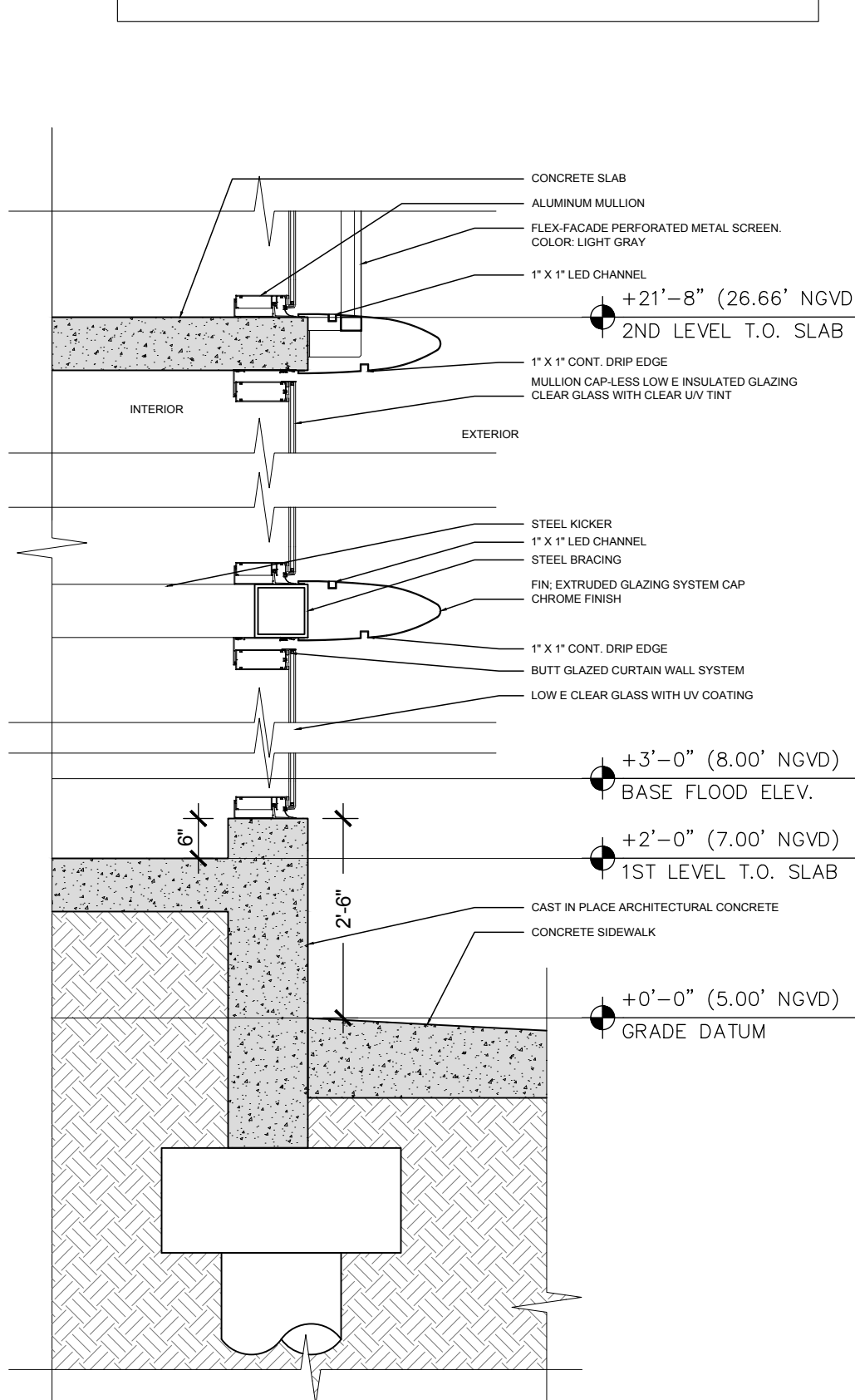
02 NORTH-SOUTH SECTION AT PARKING
SCALE: 1/16" = 1'-0"



03 DETAIL SECTION AT TERRACES
SCALE: 1/2" = 1'-0"

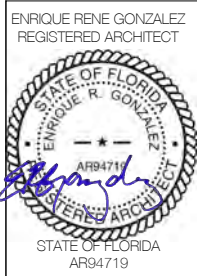


02 DETAIL SECTION UPPER FACADE
SCALE: 1/2" = 1'-0"



01 DETAIL SECTION LOWER FACADE
SCALE: 1/2" = 1'-0"

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



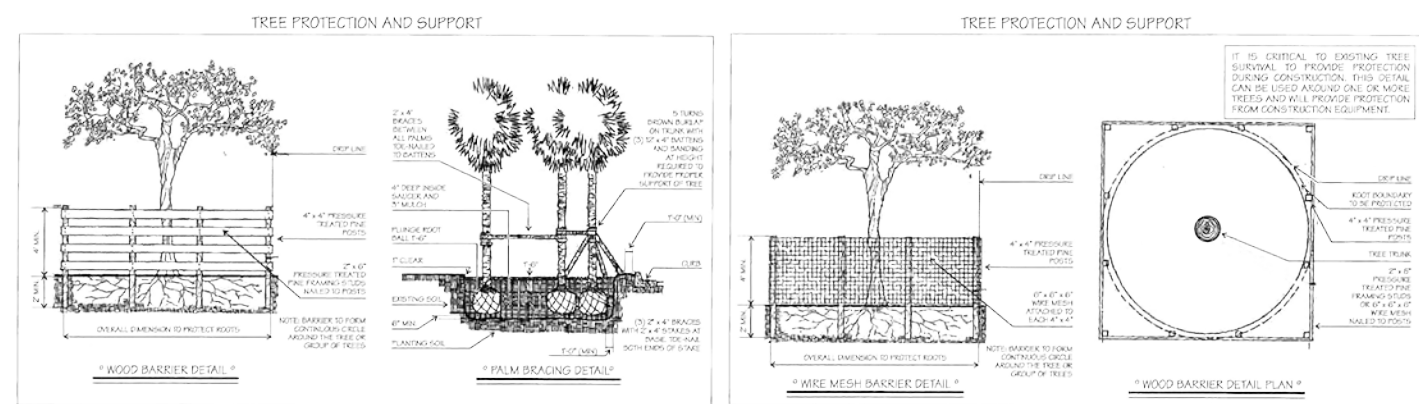
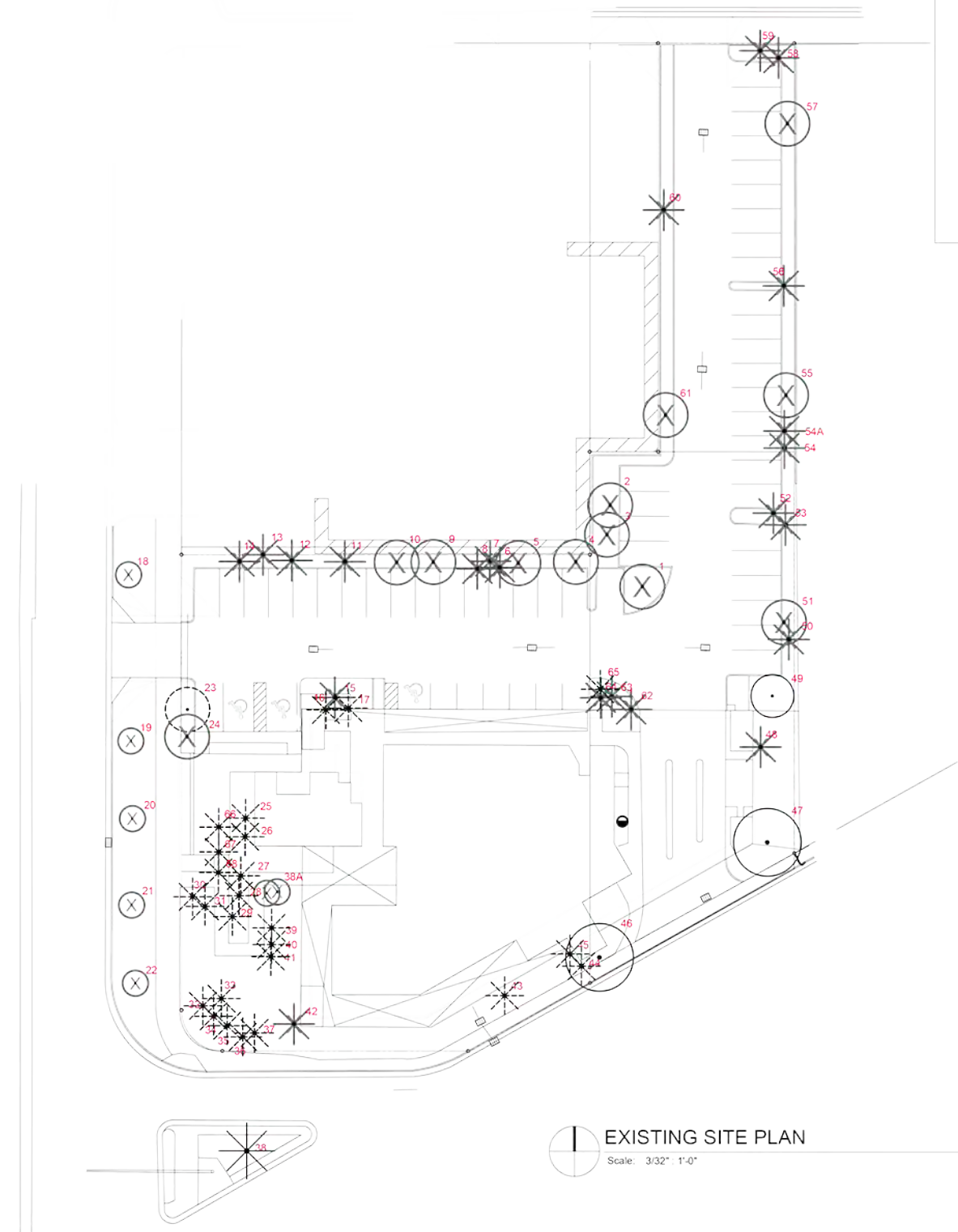
**COMMERCIAL ADDITION
TO EXISTING BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

EXISTING TREE LIST

Tree #	Botanical Name	Common Name	DBH in inches	OAH in feet	Spread in feet	Notes/Condition (All are fair to good unless otherwise noted)
1	<i>Bursera simaruba</i>	Gumbo limbo	9.5	12-14	18-22	To be removed
2	<i>Quercus virginiana</i>	Live oak	25	35-40	25-30	To be removed
3	<i>Schefflera actinophylla</i>	Umbrella tree	15	25-30	20-25	Invasive species to be removed
4	<i>Quercus virginiana</i>	Live oak	12	30-35	15-20	To be removed
5	<i>Quercus virginiana</i>	Live oak	11.5	35-40	20-25	To be removed
6	<i>Washingtonia robusta</i>	Washingtonia palm	13	50-60	12-14	Exempt from permit requirements
7	<i>Washingtonia robusta</i>	Washingtonia palm	13	50-60	12-14	Exempt from permit requirements
8	<i>Washingtonia robusta</i>	Washingtonia palm	13	35-40	12-14	Exempt from permit requirements
9	<i>Quercus virginiana</i>	Live oak	14	35-40	30-35	To be removed
10	<i>Quercus virginiana</i>	Live oak	16	35-40	30-35	To be removed
11	<i>Washingtonia robusta</i>	Washingtonia palm	14	60-65	12-14	Exempt from permit requirements
12	<i>Cocos nucifera</i>	Coconut palm	9	40-45	20-25	To be removed
13	<i>Cocos nucifera</i>	Coconut palm	9	30-35	20-25	To be removed
14	<i>Cocos nucifera</i>	Coconut palm	9	35-40	20-25	To be removed
15	<i>Washingtonia robusta</i>	Washingtonia palm	14	60-65	12-14	Exempt from permit requirements
16	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated
17	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated
18	<i>Quercus virginiana</i>	Live oak	3	10-11	6-8	To be removed
19	<i>Quercus virginiana</i>	Live oak	3	10-11	6-8	To be removed
20	<i>Quercus virginiana</i>	Live oak	3	10-11	6-8	To be removed
21	<i>Quercus virginiana</i>	Live oak	3	10-11	6-8	To be removed
22	<i>Quercus virginiana</i>	Live oak	3	10-11	6-8	To be removed
23	<i>Tabebuia heterophylla</i>	Pink trumpet tree	12	35-40	20-25	To be relocated on site
24	<i>Quercus virginiana</i>	Live oak	16	20-25	20-25	To remain
25	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
26	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
27	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
28	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
29	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
30	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
31	<i>Sabal palmetto</i>	Sabal palm	8	20-25	10-12	To be relocated on site
32	<i>Sabal palmetto</i>	Sabal palm	8	25-30	10-12	To be relocated on site
33	<i>Sabal palmetto</i>	Sabal palm	7	30-35	10-12	To be relocated on site
34	<i>Sabal palmetto</i>	Sabal palm	7	25-30	10-12	To be relocated on site
35	<i>Sabal palmetto</i>	Sabal palm	10	30-35	10-12	To be relocated on site
36	<i>Sabal palmetto</i>	Sabal palm	6	30-35	10-12	To be relocated on site
37	<i>Sabal palmetto</i>	Sabal palm	7	30-35	10-12	To be relocated on site
38	<i>Phoenix sylvestris</i>	Date palm	12	25-30	15-20	To be relocated on site
38A	<i>Schefflera actinophylla</i>	Umbrella tree	24	40-45	30-35	Invasive species to be removed
39	<i>Sabal palmetto</i>	Sabal palm	8	20-25	10-12	To be relocated on site
40	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
41	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
42	<i>Phoenix reclinata</i>	Senegal Date palm	40	25-30	30-35	To be removed. Category 1, no mitigation required
43	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
44	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	To be relocated on site
45	<i>Sabal palmetto</i>	Sabal palm	8	40-45	10-12	To be relocated on site
46	<i>Bucida buceras</i>	Black Olive	28	40-45	30-35	To remain. Recommended pruning off roadway
47	<i>Bucida buceras</i>	Black Olive	24	40-45	60-65	To remain
48	<i>Ravenala madagascariensis</i>	Travelers Palm	16	15-20	15-20	To be removed
49	<i>Bursera simaruba</i>	Gumbo limbo	7	12-14	15-20	To remain
50	<i>Washingtonia robusta</i>	Washingtonia palm	13.5	50-60	12-14	Exempt from permit requirements
51	<i>Quercus virginiana</i>	Live oak	21	30-35	45-50	To be removed
52	<i>Washingtonia robusta</i>	Washingtonia palm	13	50-60	12-14	Exempt from permit requirements
53	<i>Washingtonia robusta</i>	Washingtonia palm	N/A	8-10	6-7	Exempt from permit requirements
54	<i>Washingtonia robusta</i>	Washingtonia palm	12	40-45	12-14	Exempt from permit requirements
54A	<i>Washingtonia robusta</i>	Washingtonia palm	N/A	6-7	5-6	Exempt from permit requirements
55	<i>Quercus virginiana</i>	Live oak	20	30-35	40-45	To be removed
56	<i>Washingtonia robusta</i>	Washingtonia palm	13	40-45	12-14	Exempt from permit requirements
57	<i>Quercus virginiana</i>	Live oak	20	30-35	40-45	To remain
58	<i>Washingtonia robusta</i>	Washingtonia palm	13	40-45	12-14	Exempt from permit requirements
59	<i>Washingtonia robusta</i>	Washingtonia palm	13	40-45	12-14	Exempt from permit requirements
60	<i>Washingtonia robusta</i>	Washingtonia palm	13	20-25	12-14	Exempt from permit requirements
61	<i>Quercus virginiana</i>	Live oak	12.5	20-25	20-25	Poor condition-remove
62	<i>Washingtonia robusta</i>	Washingtonia palm	13	35-40	12-14	Exempt from permit requirements
63	<i>Ptychosperma elegans</i>	Alexander palm	4	30-35	8-10	Poor condition-remove
64	<i>Sabal palmetto</i>	Sabal palm	8	30-35	10-12	Relocate
65	<i>Sabal palmetto</i>	Sabal palm	8	20-25	10-12	Relocate
66	<i>Thrinax sp.</i>	Thatch palm	4	15-20	6-8	Relocate
67	<i>Thrinax sp.</i>	Thatch palm	4	15-20	6-8	Relocate
68	<i>Thrinax sp.</i>	Thatch palm	4	15-20	6-8	Relocate



NOTE
 * EXISTING TREES SYMBOLS ARE GRAPHIC AND LOCATION MAY VARY SLIGHTLY

DISPOSITION LEGEND



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VINCENT A. FILIGENZI
 LA #667191

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1801 ALTON RD.
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SHEET NO.	REV #	DATE	DESCRIPTION
1	1	2/26/21	DRS LANDSCAPE

PROJECT #:
 DRAWN BY: AJ
 CHECKED BY: VF
 DATE: 3.8.2021
 DISCIPLINE / SHEET TITLE

DISPOSITION PLAN

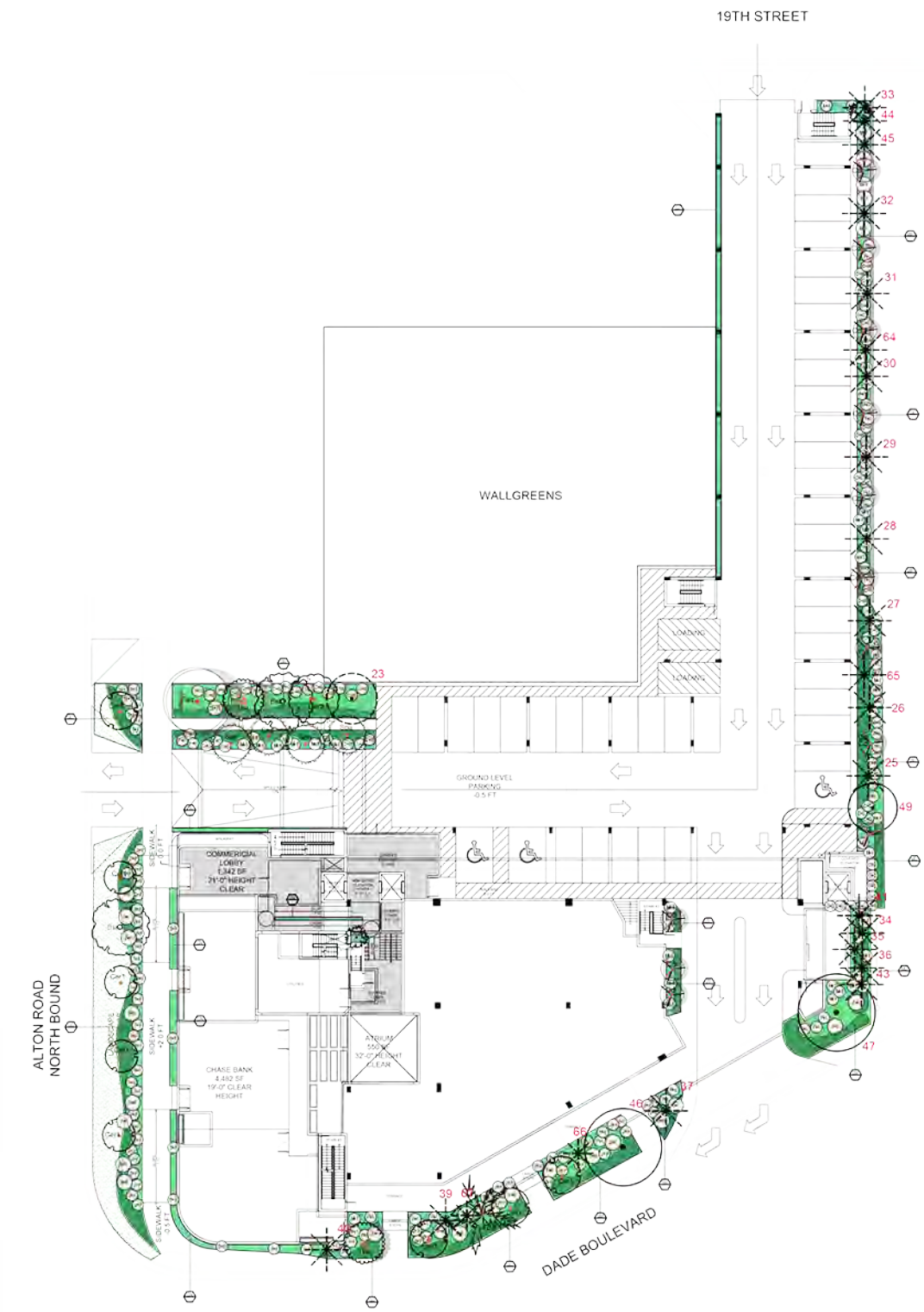
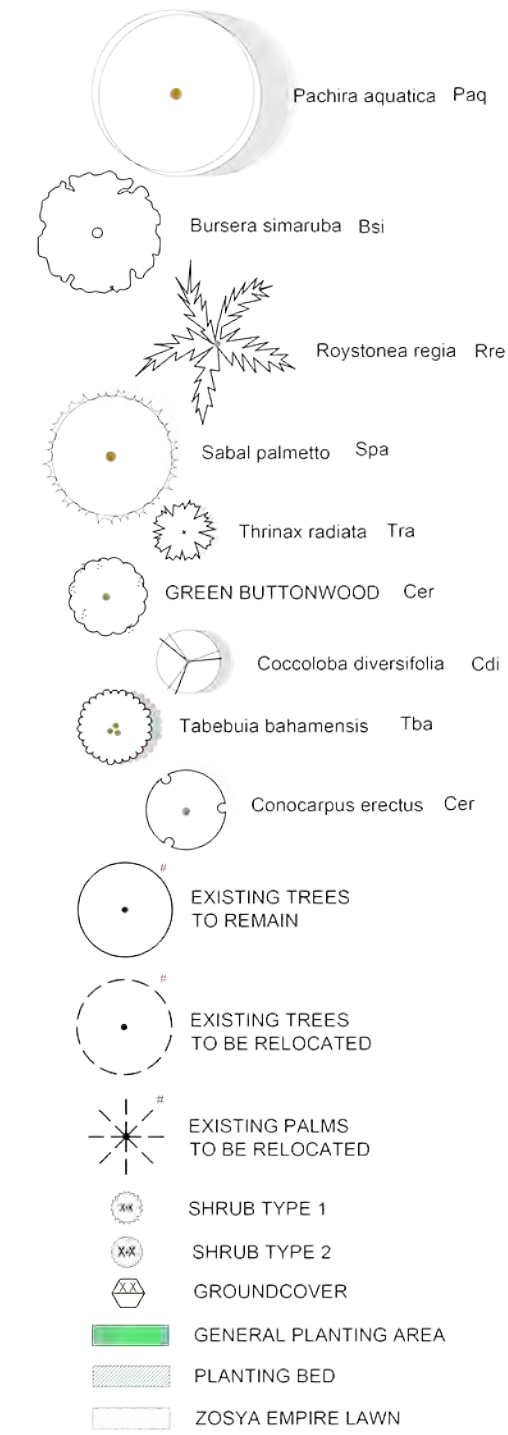
SHEET NUMBER:
 LE-1.0

OVERALL PLANT LIST

NOTE: FOR EXISTING TREE LIST SEE SHEET LE-1.0

PROPOSED PLANT LIST						
SYM	BOTANICAL NAME	COMMON NAME	SPEC	NATIVE	DROUGHT	QTY
TREES + PALMS						
Rre	<i>Roystonea regia</i>	Florida Royal Palm	45'OA 18'GW 20'CAL	*	*	1
Bsi	<i>Bursera simaruba</i>	Gumbo Limbo	20' HT 8"-10" DBH	*	*	2
Cro	<i>Croton rosea</i>	Autograph Tree	16-18' OA HT w/ character 4"-6" DBH	*	*	2
Paq	<i>Pachira aquatica</i>	Money Tree	30' OA 18" DBH	*	*	1
Spa	<i>Sabal palmetto</i>	Sabal Palm	24' - 26' CT DBL CURVE	*	*	4
Dca	<i>Dyopsis cabadae</i>	Cabada Palm	10' HT CLUSTER	*	*	1
Dal	<i>Dyosperma album</i>	Princess Palm	8'-9' OA HT	*	*	8
Lvi	<i>Lignum vitae sanctum</i>	Guaiacum Tree	5' HT 2" DBH	*	*	1
Tra	<i>Thrinax radiata</i>	Thatch Palm	10'-14' OA	*	*	3
Tta	<i>Tabebuia caraiba</i>	Yellow Tabebuia Tree	14'-16' HT OA 6"-8" DBH	*	*	1
Tba	<i>Tabebuia bahamensis</i>	Bahama Tabebuia Tree	14'-16' HT OA 4"-6" DBH	*	*	3
Cdi	<i>Coccoloba diversifolia</i>	Pigeon Plum Tree	12' HT 3" DBH	*	*	15
Mce	<i>Myrica carifera</i>	Wax Myrtle Tree	65G 12' OA Multi 2"-3" DBH	*	*	3
Cgr	<i>Caesalpinia granadillo</i>	Bridal's Veil Tree	12' OA 2"-3" DBH	*	*	3
Mfr	<i>Myrcianthes fragrans</i>	Simpson Stopper Tree	65G 8'-10' OA Multi 2"-3" DBH	*	*	10
Cuv1	<i>Coccoloba uvifera</i>	Sea Grape Tree	12' HT 2"-3" DBH Multi w/ Character	*	*	4
Cuv2	<i>Coccoloba uvifera</i>	Sea Grape Tree	16' HT 6"-8" DBH Multi w/ Character	*	*	2
Cer1	<i>Conocarpus erectus</i>	Silver Buttonwood Tree	18' OA 4"-6" DBH Multi w/ Character	*	*	8
Cer2	<i>Conocarpus erectus var. sericeus</i>	Green Buttonwood Tree	18' OA 4"-6" DBH Multi w/ Character	*	*	1
SHRUBS + ACENTS						
ZF	<i>Zamia floridana</i>	Coontie Palm	7G	*	*	12
PL	<i>Psychotria ligustrifolia</i>	Bahama Coffee	7G	*	*	35
MG	<i>Myrsine guianensis</i>	Myrsine	25G	*	*	9
SR	<i>Serenoa repens</i>	Silver Saw Palmetto	25G @ 4' HT	*	*	15
TF	<i>Tripsacum floridiana</i>	Gamma Grass	7 GAL	*	*	28
PG	<i>Philodendron giganteum</i>	Giant Philodendron	25G 4HT	*	*	5
PP	<i>Portea petropolitana</i>	Portea Jungles	20' HT	*	*	3
AA	<i>Agave attenuata</i>	Spiral Agave	15G @ 2' HT	*	*	8
NG	<i>Neomarica gracilis</i>	Apostle's Iris	7 GAL	*	*	8
ZP	<i>Zamia pumila</i>	Coontie	3 GAL @ 24" OC	*	*	35
S	<i>Sanseveria trifasciata</i>	Black Coral	3 GAL @ 24" OC	*	*	5
AM	<i>Agave americana</i>	Super Blue	15G @ 3-4" HT	*	*	1
MF	<i>Myrcianthes fragrans</i>	Simpson Stopper	25G	*	*	43
FK	<i>Pennisetum fakahatchee</i>	Fakahatchee	3 GAL	*	*	22
CC	<i>Capparis cynophallophora</i>	Jamaican Caper	25G	*	*	19
CW	<i>Carapa guianensis</i>	Crabwood	25G	*	*	25
GROUNDCOVERS						
GC	<i>Ernodea littoralis</i>	Golden Creeper	1 GAL @ 18" OC	*	*	201
BR	<i>Barleria repens</i>	Purple Coral Creeper	1 GAL @ 12" OC	*	*	163
TF	<i>Tripsacum floridiana</i>	Gamma Grass	3 GAL @ 24" OC	*	*	28
BM	<i>Philodendron</i>	Burle Marx	3 GAL @ 24" OC	*	*	116
BG	<i>Bougainvillea</i>	Bougainvillea	7 GAL @ 24" OC	*	*	5
MD	<i>Monstera Deliciosa</i>	Swis Cheese Palm	3 GAL @ 24" OC	*	*	111
SF	<i>Nephrolepis exaltata</i>	Sword Fern	1 GAL @ 24" OC	*	*	126
BF	<i>Bulbines frutescens</i>	Bulbines	1 GAL @ 12" OC	*	*	15
HD	<i>Helianthus debilis</i>	Dune Sunflower	1 GAL @ 18" OC	*	*	85
PO	<i>Peperomia obtusifolia</i>	Peperomia	1 GAL @ 12" OC	*	*	160
PA	<i>Pilea glauca</i>	Aquamarine	1 GAL @ 18" OC	*	*	96
ZF	<i>Zamia pumila</i>	Coontie	3 GAL @ 24" OC	*	*	12
WF	<i>Microsorium scolopendrium</i>	Wart Fern	1 GAL @ 24" OC	*	*	116
NG	<i>Neomarica gracilis</i>	Apostle's Iris	3 GAL @ 24" OC	*	*	50
Other Materials						
	Top Soil	50/50	5'-6" Deep	*	*	275 CY
	Mulch	Pine Straw	3" Deep, Roll Edges	*	*	137 CY
	Empire Zoysia	Empire Zoysia		*	*	1,174SF

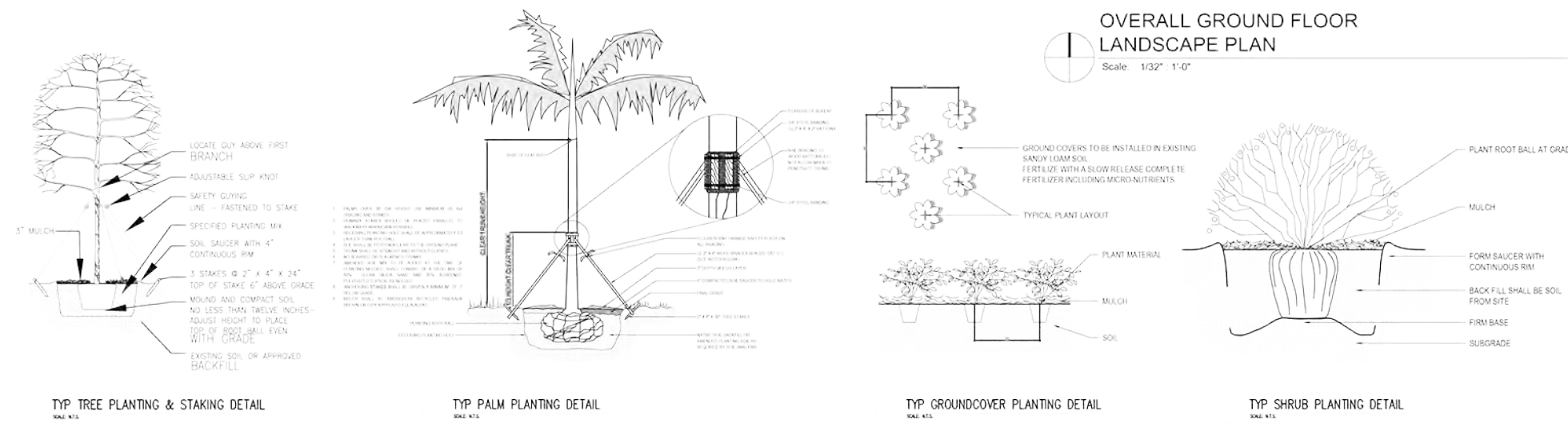
PLANT SYMBOLS



LANDSCAPE LEGEND

Transect Zone: CD-1	Lot Area: 47,312.00	Acres: 1.086	REQUIRED/ALLOWED	PROVIDED
----------------------------	----------------------------	---------------------	-------------------------	-----------------

TREES				
A. Number of trees required per net lot acre, less existing number of trees meeting minimum requirements =				
22 trees x	1.086 net lot acres -	number of existing trees (6) =	18	56
B. % Natives required: Number of trees provided x 30% =				
56 x .30 =	8 Native Trees required		17	48
C. % Drought tolerant and low maintenance:				
Number of trees provided x 50% =				
56 x .5 =	13 Drought & Low Maintenance Trees required		28	56
D. Street Trees (maximum average spacing of 20' o.c.):				
linear feet along street / 20 =				
237 / 20 =	12 Street Trees required. LF. ROW Green Space		12	12
E. Street trees located directly beneath power lines: (maximum average spacing of 20' o.c.):				
linear feet along street / 20 =				
			N/A	N/A
SHRUBS				
A. Number of shrubs required: Number of trees required x 12 =				
18X 12 =	288 Shrubs required		216	276
B. % Native shrubs required: Number of shrubs provided x 30% =				
276 X .30 =	Native shrubs required		83	276



OVERALL GROUND FLOOR LANDSCAPE PLAN
Scale: 1/32" = 1'-0"

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SHEET ISSUE	REV #	DATE	DESCRIPTION
	#1	2.25.21	DRS LANDSCAPE

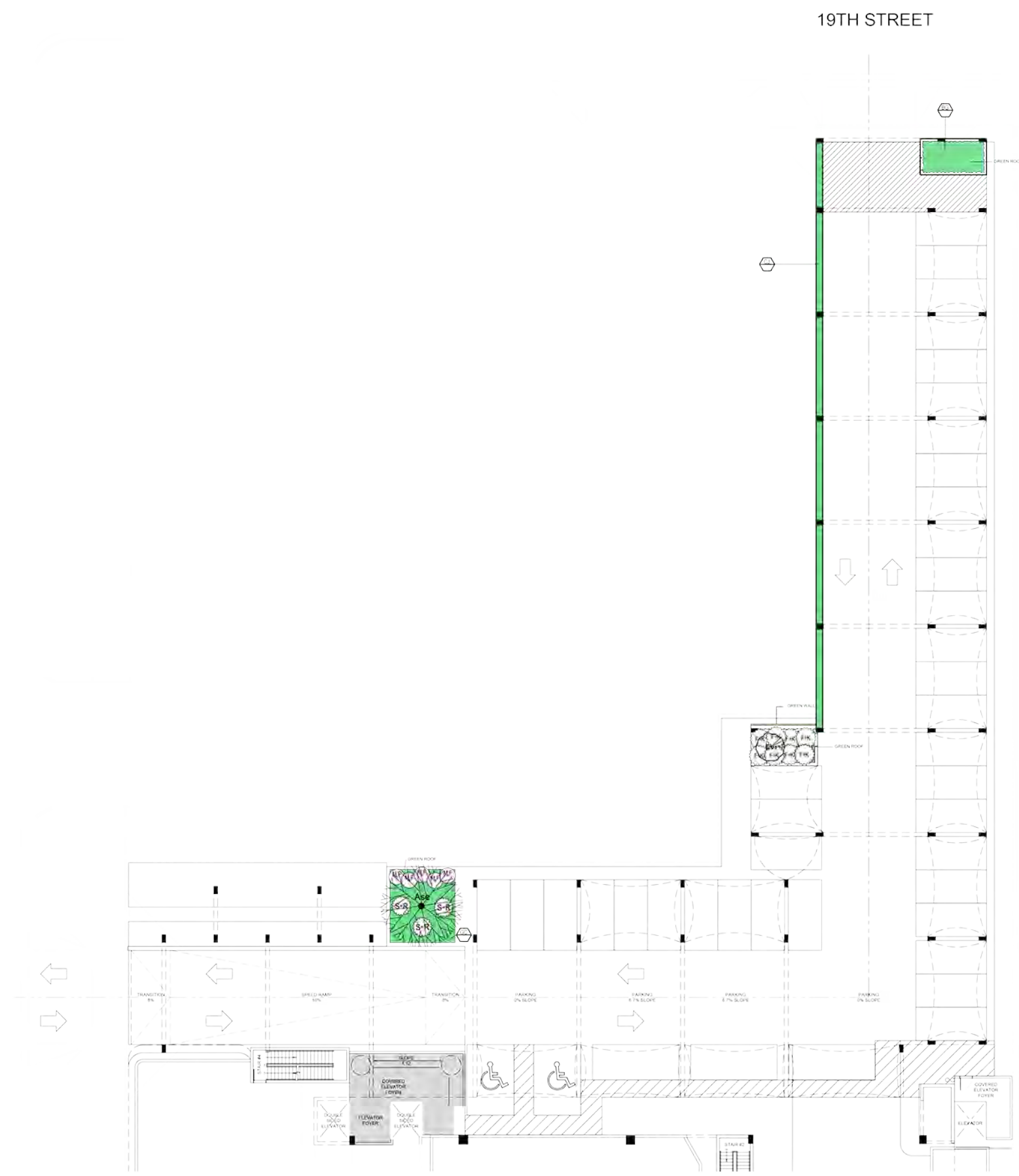
PROJECT #:
DRAWN BY: AJ
CHECKED BY: VF
DATE: 3.8.2021
DISCIPLINE / SHEET TITLE
PROPOSED GROUND FLOOR PLANTING PLAN
SHEET NUMBER:
LP-1.0

PLANT SYMBOLS

-  RED ACACIA TREE Ase
-  LIGNUM VITAE Lvi
-  SHRUB TYPE 1
-  SHRUB TYPE 2
-  GROUNDCOVER
-  GENERAL PLANTING AREA
-  PLANTING BED

PROPOSED PLANT LIST						
SYM	BOTANICAL NAME	COMMON NAME	SPEC	NATIVE	DROUGHT	QTY
TREES + PALMS						
Lvi	<i>Lignum vitae sanctum</i>	Guaiacum Tree	5' HT 2" DBH	*	*	1
	<i>Acacia seyal</i>	Red acacia Tree	12' ht x 2"DBH SPECIMEN	*	*	
SHRUBS + ACENTS						
SR	<i>Serenoa Repens</i>	Silver Saw Palmetto	25G @ 4' HT	*	*	3
MF	<i>Myrcianthes fragrans</i>	Simpson Stopper	25G	*	*	2
FK	<i>Pennisetum jakahatchee</i>	Fakahatchee	3 GAL	*	*	8
GROUNDCOVERS						
GC	<i>Ernodea littoralis</i>	Golden Creeper	1 GAL @ 18" OC	*	*	33
BG	<i>Bougainvillea</i>	Bougainvillea	7 GAL @ 24" OC			2
	Top Soil	50/50	5"-6" Deep	*		15.09 CY
	Mulch	Pine Straw	3" Deep. Roll Edges			7.55 CY

MULTILEVEL GREEN ROOF COVERAGE		
1.5 LEVEL		
EXISTING ROOF (SF)		12,128 SF
NEW ROOF (SF)		5,151 SF
TOTAL ROOF (SF)		17,279 SF
REQUIRED 50% (SF)		8,640 SF
PROVIDED		687 SF
2ND LEVEL		
EXISTING ROOF (SF)		12,128 SF
NEW ROOF (SF)		5,151 SF
TOTAL ROOF (SF)		17,279 SF
REQUIRED 50% (SF)		8,640 SF
PROVIDED		330 SF
3RD LEVEL		
EXISTING ROOF (SF)		12,128 SF
NEW ROOF (SF)		5,151 SF
TOTAL ROOF (SF)		17,279 SF
REQUIRED 50% (SF)		8,640 SF
PROVIDED		4,720 SF
4TH LEVEL		
EXISTING ROOF (SF)		12,128 SF
NEW ROOF (SF)		5,151 SF
TOTAL ROOF (SF)		17,279 SF
REQUIRED 50% (SF)		8,640 SF
PROVIDED		2,912 SF
TOTAL		8,649 SF



1.5 LEVEL LANDSCAPE PLAN
Scale: 1/16" = 1'-0"

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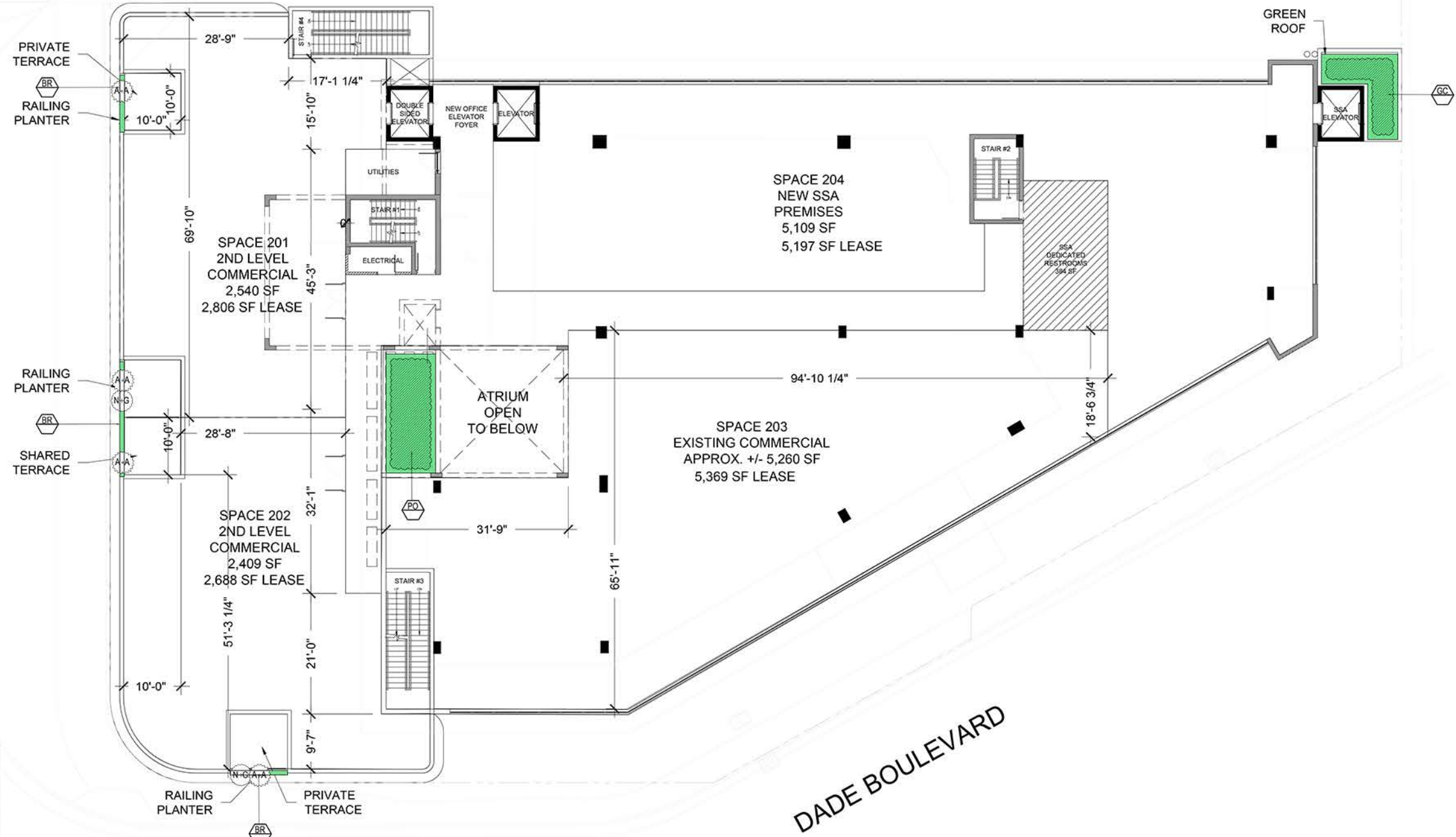
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	#1	2.25.21	DRS LANDSCAPE

PROJECT #:
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DATE: 2.15.2021

DISCIPLINE / SHEET TITLE
**LEVEL 1.5
LANDSCAPE
PLAN**

SHEET NUMBER:
LP-2.0

ALTON ROAD
NORTH BOUND



2ND LEVEL LANDSCAPE PLAN
Scale: 3/32" = 1'-0"

MULTILEVEL GREEN ROOF COVERAGE

1.5 LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	687 SF
2ND LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	330 SF
3RD LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	4,720 SF
4TH LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	2,912 SF
TOTAL	8,649 SF

PLANT SYMBOLS

- SHRUB TYPE 1
- SHRUB TYPE 2
- GROUNDCOVER
- GENERAL PLANTING AREA
- PLANTING BED

PROPOSED PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME	SPEC	NATIVE	DROUGHT	QTY
SHRUBS + ACENTS						
AA	<i>Agave attenuata</i>	Spineless Agave	15G @ 2' HT		*	8
NG	<i>Neomarica gracilis</i>	Apostle's Iris	7 GAL			8
GROUNDCOVERS						
GC	<i>Ernodea littoralis</i>	Golden Creeper	1 GAL @ 18" OC	*	*	30
BR	<i>Barleria repens</i>	Purple Coral Creeper	1 GAL @ 12" OC	*	*	27
PO	<i>Peperomia obtusifolia</i>	Peperomia	1 GAL @ 12" OC			34
	Top Soil	50/50	5"-6" Deep	*		3.34 CY
	Mulch	Pine Straw	3" Deep. Roll Edges			6.69 CY

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1801 Alton Rd., Miami Beach, FL 33141

SHEET ISSUE:
REV # DATE DESCRIPTION
#1 2.26.21 DRG LANDSCAPE

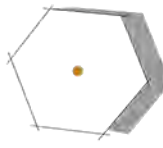


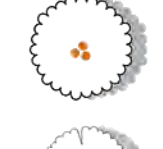

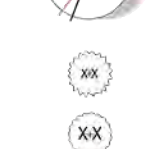





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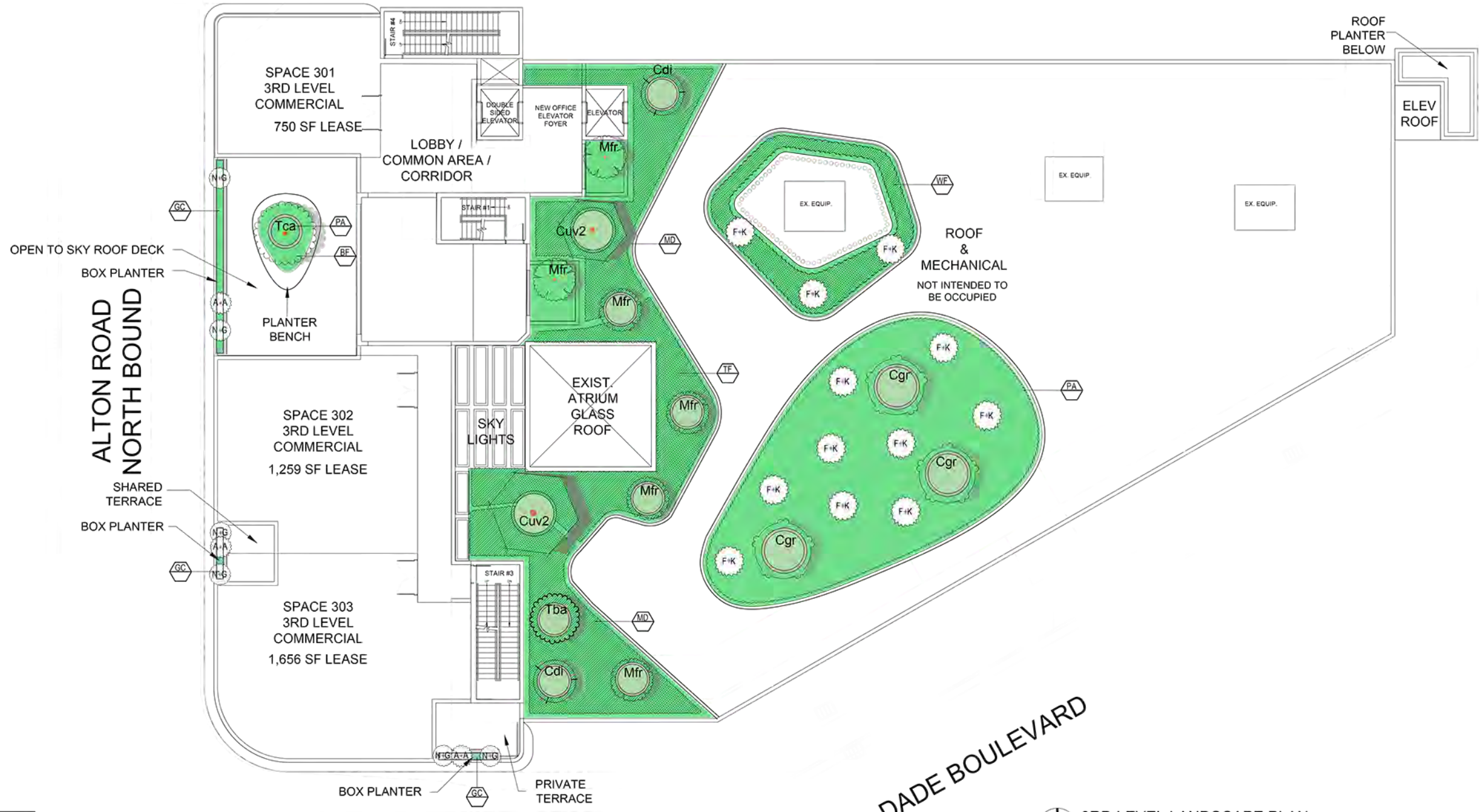
DISCIPLINE / SHEET TITLE:
LEVEL 2
LANDSCAPE
PLAN

SHEET NUMBER:

LP-3.0

PLANT SYMBOLS

-  Coccoloba uvifera Cuv2
-  Yellow tabebuia Tca
-  Caesalpinia granadillo Cgr
-  Tabebuia bahamensis Tba
-  Myrcianthes fragrans Mfr
-  Coccoloba diversifolia Cdi
-  SHRUB TYPE 1
-  SHRUB TYPE 2
-  GROUNDCOVER
-  GENERAL PLANTING AREA
-  PLANTING BED



3RD LEVEL LANDSCAPE PLAN
Scale: 3/32" = 1'-0"

MULTILEVEL GREEN ROOF COVERAGE

1.5 LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	687 SF
2ND LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	330 SF
3RD LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	4,720 SF
4TH LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	2,912 SF
TOTAL	8,649 SF

PROPOSED PLANT LIST						
SYM	BOTANICAL NAME	COMMON NAME	SPEC	NATIVE	DROUGHT	QTY
TREES + PALMS						
Tta	<i>Tabebuia caraiba</i>	Yellow Tabebuia Tree	14'-16" HT OA 6"-8" DBH			1
Tba	<i>Tabebuia bahamensis</i>	Bahama Tabebuia Tree	14'-16" HT OA 4"-6" DBH			3
Cdi	<i>Coccoloba diversifolia</i>	Pigeon Plum Tree	12' HT 3" DBH	*	*	15
Cgr	<i>Caesalpinia granadillo</i>	Bridal's Veil Tree	12' OA 2"-3" DBH		*	3
Mfr	<i>Myrcianthes fragrans</i>	Simpson Stopper Tree	65G 8'-10' OA Multi 2"-3" DBH	*		10
Cuv2	<i>Coccoloba uvifera</i>	Sea Grape Tree	16' HT 6"-8" DBH Multi w/ Character	*	*	2
SHRUBS + ACENTS						
AA	<i>Agave attenuata</i>	Spineless Agave	15G @ 2' HT			8
NG	<i>Neomarica gracilis</i>	Apostle's Iris	7 GAL			8
FK	<i>Pennisetum fakahatchee</i>	Fakahatchee	3 GAL	*	*	22
GROUNDCOVERS						
GC	<i>Ernodea littoralis</i>	Golden Creeper	1 GAL @ 18" OC	*	*	26
TF	<i>Tripsacum floridiana</i>	Gamma Grass	3 GAL @ 24" OC	*	*	12
MD	<i>Monstera Deliciosa</i>	Swis Cheese Palm	3 GAL @ 24" OC		*	57
BF	<i>Bulbines frutescens</i>	Bulbines	1 GAL @ 12" OC			15
PA	<i>Pilea glauca</i>	Aquamarine	1 GAL @ 18" OC			80
WF	<i>Microsorium scolopendrium</i>	Wart Fern	1 GAL @ 24" OC			42
	Top Soil	50/50.	5"-6" Deep	*		82.46 CY
	Mulch	Pine Straw	3" Deep. Roll Edges			41.23 CY

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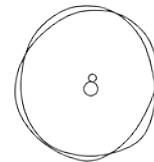
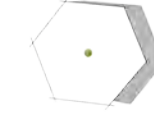





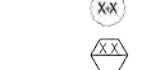


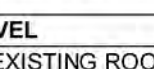

SHEET ISSUE	REV #	DATE	DESCRIPTION
	#1	2.26.21	DRS LANDSCAPE

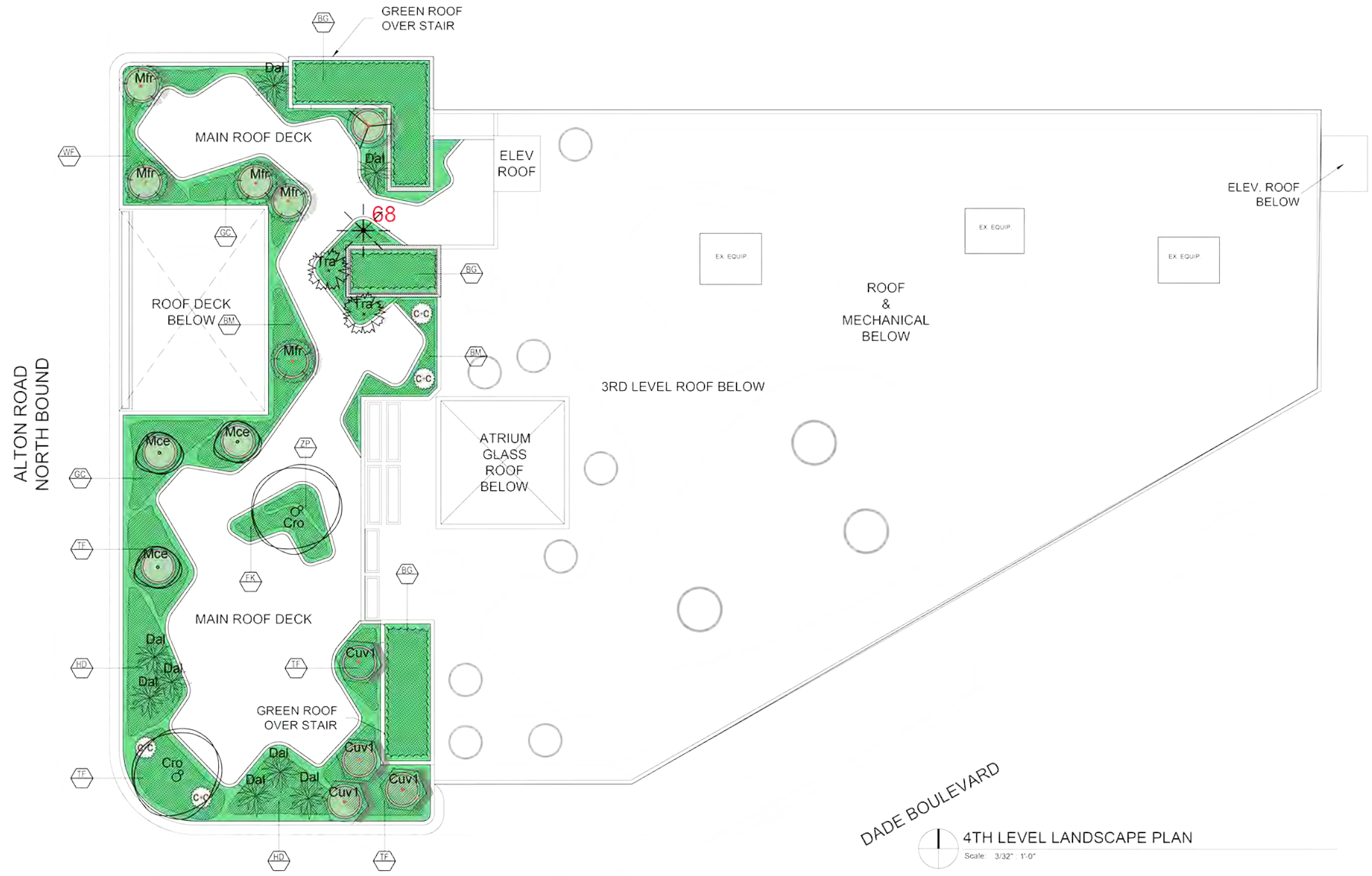
PROJECT #:
DRAWN BY: AJ
CHECKED BY: VF
DATE: 3.8.2021

DISCIPLINE / SHEET TITLE:
**LEVEL 3
LANDSCAPE
PLAN**

SHEET NUMBER:
LP-4.0

PLANT SYMBOLS

-  Clusia Rosea Cro
-  Coccoloba uvifera Cuv1
-  Myrcianthes fragrans Mfr
-  Myrica cerifera Mce
-  Dyctiosperma album Dal
-  Thrinax radiata Tra
-  Coccoloba diversifolia Cdi
-  SHRUB TYPE 1
-  SHRUB TYPE 2
-  GROUNDCOVER
-  GENERAL PLANTING AREA
-  PLANTING BED



MULTILEVEL GREEN ROOF COVERAGE

1.5 LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	687 SF
2ND LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	330 SF
3RD LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	4,720 SF
4TH LEVEL	
EXISTING ROOF (SF)	12,128 SF
NEW ROOF (SF)	5,151 SF
TOTAL ROOF (SF)	17,279 SF
REQUIRED 50% (SF)	8,640 SF
PROVIDED	2,912 SF
TOTAL	8,649 SF MORE THAN 50%

PROPOSED PLANT LIST						
SYM	BOTANICAL NAME	COMMON NAME	SPEC	NATIVE	DROUGHT	QTY
TREES + PALMS						
Cro	<i>Clusia rosea</i>	Autograph Tree	16-18' OA HT w/ character 4"-6" DBH	*		2
Dal	<i>Dyctiosperma album</i>	Princess Palm	8'-9' OA HT			8
Tra	<i>Thrinax radiata</i>	Thatch Palm	10'-14' OA	*	*	3
Cdi	<i>Coccoloba diversifolia</i>	Pigeon Plum Tree	12' HT 3" DBH	*	*	1
Mce	<i>Myrica cerifera</i>	Wax Myrtle Tree	65G 8'-10' OA Multi 2"-3" DBH	*	*	3
Mfr	<i>Myrcianthes fragrans</i>	Simpson Stopper Tree	65G 8'-10' OA Multi 2"-3" DBH	*		5
Cuv1	<i>Coccoloba uvifera</i>	Sea Grape Tree	12' HT 2"-3" DBH Multi w/ Character	*	*	4
SHRUBS + ACENTS						
CC	<i>Capparis cynophallophora</i>	Jamaican Caper	25G	*	*	4
GROUNDCOVERS						
GC	<i>Ernodea littoralis</i>	Golden Creeper	1 GAL @ 18" OC	*	*	21
TF	<i>Tripsacum floridiana</i>	Gamma Grass	3 GAL @ 24" OC	*	*	16
BM	<i>Philodendron</i>	Burle Marx	3 GAL @ 24" OC	*	*	52
BG	<i>Bougainvillea</i>	Bougainvillea	7 GAL @ 36" OC			3
ZP	<i>Zamia pumila</i>	Coontie	3 GAL @ 24" OC	*	*	35
HD	<i>Helianthus debilis</i>	Dune Sunflower	1 GAL @ 18" OC			85
WF	<i>Microsorium scolopendrium</i>	Wart Fern	1 GAL @ 24" OC			74
	Top Soil	50/50	5"-6" Deep	*		25.56 CY
	Mulch	Pine Straw	3" Deep. Roll Edges			51.11 CY

GREEN ROOF: 50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. SEE ROOF AREA CALCULATION SHOWING COMPLIANCE IN TABLE ON THIS SHEET.

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SHEET ISSUE
REV # DATE DESCRIPTION
#1 2.26.21 DR.LANDSCAPE

PROJECT #:
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CHECKED BY: VF
DATE: 3.8.2021

DISCIPLINE / SHEET TITLE
LEVEL 4
LANDSCAPE
PLAN

SHEET NUMBER:
LP-5.0



GUMBO LIMBO



PACHIRA AQUATICA



BAHAMA TABEBUIA



SABAL PALM



SIMPSON STOPPER



ROYAL PALM



SILVER SAW PALMETTO



GREEN THATCH PALM



MYRSINE GUIANENSIS



WAX MYRTLE



SILVER BUTTONWOOD



CLUSIA GUTTIFERA



PORTEA JUNGLES



COONTIE



PHILODENDRON GIGANTEUM

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SHEET ISSUE:		
REV #	DATE	DESCRIPTION
#1	2.24.21	DRS LANDSCAPE

PROJECT #:
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CHECKED BY: VF
DATE: 3.8.2021

DISCIPLINE / SHEET TITLE:
REFERENCE
PLANT
IMAGES

SHEET NUMBER:
LP-6.0