

COMMERCIAL ADDITION

TO AN EXISTING COMMERCIAL BUILDING

1801 ALTON ROAD

MIAMI BEACH, 33139

FINAL SUBMITTAL
DRB20-0553 1801 ALTON ROAD MARCH 08, 2021

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ARCHITECTURAL

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DIGITAL SIGNATURE:

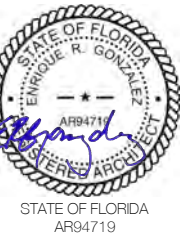
SCOPE OF WORK

1. DEMOLISH EXISTING PARKING AND AREAS OF EXISTING BUILDING
2. ADD AN ADDITIONAL THREE STORY OFFICE AND COMMERCIAL BUILDING TO THE WEST OF THE EXISTING BUILDING
3. ADD A TWO LEVEL PARKING FACILITY
4. REMODEL THE EXISTING BUILDING TENANT AND UTILITY SPACES
5. SITE IMPROVEMENTS TO ACCOMMODATE CITY OF MIAMI BEACH AND F.D.O.T.

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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



COMMERCIAL ADDITION
TO EXISTING BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

02-16-2021
FIRST SUB

03-08-2021
FINAL SUB

A000

ZONING DATA SHEET

1 of 2

MIAMIBEACH

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305.673.7550

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2 of 2

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1801 ALTON ROAD, MIAMI BEACH FLORIDA 33139		
2	Board and file numbers :	DRB20-0553		
3	Folio number(s):	02-3233-012-0090		
4	Year constructed:	1982	Zoning District / Overlay:	CD-1 LOW INTENSITY INTENSITY DISTRICT
5	Based Flood Elevation:	AE8 8.0' N.G.V.D.	Grade value in NGVD:	4.3' NGVD
6	Lot Area:	46,845 SF (SURVEY)	Lot Depth:	IRREG. 296'-10"
7	Lot width:	IRREG. 225'-0"		
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing use:	COMMERCIAL / OFFICE	Proposed use:	COMMERCIAL / OFFICE
		Maximum	Existing	Proposed
10	Height:	40'-0"	38'-0"	45'-0" W/ DESIGN WAIVER
11	Number of Stories:	N/A	TWO (2)	THREE (3)
12	FAR:	46,845	22,071	43,792
13	Gross square footage:	N/A	25,030	82,492 W/PARKING
14	Square Footage by use:	N/A	18,951	29,592
15	Number of units Residential:	N/A		
16	Number of units Hotel:	N/A		
17	Number of seats:	N/A		
18	Occupancy load:	N/A		
19	Density (per Comprehensive Plan):	N/A		
		Required	Existing	Proposed
	Subterranean:			
20	Front Setback:	0'-0"	26'-10"	1'-8"
21	Side Setback:	0'-0"	15'-3"	0'-0"
22	Side Setback:	0'-0"	57'-0"	0'-0"
23	Side Setback facing street:	0'-0"	8'-8"	1'-8"
24	Rear Setback:	0'-0"	N/A	0'-0"
	At Grade Parking:			
25	Front Setback:	5'-0"	7'-0"	6'-6"
26	Side Setback:	5'-0"	7'-0"	6'-6"
27	Side Setback:	5'-0"		
28	Side Setback facing street:	5'-0"		
29	Rear Setback:			
	Pedestal:			
30	Front Setback:	N/A		
31	Side Setback:	N/A		
32	Side Setback:	N/A		
33	Side Setback facing street:	N/A		
34	Rear Setback:	N/A		
	Tower:			
35	Front Setback:	N/A		
36	Side Setback:	N/A		
37	Side Setback:	N/A		
38	Side Setback facing street:	N/A		
39	Rear Setback:	N/A		

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	#1			
41	Total number of parking spaces:	83	55	85	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	83	55	85	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	55 SURFACE LOT	43 GROUND LEVEL 42 ELEVATED LEVEL	
44	Parking Space Dimensions:	8'-6" X 18'-0"	8'-6" X 18'-0"	8'-6" X 18'-0"	
45	Parking Space configuration (45°, 60°, 90°, Parallel):	90 DEGREE	90 DEGREE	90 DEGREE	
46	ADA Spaces:	4	3	5	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	22'-0"	22'-0"	23'-6"	
49	Valet drop off and pick up:	N/A			
50	Loading spaces:	1	0	2	1
51	Trash collection area:	1	0	1	
52	Short-term Bicycle Parking, location and Number of racks:	1	0	1	
53	Long-Term Bicycle Parking, location and Number of racks:	0	0	0	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	N/A	N/A	
55	Number of seats located outside on private property:	N/A	N/A	N/A	
56	Number of seats inside:	N/A	N/A	N/A	
57	Total number of seats:	N/A	N/A	N/A	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
59	Total occupant content:	N/A	N/A	N/A	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
61	Proposed hours of operation:	N/A			
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	N/A			
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	N/A			
64	Is this a contributing building?:			NO	
65	Located within a Local Historic District?:			NO	

Notes:
Please write N/A if section is Not Applicable
Any additional data must be presented in the format above

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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT

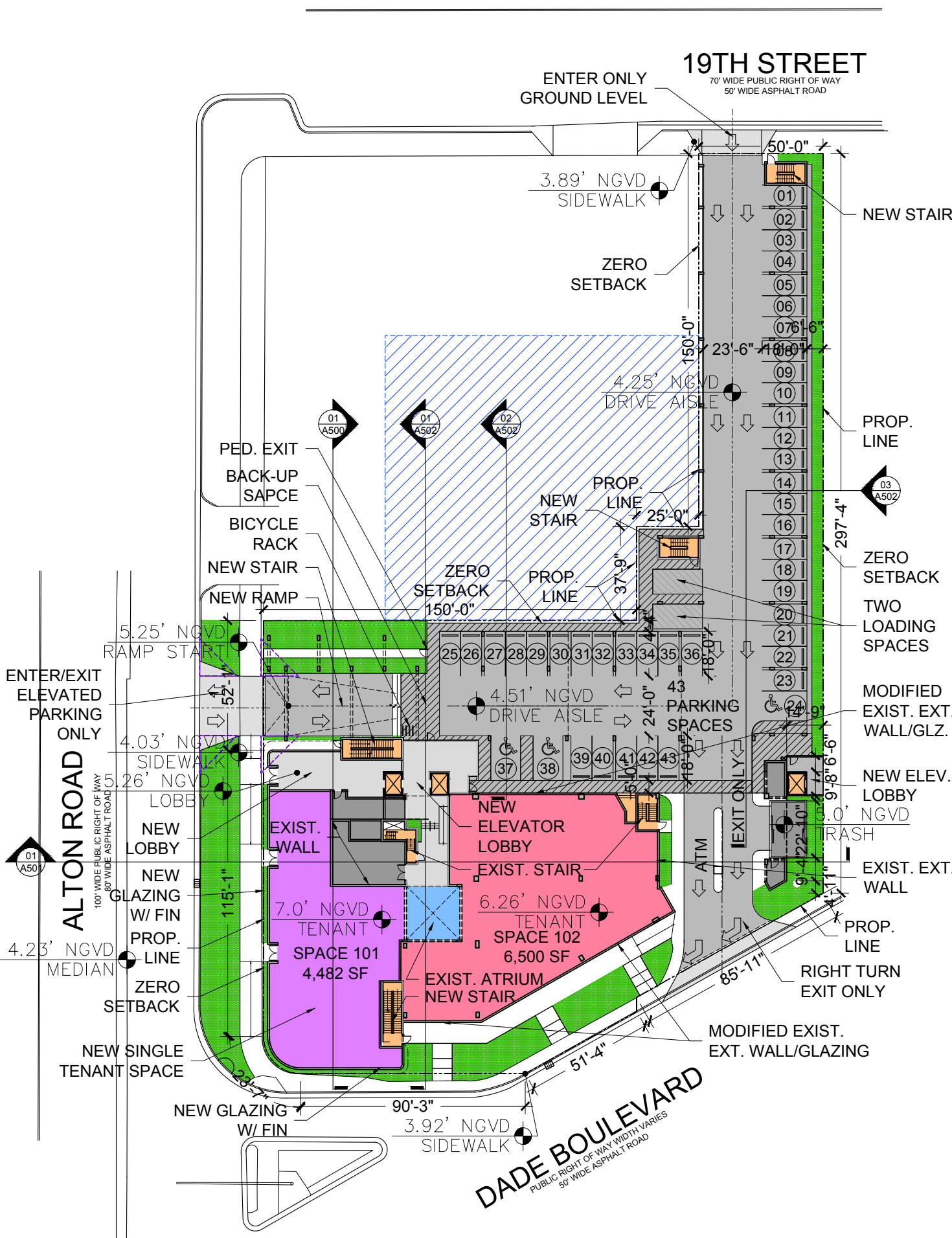


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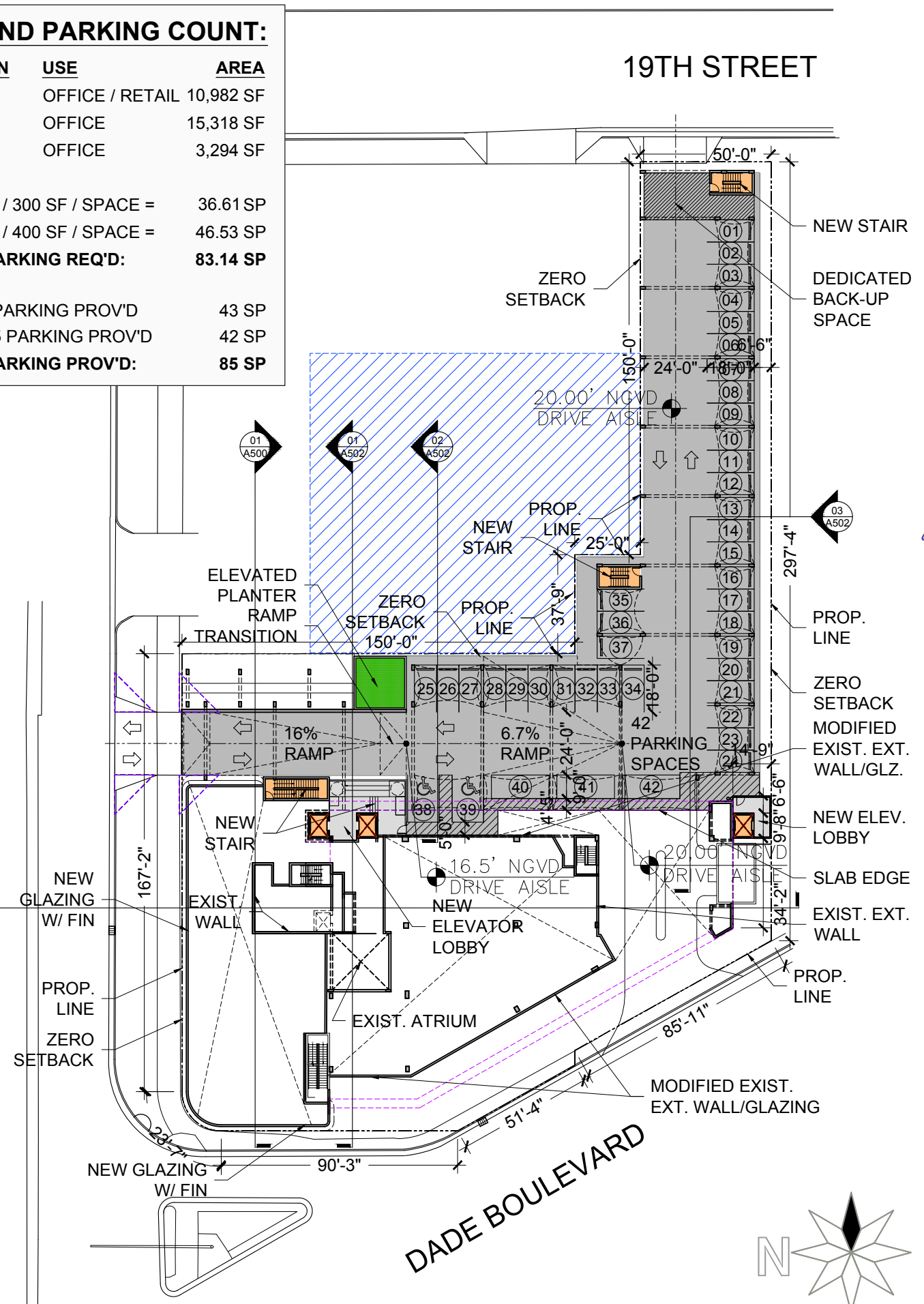
A001



USE AND PARKING COUNT:

LOCATION	USE	AREA
LEVEL 1:	OFFICE / RETAIL	10,982 SF
LEVEL 2:	OFFICE	15,318 SF
LEVEL 3:	OFFICE	3,294 SF
10,982 SF / 300 SF / SPACE =		36.61 SP
18,612 SF / 400 SF / SPACE =		46.53 SP
TOTAL PARKING REQ'D:		83.14 SP
LEVEL 1 PARKING PROV'D		43 SP
LEVEL 1.5 PARKING PROV'D		42 SP
TOTAL PARKING PROV'D:		85 SP

01 PROPOSED GROUND LEVEL SITE PLAN
SCALE: 1" = 50'-0"



02 PROPOSED LEVEL 1.5 PARKING SITE PLAN
SCALE: 1" = 50'-0"

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A010

19TH STREET

GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

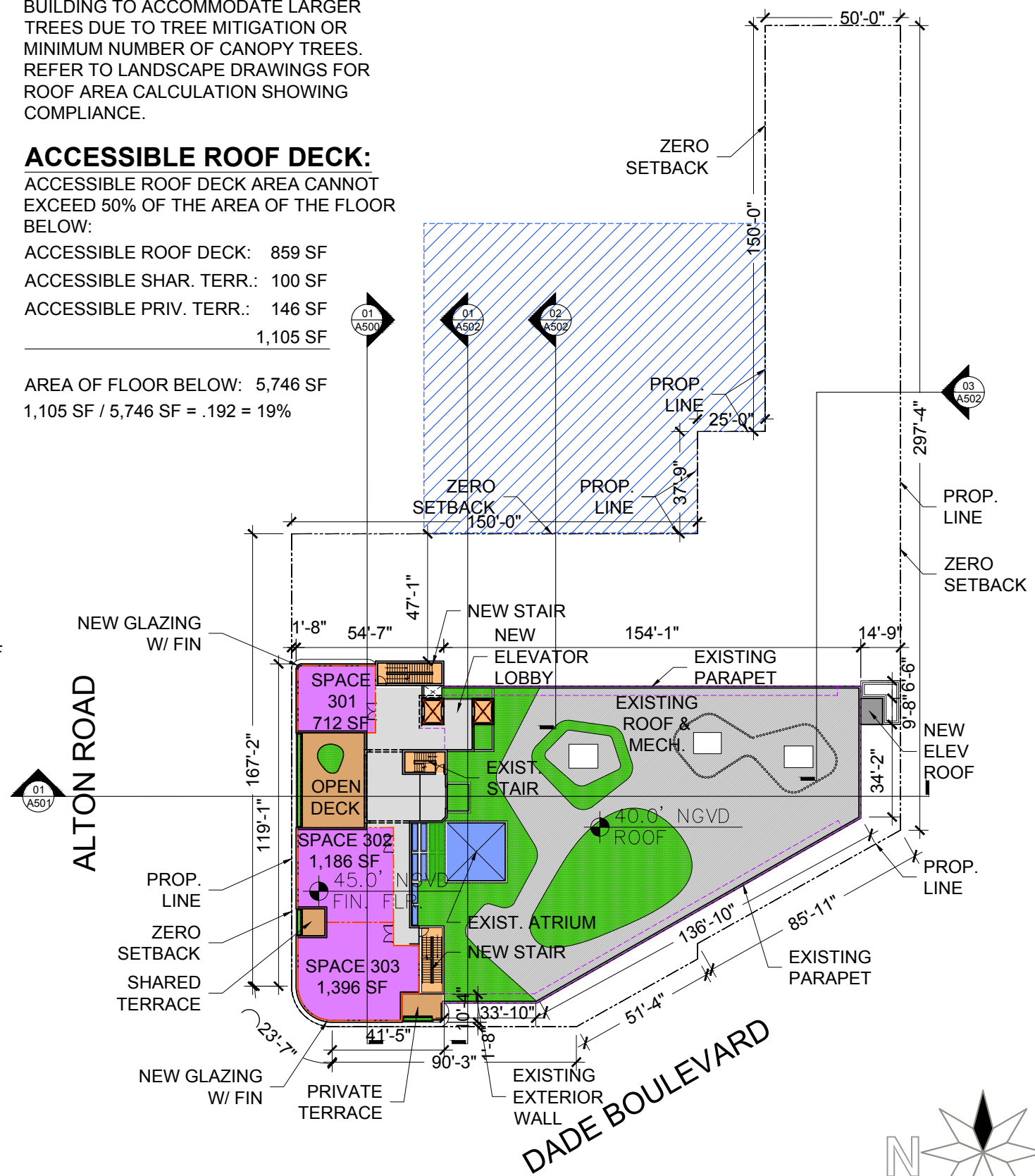
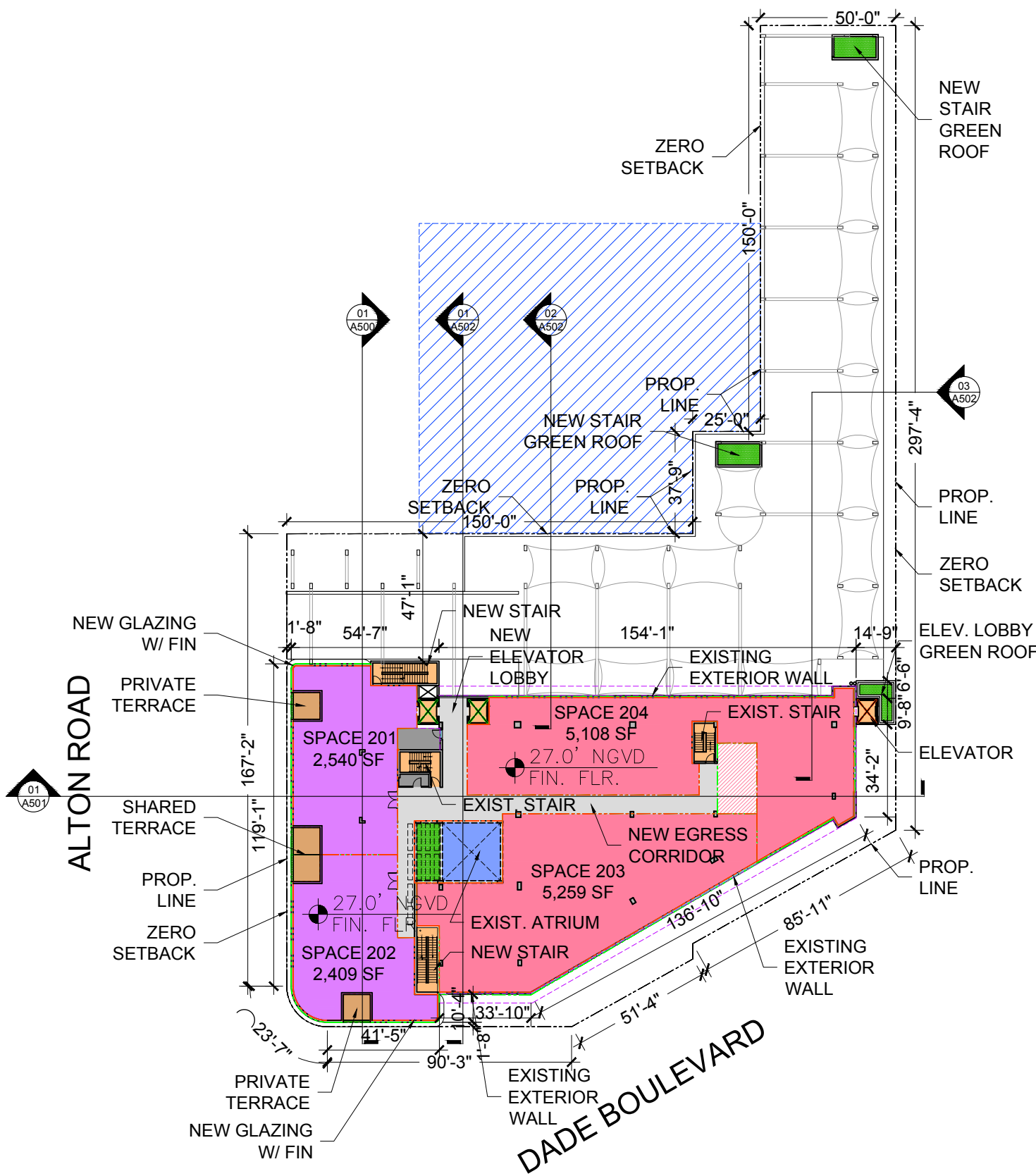
ACCESSIBLE ROOF DECK:

ACCESSIBLE ROOF DECK AREA CANNOT EXCEED 50% OF THE AREA OF THE FLOOR BELOW:

ACCESSIBLE ROOF DECK: 859 SF
 ACCESSIBLE SHAR. TERR.: 100 SF
 ACCESSIBLE PRIV. TERR.: 146 SF
 1,105 SF

AREA OF FLOOR BELOW: 5,746 SF
 1,105 SF / 5,746 SF = .192 = 19%

19TH STREET



01 PROPOSED SECOND LEVEL SITE PLAN
 SCALE: 1" = 50'-0"

02 PROPOSED THIRD LEVEL SITE PLAN
 SCALE: 1" = 50'-0"

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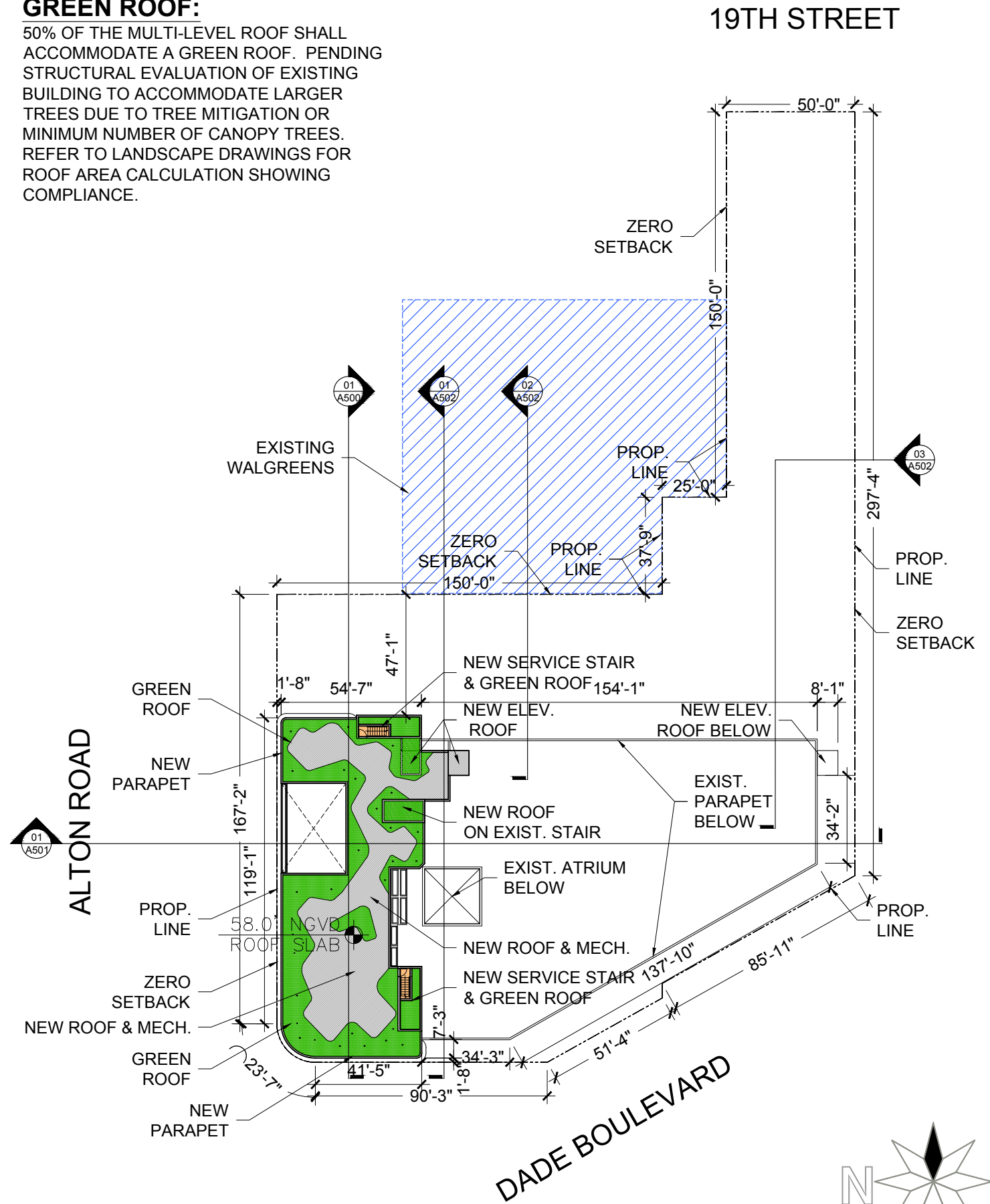
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A011

GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.



01 PROPOSED NEW ROOF PLAN
SCALE: 1" = 50'-0"

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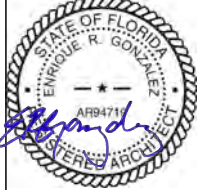
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A020

01 PHOTO MONTAGE RENDER AT ALTON ROAD AND DADE BLVD (LOOKING NORTH EAST)

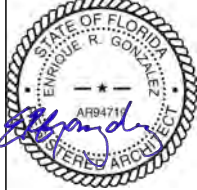


01 NIGHT RENDERING AT ALTON ROAD (LOOKING SOUTH EAST)

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A021



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A022

01 NIGHT RENDERING AT ALTON ROAD (LOOKING EAST)



01 RENDERING AT ALTON ROAD (LOOKING EAST)

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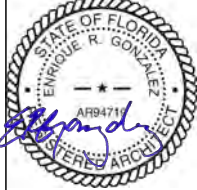


01 STREET VIEW RENDERING AT ALTON AND DADE (LOOKING NORTH)

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A024



01 DUSK RENDERING AT DADE BLVD (LOOKING NORTH)

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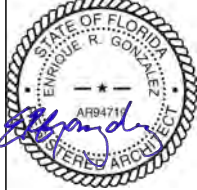


01 NIGHT RENDERING AT DADE BLVD (LOOKING NORTH WEST)

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01 RENDERING AT ALTON ROAD AND DADE BLVD (LOOKING NORTH EAST)

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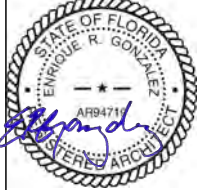


01 DUSK VIEW OF PARKING ENTRANCE FROM 19TH STREET (LOOKING SOUTHWEST)

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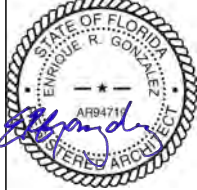


01 DUSK VIEW OF PARKING ENTRANCE FROM 19TH STREET (LOOKING SOUTH)

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2 | DADE BLVD ELEVATION WITH LANDSCAPE
SCALE: 3/64" = 1'-0"



1 | ALTON ROAD ELEVATION WITH LANDSCAPE
SCALE: 3/64" = 1'-0"

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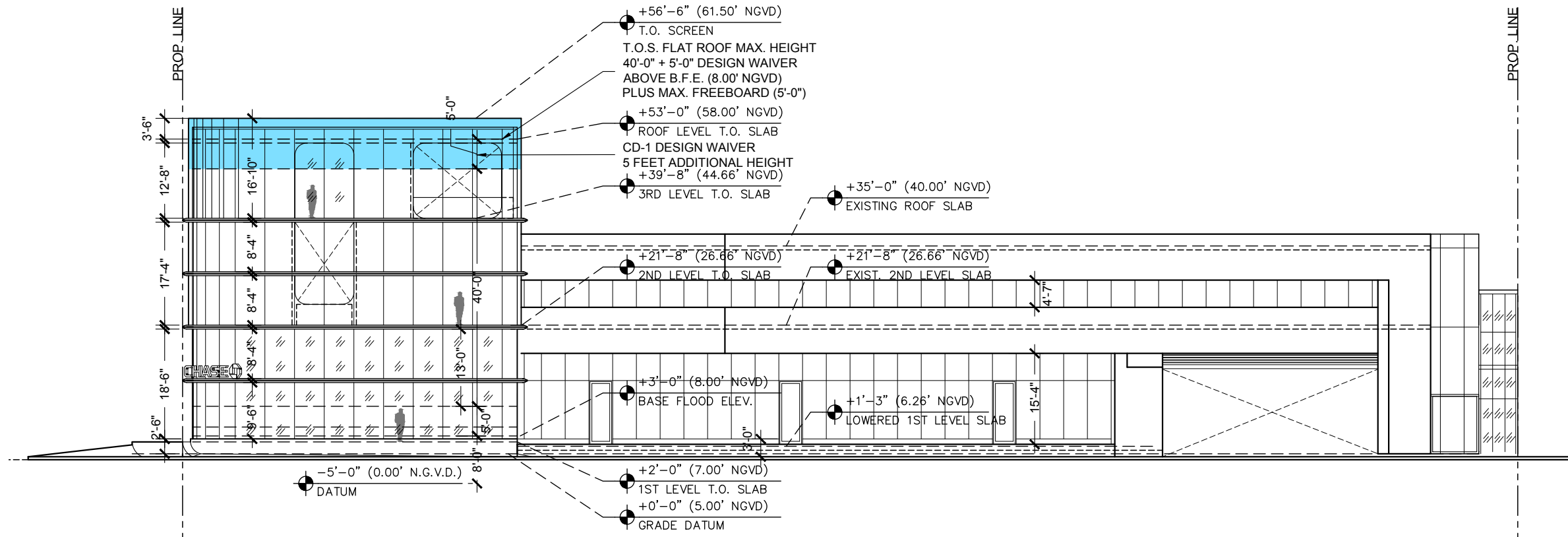
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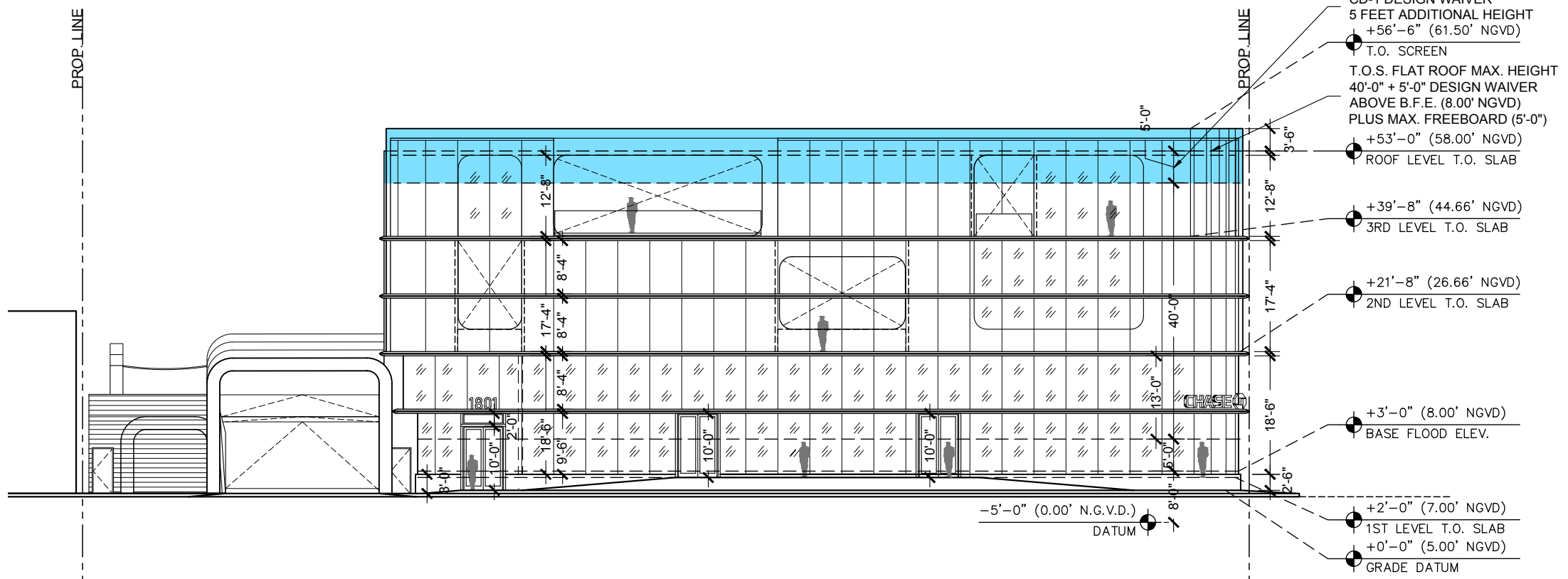
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01 PROPOSED SOUTH ELEVATION WAIVER DIAGRAM
SCALE: 3/64" = 1'-0"



02 PROPOSED WEST ELEVATION WAIVER DIAGRAM
SCALE: 3/64" = 1'-0"

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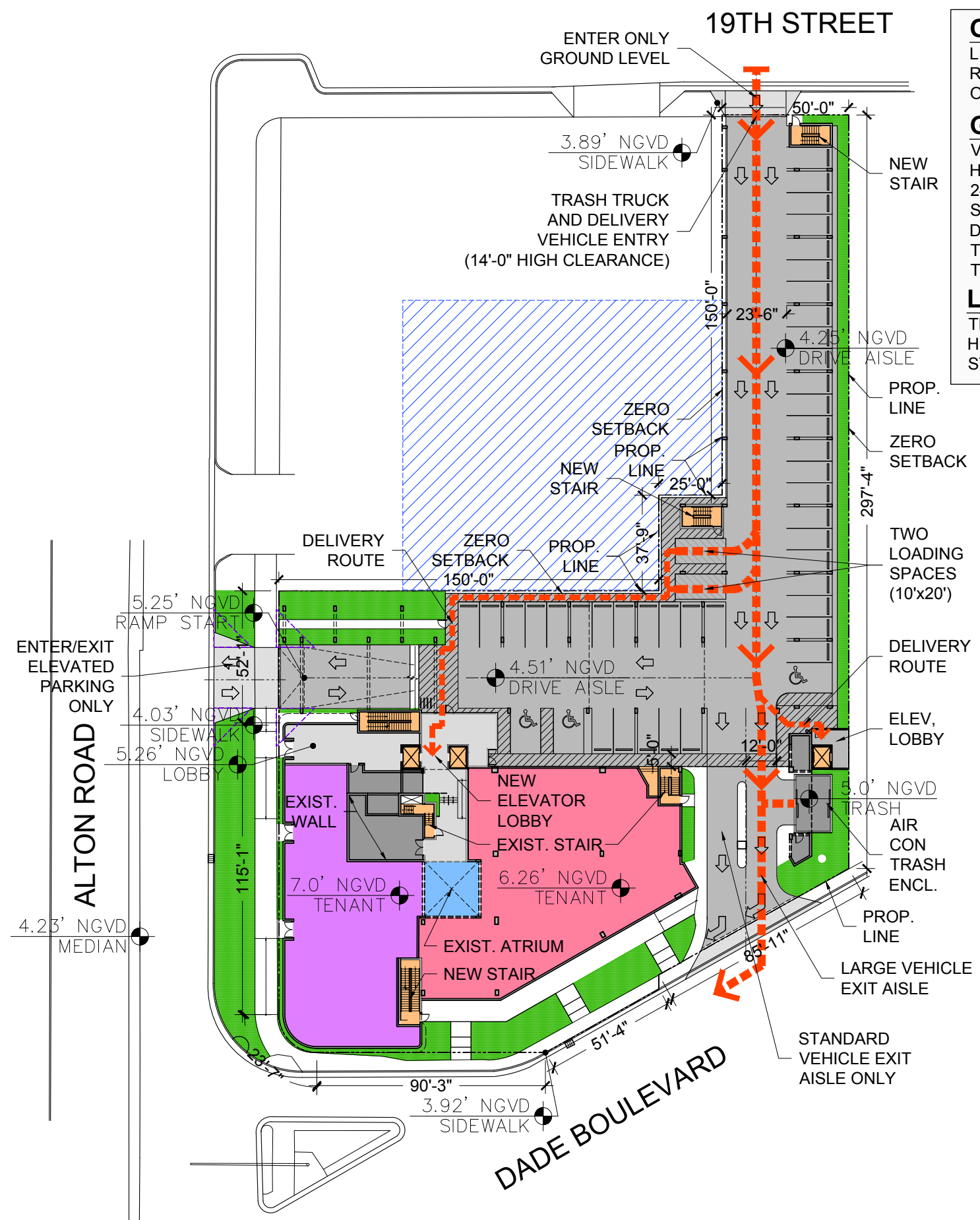
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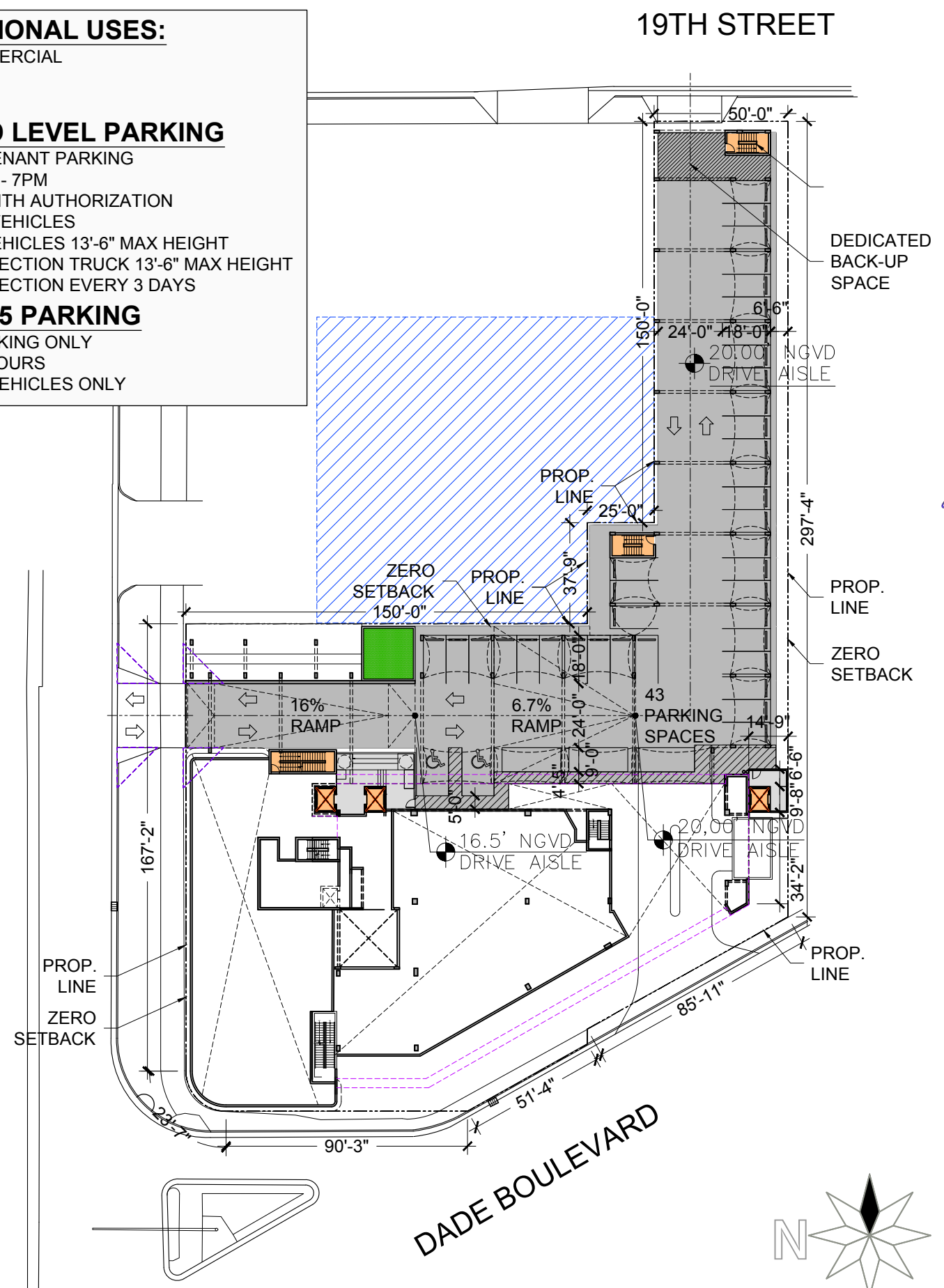


OPERATIONAL USES:
 LIGHT COMMERCIAL
 RETAIL
 OFFICE

GROUND LEVEL PARKING
 VISITOR & TENANT PARKING
 HOURS: 7AM - 7PM
 24 HOURS WITH AUTHORIZATION
 STANDARD VEHICLES
 DELIVERY VEHICLES 13'-6" MAX HEIGHT
 TRASH COLLECTION TRUCK 13'-6" MAX HEIGHT
 TRASH COLLECTION EVERY 3 DAYS

LEVEL 1.5 PARKING
 TENANT PARKING ONLY
 HOURS: 24 HOURS
 STANDARD VEHICLES ONLY

01 GROUND LEVEL OPERATIONAL PLAN
 SCALE: 1" = 50'-0"



02 LEVEL 1.5 PARKING OPERATIONAL PLAN
 SCALE: 1" = 50'-0"

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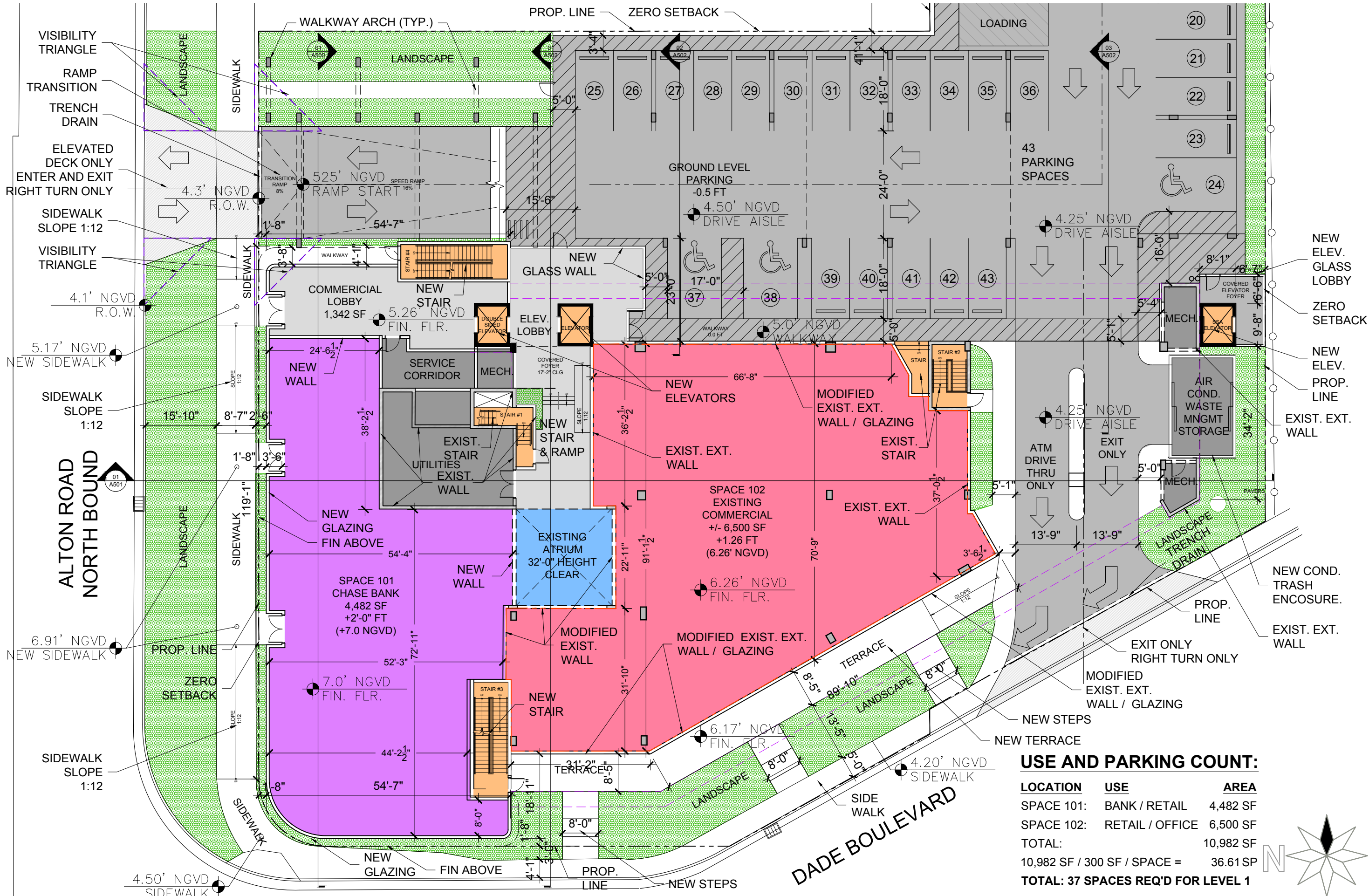
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COMMERCIAL ADDITION
 TO EXISTING BUILDING
 1801 ALTON ROAD
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02-16-2021
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A032



USE AND PARKING COUNT:

LOCATION	USE	AREA
SPACE 101:	BANK / RETAIL	4,482 SF
SPACE 102:	RETAIL / OFFICE	6,500 SF
TOTAL:		10,982 SF
10,982 SF / 300 SF / SPACE =		36.61 SP
TOTAL: 37 SPACES REQ'D FOR LEVEL 1		

01 PROPOSED GROUND LEVEL PLAN
SCALE: 1" = 20'-0"

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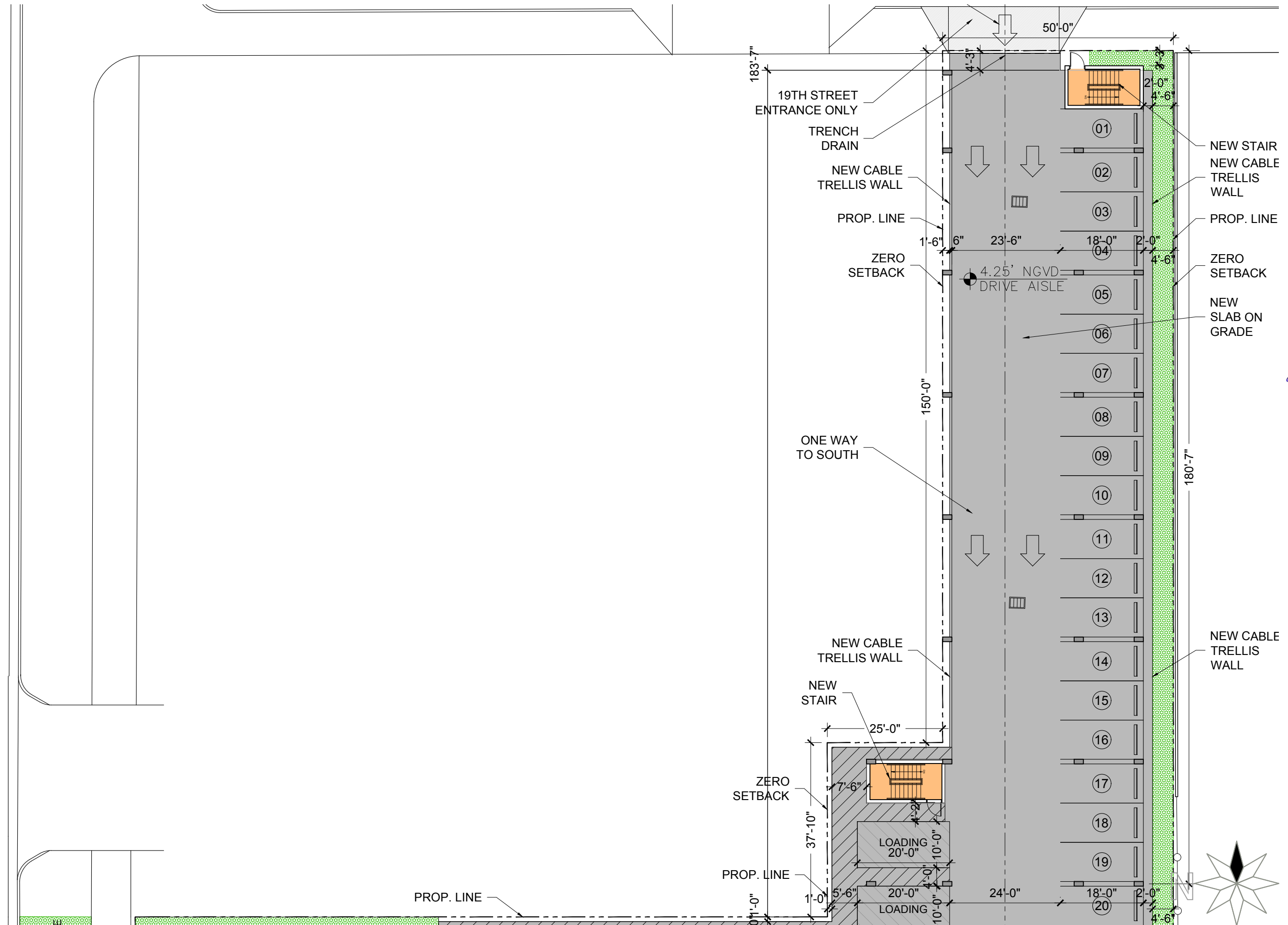
STATE OF FLORIDA
AR94719

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A100



01 PROPOSED GROUND LEVEL PLAN - NORTH
 SCALE: 1" = 20'-0"

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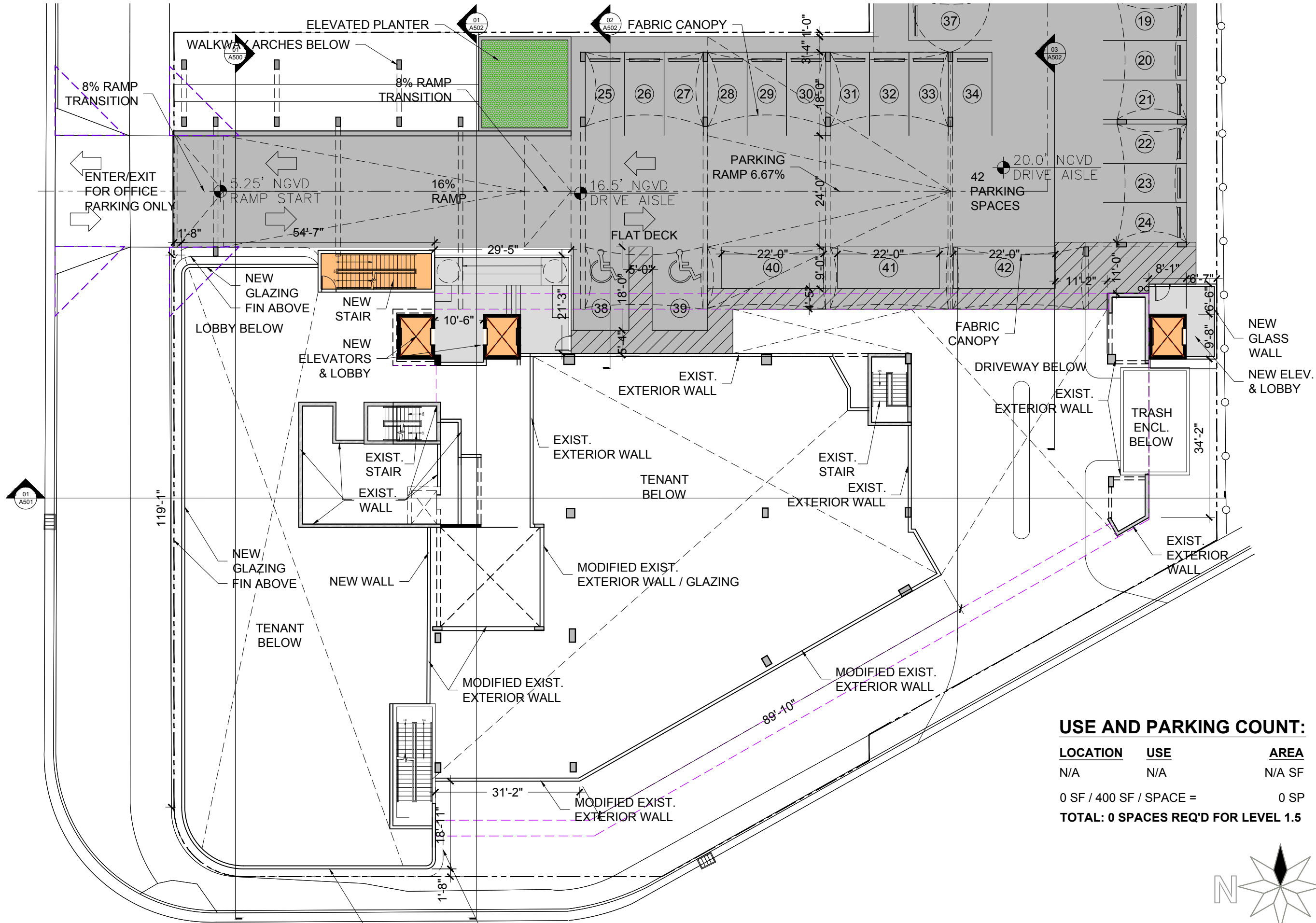
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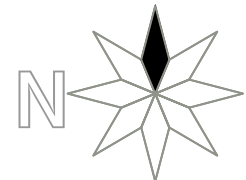
03-08-2021
 FINAL SUB

A101



USE AND PARKING COUNT:

LOCATION	USE	AREA
N/A	N/A	N/A SF
0 SF / 400 SF / SPACE =		0 SP
TOTAL: 0 SPACES REQ'D FOR LEVEL 1.5		



01 PROPOSED LEVEL 1.5 PARKING PLAN
SCALE: 1" = 20'-0"

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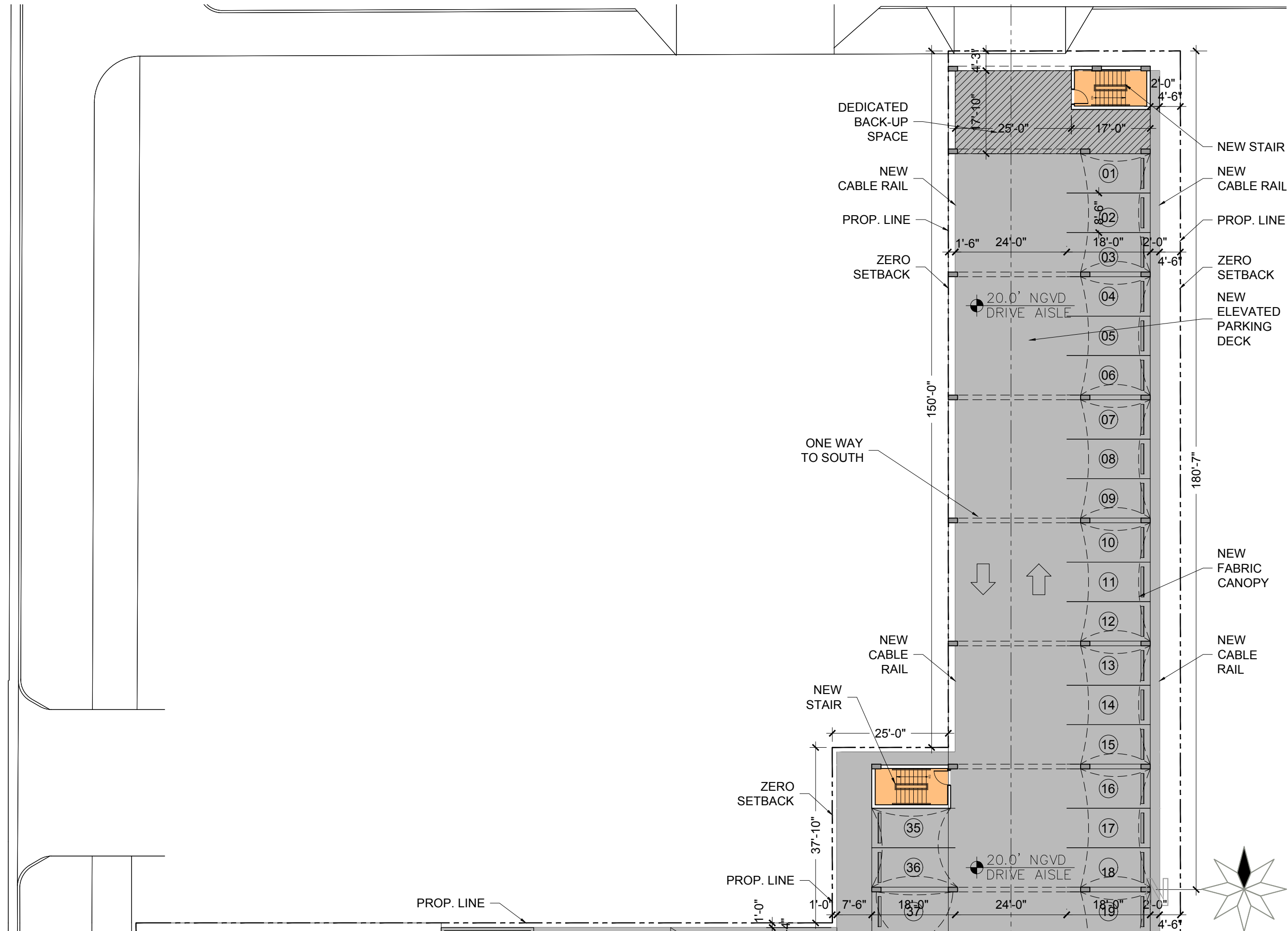
G/A
GONZALEZ ARCHITECTURE

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A102



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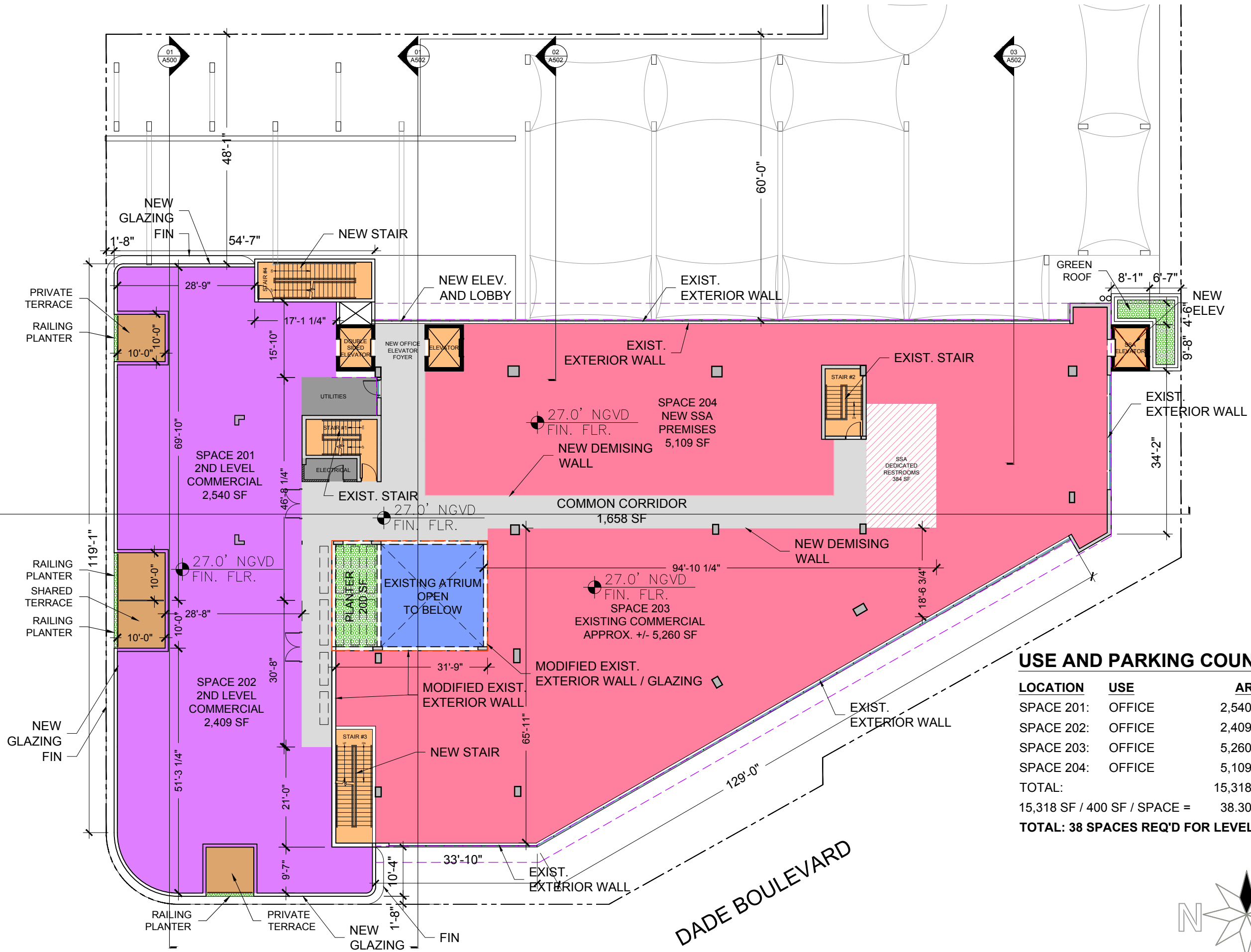
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A103

01 PROPOSED LEVEL 1.5 PARKING PLAN - NORTH
 SCALE: 1" = 20'-0"

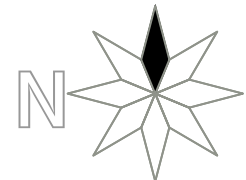
ALTON ROAD
NORTH BOUND



USE AND PARKING COUNT:

LOCATION	USE	AREA
SPACE 201:	OFFICE	2,540 SF
SPACE 202:	OFFICE	2,409 SF
SPACE 203:	OFFICE	5,260 SF
SPACE 204:	OFFICE	5,109 SF
TOTAL:		15,318 SF
15,318 SF / 400 SF / SPACE =		38.30 SP
TOTAL: 38 SPACES REQ'D FOR LEVEL 2		

01 PROPOSED SECOND LEVEL PLAN
SCALE: 1" = 20'-0"



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A104

GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

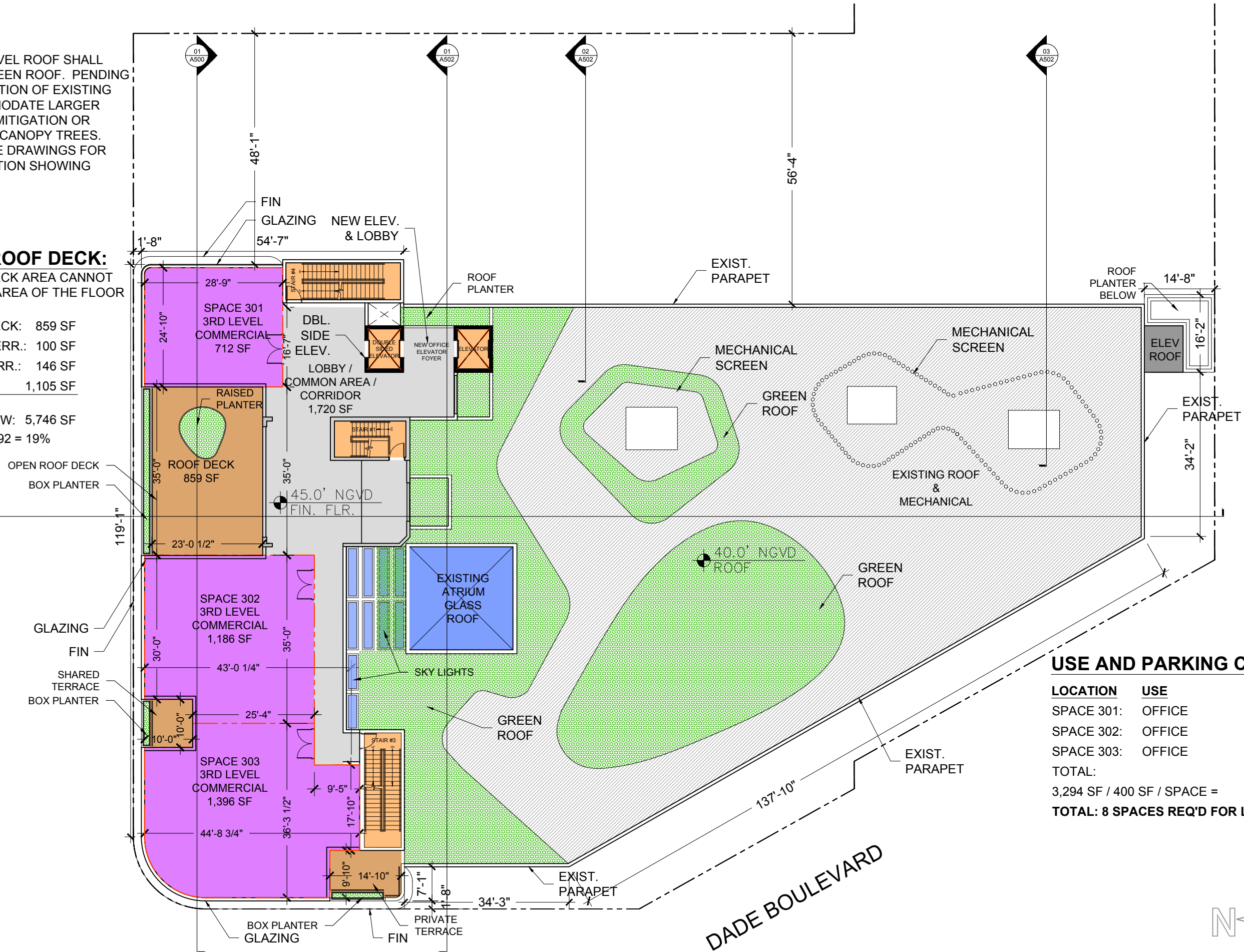
ACCESSIBLE ROOF DECK:

ACCESSIBLE ROOF DECK AREA CANNOT EXCEED 50% OF THE AREA OF THE FLOOR BELOW:

ACCESSIBLE ROOF DECK: 859 SF
 ACCESSIBLE SHAR. TERR.: 100 SF
 ACCESSIBLE PRIV. TERR.: 146 SF
 TOTAL: 1,105 SF

AREA OF FLOOR BELOW: 5,746 SF
 1,105 SF / 5,746 SF = .192 = 19%

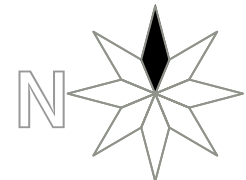
ALTON ROAD
NORTH BOUND



USE AND PARKING COUNT:

LOCATION	USE	AREA
SPACE 301:	OFFICE	712 SF
SPACE 302:	OFFICE	1,186 SF
SPACE 303:	OFFICE	1,136 SF
TOTAL:		3,294 SF
3,294 SF / 400 SF / SPACE =		8.24 SP
TOTAL: 8 SPACES REQ'D FOR LEVEL 3		

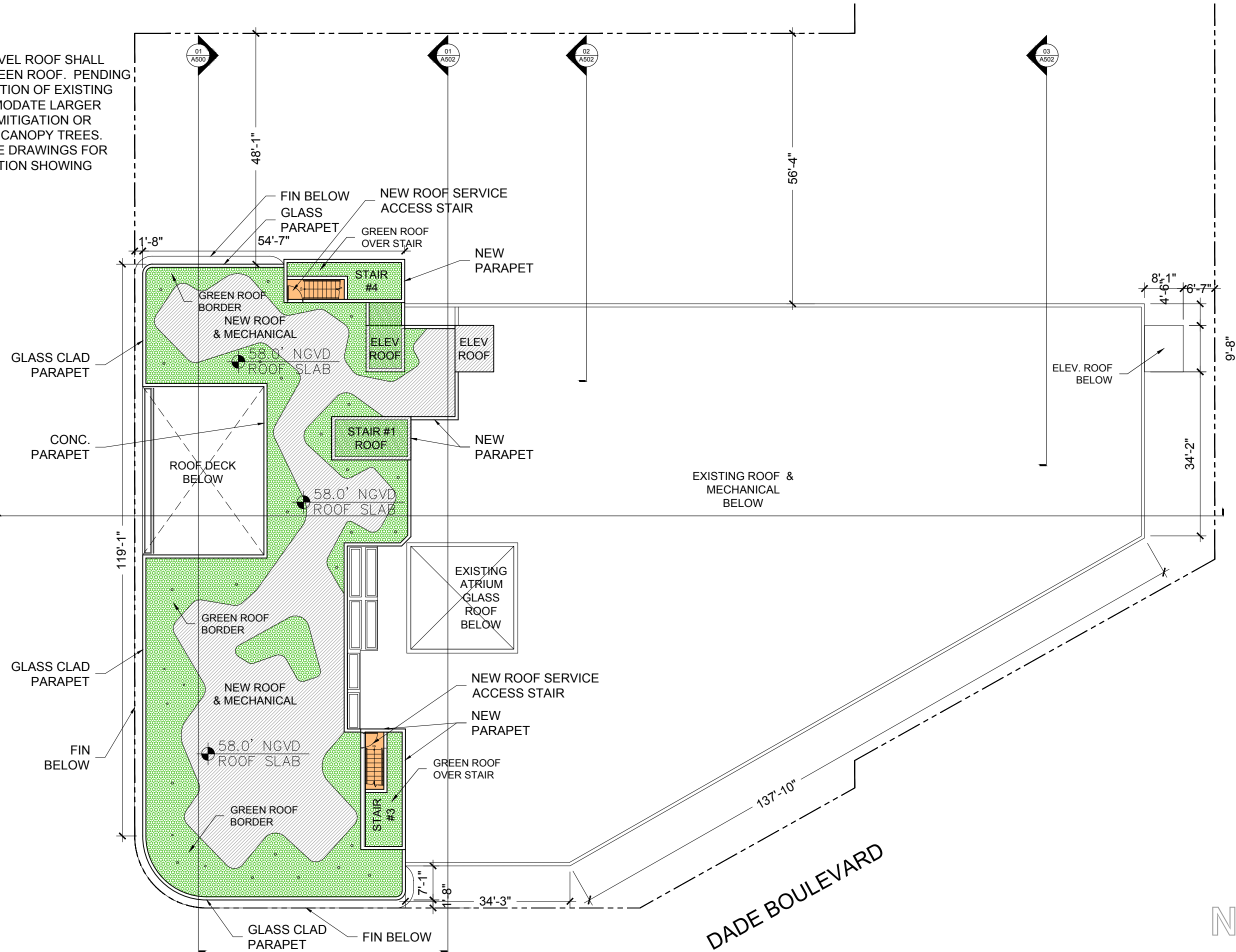
01 PROPOSED THIRD LEVEL PLAN
SCALE: 1" = 20'-0"



GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

ALTON ROAD
NORTH BOUND



01 PROPOSED NEW ROOF PLAN
SCALE: 1" = 20'-0"

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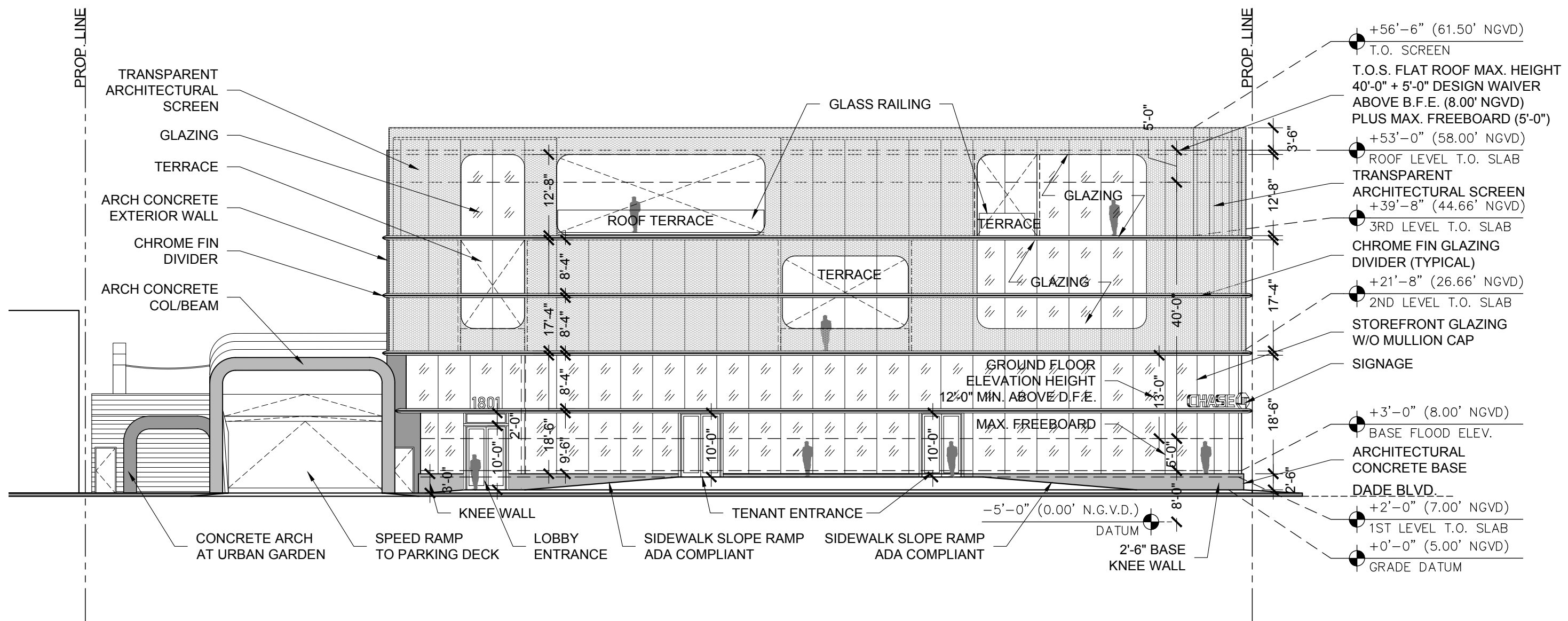
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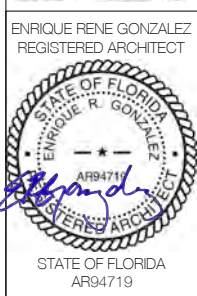
03-08-2021
FINAL SUB

A106

NOTE:
 APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



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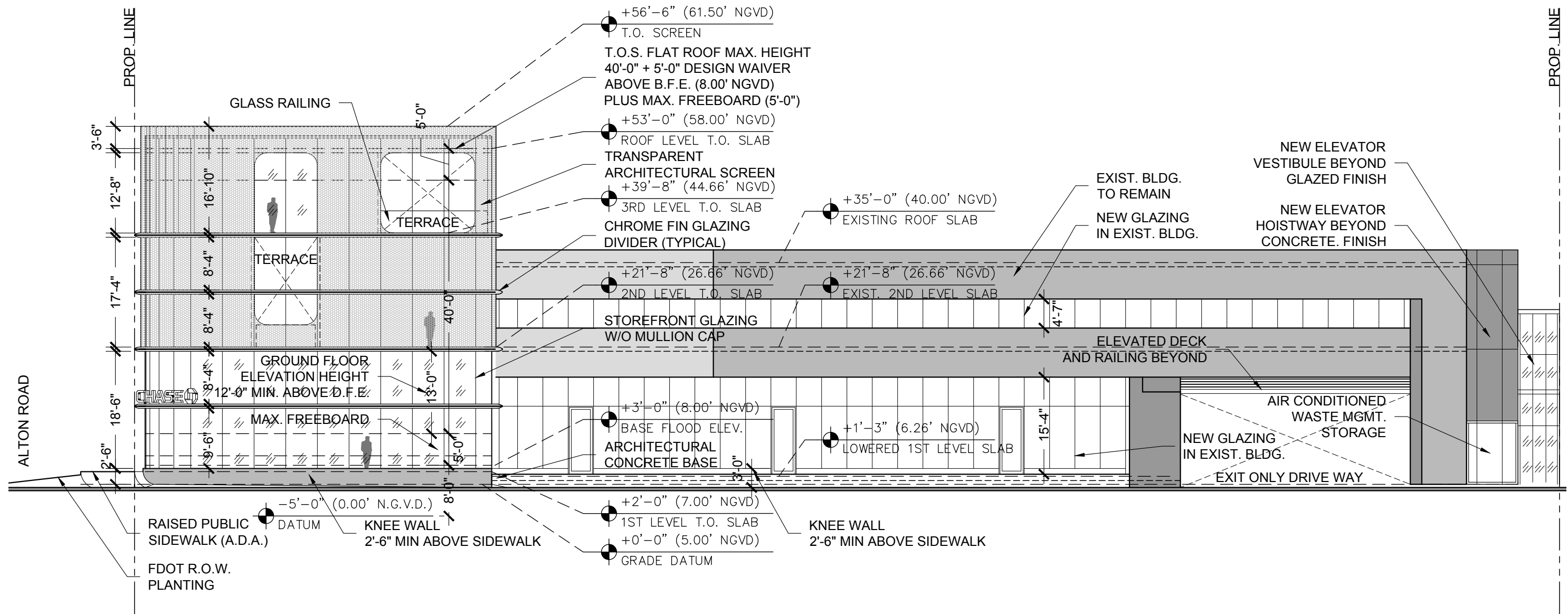
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A400

01 PROPOSED WEST ELEVATION
 SCALE: 1/16" = 1'-0"

NOTE:
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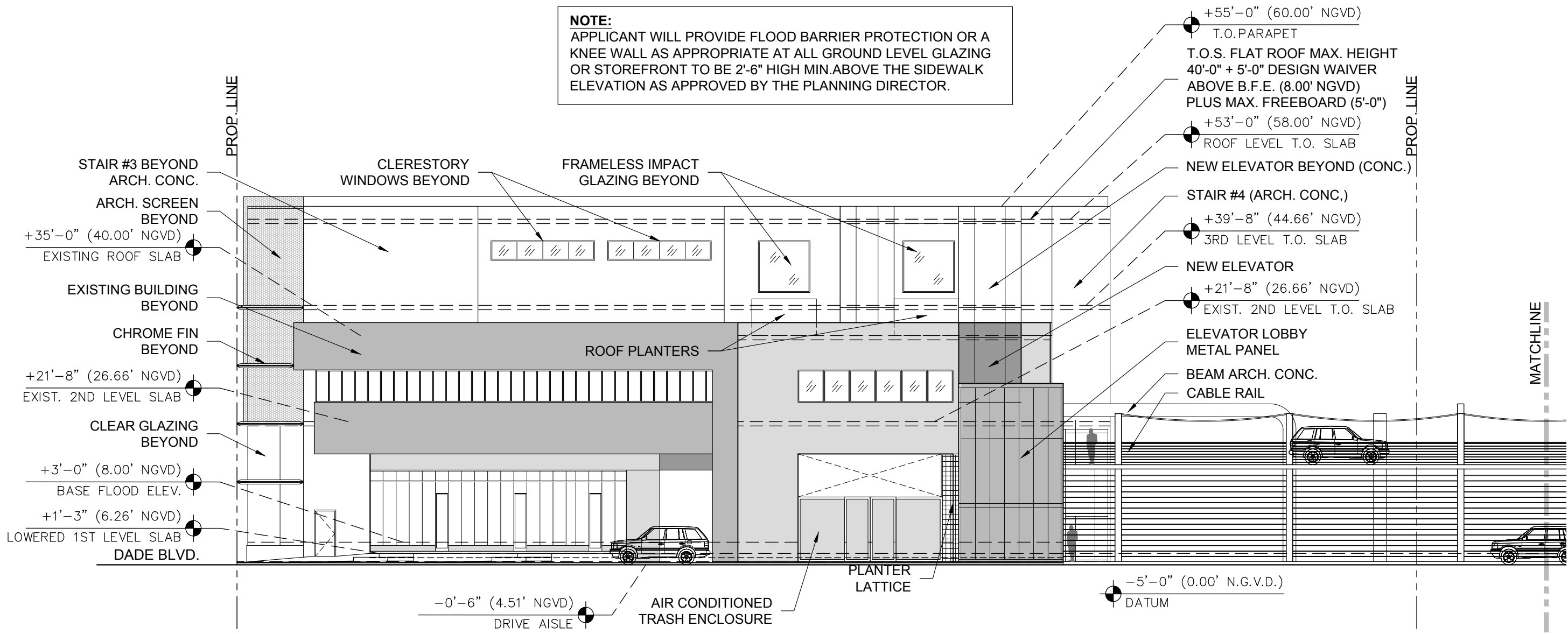
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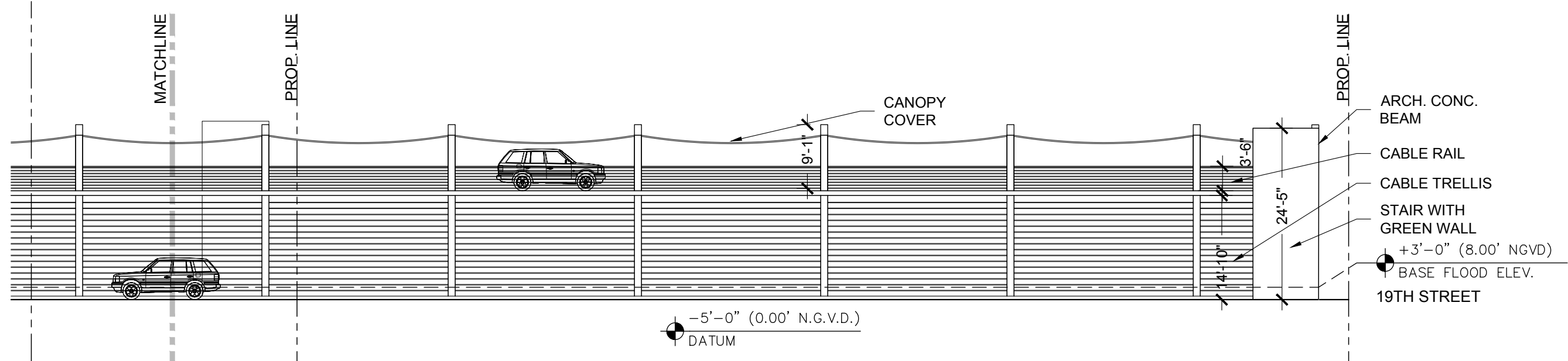
A401

01 PROPOSED SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

NOTE:
 APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



01 PROPOSED EAST ELEVATION
 SCALE: 1/16" = 1'-0"



02 PROPOSED EAST ELEVATION PARKING
 SCALE: 1/16" = 1'-0"

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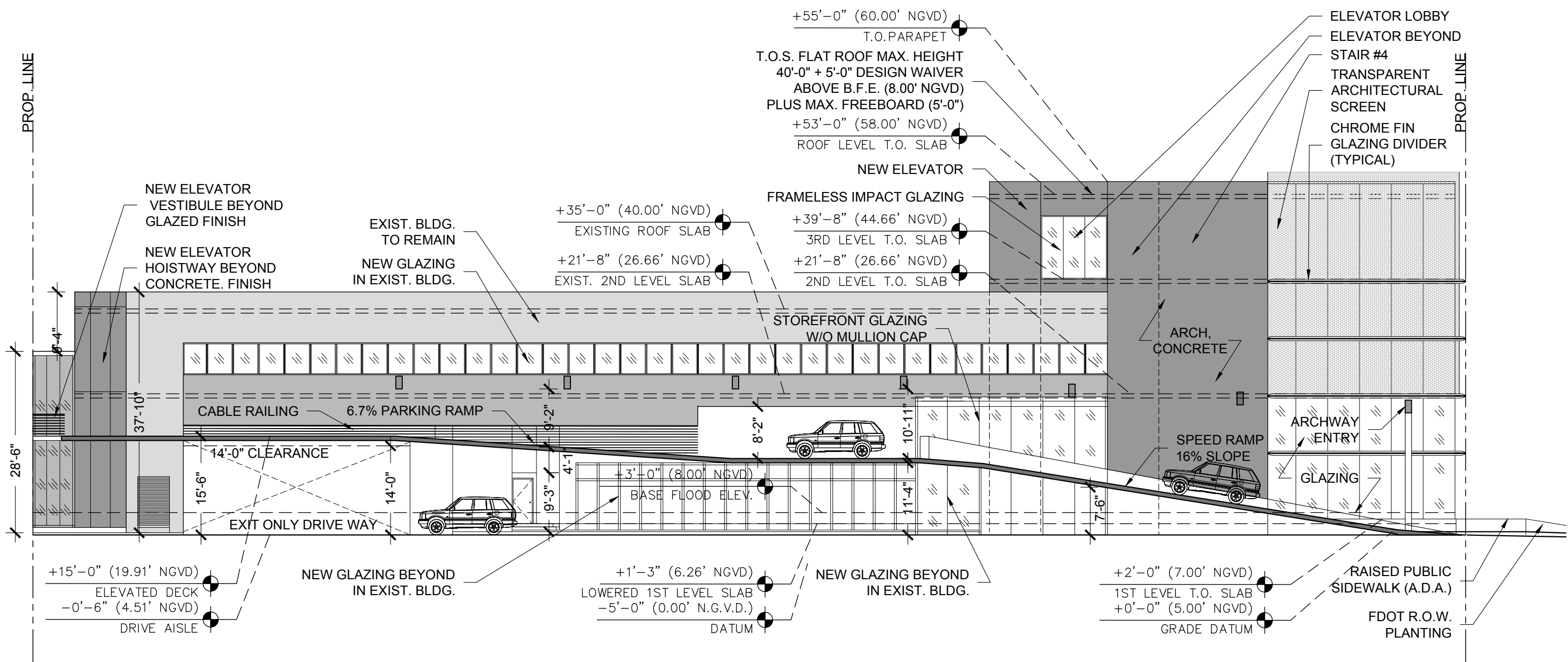
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A402

NOTE:
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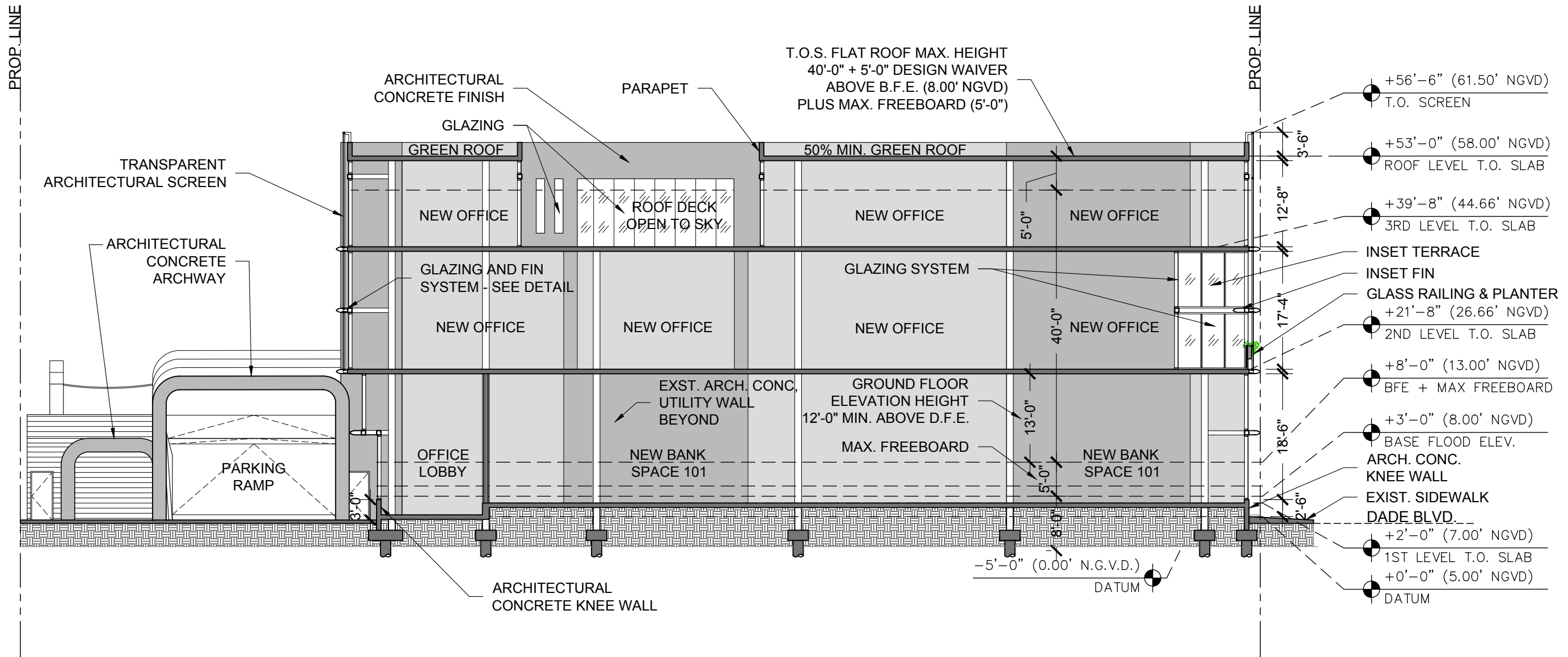
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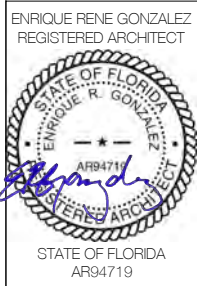
A403

01 PROPOSED NORTH ELEVATION - SECTION
 SCALE: 1/16" = 1'-0"

NOTE:
 APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



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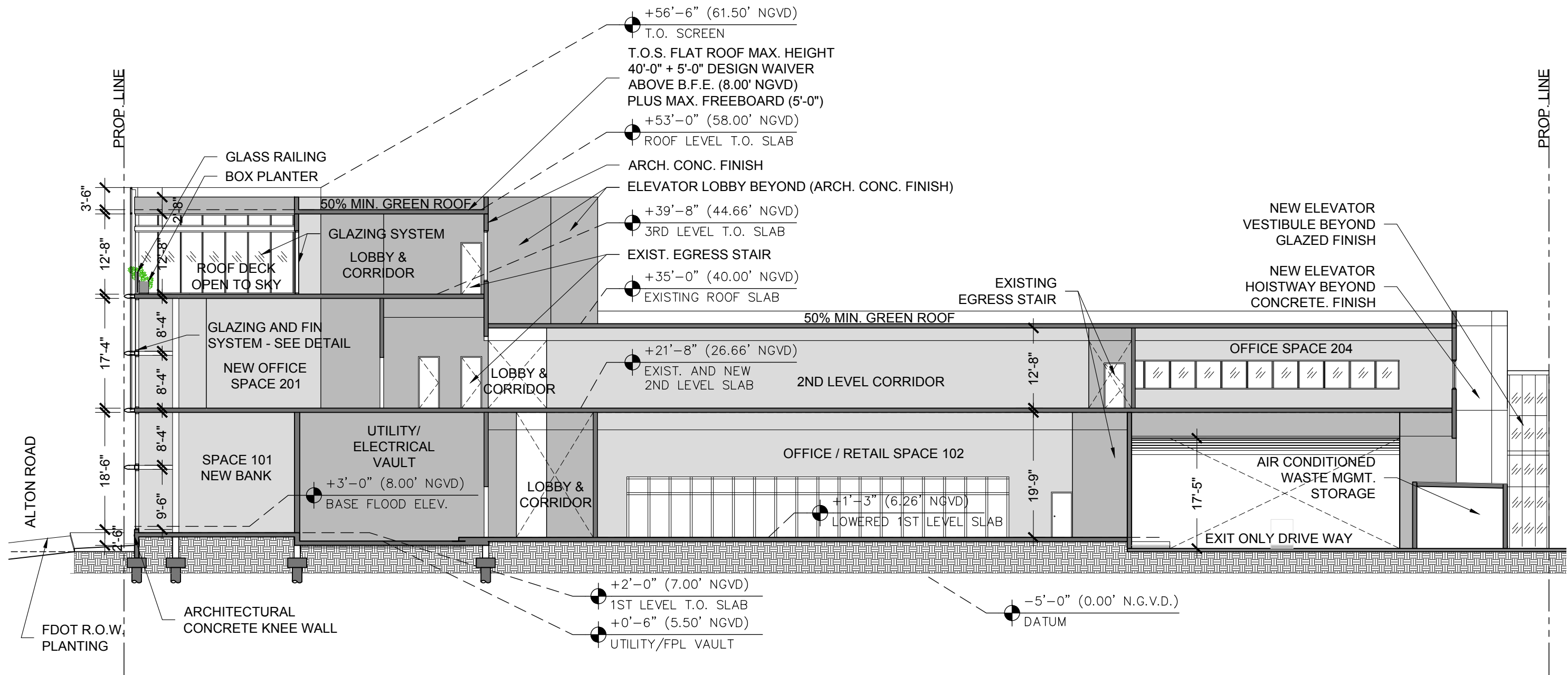
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A500

01 PROPOSED NORTH-SOUTH SECTION
 SCALE: 1/16" = 1'-0"

NOTE:
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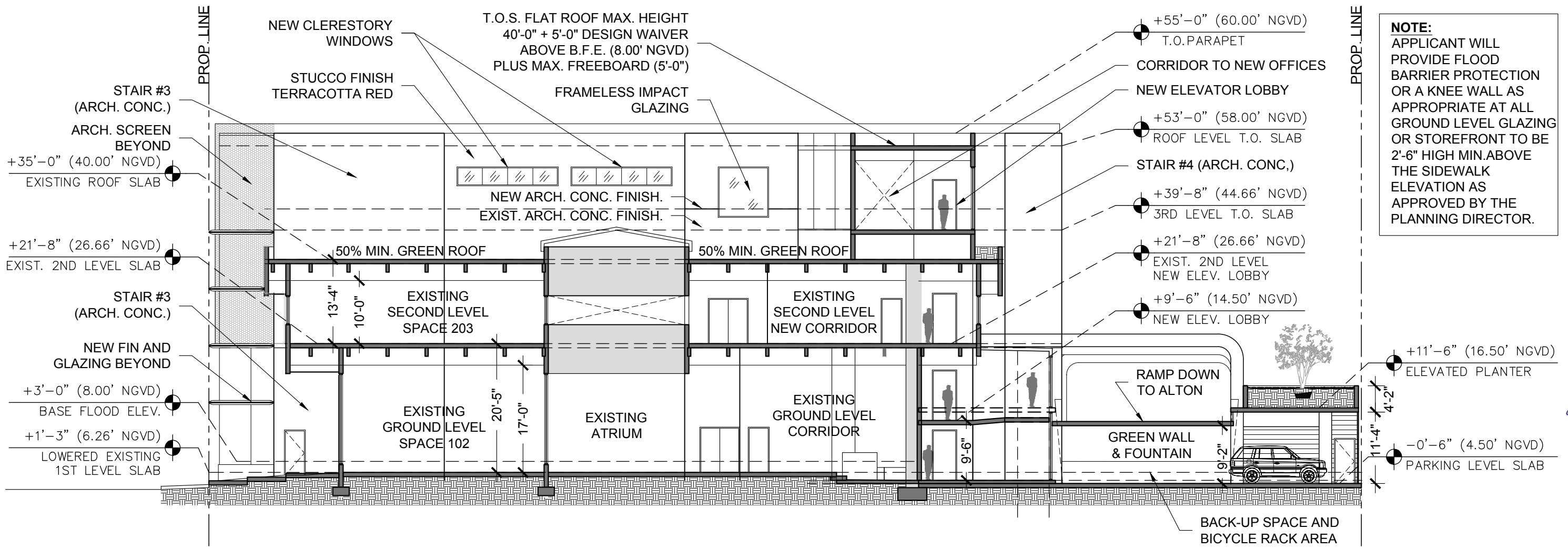
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A501

01 PROPOSED EAST-WEST SECTION
 SCALE: 1/16" = 1'-0"



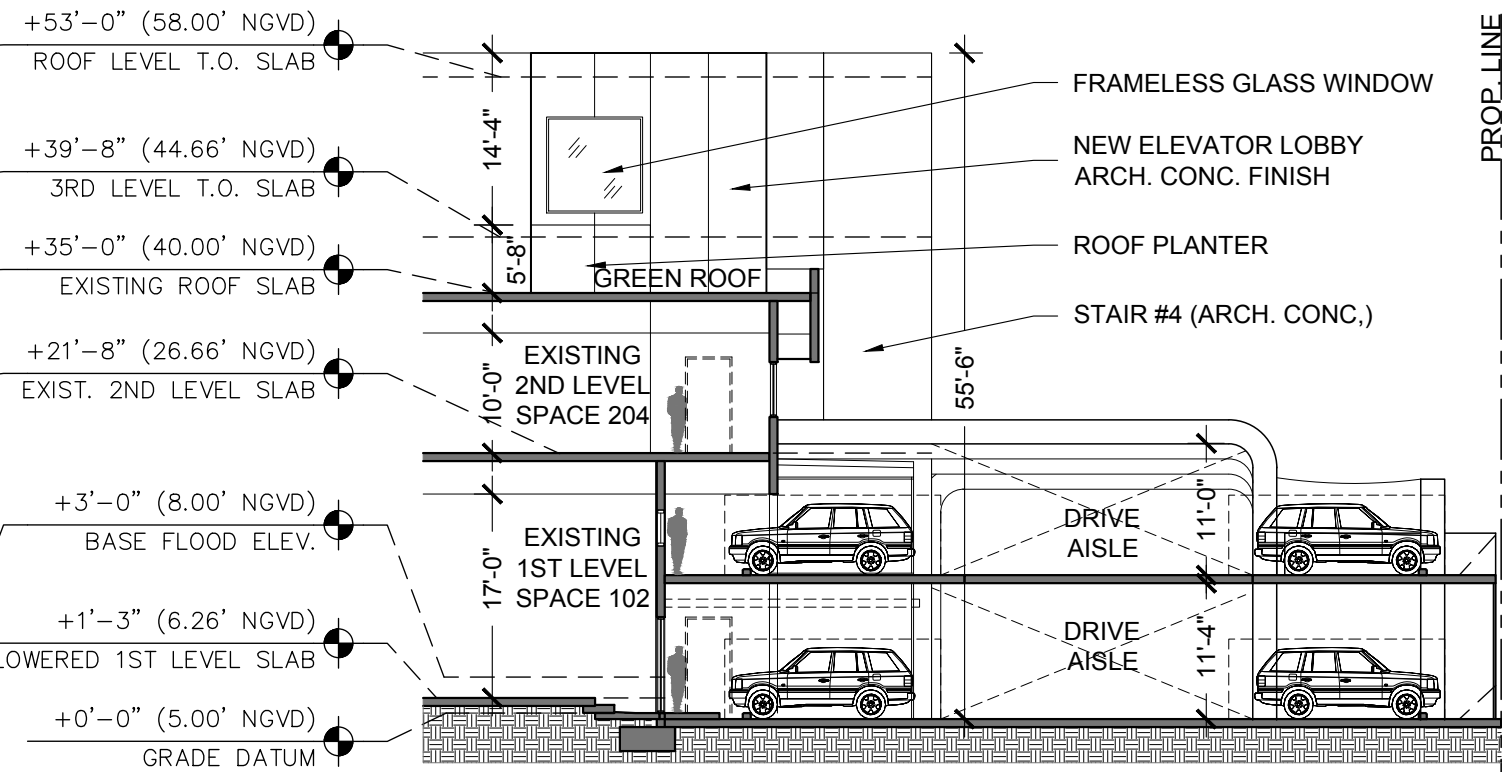
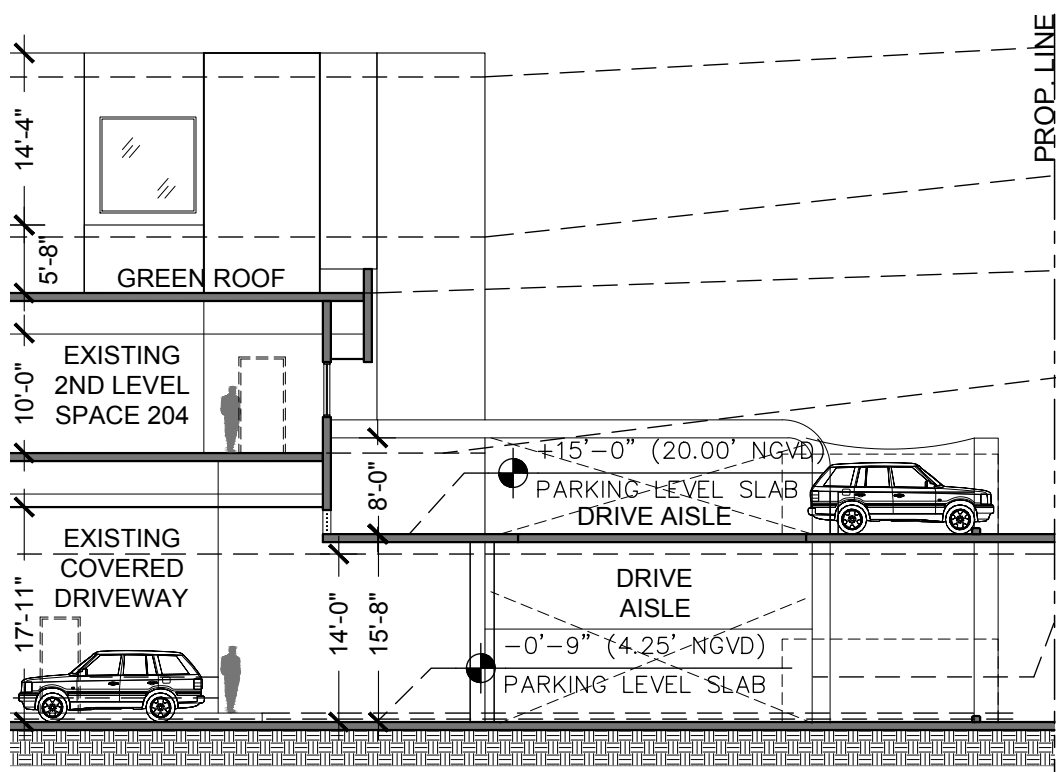
NOTE:
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01 NORTH-SOUTH SECTION EXIST. BLDG. & PARKING LEVEL
 SCALE: 1/16" = 1'-0"



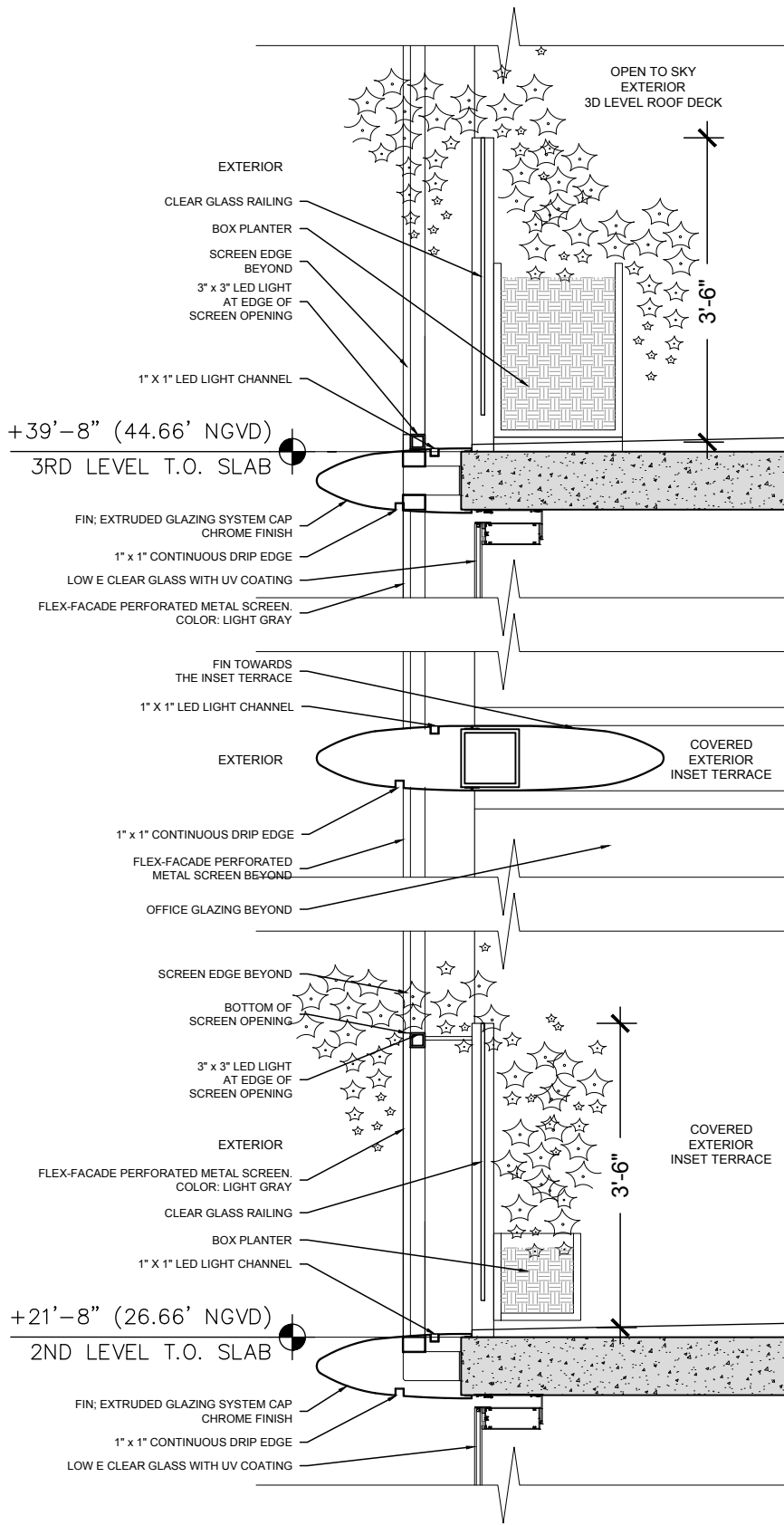
03 NORTH-SOUTH SECTION AT PARKING
 SCALE: 1/16" = 1'-0"

02 NORTH-SOUTH SECTION AT PARKING
 SCALE: 1/16" = 1'-0"

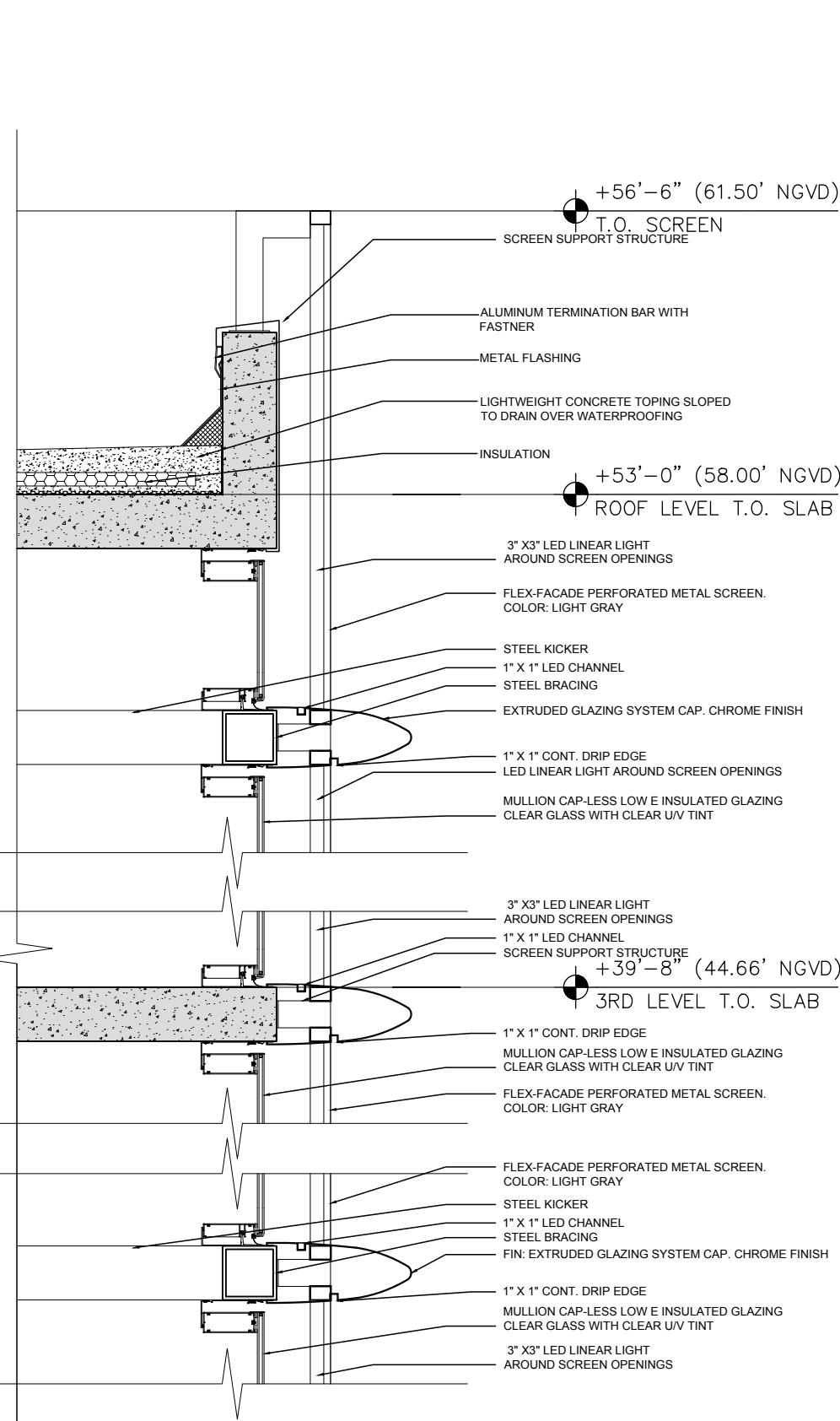
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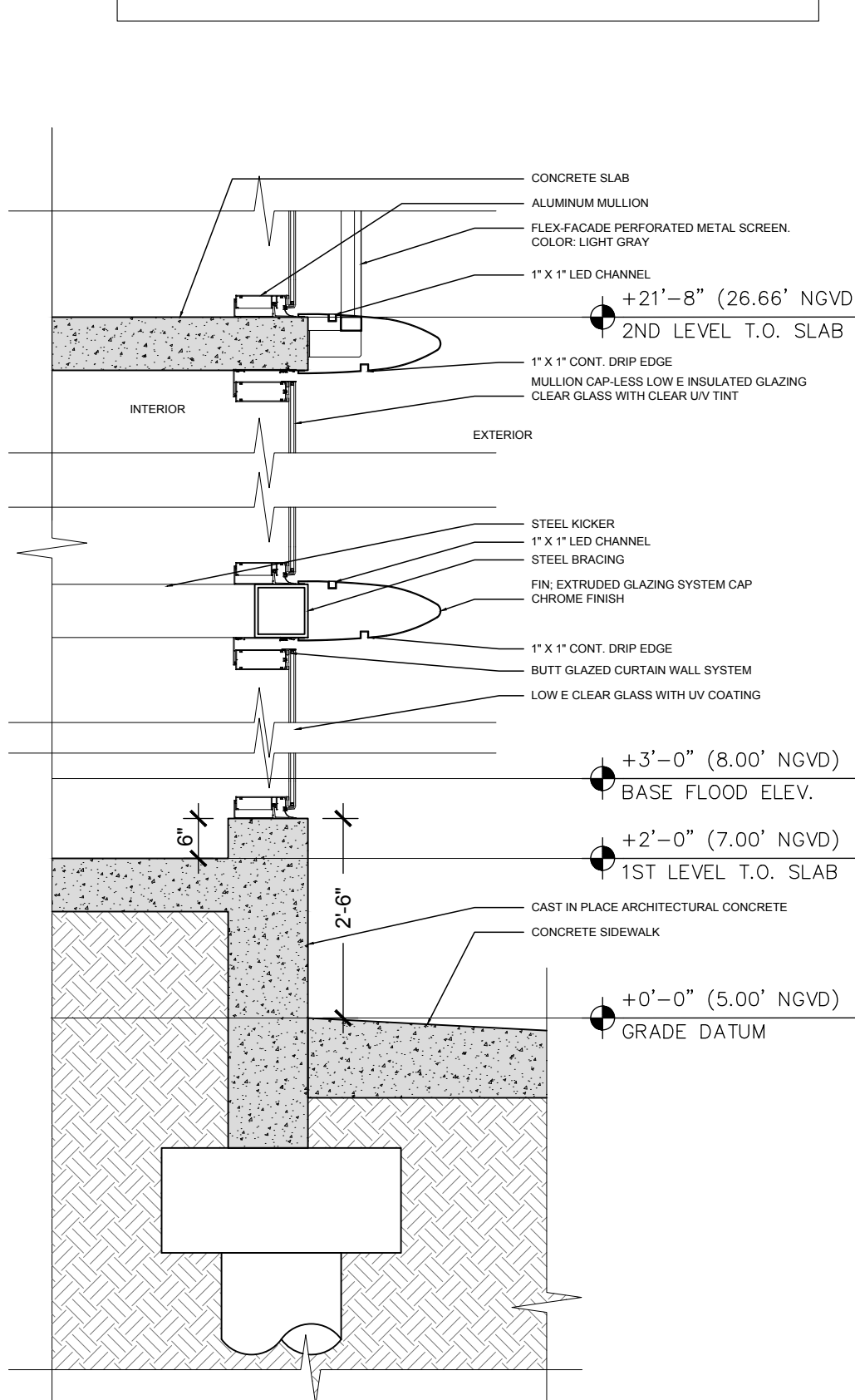
A502



03 DETAIL SECTION AT TERRACES
SCALE: 1/2" = 1'-0"



02 DETAIL SECTION UPPER FACADE
SCALE: 1/2" = 1'-0"



01 DETAIL SECTION LOWER FACADE
SCALE: 1/2" = 1'-0"

NOTE:
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A503

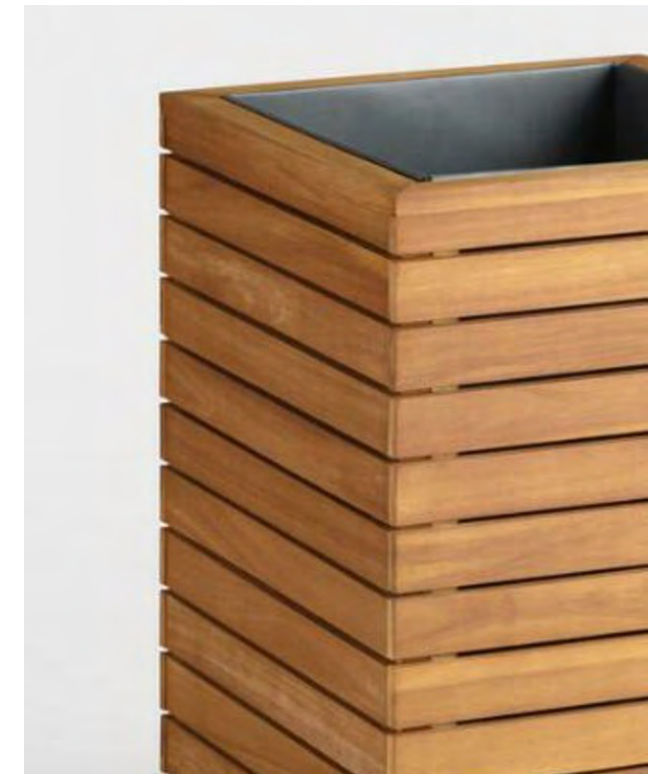


- 01 CAST IN PLACE ARCHITECTURAL CONCRETE
- 02 LOW E CLEAR GLAZING WITH LIGHT U/V TINT
- 03 FLEX FACADE PERFORATED SCREEN
- 04 TEAK WOOD BOX PLANTER
- 05 ARCHITECTURAL FIN CHROME FINISH

- 03 FLEX FACADE PERFORATED SCREEN
- 02 LOW E CLEAR GLAZING WITH LIGHT U/V TINT
- 01 BASE - KNEEWALL CAST IN PLACE ARCHITECTURAL CONCRETE

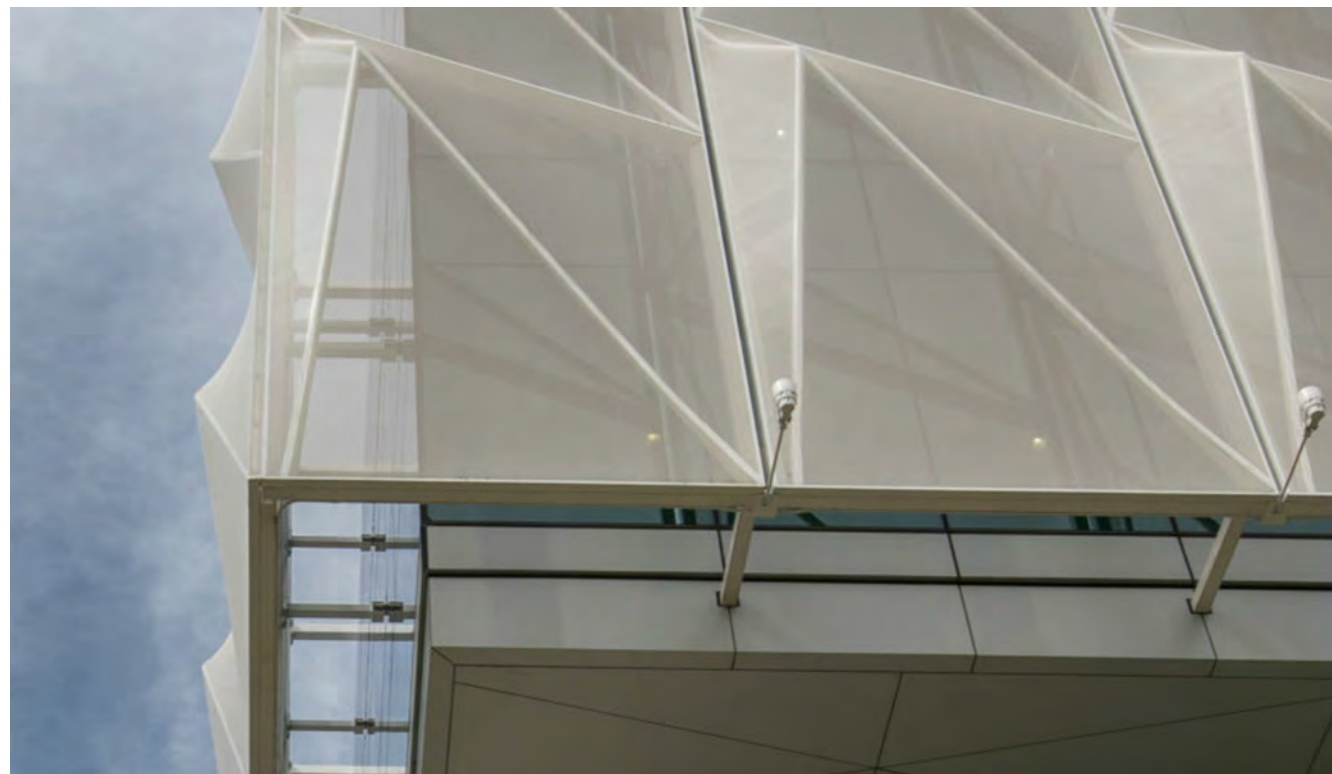


05 ARCHITECTURAL FIN CURTAIN WALL COVER CAP/FIN. CHROME FINISH



04 TEAK WOOD BOX PLANTER

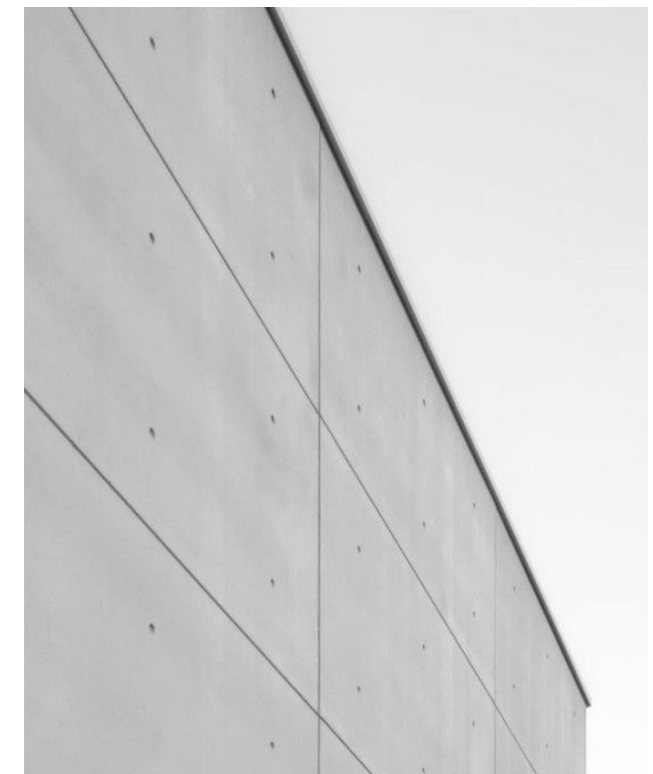
06 RENDERING



03 FLEX FACADE PERFORATED SCREEN BY STRUCTURFLEX



02 LOW E CLEAR INSULATED GLAZING WITH LIGHT U/V TINT



01 CAST IN PLACE ARCHITECTURAL CONCRETE

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