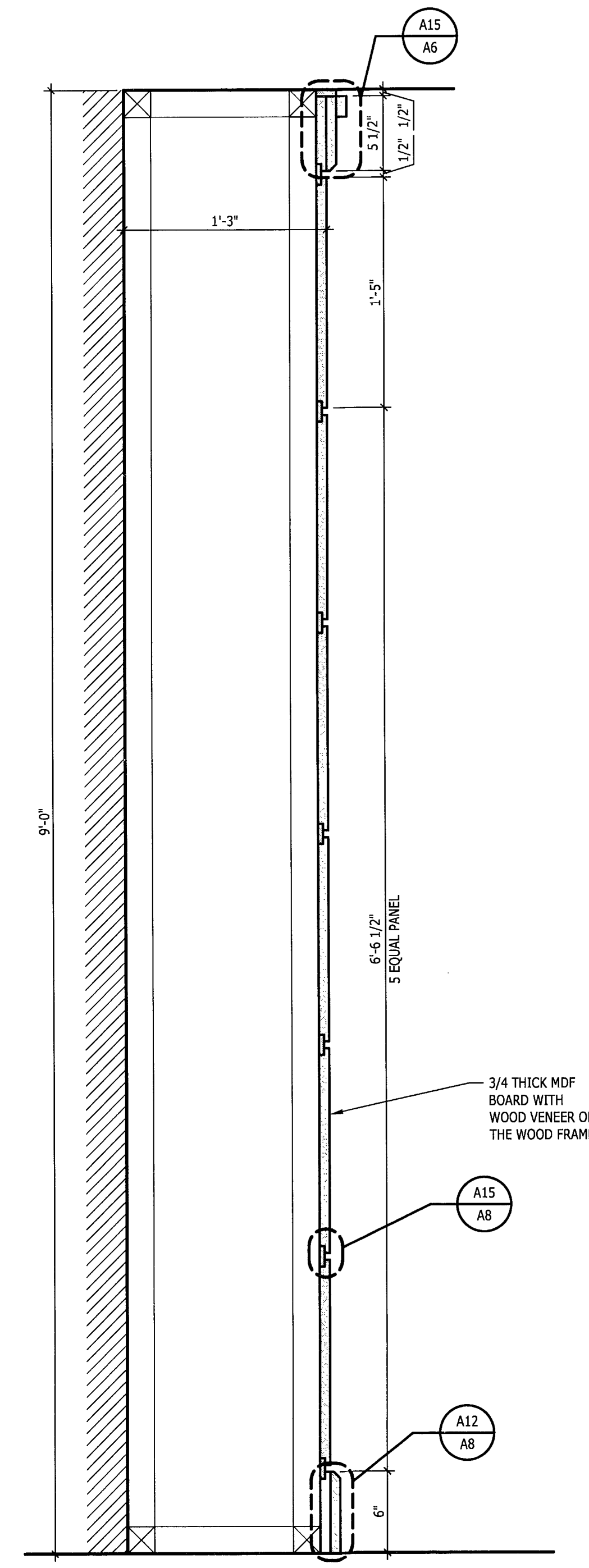
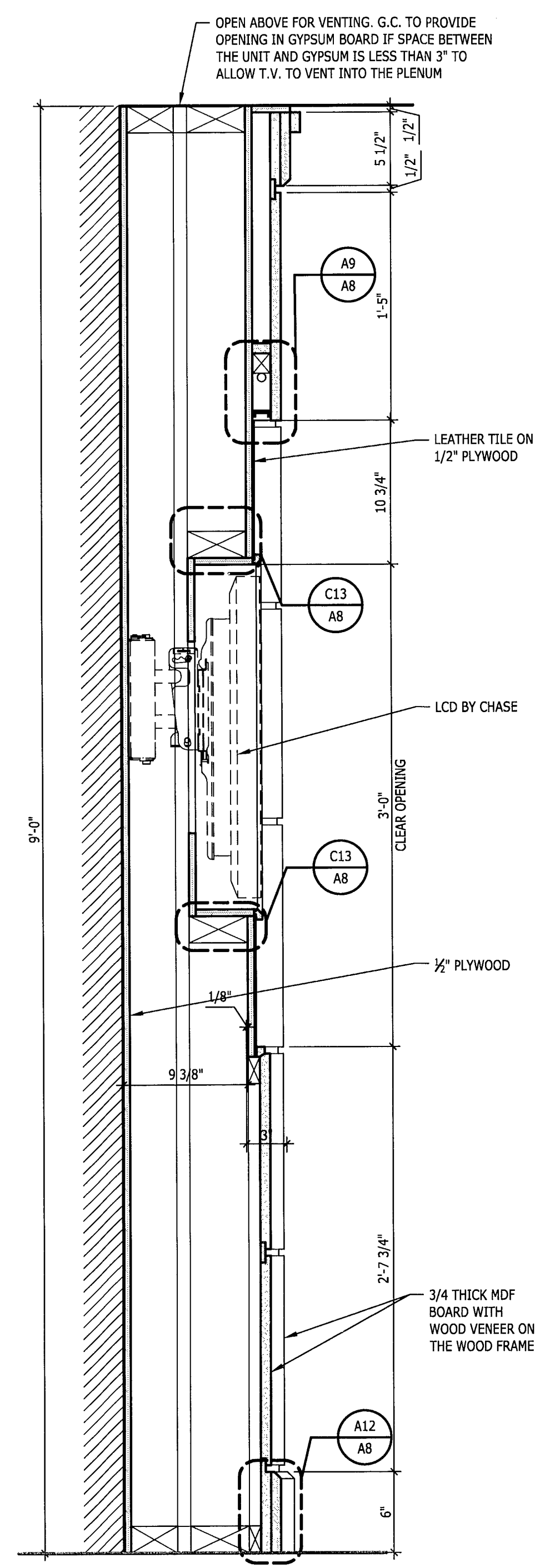
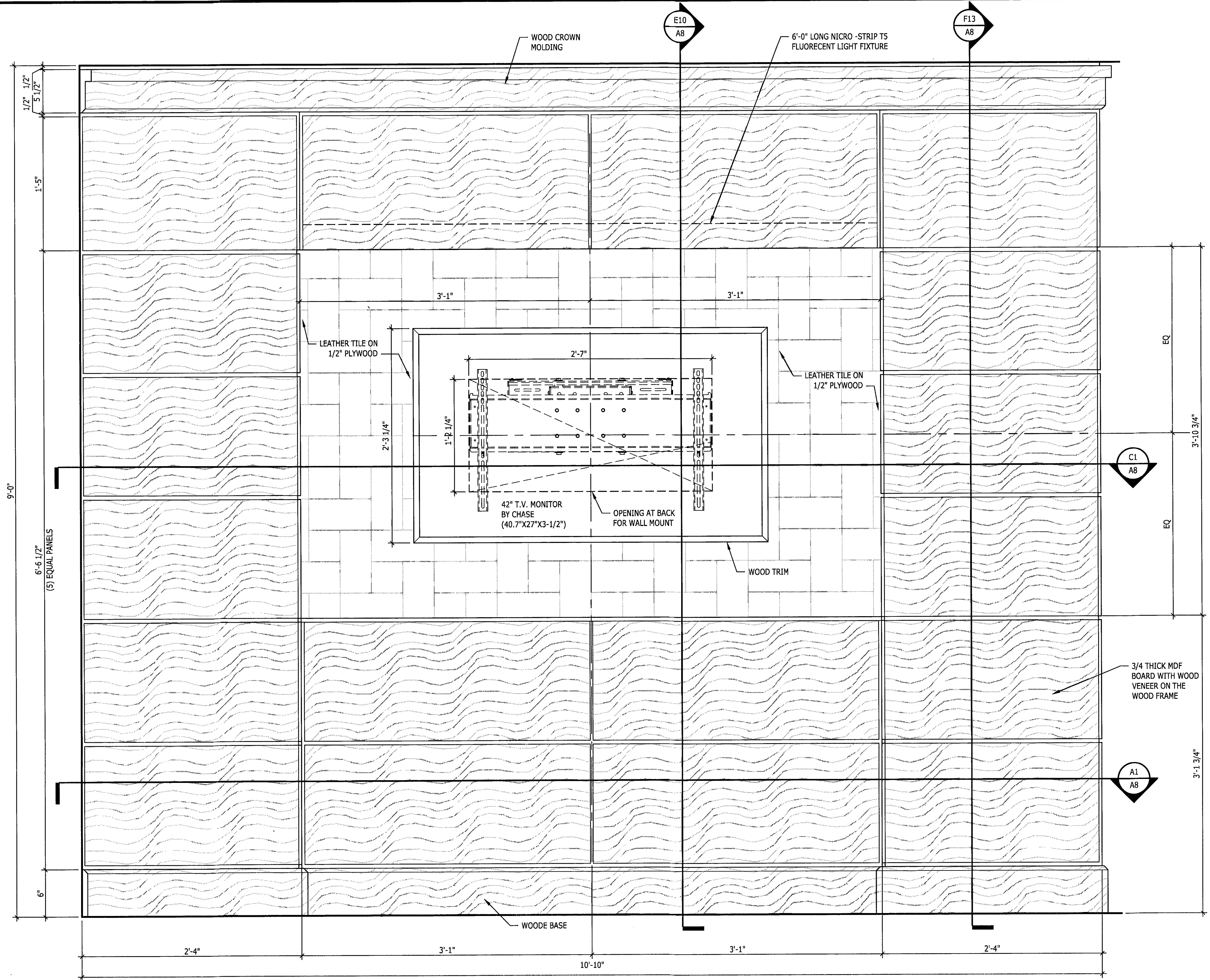
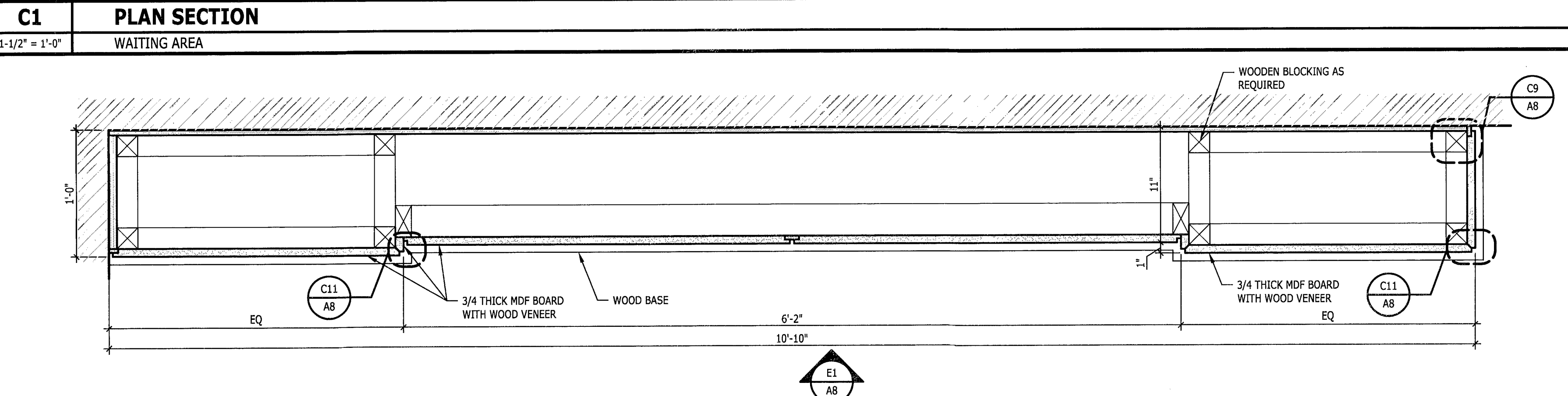
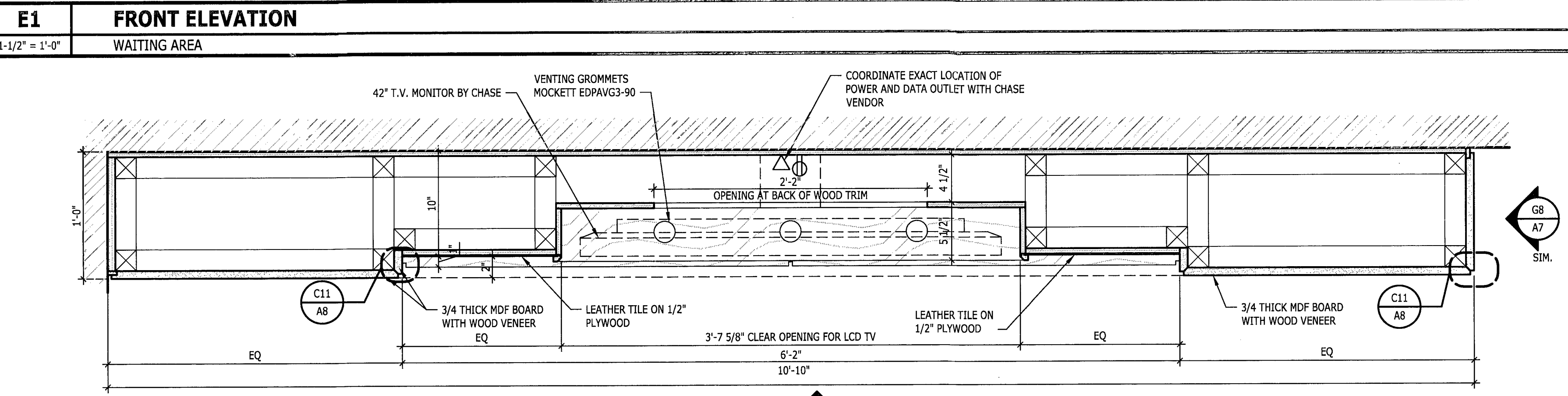


GENERAL NOTES

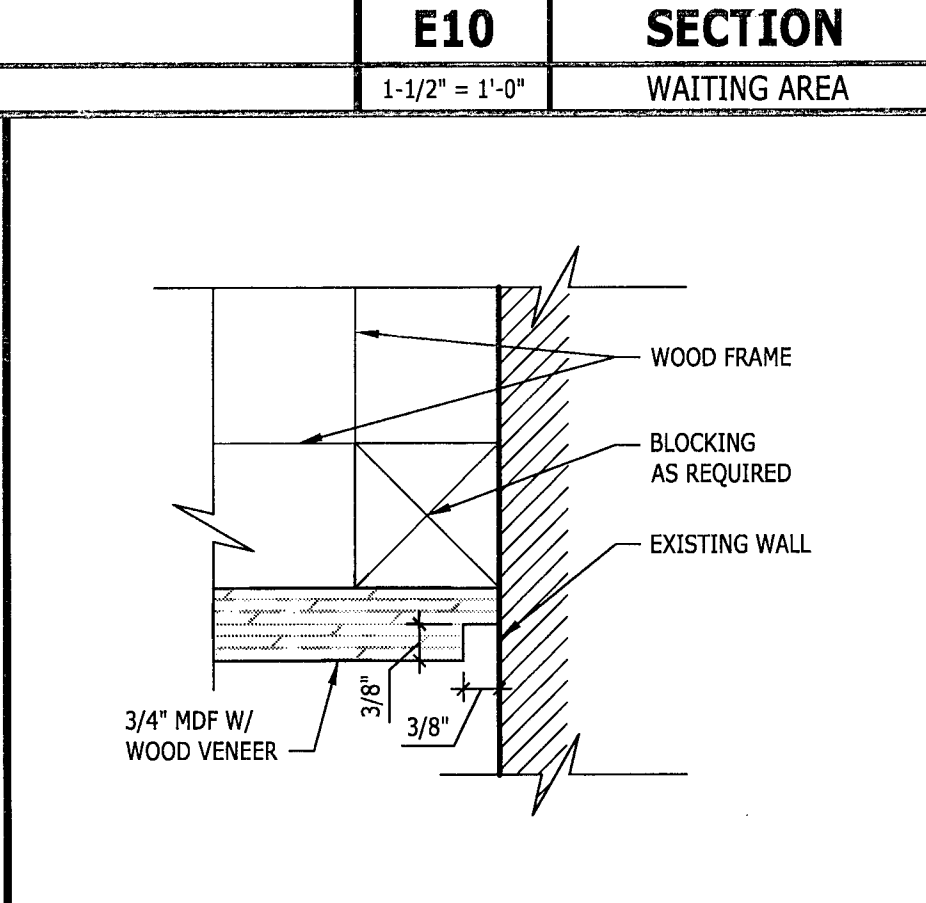
1. ALL WOOD FINISHES TO MATCH CHASE CONTROL SAMPLE.
2. VERIFY ALL DIMENSIONS.
3. LEATHER ON PANELS TO BE PROVIDED BY G.C., INSTALLED BY AUTHORIZED VENDOR ONLY.
4. UPON ASSEMBLY, ALLOW WIRE CHASE IN ANY RIBS THAT MAY OBSTRUCT PASSAGE OF WIRES/CABLES.



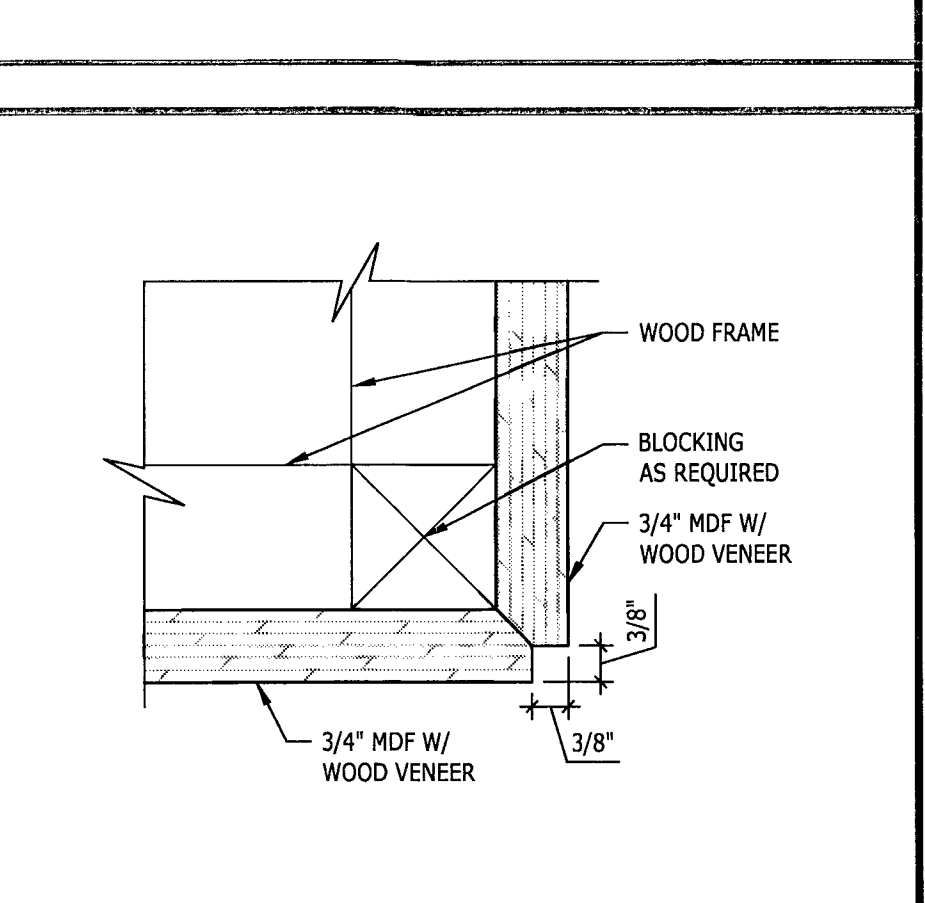
F13 SECTION AT WOOD PANEL WALL
1-1/2" = 1'-0" WAITING AREA



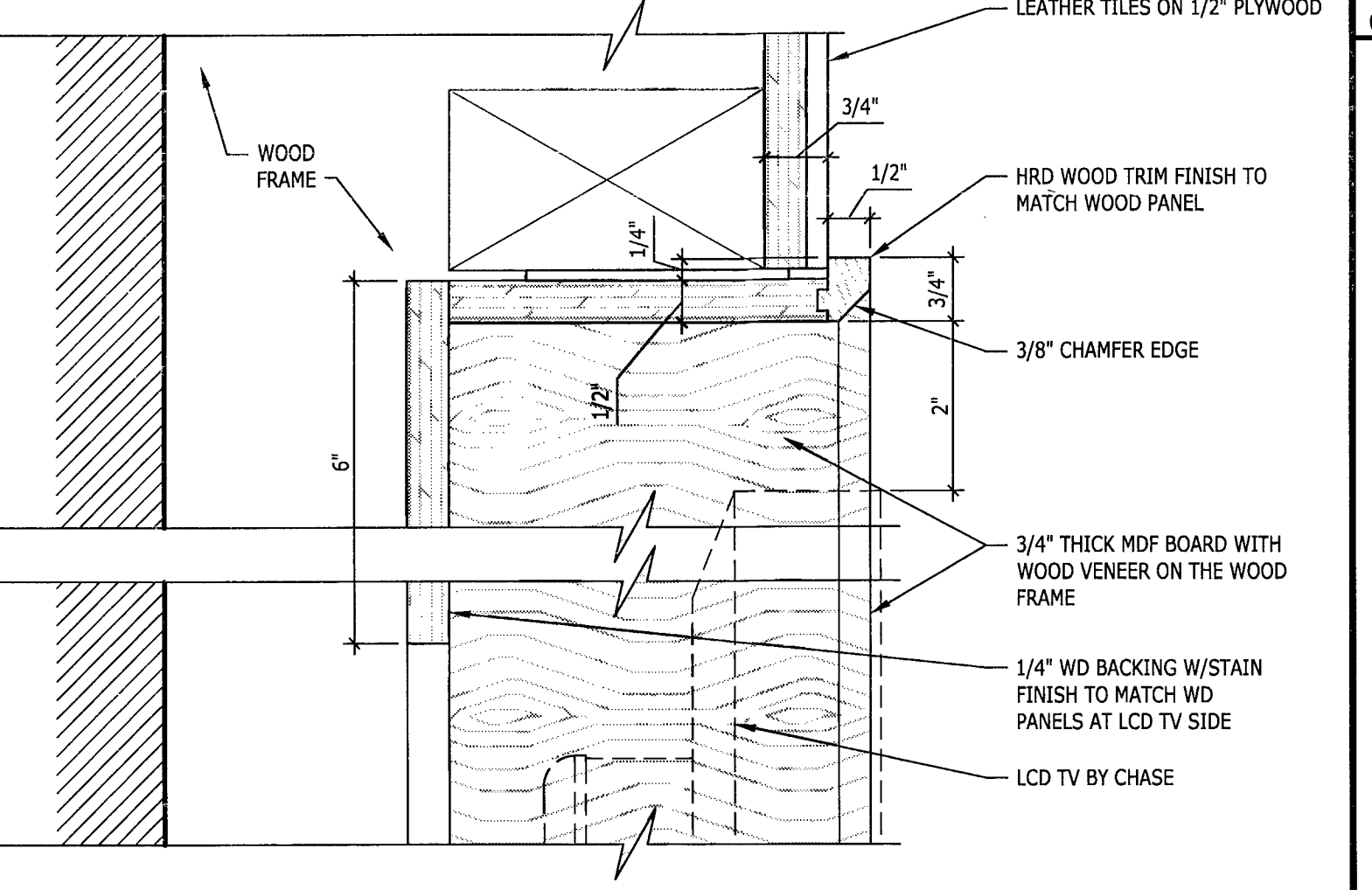
A1 PLAN SECTION
1-1/2" = 1'-0" WAITING AREA



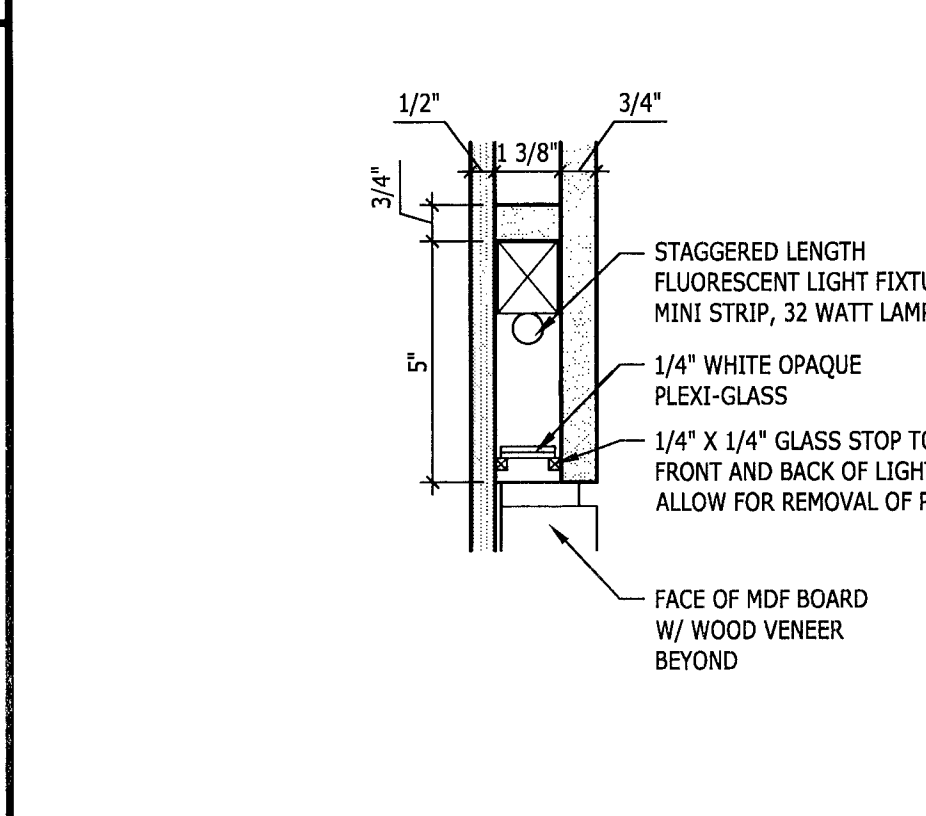
C9 TYPICAL END DETAIL
6" = 1'-0"



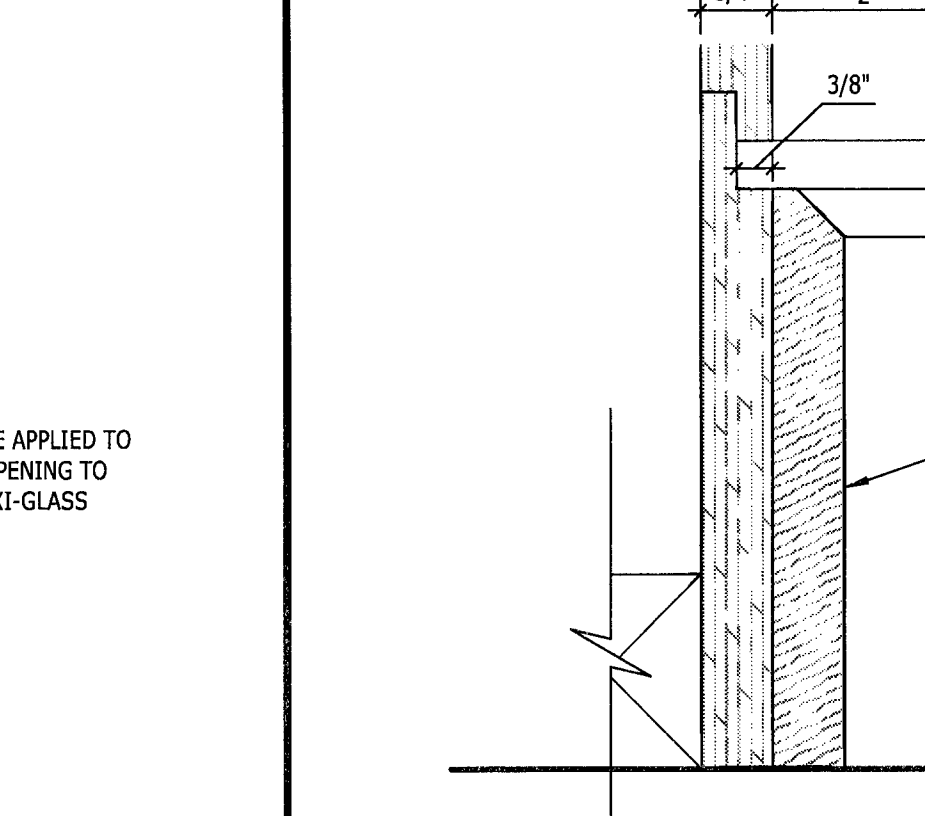
C11 TYPICAL WOOD PANEL
6" = 1'-0" OUTSIDE CORNER DETAIL



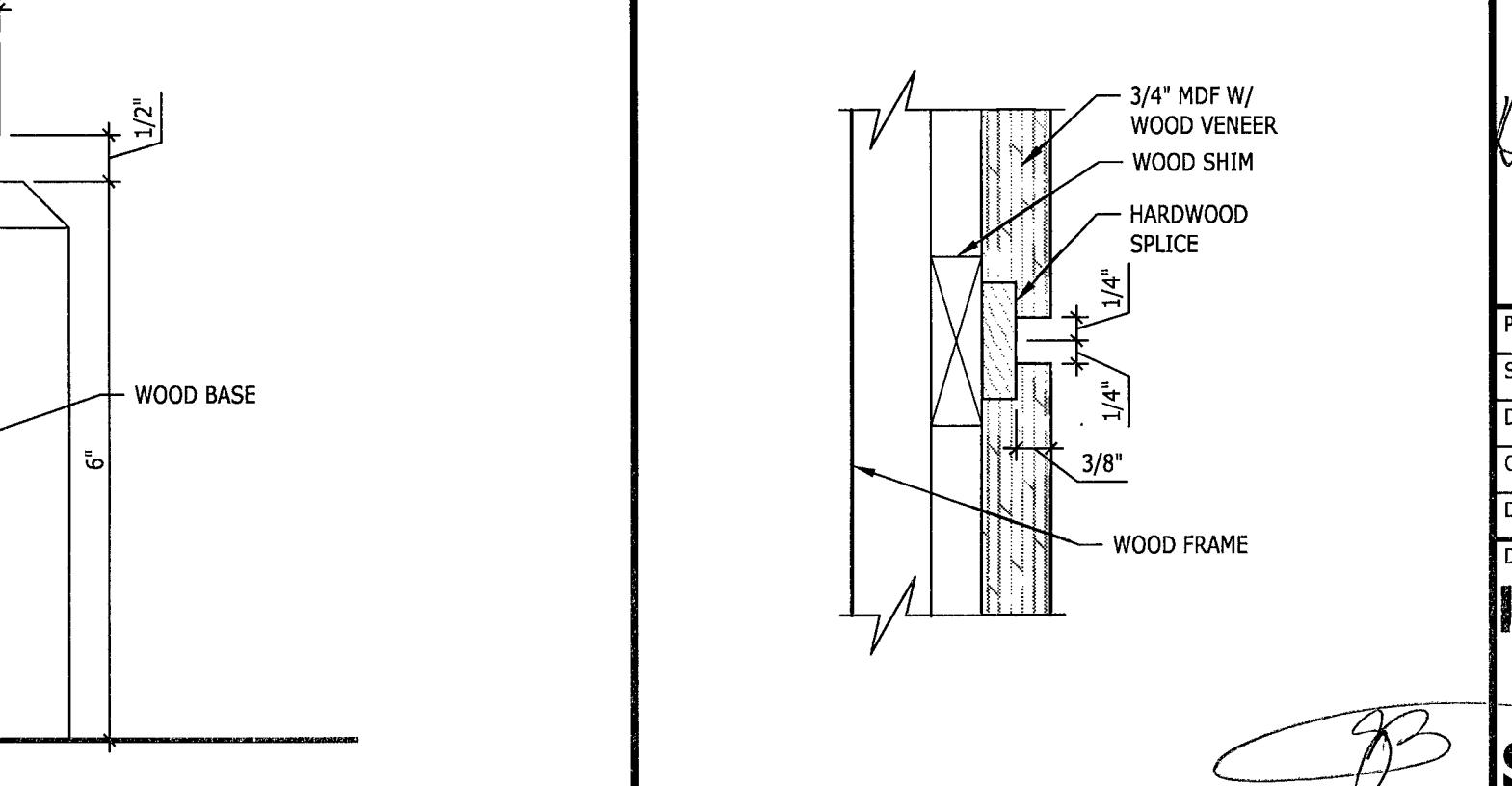
C13 TYPICAL WOOD PANEL
6" = 1'-0" OUTSIDE CORNER DETAIL



A9 LIGHT FIXTURE DETAIL
3" = 1'-0" WAITING AREA, FIXTURE HEAD



A12 BASE DETAIL
6" = 1'-0" WAITING AREA



A15 TYPICAL WOOD PANEL
6" = 1'-0" PANEL TO PANEL JOINT

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Donald J. Rehrman, Architect in Charge License: AR 007303

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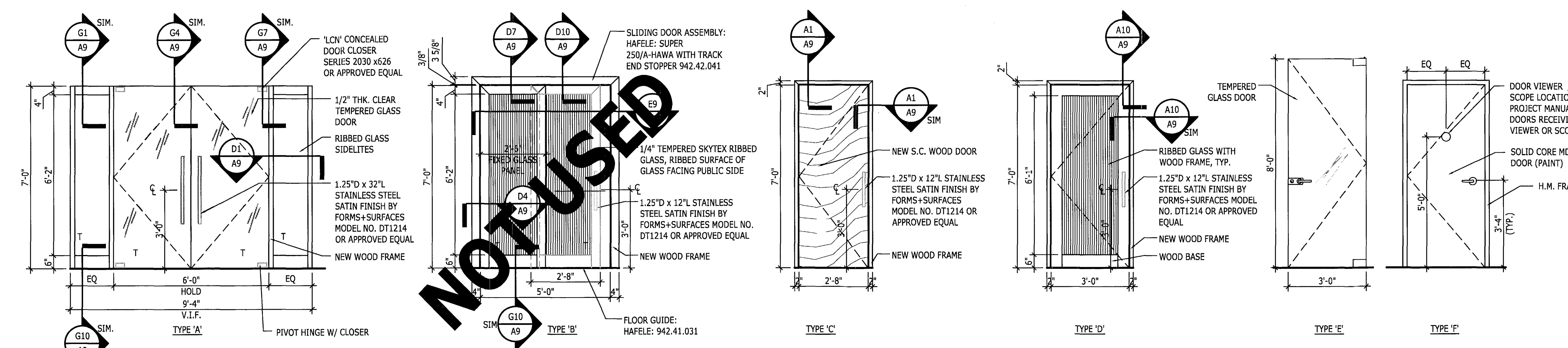
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Drawn DF
Checked JS/DR
Date 03.30.11
Drawing Title LEATHER/LCD WALL ELEV. SECTION AND DETAILS
Drawing No. A9

DOOR SCHEDULE

WD - WOOD GL - GLASS

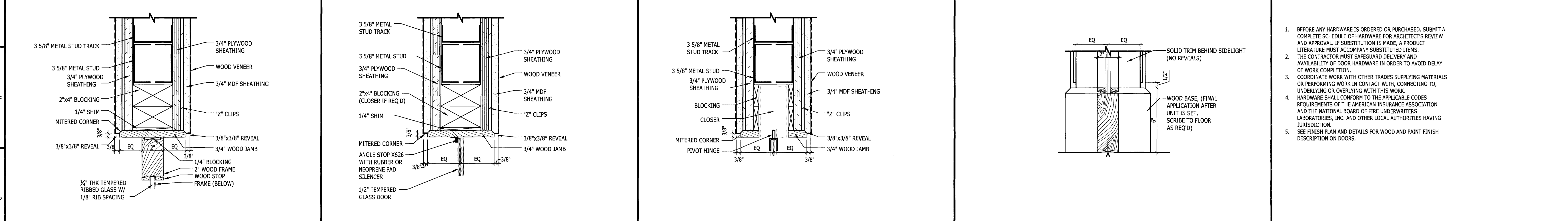
FLR.	DOOR NO.	THICKN.	WIDTH	HEIGHT	DOOR	FRAME	TYPE	HEAD	JAMB	SILL	HW SET	LABEL	REMARKS
	101A	1-3/4"	3'-0"	7'-0"	WD	WD	F	-	-	-	6		
	101B	1-3/4"	3'-0"	7'-0"	WD	WD	F	-	-	-	7		
	103	-	3'-0"	8'-0"	GL	-	E	-	-	-	5		
	104	2"	2'-8"	7'-0"	WD	C	A1/A9	A1/A9	A1/A9	-	2		
	105	2"	2'-8"	7'-0"	WD	C	A1/A9	A1/A9	A1/A9	-	2		
	106	2"	3'-0"	7'-0"	GL	WD	D	A10/A9	A10/A9	-	2		
	108	1/2"	2(3'-0")	7'-0"	GL	-	A	G4/A9	-	A4/A9	J		BLUMCRAFT DOOR SERIES 675 OR APPROVED EQUAL
	109	2"	3'-0"	7'-0"	WD	C	A1/A9	A1/A9	A1/A9	-	2		

SET	DESCRIPTION	QTY	UNIT	DESCRIPTION	QTY	UNIT	DESCRIPTION	QTY	UNIT
SET-1	STANDARD HARDWARE FOR SINGLE ACTING SWING GLASS DOOR OF BLUMCRAFT DOOR SERIES 675			HINGE 58B1	4.5 X 4.5	652	IVE		
SET-2	DOOR RTS - 88 OVERHEAD DOOR CLOSER X 626			ALTERNATE: 881279 4.5 X 4.5	652	HAG			
SET-3	DOOR HANDLE: HAFELE			PASSAGE LOCKSET/D105 SURFACE CLOSER	88P SPA	626	SCF		
SET-4	DOOR HANDLE: HAFELE			ALTERNATE: 4011-3077	5100 REG	HAG			
SET-5	DOOR HANDLE: HAFELE			W/540555CX	630	IVE			
SET-6	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-7	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-8	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-9	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-10	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-11	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-12	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-13	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-14	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-15	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-16	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-17	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-18	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-19	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-20	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-21	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-22	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
SET-23	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			
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SET-50	DOOR HANDLE: HAFELE			W/540555CX	630	HAG			

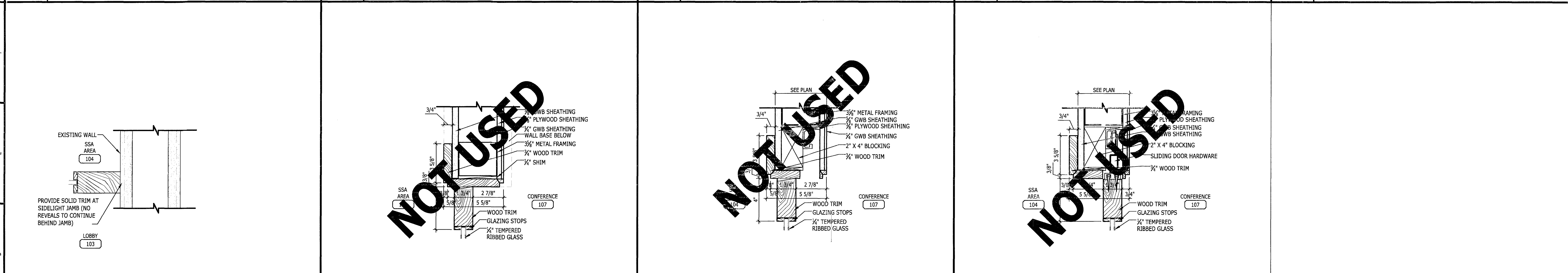


K1 DOOR SCHEDULE

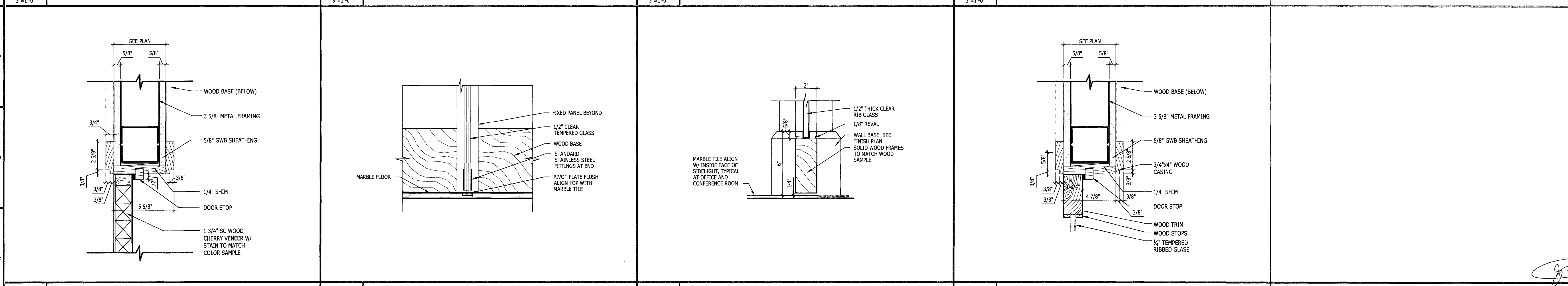
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G1 HEAD DETAIL @ SIDELIGHT 3'-1'-0" G4 HEAD DETAIL @ DOOR 3'-1'-0" G7 JAMB DETAIL @ HINGE 3'-1'-0" G10 SECTION @ SIDELIGHT BASE 3'-1'-0" G13 NOTES



D1 JAMB DETAIL @ SSA AREA 3'-1'-0" D4 JAMB DETAIL @ SIDELIGHT TO CONF. ROOM 3'-1'-0" D7 HEAD DETAIL @ SIDELIGHT TO CONF. ROOM 3'-1'-0" D10 HEAD DETAIL SLIDING DOOR @ CONF. ROOM 3'-1'-0"



A1 HEAD DETAIL @ CLOSET 3'-1'-0" A4 SILL DETAIL @ ENTRY 3'-1'-0" A7 SILL DETAIL @ CONF. ROOM 3'-1'-0" A10 HEAD DETAIL @ DOOR TO BANKERS AREA 3'-1'-0"

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Project No: CHA7009
Scale: AS NOTED
Drawn: DF
Checked: JS/DR
Date: 03.30.11
Drawing Title: DOOR SCHEDULE AND DETAILS

DOOR SCHEDULE AND DETAILS
A9

GENERAL NOTES:

- REFER TO ARCHITECTURAL DRAWING FOR ADDITIONAL ELECTRICAL REQUIREMENTS.
- CONTRACTOR SHALL VISIT THE JOB SITE, REVIEW ARCHITECTURAL DRAWINGS AND BE RESPONSIBLE FOR REVIEWING A FULL SET OF BID DOCUMENTS TO MAKE HIMSELF AWARE OF THE TOTAL JOB BEFORE SUBMITTING HIS PRICE.
- VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND INCLUDE IN BID THE PRICE OF ALL WORK REQUIRED TO ACCOMMODATE THE EXISTING INSTALLATION.
- ALL WORK SHALL BE INSTALLED CONCEALED, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY DIMENSIONS OF FINISHED CONSTRUCTION PRIOR TO FABRICATION AND INSTALLATION OF FIXTURES AND EQUIPMENT.
- CONTRACTOR SHALL SUBMIT SAMPLES OF RECEPTABLES AND PLATES TO THE ARCHITECT FOR APPROVAL BEFORE MAKING HIS INSTALLATION.
- LIGHTING FIXTURES IN ACCESSIBLE CEILINGS SHALL BE FURNISHED WITH FLEXIBLE CONDUIT CONNECTIONS TO SEPARATELY MOUNTED JUNCTION BOXES. ONE JUNCTION BOX SHALL SERVE A MAXIMUM OF FOUR (4) FIXTURES. MINIMUM LENGTH OF FLEXIBLE CONNECTION SHALL BE 5'-0".
- WIRING IN AIR PLENUM HUG CEILING INSTALLED WITHOUT CONDUIT OR EMT SHALL BE TEFLOX JACKETED AND PLENUM RATED.
- DETERMINE THE EXACT LOCATION OF EQUIPMENT TO BE INSTALLED BY OTHER TRADES BEFORE STARTING CONDUIT WORK.
- CONTRACTOR SHALL FINISH, INSTALL AND CONNECT ALL RACEWAYS AND WIRING FROM EQUIPMENT AND DEVICES TO THEIR SOURCE OF POWER.
- CONTRACTOR SHALL, RELOCATE AND/OR MODIFY EXISTING ELECTRICAL WORK AS SHOWN AND AS REQUIRED TO SUIT THE NEW WORK.
- CONTRACTOR SHALL, AFTER HIS WORK IS COMPLETED, TEST THE ELECTRICAL DISTRIBUTION SYSTEM FOR SHORT CIRCUITS, LOOSE WIRING, ETC. TO THE SATISFACTION OF THE OWNER. ALL COST FOR THIS TEST SHALL BE BORNE BY THE CONTRACTOR.
- FOR WIRING IN METAL PARTITIONS WHERE EMT IS IMPRACTICAL, FLEXIBLE STEEL CONDUIT GALVANIZED, MINIMUM 3/4" SHALL BE USED.
- FOR EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL ELECTRICAL OUTLETS, SWITCHES AND LIGHTING FIXTURES SEE ARCHITECTURAL FLOOR PLANS, DETAILS AND ELEVATIONS.
- MOUNTING HEIGHTS OF EQUIPMENT AND DEVICES SHALL BE AS INDICATED ON THE ARCHITECTURAL DRAWING. WHERE MOUNTING HEIGHTS ARE NOT GIVEN ON THE ARCHITECTURAL DRAWINGS, UTILIZE THE FOLLOWING MOUNTING HEIGHTS UNLESS OTHERWISE NOTED (ALL DIMENSIONS TO CENTER LINE OF BOX):
 - A. RECEPTABLES (WALL MOUNTED) - 18" AFF
 - B. TELEPHONE/DATA OUTLETS - SAME AS RECEPTABLES
 - C. WALL MOUNTED TELEPHONES - 54" AFF
 - D. LIGHTING FIRE ALARM/SPEAKER AND STROBE UNITS - 80" AFF
 - E. MANUAL FIRE ALARM STATIONS - 48" AFF TO THE OPERATING HANDLE
 - F. FIRE ALARM HORN/ SPEAKER AND STORAGE UNITS - 80" AFF
 - G. WALL MOUNTED MOTION DETECTORS - 90" AFF
 - H. PANEL BOARDS AND CABINETS - 78" TO TOP OF ENCLOSURE.
- MINIMUM RACEWAY SIZE SHALL BE 3/4" AND SHALL BE RUN PARALLEL TO BUILDING STRUCTURAL LINES. RACEWAYS SHALL NOT BE RUN HORIZONTALLY BELOW 8'-0" IN PARTITIONS. ALL EMPTY RACEWAYS SHALL BE FURNISHED WITH A 200 LB. TEST NYLON DRAG LINE.
- WHERE EQUIPMENT, LIGHTING FIXTURES AND WIRING DEVICES ARE SHOWN WITH CIRCUITS NUMBER ONLY, THE MINIMUM BRANCH CIRCUITING REQUIREMENTS SHALL BE AS FOLLOWS:
 - A. LIGHTING FIXTURES - 2# 12, 1# 12 GRD, - 3/4" C
 - B. RECEPTABLES - 2# 12, 1# 12 GRD, - 3/4" C
 - C. HOMERUNS TO PANEL BOARDS SHALL CONTAIN NO MORE THAN (3) CIRCUITS NEUTRAL CONDUCTORS FOR ALL LIGHTING AND OFFICE POWER. MULTICIRCUIT HOMERUNS SHALL BE SIZED ONE TRADE SIZE LARGER THAN PHASE CONDUCTORS, MINIMUM # 10 AWG (EXAMPLE: 2# 12, 1# 12GRD, 1# 12GRD - 3/4" C).
 - D. WHERE LIGHTING SWITCH INDICATIONS ARE NOT SHOWN, SWITCHES SHALL BE CONNECTED TO CONTROL ALL SWITCHED FIXTURES WITHIN THE CORRESPONDING SPACE.
- WIRE SIZE SHALL BE INCREASED TO COMPENSATE FOR VOLTAGE DROP AS FOLLOWS:
 - A. 120V CIRCUITS, 100-150 FEET # 10 AWG.
 - B. 120V CIRCUITS, OVER 150 FEET # 8 AWG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY LIGHT AND POWER TO ENSURE THE SAFETY OF PERSONNEL AND POWER REQUIREMENTS OF THE VARIOUS TRADES.

ELECTRICAL DEMOLITION NOTES:

- THE CONTRACTOR SHALL VISIT THE PREMISES AND COMPARE SAME WITH A FULL SET OF BID DOCUMENTS AND SPECIFICATIONS AND SATISFY HIMSELF OF THE CONDITIONS EXISTING AT THE BUILDING BEFORE DELIVERY OF HIS PROPOSAL. NO ADDITIONAL ALLOWANCE WILL BE MADE TO THE CONTRACTORS DUE TO HIS NEGLIGENCE OR FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- NOTES AND GRAPHIC REPRESENTATIONS SHALL NOT LIMIT THE EXTENT OF DEMOLITION REQUIRED. CONTRACTOR SHALL VISIT THE SITE, CAREFULLY EXAMINE EXISTING CONDITIONS AND SHALL PERFORM ALL DEMOLITION REQUIRED TO ACHIEVE ALL DEMOLITION WORK SHALL BE COORDINATED WITH THE ARCHITECT.
- ALL WORK REQUIRED TO REMAIN IN SERVICE BUT INTERFERING WITH THE ALTERATIONS SHALL BE RELOCATED AND RECONNECTED USING MATERIALS AND STANDARDS OF THIS CONTRACT.
- EQUIPMENT AND WIRING TO BE REMOVED SHALL BE DE-ENERGIZED PRIOR TO ANY DEMOLITION WORK.
- DEMOLITION WORK SHALL INCLUDE THE REMOVAL OF MATERIALS AS DIRECTED PRIOR TO REMOVING EQUIPMENT AND MATERIALS FROM PROJECT SITE, THE OWNERS MANAGER WILL INSPECT AND ADVISE WHICH ITEMS WILL BE RESTORED.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL FROM THE PREMISES ALL DEBRIS RESULTING FROM REMOVAL OF ELECTRICAL WORK.
- THIS CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIRING AND FIREPROOFING ALL OPENINGS IN FLOORS OR WALLS AS REQUIRED AFTER REMOVAL OF ANY CONDUITS OR WIRE.
- THIS CONTRACTOR SHALL MAINTAIN CONTINUITY OF SERVICE TO EXISTING BUILDING FIRE ALARM SYSTEM (COORDINATE WITH BUILDING MANAGER)
- REMOVAL OF EXISTING EQUIPMENT SHALL BE COORDINATED WITH REMOVAL OF PARTITIONS.
- DEMOLITION WORK SHALL INCLUDE THE FURNISHING OF ALL MATERIAL CUTTINGS, EXTENSIONS, CONNECTIONS, REPAIRING, ADAPTING AND OTHERS WORK INCIDENTAL THERETO, TOGETHER WITH SUCH TEMPORARY CONNECTIONS AS MAY BE REQUIRED.
- THIS CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY LIGHT AND POWER TO INSURE THE SAFETY OF PERSONNEL AND POWER REQUIREMENTS OF THE VARIOUS TRADES.
- WHERE PRESENT WORK IS DAMAGED IN THE EXECUTION OF THIS CONTRACT, OR WHERE OPENINGS ARE LEFT DUE TO THE REMOVAL OF PIPES, EQUIPMENT OR APPARATUS, THE SAME SHALL BE REPAIRED TO CORRESPOND IN MATERIALS, QUALITY SHAPE AND FINISH WITH THAT OF SIMILAR AND ADJOINING WORK, UNLESS OTHERWISE CALLED FOR.
- CONTRACTOR IS TO DISCONNECT AND REMOVE ONLY WIRING AND RACEWAY SERVING FLOOR AREAS OF DEMOLITION. DO NOT REMOVE ANY BASE BUILDING HOMERUN CONDUITS.
- PROVIDE ADDITIONAL SUPPORT FOR ALL EXISTING CONDUITS, LOW VOLTAGE CABLING AND DEVICES TO REMAIN WHICH ARE AFFECTED BY DEMOLITION OF EXISTING CEILING AND PARTITIONS.
- ALL EXISTING UNUSED CONDUIT AND WIRING SHALL BE DROPPED TO THE FLOOR BY THE ELECTRICIAN FOR REMOVAL FROM THE BUILDING BY THE DEMOLITION OR GENERAL CONTRACTOR.

THE DATA AND TELEPHONE CABLING FOR THIS PROJECT SHALL BE FURNISHED BY OTHERS. CAMERA WIRING SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR. OTHER SECURITY WIRING SHALL BE INSTALLED BY OTHERS.

ABBREVIATIONS:

A, AMP	AMPERE (S)
AC	AIR CONDITIONING UNIT
AFF	ABOVE FINISHED FLOOR
AHC	ABOVE HUNG CEILING
BMS	BUILDING MANAGEMENT SYSTEM
C	CONDUIT
CB	CIRCUIT BREAKER
CJ	CONDENSER UNIT
CJH	CABINET UNIT HEATER
DISC	DISCONNECT
E	EXISTING
EBH	ELECTRIC BASEBOARD HEATER (BY HVAC CONTRACTOR)
EC	EMPTY CONDUIT
ELEC.	ELECTRICAL
EF	EXHAUST FAN
EM/NL	EMERGENCY NIGHT LIGHT
EW	ELECTRICAL WATER COOLER
EWV	ELECTRICAL WATER HEATER
FLA	FULL LOAD AMPERES
G, GRD	GROUND
GFI	GROUND FAULT INTERRUPTER
HP	HORSE POWER
IG	ISOLATED GROUND
KVA	KILO VOLT- AMPERE
LC	LIGHTING CONTRACTOR
LTG	LIGHTING
LP	LIGHTING PANEL
N.O.	NORMALLY OPEN
P	POLE(S)
PC	PHOTOCELL (OUTDOOR MOUNTED)
PP	POWER PANEL
RECEP	RECEPTACLE
RGS	RIGID GALVANIZED STEEL
REL	RELOCATE
SF	SUPPLY FAN
SW	SWITCH
TC	TIME CLOCK
TE	TOILET EXHAUST FAN
TYP	TYPICAL
UH	UNIT HEATER
UON	UNLESS OTHERWISE NOTED
V	VOLT (S)
W	WATT (S)/WIRE
WP	WEATHERPROOF

LUMINAIRE SCHEDULE

CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	INPUT WATTS	VOLTS	NOTE 1
L1		(2) 24W 24V T5 HIGH OUTPUT	2x2 Aleta Series fluorescent luminaire, louver with elongated lens detail	ELECTRONIC	RECESSED	Lightolier #ALE2H010U	55	120V 1P 2W	Install with lamps in uniform direction with respect to bank entrance
L1-EM		(2) 24W 24V T5 HIGH OUTPUT	2x2 Aleta Series fluorescent luminaire, louver with elongated lens detail w/ Emergency Ballast	ELECTRONIC	RECESSED	Lightolier #ALE2H010U-EH	55	120V 1P 2W	Install with lamps in uniform direction with respect to bank entrance. 90 minute battery backup
L11		(1) CFL	4"x4" COMPACT FLUORESCENT SQUARE HIGH REFLECTANCE WHITE FINISH & FLANGE	ELECTRONIC	RECESSED	LIGHTOLIER #4X4126HU #4X4WHWHW 1 PLT26W8354P	32	120V 1P 2W	
L11-EM		(1) CFL	4"x4" COMPACT FLUORESCENT SQUARE HIGH REFLECTANCE WHITE FINISH & FLANGE	EMERGENCY	RECESSED	LIGHTOLIER #4X4126HU #4X4WHWHW 1 PLT26W8354P	26	120V 1P 2W	Provide 90min battery backup
L12		(2) 4-PIN TRIPLE BIAK	9"x9" SQUARE NON-IC HOUSING W/ PARABOLIC WHITE TRIM	ELECTRONIC	RECESSED	LIGHTOLIER #9X9242HU #9X9WHWHW (2) F32TBK/835/A	52	120V 1P 2W	
L12-EM		(2) 4-PIN TRIPLE BIAK	9"x9" SQUARE NON-IC HOUSING W/ PARABOLIC WHITE TRIM	ELECTRONIC	RECESSED	LIGHTOLIER #9X9242HU-EM #9X9WHWHW (2) F32TBK/835/A	52	120V 1P 2W	PROVIDE 90MIN BATTERY BACKUP
L13		(1) CFL	4"x4" COMPACT FLUORESCENT	ELECTRONIC	RECESSED	LIGHTOLIER #4X4126HU #4X4WHWHW 1 PLT26W8354P	26	120V 1P 2W	
L14		(1) TB	4" STAGGERED STRIP	ELECTRONIC	RECESSED	LIGHTOLIER #SS45123HPPUNVHI 1 F32TBK835	25	120V 1P 2W	
L20		(0) 6W Included	Single Face Exit Sign - Arrows as Shown, Universal Mount	EMERGENCY	UNIVERSAL	Match existing	15	120V 1P 2W	With 90 minute battery backup. Provide red or green letters as req'd by local codes

- SEE REFLECTED CEILING PLAN FOR ACTUAL LUMINAIRE LOCATIONS AND DIMENSIONS.
- ALL FLUORESCENT LAMPS SHALL BE HIGH CRI, 3500K
- ALL FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS SHALL INCLUDE THE DISCONNECTING MEANS AS REQUIRED BY 410.73(G) IN THE 2005 NEC; 410.130(G) IN THE 2008 NEC

ORDER ALL LIGHTING THROUGH THE NATIONAL ACCOUNT VENDOR:

Accuserv Lighting and Equipment
 3865 Produce Road, Suite 208
 Louisville, KY 40218
 Toll Free (877) 707-7378
 Fax: (502) 961-0357
 Contact: Ashley Garner
 E-Mail: a Garner@accuserv.com

ELECTRICAL SYMBOL LIST

	LIGHTING FIXTURE: CPC-5 - IDENTIFY CIRCUIT NUMBER (TYPICAL) "L-1" - DENOTES FIXTURE TYPE TYPICAL FOR ALL FIXTURES IN THE AREA, UNLESS OTHERWISE NOTED
	HATCH DENOTES LIGHTING FIXTURE WITH EMERGENCY BATTERY PACK
	CEILING OUTLET BOX AND EXIT LIGHT WITH INTEGRAL BATTERY PACK - DIRECTIONAL ARROWS AS INDICATED. - SHADED AREA DENOTES FACE(S) UPON WHICH "EXIT" APPEARS
	CONDUIT RUN CONCEALED IN HUNG CEILING SPACE AND WALLS - TRX MARKS INDICATES NUMBER OF #12 AWG WIRES CONTAINED IN CONDUIT WHEN MORE THAN TWO
	CIRCUIT HOMERUN TO PANELBOARD - ARROWS DENOTE NUMBER OF CIRCUITS. DESIGNATION DENOTES BOARD AND NUMBERS.
	POWER CIRCUIT HOMERUN - DESIGNATION DENOTES DISTRIBUTION PANEL
	20A SPST TOGGLE SWITCH WITH STAINLESS STEEL PLATE 48" A.F.F. (TO TOP OF DEVICE)
	OCCUPANCY SENSOR FOR MULTILEVEL SWITCHING - INSD-RPT-2P-WH, 2-POLE, LINE VOLTAGE, DECOACTOR WALL SENSOR SWITCH WITH MICROPHONIC AND PIR DUAL TECHNOLOGY. OCCUPANCY SENSOR SHALL AUTOMATICALLY TURN ON LOAD 1 (50% OF LUMINAIRES IN ROOM) WHEN INITIAL OCCUPANCY IS DETECTED WHILE HOLDING OFF LOAD 2 (REMAINING LIGHTS) UNTIL THE PUSH BUTTON IS PRESSED. MAXIMUM LOAD 800 WATTS PER SENSOR.
	MULTI SERVICE FLOOR BOX. SEE KEYED NOTE ON FLOOR PLAN FOR DETAILS.
	DUPLEX RECEPTACLE, 20AB 120V, 2P, 3W (GROUNDED) NEMA CONF. 5-20R ON DEDICATED TO COMPUTERS "PC" - DENOTES PERSONAL COMPUTERS.
	DUPLEX RECEPTACLE, 20AB 120V, 2P, 3W (GROUNDED) NEMA CONF. 5-20R ON DEDICATED IG CIRCUIT. "IG" - DENOTES ISOLATED GROUND
	QUAD RECEPTACLE, 20A, 120V, 3W (GROUNDED) NEMA CONF. 5-2-R ON DEDICATED IG CIRCUIT "IG/R" - DENOTES ISOLATED GROUND AND NORMAL DUPLEX
	TELEPHONE OUTLET WITH 1" CONDUIT STUBBED 6" ABOVE ACCESSIBLE HUNG CEILING. FOR EACH OUTLET INDICATED (1) CAT 6 CABLE TO TELEPHONE SYSTEM BY OTHERS. "#8" - INDICATES QUANTITY OF TELE/DATA OUTLETS
	COMBINATION TELEPHONE/DATA OUTLET WITH 1" CONDUIT STUBBED 6" ABOVE ACCESSIBLE HUNG CEILING. (3) CAT 6 CABLES BY OTHERS
	WALL MOUNTED JUNCTION BOXES FOR FURNITURE CONNECTIONS. P - DENOTES POWER V/D - DENOTES VOICE/DATA SIGNAL WITH 1" C STUBBED BACK TO POWER PANEL AND TELE/DATA CLOSET.
	FUSED SWITCH 30A - SWITCH RATING 20A - FUSE RATING
	2 SECTION WIREMOLD G4000 (MULTI-OUTLET ASSEMBLY) RECEPTABLES AT 6" ON CENTER AND DATA OUTLETS 12" ON CENTER
	DATA OUTLET WITH 1" CONDUIT STUBBED BACK TO TELE/DATA CLOSET (1) CAT 6 CABLE BY OTHERS "#8" - INDICATES QUANTITY OF TELE/DATA OUTLETS
	QUADRUPLEX RECEPTACLE WITH 20A, 120V, 3W (GROUNDED) NEMA CONF. 5-20R
	RECESSED MOUNTED PANEL BOARD
	SURFACE MOUNTED PANEL BOARD
	WALL MOUNTED JUNCTION BOX
	RECESSED CEILING MOUNTED JUNCTION BOX
	COAX CABLE WITH 1" CONDUIT STUBBED BACK TO 6" AHC
	SVGA CABLE WITH 1" CONDUIT STUBBED BACK TO 6" AHC
	DASHED LINE INDICATES DEMOLITION

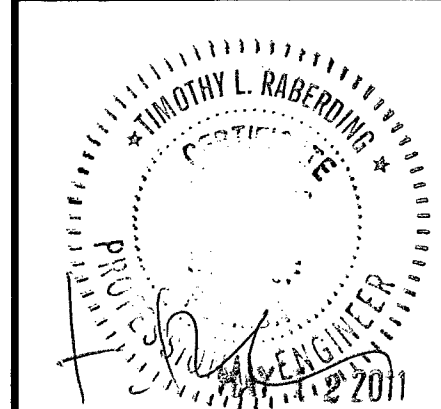
DRAWING LIST:

E-1	ELECTRICAL - NOTES, ABBREVIATIONS, SYMBOLS, DRAWING LIST, AND LIGHTING FIXTURE SCHEDULE
E-2	ELECTRICAL - POWER PLAN
E-2.1	ELECTRICAL - LIGHTING PLAN
E-3	ELECTRICAL - PANELS AND DIAGRAMS

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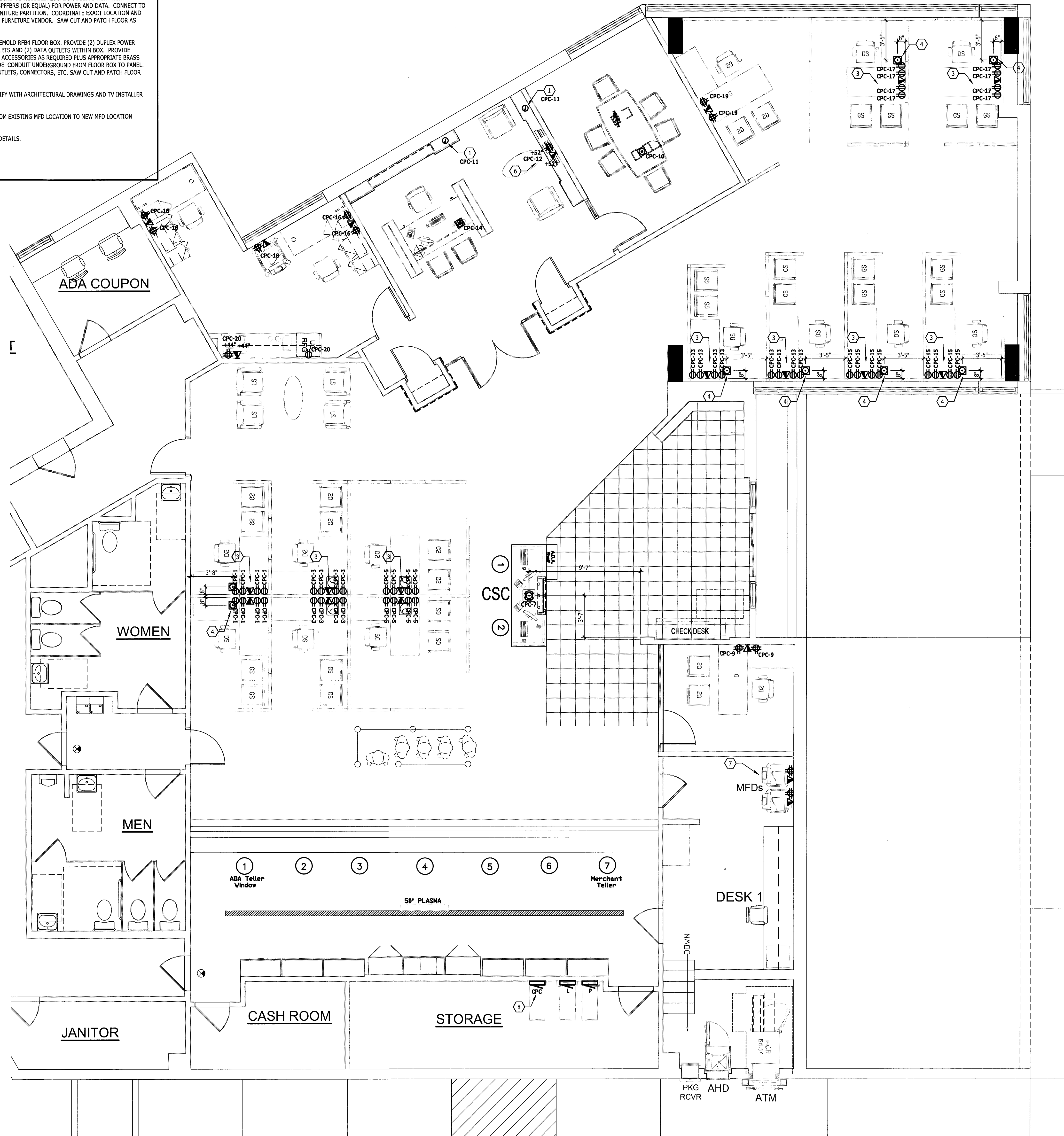
ELECTRICAL NOTES, ABBREVIATIONS

POWER GENERAL NOTES:

- A. FOR EXACT LOCATION AND MOUNTING HEIGHTS OF ALL POWER, TELEPHONE AND DATA OUTLETS SEE ARCHITECTURAL DRAWINGS.
- B. CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIRED CONDUITS, WIRES, CABLE AND BOXES TO ENERGIZE EQUIPMENT INDICATED.
- C. ALL BRANCH WIRING SHALL BE CONCEALED IN WALLS AND ABOVE HUNG CEILING.
- D. CONTRACTOR SHALL COORDINATE ON SITE WITH THE ARCHITECT, THE EXACT LOCATION OF ALL FLOOR MOUNTED DEVICES REQUIRING CORE DRILLING PRIOR TO THE START OF ANY SUCH WORK.
- E. CONTRACTOR SHALL MAINTAIN CONTINUITY IN ALL EXISTING CIRCUITRY TO REMAIN WHICH IS AFFECTED BY THE SCOPE OF WORK. CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY WIRES, CONDUIT AND JUNCTION BOXES REQUIRED TO KEEP CONTINUITY.
- F. BRANCH CIRCUITS FOR COMPUTER RECEPTACLES (MAXIMUM OF 4 RECEPTACLES PER CIRCUIT) SHALL BE PROVIDED WITH SAME NEUTRAL AND GROUND WIRES. NEUTRAL AND GROUND WIRE SHALL NOT BE CONNECTED TO CONVENIENCE RECEPTACLE CIRCUIT. CONVENIENCE BRANCH CIRCUITS SHALL HAVE MAXIMUM OF 8 RECEPTACLES PER CIRCUIT.
- G. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT AND WIRES REQUIRED TO RELOCATE EXISTING CONDUITS SERVING EXISTING POKE-THRU'S ON THE FLOOR SLAB. CONTRACTOR SHALL FIELD VERY QUANTITY OF EXISTING POKE-THRU'S PRIOR TO SUBMITTING THIS BID.
- H. CIRCUIT NUMBERS INDICATE ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT CIRCUIT NUMBER IN THE FIELD. WHEN BRANCH CIRCUITS ARE INDICATED TO BE CONNECTED TO EXISTING PANEL BOARDS.
- I. CONTRACTOR SHALL INTERCEPT AND EXTEND EXISTING CIRCUITS FEEDING RECEPTACLES BEING RELOCATED TO NEW LOCATIONS AS INDICATED.
- J. ALL ABOVE CEILING WIRING IN THE AREA OF WORK WILL BE PROPERLY STRAPPED, INCLUDING LOW VOLTAGE AND SECURITY, TO THE SATISFACTION OF THE INSPECTOR.
- K. NO DEVICES TO BE LOCATED ON LEATHER WALLS.

SHEET NOTES:

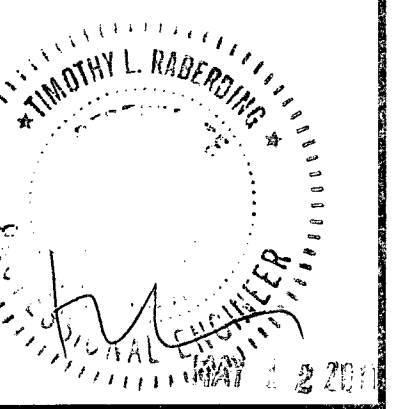
- 1. PROVIDE WIRING FOR LUMINAIRE AND LIGHT SWITCH WITHIN WALL MILLWORK. SEE SHEET A-7 FOR BRANDING WALL DETAILS. SEE SHEET A-8 FOR LEATHER WALL/LCD DETAILS.
- 2. CONNECT NEW DEVICES TO EXISTING 20A CIRCUITS ON PANEL B MADE AVAILABLE THROUGH DEMOLITION. LOAD SHALL NOT EXCEED 16 AMPS AT 120 VOLTS. EXTEND CONDUIT, WIRE, AND SAW CUT AND PATCH FLOOR AS NECESSARY.
- 3. INSTALL AND WIRE ALL ELECTRICAL OUTLETS ALONG WITH RELATED SYSTEM COMPONENTS WITHIN THE MODULAR PARTITION SYSTEM PANELS TO PROVIDE A COMPLETE OPERATING SYSTEM. THIS INCLUDES (BUT NOT LIMITED TO) RECEIVING, STORING, AND ASSEMBLING COMPONENTS PROVIDED BY THE PARTITION SYSTEM INSTALLING CONTRACTOR. COORDINATE REQUIREMENTS WITH PARTITION CONTRACTOR.
- 4. PROVIDE CONDUIT UNDERGROUND TO HUBBELL FLOORBOX #S1PFB WITH WITH FURNITURE FEED COVER #S1SPFFBS (OR EQUAL) FOR POWER AND DATA. CONNECT TO HARD WIRED OUTLETS IN FURNITURE PARTITION. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH SYSTEM FURNITURE VENDOR. SAW CUT AND PATCH FLOOR AS REQUIRED.
- 5. PROVIDE MULTI-SERVICE WIREMOLD RFB4 FLOOR BOX. PROVIDE (2) DUPLEX POWER OUTLETS, (2) TELEPHONE OUTLETS AND (2) DATA OUTLETS WITHIN BOX. PROVIDE POWER AND COMMUNICATION ACCESSORIES AS REQUIRED PLUS APPROPRIATE BRASS FINISH COVER PLATE. PROVIDE CONDUIT UNDERGROUND FROM FLOOR BOX TO PANEL. PROVIDE ALL DEVICES, I.E. OUTLETS, CONNECTORS, ETC. SAW CUT AND PATCH FLOOR AS REQUIRED.
- 6. MOUNT DEVICES 52" AFF. VERIFY WITH ARCHITECTURAL DRAWINGS AND TV INSTALLER PRIOR TO ROUGH IN.
- 7. EXTEND POWER AND DATA FROM EXISTING MFD LOCATION TO NEW MFD LOCATION SHOWN ON PLAN.
- 8. NEW CPC PANEL, SEE E3 FOR DETAILS.



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ELECTRICAL POWER PLAN

Drawing No. **E2.1**

A-1 ELECTRICAL POWER PLAN

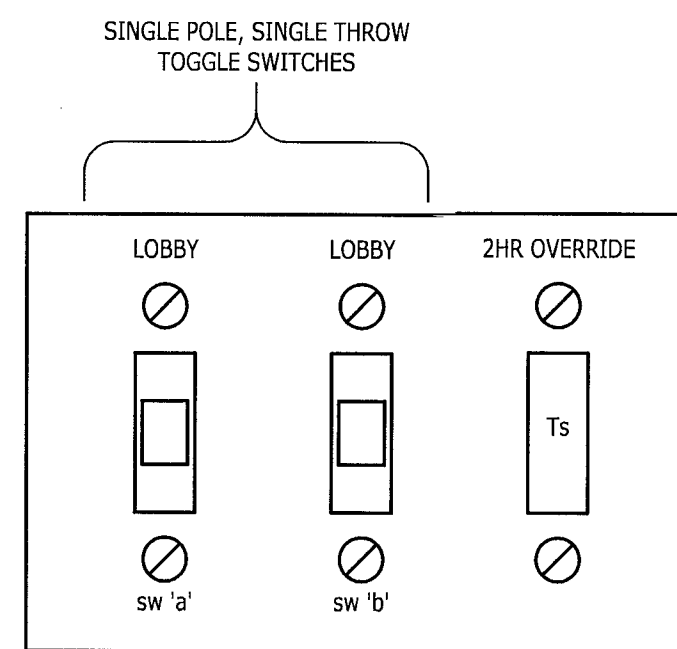
1/4" = 1'-0"

LIGHTING GENERAL NOTES:

- L1. FOR EXACT LOCATION AND MOUNTING HEIGHTS OF ALL LIGHTING FIXTURES, SWITCHES AND JUNCTION BOXES SEE ARCHITECTURAL DRAWINGS.
- L2. CIRCUIT NUMBERS INDICATED ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT CIRCUIT NUMBER IN THE FIELD. WHEN BRANCH CIRCUITS ARE INDICATED TO BE CONNECTED TO EXISTING PANEL BOARDS.
- L3. CONTRACTOR SHALL PROVIDE REQUIRED CIRCUIT, WIRE AND BOXES AS WELL AS CEILING OUTLETS AND WHIPS TO ENERGIZE LIGHTING FIXTURES AS SHOWN.
- L4. ALL BRANCH CIRCUIT WIRING SHALL BE RUN CONCEALED IN WALLS AND ABOVE HUNG CEILING. U.O.N.
- L5. CONTRACTOR SHALL MAINTAIN CONTINUITY IN ALL EXISTING CIRCUITRY TO REMAIN WHICH IS AFFECTED BY THE SCOPE OF WORK. CONTRACTOR TO FURNISH AND INSTALL ALL NECESSARY WIRES, CONDUIT AND JUNCTION BOXES REQUIRED TO KEEP CONTINUITY.
- L6. ALL ABOVE CEILING WIRING IN THE AREA OF WORK WILL BE PROPERLY STRAPPED, INCLUDING LOW VOLTAGE AND SECURITY, TO THE SATISFACTION OF THE INSPECTOR.
- L7. NO DEVICES TO BE LOCATED ON LEATHER WALLS.

SHEET NOTES:

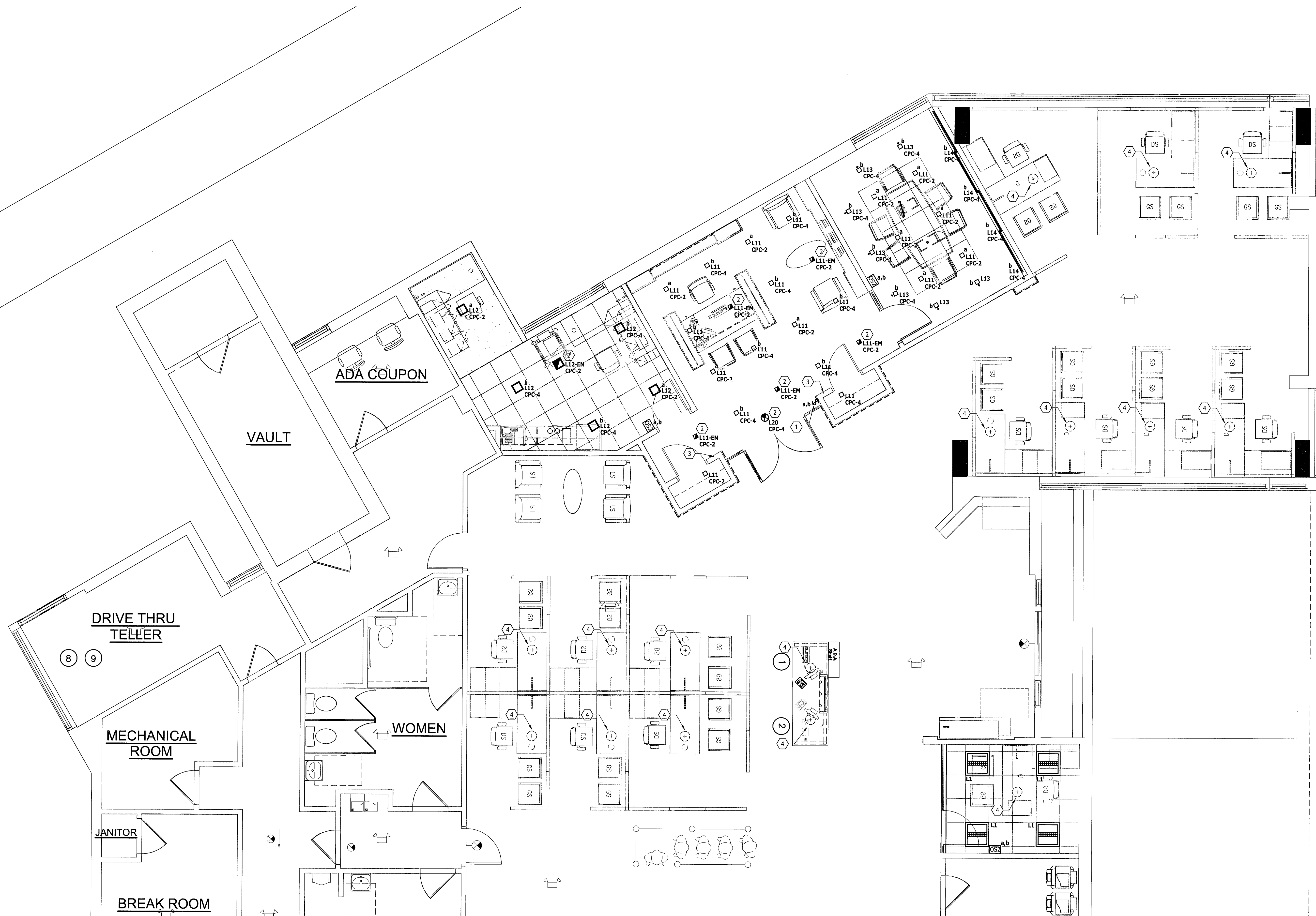
- 1. PROVIDE MAIN SWITCH BANK FOR MULTI-LEVEL SWITCHING OF SSA AREA LIGHTS AND OVERRIDE SWITCH (MAXIMUM 2-HOURS) FOR MANUAL OVERRIDE OF AUTOMATIC SHUT-OFF TIMER. SEE MAIN SWITCH BANK DETAIL THIS SHEET. UTILIZE EXISTING LIGHTING CONTROL DEVICES TO FOR AUTOMATIC CONTROL LIGHTS.
- 2. CONNECT LUMINAIRE AHEAD OF ALL SWITCHING FOR 24/7 OPERATION.
- 3. PROVIDE DOOR JAMB SWITCH FOR LIGHT IN CLOSET.
- 4. RELOCATE EXISTING PENDANT LIGHTS TO NEW LOCATIONS SHOWN. EXTEND CONDUIT AND WIRE TO NEW LOCATION. MAINTAIN EXISTING CONTROL.



NOTE: ATTACH LAMICOID NAMEPLATE WITH AREA CONTROLLED ABOVE EACH SWITCH. NAMEPLATE TO BE WHITE WITH INNER BLACK LAYER TO SHOW BLACK LETTERS WHEN ENGRAVED.

K9 WALL SWITCH

NTS



A-1 ELECTRICAL LIGHTING PLAN

1/4" = 1'-0"

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8.22.11	ADDENDUM C - PLAN REVIEW RESPONSES
8.12.11	ADDENDUM B - PLAN REVIEW RESPONSES
6.6.11	ADDENDUM A
5.5.11	ISSUED FOR PERMITTING
04.25.11	ISSUED FOR BIDDING
	Revised/Submitted

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Checked	JS/DR
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Drawing Title	ELECTRICAL LIGHTING PLAN

Drawing No. **E2.2**

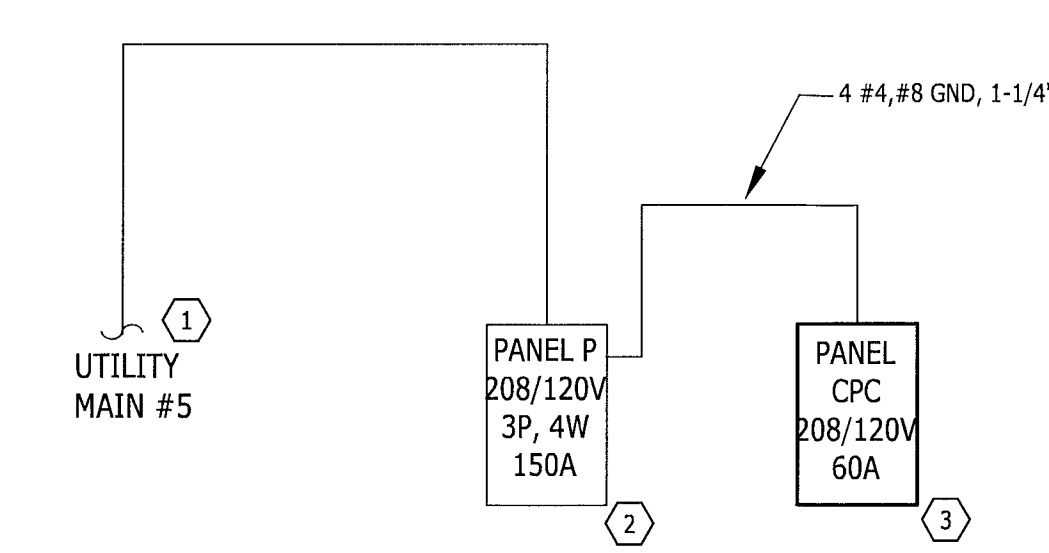
FAULT CURRENT SCHEDULE

DEVICE	FAULT	AIC RATING	L-N VOLTS	UTILITY			FED FROM			FEEDER								
				FAULT	X	R	DEVICE	FAULT	X	R	SIZE	X / 1000'	R / 1000'	LENGTH	X	R		
P	10,000	10,000	120V	10,000	0.01177	0.002353												
CPC	7,648	10,000	120V	7,648	0.01251	0.009472	P	10,000	0.01177	0.002353	#6	0.051	0.49	14'-6"	0.0007	0.0071		

- NOTES:**
- CONTRACTOR SHALL PROVIDE COMPLIANCE WITH NEC 110.26 "SPACES ABOUT ELECTRICAL EQUIPMENT"
 - CONTRACTOR SHALL PROVIDE COMPLIANCE WITH NEC 408.4 "CIRCUIT DIRECTORY OR CIRCUIT IDENTIFICATION"
 - CONTRACTOR SHALL CONFIRM PROPERLY SIZED GROUNDING ELECTRODE CONDUCTORS AND CONNECTIONS TO ALL GROUNDING ELECTRODES PRESENT AT THE STRUCTURE IN ACCORDANCE WITH ARTICLE 250.50 AND 250.52. THIS INCLUDES: METAL UNDERGROUND WATER PIPE, METAL FRAME OF BUILDING, CONCRETE ENCASED ELECTRODE, GROUND RODS, ALL OTHER LISTED ELECTRODES.
 - PROVIDE ARC FLASH WARNING LABELS PER NEC 110.16.
 - EXISTING ITEMS ON THIS DIAGRAM ARE SHOWN AS "LIGHT" OR "SHADE"
 - ALL CONDUCTORS SHALL BE TYPE THHN, SOLID COPPER, UNLESS OTHERWISE NOTED.
 - ALL FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS PER NEC 240.60B.
 - ALL EQUIPMENT SHALL BE FULLY RATED.
 - EQUIPMENT SHALL BE LISTED BY A CITY OF LOS ANGELES RECOGNIZED ELECTRICAL TESTING LABORATORY OR APPROVED BY THE DEPARTMENT.

RISER NOTES

- EXISTING SERVICE TO REMAIN.
- EXISTING PANEL TO PROVIDE NEW 60A 2P BREAKER FOR NEW PANEL C. NEW BREAKER SHALL MATCH 10K AIC RATING OF EXISTING PANEL.
- PROVIDE NEW PANEL BOARD "CPC". SEE INSTALL. LOCATION ON E-2.1. PANEL SHALL BE FULLY RATED.



E8 ELECTRICAL SERVICE RISER DIAGRAM & ELEVATION

NTS

CPC

ROOM MOUNTING RECESSED BUS AMPS 60 VOLTS 208Y/120V 3P 4W AIC 10,000 NEUTRAL 100% LUGS STANDARD

CKT #	CIRCUIT DESCRIPTION	KVA LOAD			CKT BKR	CIRCUIT DESCRIPTION	CKT #		
		A	B	C					
1	RECEP CCR	1.44			20/1	0.638	LIGHTING	2	
3	RECEP CCR		1.44		20/1	0.689	LIGHTING, EM LITS	4	
5	RECEP CCR			1.44	20/1	0	SPARE	5	
7	FLOOR BOX	0.35			20/1	0	SPARE	8	
9	RECEP COPIER		2		20/1	0.36	FLOOR BOX	10	
11	MILLWORK LIGHTS			0.36	20/1	0.18	TV	12	
13	RECEP CCR	1.44			20/1	0.36	FLOOR BOX	14	
15	RECEP CCR		1.44		20/1	1.44	RECEP CCR	15	
17	RECEP CCR			1.44	20/1	1	RECEP COPIER	18	
19	RECEP CCR	0.72			20/1	1.36	RECEP PRINTER ROOM, MINI FRIDGE	20	
21	SPARE		0		20/1	0	SPARE	22	
23	SPARE		0		20/1	0	SPARE	24	
						6.32	7.37	4.42	TOTAL CONNECTED KVA
						52.7	61.4	36.8	TOTAL CONNECTED AMPS

LOAD TYPE	CONN. KVA	DEMAND KVA	LOAD TYPE	CONN. KVA	DEMAND KVA
LIGHTING	1.33	1.66 (125%)	CONTINUOUS	0	0 (125%)
LARGEST MOTOR	0	0 (125%)	HEATING	0	0 (100%)
OTHER MOTORS	0	0 (100%)	NONCONTINUOUS	14.2	14.2 (100%)
RECEPTACLES	2.62	2.62 (50%-100)	KITCHEN EQUIP	0	0 (N/A)
EXISTING	0	0 (125%)	NONCOIN/DIVERSE	0	0 (N/A)
Continuous	0	0 (0%)			
		TOTAL KVA:		18.1	18.4
		TOTAL BALANCED DEMAND AMPS:		51.2	

NOTES:

A1 PANEL SCHEDULES

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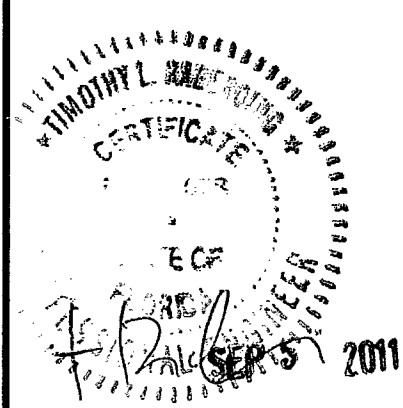
- GENERAL NOTES**
- ALL ENDS OF CONDUIT SYSTEM SHALL HAVE A BUSHING OR A CONNECTOR INSTALLED FOR THE PURPOSE OF PROVIDING PROTECTION OF CONDUCTORS.
 - ALL LOW VOLTAGE WIRING IN INACCESSIBLE AREAS SHALL BE INSTALLED IN METALLIC CONDUIT.
 - CONDUIT SYSTEMS INSTALLED ON THE ROOF SHALL BE SUPPORTED EVERY FIVE FEET.
 - ALL GREENFIELD SHALL CONTAIN A PROPERLY SIZED GREEN GROUND CONDUCTOR AND NOT EXCEED SIX FEET IN LENGTH.
 - FOR FUTURE EXPANSION, PROVIDE TWO EMPTY 3/4" CONDUIT FROM EACH PANEL, STUBBED INTO CEILING CAVITY AND TERMINATED INTO 1900 BOX WITH A BLANK COVER.
 - CONNECT ALL BRANCH CIRCUIT CONDUCTORS BY MEANS OF A SCREW TERMINAL.
 - THE CONTINUITY OF ANY BRANCH CIRCUIT CONDUCTOR, INCLUDING ANY IDENTIFIED GROUNDED CONDUCTOR, SHALL NOT DEPEND UPON DEVICE CONNECTIONS, SUCH AS LAMP HOLDERS, RECEPTACLES, ETC., WHERE THE REMOVAL OF SUCH DEVICES WOULD INTERRUPT CONTINUITY.
 - THE LOAD ON ANY SERVICE ENTRANCE CONDUCTOR, MAIN SERVICE DISCONNECT AND PANEL BOARDS SHALL NOT EXCEED 80 PERCENT OF ITS RATING.
 - DERATING OF NEUTRALS IS PROHIBITED.
 - USE OF AUXILIARY GUTTERS, WIREWAYS, TROUGHS, JUNCTION BOXES, OR RACEWAYS AS ENCLOSURES FOR SERVICE ENTRANCE OR TAPPING OF SERVICE ENTRANCE CONDUCTORS IS STRICTLY PROHIBITED.
 - PROVIDE METAL IDENTIFICATION TAGS WHERE THE GROUNDING CONDUCTOR IS CONNECTED TO THE GROUNDING ELECTRODE.
 - PROVIDE ALL WIRING INCLUDING LOW VOLTAGE TO DRIVE-UP LANE DESIGNATOR SIGNAGE. REFER TO MANUFACTURER'S WIRING DIAGRAMS.
 - CONDUITS THAT CONTAIN THE SERVICE GROUND CONDUCTORS FROM THE METER TO THE ELECTRICAL ROOM SHALL BE RUN UNDERGROUND OR SHALL NOT EXTEND EXPOSED MORE THAN FIVE FEET BEFORE TERMINATING INTO THE SERVICE DISCONNECT ENCLOSURE.
 - PROVIDE BUSSMAN IN-LINE, TYPE "HEB-AA" FUSE HOLDER (OR EQUAL) FOR THE PARKING LOT LIGHTING. PROVIDE RUBBER COVER "BOOT" OVER THE CRIMPED AREA OF THE FUSE HOLDER.

NO.	DATE	DESCRIPTION
1	9.1.11	ADDENDUM F - AIC RATING
2	8.31.11	ADDENDUM E - BRANDING WALL REVISIONS
3	8.29.11	ADDENDUM D - FIRE DEPARTMENT COMMENTS
4	8.23.11	ADDENDUM C - PLAN REVIEW RESPONSES
5	8.21.11	ADDENDUM B - PLAN REVIEW RESPONSES
6	8.11.11	ADDENDUM A
7	6.5.11	ISSUED FOR PERMITTING
8	6.25.11	ISSUED FOR BIDDING

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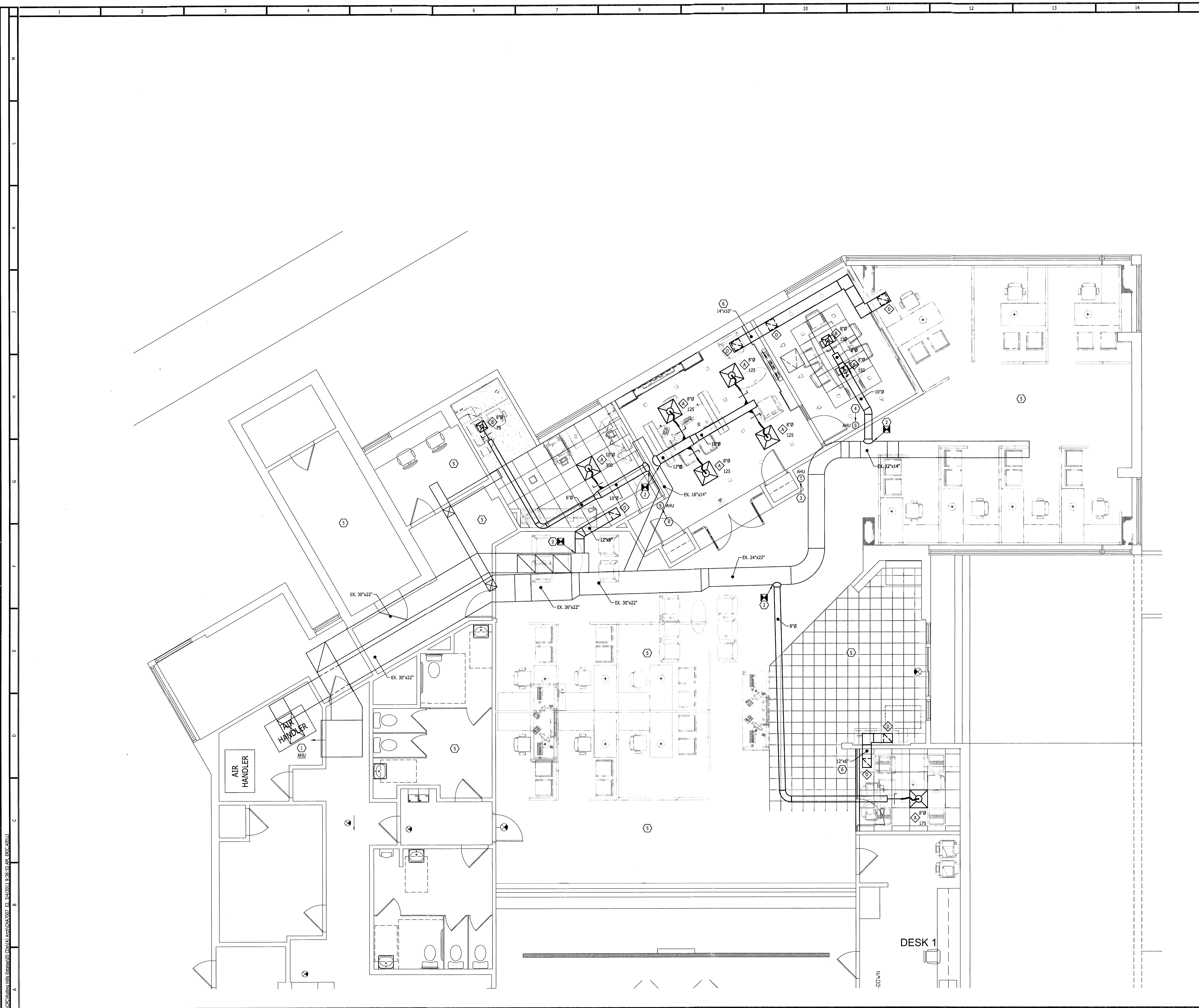
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ELECTRICAL PANELS AND DIAGRAMS

Drawing No. **E3**



SHEET NOTES

- 1 EXISTING DX SPLIT SYSTEM AIR HANDLING UNIT TO BE REUSED. PROVIDE ROUTINE MAINTENANCE INCLUDING CLEANING, LUBRICATION, BELT AND FILTER CHANGES. RECHARGE REFRIGERANT AND CLEAN BLOWER COIL AS REQUIRED.
- 2 CONNECT NEW DUCTWORK/AIR DEVICE TO EXISTING SUPPLY MAIN AS SHOWN.
- 3 PROVIDE NEW 7 DAY PROGRAMMABLE AVERAGING THERMOSTAT WITH A MINIMUM OF 2 ADDITIONAL INPUTS. MOUNT AT 48" AFF.
- 4 PROVIDE NEW AVERAGING TEMPERATURE SENSOR. MOUNT AT 48" AFF.

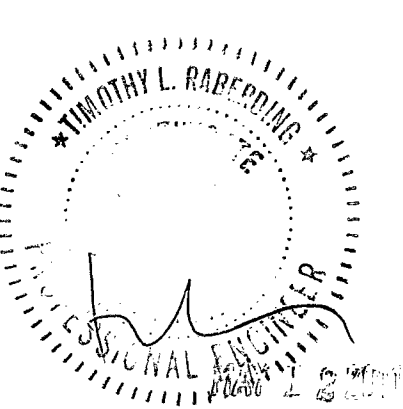
GENERAL NOTES

- A. PROVIDE INSULATED FLEXIBLE DUCT CONNECTIONS TO DIFFUSERS. FLEX DUCT LENGTH NOT TO EXCEED 5 FT.
- B. MODIFY THE SPRINKLER SYSTEM (WHERE EXISTING) TO ACCOMMODATE NEW FLOOR PLAN LAYOUT PER NFPA 13. REPLACE SPRINKLER HEADS AS REQUIRED. ALL HEADS IN THE SALES AREA ARE TO BE CONCEALED PENDANT TYPE. NON-SALES AREAS ARE TO BE PENDANT TYPE. CONTACT THE LANDLORD FOR ADDITIONAL REQUIREMENTS AND A LIST OF APPROVED FIRE PROTECTION CONTRACTORS.
- C. VERIFY THE EXACT MOUNTING FRAME REQUIRED FOR EACH DIFFUSER.
- D. PROVIDE ALL MANUAL BALANCE DAMPERS REQUIRED TO BALANCE THE ENTIRE SYSTEM.
- E. ALL INTERIOR DUCT WORK SHALL BE INSULATED WITH A MINIMUM R-4.2 INSULATION AND ALL EXTERIOR DUCTWORK SHALL BE INSULATED WITH A MINIMUM R-8 INSULATION PER 2003 IECC CHAPTER 8.
- F. CONTRACTOR TO VERIFY EXISTING STRUCTURAL CONDITIONS BEFORE FABRICATION OF DUCTWORK. KEEP DUCTWORK TIGHT TO STRUCTURE.
- G. ALL DUCTWORK SHALL BE GALVANIZED SHEETMETAL PER SMACNA STANDARDS. NO DUCTBOARD PERMITTED.
- H. DEMOLITION - REMOVE ALL EXISTING MECHANICAL EQUIPMENT, DUCTWORK, TAPS, PLUMBING FIXTURES, PIPING, SYSTEMS, ETC. NOT BEING REUSED; DO NOT JUST ABANDON.
- I. EXISTING SMOKE EVACUATION SYSTEM TO REMAIN AS IS. THE CURRENT SCOPE OF WORK HAS NO IMPACT ON THE DESIGN OF THE SMOKE EVACUATION SYSTEM.
- J. THE EXISTING SUPPLY TRUNK SHALL REMAIN.
- K. REBALANCE ALL EXISTING AND NEW AIR DEVICES TO THE INDICATED CFM.

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MECHANICAL FLOOR PLAN

Drawing No. **M1.0**

A-1 MECHANICAL FIRST FLOOR PLAN

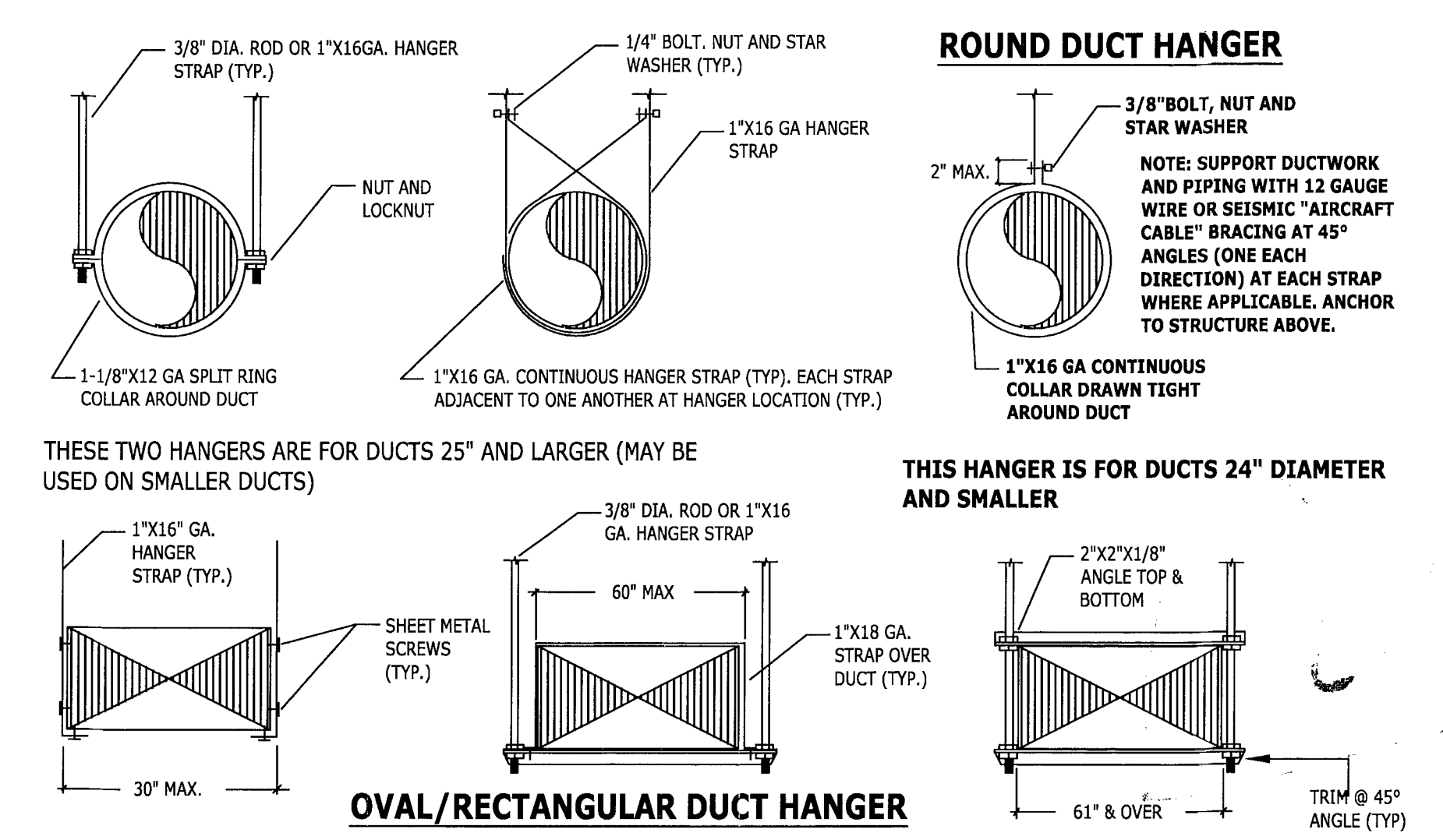
1/4" = 1'-0"

CONFIDENTIAL

190115
 110115
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GRILLE, REGISTER AND DIFFUSER SCHEDULE										
SYMBOL	MANUFACTURER	MODEL	SERVICE	MODULE (L" X W")	FACE SIZE (L" X W")	FRAME TYPE	FINISH	MOUNTING	N.C.	NOTES
◇	TITUS	TMSA	SUPPLY DIFFUSER	24" X 24"	24" X 24"	SEE PLANS	OFF WHITE	CEILING	<35	A, B, C
◇	TITUS	TMSA	SUPPLY DIFFUSER	12" X 12"	12" X 12"	SEE PLANS	OFF WHITE	CEILING	<35	A, B, C
◇	TITUS	SOF	RETURN/EXHAUST GRILLE	12" X 12"	12" X 12"	SEE PLANS	OFF WHITE	CEILING	<35	A, B

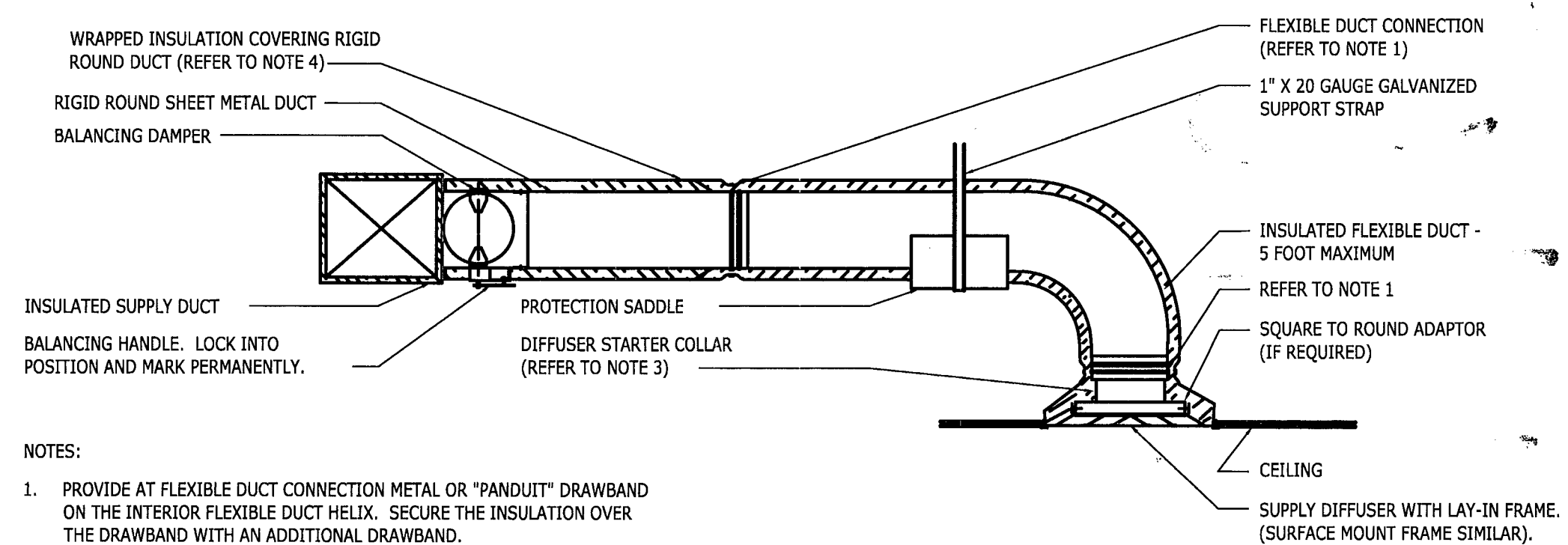
NOTES:
 A. FRAME AND FACE BLADES SHALL HAVE BAKED ENAMEL OFF-WHITE FINISH.
 B. COORDINATE EXACT FRAME MOUNTING TYPE WITH ARCHITECTURAL CEILING PLAN.
 C. BRANCH DUCT SIZE SHALL BE SAME AS NECK SIZE UNLESS OTHERWISE NOTED.
 D. REBALANCE TO CFM INDICATED ON PLAN.



NOTES:
 1. REFER TO SPECIFICATIONS FOR HANGER SPACINGS AND UMC 604.2.2 AND 604.2.3.
 2. ATTACHMENTS TO OVERHEAD STRUCTURE SHALL BE MADE IN ACCORDANCE WITH STRUCTURAL ENGINEERS REQUIREMENTS AND WEIGHT LIMITATIONS. ALL ATTACHMENT METHODS TO STRUCTURE SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR REVIEW.

J11 DUCT HANGING

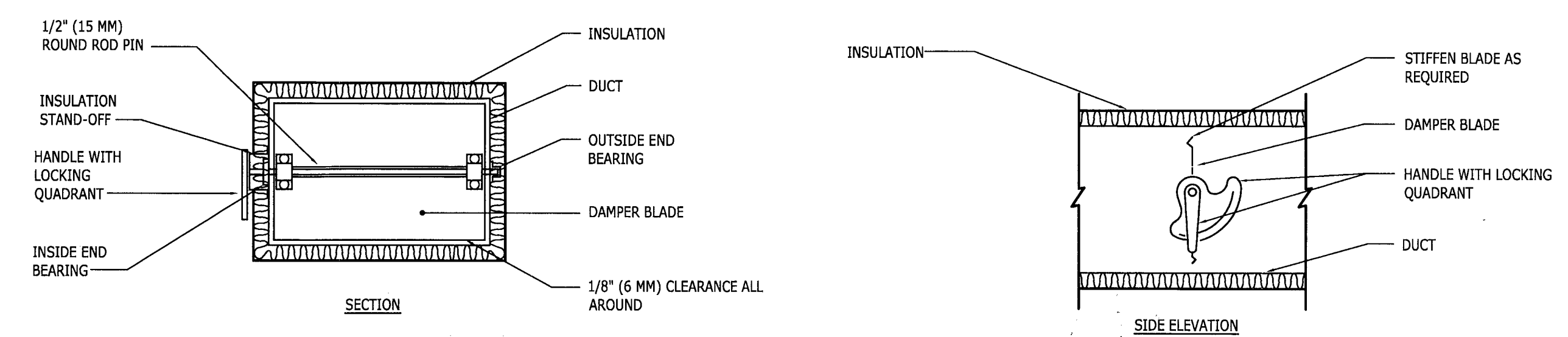
N.T.S.



NOTES:
 1. PROVIDE AT FLEXIBLE DUCT CONNECTION METAL OR "PANOUT" DRAWBAND ON THE INTERIOR FLEXIBLE DUCT HELIX. SECURE THE INSULATION OVER THE DRAWBAND WITH AN ADDITIONAL DRAWBAND.
 2. PROVIDE BEADING ON ROUND METAL DUCT 12" OR LARGER IN DIAMETER.
 3. PROVIDE MINIMUM 4" COLLARS FOR ATTACHMENT OF THE FLEXIBLE DUCT TO ROUND DUCT, DAMPERS AND DIFFUSERS.
 4. BAND RIGID ROUND DUCT INSULATION TO DUCT AND PROVIDE TAPE FOR INSULATION OVERLAP.

E11 SUPPLY DIFFUSER

N.T.S.



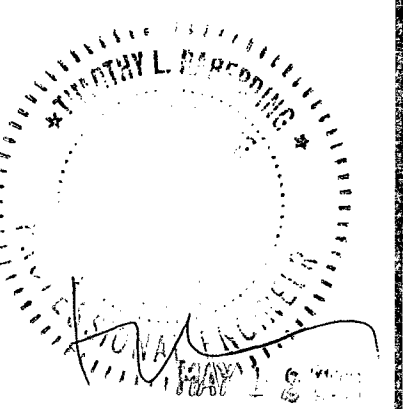
NOTES:
 1. DETAIL SHOWS SINGLE BLADE DAMPER. DAMPER INSTALLATION SHALL BE SIMILAR FOR MULTI-BLADE DAMPERS & ROUND DAMPERS.

A11 MANUAL BALANCE DAMPER

N.T.S.

CHASEO
 CPC - CORAL GABLES
 355 ALHAMBRA CIRCLE
 CORAL GABLES, FL 33134

design-form.
 engineering
 7975 Papan Road, Dayton, Ohio 45469 Telephone: (937) 439-4400
 7975 Papan Road, Dayton, Ohio 45469 Telephone: (937) 439-4400
 7975 Papan Road, Dayton, Ohio 45469 Telephone: (937) 439-4400



Project No. CHA7012
 Scale AS NOTED
 Drawn CAW
 Checked JS/DR
 Date 05.3.11
 Drawing Title

MECHANICAL DETAILS

Drawing No. **M2.0**

M2011007160

B1103915

DEPM
PLAN REVIEW
FINAL
APPROVAL
DEPARTMENT OF ENVIRONMENTAL
RESOURCES MANAGEMENT
DATE 7/11/11

B1103915
1801 N 177th Rd
OFFICE COPY

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
SUNSHINE ONE-CALL 1-800-432-4770
CITY OF MIAMI BEACH 305-673-7080

PLANNING
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or
easements, requires a separate Public Works Department permit prior
to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions
(pictures) and/or posting of sidewalk/swale area bonds
(Public Works Inspection of the right-of-way will be required prior to
final sign-off on the C.C. / C.O., or the release of bonds.)

Approved/Reviewed By: [Signature] Date: 09/08/11

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING: [Signature]
- ZONING: [Signature]
- DRB/HPB: [Signature]
- CONCURRENCY: [Signature]
- PLUMBING: [Signature]
- ELECTRICAL: [Signature]
- MECHANICAL: [Signature]
- FIRE PREVENTION: [Signature]
- ENGINEERING: [Signature]
- PUBLIC WORKS: [Signature]
- STRUCTURAL: [Signature]
- ELEVATOR: [Signature]

APPROVED
DATE 09/08/11
DEBRA MENDEZ
PERMIT-PRO'S, INC.

PLANNING
PLAN REVIEW NOTICE
Phone 305-673-7080 Fax 305-673-7028
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.
All construction and/or use of equipment in the right-of-way and/or
easements, requires a separate Public Works Department permit prior
to start of construction.
Permit Requirements: Proof of existing sidewalk/swale area conditions
(pictures) and/or posting of sidewalk/swale area bonds
(Public Works Inspection of the right-of-way will be required prior to
final sign-off on the C.C. / C.O., or the release of bonds.)
Approved/Reviewed By: [Signature] Date: 09-9-2011

48 HOURS PRIOR TO EXCAVATING
CONTRACTOR SHALL CALL FOR LOCATION
OF UNDERGROUND UTILITIES
SUNSHINE ONE-CALL 1-800-432-4770
CITY OF MIAMI BEACH 305-673-7080

Design Forum
Corporate Headquarters
7575 Paragon Road.
Dayton, OH 45459
Phone: 937-439-4400
Fax: 937-439-4340
Los Angeles Office
Phone: 949-4501-1101

September 9, 2011

**City of Miami Beach
Building Division**

The following are the clarifications to the Plan Review Responses sent August 23, 2011. Revisions or clarifications have been identified with this written response.

Re:	PC #:	B1103915
	Commercial Plan Review Dated:	8.17.11
	Project Name:	Chase – CPC Alton
	Address:	1801 Alton Road
	Occupancy:	B

It was stated in our response to questions regarding existence of fire alarm system that a fire alarm exists at this location.

In fact a fire alarm does not exist and is not required per code at this location.

Attached is our revised cover sheet for this project.

Please accept this submittal as clarification to our previous responses.

Should you have any questions concerning any of the responses above please call me at 937-312-8929 to discuss.

Sincerely,



Don Rethman, AIA
Senior Vice President Architecture
Design Forum Architects
CC: File



CPC - ALTON RD
1801 ALTON RD.
MIAMI BEACH, FL 33139

BREV 11313
 OFFICE COPY
 CITY OF MIAMI BEACH
 APPROVED FOR PERMIT BY
 THE FOLLOWING:

PUBLIC WORKS
 PLAN REVIEW NOTICE
 Phone 305-673-7090 Fax 305-673-7028

THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/curb area conditions (interior) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C./C.O. or the release of bonds.)

Approved/Reviewed By: *B. Small* Date: *9/20/11*

BUILDING: *[Signature]*
 ZONING: *[Signature]*
 CONFORMANCE: *[Signature]*
 PLUMBING: *[Signature]*
 ELECTRICAL: *[Signature]*
 MECHANICAL: *[Signature]*
 FIRE PREVENTION: *[Signature]*
 ENGINEERING: *[Signature]*
 PUBLIC WORKS: *[Signature]*
 ARCHITECTURAL: *[Signature]*
 LEGAL: *[Signature]*

- A. ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OTHER HANDICAP ACCESSIBILITY CODES.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING SCHEDULING AND SEQUENCING OF THE WORK.
- C. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- D. THE DRAWINGS ARE NOT TO BE SCALED FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC. VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- E. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- F. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
- G. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES REQUIRED.
- H. ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- I. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- J. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- K. ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
- L. SIGNS EXCEPT AS INDICATED ON CIVIL DRAWINGS AND ADA TOILET ROOM SIGNS ARE PROVIDED BY OWNER'S SIGN CONTRACTOR.
- M. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- N. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET-UP AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.



CLIENT (OWNER):
JP MORGAN CHASE BANK, N.A.
 24085 EL TORO RD, 2ND FLOOR
 LAGUNA HILLS, CA 92653
 PHONE: (949) 458-7006
 FAX: (949) 272-4540
 CONTACT: SUSAN NOLAN
 EMAIL: susan.nolan@chase.com

ARCHITECT OF RECORD
DESIGN FORUM ARCHITECTS
 7575 PARAGON RD.
 DAYTON, OH 45459
 PHONE: (937) 439-4400
 FAX: (937) 439-7247
 CONTACT: ANDY MCLOUD
 EMAIL: andy.mcloud@interbrand.com

ENGINEERING FIRM
DESIGN FORUM ENGINEERING
 7575 PARAGON RD.
 DAYTON, OH 45459
 PHONE: (937) 312-8876
 FAX: (937) 439-7247
 CONTACT: TIM RABERDING
 EMAIL: tim.raberding@interbrand.com

DWG. #	DRAWING TITLE
T1	ARCHITECTURE COVER
A0.1	SITE PLAN/ EGRESS PLAN
A0.2	ACCESSIBILITY DETAILS
A1	DEMOLITION PLAN
A2	FLOOR PLAN
A3	FINISH PLAN
A4	FURNITURE PLAN
A5	REFLECTED CEILING PLAN
A6	INTERIOR ELEVATIONS & DETAILS
A7	BRANDING WALL ELEVATIONS, SECTIONS & DETAILS
A8	LEATHERY LCD WALL ELEVATION, SECTION & DETAILS
A9	DOOR SCHEDULE AND DETAILS
ENGINEERING	
M1	MECHANICAL PLAN
E1	ELECTRICAL NOTES, ABBREVIATIONS
E2.1	ELECTRICAL POWER PLAN
E2.2	ELECTRICAL LIGHTING PLAN
E3	ELECTRICAL PANELS AND DIAGRAMS

F1 GENERAL NOTES

PROJECT LOCATION
 CPC - ALTON RD
 1801 ALTON RD.
 MIAMI BEACH, FL 33139

JURISDICTION
 CITY OF MIAMI

REFERENCE CODES

BUILDING CODE:	2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENT
RESIDENTIAL CODE:	2007 FLORIDA RESIDENTIAL CODE WITH 2009 SUPPLEMENT
EXISTING BUILDING CODE:	2007 FLORIDA EXISTING BUILDING CODE WITH 2009 SUPPLEMENT
PLUMBING CODE:	2007 FLORIDA PLUMBING CODE WITH 2009 SUPPLEMENT
MECHANICAL CODE:	2007 FLORIDA MECHANICAL CODE WITH 2009 SUPPLEMENT
TEST PROTOCOLS CODE:	2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENT
FIRE GAS CODE:	2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENT
ENERGY CODE:	2007 FLORIDA BUILDING CODE WITH 2009 SUPPLEMENT

OCCUPANCY CLASSIFICATION (CHAPTER 3):
 SECTION 304 - GROUP B (BUSINESS)

TYPE OF CONSTRUCTION (CHAPTER 6):
 SECTION 1-1

NUMBER OF STORIES:
 2 STORIES, ENTIRE PROJECT ON GROUND FLOOR

FIRE PROTECTION SYSTEMS (CHAPTER 9):
 SECTION 903 - NON SPRINKLERED

OCCUPANT LOAD (CHAPTER 10):
 SECTION 1004 OCCUPANT LOAD
 1ST FLOOR: 7,208 SF (888 SF AREA REMODELED ON THIS PERMIT)
 TOTAL: 70 OCCUPANTS

EXITS PROVIDED = 2 TOTAL
 # EXITS REQUIRED = 2

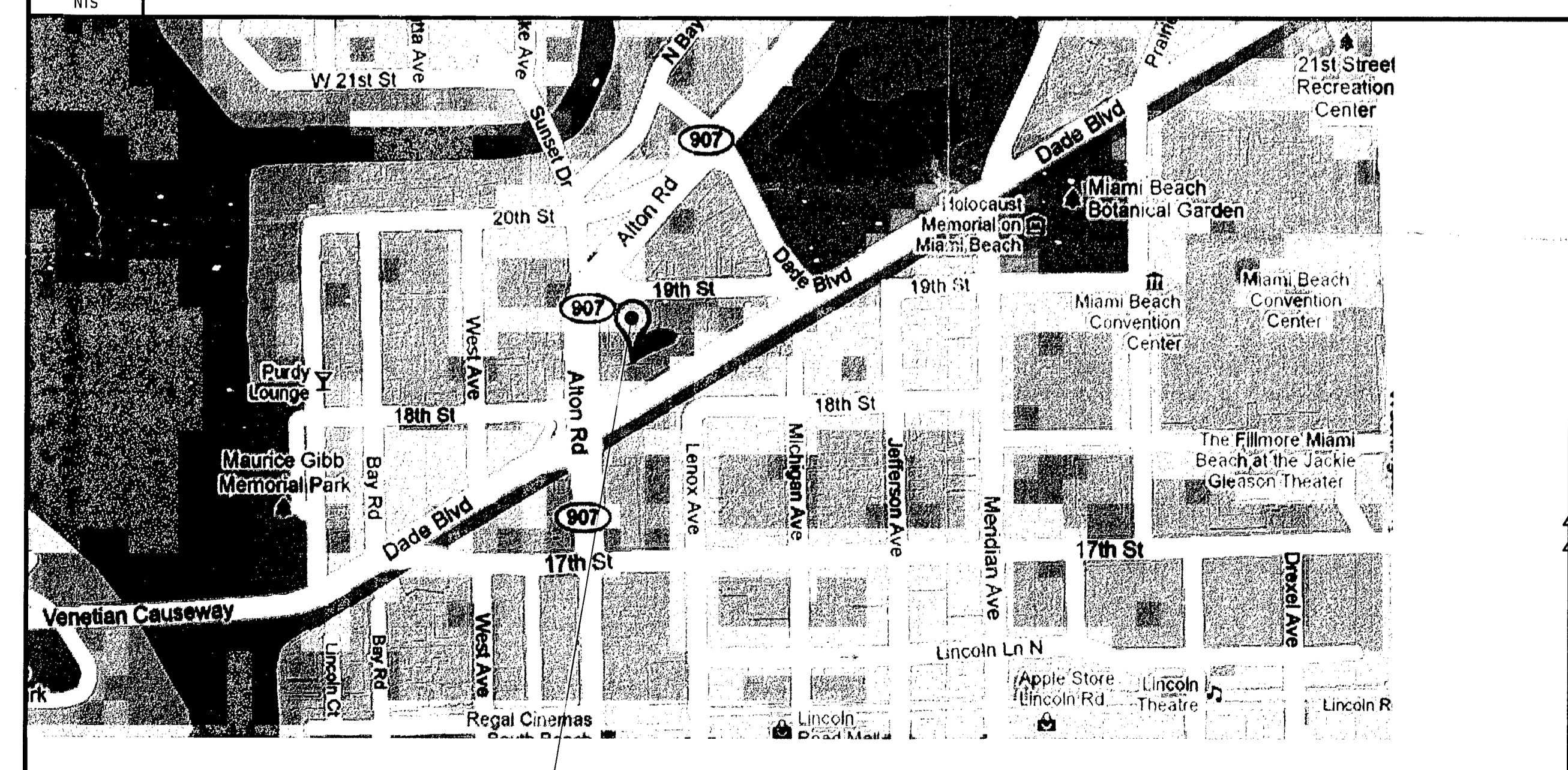
TABLE 1016.1 MAXIMUM TRAVEL DISTANCE 200'

SECTION 1021.2 WIDTH OF EXIT PASSAGEWAY
 MINIMUM WIDTH = 44" (> 50 OCCUPANTS)
 144" PROVIDED

ACCESSIBILITY (CHAPTER 11):
 THESE PLANS COMPLY WITH ALL OF THE PROVISIONS SET FORTH IN ADAAG AND TITLE 24

EXTERIOR SIGNAGE:
 EXISTING TO REMAIN

D5 KEY PLAN



F11 PROJECT TEAM

- FIRE PROTECTION SPRINKLER SYSTEM AND FIRE ALARM SYSTEM NOT REQUIRED.
- OCCUPANCY SIGNAGE SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS
- PROVIDE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS IN TYPE, NUMBER AND LOCATION AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR
- GENERAL CONTRACTOR SHALL VERIFY, COORDINATE AND/OR INSTALL ANY SMOKE DETECTION AND/OR FIRE ALARM CONNECTORS AS REQUIRED PER LANDLORD AND JURISDICTION HAVING AUTHORITY.
- ANY REQUIRED FIRE DAMPER ASSEMBLIES INCLUDING SLEEVES AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO INSTALLATION.
- PROVIDE FIRE DAMPER WITH FUSIBLE LINK WHEREVER DUCT WORK PENETRATES FIRE-RATED WALL, U.O.N.
- ALL REQ. PERMITS AND APPROVALS MUST BE OBTAINED FROM THE FIRE DEPARTMENT BEFORE BUILDINGS ARE OCCUPIED.
- DURING CONSTRUCTION THE GENERAL CONTRACTOR IS TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A:10BC FOR EACH FLOOR.
- FIRE EXTINGUISHERS SHALL BE PROVIDED WITH 7.5" MAX TRAVEL DISTANCE FOR EACH 6000 SF OF PORTION THEREOF ON EACH FLOOR.
- INSTALL APPROVED FIRE EXTINGUISHERS PER NATIONAL FIRE PROTECTION ASSOCIATION. FIRE EXTINGUISHERS TO BE APPROVED BY LOCAL FIRE DEPARTMENT. PROVIDE 5B, FIRE EXTINGUISHER(S) (ONE FIRE EXTINGUISHER PER 75' FOR LOW HAZARD.)

D11 FIRE DEPARTMENT NOTES

THIS PROJECT CONSISTS OF THE REMODEL OF AN APPROXIMATE 808 SQ. FT. AREA OF AN EXISTING 7,208 SQ. FT. 'B'-USE (BANK). THE WORK IS ON THE FIRST FLOOR OF AN EXISTING 2 STORY BUILDING AS DESIGNATED ON THESE DRAWINGS.

LEVEL 2 SCOPE OF WORK: WORK IN THESE TENANT IMPROVEMENT DOCUMENTS INCLUDE CONSTRUCTION OF INTERIOR NON LOAD BEARING PARTITIONS, DOORS, WALL, FLOOR AND CEILING FINISHES, ELECTRICAL AND MECHANICAL WORK.

THIS SUBMISSION COMPLIES WITH PROVISIONS SET FORTH IN CHAPTER 6 AND 7 SET FORTH IN THE 2007 FLORIDA EXISTING BUILDING CODE.

NOTICE: In addition to the requirement of this permit there may be additional restrictions applicable to this property that may be found in the Public Records of this County. It is the responsibility of the applicant to verify the requirements from other government entities, such as state agencies, or federal agencies. The City of Miami Beach assumes no responsibility for any claims from these entities which are a part of the permit process.

A1 CODE NOTES

A5 VICINITY MAP

A11 PROJECT DESCRIPTION

A14 DRAWING INDEX

CHASE
 CPC - ALTON RD.
 1801 ALTON RD.
 MIAMI BEACH, FL 33139

design-form architects, inc.
 AA0002482
 7575 Paragon Road, Dayton, Ohio 45459 Telephone: (937) 439-4400
 Donald J. Reihman, Architect in Charge License: AR 0017203

Project No: CHA7009
 Scale: AS NOTED
 Drawn: DF
 Checked: JS/DR
 Date: 03.30.11
 Drawing Title: COVER

Revision/Comments

9.11.11	8.11.11	08.29.11	8.22.11	8.11.11	6.11.11	5.11.11	04.25.11	Date
ADDENDUM F - AL CALATING								
ADDENDUM E - BRANDING WALL REVISIONS								
ADDENDUM D - FIRE DEPARTMENT COMMENTS								
ADDENDUM C - PLAN REVIEW RESPONSES								
ADDENDUM B - PLAN REVIEW RESPONSES								
ADDENDUM A								
ISSUED FOR PERMITTING								
ISSUED FOR BIDDING								

DATE: 1-1-2013
 SEP 16 2011

T1.0



11343

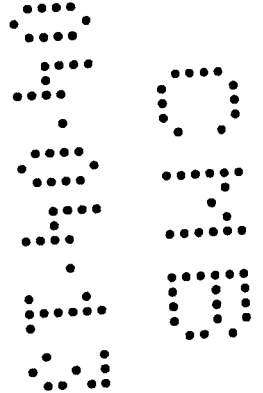
Brev 11343 / B1103915
1861 Altou rd.
Office copy



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, FL, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857



Owner/ Qualifier / Contractor Estimate Construction Cost Affidavit (To be submitted for the main/master permits or the stand alone permits)

Permit Number: B1302250

Date: March 26, 2013

Job Address: 1801 Alton Road, Miami Beach, FL, 33139

Folio No.: 02-3233-012-0090

The construction cost should include the work under the main Permit and all associated permits.

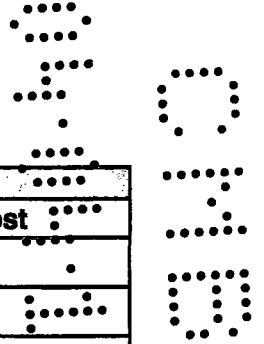
Part I: FEMA 50% Related Construction Cost		
Items to be excluded from Estimate Construction Cost for Part I (FEMA 50% Related Construction Cost): <i>Plan and Specification, Survey Cost, Permit Fees, Swimming Pools, detached structures (garages, storages, cabanas), Landscaping, Fences, Yard light , Not Built-Ins Appliances and Furniture.</i>		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Demolition & Removal	\$5,920.00	\$0
Building & Structural Elements	N/A	\$0
Roofing	N/A	\$0
Doors & Windows	\$2,550.00	\$0
Railing	N/A	\$0
Interior Finish, Floor Covering, Painting	\$12,120.00	\$0
Cabinets and Furniture-Built-Ins	\$7,200.00	\$0
Appliances-Built-Ins	N/A	\$0
Other Building related Items	\$14,500.00	\$0
Electrical Including Fixtures	\$8,750.00	\$0
Elevator	N/A	\$0
Mechanical-HVAC-equipments	N/A	\$0
Plumbing Including Fixtures	N/A	\$0
Overhead and Profit	N/A	\$0
Sub Total Construction Cost	\$ 51,040.00	\$ 0
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes	\$ 51,040.00	



MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, Fl, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857



Part II: Non Related FEMA 50% Construction Cost		
Estimated Construction Cost	General Contractor Cost	Owner Cost
Swimming Pools	N/A	\$0
Fences, Pavers, Sidewalks, Site Improvements	N/A	\$0
Yard Light	N/A	\$0
Other and detached: garages, storage and cabanas	N/A	\$0
Sub Total Cost	\$ N/A	\$ 0
Sub Total Construction Cost Estimate for non FEMA 50% Rule Purposes	\$ N/A	

Part III: Total Construction Cost (Note: The construction cost will be validated by Plan Examiners)	
Estimated Construction Cost	
Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes-Part I	\$ 51,040.00
Sub Total Construction Cost Estimate for Non FEMA 50% Rule Purposes- Part II	\$ 0.00
Total Construction Cost Estimate. (Add Part I and Part II of Construction Cost)	\$ 51,040.00

Part IV: Signature Required

If the Improvements cost will increase at any point during the proposed construction, It is Owner and the Contractor of Record responsibility to submit the revised improvements cost to the Building Department for review and approval.

Miami Financial Associates, LLC, by: Miami Managing Co., LLC its manager
by: _____

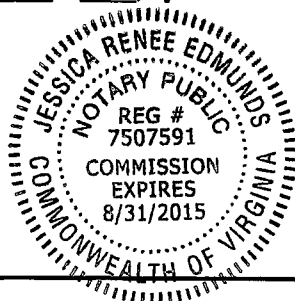
Signature of Owner **T. Richard Litton, Jr.**
Vice President

STATE OF FLORIDA ~~FLORIDA~~
COUNTY OF Virginia Norfolk

Sworn to and Subscribed before me this 26th day of March 2013, by:
T. Richard Litton, Jr.

Personally known [] Produced Identification - Type of Identification _____

Jessica Renee Edmunds
Signature of Notary Public

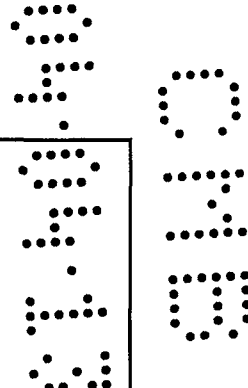




MIAMI BEACH

BUILDING DEPARTMENT

1700 Convention Center Drive, 2nd Floor
Miami Beach, Fl, 33139
Phone: (305) 673-7610 Fax: (305) 673-7857



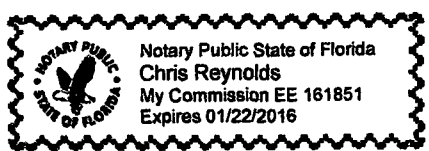
[Signature]
Signature of Qualifier / Contractor

STATE OF FLORIDA
COUNTY OF PALM BEACH

Sworn to and Subscribed before me this 28th day of MARCH 2013, by:

HERIBERTO CANEA

Personally known Produced Identification - Type of Identification



[Signature]
Signature of Notary Public

Part V: Building Department Use Only

A	Sub Total Construction Cost Estimate for FEMA 50% Rule Purposes.	\$	51,040 =
B	Over Five Year Improvements	\$	440,884 ²³
C	Total Improvements	\$	491,924 ²³
D	Building Tax Assessed Value	\$	998,722 =
E	Building Appraised Market Value	\$	
F	Improvements Cost Ratio (C/E or C/D)	%	49.3%

If Improvements cost exceed 40% of the Building Tax Value, a building appraised market Value is required for evaluation of Improvement Cost Ratio.

Check one box: Existing Building and Non Substantial Improvement
 New Construction and Substantial Improvement Existing Building and Non Substantial Improvement

[Signature]
Engineering Inspector Name

[Signature] 04/17/13
Engineering Inspector Signature and Date

Note: Over \$1,000,000.00 Improvements Cost requires Chief Governmental Compliance Division Approval, over \$50,000,000.00 Improvements Cost requires Building Director Approval.

Name

Signature and Date

*Building Dept
Apply with FEMA
regulations*

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

FOR INSURANCE COMPANY USE

A1. Building Owner's Name CHASE BANK

Policy Number:

A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
 1801 ALTON ROAD

Company NAIC Number:

City MIAMI BEACH

State FL

ZIP Code 33139

A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.)
 TAX PARCEL #02-3233-012-0090

A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) NON-RESIDENTIAL

A5. Latitude/Longitude: Lat. 25°47'38.8"N Long. 80°08'27.4"W

Horizontal Datum: NAD 1927 NAD 1983

A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.

A7. Building Diagram Number 1A

A8. For a building with a crawlspace or enclosure(s):

- a) Square footage of crawlspace or enclosure(s) 0 sq ft
 b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0
 c) Total net area of flood openings in A8.b 0 sq in
 d) Engineered flood openings? Yes No

A9. For a building with an attached garage:

- a) Square footage of attached garage 0 sq ft
 b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0
 c) Total net area of flood openings in A9.b 0 sq in
 d) Engineered flood openings? Yes No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number
 MIAMI BEACH - 120651

B2. County Name
 MIAMI-DADE

B3. State
 FLORIDA

B4. Map/Panel Number
 12086C0317

B5. Suffix
 L

B6. FIRM Index Date
 09/11/09

B7. FIRM Panel Effective/Revised Date
 REV. 09/11/09

B8. Flood Zone(s)
 AE

B9. Base Flood Elevation (BFE) Zone
 AO, use base flood depth
8'

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.

- FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: M-D.C.E.D. B.M. A-36

Vertical Datum: NGVD

Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 7.04 feet meters
 b) Top of the next higher floor 10.34 feet meters
 c) Bottom of the lowest horizontal structural member (V Zones only) N/A feet meters
 d) Attached garage (top of slab) N/A feet meters
 e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 6.38 feet meters
 f) Lowest adjacent (finished) grade next to building (LAG) 5.7 feet meters
 g) Highest adjacent (finished) grade next to building (HAG) 10.0 feet meters
 h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support N/A feet meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

- Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No
 Check here if attachments.

Certifier's Name JASON H. PINNELL

License Number 5734

Title PROFESSIONAL SURVEYOR & MAPPER

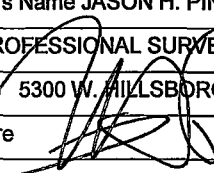
Company Name PINNELL SURVEY, INC.

Address 5300 W. HILLSBORO BLVD., 215-A

City COCONUT CREEK

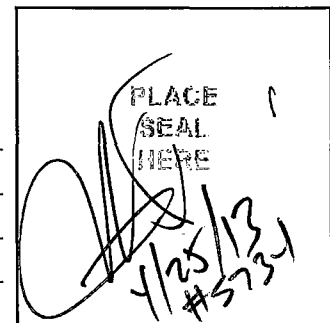
State FL

ZIP Code 33073

Signature 

Date 4/25/13

Telephone (954)418-4940

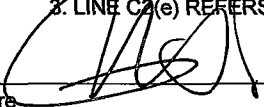


IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	Policy Number:
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments 1. LINE C2(a) REPRESENTS ATM ROOM
2. 2ND FLOOR ELEVATION = 23.04'
3. LINE C2(e) REFERS TO ELEVATOR EQUIPMENT

Signature  Date 4/25/13

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is N/A feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name PINNELL SURVEY, INC. / JASON H. PINNELL, P.S.M. #5734

Address 5300 W. HILLSBORO BLVD., 215-A City COCONUT CREEK State FL ZIP Code 33073

Signature _____ Date _____ Telephone (954)418-4940

Comments

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate Of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____ Title _____

Community Name _____ Telephone _____

Signature _____ Date _____

Comments

Check here if attachments.

Building Photographs

See Instructions for Item A6.

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1801 ALTON ROAD

Policy Number:

City MIAMI BEACH

State FL

ZIP Code 33139

Company NAIC Number:

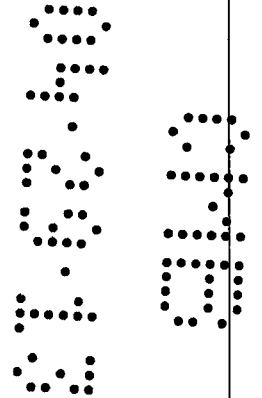
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



FRONT VIEW



FRONT VIEW



Building Photographs

Continuation Page

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
1801 ALTON ROAD

Policy Number:

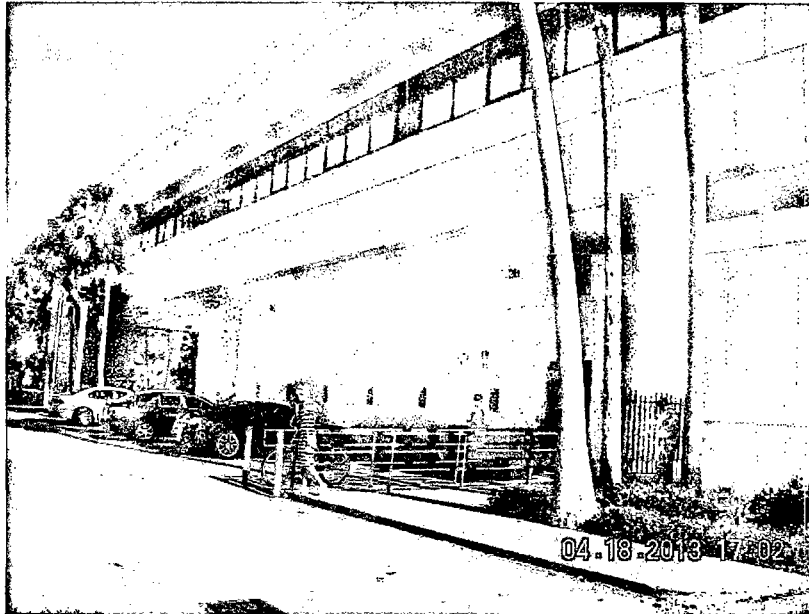
City MIAMI BEACH

State FL

ZIP Code 33139

Company NAIC Number:

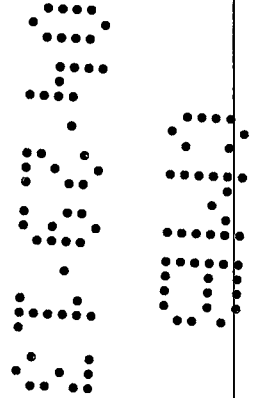
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.



REAR VIEW



DRIVE-THRU VIEW





SIDE VIEW



SIDE VIEW

250



ELEVATOR EQUIPMENT

2530

RER PLAN REVIEW

PLEASE PRINT

FOLIO NUMBER: 02-3233-012-0090

PROJECT NAME: Chase Bank

PROJECT ADDRESS: 1801 Alton Rd

CITY, STATE, ZIP: Miami Beach

ALLOCATION REQUIRED YES NO

CONTACT NAME: Marie Bassette

CONTACT PHONE: 954-533-5299

EMAIL ADDRESS: marie@governmentprocess.com

(COMMENTS & FEES WILL BE EMAILED TO THIS ADDRESS)

SCOPE OF WORK: Inte Alt

Delio

MUNICIPALITY PROCESS #: B~~3~~1302250

PLEASE CHECK ONE: COMMERCIAL RESIDENTIAL

203 Mrs 15074384.



Carlos Alvarez, Mayor

Water & Sewer
P. O. Box 330316 • 3071 SW 38th Avenue
Miami, Florida 33233-0316
T 305-665-7471

miamidade.gov

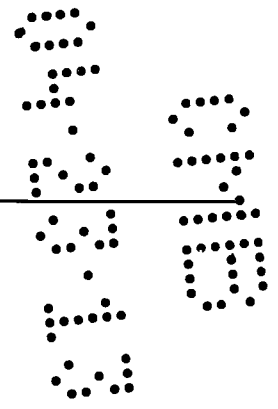
- ADA Coordination
- Agenda Coordination
- Animal Services
- Art in Public Places
- Audit and Management Services
 - Aviation
 - Building
- Building Code Compliance
- Business Development
- Capital Improvements
- Citizens' Independent Transportation Trust
- Commission on Ethics and Public Trust
- Communications
- Community Action Agency
- Community & Economic Development
 - Community Relations
 - Consumer Services
- Corrections & Rehabilitation
 - Cultural Affairs
 - Elections
- Emergency Management
- Employee Relations
- Empowerment Trust
- Enterprise Technology Services
- Environmental Resources Management
 - Fair Employment Practices
 - Finance
 - Fire Rescue
- General Services Administration
- Government Information Center
 - Historic Preservation
 - Homeless Trust
 - Housing Agency
 - Housing Finance Authority
 - Human Services
- Independent Review Panel
- International Trade Consortium
 - Juvenile Services
 - Medical Examiner
- Metro-Miami Action Plan
- Metropolitan Planning Organization
 - Park and Recreation
 - Planning and Zoning
 - Police
- Procurement Management
- Property Appraisal
- Public Library System
- Public Works
- Safe Neighborhood Parks
 - Seaport
- Solid Waste Management
- Strategic Business Management
 - Team Metro
 - Transit
- Task Force on Urban Economic Revitalization
- Vizcaya Museum And Gardens
- Water & Sewer**



100 South Ashley Street
Tampa, FL 33602-3313
Tele 813 323-9233
Fax 813 323-9238
LIC # AA-0003590

Narrative

DATE: April 22, 2013
BDG Project No: 12219 Alton Road
PROJECT: Chase Bank #11742
1801 Alton Road, Miami Beach, FL
FROM: BDG Architects (CJ/KP)



MODIFICATION TO DRAWINGS

(Revision 3, PLAN REVIEW COMMENTS, dated 04-22-2013)

Sheet: Description:

ARCHITECTURAL

CS

1. Updated Cover Sheet to reflect issued drawings.

A2.1

1. Removed fabric panels from Detail 4 and Detail 5.
2. Removed fabric panel Details #7.

A5.1

1. Removed fabric panels from Elevation 6.

END OF NARRATIVE



100 South Ashley Drive, STE 100
Tampa, FL 33602-3843
Tele 813 323-9233
Fax 813 323-9238
LIC # AA-0003590

March 25, 2013

City of Miami Beach
Building Department
ATTN: Permit Intake
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Chase Bank – Alton Road
Building Permit Re-Submittal #2
BDG Project #12219
Building Permit #B1302250

To Whom It May Concern:

In response to the current City of Miami Beach building review comments, the following items are enclosed for your review and approval of the above referenced project:

Two (2) sets of the following items:

- *Plan Sheets: A0.0, A1.2, A2.1, A5.1*
- *NFPA 260 Cover Fabric Test Report for 'Luma' Polyester / Olefin Fabric (2 pages)*

The following are responses to said building review comments. Below are the City of Miami Beach comments in **bold** followed by BDG Architects responses in *italic*:

Building / Accessibility – Michael Schaad (305) 673-7610 ext. 6016

- 1. Sheet A0.0: Code information: Applicable codes: Show on plans code in effect in compliance with FBC §107.2.1: 2010 Florida Building Code, Existing Building. There are no valid 2012 amendments to the Florida building code.**

RESPONSE: *Applicable Code section has been corrected. Please refer to attached revised sheet A0.0.* ✓

- 2. **Sheet A0.0: Provide number of stories of building. Clarify if floor ceiling assembly over work area is a fire rated separation for occupancy above. If so, on plans provide a cross section and a UL detail (or equal) for the fire rated floor-ceiling assembly in compliance with FBC chapter 7.**

RESPONSE: The existing building has two stories. As per telephone discussion between Mr. Schaad (City of Miami Beach) and Caleb Janus (BDG Architects) on March 25, 2013, on-site investigations have been made, which indicate that the construction of the floor/ceiling assembly is poured concrete slab on poured concrete beams. As discussed, it is not possible to determine the exact nature of the materials and thickness of the structure. However, the existing floor / ceiling assembly is not being altered or affected in any way by the proposed renovation. Please refer to attached revised sheets A0.0 & A5.1 detail 8, for a schematic section of the existing condition as requested.

- 3. **Sheet A2.1 and A5.1: Sections: Provide all framing construction details for review.**

RESPONSE: Please refer to wall types on sheet A0.1 and attached revised details on sheet A2.1 for requested information.

*STUD SPACING?
PROVIDE STUD SPACING*

- 4. **Sheet A2.1: Fabric panel details: Provide documentation, testing results to verify compliance with FBC §803.5 and §803.6.**

RESPONSE: Please refer to attached NFPA 260 Cover Fabric Test Report, as produced by The Govmark Organization, Inc., Farmingdale NY.

FBC REQUIRES TESTING PER NFPA 286

- 5. **Sheet A0.0: Show accessible route to comply with FAC §206.**

RESPONSE: Please refer to attached revised sheet A0.0 for accessible route.

- 6. **Sheet A1.2: Comfort zones: Provide 36" accessible furniture clearance and provide carpet requirements to comply with FAC §302.2.**

RESPONSE: Please refer to attached revised sheets A0.0 & A1.2 for accessible clearance and carpet requirements.

- 7. **Plan 2/A1.2: Check desk FP09: Provide check writing desk accessible details to comply with FAC §904.3.3.**

RESPONSE: Please refer to attached revised sheet A5.1, detail 9, for accessibility assessment of existing check desk to be relocated.

28-34 HIGH

- 8. **Elevation 1/A5.1: Provide accessibility sign to comply with FAC §216.**

RESPONSE: Please refer to attached revised sheet A5.1, detail 1, for requested detail.

- 9. **Elevation 1/A5.1: Provide length of accessible teller counter, 36" minimum, to comply with FAC §904.4.**

RESPONSE: Please refer to attached revised sheet A1.2, detail 2 for requested information.

- 10. **Section 5/A5.1: Provide bottom of counter knee clearance dimension, 27" minimum, per FAC §306.3.**

RESPONSE: Please refer to attached revised sheet A5.1, detail 5, for requested information.

11. Section 5/A5.1: Provide 25" maximum reach dimension, suggest reduce 1'-9" dimension to 1'-1" to comply with FAC §308.2.

As per telephone discussion between Mr. Schaad (City of Miami Beach) and Caleb Janus (BDG Architects) on March 25, 2013: The public accessible counter at the new teller line is parallel approach per FAC 904.4.1. The employee side, while not technically required to be accessible (per FAC 203.9), is designed to comply with FAC 904.4.2 (forward approach).

As discussed, the bullet-resistant teller line is a pre-manufactured item, and cannot be modified. However, the configuration of the bullet-resistant glass includes a pass-through for transactions. The maximum required reach on the public side (side reach) is 24" into the pass-through. The maximum required reach on the employee side (forward reach) is 25". As the total depth of the transaction counter is 44", the public and employee reaches overlap by approximately 5" within the pass-through.

Please contact me if you have any questions or need any additional information.

Sincerely,
BDG Architects



Jeffrey Mendenhall
FL LIC# AR0011215

Cc: File #12219

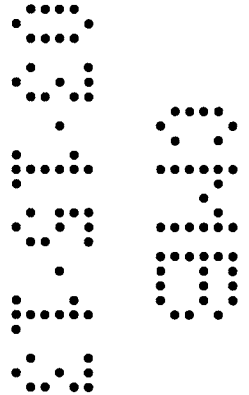


100 South Ashley Drive
Tampa, FL 33602-3313
Tele 813 323-9233
Fax 813 323-9238
LIC # AA-0003590

March 11, 2013

City of Miami Beach
Building Department
ATTN: Permit Intake
1700 Convention Center Drive
Miami Beach, FL 33139

RE: **Chase Bank – Alton Road
Building Permit Re-Submittal
BDG Project #12219
Building Permit #B1302250**



To Whom It May Concern:

In response to the current building review comments, the following items are enclosed for your review and approval of the above referenced project:

- *Two (2) sets of Plan Sheets: A0.0, A1.1, E100*

The following are responses to said building review comments. Below are your comments in **bold** followed by our responses in *italics*.

Electrical– Eric Merced (305) 673-7610 ext. 6344

- 1. Must provide original signature on plans as per FS 471.**

RESPONSE: Copies of the E100 sheet with original signature are attached.

Fire – Tom Armstrong (786) 402-4945

- 1. Sheet A0.0: Provide scale to verify compliance with the ffpc 2010 table A7.6 for business.**

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) with Life Safety Plan shown at scale.

2. Show/label all streets, alleys to clarify where all exits lead.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

3. State exact scope of work on the plans.

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) for scope of work.

4. Provide info on doors, hardware, break-away etc to verify compliance with the ffpc 2010 chap 7.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

5. Plans show steps, provide detailed drawing for these stairs along with its handrail and guardrail (floor elevation greater than 30") to verify compliance with the ffpc 2010 chap 7.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

6. State on plans all interior finishes shall comply with the ffpc chap 10 & table a.10.2.2 for business.

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) with the requested note added to the "Flame Spread Data" section.

7. Clarify floor elevation across exit doors, shall be level on both sides with 1/2" max across the threshold.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

8. Label all areas sheet e100: 1. show location of emergency lights and exit signs, clarify if these items have battery backup rated for 90 min note once the architect/engineer answers the comments additional comments may follow.

RESPONSE: Please refer to the attached revised sheets A1.1 (reflected ceiling plan) and E100 for locations of emergency lights within the area of work. Areas have been labeled on sheet E100.

03/11/2013

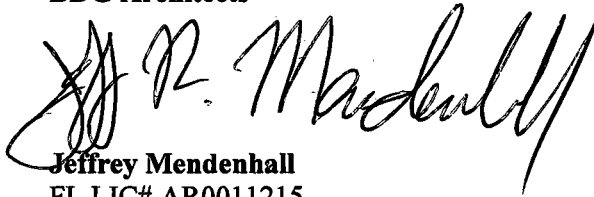
Permit Intake – Crist Lakeshia (305) 673-7610 ext.6193

1. Must assign contractor.

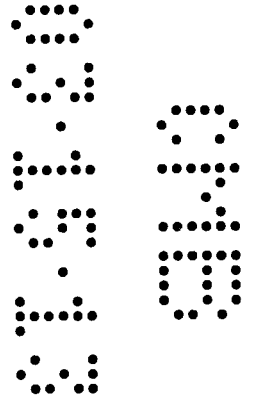
RESPONSE: Contractor information will be provided prior to issuance of permit.

Please contact me if you have any questions or need any additional information.

Sincerely,
BDG Architects



Jeffrey Mendenhall
FL LIC# AR0011215



ELEVATION CERTIFICATE

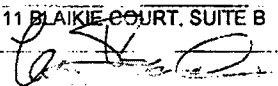
OMB No. 1660-0008
Expires March 31, 2012

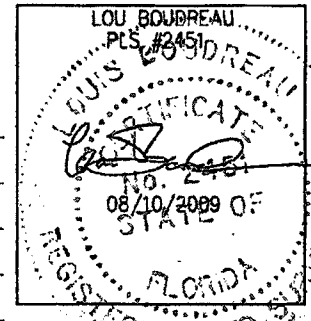
Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1. Building Owner's Name	Policy Number	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Portion of Block 11 of Island View Subdivision, PB 6, PG 115, Miami-Dade County OR 14848 PG 0576 (Folio#02-3233-012-0090)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>		
A5. Latitude/Longitude: Lat. <u>25.794032</u> Long. <u>-80.141268</u>	Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>1A</u>		
A8. For a building with a crawlspace or enclosure(s):		
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft	A9. For a building with an attached garage:	
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>	a) Square footage of attached garage <u>N/A</u> sq ft	
c) Total net area of flood openings in A8.b <u>N/A</u> sq in	b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>	
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	c) Total net area of flood openings in A9.b <u>N/A</u> sq in	
	d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No	

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF MIAMI BEACH 120651		B2. County Name DADE		B3. State FLORIDA	
B4. Map/Panel Number 12025C0184	B5. Suffix J	B6. FIRM Index Date 01/20/1993	B7. FIRM Panel Effective/Revised Date 03/02/1994	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) EL8
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1. Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE. Benchmark Utilized <u>A-36</u> Vertical Datum <u>7.33</u> Conversion/Comments <u>N/A</u>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <u>10.04</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor <u>19.80</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG) <u>9.73</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG) <u>10.03</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <u>9.47</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
<input type="checkbox"/> Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Certifier's Name <u>LOU BOUDREAU</u>	License Number <u>PLS 2451</u>
Title <u>PROFESSIONAL LAND SURVEYOR</u>	Company Name <u>BOCK & CLARK CORPORATION LB 7386</u>
Address <u>8111 BLAIKIE COURT, SUITE B</u>	City <u>SARASOTA</u> State <u>FL</u> ZIP Code <u>34240</u>
Signature 	Date <u>08/10/2009</u> Telephone <u>1-800-787-8397</u>



IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	Policy Number
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C-2 Benchmark Report retrieval dated 8/9/2009 from Miami Dade County Published Benchmarks: C-2 - (e) air conditioning unit not observed at ground level, assumed to be on rooftop;

Signature

Date 08/10/2009

Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).

a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.

E2. For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.

E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)

G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.

G3. The following information (Items G4-G9) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____

G10. Community's design flood elevation _____ feet meters (PR) Datum _____

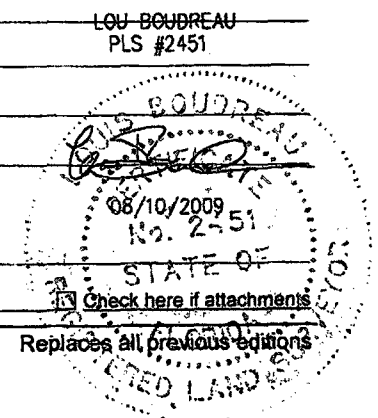
Local Official's Name _____ Title _____ LOU BOUDREAU
PLS #2451

Community Name _____ Telephone _____

Signature _____ Date _____

Comments _____

[Handwritten Signature]



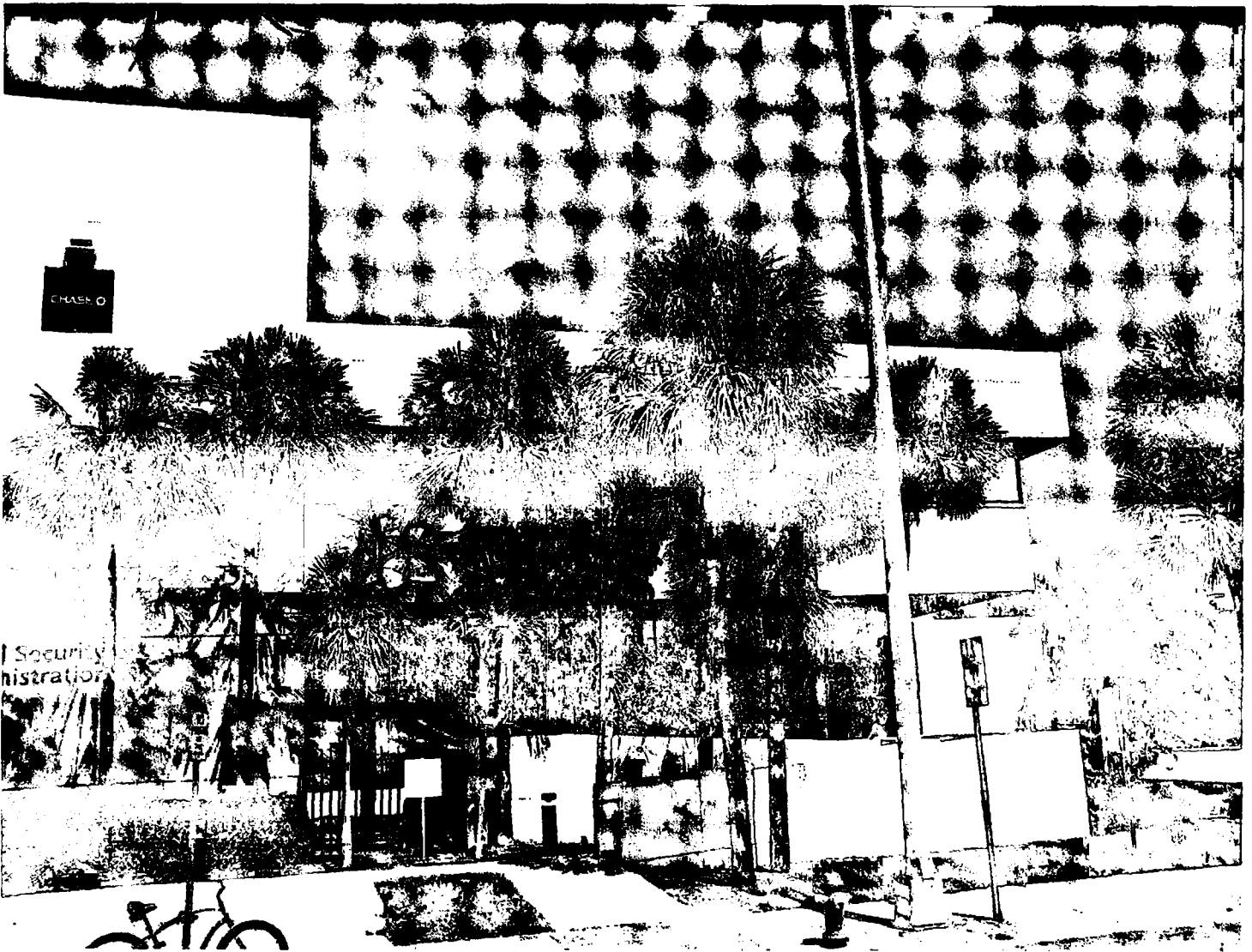
Check here if attachments

Building Photographs

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	For Insurance Company Use: Policy Number
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number
If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.	

DATE TAKEN: 08/10/2009
FRONT VIEW



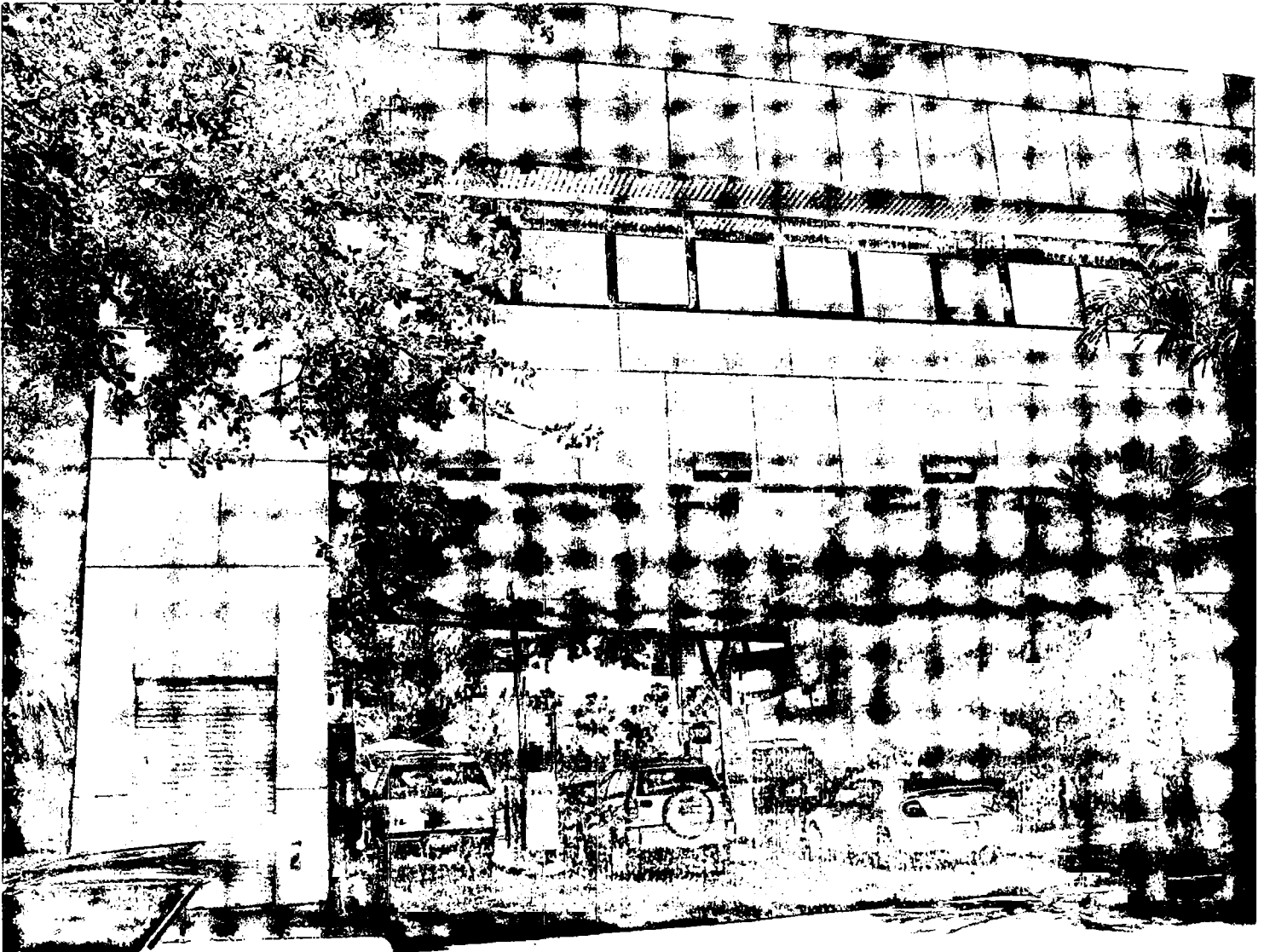
Building Photographs

Continuation Page

Building Street Address (including Apt, Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	For Insurance Company Use: Policy Number
City MIAMI BEACH, State FL ZIP Code 33139	Company NAIC Number
If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."	

DATE TAKEN: 08/10/2009

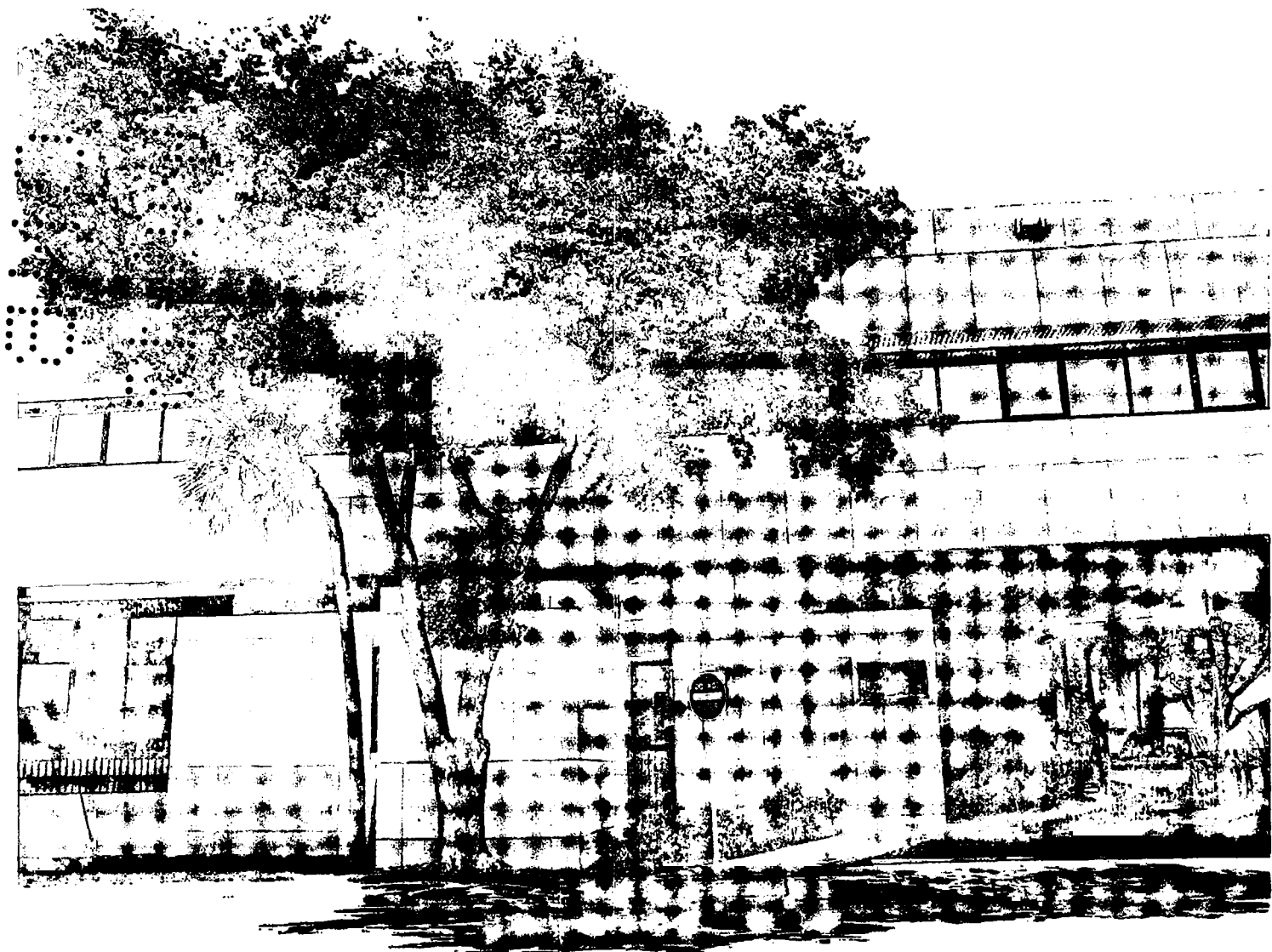
REAR VIEW



DATE TAKEN: 08/10/2009
SIDE VIEW



DATE TAKEN: 08/10/2009
SIDE VIEW



Received: 03/26/2012 | Completed: 03/27/2012 | Letter: Q | rb | P.O.#: | Test Report #: 2-91572-0-

Client's Identification: Luma. Content: 47% Polyester, 35% Olefin, 12% Post Industrial Recycled Poly, 6% Post Consumer Recycled Poly.
Width: 56". Weight: 12.280 oz.

Tested For: **Teesha Prezeau** Key Test: NFPA 260 Cover Fabric (BLD) 135
The Designtex Group
357 County Avenue
Secaucus, NJ 07036
Tel: 1-(201)-917-7738 Ext:
Fax: 1-(201)-917-7764

Category: NFPA 260 Fabric LE 2009; R 6/09; V 6/09 PC: 4H dl/jd
NFPA 101 LE 2009; R 6/09; V 6/09
IFC LE 2009; R 6/09; V 6/09

TEST PERFORMED: NFPA 260 Standard Methods of Tests and Classification System for Cigarette Ignition Resistance of Components of Upholstered Furniture; Cover Fabric Test

SPECIMEN TEST COMPOSITE:
Candidate cover fabric (see "Client's Identification")
Standard filling material: Non FR polyurethane foam, density 20 kg/m³ to 25 kg/m³

RESULTS:

Specimen #	TEST		RETEST (If Required)	
	Ignition (yes/no/SE)	Char Length On Vertical Panel (mm)	Ignition (yes/no/SE)	Char Length On Vertical Panel (mm)
1	No	6		
2	No	7		
3	No	7		

ABBREVIATION WHICH MAY BE USED:
SE: Indicates that the cigarette self extinguished prior to burning its entire length. When this occurs, a "retest" of that specimen is performed.
EC: Escalating combustion. Specimen extinguished by technician. No char length measurement taken.

CLASSIFICATION SYSTEM:
Class I - For each specimen: No obvious ignition; maximum char length 45 mm (1.75"). (Indicates propensity to resist cigarette ignition in conjunction with standard foam filling material.)
Class II - For any specimen: Obvious ignition; or char length exceeding 45 mm (1.75"). (Indicates inability to resist cigarette ignition in conjunction with standard foam filling material.)

CONCLUSION: Based on the above Results and Classification System, the item tested is assigned a:
[x] Class I rating; [] Class II rating



Received:03/26/2012 Completed:03/27/2012 Letter: Q rb P.O.#: Test Report #: 2-91572-0-

Client's Identification Luma. Content: 47% Polyester, 35% Olefin, 12% Post Industrial Recycled Poly, 6% Post Consumer Recycled Poly
Width: 56". Weight: 12.280 oz.

Tested For: Teesha Prezeau Key Test: NFPA 260 Cover Fabric (BLDG) 135
The Designtex Group Tel: 1-(201)-917-7738 Ext:
357 County Avenue Fax: 1-(201)-917-7764
Secaucus, NJ 07036

REMARKS: None.

CODE INFORMATION: In accordance with --

- (1) The 2009 Edition of the NFPA Life Safety Code 101, paragraph 10.3.2.1(1); and
- (2) The 2009 Edition of the International Fire Code, paragraph 805.1.1.1, 805.2.1.1, 805.3.1.1, and 805.4.1.1

Upholstered furniture components shall be Class I when tested in accordance with NFPA 260, when used in:

- Detention or correctional occupancy
- Health care occupancy
- Residential board & care occupancy
- College and university dormitories

COMMENTARY: The cigarette ignition source used in this test conforms to the physical parameters set forth in the test standard. The actual propensity of the cigarette (that is currently manufactured) to cause ignition of materials under test might be different than the cigarette that was manufactured at the inception of the test standard.

CERTIFICATION: I certify that the above results were obtained after testing specimens in accordance with the procedures and equipment specified by NFPA 260.



AUTHORIZED SIGNATURE
THE GOVMARK ORGANIZATION, INC. /rb

MAR 29 2012
/gb

MS. PHYLLIS PETTIT

(Page 2 of 2)

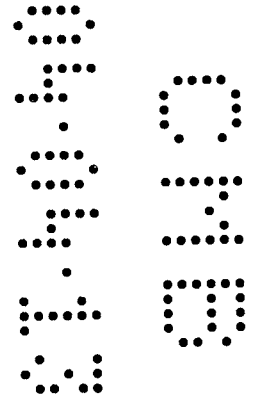


100 South Ashley Drive, STE 100
Tampa, FL 33602-3313
Tele 813 323-9233
Fax 813 323-9238
LIC # AA-0003590

March 25, 2013

City of Miami Beach
Building Department
ATTN: Permit Intake
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Chase Bank – Alton Road
Building Permit Re-Submittal #2
BDG Project #12219
Building Permit #B1302250



To Whom It May Concern:

In response to the current City of Miami Beach building review comments, the following items are enclosed for your review and approval of the above referenced project:

Two (2) sets of the following items:

- *Plan Sheets: A0.0, A1.2, A2.1, A5.1*
- *NFPA 260 Cover Fabric Test Report for 'Luma' Polyester / Olefin Fabric (2 pages)*

The following are responses to said building review comments. Below are the City of Miami Beach comments in **bold** followed by BDG Architects responses in *italic*:

Building / Accessibility – Michael Schaad (305) 673-7610 ext. 6016

- 1. Sheet A0.0: Code information: Applicable codes: Show on plans code in effect in compliance with FBC §107.2.1: 2010 Florida Building Code, Existing Building. There are no valid 2012 amendments to the Florida building code.**

RESPONSE: *Applicable Code section has been corrected. Please refer to attached revised sheet A0.0.*

- 2. Sheet A0.0: Provide number of stories of building. Clarify if floor ceiling assembly over work area is a fire rated separation for occupancy above. If so, on plans provide a cross section and a UL detail (or equal) for the fire rated floor-ceiling assembly in compliance with FBC chapter 7.**

RESPONSE: The existing building has two stories. As per telephone discussion between Mr. Schaad (City of Miami Beach) and Caleb Janus (BDG Architects) on March 25, 2013, on-site investigations have been made, which indicate that the construction of the floor / ceiling assembly is poured concrete slab on poured concrete beams. As discussed, it is not possible to determine the exact nature of the materials and thickness of the structure. However, the existing floor / ceiling assembly is not being altered or affected in any way by the proposed renovation. Please refer to attached revised sheets A0.0 & A5.1 detail 8, for a schematic section of the existing condition as requested.

- 3. Sheet A2.1 and A5.1: Sections: Provide all framing construction details for review.**
RESPONSE: Please refer to wall types on sheet A0.1 and attached revised details on sheet A2.1 for requested information.

- 4. Sheet A2.1: Fabric panel details: Provide documentation, testing results to verify compliance with FBC §803.5 and §803.6.**
RESPONSE: Please refer to attached NFPA 260 Cover Fabric Test Report, as produced by The Govmark Organization, Inc., Farmingdale NY.

- 5. Sheet A0.0: Show accessible route to comply with FAC §206.**
RESPONSE: Please refer to attached revised sheet A0.0 for accessible route.

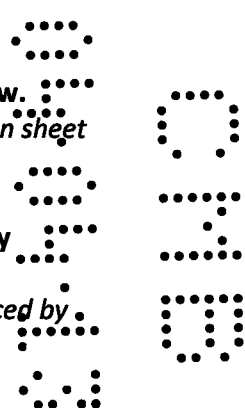
- 6. Sheet A1.2: Comfort zones: Provide 36" accessible furniture clearance and provide carpet requirements to comply with FAC §302.2.**
RESPONSE: Please refer to attached revised sheets A0.0 & A1.2 for accessible clearance and carpet requirements.

- 7. Plan 2/A1.2: Check desk FP09: Provide check writing desk accessible details to comply with FAC §904.3.3.**
RESPONSE: Please refer to attached revised sheet A5.1, detail 9, for accessibility assessment of existing check desk to be relocated.

- 8. Elevation 1/A5.1: Provide accessibility sign to comply with FAC §216.**
RESPONSE: Please refer to attached revised sheet A5.1, detail 1, for requested detail.

- 9. Elevation 1/A5.1: Provide length of accessible teller counter, 36" minimum, to comply with FAC §904.4.**
RESPONSE: Please refer to attached revised sheet A1.2, detail 2 for requested information.

- 10. Section 5/A5.1: Provide bottom of counter knee clearance dimension, 27" minimum, per FAC §306.3.**
RESPONSE: Please refer to attached revised sheet A5.1, detail 5, for requested information.



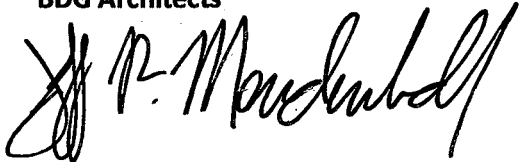
11. Section 5/A5.1: Provide 25" maximum reach dimension, suggest reduce 1'-9" dimension to 1'-1" to comply with FAC §308.2.

As per telephone discussion between Mr. Schaad (City of Miami Beach) and Caleb Janus (BDG Architects) on March 25, 2013: The public accessible counter at the new teller line is parallel approach per FAC 904.4.1. The employee side, while not technically required to be accessible (per FAC 203.9), is designed to comply with FAC 904.4.2 (forward approach).

As discussed, the bullet-resistant teller line is a pre-manufactured item, and cannot be modified. However, the configuration of the bullet-resistant glass includes a pass-through for transactions. The maximum required reach on the public side (side reach) is 24" into the pass-through. The maximum required reach on the employee side (forward reach) is 25". As the total depth of the transaction counter is 44", the public and employee reaches overlap by approximately 5" within the pass-through.

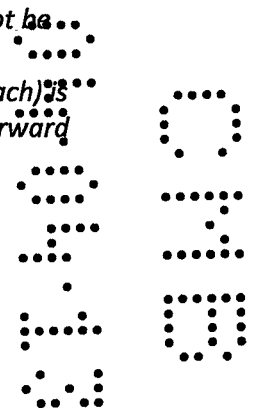
Please contact me if you have any questions or need any additional information.

Sincerely,
BDG Architects



Jeffrey Mendenhall
FL LIC# AR0011215

Cc: File #12219



ELEVATION CERTIFICATE

OMB No. 1660-0008
Expires March 31, 2012

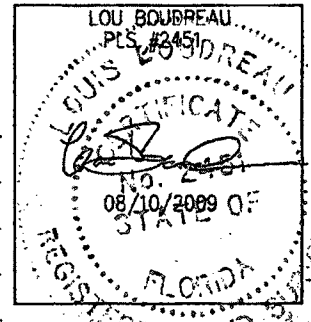
Important: Read the instructions on pages 1-9.

SECTION A - PROPERTY INFORMATION		For Insurance Company Use:
A1 Building Owner's Name		Policy Number
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD		Company NAIC Number
City MIAMI BEACH State FL ZIP Code 33139		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Portion of Block 11 of Island View Subdivision, PB 6, PG 115, Miami-Dade County OR 14848 PG 0576 (Folio#02-3233-012-0090)		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>NON-RESIDENTIAL</u>		
A5. Latitude/Longitude: Lat. <u>25.794032</u> Long. <u>-80.141268</u>		Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>1A</u>		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft		a) Square footage of attached garage <u>N/A</u> sq ft
b) No. of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>		b) No. of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>
c) Total net area of flood openings in A8.b <u>N/A</u> sq in		c) Total net area of flood openings in A9.b <u>N/A</u> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number CITY OF MIAMI BEACH 120651		B2. County Name DADE		B3. State FLORIDA	
B4. Map/Panel Number 12025C0184	B5. Suffix J	B6. FIRM Index Date 01/20/1993	B7. FIRM Panel Effective/Revised Date 03/02/1994	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) EL8
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9. <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other (Describe) _____					
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other (Describe) _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)	
C1 Building elevations are based on: <input type="checkbox"/> Construction Drawings* <input type="checkbox"/> Building Under Construction* <input checked="" type="checkbox"/> Finished Construction *A new Elevation Certificate will be required when construction of the building is complete.	
C2 Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. Use the same datum as the BFE. Benchmark Utilized <u>A-36</u> Vertical Datum <u>7.33</u> Conversion/Comments <u>N/A</u>	
Check the measurement used.	
a) Top of bottom floor (including basement, crawlspace, or enclosure floor) <u>10.04</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
b) Top of the next higher floor <u>19.80</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
c) Bottom of the lowest horizontal structural member (V Zones only) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
d) Attached garage (top of slab) <u>N/A</u>	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<input type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
f) Lowest adjacent (finished) grade next to building (LAG) <u>9.73</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
g) Highest adjacent (finished) grade next to building (HAG) <u>10.03</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support <u>9.47</u>	<input checked="" type="checkbox"/> feet <input type="checkbox"/> meters (Puerto Rico only)

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION	
This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.	
<input type="checkbox"/> Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Certifier's Name <u>LOU BOUDREAU</u>	License Number <u>PLS 2451</u>
Title <u>PROFESSIONAL LAND SURVEYOR</u>	Company Name <u>BOCK & CLARK CORPORATION LB 7386</u>
Address <u>8111 BLAIKIE COURT, SUITE B</u>	City <u>SARASOTA</u> State <u>FL</u> ZIP Code <u>34240</u>
Signature	Date <u>08/10/2009</u> Telephone <u>1-800-787-8397</u>



IMPORTANT: In these spaces, copy the corresponding information from Section A.	For Insurance Company Use:
Building Street Address (including Apt. Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	Policy Number
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments C 2 - Benchmark Report retrieval dated 8/9/2009 from Miami Dade County Published Benchmarks: C-2 - (e) air conditioning unit not observed at ground level, assumed to be on rooftop;

Signature _____ Date 08/10/2009 Check here if attachments

SECTION E - BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1-E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1-E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1 Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2 For Building Diagrams 6-9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8-9 of instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3 Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4 Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5 Zone AO only. If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F - PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments _____

Check here if attachments

SECTION G - COMMUNITY INFORMATION (OPTIONAL)

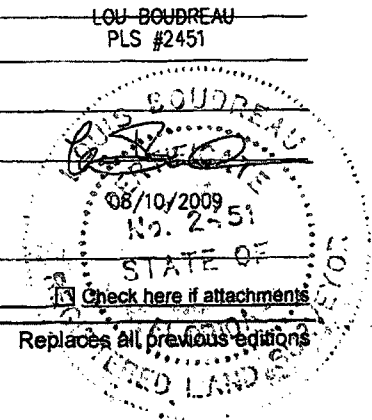
The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8 and G9.

- G1 The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2 A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3 The following information (Items G4-G9) is provided for community floodplain management purposes.

G4 Permit Number _____	G5 Date Permit Issued _____	G6 Date Certificate Of Compliance/Occupancy Issued _____
------------------------	-----------------------------	--

- G7 This permit has been issued for: New Construction Substantial Improvement
- G8 Elevation of as-built lowest floor (including basement) of the building: _____ feet meters (PR) Datum _____
- G9 BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters (PR) Datum _____
- G10 Community's design flood elevation _____ feet meters (PR) Datum _____

Local Official's Name _____ Title _____ LOU BOUDREAU
 Community Name _____ Telephone _____ PLS #2451
 Signature _____ Date _____
 Comments _____



Check here if attachments

Building Photographs

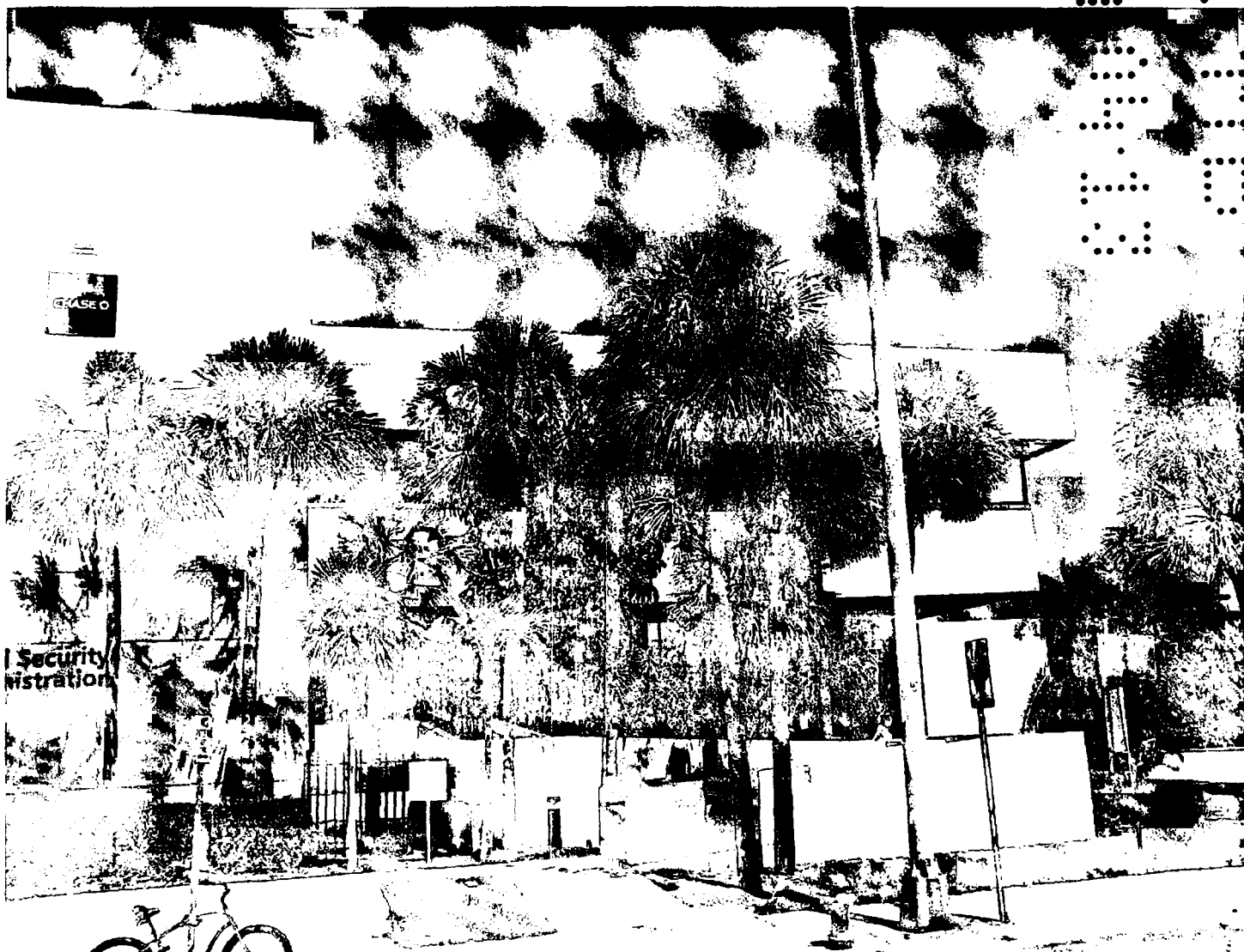
See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	For Insurance Company Use: Policy Number
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least two building photographs below according to the instructions for Item A6. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." If submitting more photographs than will fit on this page, use the Continuation Page on the reverse.

DATE TAKEN: 08/10/2009

FRONT VIEW



Building Photographs

Continuation Page

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1801 ALTON ROAD	For Insurance Company Use: Policy Number
City MIAMI BEACH State FL ZIP Code 33139	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View."

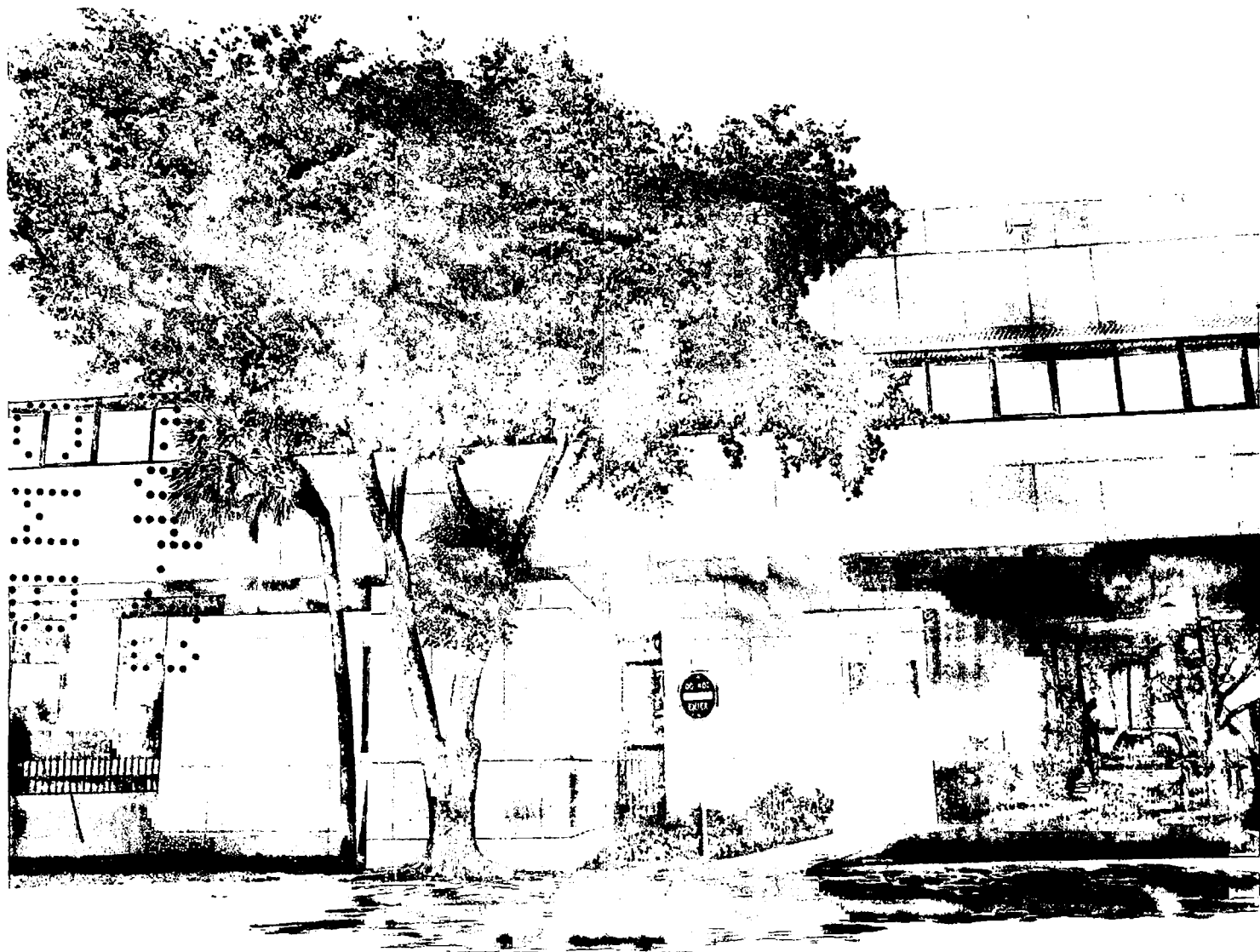
DATE TAKEN 08/10/2009
REAR VIEW



DATE TAKEN: 08/10/2009
SIDE VIEW



DATE TAKEN: 08/10/2009
SIDE VIEW



Received: 03/26/2012 Completed: 03/27/2012 Letter: Q rb P.O.#: Test Report #: 2-91572-0-

Client's Identification Luma. Content: 47% Polyester, 35% Olefin, 12% Post Industrial Recycled Poly, 6% Post Consumer Recycled Poly.
 Width: 56". Weight: 12.280 oz.

Tested For: **Teesha Prezeau** Key Test: NFPA 260 Cover Fabric (BLDG) 135
 The Designtex Group
 357 County Avenue Tel: 1-(201)-917-7738 Ext:
 Secaucus, NJ 07036 Fax: 1-(201)-917-7764

Category: NFPA 260 Fabric LE 2009; R 6/09; V 6/09 PC: 4H dl/jd
 NFPA 101 LE 2009; R 6/09; V 6/09
 IFC LE 2009; R 6/09; V 6/09

TEST PERFORMED: NFPA 260 Standard Methods of Tests and Classification System for Cigarette Ignition
 Resistance of Components of Upholstered Furniture;
 Cover Fabric Test

SPECIMEN TEST COMPOSITE:

Candidate cover fabric (see "Client's Identification")
 Standard filling material: Non FR polyurethane foam, density 20 kg/m³ to 25 kg/m³

RESULTS:

Specimen #	TEST		RETEST (If Required)	
	Ignition (yes/no/SE)	Char Length On Vertical Panel (mm)	Ignition (yes/no/SE)	Char Length On Vertical Panel (mm)
1	No	6		
2	No	7		
3	No	7		

ABBREVIATION WHICH MAY BE USED:

SE: Indicates that the cigarette self extinguished prior to burning its entire length. When this occurs, a "retest" of that specimen is performed.

EC: Escalating combustion. Specimen extinguished by technician. No char length measurement taken.

CLASSIFICATION SYSTEM:

Class I - For each specimen: No obvious ignition; maximum char length 45 mm (1.75").
 (Indicates propensity to resist cigarette ignition in conjunction with standard foam filling material.)

Class II - For any specimen: Obvious ignition; or char length exceeding 45 mm (1.75").
 (Indicates inability to resist cigarette ignition in conjunction with standard foam filling material.)

CONCLUSION: Based on the above Results and Classification System, the item tested is assigned a:

Class I rating; Class II rating



Received: 03/26/2012	Completed: 03/27/2012	Letter: Q	rb	P.O.#:	Test Report #:	2-91572-0-
Client's Identification	Luma. Content: 47% Polyester, 35% Olefin, 12% Post Industrial Recycled Poly, 6% Post Consumer Recycled Poly. Width: 56". Weight: 12.280 oz.					
Tested For: Teesha Prezeau	The Designtex Group 357 County Avenue Secaucus, NJ 07036				Key Test: NFPA 260 Cover Fabric (BLDG)	135
				Tel: 1-(201)-917-7738	Ext:	
				Fax: 1-(201)-917-7764		

REMARKS: None.

CODE INFORMATION: In accordance with --

- (1) The 2009 Edition of the NFPA Life Safety Code 101, paragraph 10.3.2.1(1); and
- (2) The 2009 Edition of the International Fire Code, paragraph 805.1.1.1, 805.2.1.1, 805.3.1.1, and 805.4.1.1

Upholstered furniture components shall be Class I when tested in accordance with NFPA 260, when used in:

- Detention or correctional occupancy
- Health care occupancy
- Residential board & care occupancy
- College and university dormitories

COMMENTARY: The cigarette ignition source used in this test conforms to the physical parameters set forth in the test standard. The actual propensity of the cigarette (that is currently manufactured) to cause ignition of materials under test might be different than the cigarette that was manufactured at the inception of the test standard.

CERTIFICATION: I certify that the above results were obtained after testing specimens in accordance with the procedures and equipment specified by NFPA 260.



AUTHORIZED SIGNATURE
THE GOVMARK ORGANIZATION, INC. /rb

MAR 29 2012

/gb

MS. PHYLLIS PETTIT

(Page 2 of 2)



100 South Ashley Drive
Tampa, FL 33602-3313
Tele 813 323-9233
Fax 813 323-9238
LIC # AA-0003590

March 11, 2013

City of Miami Beach
Building Department
ATTN: Permit Intake
1700 Convention Center Drive
Miami Beach, FL 33139

RE: Chase Bank – Alton Road
Building Permit Re-Submittal
BDG Project #12219
Building Permit #B1302250

To Whom It May Concern:

In response to the current building review comments, the following items are enclosed for your review and approval of the above referenced project:

- *Two (2) sets of Plan Sheets: A0.0, A1.1, E100*

The following are responses to said building review comments. Below are your comments in **bold** followed by our responses in *italics*.

Electrical– Eric Merced (305) 673-7610 ext. 6344

- 1. Must provide original signature on plans as per FS 471.**

RESPONSE: Copies of the E100 sheet with original signature are attached.

Fire – Tom Armstrong (786) 402-4945

- 1. Sheet A0.0: Provide scale to verify compliance with the ffpc 2010 table A7.6 for business.**

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) with Life Safety Plan shown at scale.

2. Show/label all streets, alleys to clarify where all exits lead.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

3. State exact scope of work on the plans.

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) for scope of work.

4. Provide info on doors, hardware, break-away etc to verify compliance with the ffpc 2010 chap 7.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

5. Plans show steps, provide detailed drawing for these stairs along with its handrail and guardrail (floor elevation greater than 30") to verify compliance with the ffpc 2010 chap 7.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

6. State on plans all interior finishes shall comply with the ffpc chap 10 & table a.10.2.2 for business.

RESPONSE: Please refer to attached revised sheet A0.0 (Cover Sheet) with the requested note added to the "Flame Spread Data" section.

7. Clarify floor elevation across exit doors, shall be level on both sides with 1/2" max across the threshold.

RESPONSE: Per email correspondence between Mr. Armstrong and Caleb Janus (BDG Architects) dated March 1, 2013: as the scope of work does not affect the existing means of egress, Mr. Armstrong has agreed to waive this comment.

8. Label all areas sheet e100: 1. show location of emergency lights and exit signs, clarify if these items have battery backup rated for 90 min note once the architect/engineer answers the comments additional comments may follow.

RESPONSE: Please refer to the attached revised sheets A1.1 (reflected ceiling plan) and E100 for locations of emergency lights within the area of work. Areas have been labeled on sheet E100.

03/11/2013

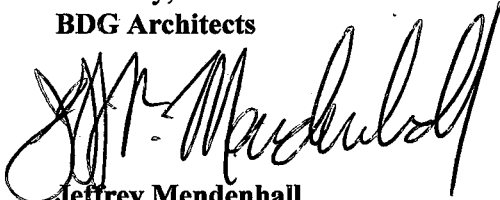
Permit Intake – Crist Lakeshia (305) 673-7610 ext.6193

1. Must assign contractor.

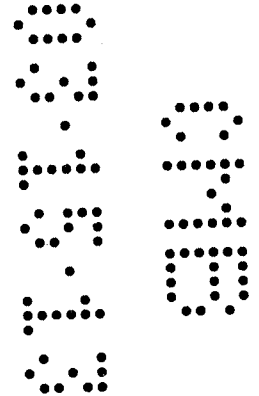
RESPONSE: Contractor information will be provided prior to issuance of permit.

Please contact me if you have any questions or need any additional information.

Sincerely,
BDG Architects



Jeffrey Mendenhall
FL LIC# AR0011215



CODE INFORMATION

- JURISDICTION: CITY OF MIAMI BEACH, FLORIDA
- APPLICABLE CODES**
- FLORIDA BUILDING CODE: BUILDING (2010 EDITION) W/2012 AMENDMENTS
 - FLORIDA BUILDING CODE: EXISTING BUILDING (2010 EDITION) W/2012 AMENDMENTS
 - FLORIDA BUILDING CODE: ACCESSIBILITY (2010 EDITION) W/2012 AMENDMENTS
 - FLORIDA BUILDING CODE: MECHANICAL (2010 EDITION) W/2012 AMENDMENTS
 - FLORIDA BUILDING CODE: PLUMBING (2010 EDITION) W/2012 AMENDMENTS
 - FLORIDA FIRE PREVENTION CODE: (2010 EDITION)

PROJECT DATA - PROJECT AREA

USE	RETAIL BANKING CENTER
ALTERATION LEVEL:	LEVEL 2
AREA OF WORK: MAIN BANKING AREA	726 SF

PROJECT DATA - EXISTING BUILDING

USE	RETAIL BANKING CENTER
OCCUPANCY CLASSIFICATION	B - BUSINESS
OCCUPANCY LOAD PER CLASSIFICATION:	1 OCCUPANT / 100 GROSS SF
AREA	7,081 SF
SF/100 GSF=	71 TOTAL OCCUPANTS

CONSTRUCTION TYPE	TYPE III-B, UNSPRINKLERED
ALLOWABLE/REQ'D	PROPOSED

BUILDING ELEMENT - FIRE RESISTANCE RATING	ALLOWABLE/REQ'D	PROPOSED
STRUCTURAL FRAME	0	0
INCLUDING COLUMNS, GIRDERS, TRUSSES		
BEARING WALLS		
EXTERIOR	0	0
INTERIOR	0	0
NONBEARING WALLS AND PARTITIONS		
EXTERIOR	0	0
NONBEARING WALLS AND PARTITIONS		
INTERIOR	0	0

	REQ'D.	NEW AREA PROVIDED
EXITS AND EXIT ACCESS DOORWAYS		
EXITS	2	2
DOOR WIDTH	32" MIN.	102"
EXIT ACCESS TRAVEL DISTANCE (W/O SPRINKLERS)	200'-0"	91'
DEAD END CORRIDORS	20'-0"	N/A
COMMON PATH OF TRAVEL	75'-0"	29'

PLUMBING FIXTURES PROVIDED IN ADDITION TO BUILDING PUBLIC FACILITIES			
WATER CLOSETS - MEN/WOMEN	0	1/1	0
LAVATORIES - MEN/WOMEN	0	1/1	0
DRINKING FOUNTAIN	0	1 HI / LO	0

FLAME SPREAD DATA

CERAMIC TILE:	CARPET TILE:
FBC REQUIRED MINIMUM: CLASS II	FBC REQUIRED MINIMUM: CLASS II
PROVIDED: CLASS II (EXISTING TO REMAIN)	PROVIDED: CLASS II (EXISTING TO REMAIN)
SUSPENDED ACOUSTICAL CEILINGS:	PAINTS AND COATING:
FBC REQUIRED MINIMUM: CLASS B	FBC REQUIRED MINIMUM: CLASS II
PROVIDED: CLASS A (EXISTING TO REMAIN)	PROVIDED: CLASS A (EXISTING TO REMAIN)
RESILIENT FLOORING:	
FBC REQUIRED MINIMUM: CLASS II	
PROVIDED: CLASS I (EXISTING TO REMAIN)	

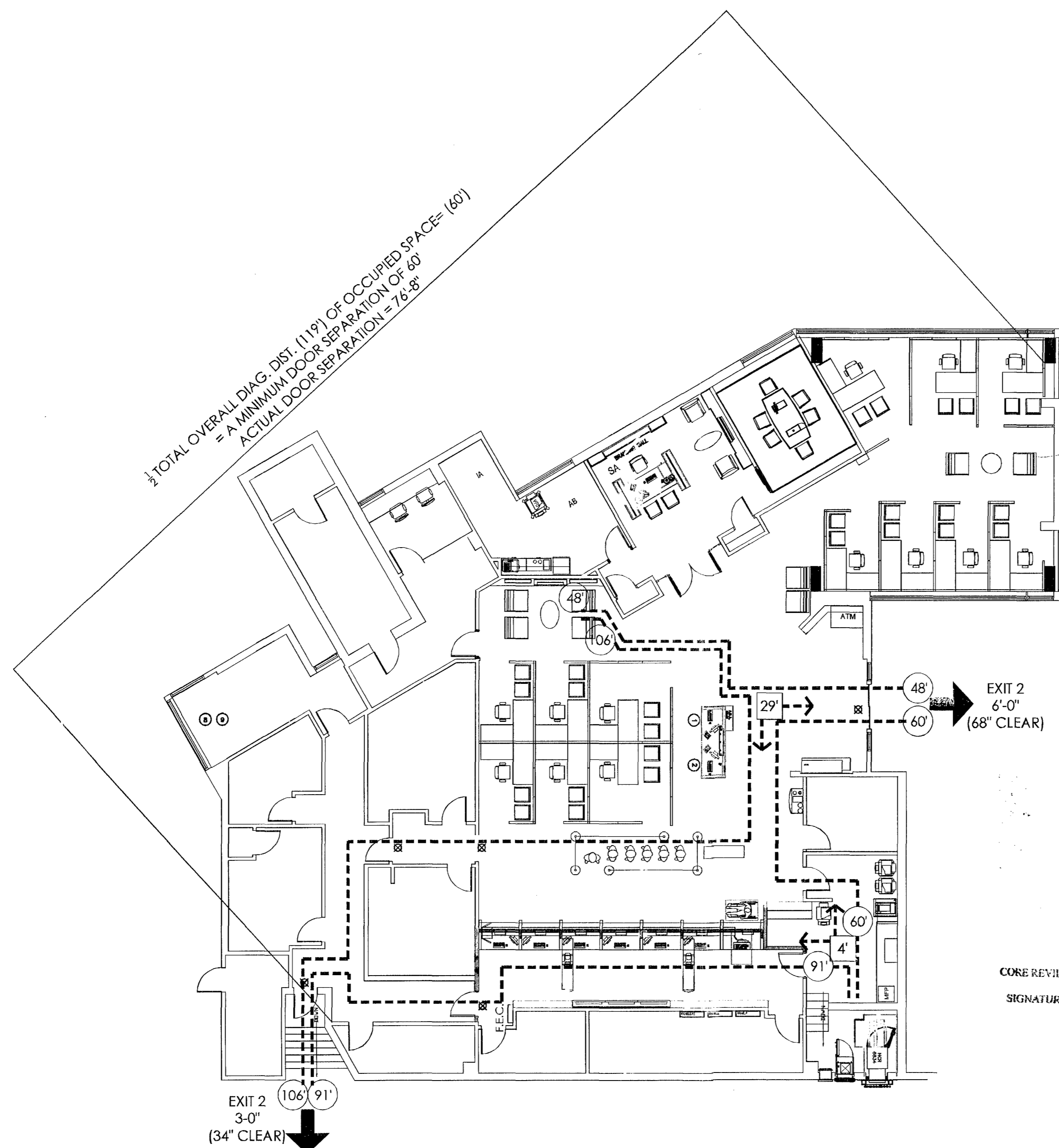
OWNER & CONSULTANTS

OWNER	ELECTRICAL ENGINEER
J.P. MORGAN CHASE BANK, N.A. 4900 MEMORIAL HIGHWAY TAMPA, FLORIDA 33634 PHONE: 813-584-2341	HAROLD HART & ASSOCIATES 4201 W. GRAY STREET TAMPA, FLORIDA 33609 CONTACT: KEN MILLER PHONE: 813-287-2719 FAX: 813-287-5704
ARCHITECT	
BDG ARCHITECTS 100 ASHLEY DRIVE, SUITE 100 TAMPA, FLORIDA 33602 CONTACT: JEFF MENDENHALL, AIA PHONE: 813-323-9233 FAX: 813-323-9238	



**JPM CHASE - Alton Road
CPC Interior Renovations
1801 Alton Road
Miami Beach, Florida**

Dem Number: 2013-0325-1507-4384
Contact Name: MARIE BASRETLE
Contact Phone: (954) 532-5299
Folio: 02-3233-012-0090
Project Name: CHASE BANK
Date Received: 03/25/2013
Designer Name:



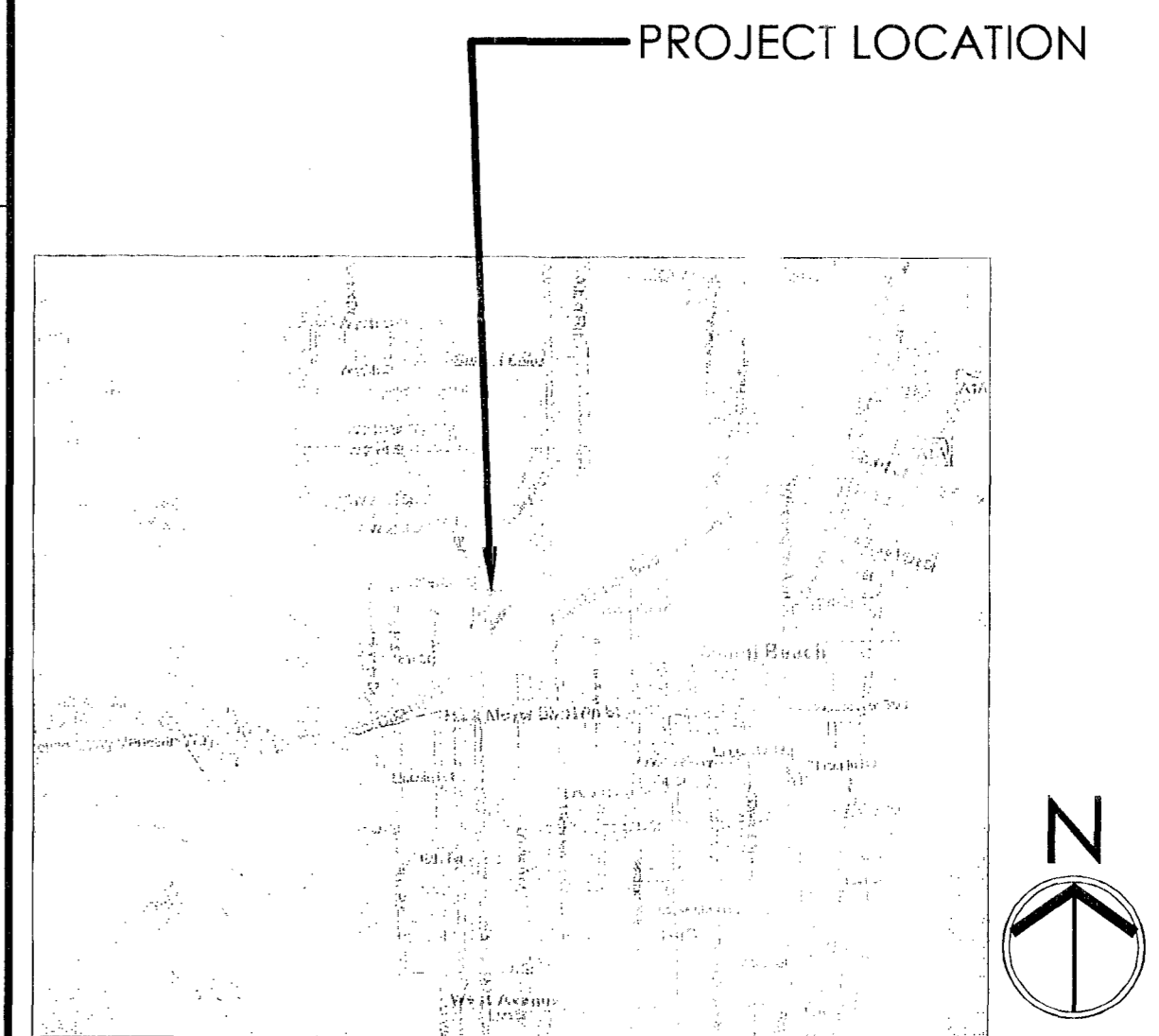
**DERM
PLAN REVIEW
FINAL
APPROVAL**
DEPARTMENT OF ENVIRONMENTAL
RESOURCES MANAGEMENT

CORE REVIEWER (PRINT): *[Signature]*
SIGNATURE: *[Signature]* DATE: 4.2.13

SHEET INDEX

ARCHITECTURAL DRAWINGS	DWGS ISSUED
A0.0 COVER SHEET	
A0.1 GENERAL NOTES, CONSTRUCTION TYPES	
A1.1 PARTIAL FLOOR PLANS, PARTIAL REFLECTED CEILING PLANS	
A1.2 PARTIAL FLOOR PLANS, DOOR SCHEDULE	
A2.1 SECTIONS, DETAILS	
A5.1 ELEVATIONS, TELLER LINE SECTIONS	
CONSULTANT DRAWINGS	
E101 ELECTRICAL FLOOR PLAN	

LOCATION MAP



LIFE SAFETY LEGEND

- EMERGENCY EXIT
- EXIT SIGN
- TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- SEM-RECESSED FIRE EXTINGUISHER CABINET
- SURFACE MOUNTED FIRE EXTINGUISHER CABINET

**THIS SHEET HAS BEEN
REVISED/REPLACED
ORIGINAL SIGNATURE STAMP
REMAINS VALID**

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

CITY OF MIAMI BEACH
I APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING: *[Signature]*
ZONING: *[Signature]*
DRB/HPD:
CONCURRENCY:
PLUMBING: *[Signature]*
ELECTRICAL: *[Signature]*
MECHANICAL: *[Signature]*
FIRE PREVENTION: *[Signature]*
ENGINEERING: *[Signature]*
PUBLIC WORKS:
STRUCTURAL: *[Signature]*
ELEVATOR:

NOTED



**JPM Chase - Alton Road
CPC Interior Renovations
1801 Alton Road
Miami Beach, Florida**

ARCHITECT/ENGINEER OF RECORD



100 South Ashley Drive,
Suite 100
Tampa, Florida 33602
LIC # : AA-0003590

P: 813 - 323 - 9233
F: 813 - 323 - 9238
W: www.bdgllp.com

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SEAL

[Signature]
1.17.13
Architect of Record:
Jeff R. Mendenhall, AIA
FL License # AR11215

ISSUE	DATE	DESCRIPTION

CODE INFORMATION

JURISDICTION: CITY OF MIAMI BEACH, FLORIDA

APPLICABLE CODES

- FLORIDA BUILDING CODE: BUILDING (2010 EDITION)
- FLORIDA BUILDING CODE: EXISTING BUILDING (2010 EDITION)
- FLORIDA BUILDING CODE: ACCESSABILITY (2010 EDITION)
- FLORIDA BUILDING CODE: MECHANICAL (2010 EDITION)
- FLORIDA BUILDING CODE: PLUMBING (2010 EDITION)
- FLORIDA FIRE PREVENTION CODE: (2010 EDITION)

PROJECT DATA - PROJECT AREA

USE	RETAIL BANKING CENTER
ALTERATION LEVEL:	LEVEL 2
AREA OF WORK: MAIN BANKING AREA	1235 SF

PROJECT DATA - EXISTING BUILDING

USE	RETAIL BANKING CENTER	
OCCUPANCY CLASSIFICATION	B - BUSINESS	
OCCUPANCY LOAD PER CLASSIFICATION:	1 OCCUPANT / 100 GROSS SF	
AREA	7,081 SF	
SF/100 GSF=	71 TOTAL OCCUPANTS	
CONSTRUCTION TYPE	TYPE III-B, UNSPRINKLERED	
NUMBER OF STORIES	2	
	ALLOWABLE/REQ'D	PROPOSED
BUILDING ELEMENT - FIRE RESISTANCE RATING		
STRUCTURAL FRAME	0	0
INCLUDING COLUMNS, GIRDERS, TRUSSES		
BEARING WALLS		
EXTERIOR	0	0
INTERIOR	0	0
NONBEARING WALLS AND PARTITIONS		
EXTERIOR	0	0
INTERIOR	0	0

	REQ'D.		NEW AREA PROVIDED
EXITS AND EXIT ACCESS DOORWAYS			
EXITS	2		2
DOOR WIDTH	32" MIN.		102"
EXIT ACCESS TRAVEL DISTANCE (W/O SPRINKLERS)	200'-0"		91'
DEAD END CORRIDORS	20'-0"		N/A
COMMON PATH OF TRAVEL	75'-0"		29'
PLUMBING FIXTURES PROVIDED IN ADDITION TO BUILDING PUBLIC FACILITIES			
WATER CLOSETS - MEN/WOMEN	0	1/1	0
LAVATORIES - MEN/WOMEN	0	1/1	0
DRINKING FOUNTAIN	0	1 HI / LO	0

FLAME SPREAD DATA

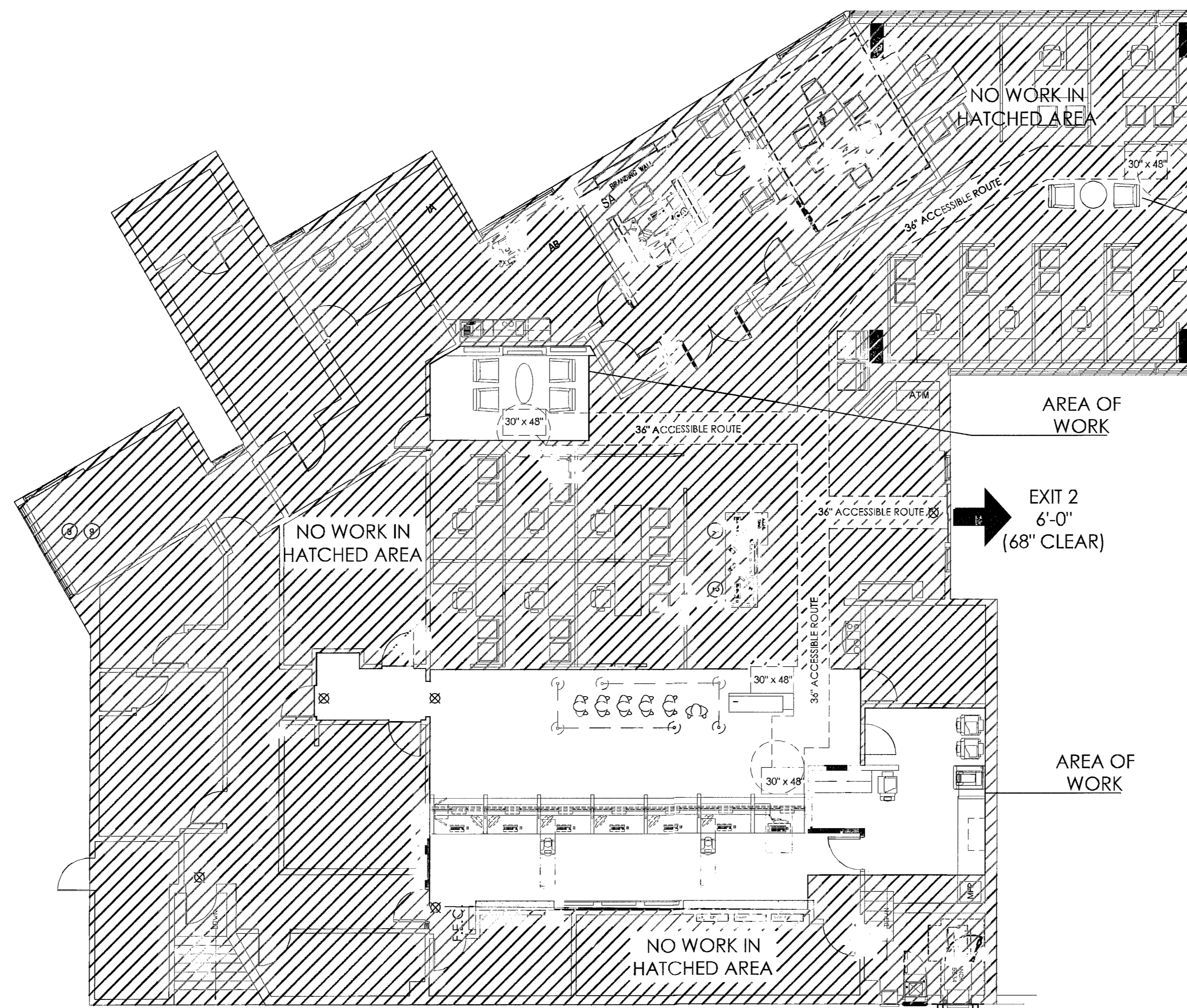
CERAMIC TILE:	CARPET TILE:
FBC REQUIRED MINIMUM: CLASS II	FBC REQUIRED MINIMUM: CLASS II
PROVIDED: CLASS II (EXISTING TO REMAIN)	PROVIDED: CLASS II (EXISTING TO REMAIN)
SUSPENDED ACOUSTICAL CEILING:	PAINTS AND COATING:
FBC REQUIRED MINIMUM: CLASS B	FBC REQUIRED MINIMUM: CLASS B
PROVIDED: CLASS A (EXISTING TO REMAIN)	PROVIDED: CLASS A (EXISTING TO REMAIN)
RESILIENT FLOORING:	NOTE: ALL NEW FINISHES SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE CHAPTER 10 AND TABLE A.10.2.2 (BUSINESS OCCUPANCY).
FBC REQUIRED MINIMUM: CLASS II	
PROVIDED: CLASS I (EXISTING TO REMAIN)	

OWNER & CONSULTANTS

OWNER	ELECTRICAL ENGINEER
JP MORGAN CHASE BANK, N.A. 4900 MEMORIAL HIGHWAY TAMPA, FLORIDA 33634 PHONE: 813-584-2341	HAROLD HART & ASSOCIATES 4201 W. GRAY STREET TAMPA, FLORIDA 33609 CONTACT: KEN MILLER PHONE: 813-287-2719 FAX: 813-287-5704
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**JPM CHASE - Alton Road
CPC Interior Renovations
1801 Alton Road
Miami Beach, Florida**

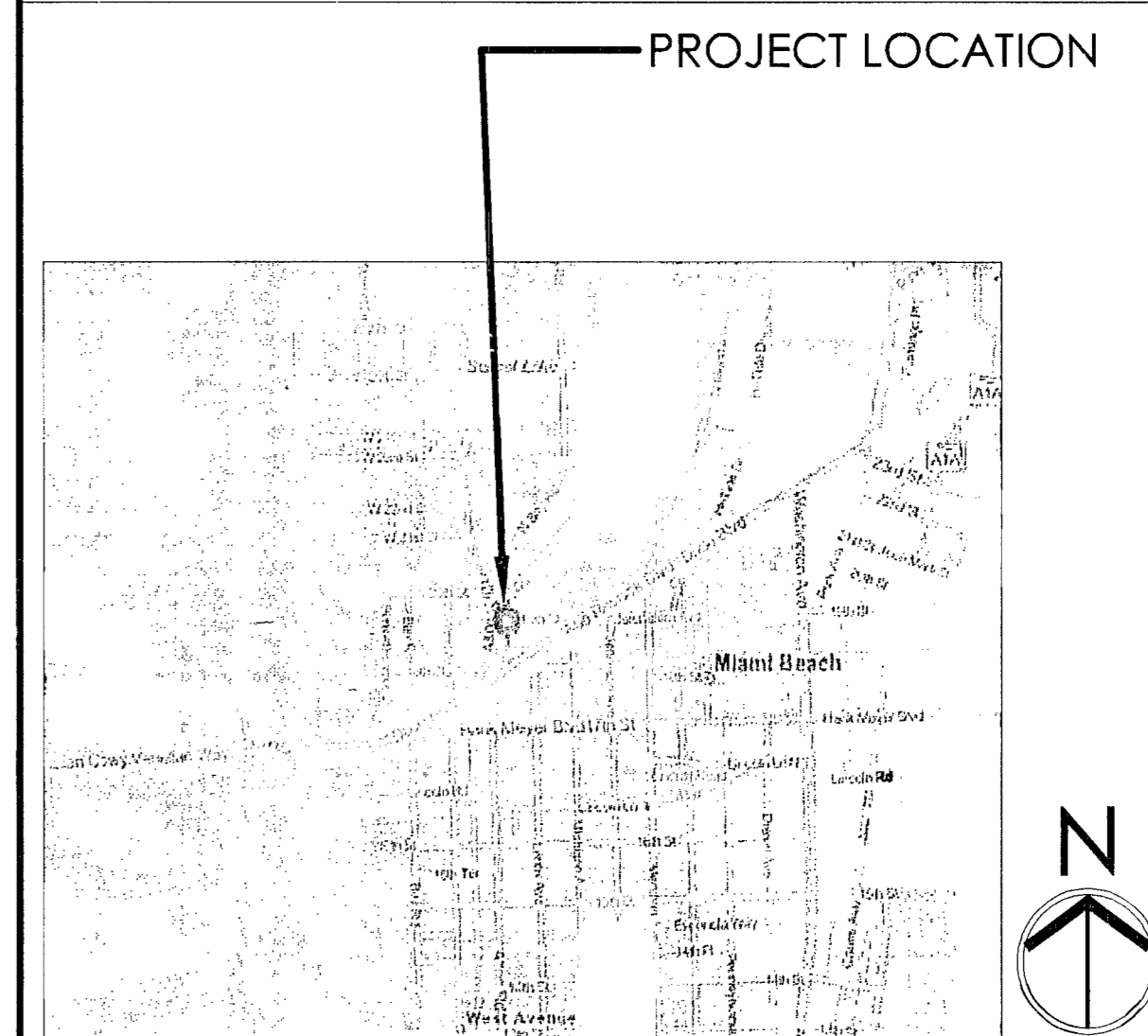


LIFE SAFETY PLAN

SHEET INDEX

		DWGS ISSUED		
		01-18-2013	03-25-2013	04-22-2013
ARCHITECTURAL DRAWINGS				
A0.0	COVER SHEET	•	•	•
A0.1	GENERAL NOTES, CONSTRUCTION TYPES	•	•	•
A1.1	PARTIAL FLOOR PLANS, PARTIAL REFLECTED CEILING PLANS	•	•	•
A1.2	PARTIAL FLOOR PLANS, DOOR SCHEDULE	•	•	•
A2.1	SECTIONS, DETAILS	•	•	•
A5.1	ELEVATIONS, TELLER LINE SECTIONS	•	•	•
CONSULTANT DRAWINGS				
E100	ELECTRICAL FLOOR PLAN	•	•	•

LOCATION MAP



LIFE SAFETY LEGEND

- EMERGENCY EXIT
- EXIT SIGN
- TRAVEL DISTANCE
- COMMON PATH OF TRAVEL
- F.E.C. SEMI-RECESSED FIRE EXTINGUISHER CABINET
- F.E. SURFACE MOUNTED FIRE EXTINGUISHER CABINET

SCOPE OF WORK:

1. REPLACE EXISTING TELLER LINE WITH NEW. REPLACE ADJACENT FLOOR / CEILING / WALL FINISHES.
 2. REPLACE (3) EXISTING DOORS WITH NEW PLANS APPROVED DOORS IN THE SAME LOCATION.
 3. CONSTRUCT NEW WALL AT END OF TELLER LINE.
 4. REPLACE FINISHES AND FURNITURE AT EXISTING SEATING AREA ("COMFORT ZONE").
- NO OTHER WORK IS PROPOSED. EXISTING EGRESS PATH SHALL BE KEPT CLEAR AND UNOBSTRUCTED AT ALL TIMES.



**JPM Chase - Alton Road
CPC Interior Renovations
1801 Alton Road
Miami Beach, Florida**

ARCHITECT/ENGINEER OF RECORD

bdg ARCHITECTS
100 South Ashley Drive, Suite 100
Tampa, Florida 33602
LIC # : AA-0003390
P: 813 - 323 - 9233
F: 813 - 323 - 9238
W: www.bdgllp.com

SEAL

Jeff R. Mendenhall
4-22-13
Architect of Record:
Jeff R. Mendenhall, AIA
FL License # AR11215

ISSUE	DATE	DESCRIPTION
△	03-11-2013	PLAN REVIEW COMMENTS
△	03-25-2013	PLAN REVIEW COMMENTS
△	04-22-2013	PLAN REVIEW COMMENTS

PROJECT INFORMATION BLOCK	
JOB #	12219
DATE:	01-18-2013
DRAWN BY:	KP
CHECKED BY:	JRM

SHEET TITLE
COVER SHEET

SHEET NUMBER

A0.0

DEMOLITION PLAN KEY NOTES NOTE: NOT ALL NOTES MAY BE USED. **DXX**

D01 REMOVE, PROTECT, AND STORE EXISTING EQUIPMENT / FURNITURE TO BE REUSED / RELOCATED ON SITE.
D02 REMOVE AND PROTECT EXISTING EQUIPMENT / FURNITURE TO BE RETURNED TO OWNER.
D03 REMOVE, PROTECT, AND STORE EXISTING FLOORING TO BE REUSED / RELOCATED ON SITE OR RETURNED TO OWNER.
D04 REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW WORK.
D05 REMOVE PORTION OF EXISTING CEILING AS REQUIRED FOR NEW WORK.
D06 REMOVE PORTION OF EXISTING CEILING AS REQUIRED FOR NEW WORK.
D07 REMOVE EXISTING FLOOR FINISH IN A CLEAN LINE AT AREA SHOWN.
D08 REMOVE BLUE BRANDING WALL FINISH FROM SOFFIT.
D09 REMOVE DOOR AND FRAME ASSEMBLY.
D10 REMOVE EXISTING FLOOR TRANSITION STRIP.
D11 REMOVE AND PROTECT EXISTING SIGNAGE TO BE REINSTALLED ON NEW SOFFIT.

FLOOR PLAN KEY NOTES NOTE: NOT ALL NOTES MAY BE USED. **FPXX**

FP01 ALIGN FINISH FACES.
FP02 LINE OF SOFFIT ABOVE.
FP03 PROVIDE AND INSTALL NEW FLOOR MOUNTED ILLUMINATED WINDOW BOX SIGN.
FP04 RELAMINATE EXISTING COUNTER.
FP05 INSTALL NEW BASE CABINET TO ACCOMMODATE NEW INSTANT ISSUE MACHINE. INSTALL SECURITY CAMERA. COORDINATE WITH CHASE SECURITY COMPANY.
FP06 NEW GLASS / LAMINATE / STUD WALL (REFER TO DETAILS).
FP07 REPLACE EXISTING FLOORING WITH NEW CARPET (TYPE AS NOTED).
FP08 REPLACE EXISTING FLOORING WITH NEW TILE (TYPE AS NOTED).
FP09 NEW OR REUSED FURNITURE BY OTHERS.
FP10 NEW GLASS PARTITION AND WOOD FRAME ASSEMBLY TO MATCH EXISTING.
FP11 NEW MESA LOUNGE CHAIRS ON AREA RUG.
FP12 EXISTING FLOORING TO REMAIN.
FP13 NEW CARPET TO MATCH EXISTING.
FP14 PATCH AND REPAIR FINISHES TO MATCH EXISTING ADJACENT FINISHES.
FP15 NEW P-LAM / WOOD VENEER WRAP WITH SIGNAGE AT ELEVATOR.
FP16 NEW WALL MOUNTED SIGNAGE BY OWNER.
FP17 NEW OR RE USED EQUIPMENT BY OWNER.
FP18 NEW SIGNAGE BY OWNER.
FP19 REINSTALL EXISTING CARPET TIGHT TO NEW LINE OF TILE.
FP20 EXISTING TO REMAIN.
FP21 NEW MANUAL MECO SHADES AT WINDOWS.
FP22 ALIGN CENTERLINE OF NEW PARTITION WITH CENTERLINE OF EXIST. MULLION.
FP23 3" STEEL TUBE POST. REFER TO DETAIL.
FP24 NEW P-LAM COUNTER.

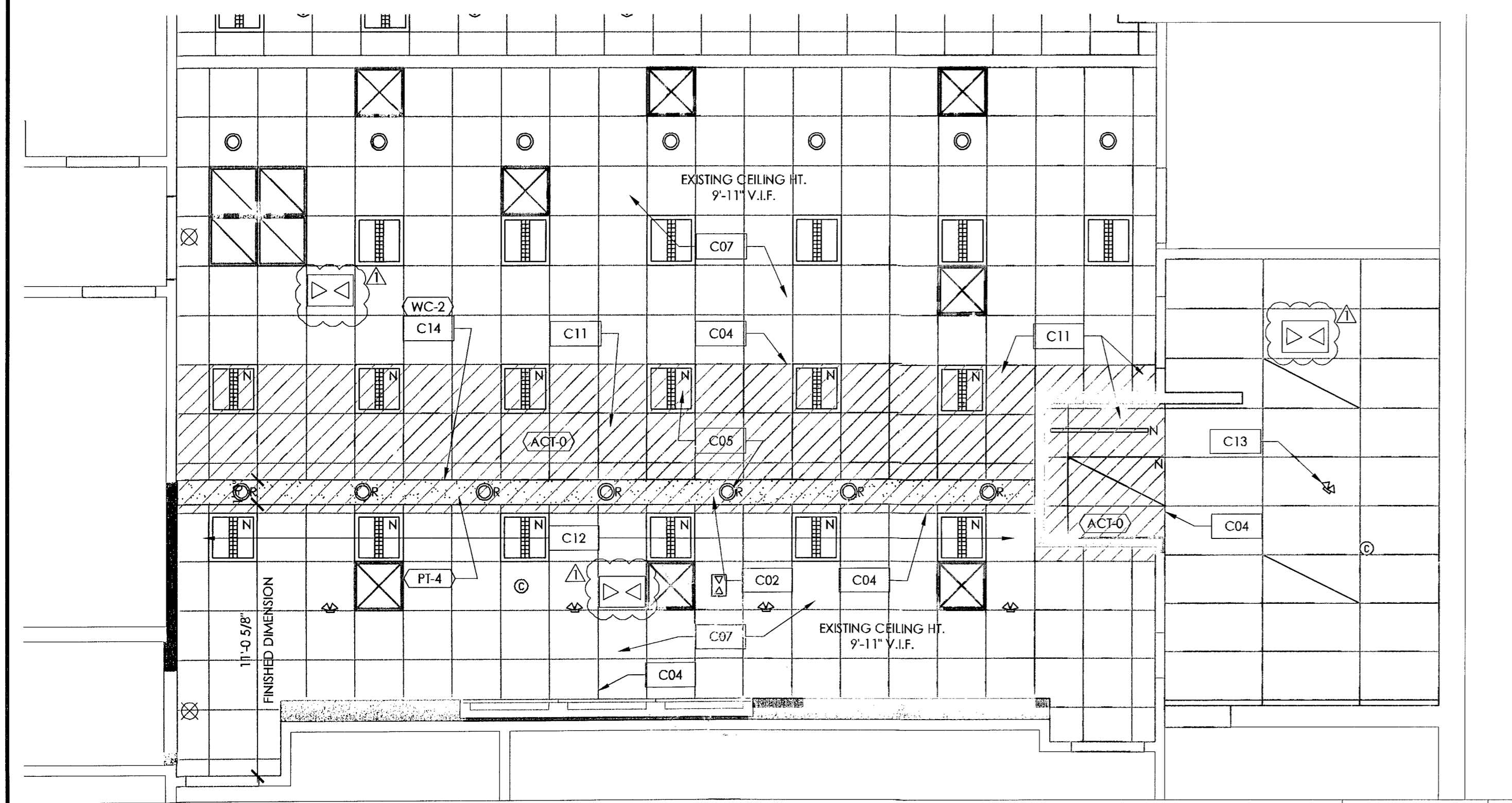
REFLECTED CEILING PLAN KEY NOTES NOTE: NOT ALL NOTES MAY BE USED. **CXX**

C01 ALIGN FINISH FACES.
C02 CONSTRUCT NEW SOFFIT - REFER TO SECTION 5/A5.1.
C03 NEW 2X2 ACOUSTIC CEILING TILE & GRID TO MATCH EXISTING.
C04 REWORK EXISTING ACOUSTIC CEILING TILE & GRID TO ACCOMMODATE NEW CONSTRUCTION.
C05 NEW OR RELOCATED LIGHT FIXTURE. PROVIDE POWER AND SWITCH.
C06 EXISTING SOFFIT TO REMAIN.
C07 EXISTING CEILING, GRID, FIXTURES & DIFFUSERS TO REMAIN.
C08 WALL BELOW.
C09 RELOCATE FIXTURE TO ALIGN WITH NEW LOCATION OF GRID.
C10 ALIGN MONITOR RECESS WITH CHANGE IN CEILING PLANE.
C11 NEW CEILING GRID, ACOUSTICAL TILE TO MATCH EXISTING AND NEW FIXTURES THIS AREA.
C12 EXISTING GRID AND CEILING TILE TO REMAIN.
C13 NEW SECURITY CAMERA ABOVE INSTANT ISSUE MACHINE.
C14 REINSTALL SIGNAGE-SEE ELEV. 1/A5.1.

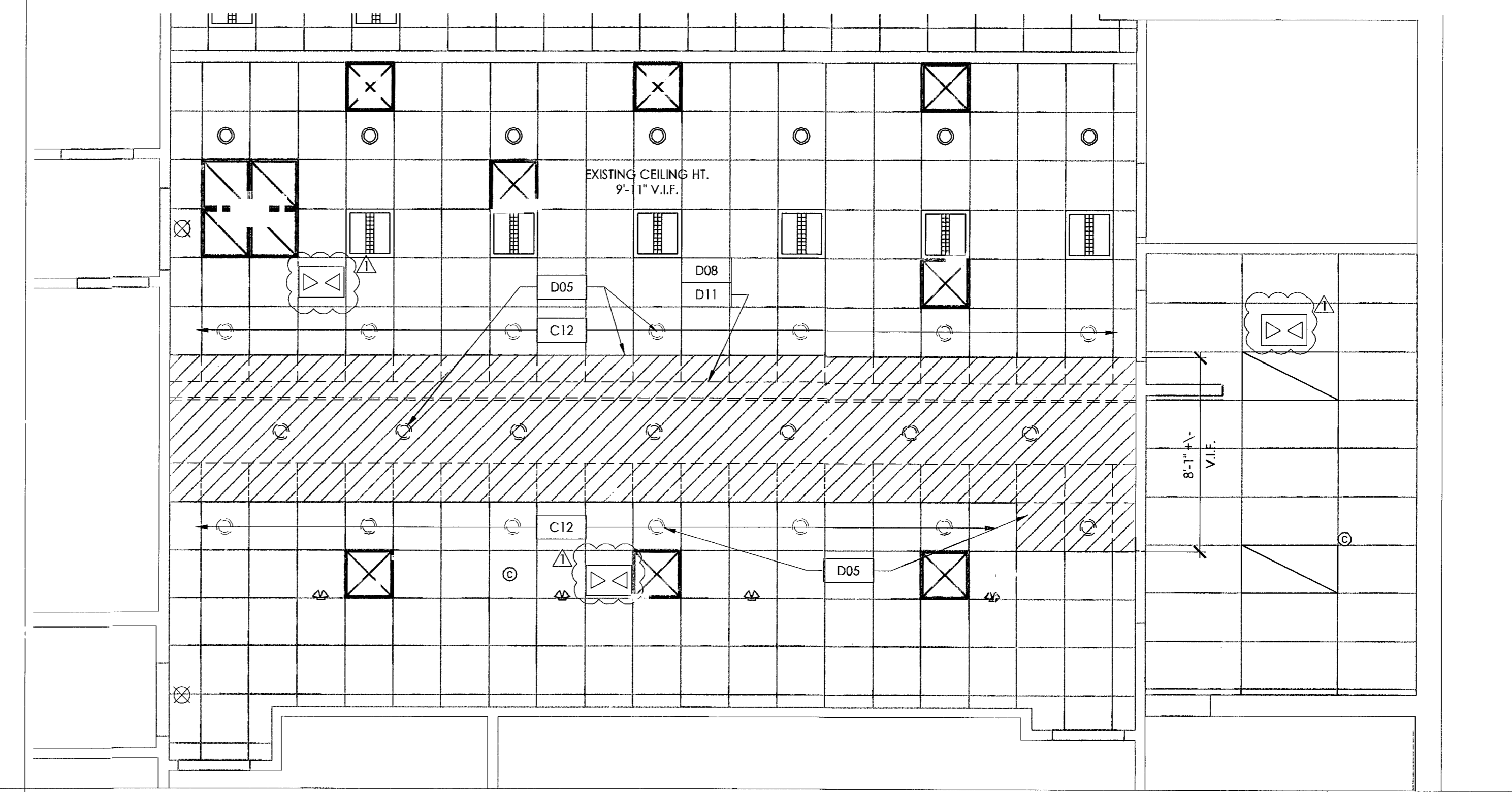
RCP SYMBOL LEGEND

NEW 2x2' LAY-IN FLUORESCENT: REFER TO ELEC DWGS FOR ADDL INFO
EXISTING 2x2' LAY-IN FLUORESCENT
NEW 2x4' LAY-IN FLUORESCENT: REFER TO ELEC DWG. FOR ADDL INFO
EXISTING 2x4' LAY-IN FLUORESCENT: REFER TO ELEC DWG. FOR ADDL INFO
EXISTING SECURITY CAMERA

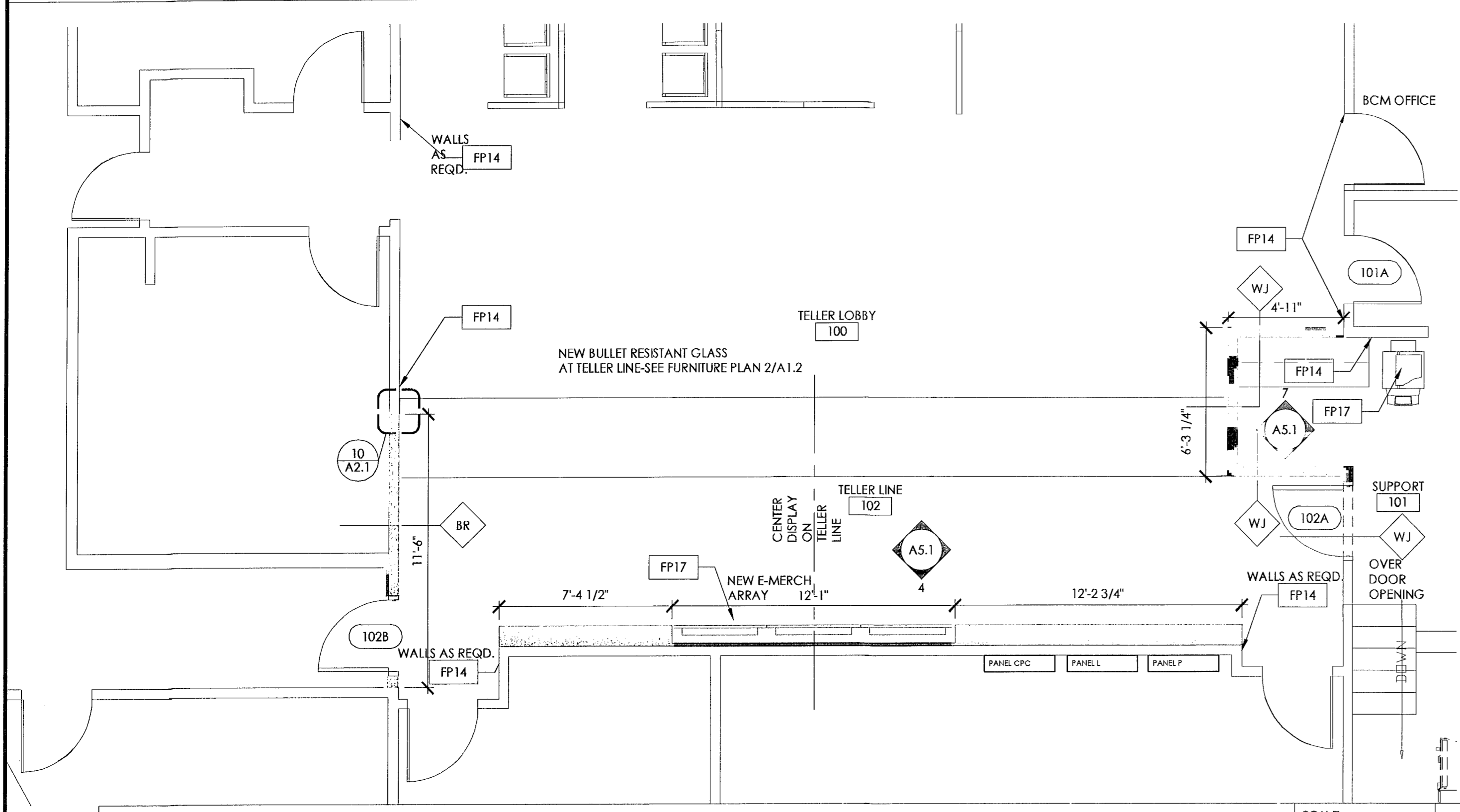
RELOCATED RECESSED CAN LIGHT: REFER TO ELEC DWGS FOR ADDL INFO
EXISTING RECESSED CAN LIGHT
EXISTING LIGHTED EXIT SIGN
NEW UNDER-CABINET TASK LIGHT: REFER TO ELEC DWGS FOR ADDL INFO
EXISTING EMERGENCY LIGHTING
EXISTING DEVICE TO REMAIN
EXISTING SUPPLY AIR DIFFUSER
EXISTING RETURN AIR GRILL



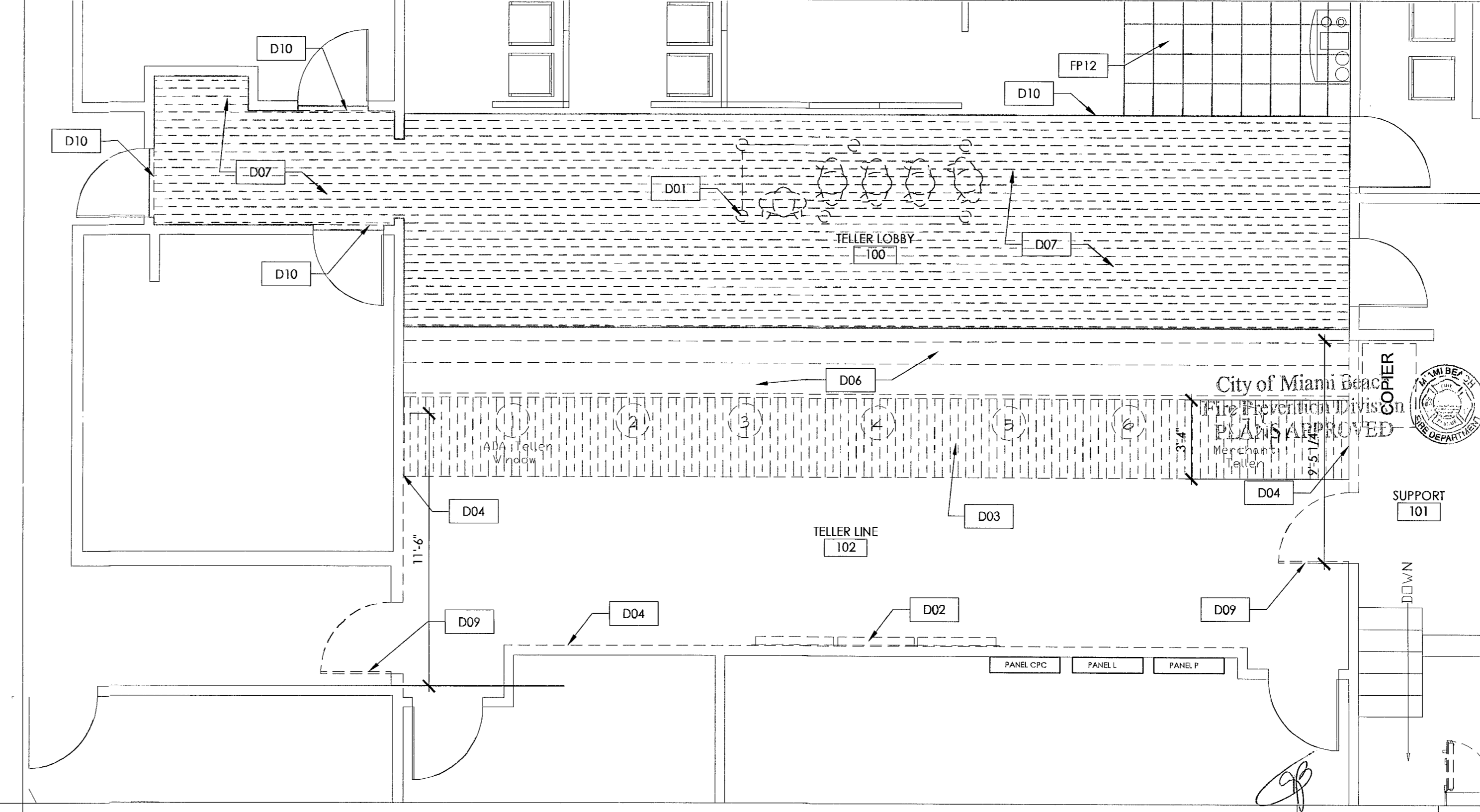
PARTIAL CEILING PLAN - NEW SCALE 1/4"=1'-0" 4



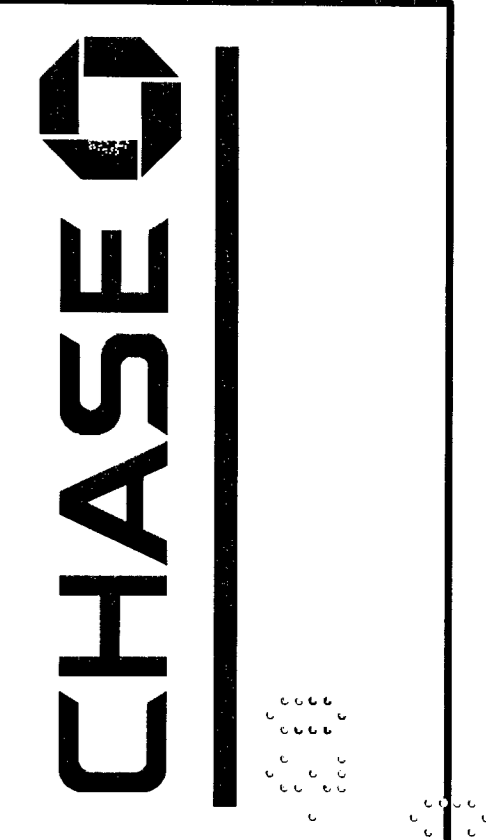
PARTIAL CEILING PLAN - EXISTING/ DEMO SCALE 1/4"=1'-0" 3



PARTIAL FLOOR PLAN - NEW SCALE 1/4"=1'-0" 2



PARTIAL FLOOR PLAN - EXISTING/ DEMO SCALE 1/4"=1'-0" 1



JPM Chase - Alton Road
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SEAL
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3.11.13
Architect of Record:
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FL License # AR11215

ISSUE	DATE	DESCRIPTION
▲	03-11-2013	PLAN REVIEW COMMENTS

City of Miami Beach
Fire Prevention Division
PLANS APPROVED
Mendenhall

PROJECT INFORMATION BLOCK

JOB #	12219
DATE	01-18-2013
DRAWN BY	EP
CHECKED BY	JRM

SHEET TITLE
**FLOOR PLANS
REFLECTED CEILING
PLANS**

SHEET NUMBER
A1.1

DOOR SCHEDULE							
DOOR NUMBER	DOOR TYPE	DIMENSIONS			DOOR MATERIAL		REMARKS
		WIDTH	HEIGHT	THICK.	AL = ALUMINUM BR = BULLET RESISTANT H.M. = HOLLOW METAL S.C. = SOLID CORE WD. = WOOD	FRAME MATERIAL H.M. = HOLLOW METAL BR = BULLET RESISTANT WD. = WOOD	
101A	- EXISTING	EXISTING	-	-	-	O2	5
102A	A	3'-0"	7'-0"	1-3/4"	S.C.WD.	H.M.	01
102B	B	3'-0"	7'-0"	1-3/4"	S.C.BR.WD.	BR.M.	01

HARDWARE NOTES:
 1. PERMANENT CORE KEYING BY G.C., COORDINATE WITH OWNER.
 2. MOUNT CLOSER ON FULL SIDE.
 3. ALL DOOR HARDWARE TO MEET ADA ACCESSIBILITY GUIDELINES.
 4. G.C. TO VERIFY & MATCH EXISTING HARDWARE.
 5. ADD DOOR LOCK ONLY.
 6. DOOR AND FRAME SUPPLIED BY OWNERS VENDOR-INSTALLED BY G.C.

HARDWARE SET 01

DOOR NUMBER: 102A, 102B
 EACH TO HAVE:

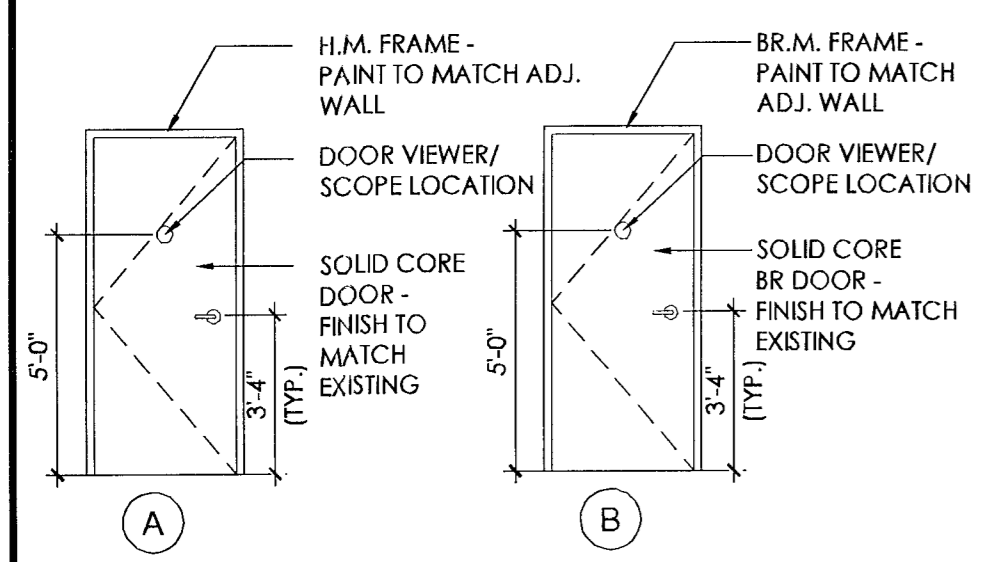
3 EA HINGE	5881 4.5 X 4.5 (881279 4.5 X 4.5)	652 IVE (HAG)
1 EA ELECTRONIC LOCK	SCHLAGE CO-100-CY-70-KP-SPA-626-PD W/ SCHLAGE STANDARD CYLINDER C123 KEYWAY	626 SCH
1 EA SURFACE CLOSER	SP28 LCN(HAG)	**4011/4041-3077 (5100 REG)
1 EA KICKPLATE (Push Side)	8400 8"X 2" LESS THAN DOOR WIDTH (1945)	630 IVE(HAG)
1 EA DOOR SCOPE	DS2000 168 DEGREE	ALS DST
1 EA FLOOR STOP	FS13 (w/R1 4 DOME STOP RISE AS REQD.)	626 IVE
3 EA SILENCER	SR64 (307D)	GRY IVE(HAG)

** MOUNT ON ROOM SIDE NOT VISIBLE TO CUSTOMERS

HARDWARE SET 02

DOOR NUMBER: 101A
 EACH TO HAVE:

1 EA ELECTRONIC LOCK	SCHLAGE CO-100-CY-70-KP-SPA-626-PD W/ SCHLAGE STANDARD CYLINDER C123 KEYWAY	626 SCH
----------------------	---	---------

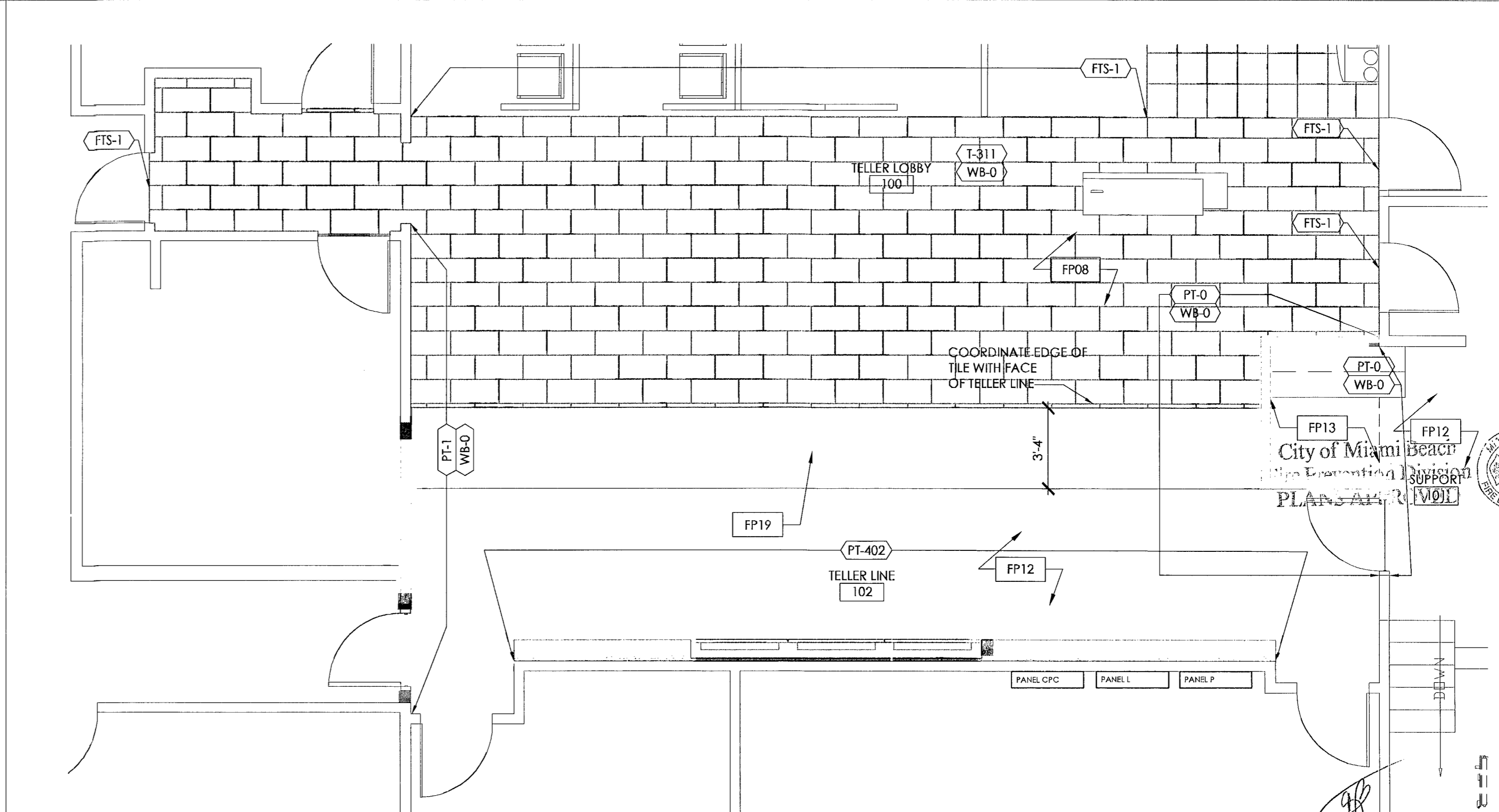
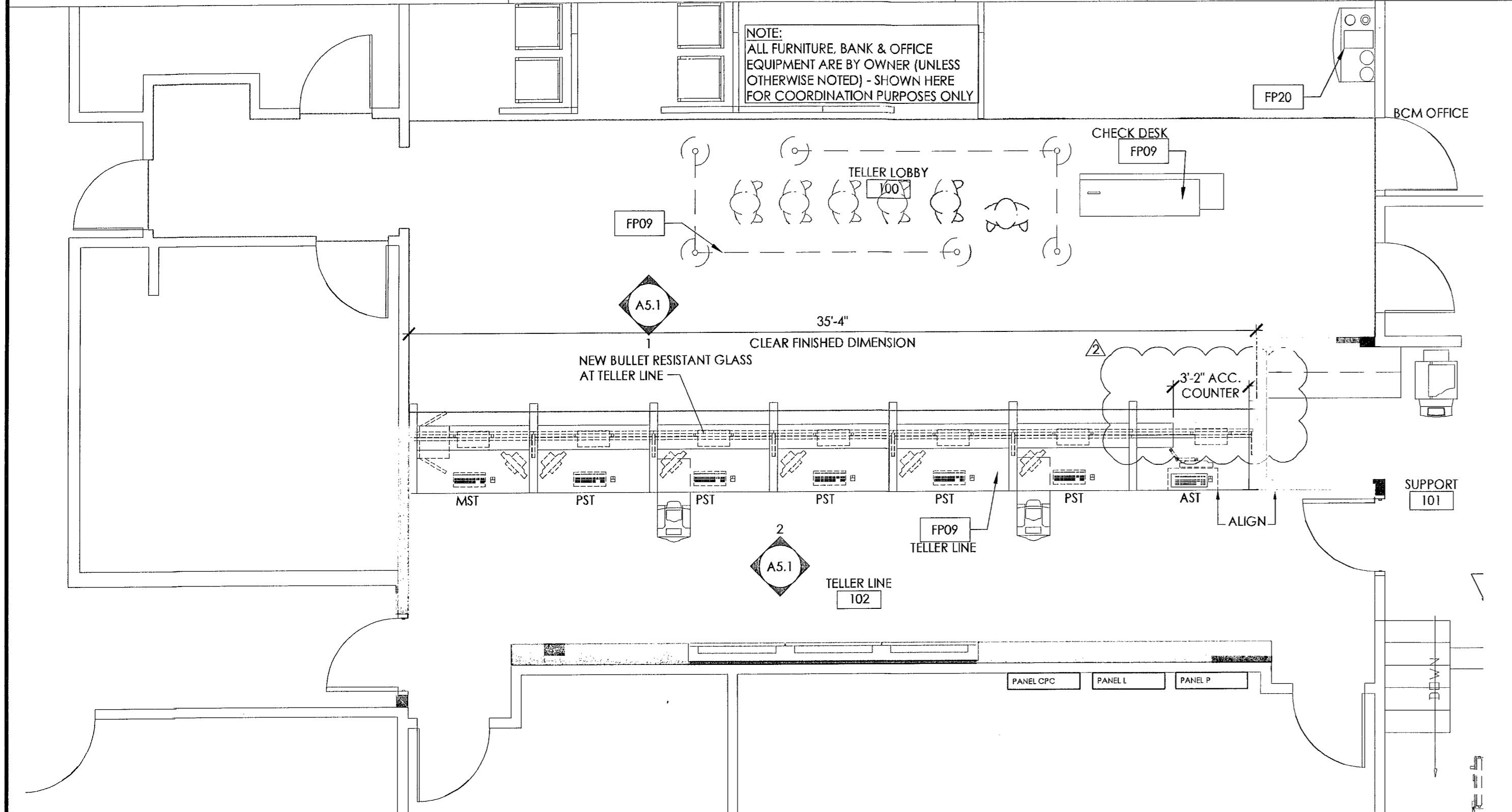
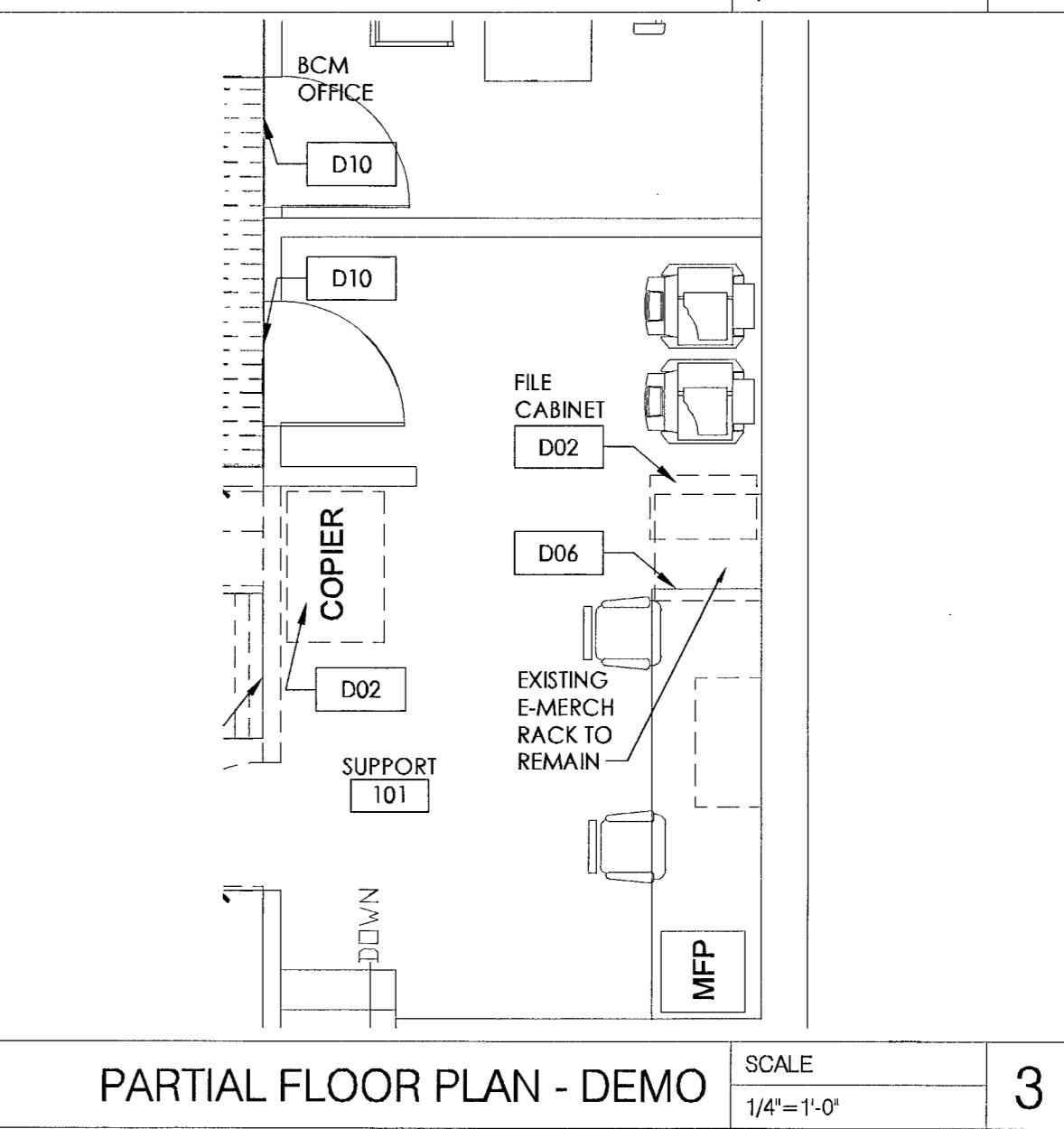
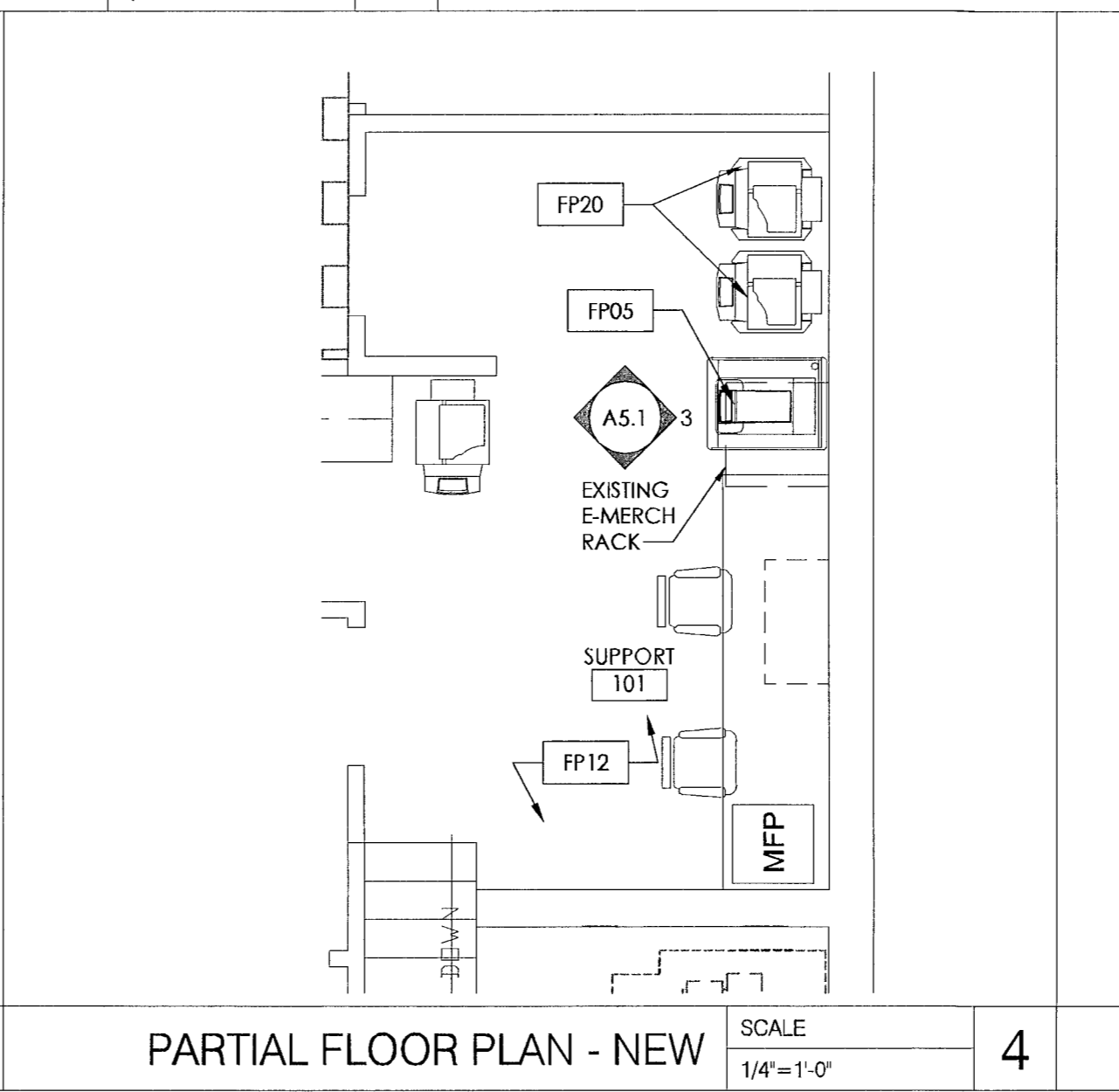
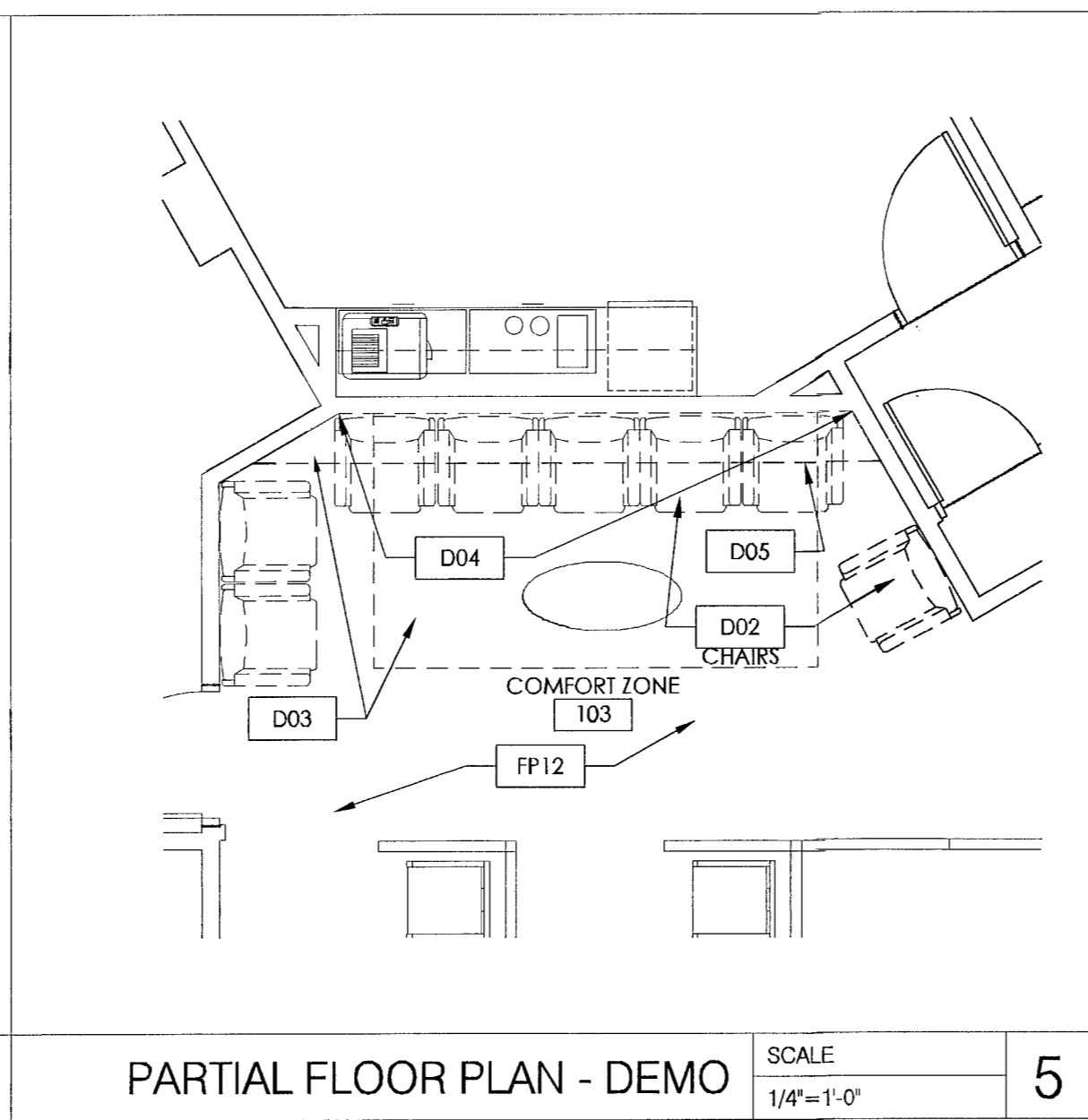
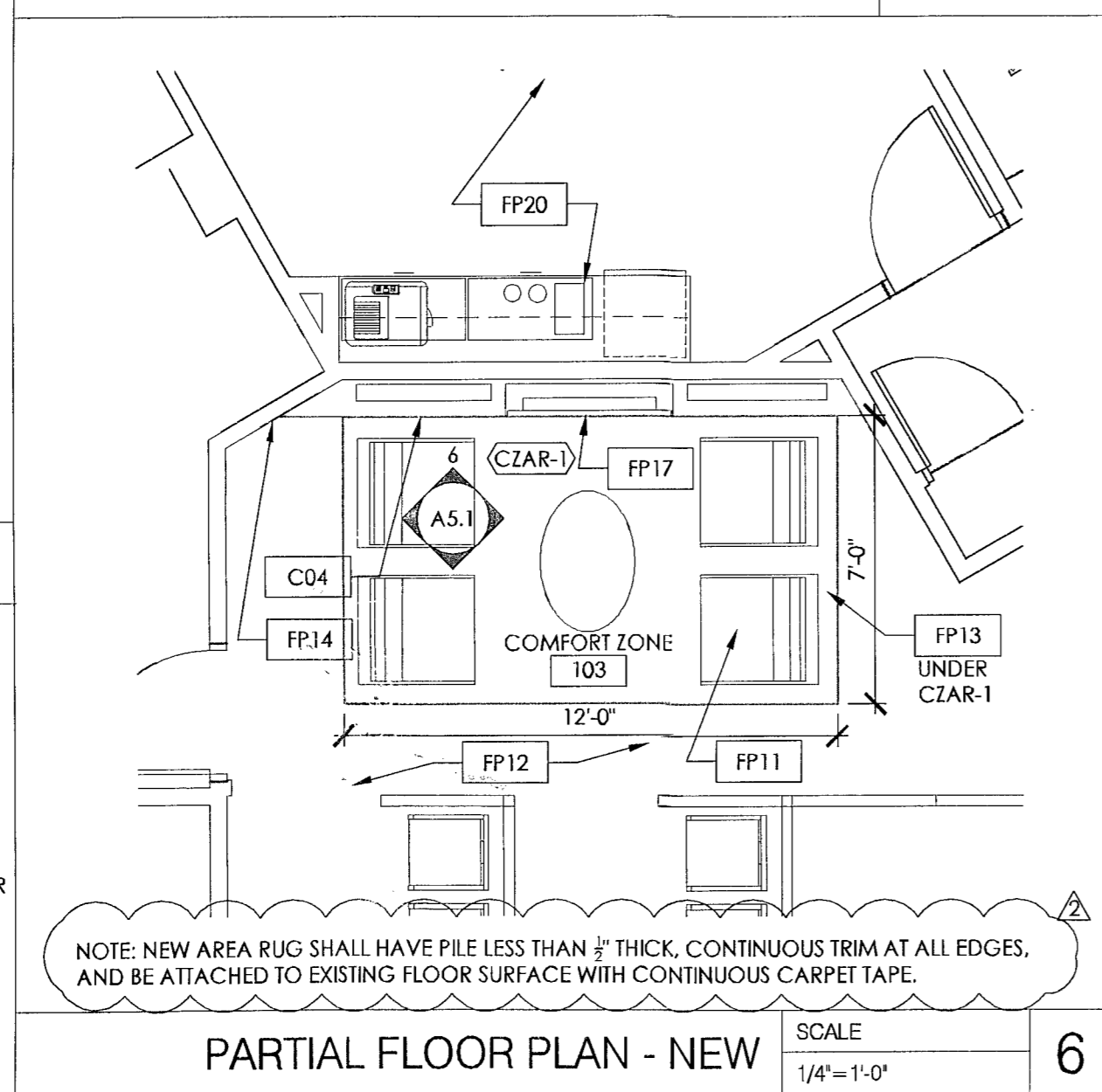
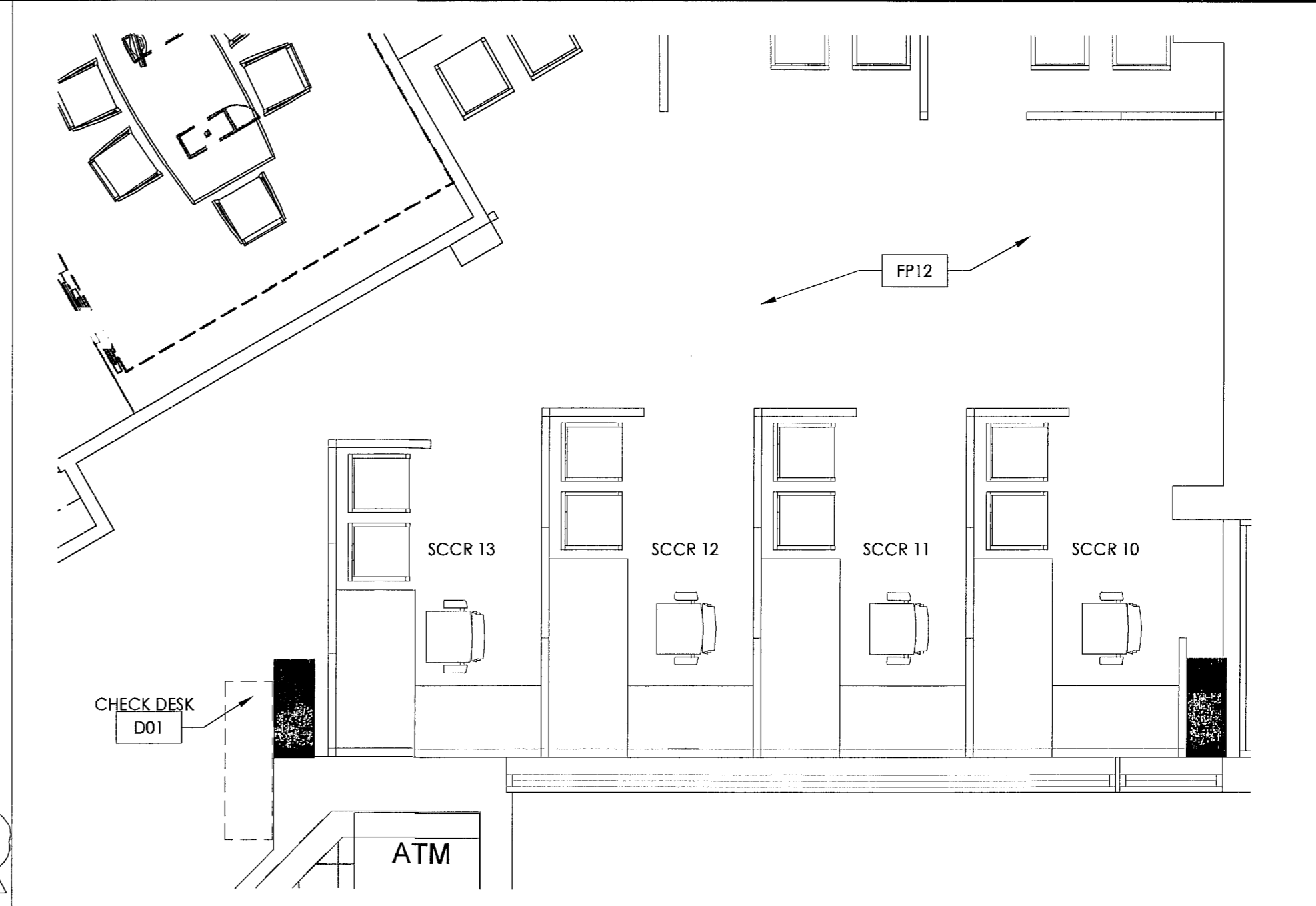
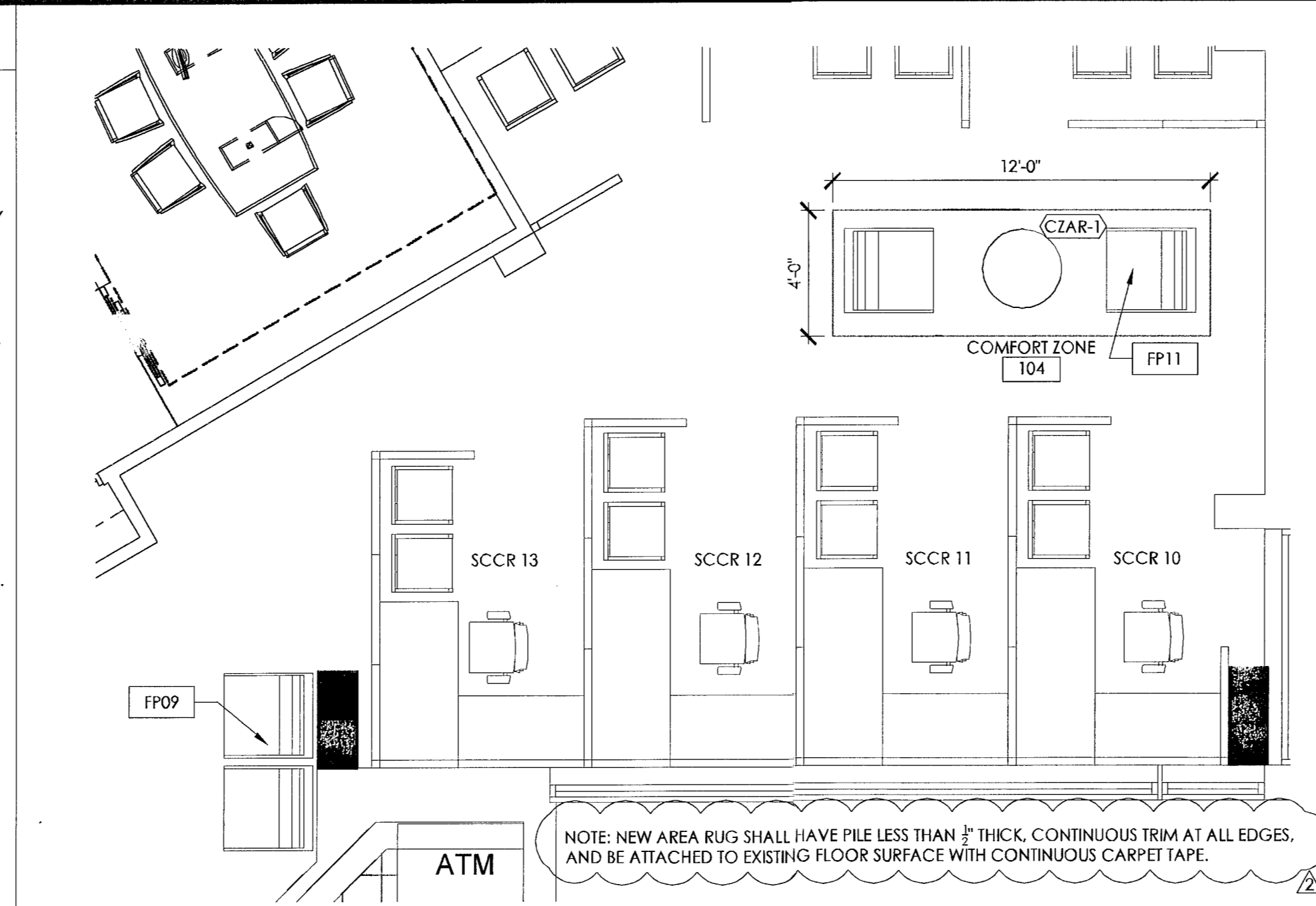


DEMOLITION PLAN KEY NOTES NOTE: NOT ALL NOTES MAY BE USED. **DXX**

D01 REMOVE, PROTECT, AND STORE EXISTING EQUIPMENT / FURNITURE TO BE REUSED / RELOCATED ON SITE.
D02 REMOVE AND PROTECT EXISTING EQUIPMENT / FURNITURE TO BE RETURNED TO OWNER.
D03 REMOVE, PROTECT, AND STORE EXISTING FLOORING TO BE REUSED / RELOCATED ON SITE OR RETURNED TO OWNER.
D04 REMOVE PORTION OF EXISTING WALL AS REQUIRED FOR NEW WORK.
D05 REMOVE PORTION OF EXISTING CEILING AS REQUIRED FOR NEW WORK.
 REMOVE CEILING TILE TO NEXT FULL TILE. PROTECT AND STORE EXISTING LIGHTS, DIFFUSERS, CAMERAS, ETC. TO BE REUSED OR RETURNED TO OWNER.
D06 REMOVE PORTION OF EXISTING FURNITURE OR CASEWORK AS REQUIRED FOR NEW WORK.
D07 REMOVE EXISTING FLOOR FINISH IN A CLEAN LINE AT AREA SHOWN.
D08 REMOVE BLUE BRANDING WALL FINISH FROM SOFFIT.
D09 REMOVE DOOR AND FRAME ASSEMBLY.
D10 REMOVE EXISTING FLOOR TRANSITION STRIP.
D11 REMOVE AND PROTECT EXISTING SIGNAGE TO BE REINSTALLED ON NEW SOFFIT.

FLOOR PLAN KEY NOTES NOTE: NOT ALL NOTES MAY BE USED. **FPXX**

FP01 ALIGN FINISH FACES.
FP02 LINE OF SOFFIT ABOVE.
FP03 PROVIDE AND INSTALL NEW FLOOR MOUNTED ILLUMINATED WINDOW BOX SIGN.
FP04 RELAMINATE EXISTING COUNTER.
FP05 INSTALL NEW BASE CABINET TO ACCOMMODATE NEW INSTANT ISSUE MACHINE. INSTALL SECURITY CAMERA. COORDINATE WITH CHASE SECURITY COMPANY.
FP06 NEW GLASS / LAMINATE / STUD WALL (REFER TO DETAILS).
FP07 REPLACE EXISTING FLOORING WITH NEW CARPET (TYPE AS NOTED).
FP08 REPLACE EXISTING FLOORING WITH NEW TILE (TYPE AS NOTED).
FP09 NEW OR REUSED FURNITURE BY OTHERS.
FP10 NEW GLASS PARTITION AND WOOD FRAME ASSEMBLY TO MATCH EXISTING.
FP11 NEW MESA LOUNGE CHAIRS ON AREA RUG.
FP12 EXISTING FLOORING TO REMAIN.
FP13 NEW CARPET TO MATCH EXISTING.
FP14 PATCH AND REPAIR FINISHES TO MATCH EXISTING ADJACENT FINISHES.
FP15 NEW P-LAM / WOOD VENEER WRAP WITH SIGNAGE AT ELEVATOR.
FP16 NEW WALL MOUNTED SIGNAGE BY OWNER.
FP17 NEW OR RE USED EQUIPMENT BY OWNER.
FP18 NEW SIGNAGE BY OWNER.
FP19 REINSTALL EXISTING CARPET TIGHT TO NEW LINE OF TILE.
FP20 EXISTING TO REMAIN.
FP21 NEW MANUAL METCHO SHADES AT WINDOWS.
FP22 ALIGN CENTERLINE OF NEW PARTITION WITH CENTERLINE OF EXIST. MULLION.
FP23 3" STEEL TUBE POST. REFER TO DETAIL.
FP24 NEW P-LAM COUNTER.



CHASE

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 CPC Interior Renovations
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 Miami Beach, Florida

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SEAL

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 3-27-13

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ISSUE DATE	DESCRIPTION
03-25-2013	PLAN REVIEW COMMENTS

PROJECT INFORMATION BLOCK

JOB #	12219
DATE:	01-18-2013
DRAWN BY:	KP
CHECKED BY:	JRM

SHEET TITLE
FLOOR PLANS & DOOR SCHEDULE

SHEET NUMBER
A1.2

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SEAL

Jeff R. Mendenhall
 4-22-13

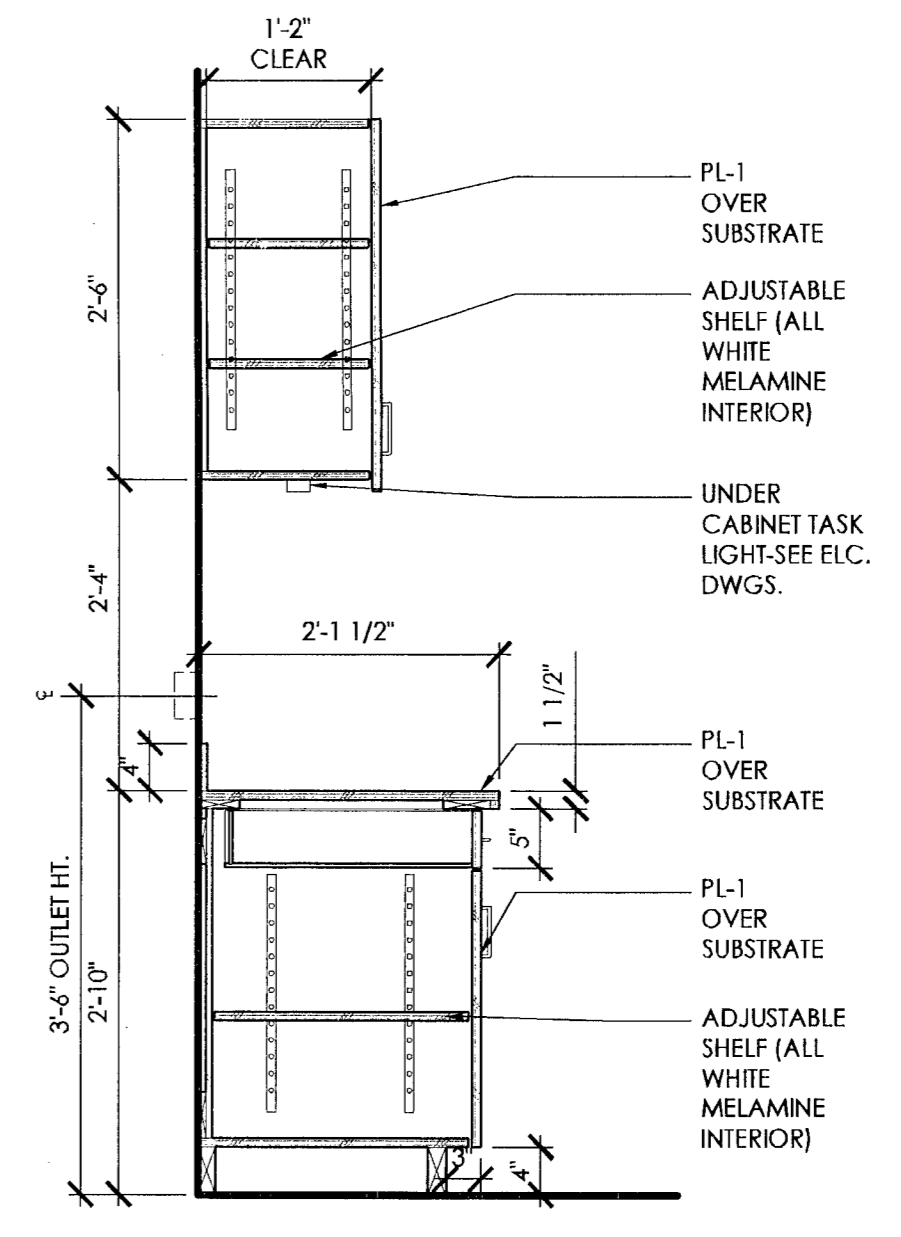
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 FL License # AR11215

ISSUE	DATE	DESCRIPTION
Δ	03-25-2013	PLAN REVIEW COMMENTS
Δ	04-22-2013	PLAN REVIEW COMMENTS

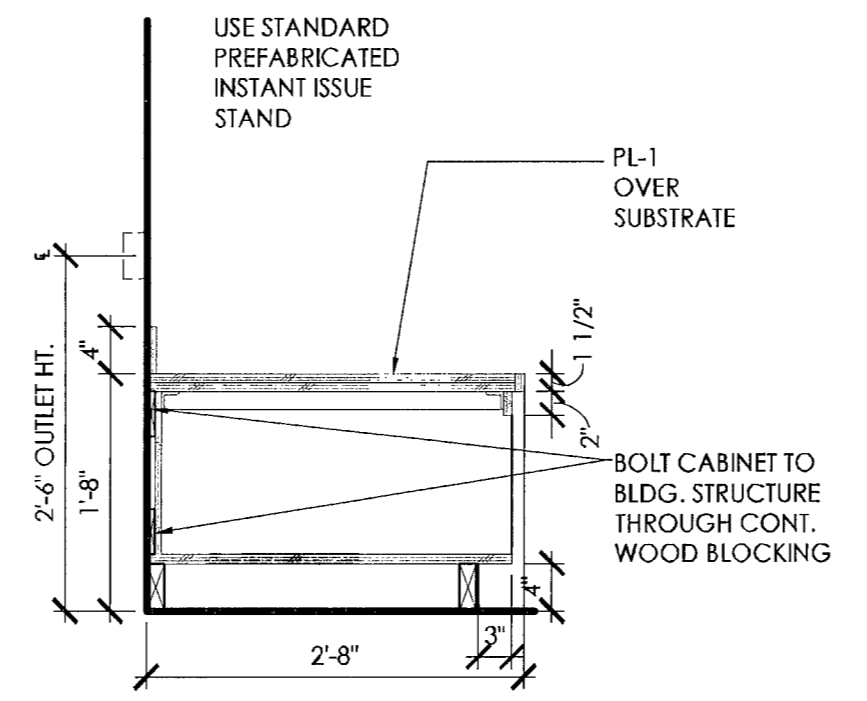
PROJECT INFORMATION BLOCK		
JOB #	12219	
DATE	01-18-2013	
DRAWN BY:	KP	
CHECKED BY:	JRM	

SHEET TITLE
SECTIONS & DETAILS

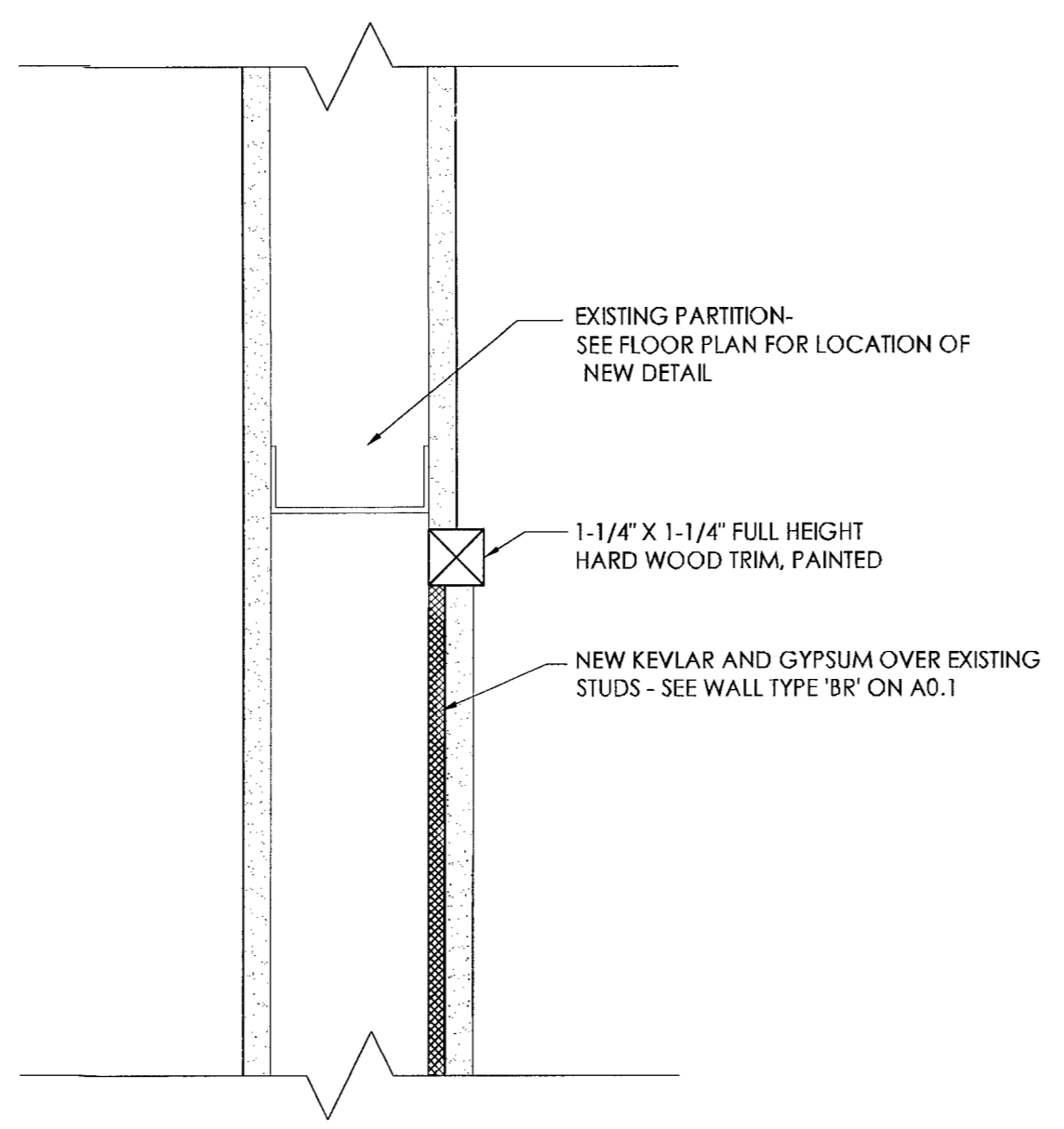
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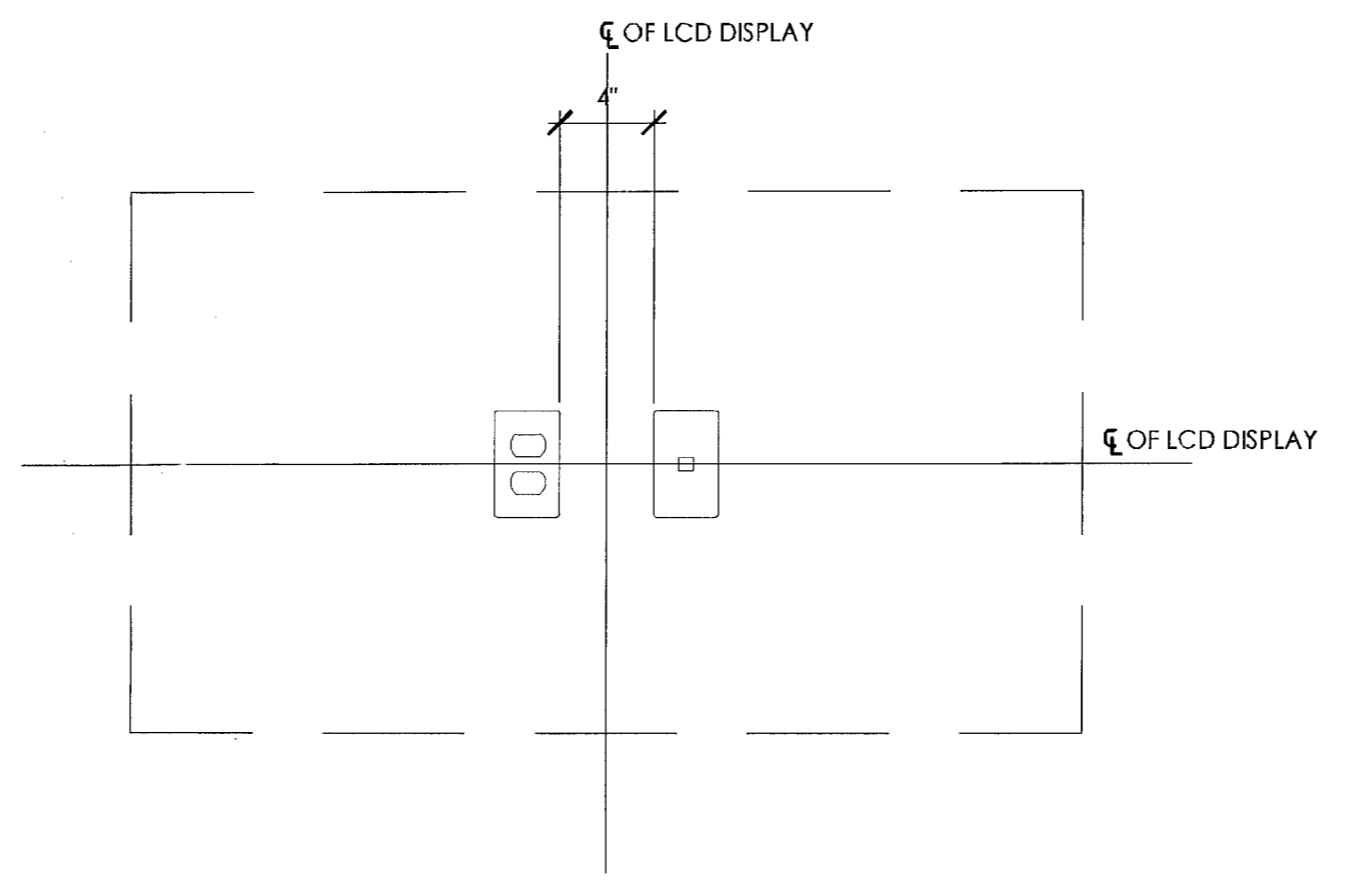
MILLWORK SECTION SCALE 3/4" = 1'-0" 8



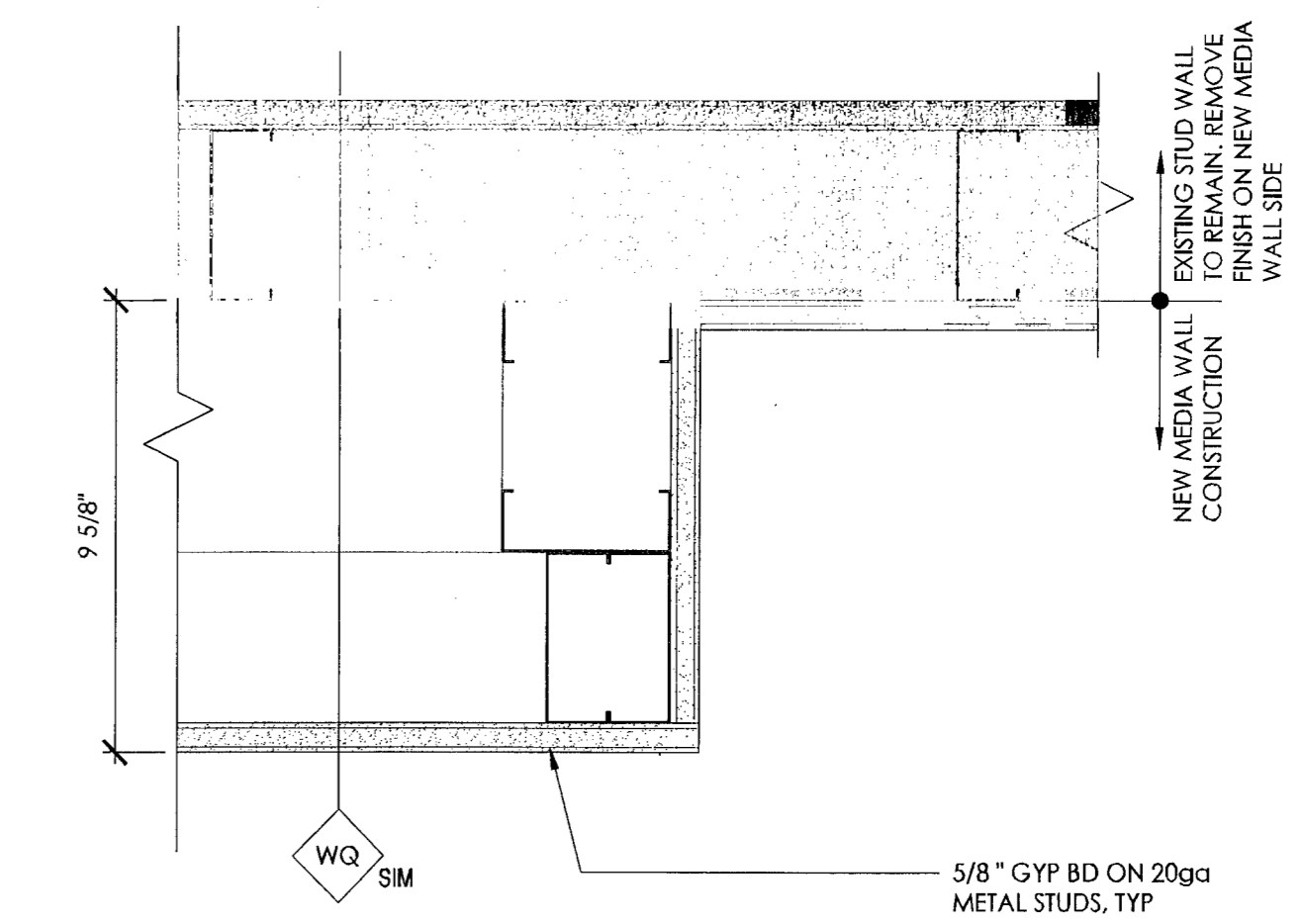
MILLWORK SECTION SCALE 3/4" = 1'-0" 9



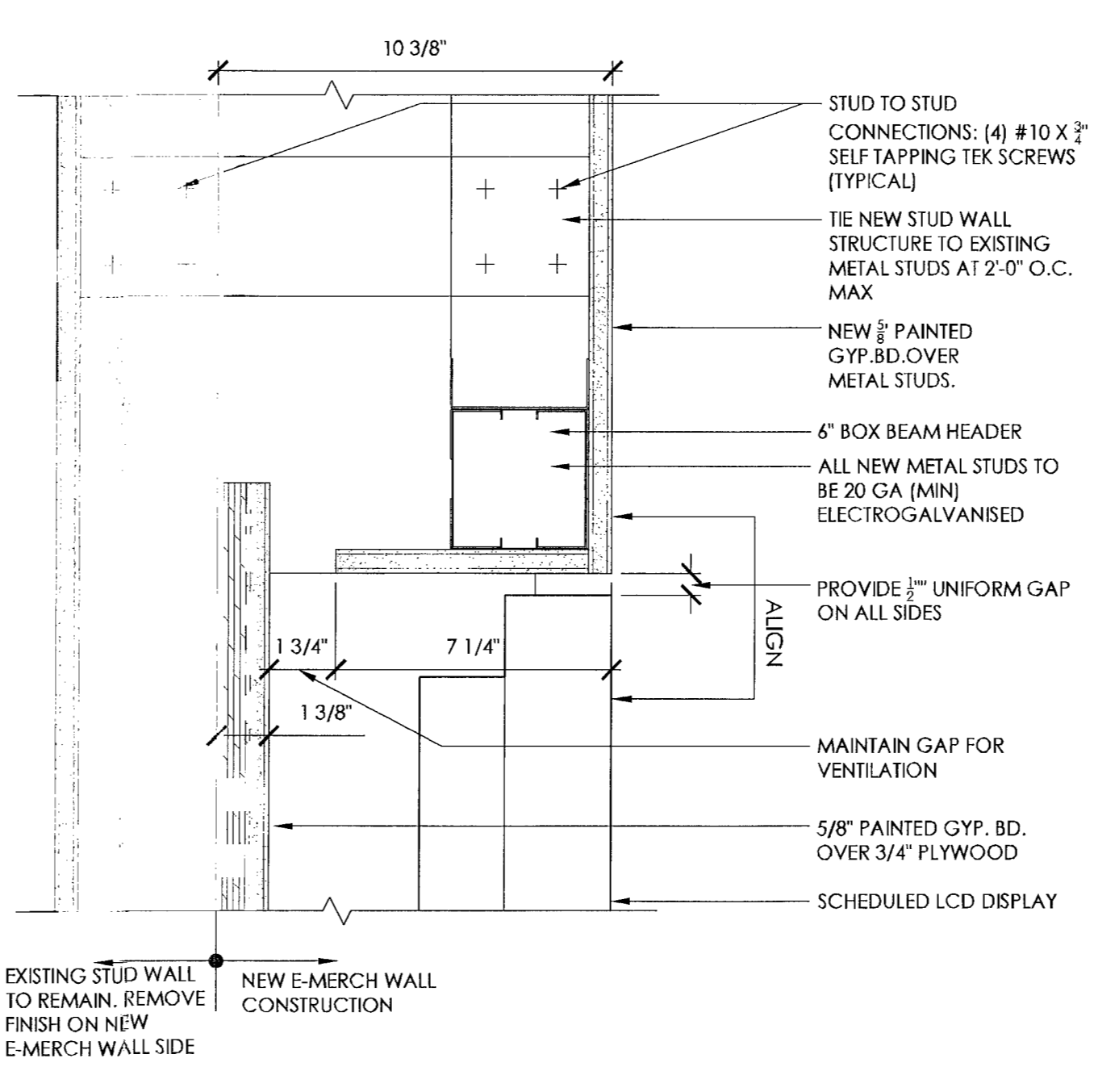
DETAIL SCALE 10



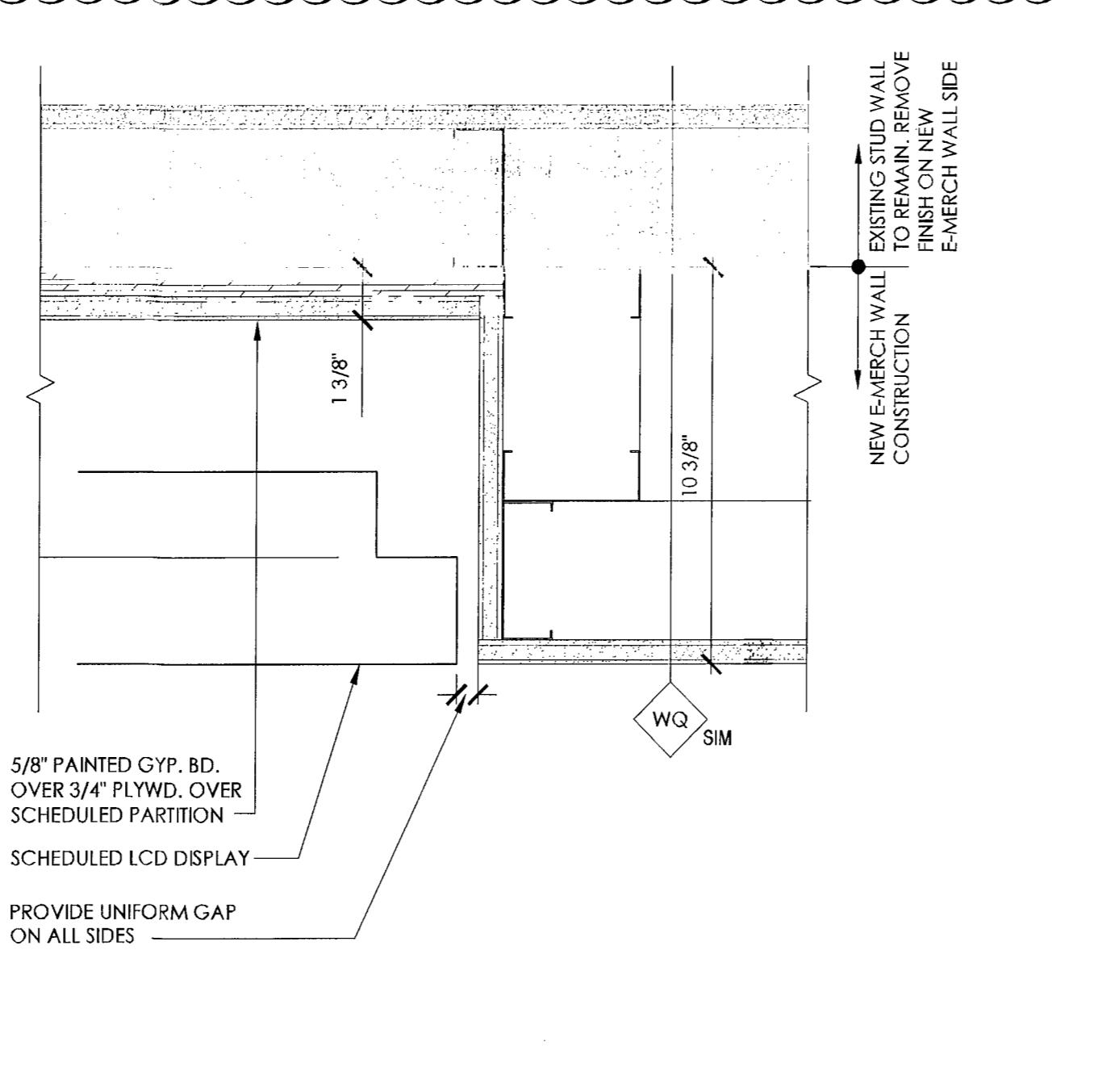
DETAIL AT LCD DISPLAY SCALE 1-1/2" = 1'-0" 6



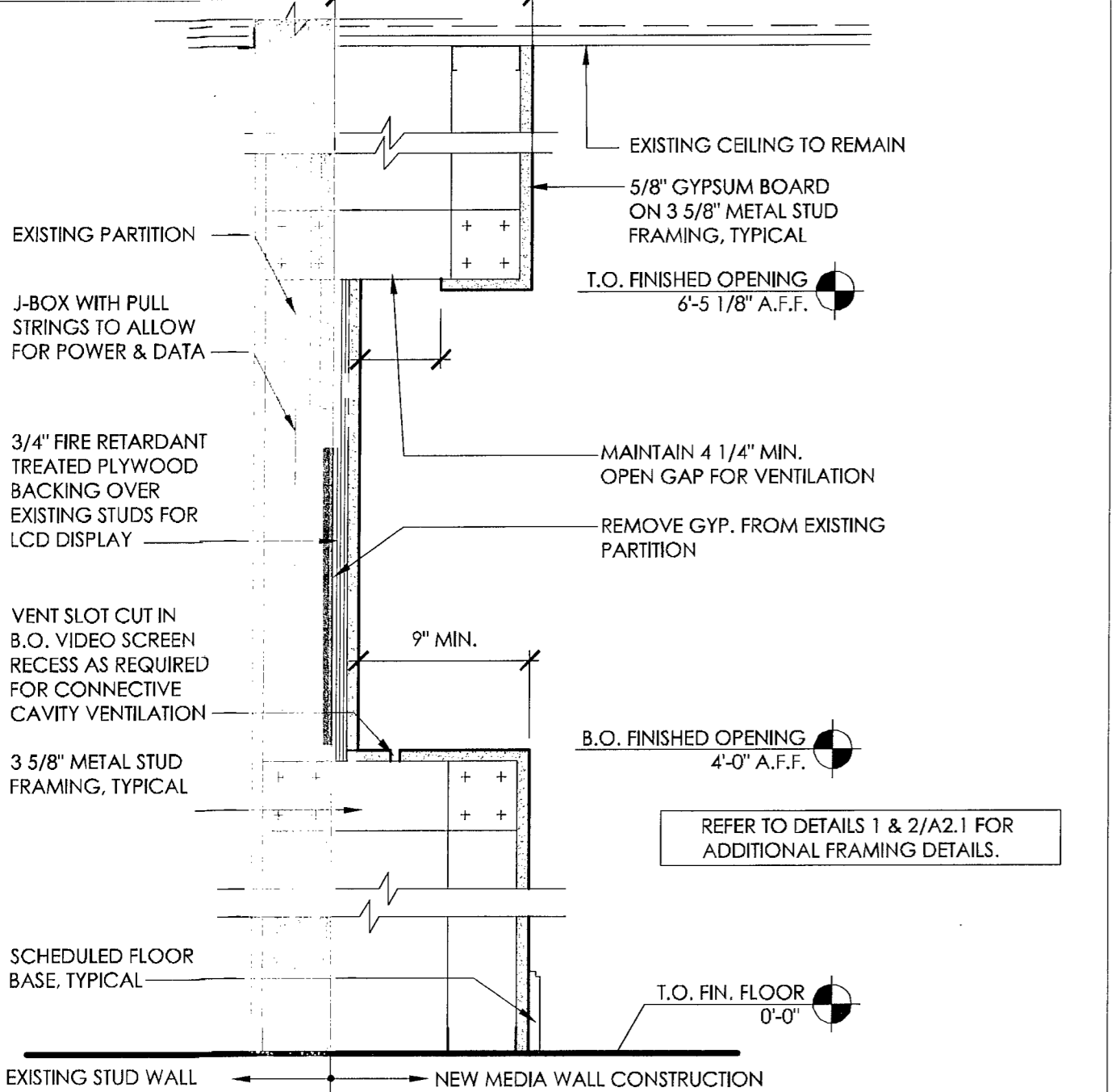
JAMB AT MEDIA WALL SCALE 3" = 1'-0" 5



HEAD DETAIL AT E-MERCH WALL SCALE 3" = 1'-0" 2



JAMB DETAIL AT E-MERCH WALL SCALE 3" = 1'-0" 3



SECTION AT MEDIA WALL SCALE 1-1/2" = 1'-0" 4

NOT USED SCALE 6" = 1'-0"

ISSUE	DATE	DESCRIPTION
Δ	03-25-2013	PLAN REVIEW COMMENTS
Δ	04-22-2013	PLAN REVIEW COMMENTS

PROJECT INFORMATION BLOCK

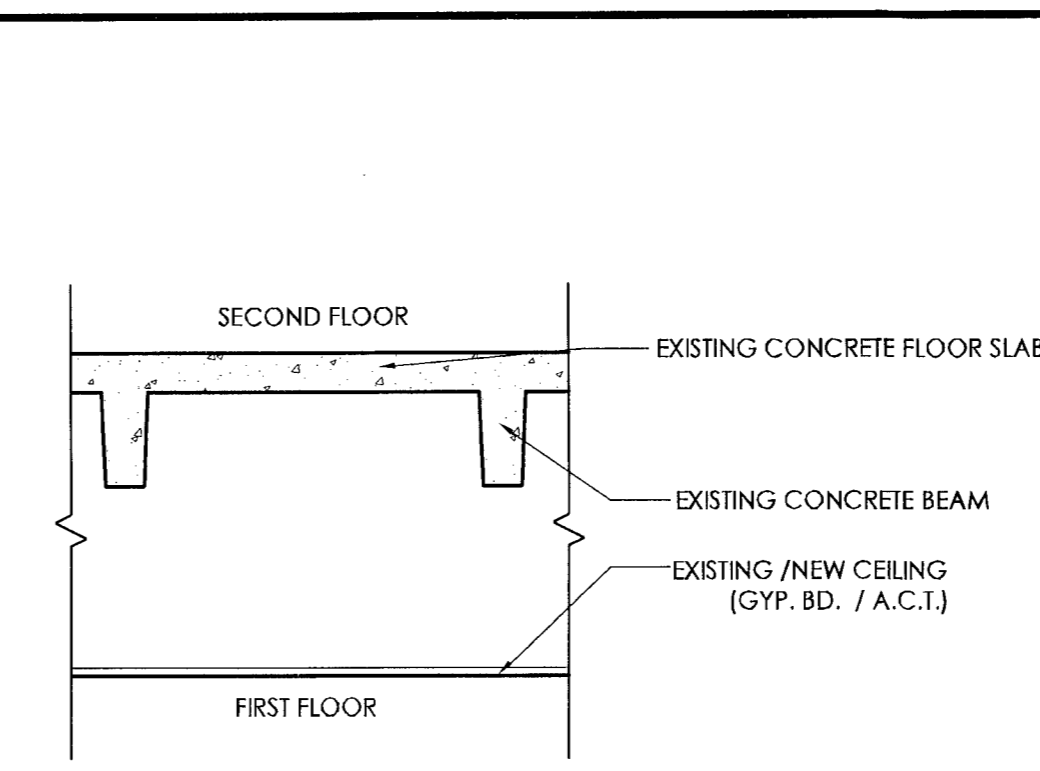
JOB #	12219
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SHEET TITLE

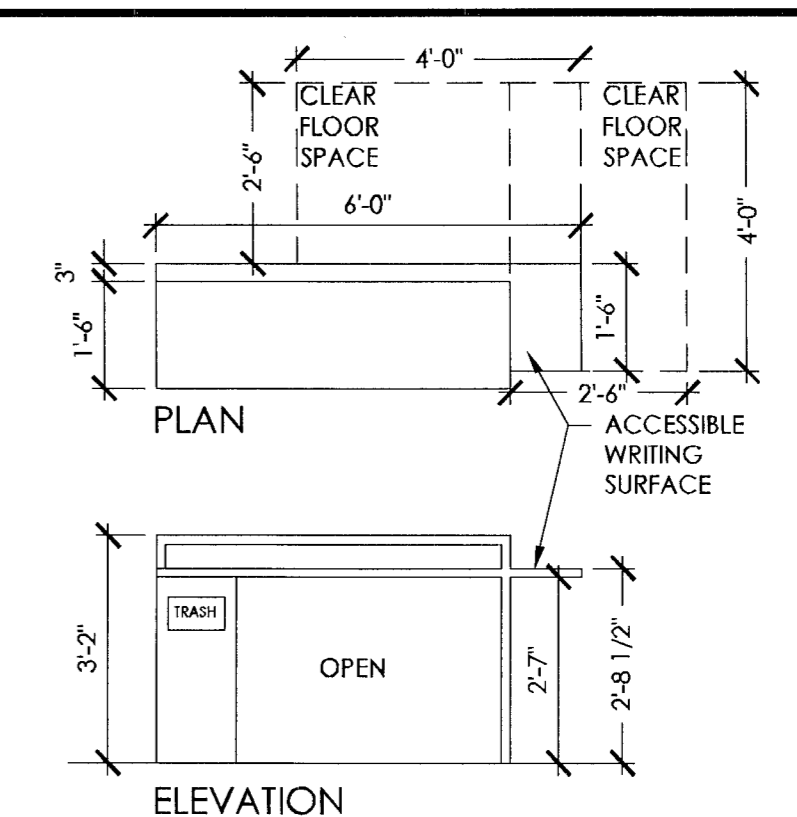
ELEVATIONS/
SECTIONS

SHEET NUMBER

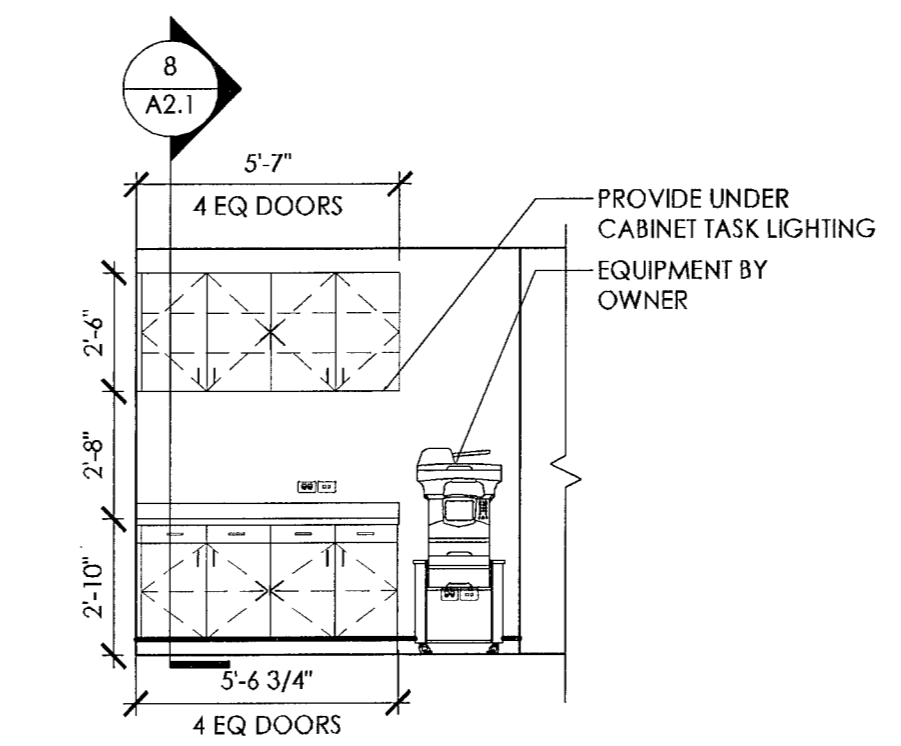
A5.1



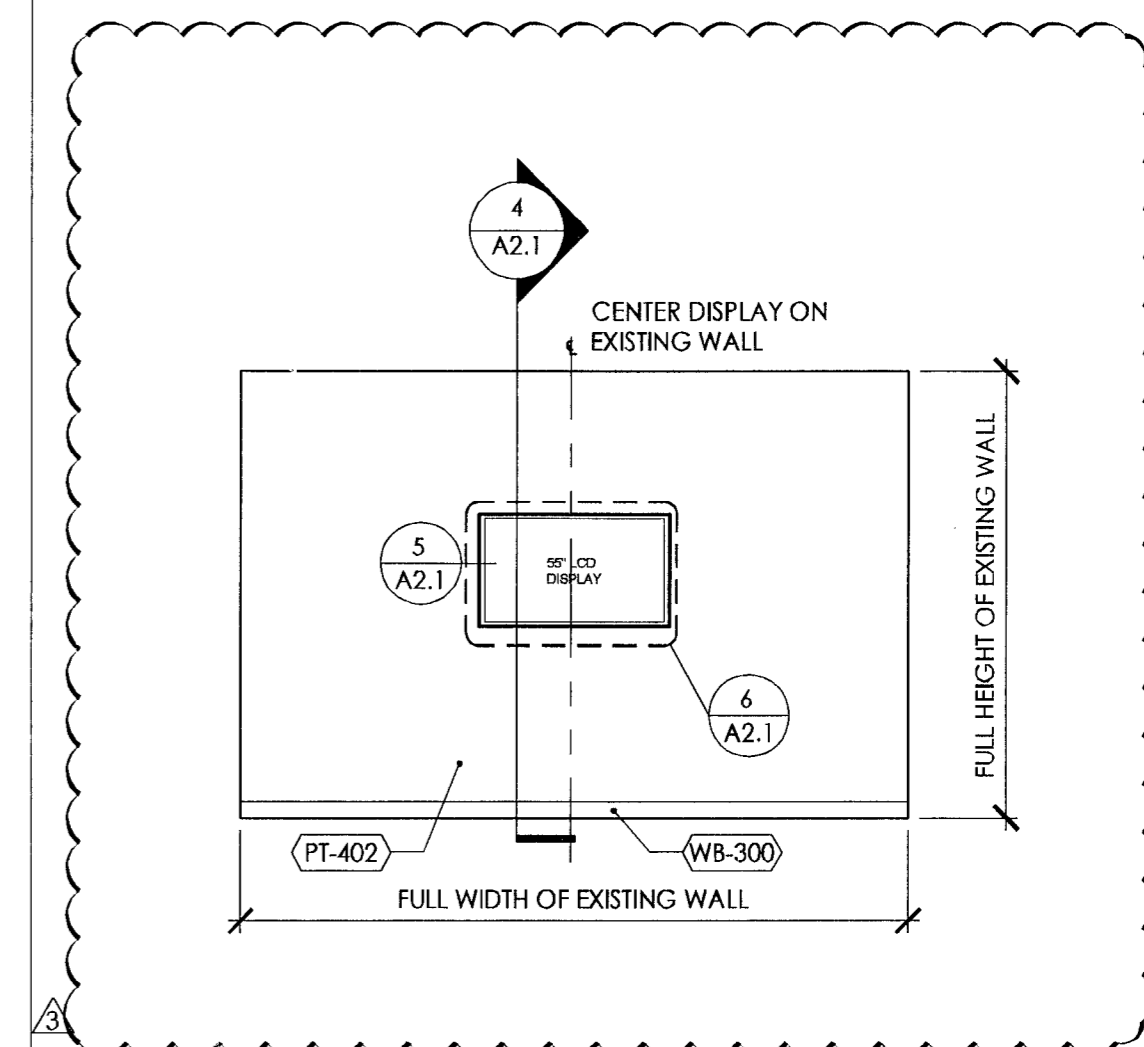
SCHEMATIC CEILING SECTION SCALE 1/2" = 1'-0" 8



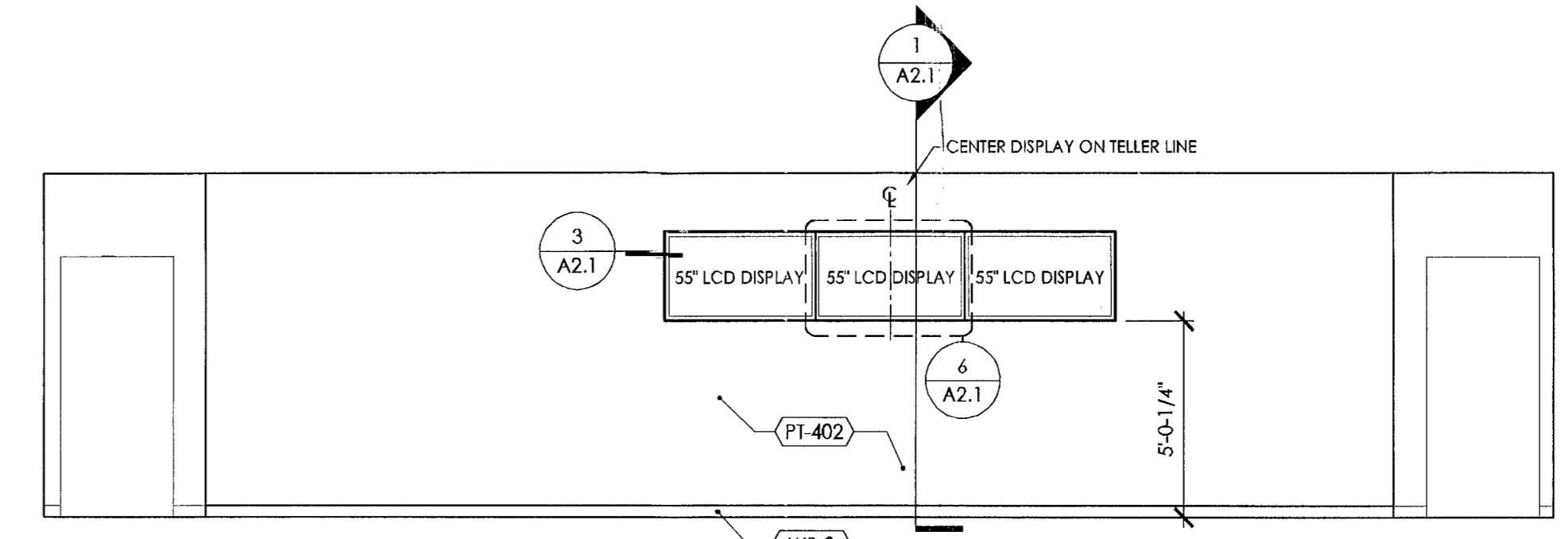
EXISTING CHECK DESK SCALE 3/8" = 1'-0" 9



ELEVATION AT MFD SCALE 1/4" = 1'-0" 7

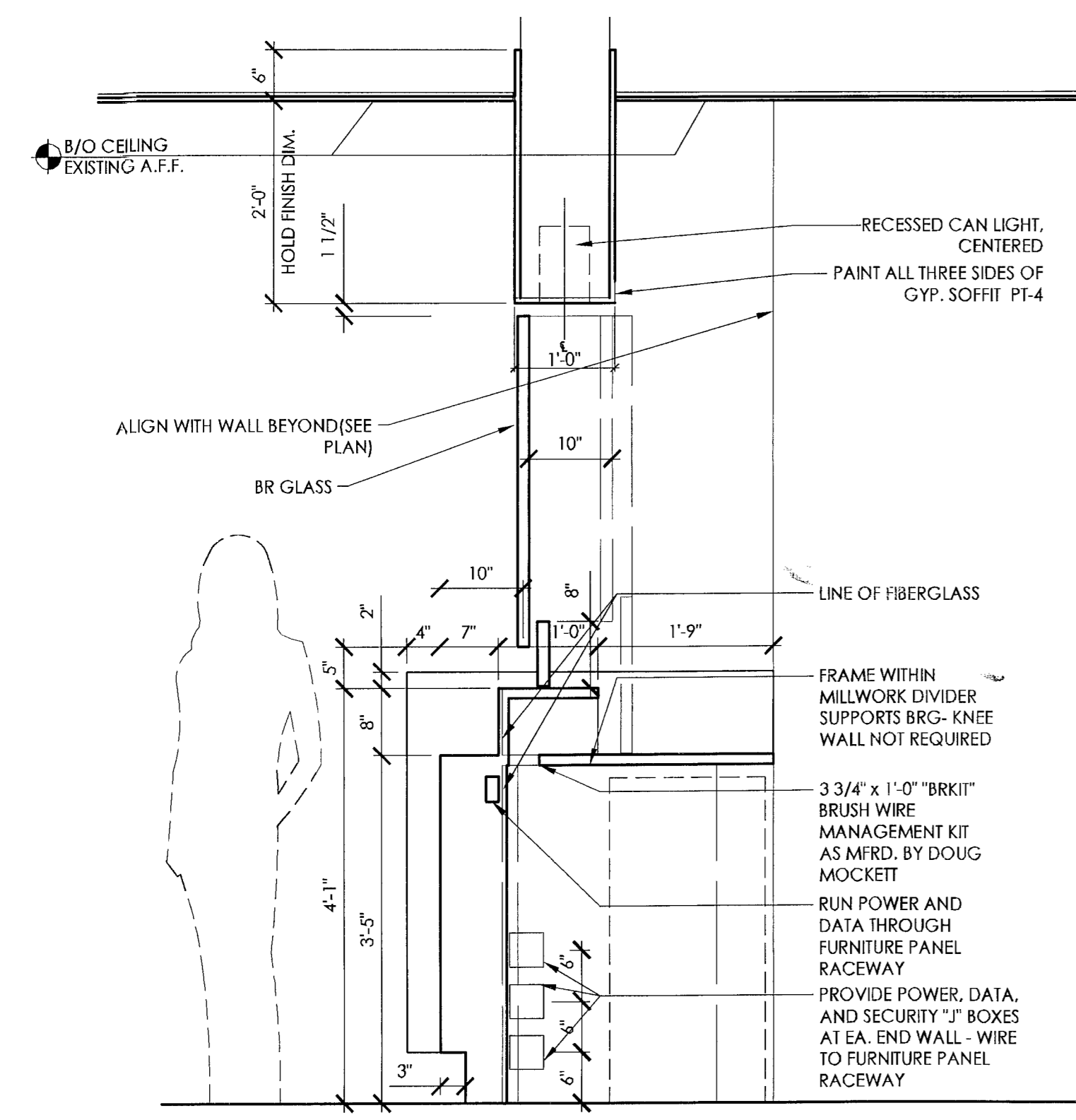


ELEVATION AT MEDIA WALL SCALE 1/4" = 1'-0" 6

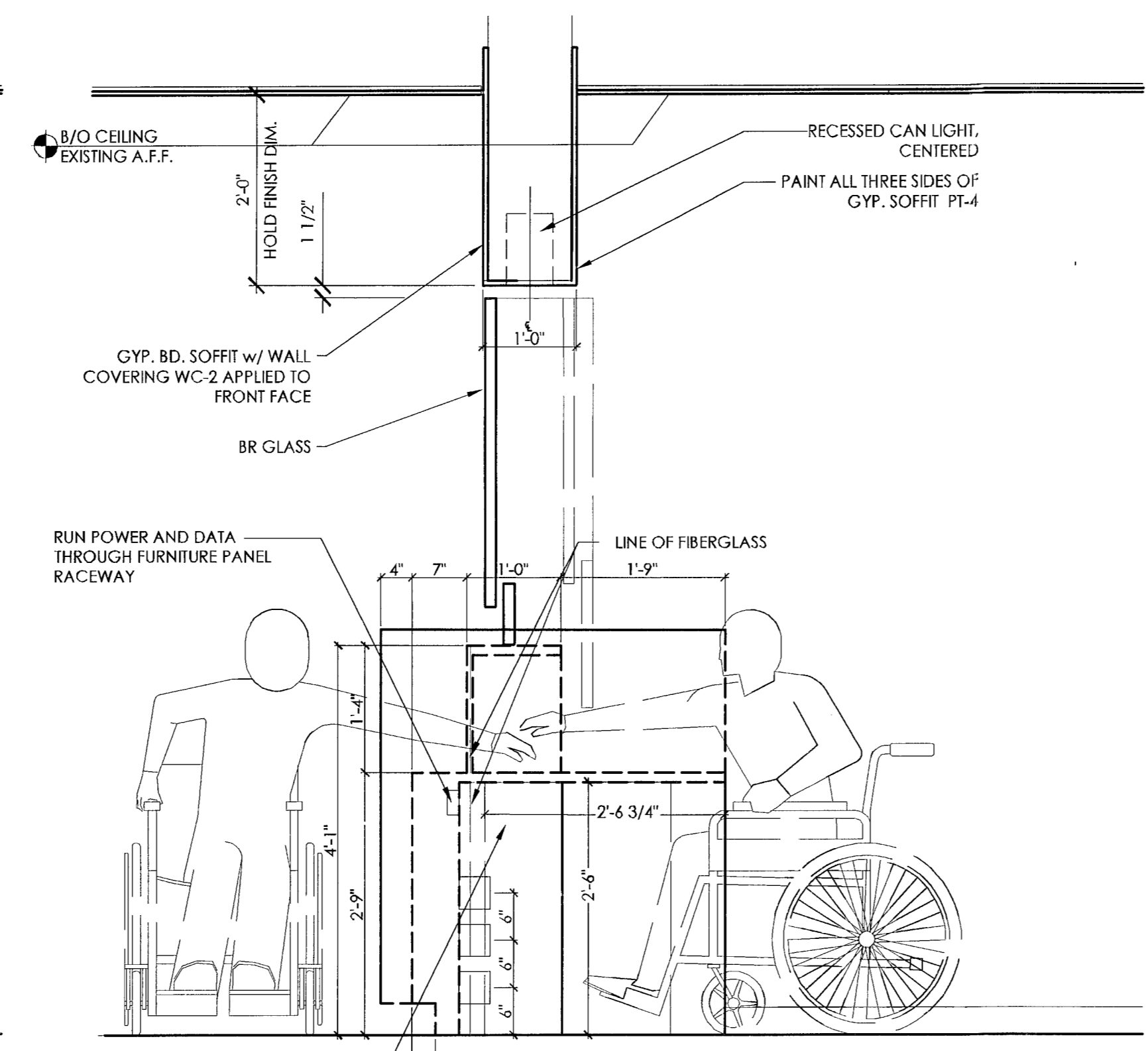


ELEVATION AT E-MERCH WALL SCALE 1/4" = 1'-0" 4

- GENERAL NOTES:
- TELLER LINE ORDERED BY CHASE P.M., FURNISHED AND INSTALLED BY FURNITURE VENDOR.
 - UNDER-COUNTER STEEL ORDERED BY CHASE P.M., FURNISHED BY BANK EQUIP. VENDOR, AND INSTALLED BY FURNITURE VENDOR.
 - PRINTER AND PRINTER STAND ORDERED AND INSTALLED BY CHASE BRANCH PLANNING GROUP.
- GENERAL POWER AND DATA NOTES:
- PROVIDE (2) DATA AND (1) DUPLEX OUTLET AT EACH TELLER STATION.
 - PROVIDE (1) DATA AND (1) DEDICATED DUPLEX OUTLET AT EACH TELLER CASH DISPENSER (I.C.D.).
 - PROVIDE (1) DATA AND (1) DUPLEX OUTLET AT EACH PRINTER STAND.



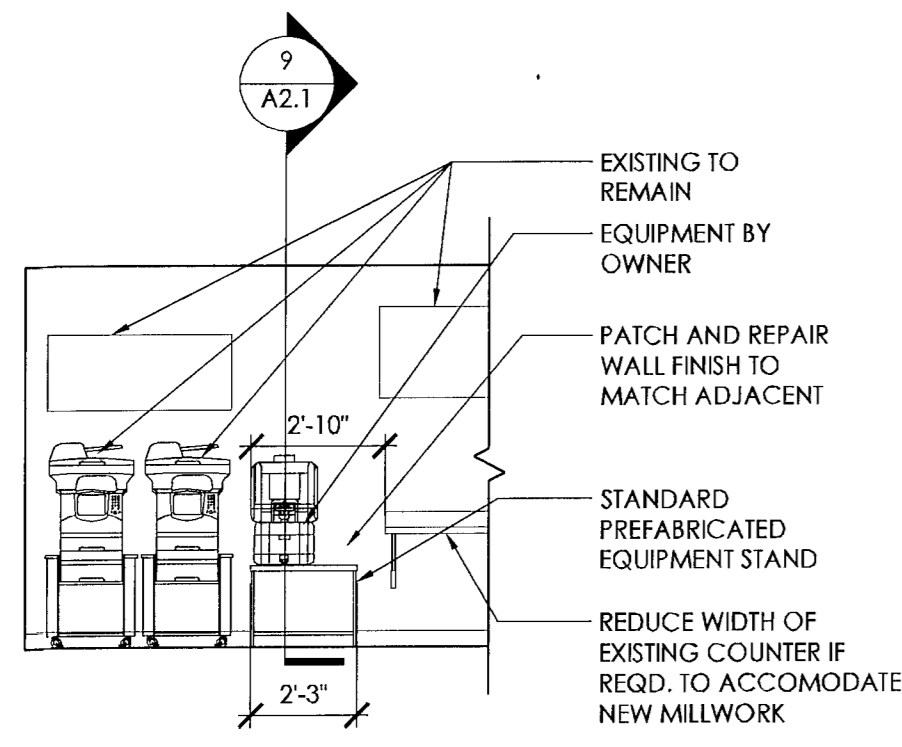
SECTION AT PST



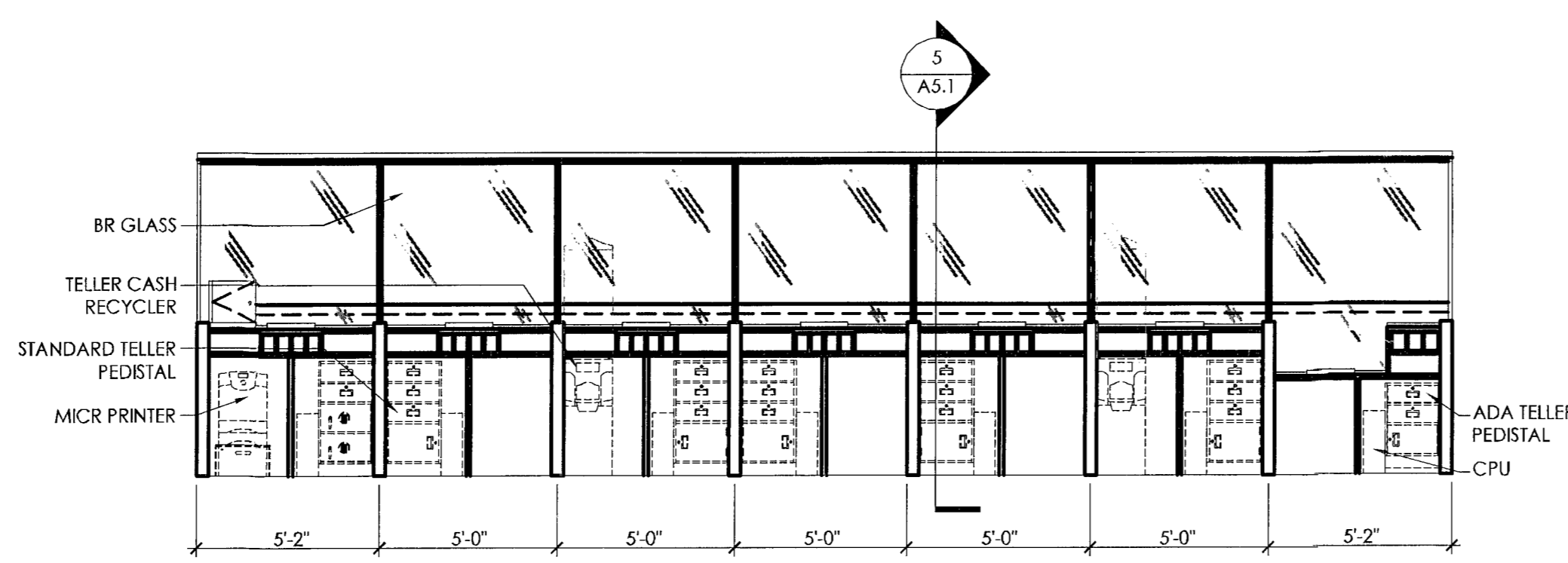
SECTION AT ADA TELLER

VOID FOR RACEWAY BEHIND SUPPORT PANELS AND UNDER-COUNTER STEEL PROVIDE POWER, DATA, & SECURITY "J" BOXES AT EACH END WALL - WIRE TO FLOOR MOUNTED WIREWAY

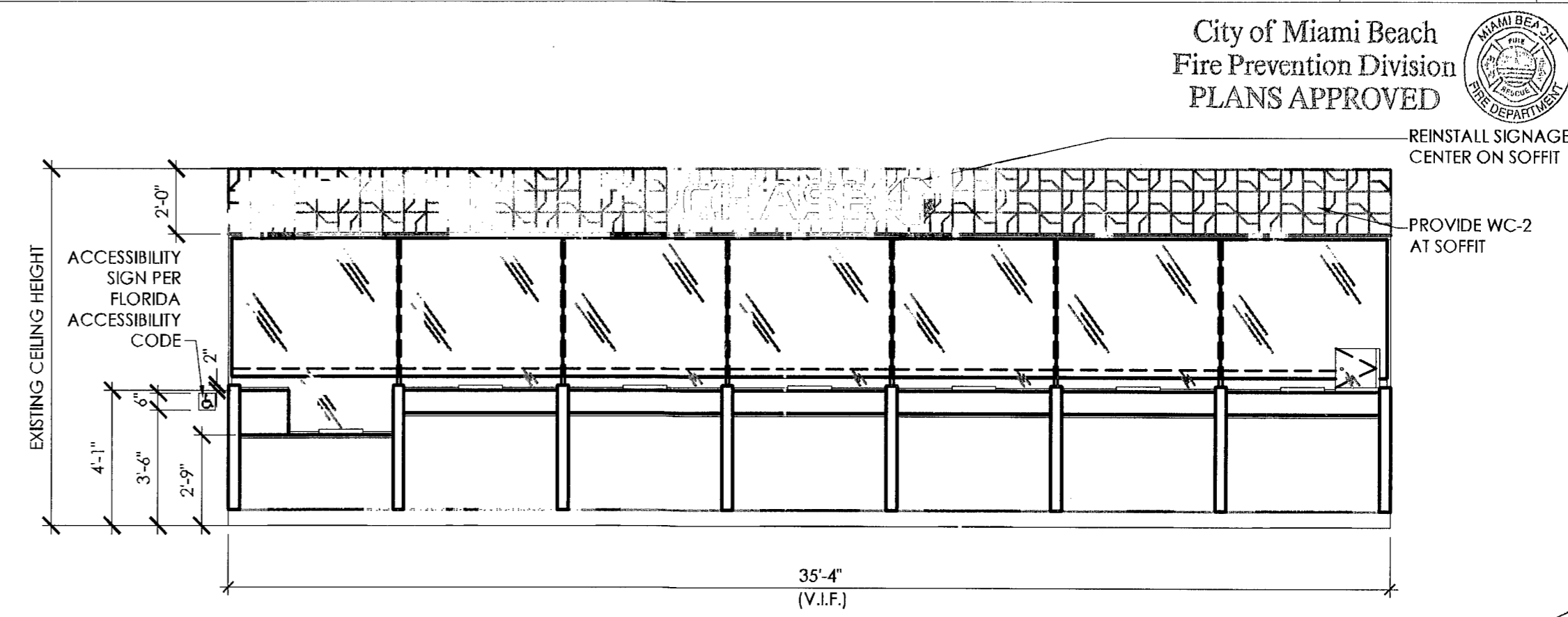
SECTIONS AT TELLER LINE SCALE 3/4" = 1'-0" 5



ELEVATION AT INSTANT ISSUE SCALE 1/4" = 1'-0" 3



ELEVATION AT BACK OF TELLER LINE SCALE 1/4" = 1'-0" 2



ELEVATION AT FRONT OF TELLER LINE SCALE 1/4" = 1'-0" 1

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



REINSTALL SIGNAGE, CENTER ON SOFFIT

PROVIDE WC-2 AT SOFFIT

JP

ELECTRICAL SPECIFICATIONS

- MATERIALS AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, THE LATEST EDITION OF N.F.P.A., AND THE LATEST EDITIONS OF THE LOCAL CODES AND ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C. EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH THE UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE ABOVE MENTIONED CODES.
- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUB CONTRACT.
- ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE TO BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR TO PAY FOR ALL PERMITS, FEES INSPECTIONS AND TESTINGS.
- ALL WIRING SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 AWG. EXCLUDING CONTROL WIRING. ALL CONDUCTORS SHALL BE COPPER WITH THW/THHN INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID; ALL THOSE #8 AND LARGER TO BE STRANDED.
- ALL UNDERGROUND RACEWAYS SHALL BE MINIMUM 3/4", GALVANIZED RIGID STEEL CONDUIT OR SCHEDULE 40 PVC. ALL OTHER RACEWAYS TO COMPLY WITH GOVERNING CODES. WHERE RIGID STEEL IS USED, IT SHALL BE COMPLETELY COATED WITH AN ALKALI AND RUST RESISTANT BITUMASTIC PAINT, COPPER NO. 50, AND THREADS SHALL BE COATED WITH ZINC CHROMATE. RIGID STEEL SHALL ALSO BE USED WHEN CONDUIT IS EXPOSED TO EXTERIOR ENVIRONMENT SUCH AS EXTERIOR OF BUILDING OR WHERE IT IS EXPOSED AND SUBJECT TO DAMAGE, INSIDE OF BUILDING.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER POSSIBLE.
- ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL MATCH EXISTING TYPES. COLOR OF DEVICES AND PLATES INCLUDING PLATE MATERIALS SHALL MATCH EXISTING.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- A SEPARATE, GREEN TYPE THW COPPER GROUND CONDUCTOR SHALL BE RUN FROM GROUND LUG OF EACH GROUNDED RECEPTACLE TO AN APPROVED CONNECTION INSIDE THE ENCLOSING STEEL OUTLET BOX. DEVICE MOUNTING SCREWS SHALL NOT BE CONSIDERED AN APPROVED GROUND.
- A SEPARATE GROUND CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT AND RACEWAY AND SECURELY BONDED IN AN APPROVED GROUNDING TERMINAL AT BOTH ENDS OF THE RUN. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250.122 OF THE N.E.C. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE ADDITIONAL CONDUCTOR.
- CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN AN APPROVED RACEWAY, EMT, IMC, RIGID GALVANIZED CONDUIT OR SCHEDULE 40 P.V.C., ELECTRICAL NON-METALLIC TUBING, & FLEXIBLE METAL CONDUIT MAY BE USED FOR BRANCH CIRCUITING AS ALLOWED BY THE N.E.C. & AHJ. MAXIMUM NUMBER OF 120V CIRCUITS ALLOWED IN A COMMON CONDUIT SHALL BE SIX (6). THE CONTRACTOR SHALL STRICTLY CONFORM TO THE N.E.C. REQUIREMENTS OF DERATING FOR CONDUCTOR AMPACITY AND CONDUIT FILL. NO CONDUITS SHALL BE INSTALLED, EXPOSED ON ROOF.
- CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:

200V SYSTEM	480V SYSTEM	PHASE SEQUENCE
NEUTRAL - WHITE	NEUTRAL - WHITE	ABC, TOP TO BOTTOM
PHASE A - BLACK	PHASE A - BROWN	LEFT TO RIGHT, FRONT
PHASE B - RED	PHASE B - ORANGE	TO BACK
PHASE C - BLUE	PHASE C - YELLOW	
GRD.CON - GREEN	GRD.CON - GREEN	
- CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL CONDUIT PENETRATIONS MADE THROUGH FIRE RATED WALLS, CEILINGS, SLABS, ETC. PENETRATION SEALS SHALL BE PER U.L. ASSEMBLY STANDARDS.
- THE OWNER RESERVES THE RIGHT TO REVISE THE DRAWING FROM TIME TO TIME TO INDICATE CHANGES IN THE WORK. WHEN REVISED DRAWINGS AND/OR ANY REVISIONS ARE ISSUED, THE CONTRACTOR SHALL EVALUATE THE CHANGES PROMPTLY. BEFORE INSTALLATION OF ANY ITEM OR PERFORMANCE OF THE WORK INDICATED BY THE REVISED DRAWINGS OR REVISIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER IN WRITING THAT THE REVISED DRAWINGS INVOLVE AN ADDITION OR DEDUCTION OF A SPECIFIC AMOUNT OF MONEY TO THE CONTRACT PRICE. THE CONTRACTOR SHALL NOT PROCEED WITH THE REVISED WORK WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT/ENGINEER OF THE COST OF THE REVISED WORK.
- IF ELECTRICAL CONTRACTOR HAS QUESTIONS, OR IN THEIR OPINION FINDS OMISSIONS OR ERRORS ON ELECTRICAL DOCUMENTS, IT IS THEIR RESPONSIBILITY TO BRING THIS TO THE ATTENTION OF THE ELECTRICAL ENGINEER/ARCHITECT/OWNER IMMEDIATELY. IF ELECTRICAL CONTRACTOR PROCEEDS WITH ANY CHANGES TO THE CONTRACT DOCUMENTS WITHOUT WRITTEN PRIOR APPROVAL FROM THE ELECTRICAL ENGINEER/ARCHITECT/OWNER WILL NOT BE COMPENSATED.

GENERAL NOTES

- CONTRACTOR SHALL VERIFY LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES PRIOR TO ROUGH-IN.
- COORDINATE WITH OWNER'S VENDORS AND PROVIDE ALL SYSTEMS (SECURITY, FIRE ALARM, TELEPHONE/DATA ETC.) RACEWAYS AND J-BOXES INCLUDING DESIRED ROUTING PATHS AND TERMINUS LOCATIONS PRIOR TO START OF WORK. ALL LOW VOLTAGE CABLES, TERMINATIONS AND JACK INSTALLATION BY OTHERS.
- ALL ITEMS NOT TO BE RE-USED SHALL BE TURNED OVER TO OWNER OR REMOVED FROM SITE AT OWNER'S SOLE OPTION.
- ADDITIONAL WORK MAY BE REQUIRED TO FACILITATE THE SEQUENCING OF CONSTRUCTION OR THE WORK OF OTHER TRADES IN AREAS THAT WOULD OTHERWISE BE EXISTING TO REMAIN. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING AND INCLUDING ALL SUCH WORK WHETHER INDICATED ON THE DRAWINGS OR NOT.
- IN CASES WHERE REMOVAL OF DEVICES WILL AFFECT DOWNSTREAM CIRCUITRY WHICH IS TO REMAIN, THE CONTRACTOR SHALL MAKE ALL MODIFICATIONS REQUIRED TO ASSURE THAT REMAINING CIRCUITRY REMAINS OPERATIONAL.
- EXISTING EMERGENCY LIGHT OR EXIT SIGN TO REMAIN. CONTRACTOR SHALL FIELD VERIFY THAT FIXTURE HAS MINIMUM 90 MINUTES BATTERY CAPACITY. PROVIDE NEW BATTERY IF/AS REQUIRED.

ELECTRICAL LEGEND

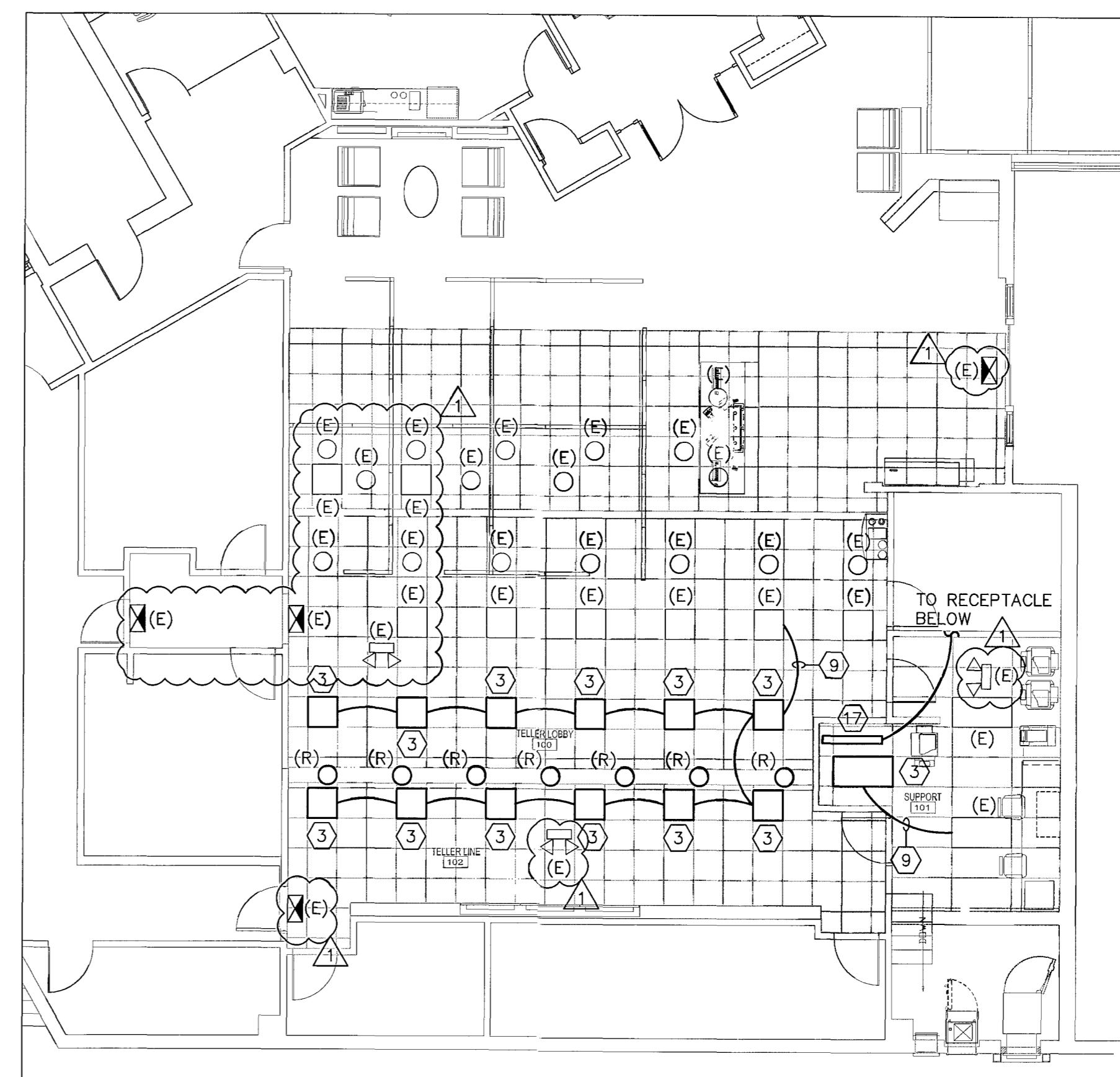
<ul style="list-style-type: none"> ⬡ FLUORESCENT LIGHT FIXTURE, LETTER INDICATES TYPE ⬢ RECESSED LIGHT FIXTURE, LETTER INDICATES TYPE ⊙ WALL BRACKET LIGHT FIXTURE, LETTER INDICATES TYPE ⊙ PENDANT MOUNTED FIXTURE, LETTER INDICATES TYPE ⊙ LIGHT FIXTURE ON EMERGENCY POWER OR WITH BATTERY PACK ⊙ EXIT LIGHT (ARROW INDICATES DIRECTION, SHADING INDICATES FACE) ⊙ BATTERY POWERED EMERGENCY LIGHT ⊙ SINGLE POLE SWITCH, LOWER CASE LETTER INDICATES LIGHT CONTROLLED, MOUNT 48" AFF UON ⊙ OCCUPANCY SENSOR SWITCH, MOUNT 48" AFF UON ⊙ OCCUPANCY SENSOR SWITCH, CEILING MOUNT ⊙ SINGLE RECEPTACLE, 125V, 20A MOUNT 18" AFF UON ⊙ DUPLEX RECEPTACLE, MOUNT 18" AFF UON ⊙ DUPLEX RECEPTACLE, FLUSH CEILING MOUNT ⊙ DUPLEX RECEPTACLE, MOUNT ABOVE COUNTER HEIGHT UON ⊙ QUADRUPLEX RECEPTACLE, MOUNT 18" AFF UON ⊙ QUADRUPLEX RECEPTACLE, MOUNT ABOVE COUNTER HEIGHT UON ⊙ FLOOR MOUNTED DUPLEX RECEPTACLE ⊙ JUNCTION BOX (FLUSH MOUNT IN FINISHED AREAS UON) ⊙ LIGHTING OR POWER PANELBOARD — CONDUIT CONCEALED IN WALL OR ABOVE CEILING WITH 2 #12, 1 #12 EG CONDUCTORS IN 1/2" CONDUIT MIN UON — CONDUIT CONCEALED BELOW FLOOR SLAB OR FINISHED GRADE WITH 2 #12, 1 #12 EG CONDUCTORS IN 3/4" CONDUIT MIN UON — CONDUIT EXPOSED ON WALL OR CEILING WITH 2 #12, 1 #12 EG CONDUCTORS IN 1/2" CONDUIT MIN UON — PHASE, NEUTRAL, ISOLATED GROUND CONDUCTORS — LOW VOLTAGE WIRING — CONDUIT STUB 	<ul style="list-style-type: none"> — CONDUIT UP — CONDUIT DOWN ⊙ DATA OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING STUBBED INTO CEILING SPACE. MOUNT BOX 18" AFF UON ⊙ REFER TO LIKE NUMBERED NOTES/EQUIPMENT DESIGNATIONS ⊙ TELEPHONE WALL OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING. ROUTE CONDUIT CONTINUOUS TO FINAL TERMINATION POINT. MOUNT BOX 44" AFF UON ⊙ COMBINATION TELEPHONE/DATA WALL OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING. ROUTE CONDUIT CONTINUOUS TO FINAL TERMINATION POINT. MOUNT BOX AT 18" AFF UON ⊙ MANUAL FIRE ALARM PULL STATION 48" AFF ⊙ SMOKE DETECTOR, PHOTOELECTRIC ⊙ HEAT DETECTOR ⊙ FIRE ALARM COMBINATION HORN/STROBE (75 CANDELLA UON) MOUNTED PER NFPA 72 ⊙ FIRE ALARM STROBE (75 CANDELLA UON) MOUNTED PER NFPA 72
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ABBREVIATIONS			
AFF	ABOVE FINISH FLOOR	JB	JUNCTION BOX
C	CONDUIT	(N)	NEW
CLG	CEILING MOUNTED	NEUT	NEUTRAL
DN	DOWN	NIC	NOT IN CONTRACT
EX-(E)	EXISTING	NL	NIGHT LIGHT
EC	ELECTRICAL CONTRACTOR	NTS	NOT TO SCALE
E/F-EF	EXHAUST FAN	PNL	PANEL
EG	EQUIPMENT GROUND	(R)	RELOCATED
GFI	GROUND FAULT INTERRUPTER	TYP	TYPICAL
IG	ISOLATED GROUND	UON	UNLESS OTHERWISE NOTED

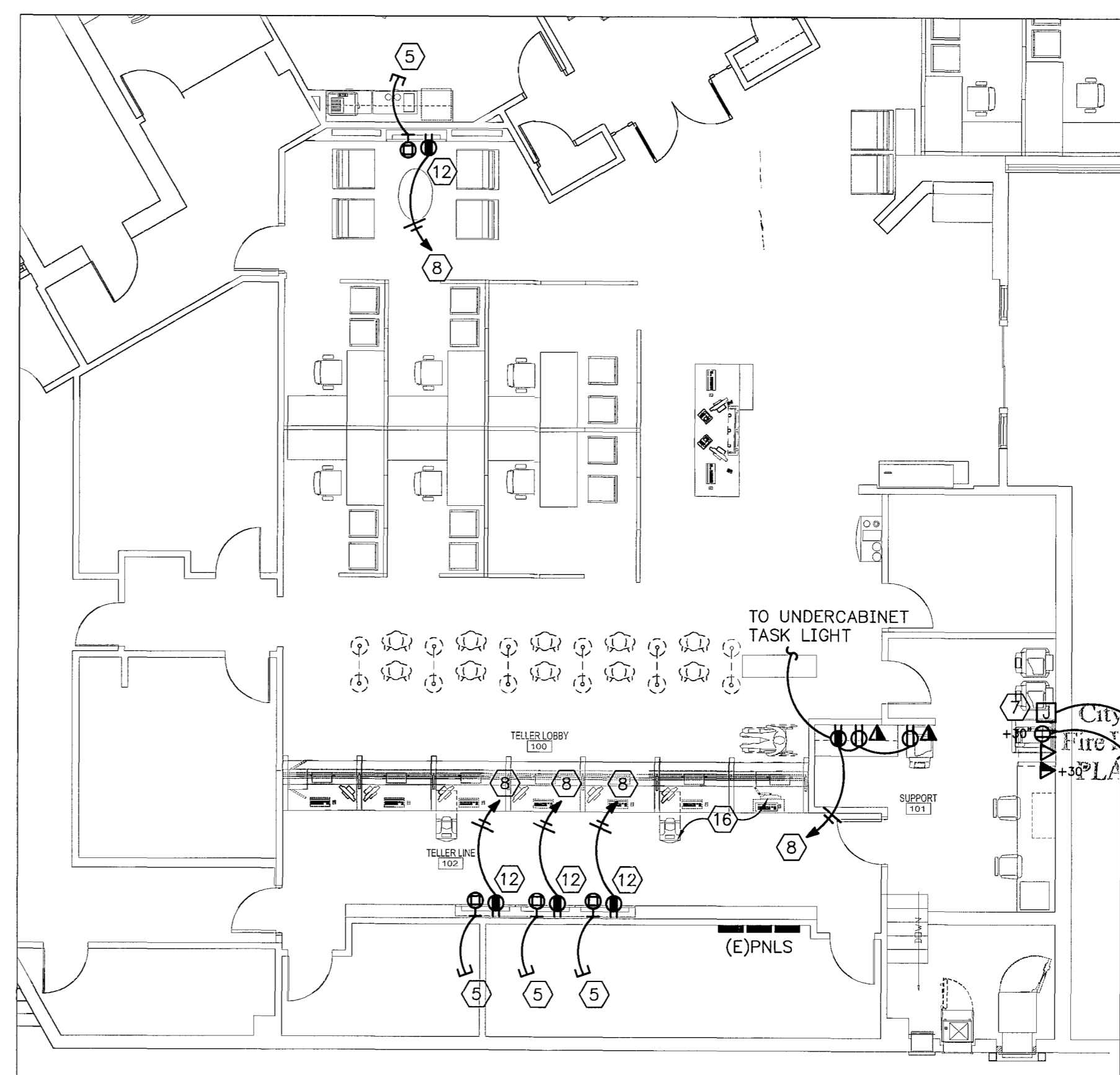
LEGEND NOTES:
 1. MOUNTING HEIGHTS SHOWN ARE MAXIMUM/MINIMUM HANDICAPPED ACCESSIBILITY STANDARDS. DO NOT ALTER WITHOUT WRITTEN AUTHORIZATION
 2. ALL MOUNTING HEIGHTS ARE TO CENTERLINE UON.
 3. ALL SYMBOLS MAY NOT BE USED

ELECTRICAL PLAN NOTES

- PROVIDE NEW WALL MOUNTED OCCUPANCY SENSOR AND CONNECT EXISTING(S) AS SHOWN. WAXY STOPPER #0100 OR EQUAL. SET OFF TIME TO 30 MINUTES.
- PROVIDE AND INSTALL NEW PENDANT LIGHT FIXTURE, BESA LIGHTING #11811CM-SING18(BLUE) WITH 18W CFL LAMP. CONNECT TO EXISTING NIGHT LIGHTING CIRCUIT CURRENTLY SERVING AREA SHOWN (OR SWITCH AS INDICATED). COORDINATE FINAL MOUNTING HEIGHT WITH OWNER'S REPRESENTATIVE.
- PROVIDE AND INSTALL NEW LIGHT FIXTURE. FIXTURE SHALL MATCH EXISTING UNITS WITH RESPECT TO LAMP TYPE, WATTAGE, BALLAST AND LENS MATERIAL. CONNECT TO EXISTING LIGHTING CIRCUIT CURRENTLY SERVING AREA SHOWN OR ROUTE VIA LIGHT SWITCH AS INDICATED.
- PROVIDE AND INSTALL NEW WALL WASH LIGHT FIXTURE, LIGHTOLIER #454122HU-4X4(WH/WH) LOCATE TO ILLUMINATE WALL MOUNTED SIGNAGE. CONNECT TO EXISTING SWITCHED LIGHTING CIRCUIT.
- ROUTE 3/4" C WITH PULL STRING TO DATA ROOM FOR INSTALLATION OF (2)CAT-6 CABLES. CABLES FURNISHED AND INSTALLED BY OTHERS.
- EXISTING DEVICES TO BE REMOVED AND RE-INSTALLED IN NEW EMERCH WALL. EXTEND EXISTING CONDUIT AND CONDUCTORS AS REQUIRED. COORDINATE EXACT LOCATIONS OF DEVICES WITH NEW MONITOR LOCATIONS PRIOR TO ROUGH-IN.
- JUNCTION BOX WITH 3/4" C AND PULL STRING TO SECURITY PANEL FOR INSTANT ISSUE MACHINE. MOUNT BOX 30" AFF. SECURITY CABLES FURNISHED AND INSTALLED BY OTHERS.
- ROUTE 1/2" C WITH 2 #12 CU, 1 #12 CU EG TO NEAREST 120/208 VOLT ELECTRICAL PANEL SERVING SPACE. CONNECT TO SPARE 20/1 CIRCUIT BREAKER. IF NO SPARE CIRCUIT BREAKER EXISTS, PROVIDE NEW. ALL NEW CIRCUIT BREAKERS SHALL BE OF THE SAME MANUFACTURER AND AIC RATINGS OF EXISTING UNITS.
- EXTEND EXISTING CONDUIT AND CONDUCTORS AND CONNECT DEVICE/LIGHT FIXTURE/SIGN AS SHOWN.
- UTILIZE EXISTING CIRCUIT(S) AND DEVICES PREVIOUSLY SERVING WORK STATION BEING REMOVED OR RECONFIGURED. EXTEND EXISTING CONDUIT (POWER AND DATA) AND CONDUCTORS AS REQUIRED. PROVIDE NEW MATERIALS INCLUDING DEVICES(S), J-BOXES AND WALL PLATES AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. NEW TELEPHONE/DATA CABLES AND INSTALLATION BY OTHERS.
- REWORK EXISTING DEVICES DUE TO INSTALLATION OF NEW PARTITION/WALL.
- RECEPTACLE AND DATA JACK FOR MEDIA/EMERCH WALL. COORDINATE EXACT LOCATION WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- PROVIDE FLUSH MOUNTED J-BOX FOR CONNECTION TO LED SIGN. CONNECT TO NEAREST TIME CLOCK CONTROLLED SIGNAGE CIRCUIT. COORDINATE J-BOX LOCATION WITH SIGN INSTALLER PRIOR TO ROUGH-IN.
- EXISTING EQUIPMENT TO BE RELOCATED. RE-USE EXISTING DEVICES(S) IN NEW LOCATION AND EXTEND EXISTING CONDUIT AND CONDUCTORS AS REQUIRED.
- PROVIDE FLUSH MOUNTED JUNCTION BOX IN FALSE COLUMN AT 8' AFF FOR CONNECTION (VIA FLEXIBLE WIRE) TO OUTLETS LOCATED IN THE PARTITION. UTILIZE HARD WIRE OUTLETS LOCATED IN THE FURNITURE PARTITION. EC SHALL COORDINATE WITH PARTITION CONTRACTOR PRIOR TO ROUGH-IN.
- THE EXISTING TELLER LINE WILL BE RELOCATED. DISCONNECT EXISTING POWER/DATA AS REQUIRED TO FACILITATE RELOCATION BY OTHERS. EXTEND EXISTING CONDUIT AND CONDUCTORS AND RECONNECT TELLER LINE. CONTRACTOR IS ADVISED THAT TELLER LINE WILL ALSO BE REDUCED IN LENGTH DUE TO NEW OFFICE PARTITION WALL. COORDINATE ALL REQUIRED WORK WITH OWNER'S REPRESENTATIVE PRIOR TO START OF DEMOLITION.
- PROVIDE AND INSTALL UNDERCABINET TASK LIGHT WITH TOGGLE SWITCH. FIXTURE TYPE TO BE ALCKO #2FAH0-120-AL-SW WITH 54W T5 LAMP.



FLOOR PLAN - LIGHTING
SCALE: 1/8"=1'-0"



FLOOR PLAN - POWER/SYSTEMS
SCALE: 1/8"=1'-0"



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SEAL

ISSUE	DATE	DESCRIPTION
△	03/11/13	PLAN REVIEW COMMENTS

PROJECT INFORMATION BLOCK

JOB # 12119
 DATE: 01-18-2013
 DRAWN BY: IH
 CHECKED BY: KM

ELECTRICAL FLOOR PLAN

SHEET NUMBER

E100

PROJECT NO. 13010

Hart & Associates, Inc.
 CONSULTING ENGINEERS
 4201 West Gray Street - Tampa, Florida 33609
 Telephone: (813) 287-2719 Fax: (813) 287-5704
 EE #0004221

Checked Plans Examined
 APR 09 2013

ELECTRICAL SPECIFICATIONS

- MATERIALS AND INSTALLATION, AS A MINIMUM, ARE TO CONFORM WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE, THE LATEST EDITION OF N.F.P.A., AND THE LATEST EDITIONS OF THE LOCAL CODES AND ORDINANCES, INCLUDING ALL AMENDMENTS TO THE N.E.C. EQUIPMENT, WHERE APPLICABLE, WILL BE LISTED WITH THE UNDERWRITERS LABORATORIES, INC. QUALITY AND WORKMANSHIP ESTABLISHED BY DRAWINGS AND SPECIFICATIONS ARE NOT TO BE REDUCED BY THE ABOVE MENTIONED CODES.
- BIDDERS ARE TO VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF WORK. THE SUBMISSION OF A BID WILL BE EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE. LATER CLAIMS FOR LABOR, EQUIPMENT, OR MATERIALS REQUIRED, OR FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN FORESEEN HAD AN EXAMINATION BEEN MADE, WILL NOT BE ALLOWED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST-CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM IS TO BE FULLY OPERABLE AND ACCEPTANCE OF THIS SYSTEM BY THE ENGINEER/ARCHITECT MUST BE A CONDITION OF THE SUB CONTRACT.
- ALL WORK TO BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.
- CONTRACTOR TO GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- CORRECTION OF ANY DEFECTS TO BE COMPLETED WITHOUT ADDITIONAL CHARGE AND TO INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
- ALL REQUIRED INSURANCE TO BE PROVIDED FOR PROTECTION AGAINST PUBLIC LIABILITY OF PROPERTY DAMAGE FOR THE DURATION OF THE WORK.
- CONTRACTOR TO PAY FOR ALL PERMITS, FEES, INSPECTIONS AND TESTINGS.
- ALL WIRING SHALL BE IN CONDUIT UNLESS OTHERWISE NOTED, MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONTROL WIRING. ALL CONDUCTORS SHALL BE COPPER WITH THHN/THWN INSULATION. CONDUCTORS #10 AND SMALLER MAY BE SOLID; ALL THOSE #8 AND LARGER TO BE STRANDED.
- ALL UNDERGROUND RACEWAYS SHALL BE MINIMUM 3/4", GALVANIZED RIGID STEEL CONDUIT OR SCHEDULE 40 PVC. ALL OTHER RACEWAYS TO COMPLY WITH GOVERNING CODES. WHERE RIGID STEEL IS USED, IT SHALL BE COMPLETELY COATED WITH AN ALKALI AND RUST RESISTANT BITUMASTIC PAINT, KOPPER NO. 50, AND THREADS SHALL BE COATED WITH ZINC CHROMATE. RIGID STEEL SHALL ALSO BE USED WHEN CONDUIT IS EXPOSED TO EXTERIOR ENVIRONMENT SUCH AS EXTERIOR OF BUILDING OR WHERE IT IS EXPOSED AND SUBJECT TO DAMAGE, INSIDE OF BUILDING.
- OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET OR DAMP LOCATIONS, AND BE OF SPECIAL CONSTRUCTION FOR OTHER CLASSIFIED AREAS. ALL BOXES SHALL BE RECESSED (FLUSH) IN WALLS OR CEILINGS WHENEVER POSSIBLE.
- ALL GENERAL PURPOSE SWITCHES AND RECEPTACLES SHALL MATCH EXISTING TYPES. COLOR OF DEVICES AND PLATES INCLUDING PLATE MATERIALS SHALL MATCH EXISTING.
- IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM, AND PROVIDE ALL NECESSARY DEVICES AND COMPONENTS FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
- A SEPARATE, GREEN TYPE THW COPPER GROUND CONDUCTOR SHALL BE RUN FROM GROUND LUG OF EACH GROUNDED RECEPTACLE TO AN APPROVED CONNECTION INSIDE THE ENCLOSING STEEL OUTLET BOX. DEVICE MOUNTING SCREWS SHALL NOT BE CONSIDERED AN APPROVED GROUND.
- A SEPARATE GROUND CONDUCTOR SHALL BE INSTALLED IN EVERY CONDUIT AND RACEWAY AND SECURELY BONDED IN AN APPROVED GROUNDING TERMINAL AT BOTH ENDS OF THE RUN. THE GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH TABLE 250.122 OF THE N.E.C. CONTRACTOR SHALL SIZE CONDUIT TO ACCOMMODATE ADDITIONAL CONDUCTOR.
- CIRCUITS SHOWN ON PLANS ARE TO DETERMINE LOAD DATA AND PANEL SIZES. THE CONTRACTOR IS TO PROVIDE CIRCUITS AND ROUTING OF CONDUITS TO SUIT JOB CONDITIONS.
- ALL ELECTRICAL CONDUCTORS SHALL BE INSTALLED IN AN APPROVED RACEWAY, EMT, IMC, RIGID GALVANIZED CONDUIT OR SCHEDULE 40 P.V.C., ELECTRICAL NON-METALLIC TUBING, & FLEXIBLE METAL CONDUIT MAY BE USED FOR BRANCH CIRCUITING AS ALLOWED BY THE N.E.C. & AHJ. MAXIMUM NUMBER OF 120V CIRCUITS ALLOWED IN A COMMON CONDUIT SHALL BE SIX (6). THE CONTRACTOR SHALL STRICTLY CONFORM TO THE N.E.C. REQUIREMENTS OF DERATING FOR CONDUCTOR AMPACITY AND CONDUIT FILL. NO CONDUITS SHALL BE INSTALLED, EXPOSED ON ROOF.
- CONDUCTORS SHALL BE COLOR CODED AS FOLLOWS:

208V SYSTEM	480V SYSTEM	PHASE SEQUENCE
NEUTRAL - WHITE	NEUTRAL - WHITE	ABC, TOP TO BOTTOM
PHASE A - BLACK	PHASE A - BROWN	LEFT TO RIGHT, FRONT
PHASE B - RED	PHASE B - ORANGE	TO BACK
PHASE C - BLUE	PHASE C - YELLOW	
GRD.CON - GREEN	GRD.CON - GREEN	
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GENERAL NOTES

- CONTRACTOR SHALL VERIFY LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES PRIOR TO ROUGH-IN.
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ELECTRICAL LEGEND

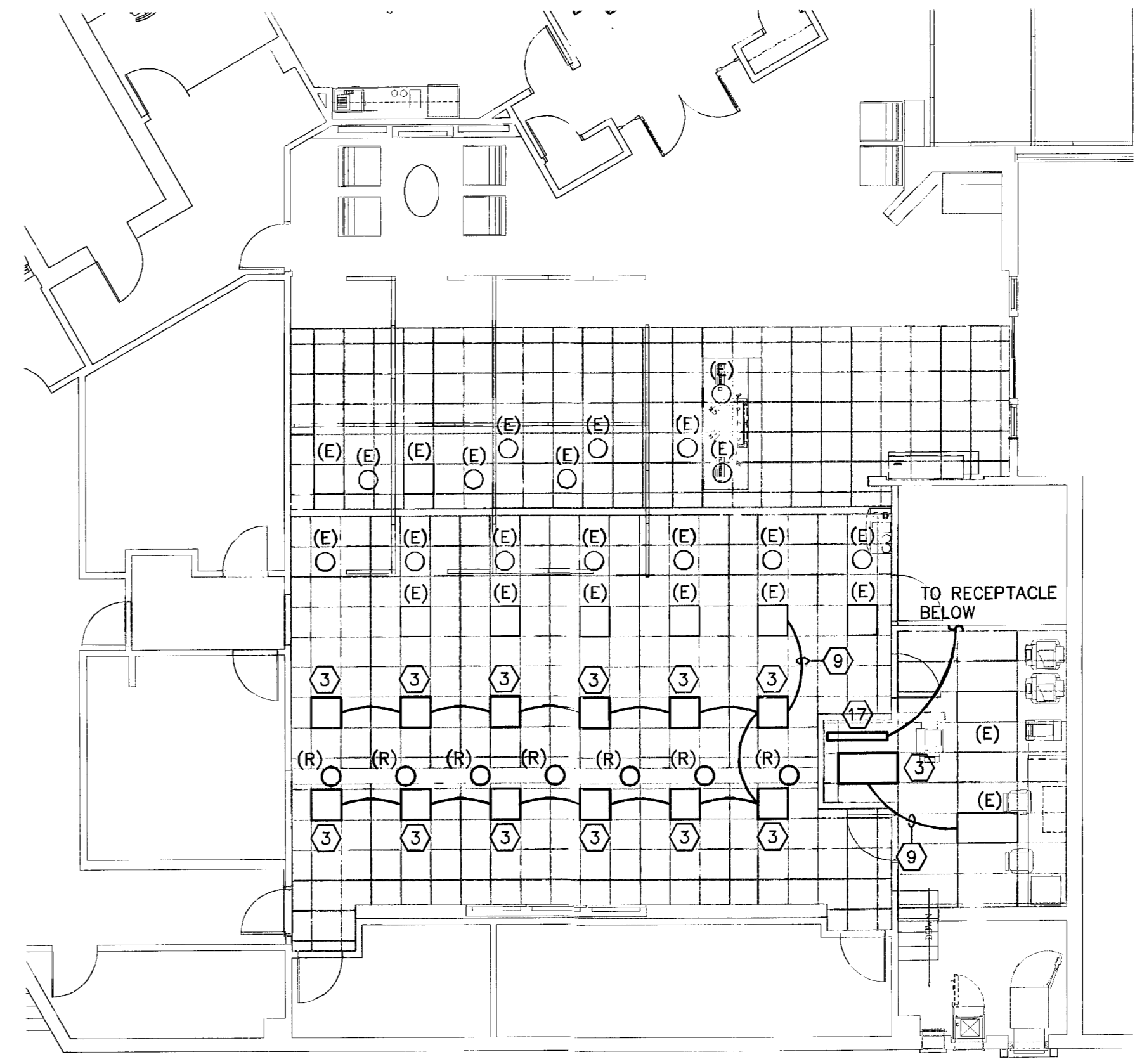
Ⓜ	FLUORESCENT LIGHT FIXTURE, LETTER INDICATES TYPE	—	CONDUIT UP
Ⓡ	RECESSED LIGHT FIXTURE, LETTER INDICATES TYPE	—	CONDUIT DOWN
Ⓦ	WALL BRACKET LIGHT FIXTURE, LETTER INDICATES TYPE	Ⓜ	DATA OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING STUBBED INTO CEILING SPACE. MOUNT BOX 18" AFF UON
Ⓟ	PENDANT MOUNTED FIXTURE, LETTER INDICATES TYPE	Ⓜ	REFER TO LIKE NUMBERED NOTES/EQUIPMENT DESIGNATIONS
Ⓛ	LIGHT FIXTURE ON EMERGENCY POWER OR WITH BATTERY PACK	Ⓜ	TELEPHONE WALL OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING. ROUTE CONDUIT CONTINUOUS TO FINAL TERMINATION POINT. MOUNT BOX 44" AFF UON
Ⓛ	EXIT LIGHT (ARROW INDICATES DIRECTION, SHADING INDICATES FACE)	Ⓜ	COMBINATION TELEPHONE/DATA WALL OUTLET, PROVIDE SINGLE GANG BOX WITH 3/4" CONDUIT WITH PULL WIRE AND INSULATING BUSHING. ROUTE CONDUIT CONTINUOUS TO FINAL TERMINATION POINT. MOUNT BOX AT 18" AFF UON
Ⓛ	BATTERY POWERED EMERGENCY LIGHT	Ⓜ	MANUAL FIRE ALARM PULL STATION 48" AFF
Ⓛ	SINGLE POLE SWITCH, LOWER CASE LETTER INDICATES LIGHT CONTROLLED, MOUNT 48" AFF UON	Ⓜ	SMOKE DETECTOR, PHOTOELECTRIC
Ⓛ	OCCUPANCY SENSOR SWITCH, MOUNT 48" AFF UON	Ⓜ	HEAT DETECTOR
Ⓛ	OCCUPANCY SENSOR SWITCH, CEILING MOUNT	Ⓜ	FIRE ALARM COMBINATION HORN/STROBE (75 CANDELLA UON) MOUNTED PER NFPA 72
Ⓛ	SINGLE RECEPTACLE, 125V, 20A MOUNT 18" AFF UON	Ⓜ	
Ⓛ	DUPLEX RECEPTACLE, MOUNT 18" AFF UON	Ⓜ	
Ⓛ	DUPLEX RECEPTACLE, FLUSH CEILING MOUNT	Ⓜ	
Ⓛ	DUPLEX RECEPTACLE, MOUNT ABOVE COUNTER HEIGHT UON	Ⓜ	
Ⓛ	QUADRAPLEX RECEPTACLE, MOUNT 18" AFF UON	Ⓜ	
Ⓛ	QUADRAPLEX RECEPTACLE, MOUNT ABOVE COUNTER HEIGHT UON	Ⓜ	
Ⓛ	FLOOR MOUNTED DUPLEX RECEPTACLE	Ⓜ	
Ⓛ	JUNCTION BOX (FLUSH MOUNT IN FINISHED AREAS UON)	Ⓜ	
Ⓛ	LIGHTING OR POWER PANELBOARD	Ⓜ	
Ⓛ	CONDUIT CONCEALED IN WALL OR ABOVE CEILING WITH 2 #12, 1 #12 EG CONDUCTORS IN 1/2" CONDUIT MIN UON	Ⓜ	
Ⓛ	CONDUIT CONCEALED BELOW FLOOR SLAB OR FINISHED GRADE WITH 2 #12, 1 #12 EG CONDUCTORS IN 3/4" CONDUIT MIN UON	Ⓜ	
Ⓛ	CONDUIT EXPOSED ON WALL OR CEILING WITH 2 #12, 1 #12 EG CONDUCTORS IN 1/2" CONDUIT MIN UON	Ⓜ	
Ⓛ	PHASE, NEUTRAL, ISOLATED GROUND CONDUCTORS	Ⓜ	
Ⓛ	LOW VOLTAGE WIRING	Ⓜ	
Ⓛ	CONDUIT STUB	Ⓜ	

ABBREVIATIONS			
AFF	ABOVE FINISH FLOOR	JB	JUNCTION BOX
C	CONDUIT	(N)	NEW
CLG	CEILING MOUNTED	NEUT	NEUTRAL
DN	DOWN	NIC	NOT IN CONTRACT
EX-(E)	EXISTING	NL	NIGHT LIGHT
EC	ELECTRICAL CONTRACTOR	NTS	NOT TO SCALE
E/F-EF	EXHAUST FAN	PNL	PANEL
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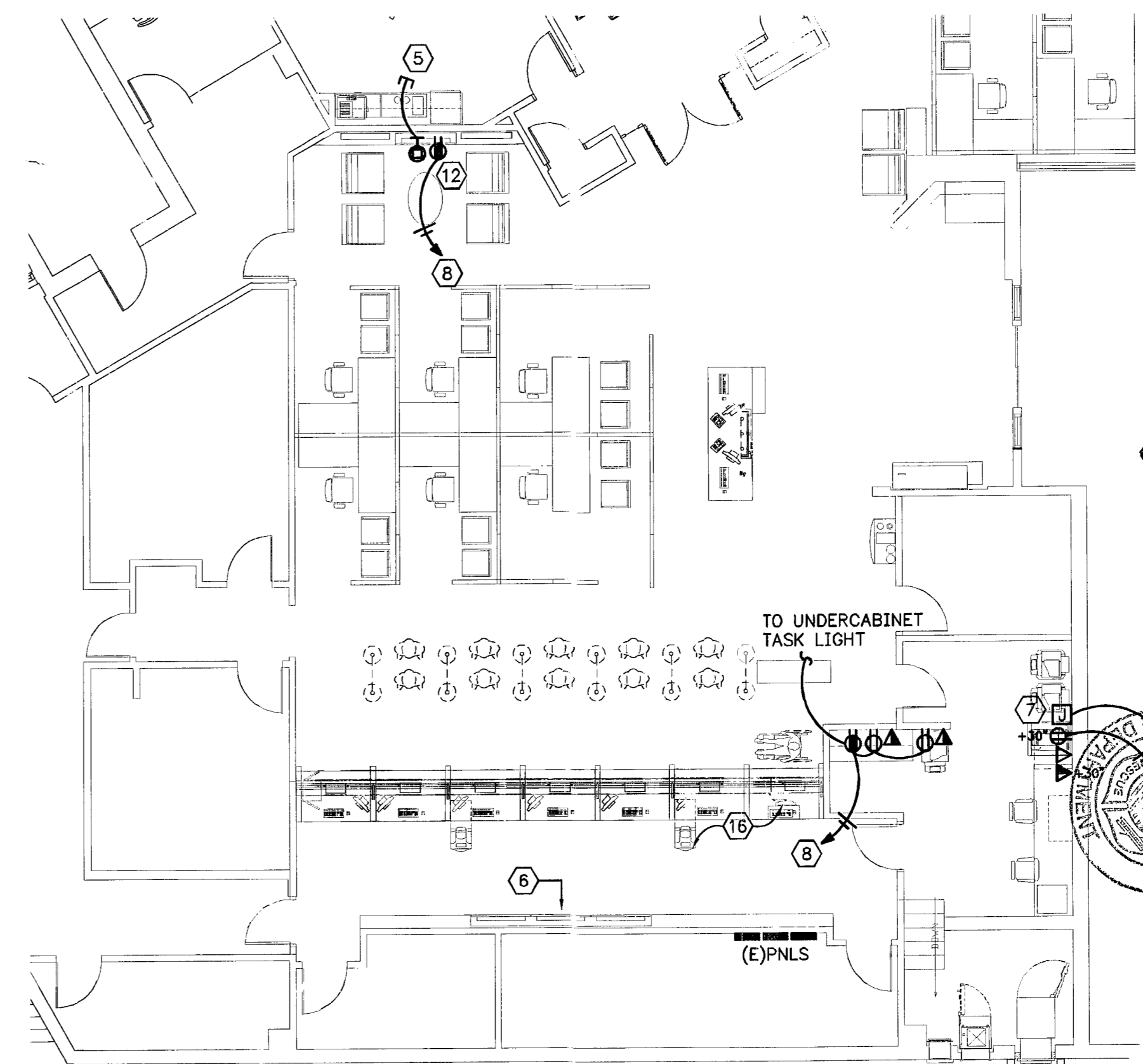
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ELECTRICAL PLAN NOTES

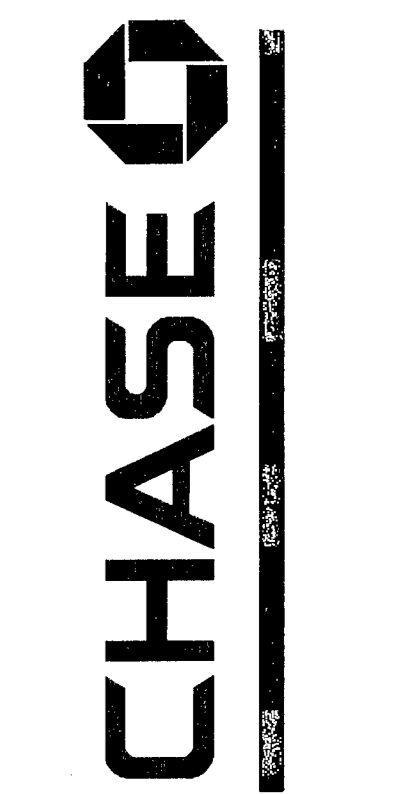
- PROVIDE NEW WALL MOUNTED OCCUPANCY SENSOR AND CONNECT FIXTURE(S) AS SHOWN. WATT-STOPPER 90/100 OR EQUAL SET OFF TIME TO 90 MINUTES
- PROVIDE AND INSTALL NEW PENDANT LIGHT FIXTURE (BESA LIGHTING 111511CM - SINGLE BLUE) WITH 15W CFL LAMP. CONNECT TO EXISTING NIGHT LIGHTING CIRCUIT CURRENTLY SERVING AREA SHOWN. (OR SWITCH AS INDICATED). COORDINATE FINAL MOUNTING HEIGHT WITH OWNER'S REPRESENTATIVE
- PROVIDE AND INSTALL NEW LIGHT FIXTURE. FIXTURE SHALL MATCH EXISTING UNITS WITH RESPECT TO LAMP TYPE, WATTAGE, BALLAST AND LENS MATERIAL. CONNECT TO EXISTING LIGHTING CIRCUIT CURRENTLY SERVING AREA SHOWN OR ROUTE VIA LIGHT SWITCH AS INDICATED.
- PROVIDE AND INSTALL NEW WALL MOUNTED LIGHT FIXTURE (LITOLIZER 124123HU - 4X4WHWH) (WHITE). LOCATE TO ILLUMINATE WALL MOUNTED SIGNAGE. CONNECT TO EXISTING SWITCHED LIGHTING CIRCUIT.
- ROUTE 3/4" WITH PULL STRING TO DATA ROOM FOR INSTALLATION OF (2)CAT-6 CABLES. CABLES FURNISHED AND INSTALLED BY OTHERS.
- EXISTING DEVICES TO BE REMOVED AND RE-INSTALLED IN NEW @MERCH WALL. EXTEND EXISTING CONDUIT AND CONDUCTORS AS REQUIRED. COORDINATE EXACT LOCATIONS OF DEVICES WITH NEW MONITOR LOCATIONS PRIOR TO ROUGH-IN.
- JUNCTION BOX WITH 3/4" CONDUIT AND PULL STRING TO SECURITY PANEL FOR INSTANT ISSUE MACHINE. MOUNT BOX 30" AFF. SECURITY CABLES FURNISHED AND INSTALLED BY OTHERS.
- ROUTE 1/2" WITH 2 #12 CU, 1 #12 CU EG TO NEAREST 120/208 VOLT ELECTRICAL PANEL SERVING SPACE. CONNECT TO SPARE 20/1 CIRCUIT BREAKER. IF NO SPARE CIRCUIT BREAKER EXISTS, PROVIDE NEW. ALL NEW CIRCUIT BREAKERS SHALL BE OF THE SAME MANUFACTURER AND AIC RATINGS OF EXISTING UNITS.
- EXTEND EXISTING CONDUIT AND CONDUCTORS AND CONNECT DEVICE/LIGHT FIXTURE/SIGN AS SHOWN.
- UTILIZE EXISTING CIRCUIT(S) AND DEVICES PREVIOUSLY SERVING WORK STATION BEING REMOVED OR RECONFIGURED. EXTEND EXISTING CONDUIT POWER AND DATA AND CONDUCTORS AS REQUIRED. PROVIDE NEW MATERIALS INCLUDING DEVICES, J-BOXES AND WALL PLATES AS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. NEW TELEPHONE/DATA CABLES AND INSTALLATION BY OTHERS.
- REWORK EXISTING DEVICES DUE TO INSTALLATION OF NEW PARTITION/WALL.
- RECEPTACLE AND DATA JACK FOR MEDIA/@MERCH WALL. COORDINATE EXACT LOCATION WITH OWNER'S REPRESENTATIVE PRIOR TO ROUGH-IN.
- PROVIDE FLUSH MOUNTED J-BOX FOR CONNECTION TO LED SIGN. CONNECT TO NEAREST 120/208 VOLT ELECTRICAL PANEL SERVING SPACE. COORDINATE J-BOX LOCATION WITH SIGN INSTALLER PRIOR TO ROUGH-IN.
- EXISTING EQUIPMENT TO BE RELOCATED. RE-USE EXISTING DEVICES IN NEW LOCATION AND EXTEND EXISTING CONDUIT AND CONDUCTORS AS REQUIRED.
- PROVIDE FLUSH MOUNTED JUNCTION BOX IN FALSE COLUMN AT 8" AFF FOR CONNECTION (VIA FLEXIBLE WHIP) TO OUTLETS LOCATED IN THE PARTITION. UTILIZE HARD WIRE OUTLETS LOCATED IN THE FURNITURE PARTITION. E.C. SHALL COORDINATE WITH PARTITION CONTRACTOR PRIOR TO ROUGH-IN.
- THE EXISTING TELLER LINE WILL BE RELOCATED. DISCONNECT EXISTING POWER/DATA AS REQUIRED TO FACILITATE RELOCATION BY OTHERS. EXTEND EXISTING CONDUIT AND CONDUCTORS AND RECONNECT TELLER LINE. CONTRACTOR IS ADVISED THAT TELLER LINE WILL ALSO BE REDUCED IN LENGTH DUE TO NEW OFFICE PARTITION WALL. COORDINATE ALL REQUIRED WORK WITH OWNER'S REPRESENTATIVE PRIOR TO START OF DEMOLITION.
- PROVIDE AND INSTALL UNDERCABINET TASK LIGHT WITH TOGGLE SWITCH. FIXTURE TYPE TO BE ALKCO #L2F4HO-120-AL-SW WITH 54W 15 LAMP.



FLOOR PLAN - LIGHTING
SCALE: 1/8"=1'-0"



FLOOR PLAN - POWER/SYSTEMS
SCALE: 1/8"=1'-0"



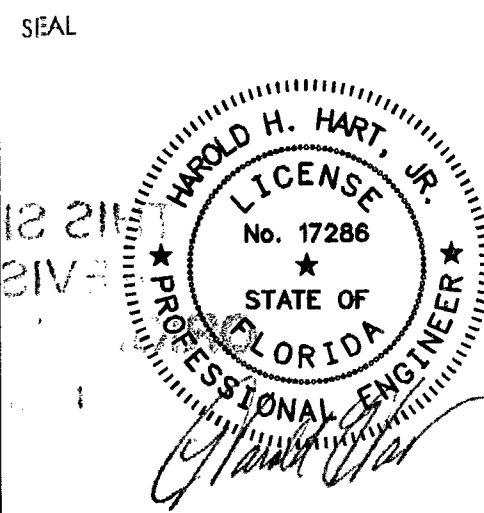
JPM Chase - Alton Road
 CPC Interior Renovations
 1801 Alton Road
 Miami Beach, Florida

ARCHITECT/ENGINEER OF RECORD



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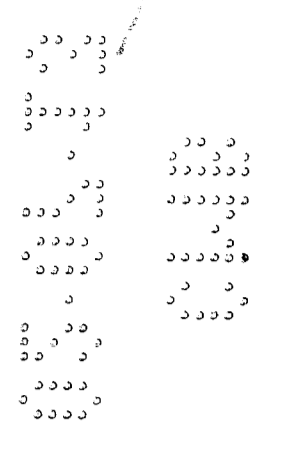
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DATE	01-18-2013
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SHEET TITLE
ELECTRICAL FLOOR PLAN

SHEET NUMBER
BACK

PROJECT NO. 13010
 Harold Hart & Associates, Inc.
 CONSULTING ENGINEERS
 4201 West Gray Street, Tampa, Florida 33609
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 EB #000421



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Contact Name: MARIE BASSETTE
Contact Phone: 305-463-5299
Project Name: CHASE BANK
Date Received: 03/25/2013

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