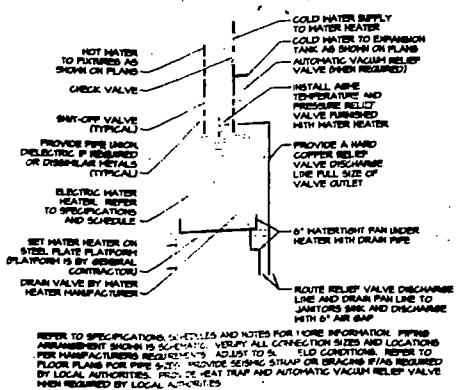
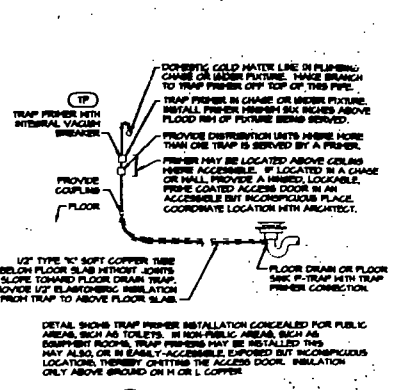


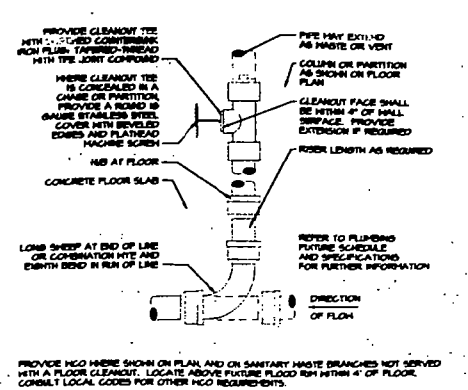
5 SMALL EXPANSION TANK
NO SCALE



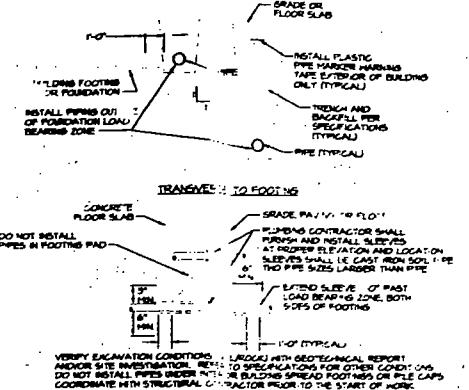
4 SHELF MOUNTED WATER HEATER
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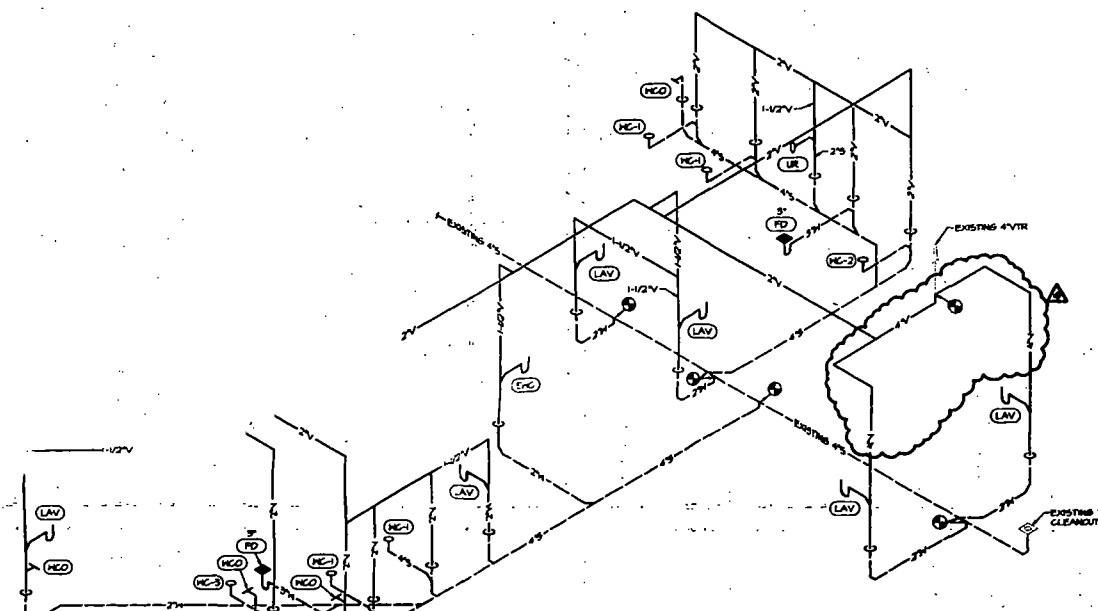
3 TRAP PRIMER
NO SCALE



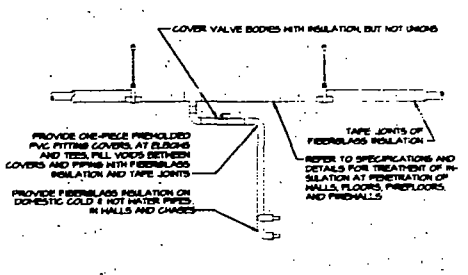
2 WALL CLEANOUT
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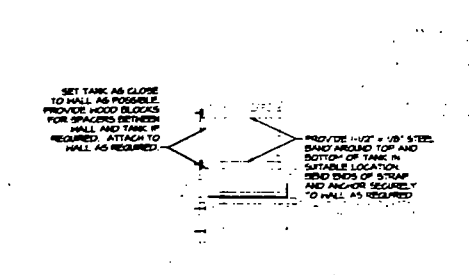
1 PIPE IN FOOTING
NO SCALE



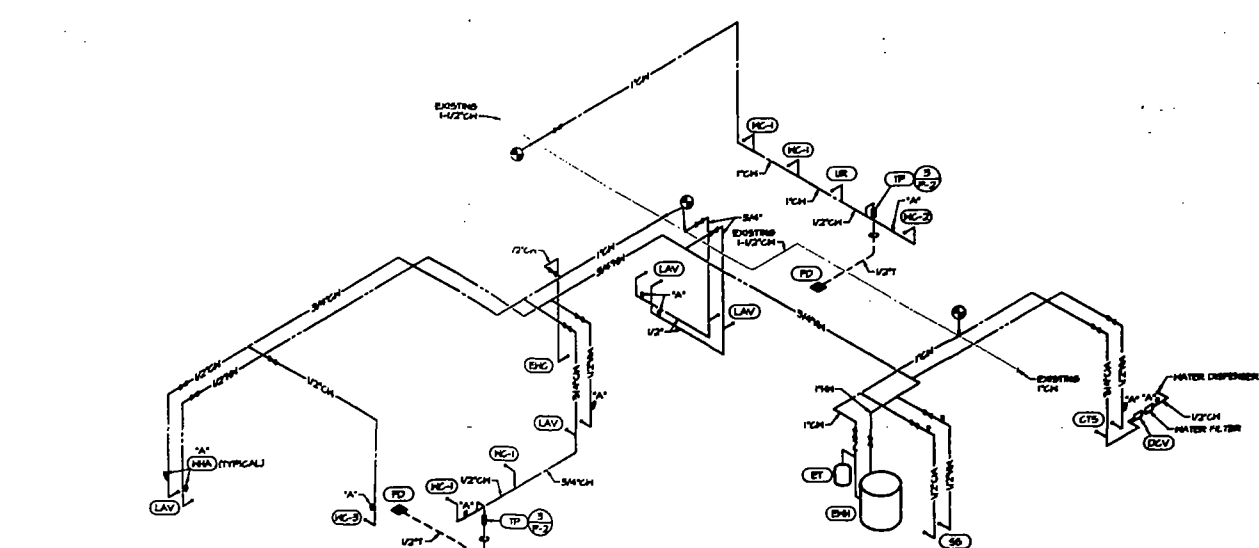
9 WASTE & VENT RISER DIAGRAM
NO SCALE



7 PIPE INSULATION
NO SCALE



6 TANK SEISMIC RESTRAINT
NO SCALE

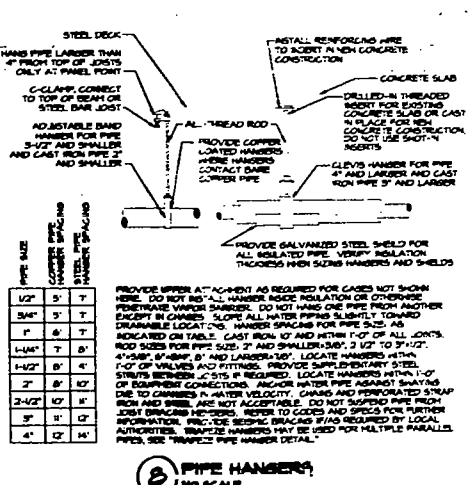


10 WATER RISER DIAGRAM
NO SCALE

FIXTURE BRANCH CONNECTION SCHEDULE

FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
WATER CLOSET (TANK) "WC"	1/2"	-	4"	2"
URINAL "UR"	1"	-	-	1-1/2"
LAVATORY "LAV"	1/2"	1/2"	-	1-1/2"
DRINKING FOUNTAIN "FC"	1/2"	-	2"	1-1/2"
JANITOR'S SINK "SS"	1/2"	1/2"	2"	1-1/2"
FLOOR DRAIN "FD"	-	-	3"	2"
SINK "CTS"	1/2"	1/2"	2"	1-1/2"

NOTE:
PIPE SIZES SHOWN ARE MINIMUM.



8 PIPE HANGERS
NO SCALE

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 CITY OF MIAMI BEACH
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BUILDING	
ZONING	
CONCRETE	
CONCRETE	
FLUORESC	
ELECTRICAL	
Mechanical	
FIRE PREVENTION	
ENGINEERING	
PLUMBING	
STRUCTURAL	
ACCESSIBILITY	
ELECTRICAL	

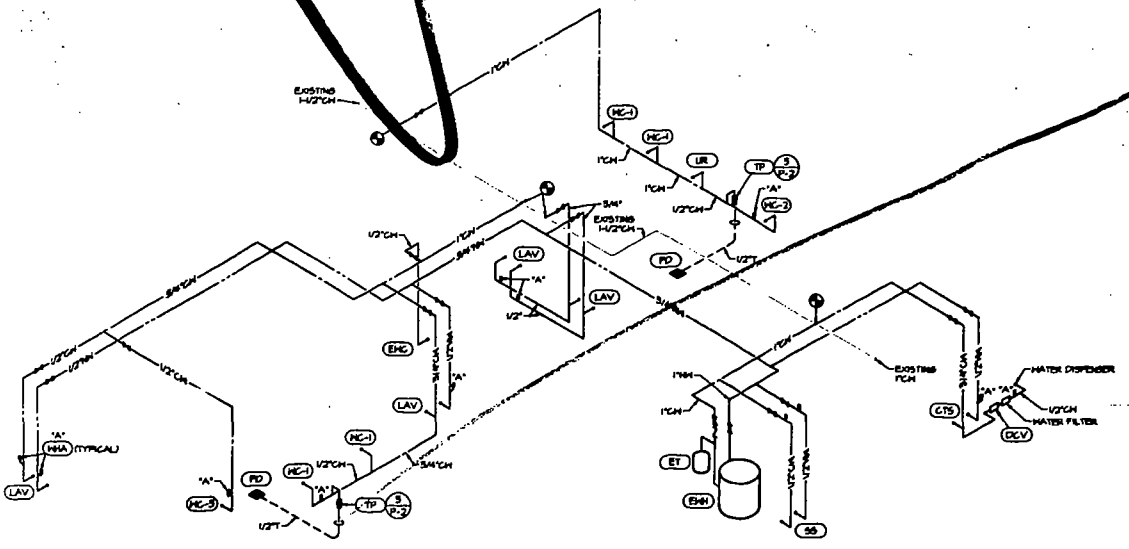
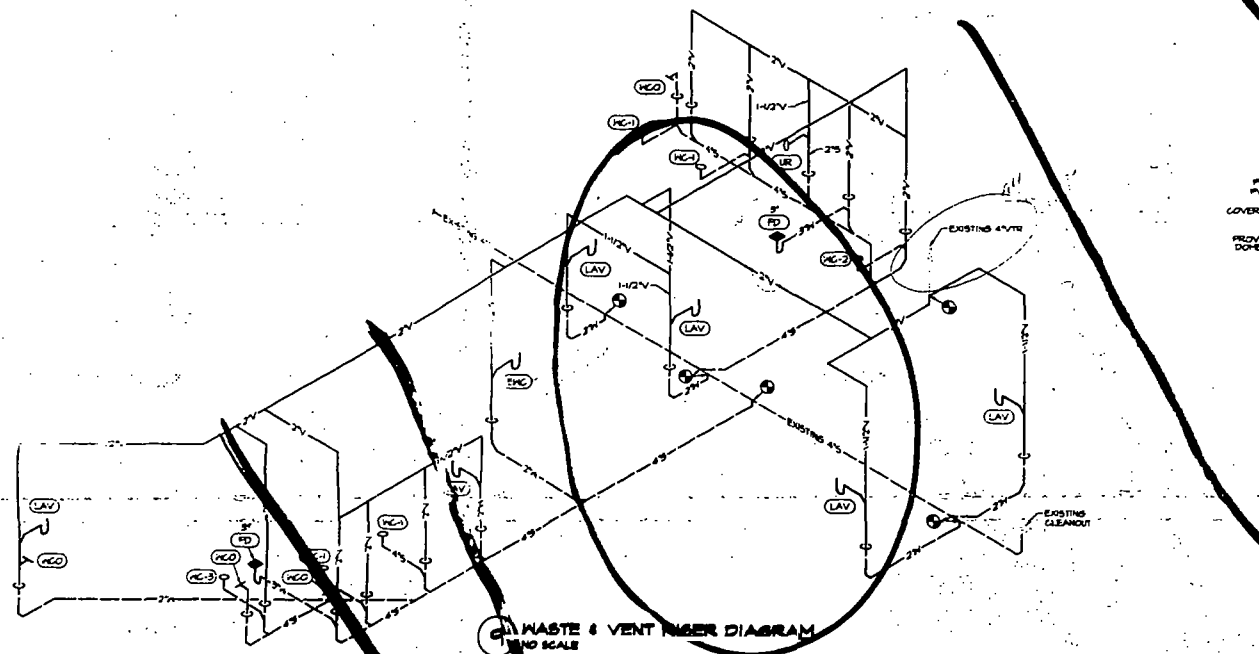
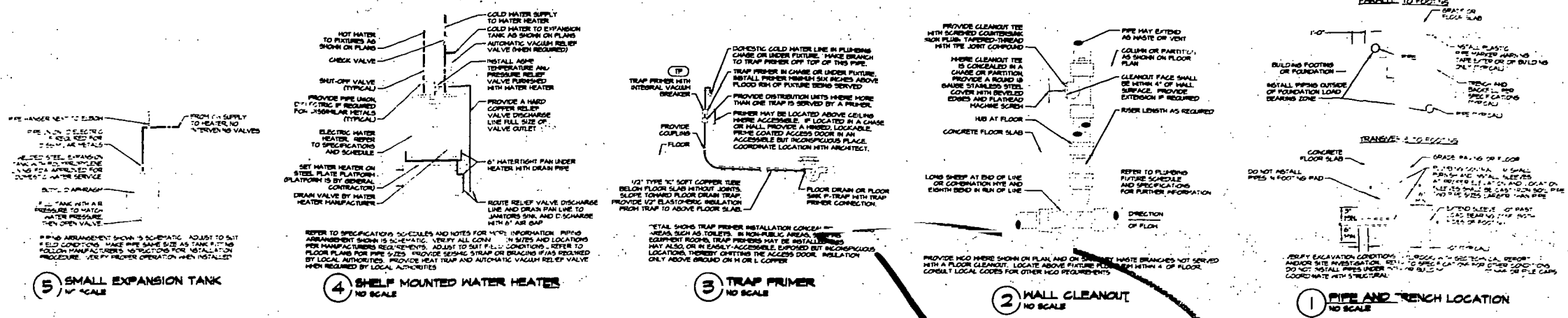
PLAN REVIEW REVISIONS (R2) 01/24/02
 ISSUED FOR PERMIT / BIT SET 10/03/01
 Revisions/Submit Date

design-form.
 architects, inc.

7575 Furquan Road, Dayton, Ohio 45428 Telephone: (937) 438-4400

Project No. 050000046
 Date: AS NOTED
 10/03/01 P-2
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HENDERSON ENGINEERS INCORPORATED
 MECHANICAL / ELECTRICAL / CIVIL DESIGN CONSULTANTS



FIXTURE BRANCH CONNECTION SCHEDULE

FIXTURE	COLD WATER	HOT WATER	WASTE	VENT
WATER CLOSET (TANK) "WC"	1/2"	1/2"	2"	2"
URINAL "UR"	1"	1/2"	2"	1-1/2"
LAVATORY "LAV"	1/2"	1/2"	2"	1-1/2"
DRINKING FOUNTAIN "DF"	1/2"	1/2"	2"	1-1/2"
JANITOR'S SINK "JS"	1/2"	1/2"	2"	1-1/2"
FLOOR DRAIN "FD"	1/2"	1/2"	3"	2"
SINK "S"	1/2"	1/2"	2"	1-1/2"

NOTE:
PIPE SIZES SHOWN ARE MINIMUM.

PIPE HANGER SCHEDULE

PIPE SIZE	CONCRETE DECK	STEEL DECK	WALL MOUNT
1/2"	3"	3"	3"
3/4"	3"	3"	3"
1"	3"	3"	3"
1-1/4"	4"	4"	4"
1-1/2"	4"	4"	4"
2"	5"	5"	5"
2-1/2"	6"	6"	6"
3"	7"	7"	7"
4"	8"	8"	8"

APPROVED FOR PERMIT BY THE FOLLOWING:

DESIGN FORUM ARCHITECTS, INC.

ISSUED FOR PERMIT / BIT SET

10/03/01



design-form.
 ARCHITECTS, INC.

7575 Paragon Road, Dayton, OH 45424 Telephone: (937) 439-4400

PLUMBING DETAILS

Project No. 0150000098
 Date 10/03/01
 Sheet AS NOTED
 Drawing No. P-2

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DATE: 10/20/00
 DRAWN BY: M-1
 CHECKED BY: AS NOTED
 PROJECT NO: 00000000
 SHEET NO: 10/20/00

MECHANICAL FLOOR PLAN

1575 Progress Road, Suite 100, Fort Lauderdale, FL 33304
design-forum
 ARCHITECTS, INC.

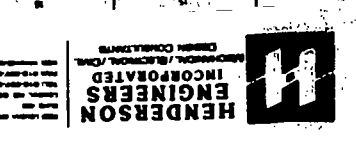
- REVISIONS:
- PLAN REVIEW REVISIONS (R2)
 - PLAN REVIEW REVISIONS (R1)
 - ISSUED FOR PERMIT / B1 SET
 - CITY REVISIONS
 - REVISIONS
- MECHANICAL SYMBOLS:
- ROOF MOUNTED EQUIPMENT
 - NEW DUCTWORK AND SIZE
 - DUCT ISOLATION TURNING VANES
 - FLUE GAS CONNECTION
 - SPLIT SYSTEM
 - RETURN OR EXHAUST SPLIT
 - MECHANICAL VOLUME DAMPERS
 - THROTTLE VALVE AND AIR DISTRIBUTION
 - CONNECT NEW TO EXISTING
 - EQUIPMENT DESIGNATION
 - PLAN NOTE DESIGNATION
 - ABOVE FINISHED FLOOR
 - BELOW FINISHED FLOOR
 - WALL MOUNTED OUTLET
 - WALL DEVICE DESIGNATION
 - WALL DEVICE SIZE
 - WALL DEVICE TO SCHEDULE
 - WALL DEVICE

ocasio
 TENANT IMPROVEMENT
 ALTON ROAD BRANCH
 801 ALTON RD.
 MIAMI BEACH, FL 33139-1604

RELEASE 2.0

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
4. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
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9. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.
10. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.



HENDERSON ENGINEERS INCORPORATED

OUTDOOR AIR REQUIREMENTS

ROOM PURPOSE	NETWORK	PEOPLE	APACHE OF OUTSIDE AIR	STAIR NUMBER	ACTUAL
OFFICE	100	100	100	100	100
CONFERENCE	200	200	200	200	200
RECEPTION	100	100	100	100	100
RESTROOM	100	100	100	100	100
STORAGE	100	100	100	100	100
MECHANICAL	100	100	100	100	100
OTHER AREAS	100	100	100	100	100
TOTAL	1000	1000	1000	1000	1000

MECHANICAL SYMBOLS:

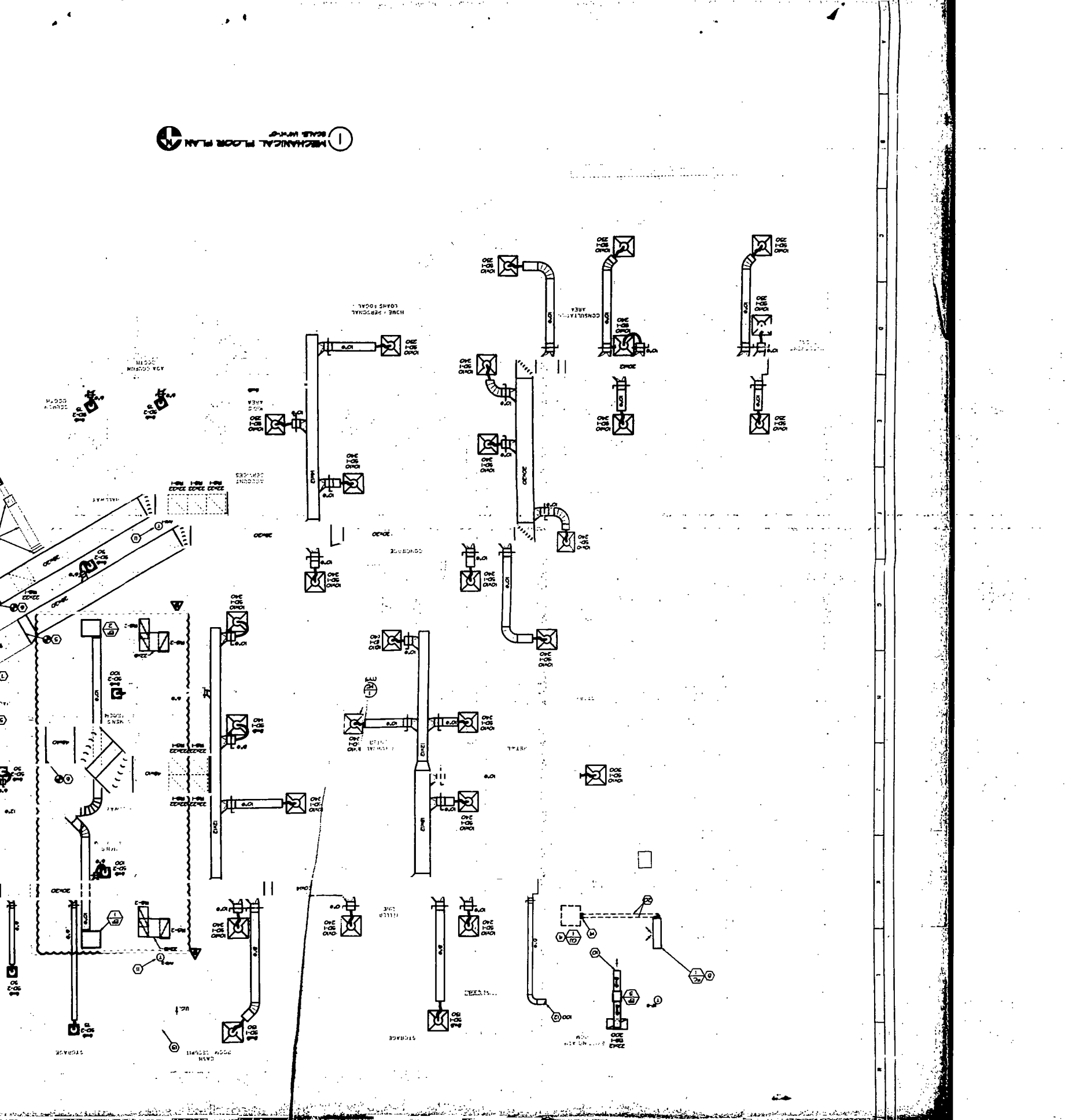
- ROOF MOUNTED EQUIPMENT
- NEW DUCTWORK AND SIZE
- DUCT ISOLATION TURNING VANES
- FLUE GAS CONNECTION
- SPLIT SYSTEM
- RETURN OR EXHAUST SPLIT
- MECHANICAL VOLUME DAMPERS
- THROTTLE VALVE AND AIR DISTRIBUTION
- CONNECT NEW TO EXISTING
- EQUIPMENT DESIGNATION
- PLAN NOTE DESIGNATION
- ABOVE FINISHED FLOOR
- BELOW FINISHED FLOOR
- WALL MOUNTED OUTLET
- WALL DEVICE DESIGNATION
- WALL DEVICE SIZE
- WALL DEVICE TO SCHEDULE
- WALL DEVICE

NOTE: THESE CONDITIONS ARE TAKEN FROM GENERAL DRAWINGS & SPECIFICATIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT IMMEDIATELY UPON DISCOVERY.

MECHANICAL FLOOR PLAN

MECHANICAL FLOOR PLAN

MECHANICAL FLOOR PLAN



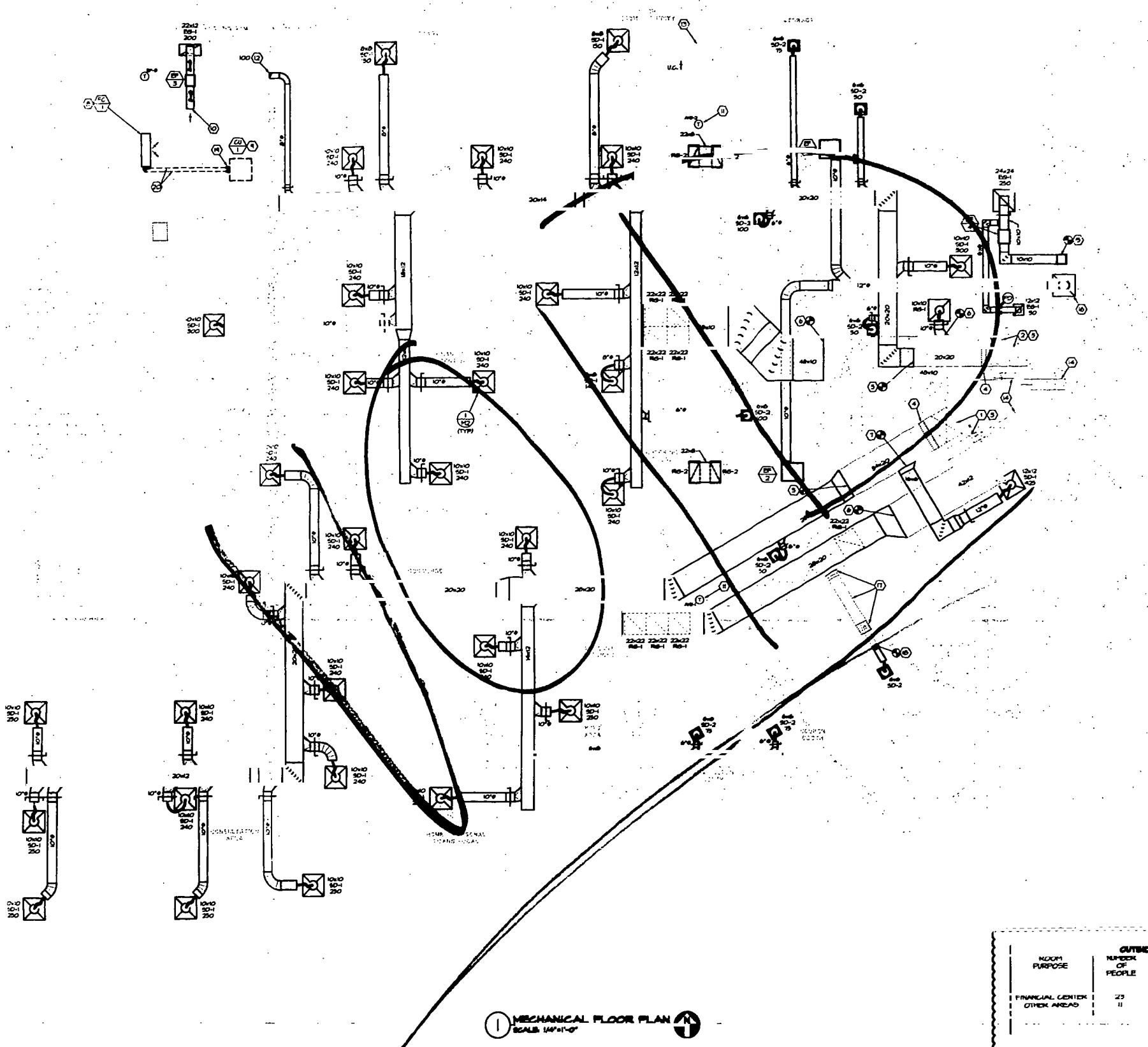
MECHANICAL FLOOR PLAN

OCCASIO RELEASE 210
TENANT IMPROVEMENT
ALTON ROAD BRANCH
1801 ALTON RD.
MIAMI BEACH, FL 33139-1804

- GENERAL NOTES:**
- BEFORE SUBMITTING BIDDING, THE CONTRACTOR AND SUB-CONTRACTORS SHALL STUDY THE JOB SITE AND BECOME FULLY ACCQUAINTED WITH THE EXISTING CONDITIONS OF THE PROJECT. THE CONTRACTOR AND SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE GENERAL NOTES, SPECIFICATIONS AND ALL OTHER DRAWINGS FOR ADDITIONAL REQUIREMENTS. ITEMS NOT SPECIFICALLY CALLED OUT IN THIS PORTION OF THE CONSTRUCTION DOCUMENTS, NOTIFY ARCHITECT, ENGINEER AND/OR OWNER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO SUBMISSION OF BIDDING.
 - CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE MECHANICAL SYSTEMS WITH OTHER TRADES TO ENSURE A SEAMLESS AND COHESIVE INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO AVOID CONFLICTS WITH ELECTRICAL PANELS, LIGHTING FIXTURES, ETC.
 - ALL MECHANICAL EQUIPMENT SHOWN ON THE MECHANICAL FLOOR PLAN SHALL BE PROVIDED AND INSTALLED BY THE MECHANICAL CONTRACTOR UNLESS OTHERWISE NOTED.
 - MECHANICAL EQUIPMENT DUCTWORK AND PIPING IS SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DUCTWORK AND PIPING LOCATIONS AND MAKE ADJUSTMENTS AS REQUIRED TO MATCH EXISTING CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EQUIPMENT LOCATIONS TO MATCH EXISTING CONDITIONS. IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS REGARDING SERVICE CLEARANCE AND PROVIDE A MINIMUM 3" CLEARANCE AROUND EQUIPMENT.
 - COORDINATE ROOF PENETRATIONS WITH THE ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - CONTRACTOR SHALL INSTALL ALL DUCTWORK AND PIPING PARALLEL TO THE WALLS UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL SEAL ALL PENETRATIONS THROUGH THE BUILDING COMPONENTS IN ACCORDANCE WITH THE CONTRACT SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY ALL PENETRATIONS THROUGH THE BUILDING COMPONENTS IN ACCORDANCE WITH ALL REQUIREMENTS.
 - CONTRACTOR SHALL COORDINATE THE EXACT MOUNTING SIZE AND MOUNTING TYPE OF ALL REFRIGERATORS AND GRILLES WITH THE SUPPLIER TO MEET THE CEILING PANEL AND DUCT INSTALLATION REQUIREMENTS.
 - LOCATION OF CEILING DIFFUSERS, REFRIGERATORS AND GRILLES SHALL BE ADJUSTED AS REQUIRED TO ACCOMMODATE PANEL CEILING GRID AND LIGHTING LOCATIONS.
 - EXISTING THERMOSTATS SHALL BE RELOCATED AS SHOWN BY MECHANICAL CONTRACTOR AND FIELD IN CONDUIT BY MECHANICAL CONTRACTOR. VERIFY EXISTING LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION. MOUNTING HEIGHTS SHALL MEET ALL REQUIREMENTS UNLESS NOTED OTHERWISE ON PLANS AND NOTES.
 - ALL BRANCH DUCT CONNECTIONS AND TAKE-OFFS TO INDIVIDUAL REFRIGERATORS, REFRIGERATORS AND GRILLES SHALL HAVE A REFRIGERATED AS DESIGNED, HIGH EFFICIENCY, RECTANGULAR BRANCH DUCT TAKE-OFF FITTING WITH MANUAL BALANCING DAMPER AND LOGGING ORIENTED.
 - RIGID DUCTWORK INSULATION FURNISH AND INSTALL 1 1/2" THICK RIGID DENSITY INSULATION OVER ALL BRANCH DUCTWORK, SUPPLY AIR DUCTS, PIPING AND INSTALL 1" THICK 5 LB DENSITY INTERNAL DUCT LINER IN ALL RECTANGULAR SUPPLY AND RETURN AIR DUCTS. DUCT SIZES ON MECHANICAL PLANS INDICATE CLEAR INSIDE DIMENSION. SHEET METAL SIZES SHALL BE INCREASED ACCORDINGLY.
 - FIELD VERIFY DUCTWORK SHALL BE THERMOPLASTIC TYPE OR APPROVED EQUAL. SHALL BE LISTED UNDER UL 181 AS CLASS I AIR DUCT AND SHALL BE PROVIDED WITH INTERNAL 2" THICK, 5 LB DENSITY FIBERGLASS INSULATION. FLEXIBLE DUCTWORK SHALL NOT EXCEED 9'-0" IN LENGTH AND SHALL BE INSTALLED AND SUPPORTED TO AVOID SHARP BENDS AND SAGGING.

PLAN NOTES:

- EXISTING 10" DIA. R-4 HANDLING UNIT (AHU-1) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 400 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
- EXISTING 8" DIA. R-4 HANDLING UNIT (AHU-2) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 300 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
- CONTRACTOR SHALL THOROUGHLY CLEAN AND INSPECT EXISTING EQUIPMENT AND EQUIPMENT COMPONENTS TO REPAIR OR REPLACE ANY CORRODED PARTS THAT IS LEAKING OR DAMAGED. PROVIDE NEW FILTERS FOR EXISTING AIR HANDLING EQUIPMENT. NEW FILTERS SHALL BE COMPATIBLE WITH THE EXISTING FILTER CONSTRUCTION SHALL FULLY COMPATIBLE WITH EXISTING RETURN SYSTEMS.
- EXISTING 10" DIA. R-4 HANDLING UNIT (AHU-1) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 400 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
- EXISTING 8" DIA. R-4 HANDLING UNIT (AHU-2) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 300 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
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- EXISTING 8" DIA. R-4 HANDLING UNIT (AHU-2) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 300 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.
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- EXISTING 8" DIA. R-4 HANDLING UNIT (AHU-2) AND ASSOCIATED DUCTWORK TO REMAIN. MECHANICAL ROOM, BALANCE TO 300 CFM SUPPLY AIR AND 300 CFM OUTSIDE AIR.



MECHANICAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

HVAC REQUIREMENTS:

	YES	NO
DUCT SMOKE DETECTOR (EXISTING)	X	
FIRE DAMPERS	X	
SMOKE DAMPERS	X	
FIRE RATED ENCLOSURE	X	
FIRE RATED ROOF/FLOOR	X	
FIRE RATED CEILING ASSEMBLY	X	
FIRE STOPPING	X	
SMOKE CONTROL	X	

OUTSIDE AIR REQUIREMENTS

ROOM PURPOSE	NUMBER OF PEOPLE	APPROXIMATE OUTSIDE AIR REQUIREMENTS		SYSTEM NUMBER	ACTUAL OUTSIDE AIR (CFM PER UNIT)
		CFM PER PERSON	CFM REQ'D		
FINANCIAL CENTER	23	20.00	460	AHU-1	400
OTHER AREAS	11	30.00	330	AHU-2	300
			TOTAL	0	700
				TOTAL	700

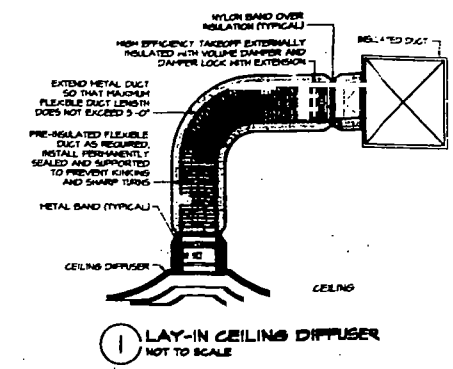
- MECHANICAL SYMBOLS**
- ROOF MOUNTED EQUIPMENT
 - NEW DUCTWORK AND SIZE
 - DUCT ELBOW WITH TURNING VANES
 - FLEXIBLE CONNECTION
 - SUPPLY DIFFUSER
 - RETURN OR EXHAUST GRILLE
 - MANUAL VOLUME DAMPER
 - THERMOSTAT AND UNIT DESIGNATION
 - CONNECT NEW TO EXISTING
 - EQUIPMENT DESIGNATION
 - PLAN NOTE DESIGNATION
 - ABOVE FINISHED FLOOR
 - UNLESS NOTED OTHERWISE
 - UNDER CUT
 - AIR DEVICE DESIGNATION
 - NECK SIZE
 - TYPE - REFER TO SCHEDULE
 - FIRE DAMPER

design-forum architects, inc.
 7575 Pegasus Blvd., Dayton, Ohio 45424 Telephone: (937) 438-4400

MECHANICAL FLOOR PLAN
 Project No. 050000046
 Date: 10/03/01
 Scale: AS NOTED
 Drawing No. M-1
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NOTE:
 EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS & FIELD VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDDING. CONTRACTOR SHALL CAREFULLY COORDINATE WITH ARCHITECT AND DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

HENDERSON ENGINEERS INCORPORATED
 MECHANICAL / ELECTRICAL / CIVIL DESIGN CONSULTANTS



GRILLE, REGISTER AND DIFFUSER SCHEDULE

MARK	MANUFACTURER	SERVICE	MODEL	MOUNTING	TYPE	MODULE SIZE	NOTES
SD-1	TITUS	SUPPLY	MCD	CEILING	MODULAR CORE	24x24	A, B, D, E, F, G
SD-2	TITUS	SUPPLY	MCD	CEILING	MODULAR CORE	2x2	A, B, D, E, F, G
RS-1	TITUS	RETURN	ZSR5	CEILING	GRILLE	24x24	A, B, C, D, G
RS-2	TITUS	RETURN	ZSR5	CEILING	GRILLE	22x22	A, B, C
ES-1	TITUS	EXHAUST	SCR	CEILING	1/2"x1/2"x1/2" EGGRATE	PER PLAN	A, B, C

- NOTES:
- A. FRAME AND FACE BLADES SHALL HAVE BAKED ENAMEL OFF-WHITE FINISH.
 - B. COORDINATE EXACT FRAME MOUNTING TYPE WITH ARCHITECTURAL REFLECTED CEILING PLAN.
 - C. PROVIDE NECK FOR DUCT CONNECTION.
 - D. NECK SIZE SHOWN ON DRAWINGS.
 - E. 4-WAY THROW PATTERN UNLESS OTHERWISE SHOWN ON DRAWINGS.
 - F. BRAN - 1 DUCT SIZE SHALL BE SAME AS NECK SIZE UNLESS NOTED OTHERWISE.
 - G. PROVIDE VOLUME DAMPER AS NOTED ON DRAWINGS.
 - H. PROVIDE SQUARE TO ROUND TRANSITION.

FAN SCHEDULE

MARK	SERVICE	MANUFACTURER	MOUNTING	MODEL	CFM	ESP (IN)	DRIVE	MIN. HP	FAN EFF. (%)	ELECTRICAL (V/PH)	NOTES
EF-1	MEN	COOK	CEILING	GC-520	300	0.5	DIRECT	137 watts	20%	208V	A, B, C, E
EF-2	WOMEN	COOK	CEILING	GC-520	300	0.5	DIRECT	137 watts	20%	208V	A, B, C, E
EF-3	EXISTING ATM ROOM	COOK	INLINE	GN-420	200	0.375	DIRECT	112 watts	27%	208V	A, B, E, F
EF-4	BREAKROOM/JANITORS	COOK	INLINE	GN-520	300	0.5	DIRECT	136 watts	20%	208V	A, B, C, E

- NOTES:
- A. PROVIDE RUBBER IN SHEAR ISOLATION AND ALL-THREAD HANGING ROODS.
 - B. ELECTRICAL CONTRACTOR TO PROVIDE DISCONNECT SWITCH.
 - C. INTERLOCK FAN OPERATION WITH RESTROOM LIGHT SWITCH.
 - D. INTERLOCK FAN OPERATION WITH BREAKROOM LIGHT SWITCH.
 - E. PROVIDE WITH VARIABLE SPEED CONTROLLER MOUNTED IN FAN.
 - F. FAN SHALL BE CONTROLLED BY ADJUSTABLE ROOM THERMOSTAT SET @ 85°F.

FAN COIL AND CONDENSING UNIT SCHEDULE

MARK	SERVICE LOCATION	MANUFACTURER	FAN COIL UNIT MODEL	SUPPLY FAN MODEL	FC ELECTRIC (V/PH)	CONDENSING UNIT MODEL	TC (MEH)	CU ELECTRIC (V/PH)	NOTES
FC-MCH	DATA ROOM	EM	HEPC01A	310 62	120V	LENNOX 10ACB12	4.0	208V	A - L

- NOTES:
- A. EQUIPMENT FURNISHED AND INSTALLED BY MECHANICAL CONTRACTOR.
 - B. PROVIDE EM UNIT AS SPECIFIED.
 - C. PROVIDE CONDENSATE PUMP WITH FAN COIL UNIT. REFERENCE PLUMBING DRAWING FOR FAN COIL CONDENSATE DRAIN PIPING.
 - D. SUPPLIER SHALL FURNISH EQUIPMENT WITH LOW AMBIENT CONTROL KIT AND WINTER START CONTROL.
 - E. SUPPLIER SHALL FURNISH EQUIPMENT WITH ALL COMPONENTS BY THE SAME MANUFACTURER.
 - F. PROVIDE INTEGRAL CLEANABLE FILTER.
 - G. SUPPLIER SHALL PROVIDE REFRIGERANT PIPING LINE SET AND ACCESSORIES FOR INSTALLATION BY MECHANICAL CONTRACTOR.
 - H. SUPPLIER SHALL FURNISH EQUIPMENT WITH LIQUID LINE FILTER DRYER AND SIGHT GLASS.
 - I. SUPPORT CONDENSING UNIT ON ROOF WITH 4"x4" CCA PRESSURE TREATED BLOCKS.
 - J. ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL DISCONNECT SWITCHES FOR EACH UNIT. CONDENSING UNIT SHALL HAVE A WEATHERPROOF, FUSED DISCONNECT SWITCH.
 - L. PROVIDE FAN COIL UNIT WITH WIRELESS INFRARED REMOTE CONTROL.

OFFICE COPY

CITY: MIAMI BEACH

APPROVED BY: _____

DATE: _____

PROJECT NO. _____

DATE: _____

DESIGNED BY: _____

CHECKED BY: _____

DATE: _____

SCALE: _____

DATE: _____

ISSUED FOR PERMIT / BIT SET

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 ARCHITECTS, INC.

7575 Poygan Pkwy, Dayton, Ohio 45428 Telephone: (937) 436-4400

HENDERSON ENGINEERS INCORPORATED
 MECHANICAL, ELECTRICAL, CIVIL DESIGN CONSULTANTS

MECHANICAL DETAILS & SCHEDULES

Drawn: JPP Project No: 0150000046

Checked: VJF Date: AS NOTED

Date: 10/03/06

Scale: M-2

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- GENERAL LIGHTING NOTES:**
1. SEE ARCHITECTURAL REFLECTED LIGHTING PLAN FOR EXACT LOCATION OF LIGHTING FIXTURES.
 2. ALL EMERGENCY AND EXIT LIGHT FIXTURES SHALL BE CONNECTED TO THE UNBUNDLED HOT CONDUCTOR.
 3. EXISTING LIGHTING AND CONTROLS ARE EXISTING TO REMAIN.

- LIGHTING NOTES:**
1. SEE SWITCH ELEVATION DETAIL THIS SHEET FOR ADDITIONAL INFORMATION.
 2. WALL MOUNTED OCCUPANCY SENSOR LEVITON ROSCO-10 OR EQUIVALENT.
 3. CEILING MOUNTED OCCUPANCY SENSOR LEVITON ROSCO-10H OR EQUIVALENT.
 4. LIGHTING CONTROLS THE INBOARD LAMP AND THE OTHER SWITCH CONTROLS THE OUTBOARD LAMP.
 5. LIGHTING FIXTURES ARE EXISTING TO REMAIN. FIXTURES ARE TO BE CLEANED AND REPAIRED. CRACKED OR BROKEN LENSES ARE TO BE REPLACED. MAINTAIN CIRCUIT CONTINUITY AND CONTROL.

- GENERAL DEMOLITION NOTES:**
 (APPLIES TO ALL SHEETS)
1. EXISTING EQUIPMENT, WIRING DEVICES, AND LIGHTS NOT DISTURBED BY NEW CONSTRUCTION SHALL BE MAINTAINED AND ELECTRICAL CIRCUITS MAINTAINED. FOR WIRING DEVICES REMOVED, ABANDON FLUSH MOUNTED OUTLET BOXES AND EXPOSED CONDUITS INCLUDING BOXES AND CONDUITS EXPOSED WITH EXISTING WALLS ARE REMOVED. PROVIDE BLANK COVER PLATES ON ALL FLUSH MOUNTED OUTLET BOXES ABANDONED IN PLACE.
 2. WIRING CONDUIT ABOVE CEILING OR IN WALLS MAY BE ABANDONED. EXPOSED CONDUITS AND RACEWAYS SHALL BE REMOVED.
 3. EXISTING JUNCTION BOXES LOCATED IN BLOCK OR BRICK WALLS AND NOT TO BE USED IN FINAL CONSTRUCTION TO HAVE NEW COVER PLATE INSTALLED TO PROVIDE FINISHED APPEARANCE.
 4. ALL WIRING ASSOCIATED WITH ELECTRICAL DEVICES AND LIGHT FIXTURES BEING REMOVED SHALL ALSO BE REMOVED UNLESS UTILIZED TO FEED NEW OR RELOCATED DEVICES OR LIGHT FIXTURES.

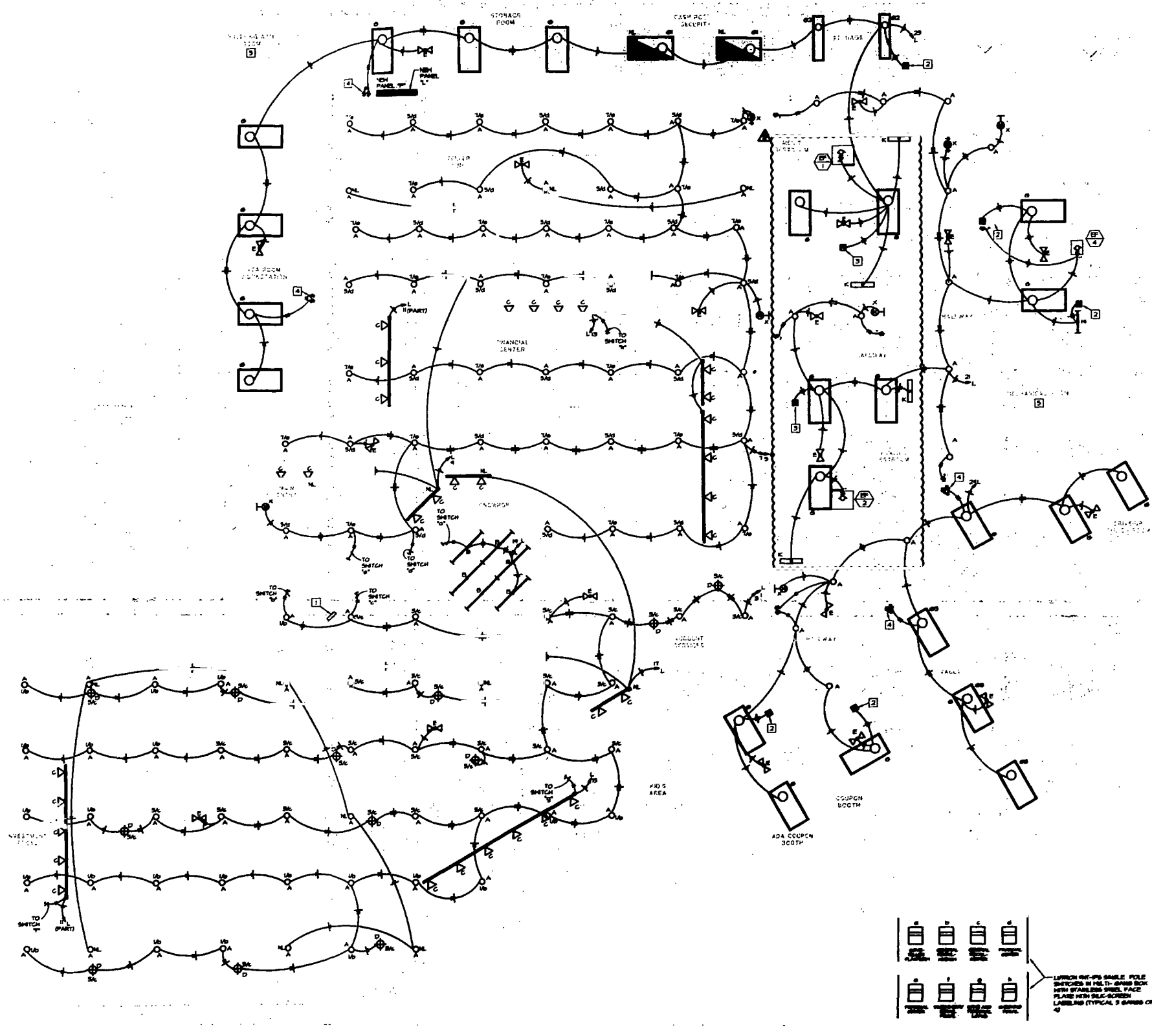
- GEN. ELECT. NOTES (APPLIES TO ALL SHEETS):**
1. ELECTRICAL DESIGN FOR THIS INSTALLATION IS BASED ON FIELD INSPECTIONS AND PREVIOUS DESIGN DRAWINGS FOR THE EXISTING BUILDING. ELECTRICAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALLOWANCES ARE TO BE MADE FOR UNFORESEEN EXISTING CONDITIONS THAT MAY IMPACT THE CONTRACTOR'S SCOPE OF WORK. MINOR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN TO BE ACCOMPLISHED IN THIS ALLOWANCE.
 2. NEW DEVICES LOCATED ON EXISTING BLOCK OR BRICK WALLS TO BE SURFACE MOUNTED USING HANGBOARD METAL BONES AS REQUIRED AND HANGBOARD METAL RACKWAY TO ABOVE CEILING.
 3. PROVIDE ROBOT TYPE HANGERS ON RECEPTACLE COVER PLATE WITH GREAT HANGER AND PANEL. THE RECEPTACLE IS FED FROM.

PLAN REVIEW REVISIONS	10/24/02
CITY REVISIONS	11/20/01
ISSUED FOR PERMIT / BIT SET	10/05/01
Revisions/Submissions	Date

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 architects, inc.

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ELECTRICAL LIGHTING PLAN			
Drawn by	CHK	Project No.	050000046
Checked by	LAC	Date	AS NOTED
Date	10/05/01	Sheet No.	E-1
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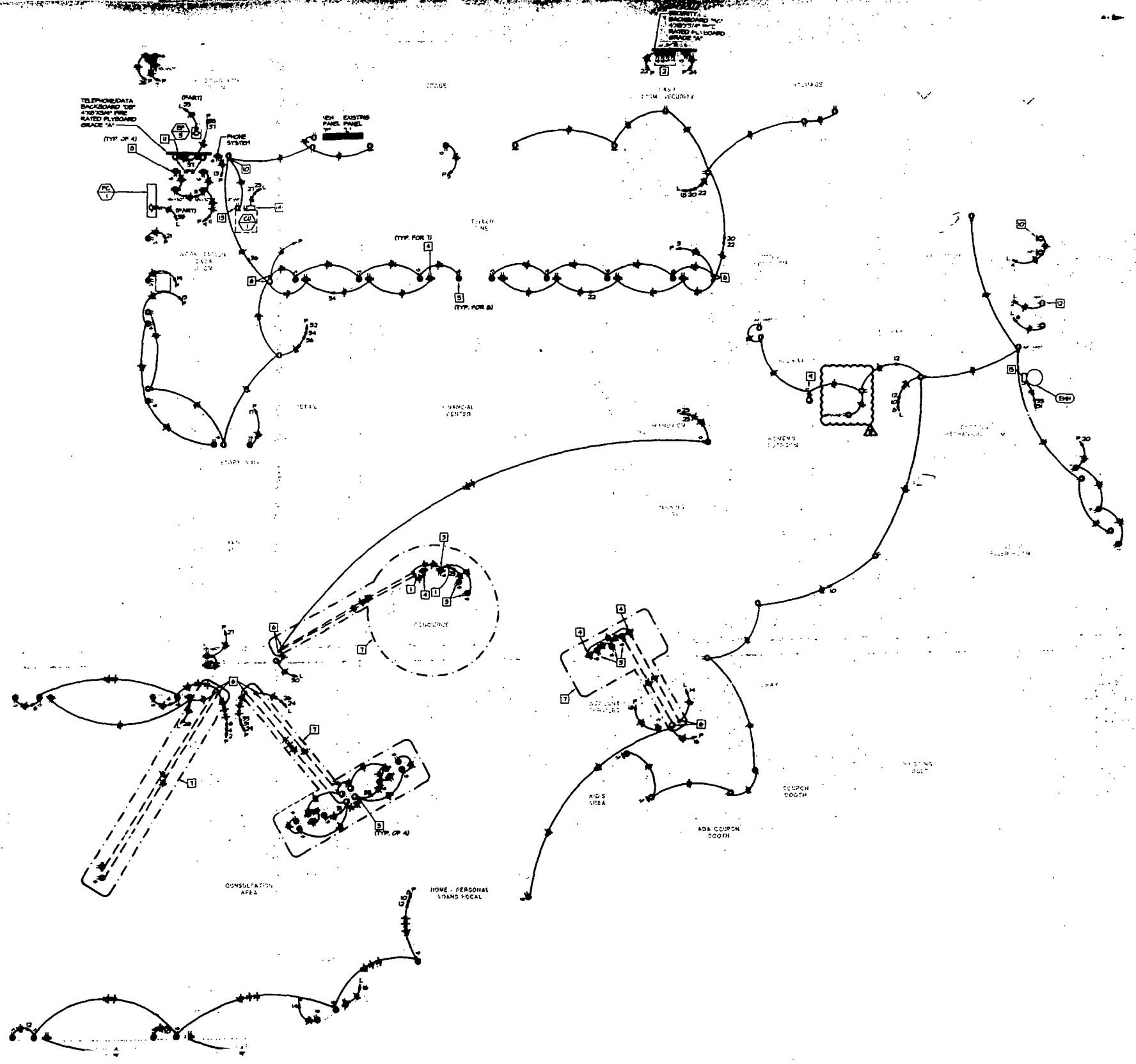
1 ELECTRICAL LIGHTING PLAN
 SCALE: 1/8"=1'-0"

2 SWITCH ELEVATION
 NOT TO SCALE

NOTE:
 EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS & SITE VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL CAREFULLY CORRELATE WITH FIELD AND CONSULTATION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.



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1 ELECTRICAL POWER PLAN
SCALE 1/4"=1'-0"

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- POWER NOTES:**
1. ROUTE CONDUITS THIS CASING. COORDINATE ROUTING WITH MECHANICAL CONTRACTOR. SEE ARCHITECTURAL PLANS FOR DIMENSIONED LOCATION OF FLOOR CUTOUT.
 2. PROVIDE (4) DUPLEX RECEPTACLES MOUNTED AT 80" AFF ON PACKBOARD. GENERAL CONTRACTOR COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION. SEE ARCHITECTURAL DETAIL FOR ADDITIONAL INFORMATION.
 3. ISOLATED GROUND RECEPTACLE (ORANGE IN COLOR) MOUNTED WITHIN THE CASING. AT A HEIGHT DETERMINED BY THE ARCHITECT. SEE ARCHITECTURAL PLANS FOR DIMENSIONED LOCATION OF FLOOR CUTOUT.
 4. GROUND RECEPTACLE MOUNTED WITHIN THE CASING AT A HEIGHT DETERMINED BY THE ARCHITECT. SEE ARCHITECTURAL PLANS FOR DIMENSIONED LOCATION OF FLOOR CUTOUT.
 5. PROVIDE JUNCTION BOX WITH 4-WIRE TO FURNITURE MANUFACTURER. INSTALLED WITHIN OFFICE. CONTRACTOR TO PROVIDE BACKBOX, DEVICES AND CONDUITS. FULLY COORDINATE WITH GENERAL CONTRACTOR AND FURNITURE SUPPLIER PRIOR TO INSTALLATION.
 6. TURN OFF POWER TO AREA.
 7. CHANNEL CUT FLOOR AS REQUIRED FOR INSTALLATION OF CONDUIT AND HIRING FIELD VERIFY EXISTING CONDITIONS PATCH FLOOR PER STRUCTURAL DETAILS.
 8. GROUND RECEPTACLES ARE MOUNTED ON SIDE OF DATA RACKS. PROVIDE CONDUIT TO BE ROUTED DOWN SIDE OF RACKS. COORDINATE EXACT LOCATION AND MOUNTING HEIGHT OF DEVICE WITH OWNER PRIOR TO INSTALLATION.
 9. PROVIDE JUNCTION BOX WITH TONGUE DISCONNECT SWITCH FOR HARD-WIRED CONNECTION TO ELECTRIC DRUMS. MOUNTAIN VERIFY EXACT LOCATION AND MOUNTING HEIGHT OF DEVICE WITH PLUMBING CONTRACTOR PRIOR TO INSTALLATION.
 10. WIRE RECEPTACLE BACK THROUGH GROUND FAULT RECEPTACLE SUCH THAT IT IS GROUND FAULT PROTECTED.
 11. 1/2" GFI GROUND FROM TELEPHONE DATA PANEL TO RACKS.
 12. PROVIDE SINGLE RECESSED (GFCI) OUTLET AT 80" AFF FOR MECHANICAL.
 13. PROVIDE HEAVY DUTY (GFCI) TYPE DUPLEX RECEPTACLE MOUNTED TO NON-REMOVABLE PANEL ON SIDE OF MECHANICAL UNIT. FULLY COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
 14. PROVIDE 30 AMP, 3-POLE NON-FUSED HEAVY DUTY DISCONNECT SWITCH WITH (2) 3-POLE FUSES FOR CONDENSING UNIT. FULLY COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
 15. PROVIDE 30 AMP, 3-POLE NON-FUSED, GENERAL DUTY DISCONNECT SWITCH FOR 2500W 208V-1Ø WATER HEATER. COORDINATE EXACT LOCATION OF DISCONNECT SWITCH WITH PLUMBING CONTRACTOR.

NOTE:
 EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS & SITE VISITS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO INSTALLATION. FIELD VERIFY CONTRACTOR SHALL CORRECTLY COORDINATE WITH OWNER AND DISCIPLINE WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.



PLAN REVIEW REVISIONS ISSUED FOR PERMIT / B17 SET
 10/24/03
 10/05/01
 Date

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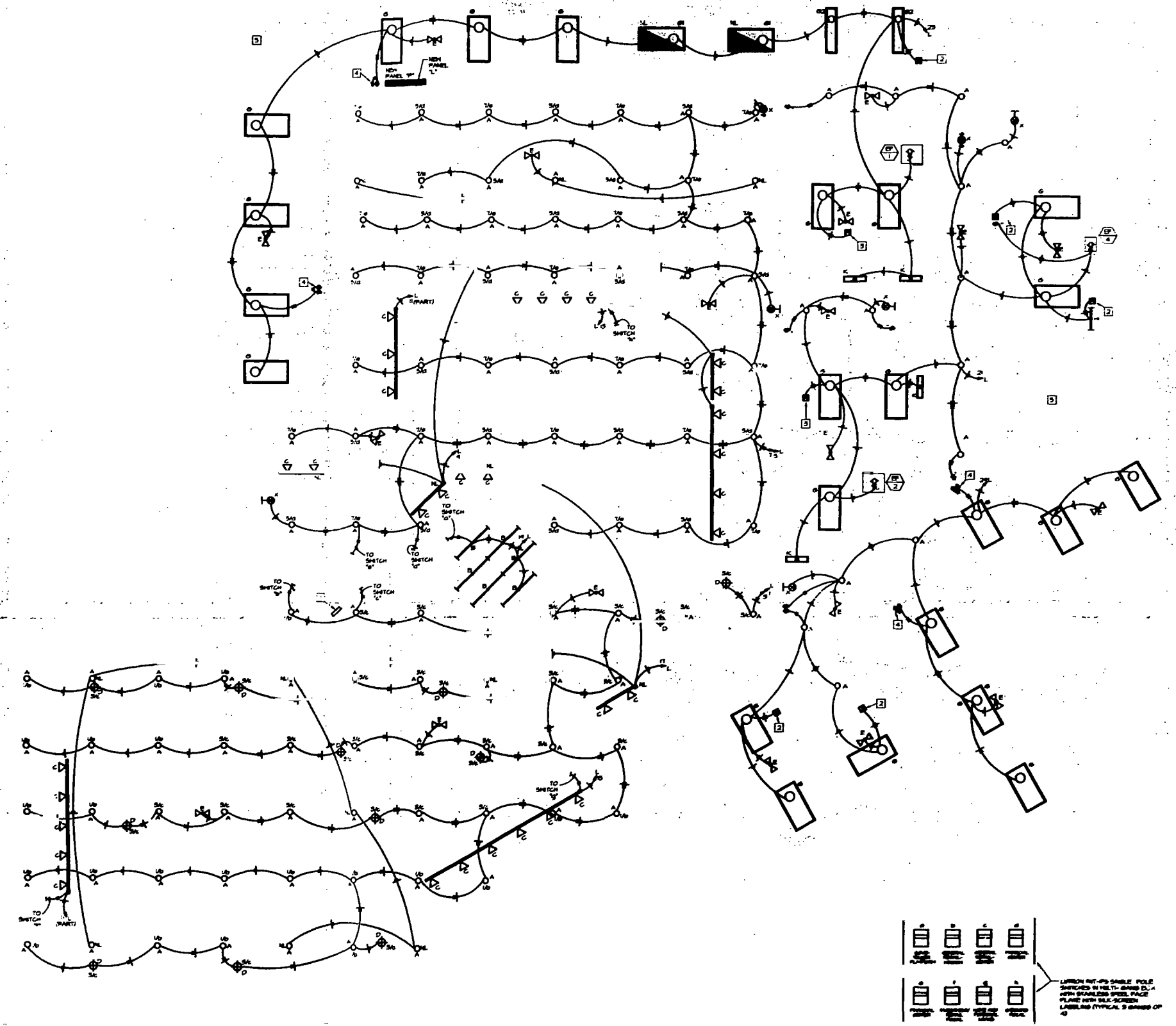
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ELECTRICAL POWER PLAN	
Drawn: CHC	Project No: 050000006
Checked: LAC	Scale: AS NOTED
Date: 10/05/01	Sheet No: E-2

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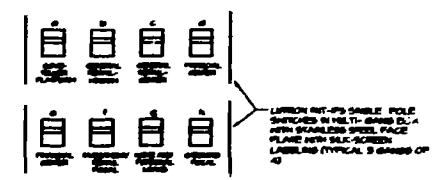
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MIAMI BEACH, FL 33139-1504

- GENERAL NOTES:**
1. ALL ELECTRICAL RELOCATED CEILING PLANS FOR EXACT LOCATION OF LIGHTING FIXTURES.
 2. ALL EXISTING AND NEW LIGHTING FIXTURES SHALL BE CONNECTED TO THE MAIN PANEL AS SHOWN.
 3. EXISTING LIGHTING AND CONTROLS ARE EXISTING TO REMAIN.
- GENERAL NOTES:**
1. SEE SWITCH ELEVATION DETAILS FOR ADDITIONAL INFORMATION.
 2. ALL MOUNTED ELECTRICAL EQUIPMENT SHALL BE MOUNTED ON EQUIVALENT.
 3. SEE MOUNTED ELECTRICAL EQUIPMENT SECTION FOR EQUIVALENT.
 4. EXISTING LIGHTING FIXTURES SHALL BE REMOVED AND NEW LIGHTING FIXTURES SHALL BE INSTALLED AS SHOWN.
 5. EXISTING LIGHTING FIXTURES ARE EXISTING TO REMAIN. FIXTURES ARE TO BE CLEANED AND REPAIRED. CRACKED OR BROKEN FIXTURES ARE TO BE REPLACED. MAIN PANEL SHALL REMAIN AND CONTROL.



1 ELECTRICAL LIGHTING PLAN
 SCALE: 1/8" = 1'-0"

2 SWITCH ELEVATION
 NOT TO SCALE



NOTE:
 EXISTING CONDITIONS WERE TAKEN FROM GENERAL DRAWINGS & FIELD NOTES AND MAY NOT REFLECT EXACT FIELD CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL CAREFULLY COMPARE THIS NOTE AND CONDUIT WITH ALL OTHER DISCIPLINE AND SPECIAL CONDITIONS.

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 MECHANICAL / ELECTRICAL / CIVIL
 DESIGN CONSULTANTS

7575 Perrygo Road, Dayton, Ohio 45424 Telephone: (513) 438-4420

- GENERAL DEVELOPMENT NOTES (APPLIES TO ALL SHEETS):**
1. EXISTING EQUIPMENT, WIRING DEVICES AND LIGHTING FIXTURES TO BE REMOVED BY NEW CONSTRUCTION SHALL REMAIN AND ELECTRICAL CIRCUITS MAINTAINED FOR WIRING DEVICES REMOVED. ABANDON PLUSH MOUNTED OUTLET BOXES AND EXPOSED CONDUITS INCLUDING RIGID AND FLEXIBLE CONDUIT WHEN EXISTING WALLS ARE REMOVED. PROVIDE BLANK COVER PLATES ON ALL PLUSH MOUNTED OUTLET BOXES ABANDONED IN PLACE.
 2. JUNCTION BOXES ABOVE CEILING OR IN WALLS MAY BE ABANDONED. EXPOSED CONDUITS AND RACEWAYS SHALL BE REMOVED.
 3. EXISTING JUNCTION BOXES LOCATED IN BLOCK OR BRICK WALLS AND NOT TO BE REID IN FINAL CONSTRUCTION TO HAVE NEW COVER PLATE RECALLED TO PROVIDE FINISHED APPEARANCE.
 4. ALL WIRING ASSOCIATED WITH ELECTRICAL DEVICES AND LIGHT FIXTURES BEING REMOVED SHALL ALSO BE REMOVED. WIRING UTILIZED TO FEED NEW OR RELOCATED DEVICES OR LIGHT FIXTURES.
- GEN. ELECT. NOTES (APPLIES TO ALL SHEETS):**
1. ELECTRICAL DESIGN FOR THIS INSTALLATION IS BASED ON FIELD INSPECTIONS AND PREVIOUS DESIGN DRAWINGS FOR THE EXISTING BUILDING. ELECTRICAL CONTRACTOR IS TO VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING WORK. ALLOWANCES ARE TO BE INCLUDED FOR UNFORESEEN EXISTING CONDITIONS THAT MAY AFFECT THE CONTRACTOR'S SCOPE OF WORK. YOUR DEVIATIONS REQUIRED FOR ACCOMPLISHING THE INTENT OF THIS DESIGN TO BE INCLUDED IN THIS ALLOWANCE.
 2. NEW DEVICES LOCATED ON EXISTING BLOCK OR BRICK WALLS TO BE SURFACE MOUNTED USING WIREMESH METAL BOXES AS REQUIRED AND WIREMESH METAL RACEWAY TO ABOVE CEILING.
 3. PROVIDE KEY TYPE NUMBERS ON RECEPTACLE COVER PLATE WITH CIRCUIT NUMBER AND PANEL THE RECEPTACLE IS FED FROM.

1 COPY
 MIAMI BEACH

DESIGNED FOR PERMIT BY THE FOLLOWING:

DESIGNED FOR PERMIT / BY SET:

DATE: 08/03/01

DESIGNED BY: [Signature]

PROJECT NO: 050000000

SCALE: AS NOTED

DATE: 10/03/01

DESIGNED BY: [Signature]

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ELECTRICAL LIGHTING PLAN

DATE: 10/03/01

PROJECT NO: 050000000

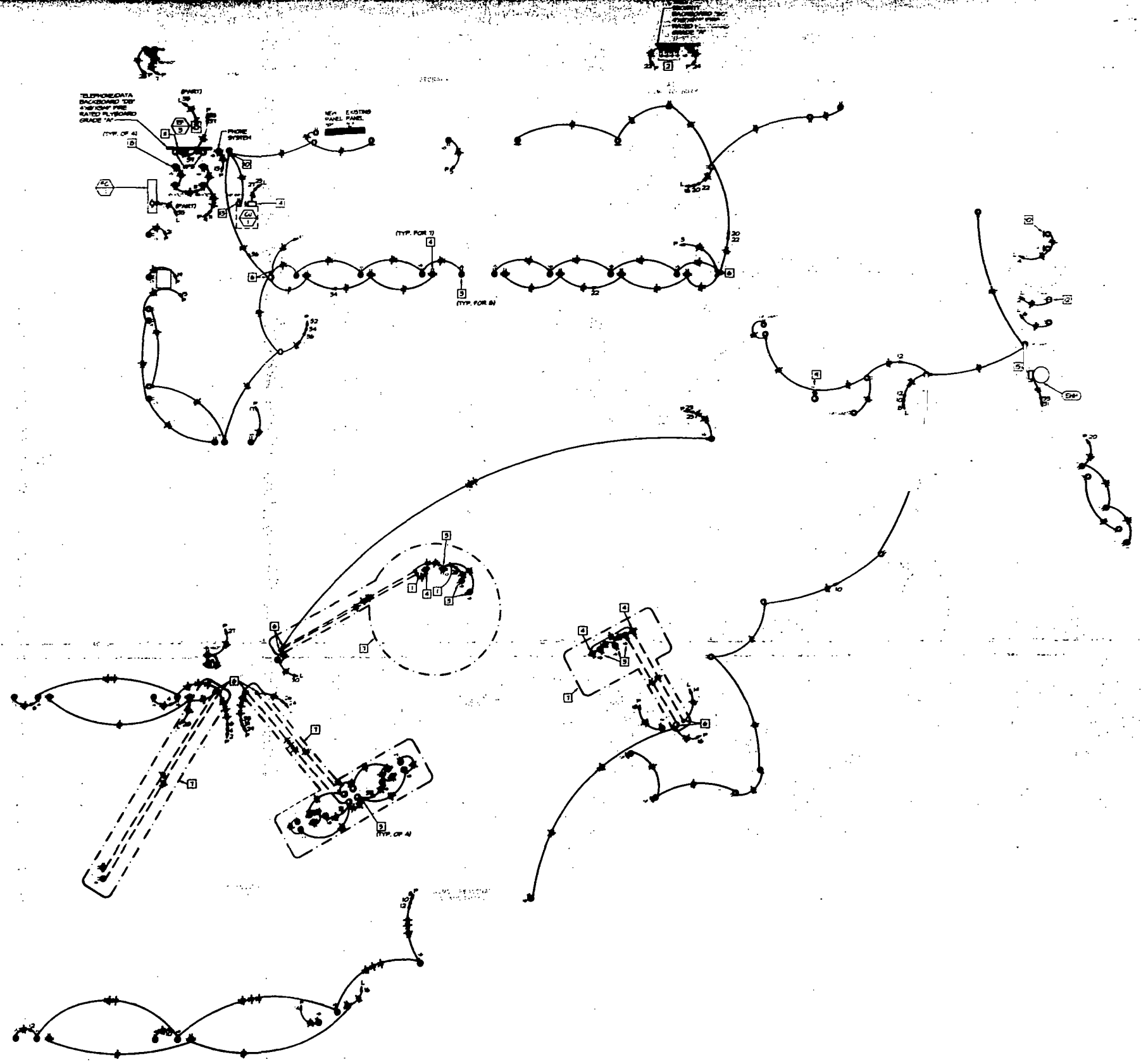
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- NOTES:**
1. DATE CONDITIONS THE OPERATING CONDITIONS WITH THE GENERAL CONTRACTOR SEE ARCHITECTURAL PLANS FOR DIMENSIONS AND LOCATION OF FLOOR CUTOUT.
 2. PROVIDE 1/2" DIA. RECEPTACLE MOUNTED AS SHOWN ON HANGING GENERAL CONTRACTOR COORDINATE EXACT LOCATION WITH OWNER PRIOR TO INSTALLATION SEE ARCHITECTURAL DETAIL FOR ACCEPTANCE REQUIREMENT.
 3. SOLATED BRIDGE RECEPTACLE ORANGE HANGERS MOUNTED WITH THE TAKEOFF AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 4. 240 RECEPTACLE MOUNTED WITH THE CASEWORK AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 5. PROVIDE 1/2" DIA. 30 AMP 2 POLE VOLTAGE SENSITIVE BREAKER MOUNTED WITH THE TAKEOFF AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 6. CHANNEL UP FLOOR AS REQUIRED FOR INSTALLATION OF CONDUIT AND WIRING PERMITTED BY THE CONDITIONS OF THE FLOORING CONTRACTOR SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 7. 240 RECEPTACLES ARE MOUNTED ON SIDE OF DATA RACKS CONDUIT TO BE ROUTED DOWN SIDE OF RACKS CONDUIT SHALL BE ON AND MOUNTING HEIGHT OF DEVICE WITH OWNER PRIOR TO INSTALLATION.
 8. PROVIDE 1/2" DIA. 30 AMP 2 POLE VOLTAGE SENSITIVE BREAKER MOUNTED WITH THE TAKEOFF AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 9. RECEPTACLE SHALL BE THROUGH SOUND FLOOR RECEPTACLE SHALL BE 5" SQUARE ALL UNLESS NOTED OTHERWISE.
 10. NO 1/2" DIA. FROM TELEPHONE DATA PANEL TO RACKS PROVIDE 5/8" DIA. RIGID CONDUIT AT 60" AFF OR HIGHER AS NOTED.
 11. PROVIDE HEATHER PROOF OF THE DUPLEX RECEPTACLE MOUNTED TO NON-REMOVABLE PANEL ON SIDE OF MECHANICAL ROOM WITH COORDINATE LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO INSTALLATION.
 12. PROVIDE 30 AMP 2 POLE VOLTAGE SENSITIVE BREAKER MOUNTED WITH THE TAKEOFF AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.
 13. PROVIDE 30 AMP 2 POLE VOLTAGE SENSITIVE BREAKER MOUNTED WITH THE TAKEOFF AT A HEIGHT DETERMINED BY THE ARCHITECT SEE ARCHITECTURAL PLANS FOR DIMENSIONS LOCATION OF FLOOR CUTOUT.

1 ELECTRICAL POWER PLAN
SCALE 1/8" = 1'-0"

NOTE:
 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FROM THE ARCHITECTURAL PLANS AND VERIFY ALL DIMENSIONS AND CONDITIONS FROM THE ARCHITECTURAL PLANS AND VERIFY ALL DIMENSIONS AND CONDITIONS FROM THE ARCHITECTURAL PLANS.



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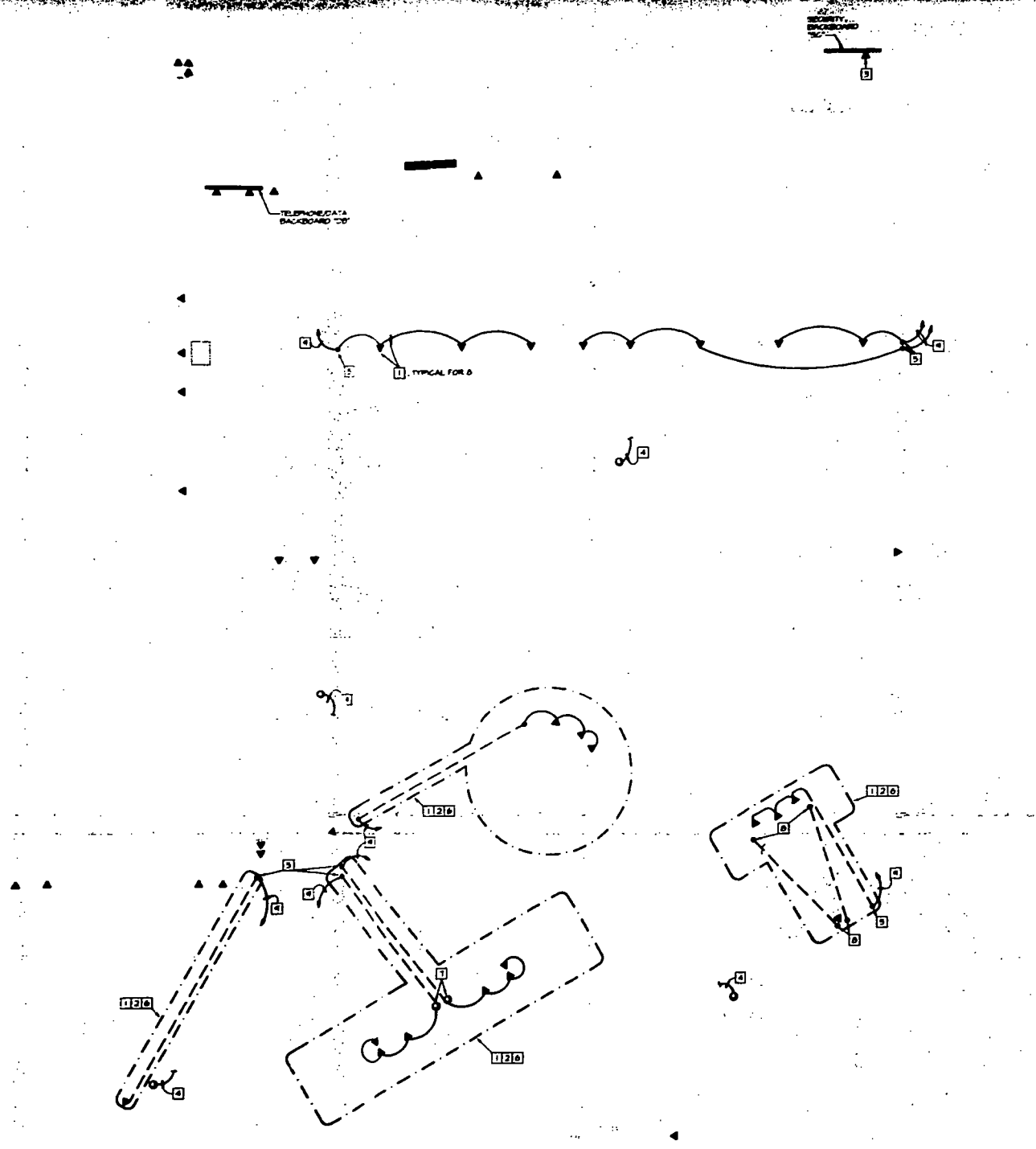
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ELECTRICAL POWER PLAN	
Sheet No.	E-2
Scale	AS NOTED
Project No.	C-500000098
Client	LAC
Date	10/03/01

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- GENERAL SIGNAL NOTES**
1. ALL CONDUIT SIGNAL TELEPHONE DATA EQUIPMENT SHALL BE INSTALLED UNLESS NOTED OTHERWISE.
 2. CONDUIT FOR CABLES MAY BE STUBBED ABOVE ACCESSIBLE CEILING WHEN PLAIN FINISHED CABLEING IS USED AND WHEN ACCEPTABLE WITH LOCAL CODES. BUSH CONDUIT ENDS.
 3. NEW SIGNAL WIRE RINGS TO EACH TELEPHONE AND DATA OUTLETS FROM RESPECTIVE PANELBOARDS.
- SIGNAL KEY NOTES**
1. ROUTE AND COORDINATE TELEPHONE COORDINATE CONDUIT ROUTE WITH THE GENERAL CONTRACTOR. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATION OF FLOOR OUTLET.
 2. CHANNEL OUT FLOOR AS REQUIRED FOR INSTALLATION OF CONDUIT PATCH FLOOR PER STRUCTURAL DETAILS. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONED LOCATION OF FLOOR OUTLET.
 3. COORDINATE TELEPHONE OUTLET WITH THE GENERAL CONTRACTOR FOR EXACT LOCATION. TELEPHONE EQUIPMENT SHALL BE INSTALLED BEFORE ROUGH-IN.
 4. TELEPHONE EQUIPMENT SHALL BE INSTALLED EXACT LOCATION WITH GENERAL CONTRACTOR.
 5. REDUCE SECTION BOX WITH HOLE TO FURNITURE MANUFACTURERS. INSTALLED AFTER SUTTER CONTRACTOR TO PROVIDE BACKGROUNDED DEVICES AND CONDUIT SHALL COORDINATE WITH GENERAL CONTRACTOR AND FURNITURE SUPPLIER PRIOR TO ROUGH-IN.
 6. CHANNEL OUT FLOOR FOR INSTALLATION OF CONDUIT FROM ACCOUNT SERVICES STATION TO WALL AS NOTED. TELEPHONE EQUIPMENT SHALL BE INSTALLED BEFORE ROUGH-IN.
 7. ROUTE IN WALL AND STUB UP ABOVE ACCESSIBLE CEILING SPACE BUSH CONDUIT END AND APP. SIGNAL.



1 ELECTRICAL SIGNAL PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 ALL CONDITIONS HERE SHOWN FROM ORIGINAL DRAWINGS & THE WORK AND MAY NOT REFLECT EXISTING FIELD CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING FIELD WORK. CONTRACTOR SHALL CAREFULLY COORDINATE WITH HOTEL AND DISCUSS WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

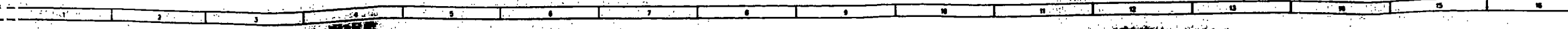


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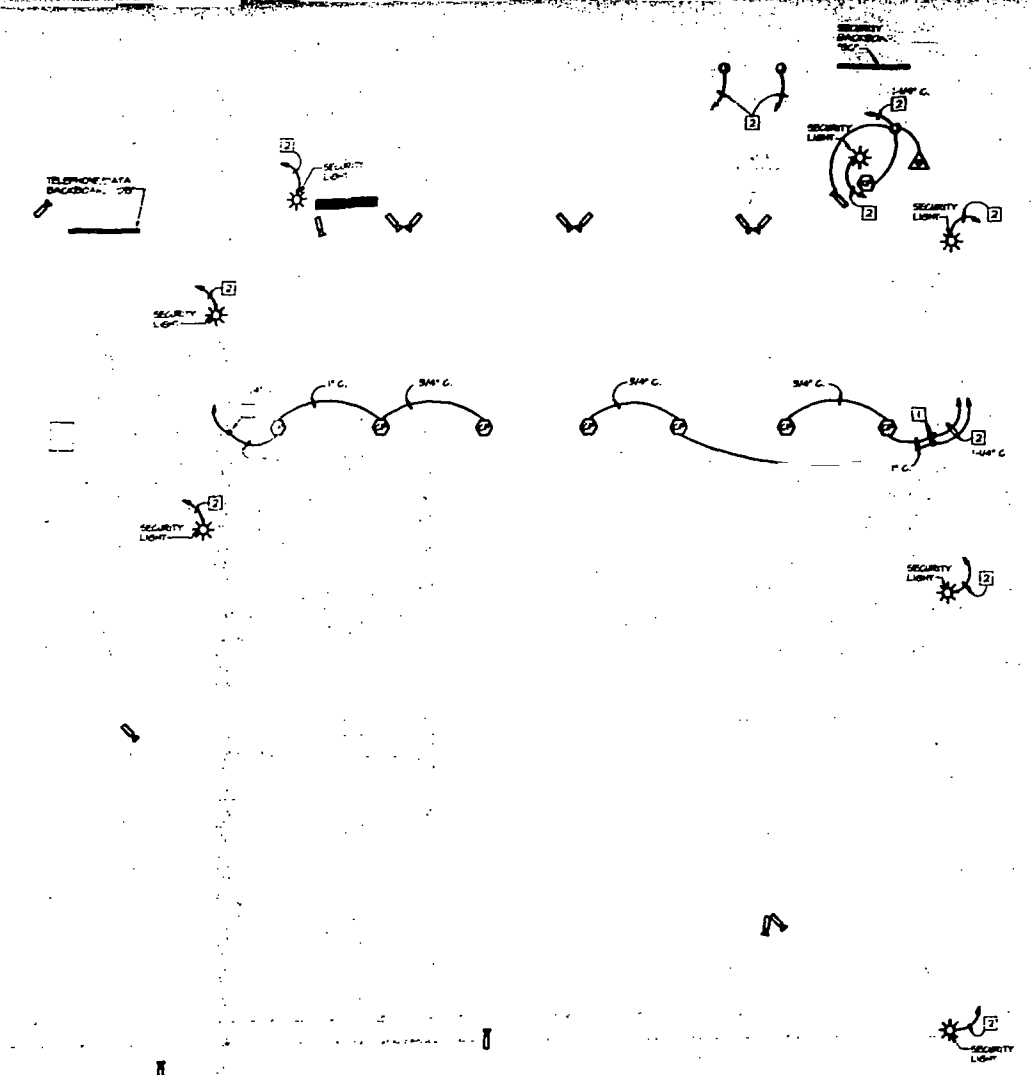
ELECTRICAL SIGNAL PLAN			
Drawn	CNC	Project No.	050000016
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Date	11/15/11	Sheet No.	E-5
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- GENERAL SECURITY NOTES:**
1. ALL WORK FOR SECURITY EQUIPMENT SHALL BE SHOWN AS NOTED OTHERWISE.
 2. THE CONTRACTOR SHALL COORDINATE WITH SECURITY CONTRACTOR FOR EXACT LOCATION OF ALL SECURITY EQUIPMENT. ADEQUATE CLEARANCES SHALL BE MAINTAINED AT ALL TIMES.
 3. THE CONDUIT SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR IN ACCORDANCE WITH THE SIZE AND QUANTITY DETERMINED BY THE SECURITY CONSULTANT CONTRACTOR.
 4. INSTALLATION AND FINAL CONNECTION OF ALL SECURITY EQUIPMENT SHALL BE DONE BY SECURITY CONTRACTOR.
 5. CONDUIT FOR CABLES SHALL BE STUBBED ABOVE ACCESSIBLE CEILING WHEN PLENUM RATES SHALL NOT BE PROVIDED AND WHEN ACCEPTABLE WITH LOCAL RULES SHALL CONDUIT ENDS BE ABOVE ACCESSIBLE CEILING.
 6. ALL SECURITY CABLES SHALL BE STUBBED ABOVE ACCESSIBLE CEILING AND SHALL BE STUBBED TO THE CENTER OF THE CABLE TRAY AND SHALL BE STUBBED TO THE CENTER OF THE CABLE TRAY.

- SECURITY KEY NOTE:**
- 1. ROUTE CONDUIT IN WALL
 - 2. ROUTE CONDUIT IN PLUMBING CHASE AND STUB UP ABOVE ACCESSIBLE CEILING
 - 3. ROUTE CONDUIT IN PLUMBING CHASE AND STUB UP ABOVE ACCESSIBLE CEILING



1 ELECTRICAL SECURITY PLAN
SCALE: 1/8"=1'-0"

NOTE:
 EXISTING CONDITIONS HERE SHOWN FROM GROUND SURVEY & FIELD VISUALS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDDING. CONTRACTOR SHALL CAREFULLY COORDINATE WITH ALL OTHER TRADES AND DISCIPLINES AND ENGINEERS CONTRACTORS.

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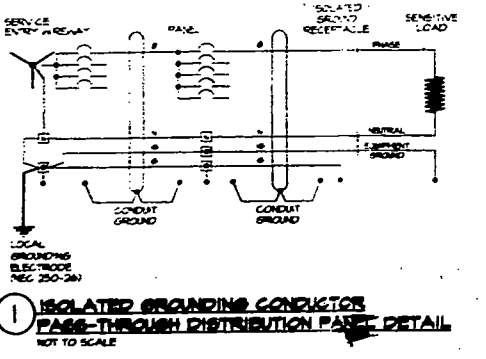
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 7575 E. Brown Road, Dayton, Ohio 45424 Telephone: (937) 488-4400

Drawing Title: **ELECTRICAL SECURITY PLAN**

Sheet No.	CNC	050000046
Checked	LAC	AS NOTED
Date	10/03/01	Sheet No. 2-4

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TYPE	MANUFACTURER	MODEL NUMBER	QUANTITY	UNIT PRICE	DESCRIPTION
A	LITONIA	2-332-A2-120-GE	10082		2 LAMP 2 STRIP INDUSTRIAL SOLID REFLECTOR WITH ELECTRONIC BALLAST. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.
B1	LITONIA	L 2 T-120-GE	10084		2 LAMP 2 STRIP INDUSTRIAL SOLID REFLECTOR WITH ELECTRONIC BALLAST. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.
C	LITONIA	2-332-A2-120-GE	10082		2 LAMP 2 STRIP INDUSTRIAL SOLID REFLECTOR WITH ELECTRONIC BALLAST. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION.
D	LITONIA	2-332-A2-120-GE-EL	10083		2 LAMP 2 STRIP INDUSTRIAL SOLID REFLECTOR WITH ELECTRONIC BALLAST AND EMERGENCY BATTERY PACK (MIN. 1 1/2 HRS.).
E	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
F	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
G	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
H	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
I	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
J	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
K	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
L	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
M	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
N	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
O	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
P	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
Q	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
R	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
S	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
T	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
U	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
V	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
W	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
X	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
Y	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.
Z	LITONIA	57-232-A2-120-GE	10085		5" DIA. TRACK MOUNTED ACCENT FIXTURE. PROVIDE UNMOUNT TRACK WITH WHITE FINISH PERIOD WITH ALL NECESSARY TRACK COMPONENTS FOR A COMPLETE SYSTEM FOR EACH HEAD.



LOAD DESCRIPTION	Connected	Demand	Demand
	kVA	FACTOR	kVA
EXISTING PEAK DEMAND (LOAD)	124.00	100%	124.00
ESTIMATED REMOVED LOAD (OLD PANEL 'L')	25.00	100%	25.00
NEW LOADS (PANEL 'P' AND PANEL 'L')			
LIGHTING	15.88	125%	19.85
RECEPTACLES	44.05	80%	35.24
KITCHEN EQUIPMENT	0.00	85%	0.00
SUPPLEMENTAL SPACE HEATING	3.60	100%	3.60
REFRIGERATION EQUIPMENT	0.00	80%	0.00
MISCELLANEOUS EQUIPMENT	4.47	50%	2.24
TOTAL SERVICE EQUIPMENT	163.90		131.09
TOTAL SERVICE CAPACITY	163.90		131.09
SPARE CAPACITY	6.24		5.00

NO.	DESCRIPTION	VOLTS/PHASE			AMP	KVA	A.C. RATINGS TO MATCH EXISTING PANEL				
		A	B	C			A	B	C		
1	TELEPHONE	1200			1	0.00					
2	TELEPHONE	1200			1	0.00					
3	TELEPHONE	1200			1	0.00					
4	TELEPHONE	1200			1	0.00					
5	TELEPHONE	1200			1	0.00					
6	TELEPHONE	1200			1	0.00					
7	TELEPHONE	1200			1	0.00					
8	TELEPHONE	1200			1	0.00					
9	TELEPHONE	1200			1	0.00					
10	TELEPHONE	1200			1	0.00					
11	TELEPHONE	1200			1	0.00					
12	TELEPHONE	1200			1	0.00					
13	TELEPHONE	1200			1	0.00					
14	TELEPHONE	1200			1	0.00					
15	TELEPHONE	1200			1	0.00					
16	TELEPHONE	1200			1	0.00					
17	TELEPHONE	1200			1	0.00					
18	TELEPHONE	1200			1	0.00					
19	TELEPHONE	1200			1	0.00					
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97	TELEPHONE	1200			1	0.00					
98	TELEPHONE	1200			1	0.00					
99	TELEPHONE	1200			1	0.00					
100	TELEPHONE	1200			1	0.00					



PERMIT #

B0304290

11

FINE UP TO \$ 250 FOR
UNAUTHORIZED PARKING

Fig. 9 (c)

Handicapped Pavement
Symbols

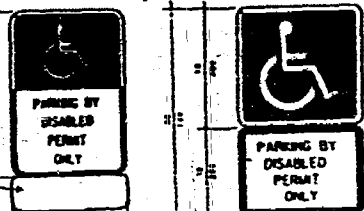


Fig. 9 (c)

Fig. 9 (d)

Handicapped Parking Signage

ENTRADA - T. ADO. JABE - 1982

B0304890
1801 ALTONI RD

11

24" stop bar (white)
1 HI stop sign
1 HI Do Not Enter

24 STOP BAR + HI SIGN

28 Regular spaces
3 Handicapped

B0803235 area of scope

OFFICE COPY

CITY OF MIAMI BEACH

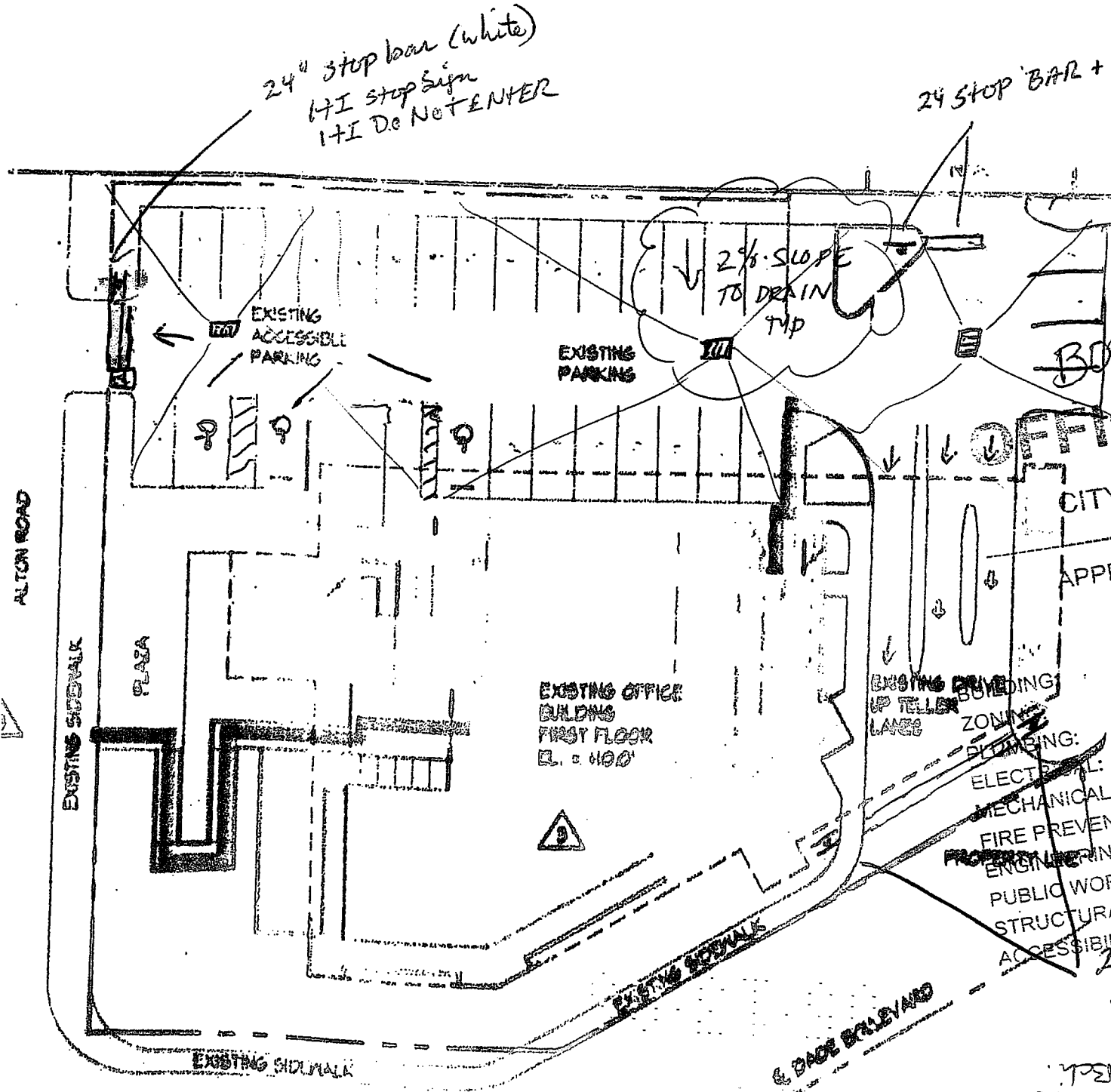
APPROVED FOR PERMIT BY
THE FOLLOWING:

05/13/08
10/13/08
17-05/13/08

- ELECTRICAL:
- MECHANICAL:
- FIRE PREVENTION:
- ENGINEERING:
- PUBLIC WORKS:
- STRUCTURAL:
- ACCESSIBILITY:

24" stop bar
2 HI stop + poles
2 Do Not Enter (HI)

PW - B. D. Jewell 10/13/08
Can file with City of Miami Bd.
This is blow-up of only permit



EXISTING OFFICE BUILDING
FIRST FLOOR
E.L. = 110.0

EXISTING BUILDING
UP TELLER
LANE

ALTON ROAD

EXISTING SIDEWALK

PLAZA

EXISTING SIDEWALK

EXISTING SIDEWALK

E. DIXIE BLVD

2 1/8% SLOPE
TO DRAIN
TYP

EXISTING
ACCESSIBLE
PARKING

EXISTING
PARKING

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

05/13/08
10/13/08
17-05/13/08

- ELECTRICAL:
- MECHANICAL:
- FIRE PREVENTION:
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- ACCESSIBILITY:

24" stop bar
2 HI stop + poles
2 Do Not Enter (HI)

PW - B. D. Jewell 10/13/08
Can file with City of Miami Bd.
This is blow-up of only permit

FROM : FEDERAL MAINTENANCE

FAX NO. : 954-975-6497

Nov. 20 2001 09:52AM P2

NOV-16-2001 10:02 AM

MEXFORJUB-NAV-SCHOOL

WS49770502

P.02

10-10-00 WED 08:00 FAX 205276307

DADE AVIATION CONSULTANTS

000

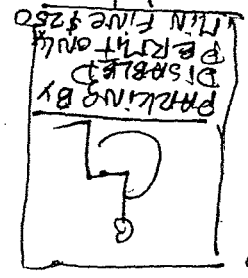
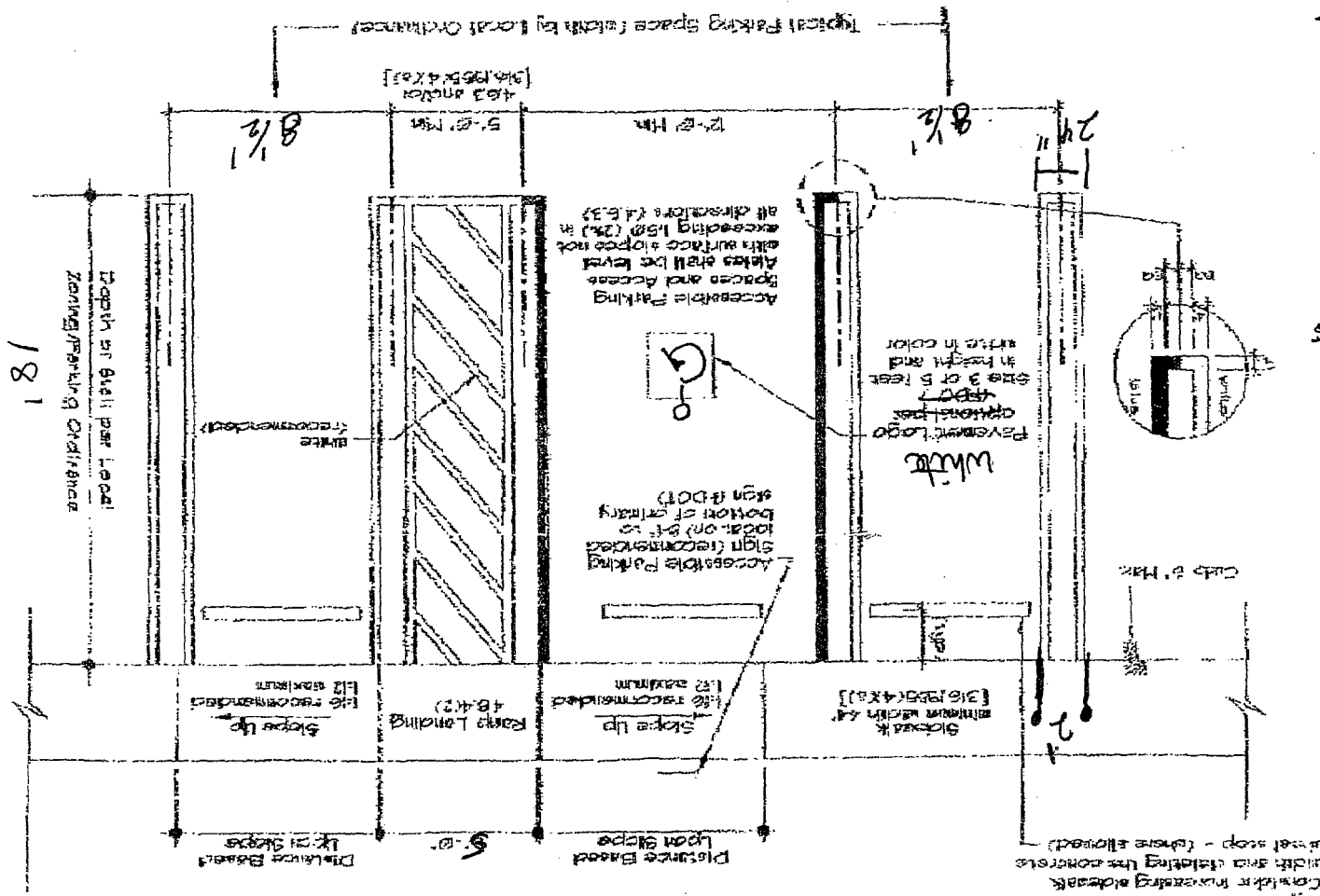
1175
9-12-04

Accessible Parking Space Complying with Florida, ADA, and Local Ordinances

Checklist of Items to Specify, etc. 72227-25

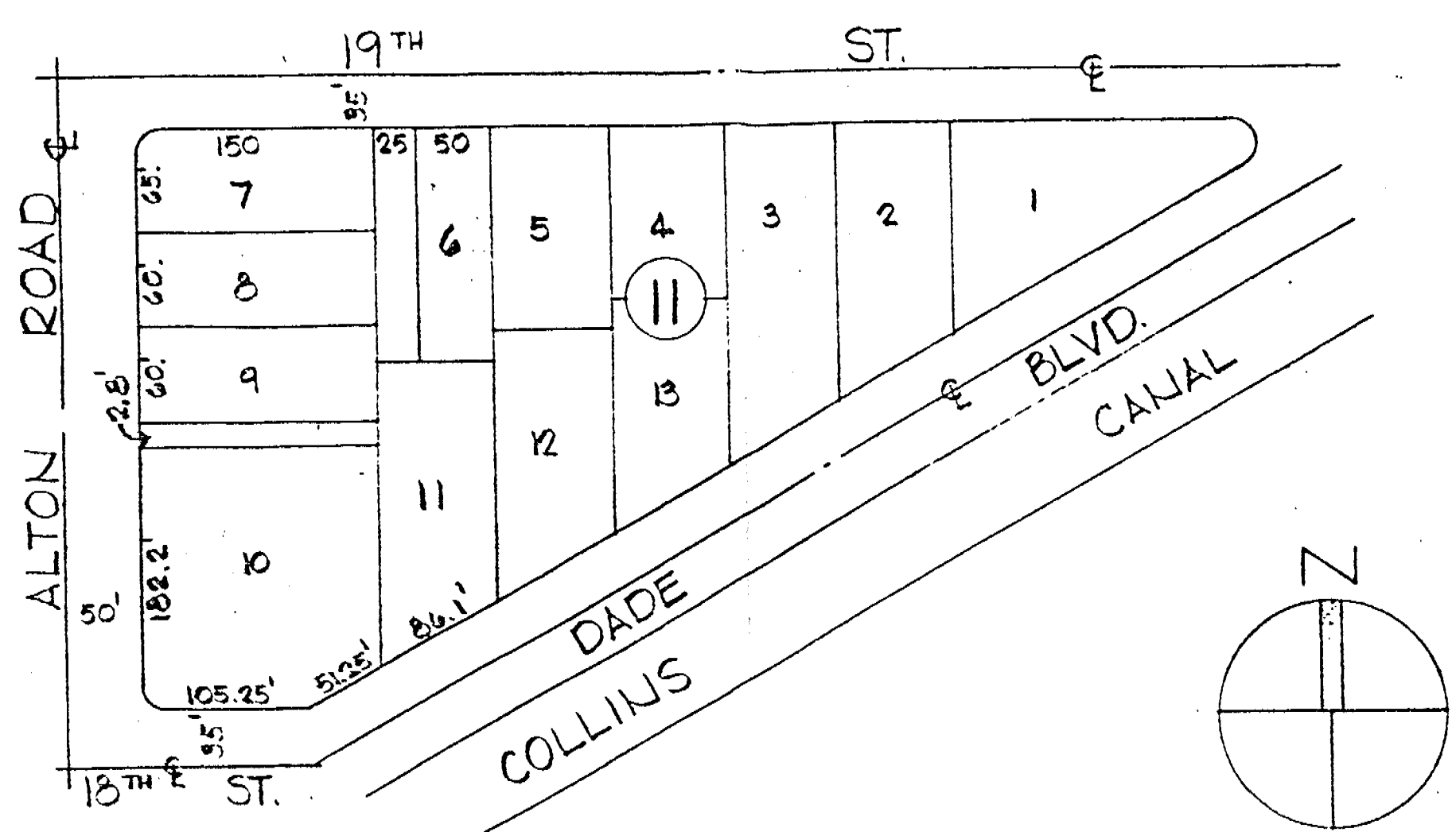
MIA-Dade County

FILE # 36.304



Handicapped
Spaces
+ Regular
12' + Regular

Preform concrete wheel stop (Typical 6" x 6" x 6")
Curb (minimum height 4" with area sloping the concrete wheel stop - (where allowed))



LOCATION MAP 1"=100'

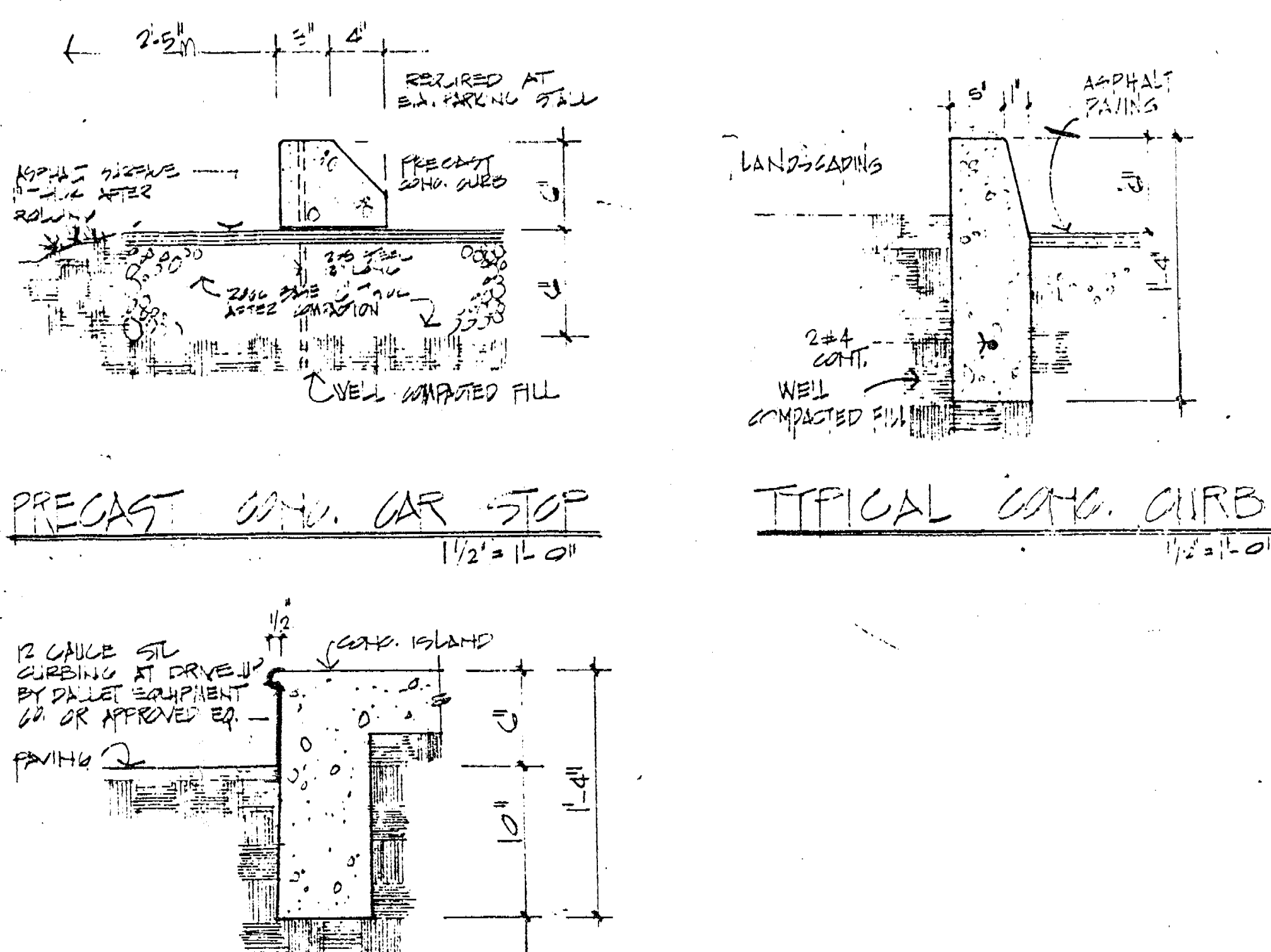
BUILDING & ZONING ANALYSIS

ADDRESS: N.E. CORNER OF ALTON ROAD AND 18TH STREET, MIAMI BEACH, FLA.
LEGAL: LOT 10 LESS THE NORTH 28 FEET PLUS LOT 11 AND THE EAST 50 FEET OF LOT 6, BLOCK 11, ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6 AT PAGE 115 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
CLASSIFICATION: C-1 (NEIGHBORHOOD BUSINESS DISTRICT)
USE: SAVINGS AND LOAN ASSOCIATION AT MAIN FLOOR AND PROFESSIONAL / BUSINESS OFFICES AT SECOND FLOOR (TWO STORY BUILDING).
LOT AREA: 47,166.08 S.F. (1.0928 ACRES) AS PER 2-1-80 SURVEY

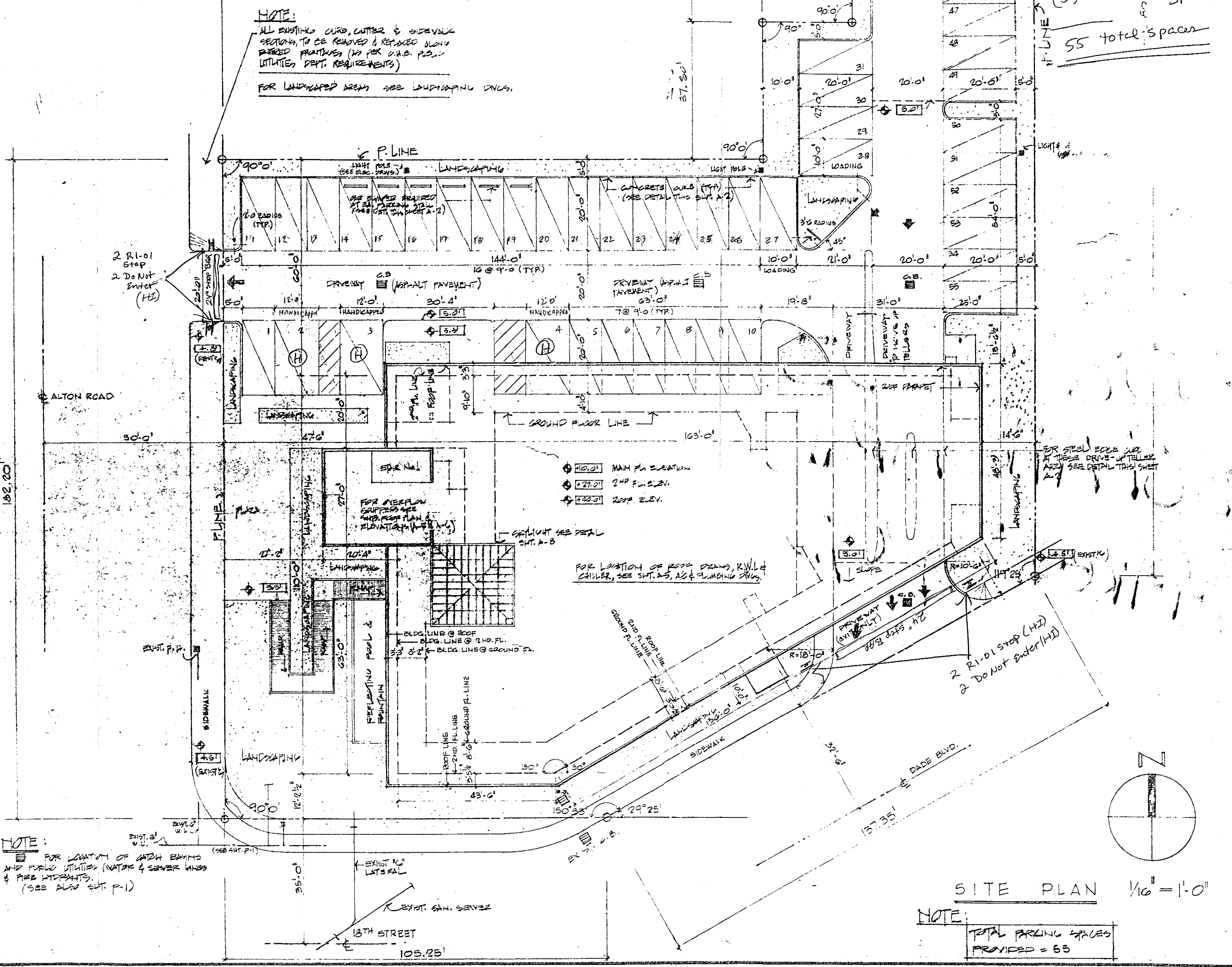
NOTICE: It is the responsibility of the permit applicant to verify the accuracy of the information provided in this analysis. The City of Miami Beach does not assume any responsibility for the accuracy of or return of these documents. All applications are subject to compliance with all applicable laws, rules, and regulations.

REQUIRED AND/OR ALLOWED	THIS PROJECT
MINIMUM LOT AREA: NONE	47,166.08 S.F. (1.0928 ACRES)
MINIMUM LOT WIDTH: NONE	182.2 L.F. (FACING ALTON RD) 105.25 L.F. (FACING 18 TH ST) 137.35 L.F. (FACING DADE BLVD) 50 L.F. (FACING 18 TH ST)
MINIMUM YARDS: NONE	FRONT: 27'-2" (ALTON RD TO BLDG) SIDES: 12'-2 1/2" (18 TH ST) 4'-0" (DADE BLVD (BLDG TO SIDEWALK)) 50'-9" (TO NORTH PROP LINE) REAR: 14'-6" (TO EAST PROP LINE)
MAXIMUM BUILDING HEIGHT: 40 FEET	35 FEET (FROM AVERAGE LEVEL OF FIN. SURFACE OF GROUND (+5'-0") TO TOP OF MAIN ROOF(+40'-0"))
MAXIMUM OVERALL HEIGHT OF ALL ITEMS: BLDG. HEIGHT PLUS 25'-0" = 65 FEET	48 FEET (FROM +5'-0" TO +51'-0")
MAXIMUM FLOOR AREA RATIO: 2.0 (TOTAL ENCLOSED AREA)	0.47 ENCLOSED AREA: 9,279.08 S.F. GROUND FLOOR: 13,563.08 S.F. SECOND FLOOR: 21,942.16 S.F.
MAXIMUM LOT COVERAGE: 100% (47,166.08 S.F.)	32% 13,563.08 S.F. (30% LEAVES) 15,049.84 S.F.
OFF-STREET PARKING: (DISTRICT NO. 1) BANKS: 1 SPACE/400 S.F. OF FLOOR AREA OFFICE BLDGS: 1 SPACE/400 S.F. OF FLOOR AREA.	21,942.16 S.F. = 54 SPACES (INCLUDING 3 FOR THE HANDICAPPED) 55 SPACES PROVIDED (INCLUDING 3 -12 FT. WIDE SPACES FOR THE HANDICAPPED W/SIGNS)
OFF-STREET LOADING: BETWEEN 10,000 & 100,000 S.F. OF FLOOR AREA	2 SPACES (10'-0" WIDE)

RAMP, RAMP SLOPES, PLATFORMS, DIMENSIONS AND RAILINGS COMPLY WITH HANDICAPPED REQUIREMENTS
 REQUIRED RESTROOMS WITH CORRIDOR WIDTHS, ROOM SIZES AND DOOR WIDTHS AND SWINGS AS PRESCRIBED IN SECTION 518 SOUTH FLORIDA BLDG. CODE, ARE PROVIDED IN BOTH FLOORS.



STEEL EDGE CURB AT DRIVE-UP TELLER AREA



NOTE:
 FOR LOCATION OF WATER MAINS AND PUBLIC UTILITIES (WATER & SEWER LINES) & FIRE HYDRANTS, (SEE ALSO SHEET P-1)

SITE PLAN 1/16"=1'-0"
NOTE:
 TOTAL PARKING SPACES PROVIDED = 55

DADE SAVINGS & LOAN ASSOCIATION
 A BANK GALLERY AT ALTON ROAD
 MIAMI BEACH, FLORIDA

isaac sklar associates p.a.
 architects planners interiors
 1335 Hialeah Road, Miami Beach, Florida, 33136
 872 8339

checked by J.C.G./J.S.	date JULY '80	project number 7908
scale AS SHOWN	drawn by D.D./M.L./J.C.G.	date JULY '80

These drawings and copies thereof furnished by the architect are his property. They are not to be used on other work and are to be returned upon demand at the completion of work. If this drawing or any part thereof is used in any manner without the consent of the architect the user thereof incurs liability to the architect for full compensation.

24" stop bar (white)
1 HI stop sign
1 HI DO NOT ENTER

24 STOP BAR + HI SIGN

28 Regular spaces
3 Handicapped

B0803235
OFFICE COPY
CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

- BUILDING:
- ZONING:
- DRB/HPB:
- CONCURRENCY:
- PLUMBING:
- ELECTRICAL:
- Mechanical:
- FIRE PREVENTION:
- ENGINEERING:
- PUBLIC WORKS:
- STRUCTURAL:
- ACCESSIBILITY:
- LEVATOR:

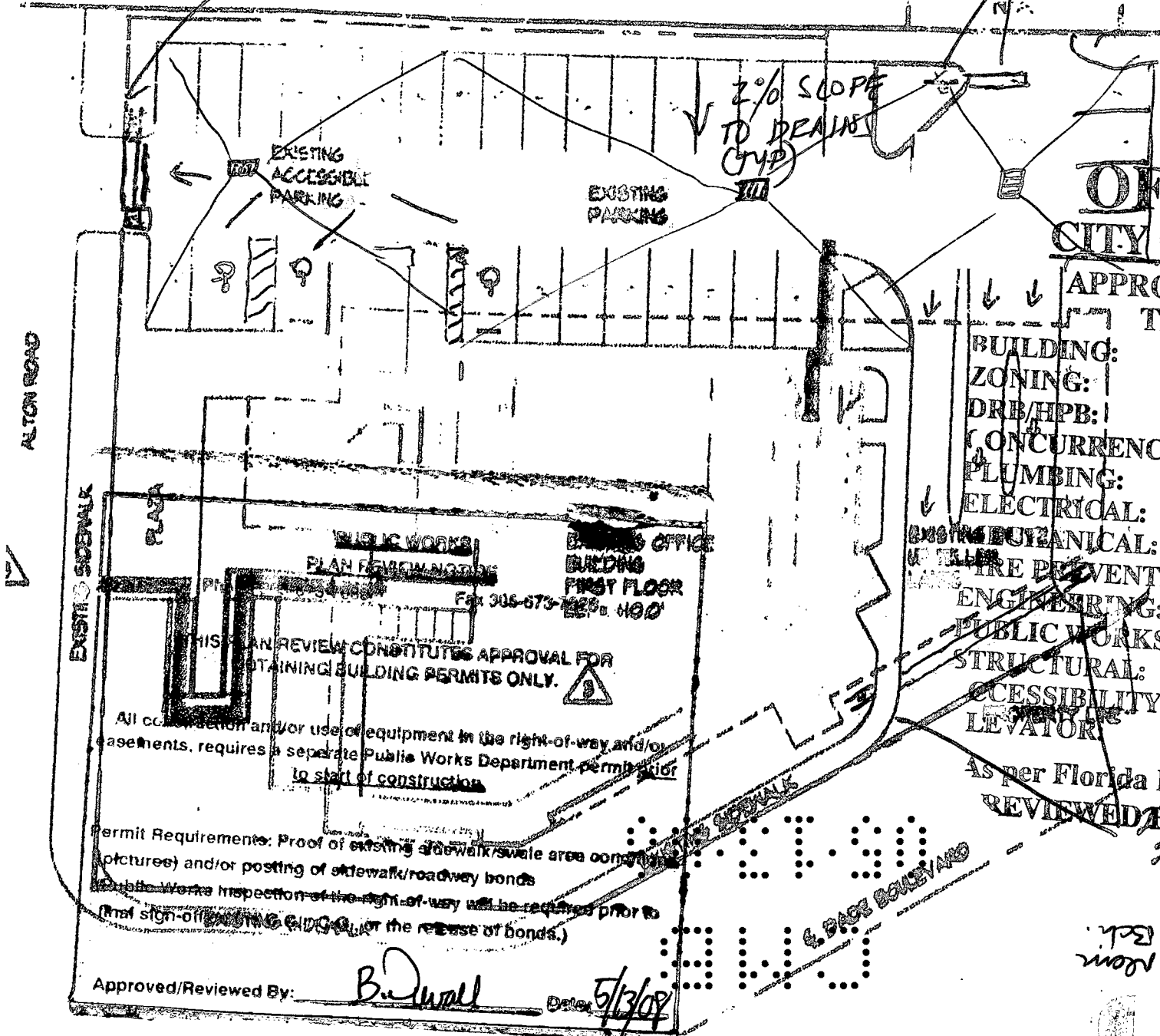
05/13/08
12/05/13/08
SEE Attached Site Plans

B. Duran 5/13/08

As per Florida Building Code Section 104.10
REVIEWED FOR CODE COMPLIANCE

2 HI STOP SIGN
2 DO NOT ENTER

fw-B. Duran 10/15/08
on file with City Miami Bch.
This is blow-up of original plan.

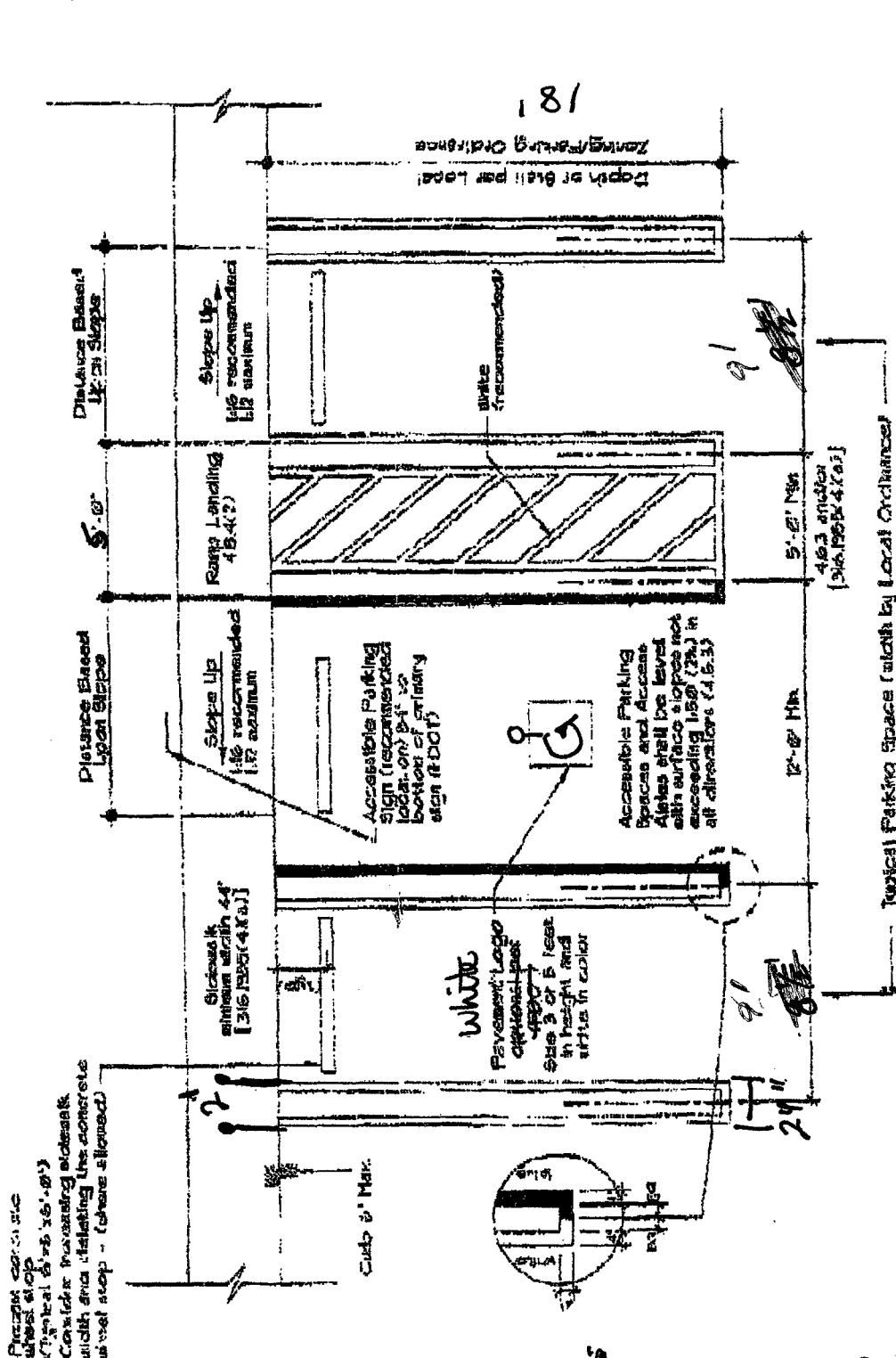


THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit prior to start of construction.

Permit Requirements: Proof of existing sidewalk/swale area conditions (pictures) and/or posting of sidewalk/roadway bonds for Public Works inspection of the right-of-way will be required prior to final sign-off (including EDP/CAD or the release of bonds.)

Approved/Reviewed By: B. Duran Date: 5/13/08



Prevent concrete wheel stop
 Typical 6" x 6" x 6" (6")
 Consider increasing sidewalk width and installing the concrete wheel stop - (where allowed)

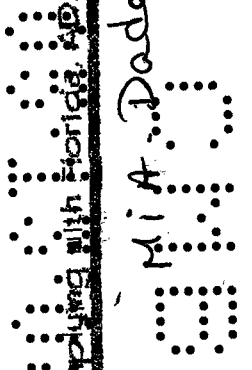
12' and 18' + Regular Spaces

18' x 12' PARKING BY DISABLED PERMIT ONLY MIN FINE \$250

Accessible Parking Space Complying with Florida, ADA, and Local Ordinances

PREP III 36.304

MIA: Dade County



N72
 9.12.01



BEACH

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, www.miamibeachfl.gov

BUILDING Records
Tel: 305-673-7000 ext 4249, Fax: 786-394-4042

RECORDS REQUEST FORM

MS. MARCEL C. GUIDO

Name: FIVE STAR SEALING & PAVING INC. Date: 3/31/08

Property Address: WASHINGTON MUTUAL BANK
1801 ALTON ROAD Miami Beach, FL 33139 Suite/Type: _____

Phone # 305) 289-3210 Fax # 305) 279-4760 Email MARCEL@COMCAST.NET

Please allow 10-15 business days for processing.
Completed requests must be picked up within 10 business days after notification.

Microfilm hours: Monday- Friday from 8:00 am to 12:00 pm, and 1:00 pm to 4:00 pm.

Microfilm copies are \$1.00 per sheet.
Building Card copies are .15 cents a copy.
Photocopies are .15 cents a copy.

Please check off item, or items needed:

- | | | |
|--|--|---|
| <input checked="" type="checkbox"/> Survey/Site Plan | <input type="checkbox"/> Foundation Plan | <input type="checkbox"/> Copy of Permit Application |
| <input type="checkbox"/> Orig Construction Plan | <input type="checkbox"/> Elevation Plan | Permit #: _____ |
| <input type="checkbox"/> Floor Plan | <input type="checkbox"/> Building Card | Folio #: _____ |
| <input type="checkbox"/> Structural Plan | <input type="checkbox"/> Mechanical Plan | Other, explain: <div style="border: 1px solid black; width: 150px; height: 80px; display: inline-block;"></div> |
| <input type="checkbox"/> Electrical Plan | <input type="checkbox"/> Plumbing Plan | |

Comments (For Office Use Only):

NEED TO ATTACH TO PERMIT APPLICATION FOR
RESURFACING PARKING LOT.
THANK YOU!

new
② ②
00 000029 1-00 76-
00 200287 6-2 28
091 00043 NF

B0803225

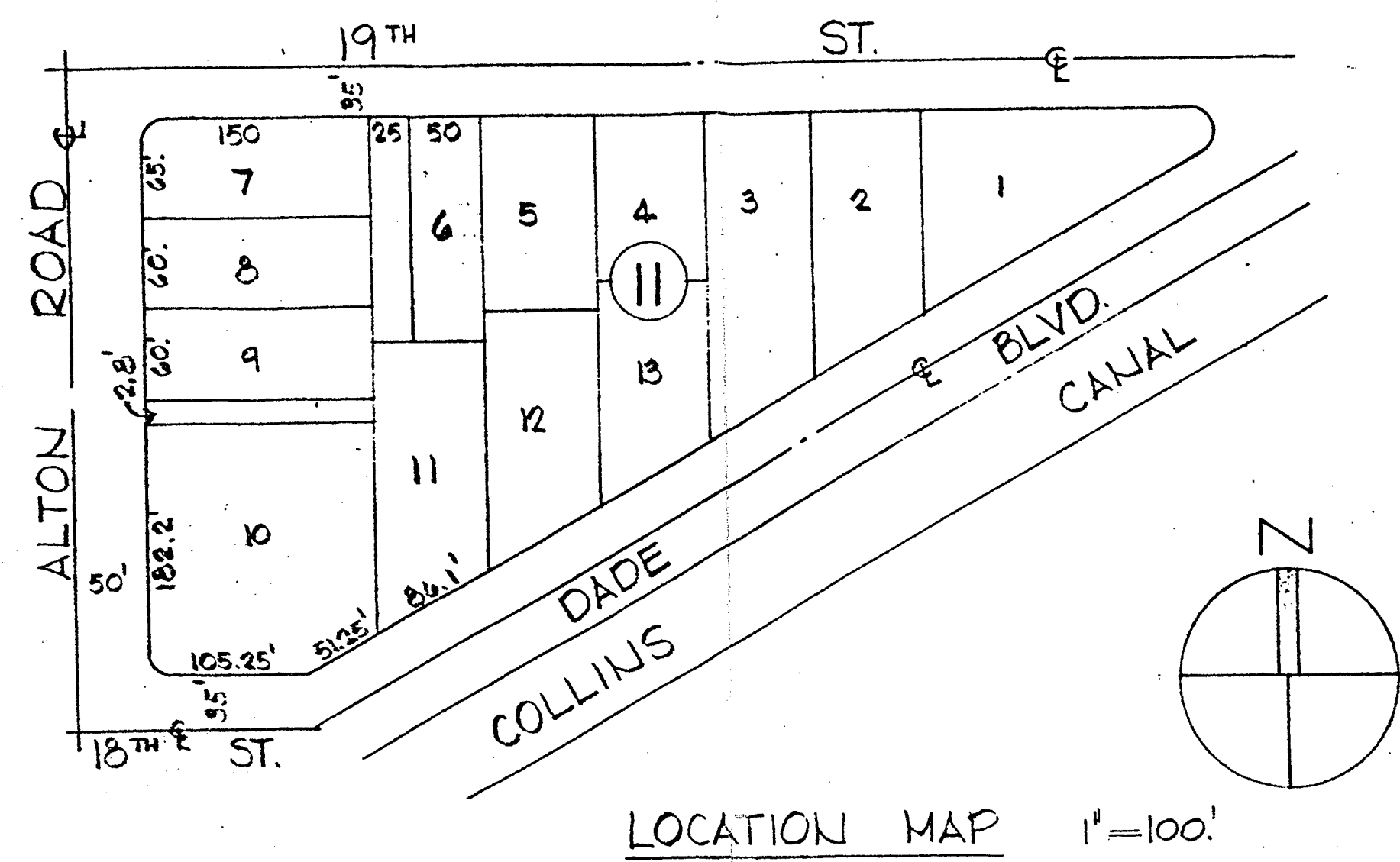
BUDG ~~05/13/08 JP~~

PLUMB: B 05/13/08 (NA)

PW - B. Duval 5/13/08

02.13.00

CWB



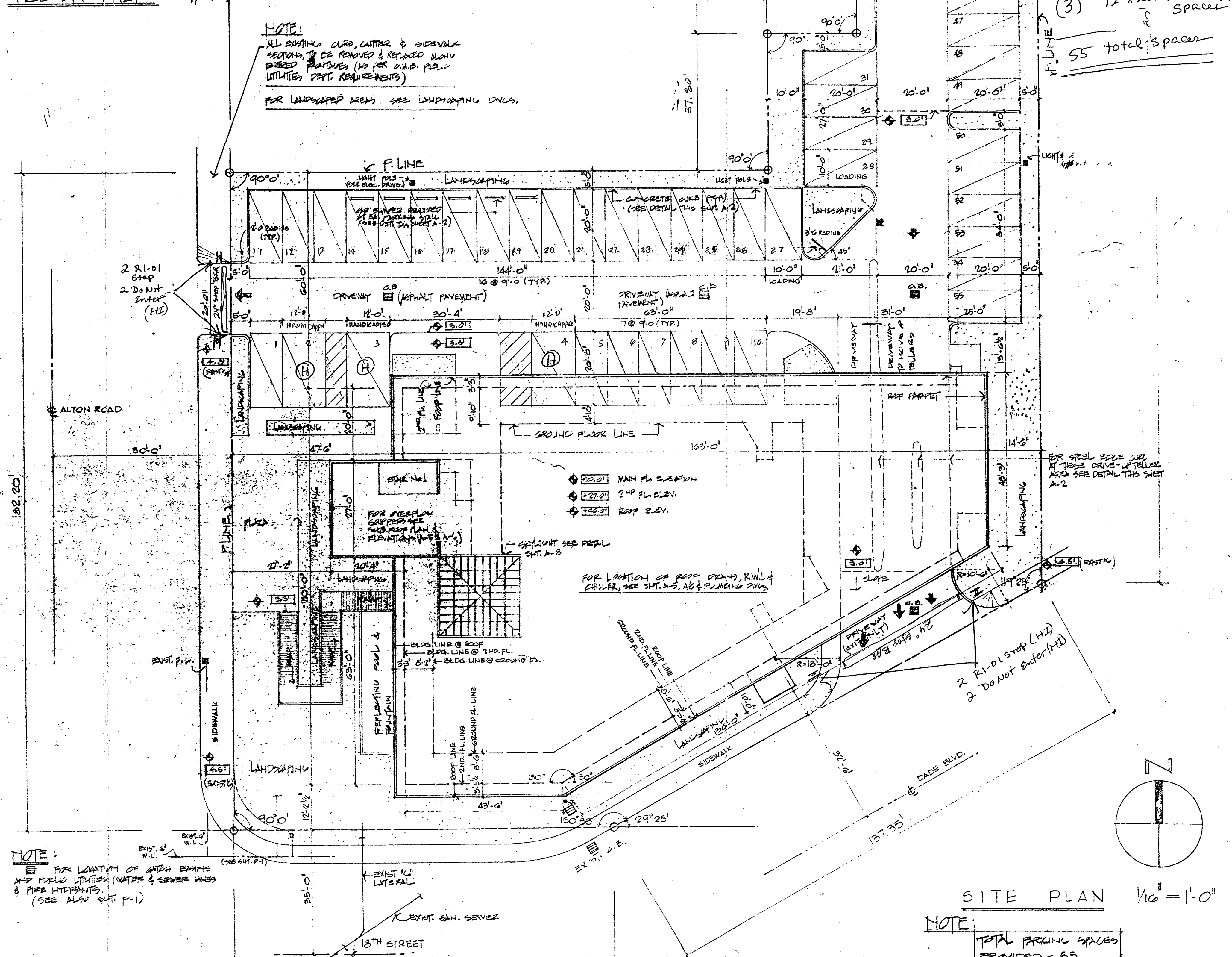
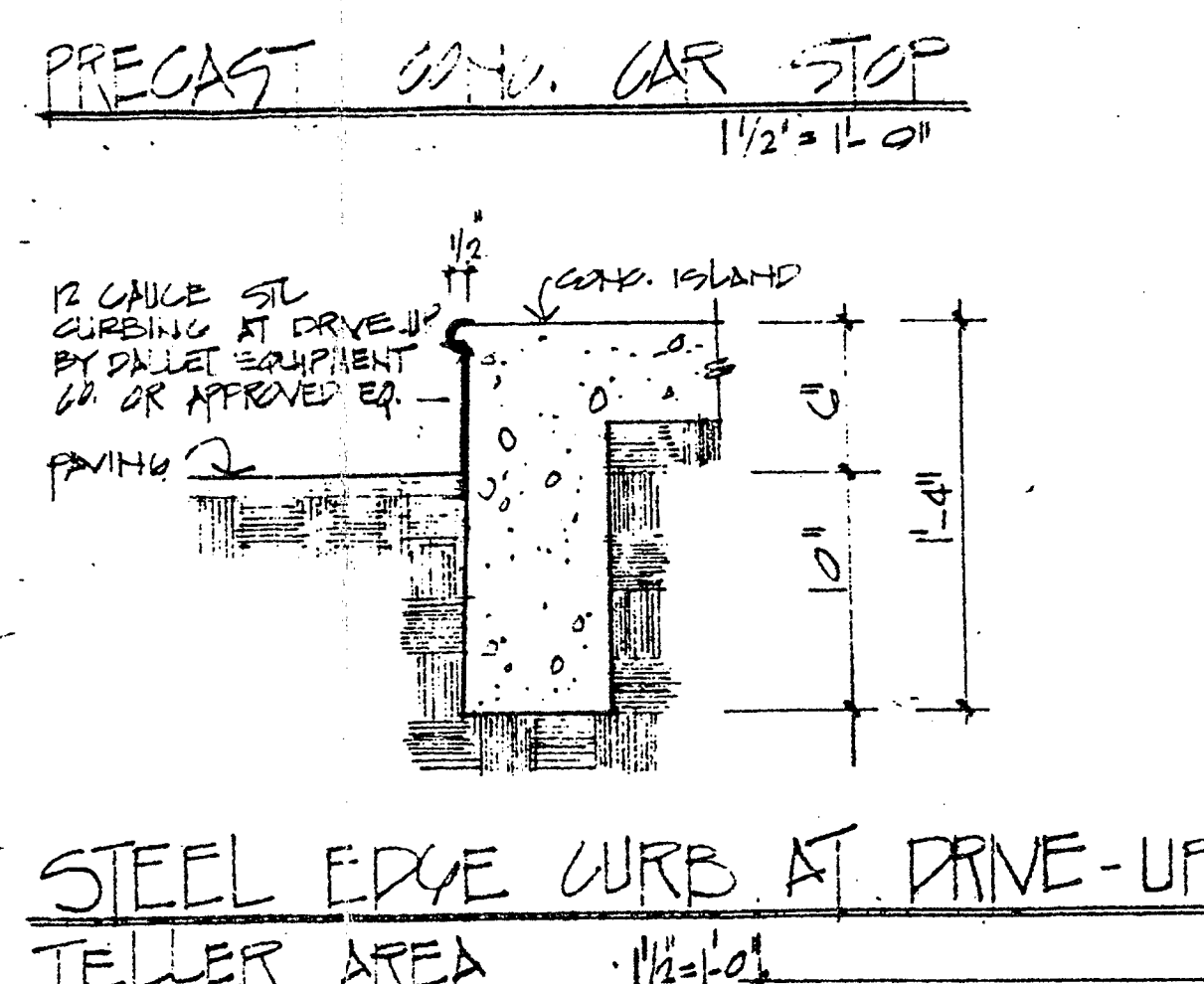
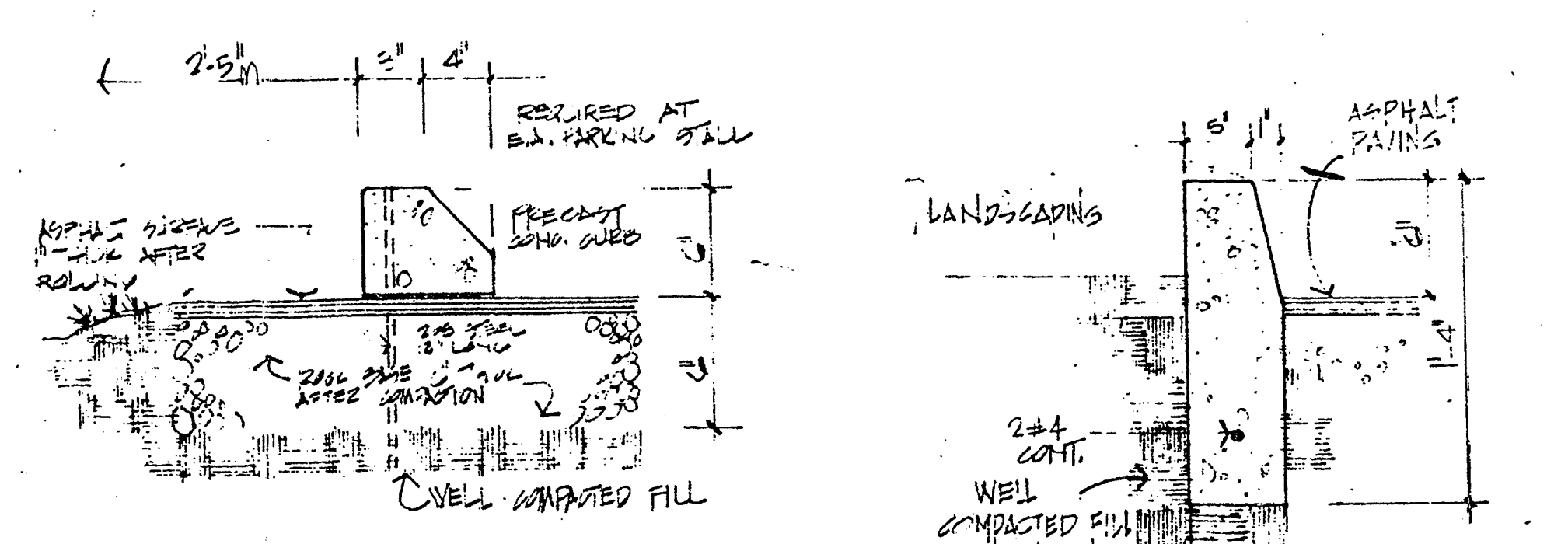
BUILDING & ZONING ANALYSIS

ADDRESS: N.E. CORNER OF ALTON ROAD AND 18TH STREET, MIAMI BEACH, FLA.
LEGAL: LOT 10 LESS THE NORTH 2.8 FEET PLUS LOT 11 AND THE EAST 50 FEET OF LOT 6, BLOCK 11, ISLAND VIEW SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 6 AT PAGE 115 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.
CLASSIFICATION: C-1 (NEIGHBORHOOD BUSINESS DISTRICT)
USE: SAVINGS AND LOAN ASSOCIATION AT MAIN FLOOR AND PROFESSIONAL / BUSINESS OFFICES AT SECOND FLOOR (TWO STORY BUILDING).
LOT AREA: 47,166.08 S.F. (1.0828 ACRES) AS PER 2-1-90 SURVEY

NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the City Records of Dade County, and there may be additional permits required in other jurisdictions such as water management districts, fire department, and other agencies.
 One of Island Beach agrees no responsibility for accuracy of or scale from these plans which are approved subject to compliance with all applicable State and Local Laws, Rules, and Regulations.

REQUIRED AND/OR ALLOWED	THIS PROJECT
MINIMUM LOT AREA: NONE	47,166.08 S.F. (1.0828 ACRES)
MINIMUM LOT WIDTH: NONE	182.2 L.F. (FACING ALTON RD) 105.25 L.F. (FACING 18 TH ST.) 50 L.F. (FACING DADE BLVD)
MINIMUM YARDS: NONE	FRONT: 27'-2" ALTON RD TO BLDG SIDES: 12'-2 1/2" 18 TH ST. 4'-0" DADE BLVD (BLDG TO SIDEWALK) 58'-9" (TO NORTH PROP LINE) REAR: 14'-6" (TO EAST PROP LINE)
MAXIMUM BUILDING HEIGHT: 40 FEET	35 FEET (FROM AVERAGE LEVEL OF FIN. SURFACE OF GROUND (+5'-0") TO TOP OF MAIN ROOF (+40'-0"))
MAXIMUM OVERALL HEIGHT OF ALL ITEMS: BLDG. HEIGHT PLUS 25'-0" = 65 FEET	46 FEET (FROM +5'-0" TO +51'-0")
MAXIMUM FLOOR AREA RATIO: 2.0 (TOTAL ENCLOSED AREA) = 2 X 47,166.08 S.F. = 94,332.16 S.F.	0.47 ENCLOSED AREAS GROUND LEVEL: 9,279.08 S.F. SECOND FLOOR: 13,663.08 S.F. 21,942.16 S.F.
MAXIMUM LOT COVERAGE: 100% (47,166.08 S.F.)	32% 13,663.08 S.F. 130,855 S.F. (LEAVES) 15,049.54 S.F.
OFF-STREET PARKING: (DISTRICT NO. II) BANKS: 1 SPACE/400 S.F. OF FLOOR AREA OFFICE BLDGS: 1 SPACE/400 S.F. OF FLOOR AREA.	21,942.16 S.F. 55 SPACES PROVIDED (INCLUDING 3 FOR THE HANDICAPPED)
OFF-STREET LOADING: BETWEEN 10,000 & 100,000 S.F. OF FLOOR AREA	2 SPACES (10'-0" WIDE)

RAMP, RAMP SLOPES, PLATFORMS, DIMENSIONS AND RAILINGS COMPLY WITH HANDICAPPED REQUIREMENTS REQUIRED RESTROOMS WITH CORRIDOR WIDTHS, ROOM SIZES AND DOOR WIDTHS AND SWINGS AS PRESCRIBED IN SECTION 516 SOUTH FLORIDA BLDG. CODE, ARE PROVIDED IN BOTH FLOORS.



NOTE: FOR LOCATION OF SAND EMBANKING AND PUBLIC UTILITIES (WATER & SEWER LINES) & TREE INTERFERENCES (SEE ALSO SHEET P-1)

SITE PLAN 1/8" = 1'-0"
NOTE: TOTAL PARKING SPACES PROVIDED = 65

These drawings were prepared by the architect and are his property and are not to be used on other work and are to be returned upon demand of the completion of work. If this drawing or any part thereof is used in any manner without the consent of the architect, the user thereof becomes indebted to the architect for full compensation.

DADE SAVINGS & LOAN ASSOCIATION
 A BANK GALLERY AT ALTON ROAD
 MIAMI BEACH, FLORIDA

isaac sklar associates p.a.
 architects planners interiors
 1335 Nizkor Road, Miami Beach, Florida, 33136 872 8896

checked by J.O.G./I.S.	date July '80	project number 7908
scale AS SHOWN	drawn by C.O./M.G./J.S.	date July '80

B0803235
1801 Altam RD
Office Copy

B0803235

INTERPLAN LLC

933 LEE ROAD, FIRST FLOOR
ORLANDO, FL 32810
PH 407.645.5008
FX 407.629.9124

June 12, 2009

City of Miami Beach
1700 Convention Center Drive
Miami, FL 33139

Reference: Chase #1742 – Miami Beach Alton Road
1801 Alton Road, Miami Beach, FL 33139
Permit #B0902923
IP #002009.0109.00
Change of Architect of Record

To Whom It May Concern:

Please accept this letter as record for Change of Architect for Permit # B0902923. The original Architect of Record was Louise Craver AR #0012641 and will now be transferred to Harvey Jacoby AR #6016.

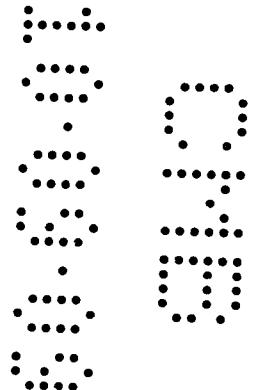
Both architects are employed with Interplan, LLC.

Please feel free to contact me if you have any questions or require additional information.

Sincerely,
INTERPLAN LLC


Harvey Jacoby
Architect/Vice President

cc: G. Neblock/IP File
L. Martin
W. Baker
M. Boo



INTERPLAN

933 LEE ROAD, FIRST FLOOR
ORLANDO, FL 32810
PH 407.645.5008
FX 407.629.9124

August 26, 2009

Herminia Perez
City of Miami Beach
1700 Convention Center Drive
Miami, FL 33139

Reference: Chase #1742 – Miami Beach Alton Road
1801 Alton Road, Miami Beach, FL 33139
Permit #B0902923
IP #002009.0109.00
Response to Comments

Dear Ms. Perez:

Please accept the following responses to comments dated July 8, 2009 along with the revised drawings as official changes to the construction documents previously submitted. Changes to the drawings that pertain to these Building Department Comments have been clouded with Revision 4, 7-28-09, PERMIT COMMENTS. Further, since drawings were last submitted for review and approval, there are final plan revisions that have been made to incorporate Owner prototype updates. A sheet by sheet summary of changes has been included below the Building Department comments and our responses for your ease of reference and review.

ENGINEERING – Herminia Perez:

- Comment:** Interior remodel of existing bank Building Value as per Miami-Dade County property appraisal is \$998,722.00 Total of improvements including this project (\$125,000.00) from 5/22/1999 thru 5/22/2009 is \$787,500.00. Total of improvements is a 78.9% Building value. As per FEMA regulation this project is a substantial improvement (more than 50% Building Value). To confirm that this project is not substantial please provide the following: A-COST APPROACH APPRAISAL (replacement cost of the building as new minus a depreciation percentage based on age and condition). B-DETAILED BREAKDOWN (MEP, windows & doors, finishes, etc) signed by the contractor and notarized. After the submission of documents stated above, project is determine to be a substantial improvement, the existing building must meet the requirements for new construction, and more comments will apply.

Response: **Please refer to attached Elevation Certificate which shows the top of the bottom floor at ten feet (10') and the base flood elevation at eight feet (8'). As stated during a telephone conversation with Mohsen Jarahpour on August 10, 2009, this provided information negates the need for an appraisal and satisfies the FEMA regulation.**

INTERPLAN LLC

Chase # - 1742

1801 Alton Road, Miami Beach, FL 33139

August 26, 2009

Page 2

2. **Comment:** Addition to the above requirements, the engineering section requires: - Please provide Elevation Certificate of the existing structure. Please provide Finish floor elevations on floor plans and elevation sheets, elevation shall be base upon NATIONAL GEODATIC VERTICAL DATUM OF 1929 (NGVD 1929). Please call Herminia Perez (305) 673-7000 extension 6165.
- Response:** Please refer to attached Elevation Certificate and revised floor plan and interior elevations which now show interior and exterior elevations.
3. **Comment:** DERM final approval.
- Response:** DERM final approval stamp is on the back of the last page of the plan sets submitted as part of this package.
4. **Comment:** DERM Water and Sewer allocation letter - WASD Ordinance 89-95 compliance form.
- Response:** A DERM sewer allocation letter is not required as there is no change in occupant, only a corporate name change is transpiring from Washington Mutual to Chase Bank.

Summary of Owner Prototype Changes:

A0.0A – Responsibility Schedule:

- Clarification made for who is responsible for supplying and installing the Queue ropes and large cash vault.

A0.0B – Phasing Plan:

- Clarification made for phases of construction.

A1.0 – Demolition Floor Plan:

- Modifications to exterior wall at ATM Room 102
- Modification to floor tile in Lobby and in front of Teller Line
- Removal of Concierge in Lobby
- Removal of Account services desks
- Removal of Investment Focal counter
- Relocate fire extinguisher cabinet
- Addition of wall behind Teller Line

A1.0A – Demolition Ceiling Plan:

- Removal of ceiling tile and fixtures in front entrance
- Removal of Concierge circular soffit and ceiling
- Modification to ceiling grid behind Teller Line
- Removal of track lights
- Modification of existing pendant lights

A1.1 – Floor Plan, A1.2-Finish Plan, & A1.3-Furniture Plan:

- Modification to number and location of Desks

INTERPLAN LLC

Chase # – 1742
1801 Alton Road, Miami Beach, FL 33139
August 26, 2009
Page 4

A3.1 – Interior Elevations, Sections, and Details

- Modifications to Teller Soffit detail #1
- Modifications to Teller Line Elevations detail #2
- Modifications to Teller Line Section detail #3
- Modifications to ATM elevations detail #5
- Removed proposed Package Receiver (added with Owner Changes – Rev 2, removed with Owner Changes – Rev 3)

A3.2 – Interior Elevations, Sections, and Details

- Added Branch Managers Office Elevations and Details
- Removed proposed Package Receiver (added with Owner Changes – Rev 2, removed with Owner Changes – Rev 3)

M1.0 – HVAC Floor Plan:

- Modifications to HVAC plan due to Floor Plan changes.

E1.0 – Electrical Plan - Lighting:

- Modifications to Lighting plan due to Floor Plan changes.

E2.0 – Electrical Plan - Power:

- Modifications to Power plan due to Floor Plan changes.

E3.0 – Electrical Plan - Systems:

- Modifications to Systems plan due to Floor Plan changes.

Please feel free to contact me if you have any questions or require additional information. I can coordinate a conference call with the Architectural and/or MEP Project Managers should the need arise.

Sincerely,

INTERPLAN LLC

*Cards for
Heather Johnston*

Heather Johnston
Permit Manager/Site Development

Attachments

G. Neblock / File, Interplan, LLC
L. Martin, Interplan, LLC
W. Baker, Interplan, LLC
M. Boo, Interplan, LLC

INTERPLAN LLC

933 LEE ROAD, FIRST FLOOR
ORLANDO, FL 32810
PH 407.645.5008
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June 12, 2009

City of Miami Beach
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Reference: Chase #1742 – Miami Beach Alton Road
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Sincerely,
INTERPLAN LLC



Harvey Jacoby
Architect/Vice President

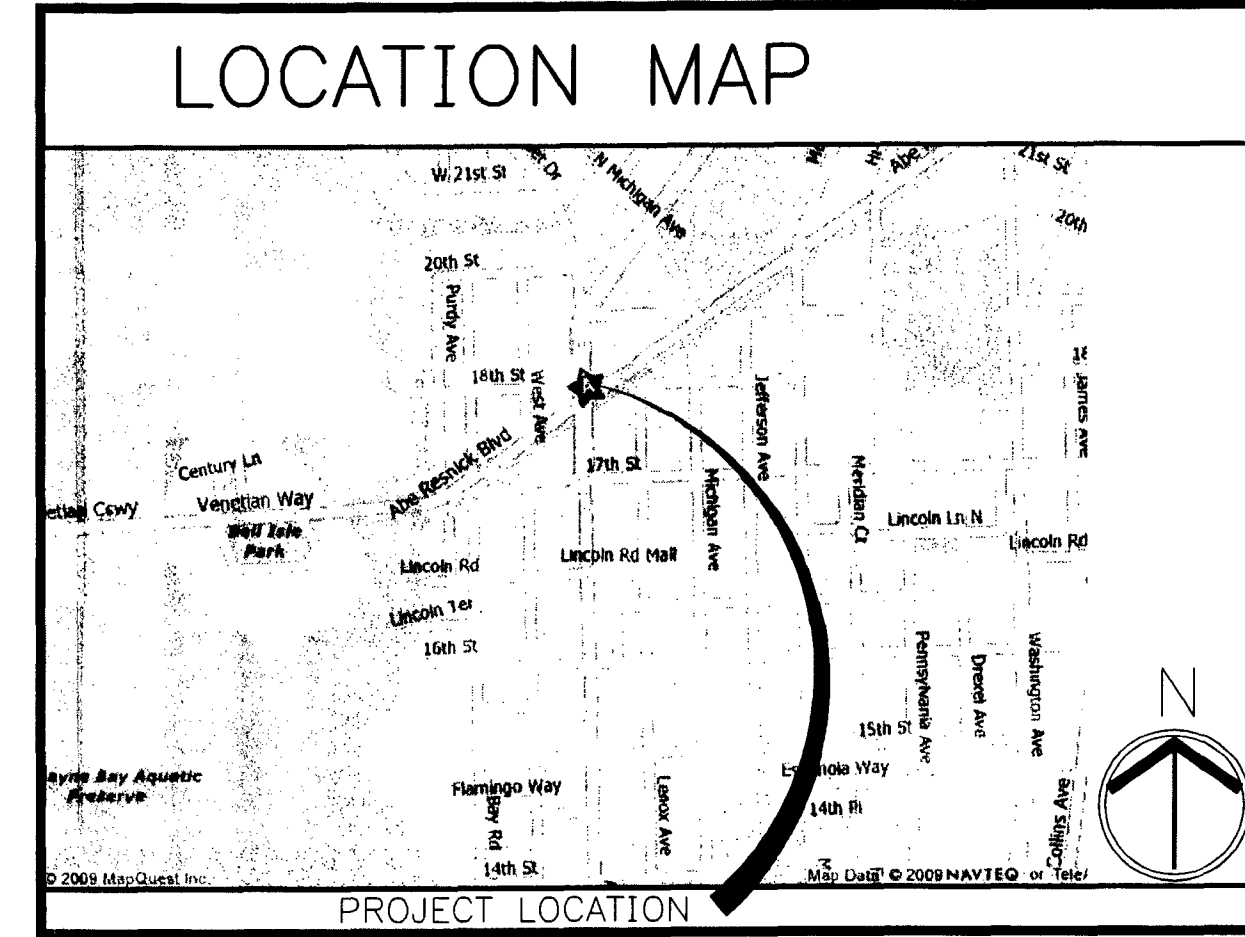
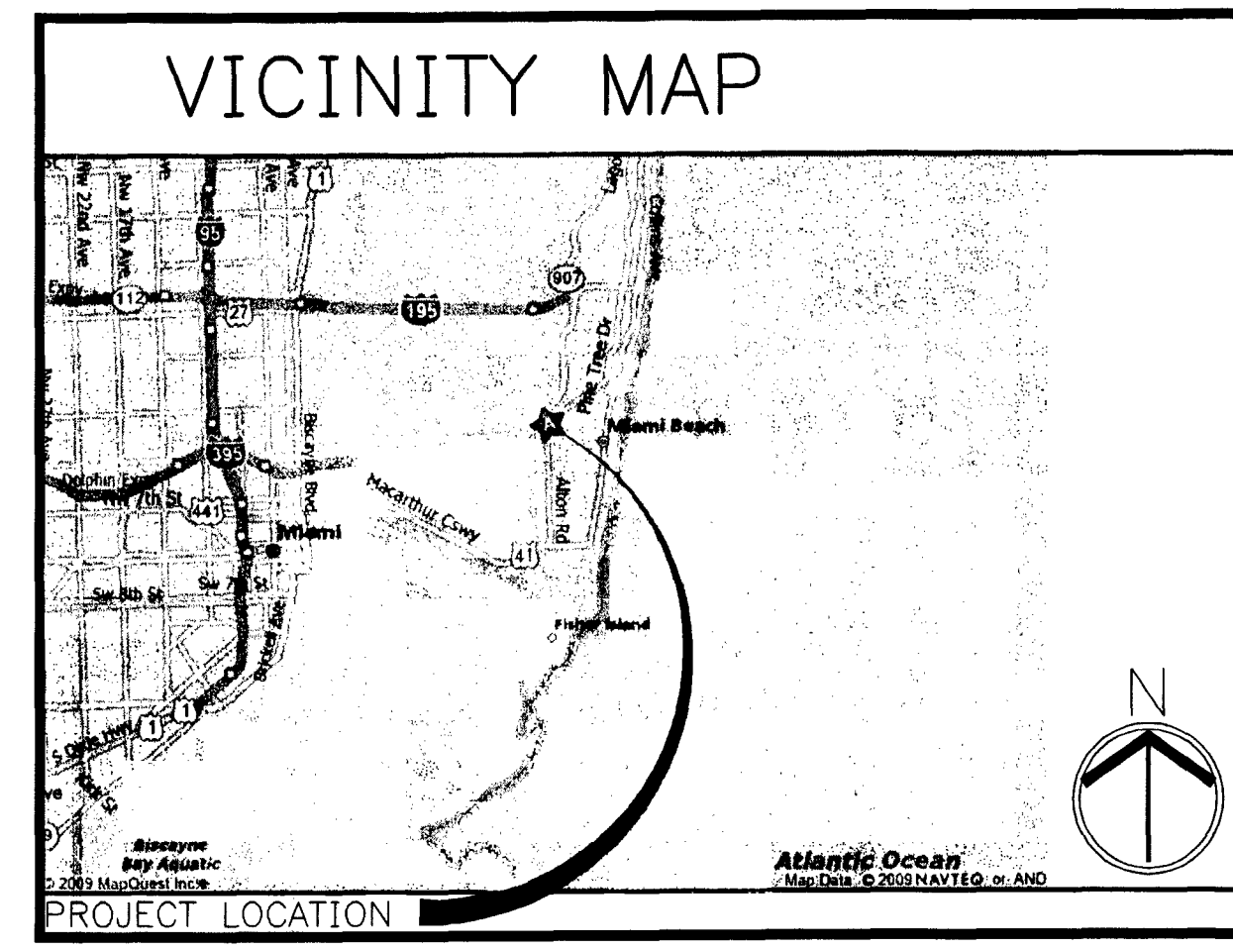
cc: G. Neblock/IP File
A. Potts
M. Boo

CHASE INTERIOR REBRANDING CONVERSION



MIAMI BEACH-ALTON ROAD

CHASE STORE ID #1742
 WAMU BLDG. ID #1924
 1801 ALTON ROAD
 MIAMI BEACH, FL 33139



DRAWING INDEX

ARCHITECTURAL	
A0.0	DRAWING INDEX, MAPS, PROJ. INFO
A0.0A	RESPONSIBILITY SCHEDULE
A0.0B	CONSTRUCTION PHASING PLAN - FOR REFERENCE ONLY
A1.0	DEMOLITION PLAN
A1.0A	DEMOLITION CEILING PLAN
A1.1	FLOOR PLAN
A1.2	FINISH PLAN
A1.3	FURNITURE PLAN
A2.0	REFLECTED CEILING PLAN
A3.0	INTERIOR ELEVATIONS, SECTIONS, AND DETAILS
A3.1	INTERIOR ELEVATIONS, SECTIONS, AND DETAILS
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E3.0	ELECTRICAL PLAN - SYSTEMS
E4.0	ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES

INTERPLAN
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

AA 003420
 CA8660

933 LEE ROAD, FIRST FLOOR
 ORLANDO, FLORIDA 32810
 PH 407.645.5008
 FX 407.629.9124

SEAL
 HARRY JACOBY
 OCT 8 2009

CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS
1	06-10-09	PERMIT COMMENTS
5	10-05-09	PERMIT COMMENTS

GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND/OR OTHER HANDICAP ACCESSIBILITY CODES.
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- ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
- GENERAL CONTRACTOR TO PROVIDE DAILY TRASH REMOVAL. NO DUMPSTERS/ STORAGE CONTAINERS WILL BE ALLOWED ON SITE.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.

LEGAL DESCRIPTION

ISLAND VIEW SUB FB 6-115 E50FT OF LOT 6 4 LOT 10 LESS N28FT 4 ALL LOT 11 BLK 11 LOT 9 IZ
 IRREGULAR OR 14848-511290 L

PARCEL ID NUMBER IS 02-3233-012-0000.

SCOPE OF T.I. MODIFICATION

- SCOPE OF INTERIOR MODIFICATIONS TO THE PUBLIC AREAS TO INCLUDE THE FOLLOWING:
- CIRCULAR SOFFIT AREAS ABOVE THE CIRCULAR FURNITURE LAYOUT TO BE MODIFIED/ REMOVED.
 - EXTEND EXISTING SUSPENDED CEILING GRID TO FILL AREAS WHERE SOFFIT IS REMOVED.
 - REMOVE TRACK LIGHTING AND DIRECTIONAL LIGHTING THAT HIGHLIGHTED EXISTING MARKETING DISPLAYS THAT WILL BE REMOVED.
 - ADD LIGHTING TO MATCH EXISTING TO EXTEND THE EXISTING LIGHTING PATTERN IN MODIFIED CEILING AREAS. RELOCATE/ ADD PENDANTS AS NOTED.
 - MODIFY EXISTING MECHANICAL ONLY AS REQUIRED TO ENSURE PROPER SUPPLY AND RETURN TO AREAS MODIFIED WITH NEW FURNITURE LOCATIONS, WALL LOCATIONS, OR ENCLOSED AS SEPARATE ROOMS.
 - MODIFY EXISTING POWER SUPPLY ONLY TO ACCOMMODATE NEW INTERIOR SIGNAGE, ATM, AHD, VAULT AND/ OR MFD ADDITIONS/ RELOCATIONS, THE SHIFT IN WORKSTATIONS, TELLER LINES, NEW AND/OR REMOVED WALLS OR PARTIAL WALLS AND AS REQUIRED FOR POWER SUPPLY TO WINDOW SHADES (AS NOTED).
 - FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED - CORRESPONDING TO NEW FURNITURE AND TELLER LINE LAYOUT.
 - ATM, AHD, N/D, PACKAGE RECEIVER, AND VAULTS MAY BE RELOCATED/ NEW AS NOTED ON PLANS.
 - ADD/ MODIFY VESTIBULE AS IDENTIFIED ON PLAN.
 - ALL WORK IS REQUIRED TO BE PERFORMED AFTER BANKING HOURS (NIGHT AND WEEKENDS). THE BRANCH WILL BE IN OPERATION.
 - NO PLUMBING WORK.

CODE DATA

JURISDICTION:
 CITY OF MIAMI BEACH
 BUILDING DEPARTMENT
 ATTN: RASHONDA WILSON/1200
 CONVENTION CENTER DRIVE,
 MIAMI BEACH, FLORIDA 33139
 T: 305.673.7610 EXT. 6621

BUILDING CODE
 2007 FLORIDA BUILDING CODE
 2007 FLORIDA PLUMBING CODE
 2007 FLORIDA MECHANICAL CODE
 2008 NATIONAL ELECTRIC CODE
 2007 FLORIDA BUILDING CODE CH. 11
 2007 FLORIDA BUILDING CODE CH. 13
 2007 FLORIDA FIRE PREVENTION CODE

OCCUPANCY: - BUSINESS GROUP B
 CONSTRUCTION TYPE - TYPE V-B - UNPROTECTED
 HEIGHT LIMITATION - 3-STORIES

ALLOWABLE AREA: 9,000 SF.
 TOTAL BUILDING: 25,030 SF.
 TOTAL BRANCH: 1,208 SF.
 AREA OF MODIFICATIONS: 4,327 SF.

TOTAL OCCUPANT LOAD (BUSINESS)
 1,208 SF./100 SF. PER OCCUPANT = 12

TOTAL EXITS REQUIRED = 2
 TOTAL EXITS PROVIDED = 2

TOTAL WIDTH REQUIRED OF ALL EXITS =
 (12 X 2) + 144 INCHES
 TOTAL WIDTH PROVIDED OF ALL EXITS =
 (12 X 2) + 144 INCHES

MAXIMUM TRAVEL DISTANCE, FBC SEC. 1016:
 200 FT.

COMMON PATH OF TRAVEL, FBC SEC. 1014.3, 1015

FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS TABLE 601 TYPE V-B CONSTRUCTION

1. EXTERIOR WALLS	0 HR
LOAD BEARING	0 HR
NON-LOAD BEARING	NA
2. FIREWALLS	NA
3. FIRE SEPARATION ASSEMBLIES: EXITS:	NA
SHAFTS:	NA
MIXED USE:	NA
OTHERS:	NA
4. FIRE PARTITIONS	NA
5. DUELLING UNIT SEPARATION	NA
6. SMOKE BARRIERS	NA
SMOKE PARTITIONS	NA
7. NONBEARING PARTITIONS	0 HR
8. INTERIOR BEARING WALLS	0 HR
9. STRUCTURAL MEMBERS	0 HR
10. FLOOR CONSTRUCTION	0 HR
11. ROOF CONSTRUCTION	0 HR

NOTE: THIS BUILDING IS NOT SPRINKLERED AND DOES NOT HAVE A FIRE ALARM

PROJECT INFORMATION

TENANT
 J.P. MORGAN CHASE BANK
 CHASE TOWER
 MAIL CODE IL1-0475
 TELEPHONE: (312) 325-3373
 FAX: (312) 325-3385

PROJECT MANAGEMENT COMPANY
 MENEMSHA
 ATTN: BECKY BEDWELL
 169 LIBBEY PKWY.
 WEYMOUTH, MA 02189
 TELEPHONE: (781) 337-9012
 FAX: (775) 637-9932

ARCHITECT
 INTERPLAN, LLC
 ATTN: LOUISE CRAVER
 933 LEE ROAD, FIRST FLOOR
 ORLANDO, FL 32810
 TELEPHONE: (407) 645-5008
 FAX: (407) 644-0673

MECHANICAL AND ELECTRICAL ENGINEER
 INTERPLAN, LLC
 ATTN: JERRY RUSSO
 933 LEE ROAD, FIRST FLOOR
 ORLANDO, FL 32810
 TELEPHONE: (407) 645-5008
 FAX: (407) 644-0673

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
	03-11-09	ISSUED FOR OWNER REVIEW	ALL SHEETS		RS
	04-30-09	ISSUED FOR PERMIT	ALL SHEETS		RS
1	06-10-09	PERMIT COMMENTS - BLDG DEPARTMENT	A0.0, E0.0, E1.0, E2.0, E4.0	PMT-01	AP
2	06-10-09	OWNER REVISIONS	A0.0A, A0.0B, A1.0, A1.0A, A1.1, A1.2, A1.3, A2.0, A3.0, A3.1, A3.2, E1.0, E2.0, E3.0, M1.0	MODEL E CONVERSION	RS
	06-10-09	ISSUE FOR CHASE REVIEW	ALL SHEETS		RS
3	06-30-09	OWNER REVISIONS	A1.0, A1.1, A1.2, A3.1, A3.2		DJC
4	07-28-09	PERMIT COMMENTS	A1.1, A3.1, A3.2		DJC
5	10-05-09	PERMIT COMMENTS	A0.0, A1.1, A2.0, A3.1, E1.0	PMT03	EW

OFFICE COPY

APPROVED FOR PERMIT BY

THE FOLLOWING:

BUILDING: [Signature] 10/9/09

ZONING: [Signature] 10/9/09

DESIGN: [Signature] 10/9/09

CONSULTANCY: [Signature] 10/9/09

PLUMBING: [Signature] 10/9/09

ELECTRICAL: [Signature] 10/9/09

MECHANICAL: [Signature] 10/9/09

FIRE PREVENTION: [Signature] 10/9/09

ENGINEERING: [Signature] 10/9/09

PUBLIC WORKS: [Signature] 10/9/09

STRUCTURAL: [Signature] 10/9/09

ELEVATOR: [Signature] 10/9/09

CHASE
 INTERIOR REBRANDING CONVERSION
 MIAMI BEACH - ALTON ROAD
 WAMU BLDG ID # 1924 CHASE STORE ID # 1742
 1801 ALTON ROAD
 MIAMI, FL 33139

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 PROHIBITED.

PROJECT NO: 2009.0109
 DATE: 04-30-09

A0.0
 COVER SHEET

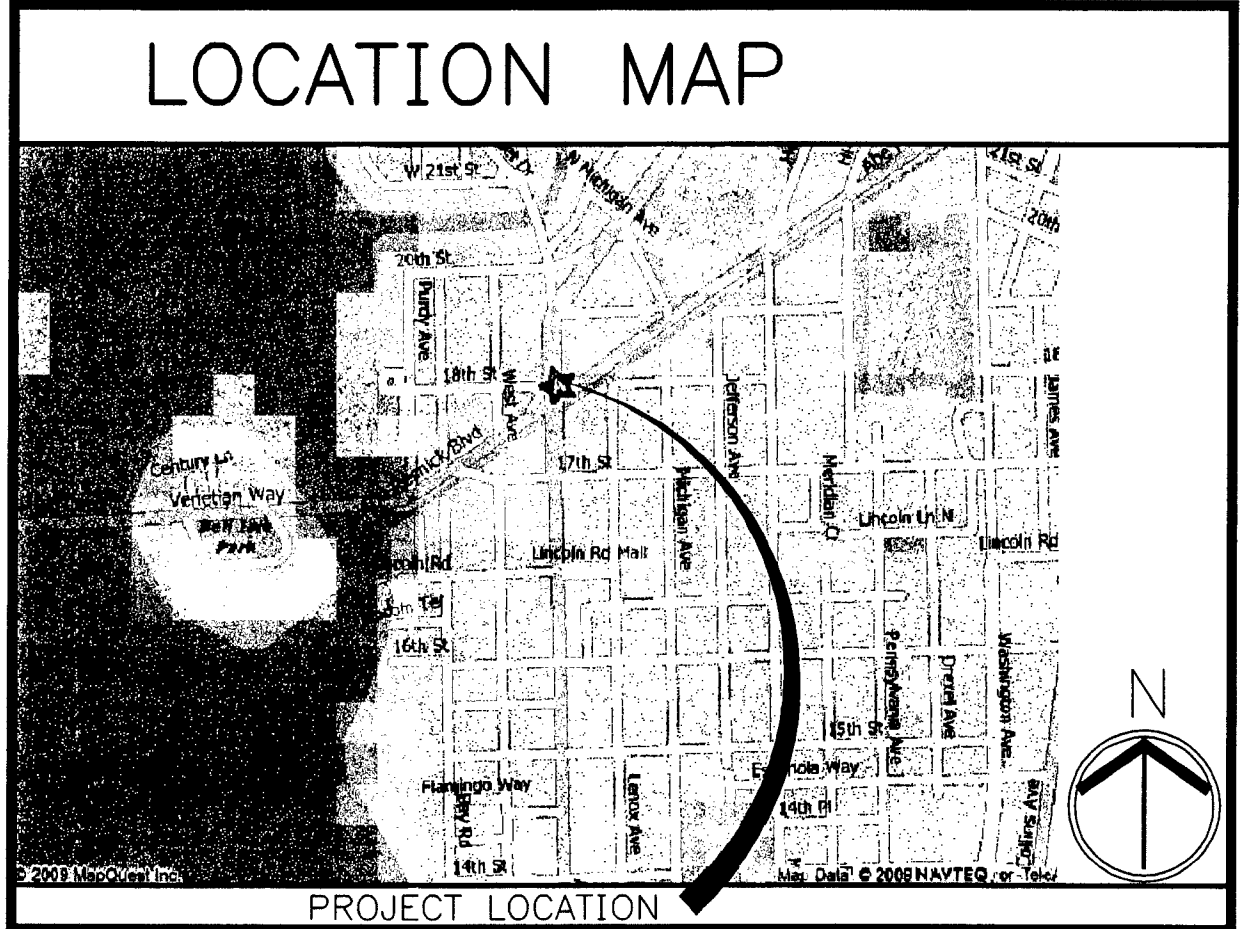
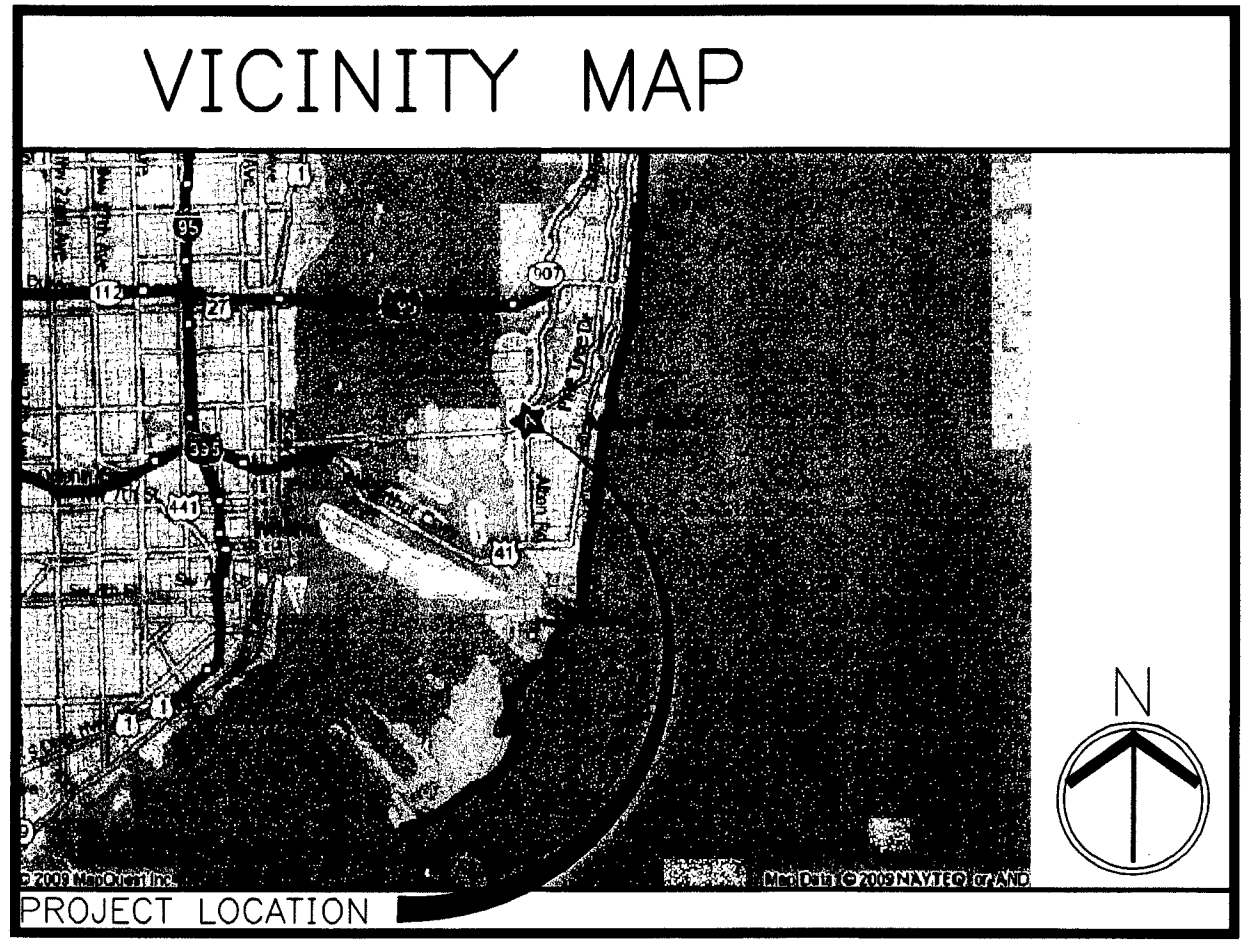
DRAWN BY: [Signature]
 CHECKED BY: [Signature]

CHASE INTERIOR REBRANDING CONVERSION



MIAMI BEACH - ALTON ROAD

CHASE STORE ID #1742
 WAMU BLDG. ID #1924
 1801 ALTON ROAD
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DRAWING INDEX

- ARCHITECTURAL**
- A0.0 DRAWING INDEX, MAPS, PROJ. INFO
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 - E3.0 ELECTRICAL PLAN - SYSTEMS
 - E4.0 ELECTRICAL RISER DIAGRAM AND PANEL SCHEDULES 1

INTERPLAN LLC
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

AA 003420
 CA8660

933 LEE ROAD, FIRST FLOOR
 ORLANDO, FLORIDA 32810
 PH 407.645.5008
 FX 407.629.9124

SEAL:

 HARVEY JACOBY
 JUN 12 2009

CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS
1	06-10-09	PERMIT COMMENTS

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8. ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
9. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
10. UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
11. ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
12. GENERAL CONTRACTOR TO PROVIDE DAILY TRASH REMOVAL. NO DUMPSTERS/ STORAGE CONTAINERS WILL BE ALLOWED ON SITE.
13. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
14. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.

SCOPE OF T.I. MODIFICATION

- SCOPE OF INTERIOR MODIFICATIONS TO THE PUBLIC AREAS TO INCLUDE THE FOLLOWING:
1. CIRCULAR SOFFIT AREAS ABOVE THE CIRCULAR FURNITURE LAYOUT TO BE MODIFIED/ REMOVED.
 2. EXTEND EXISTING SUSPENDED CEILING GRID TO FILL AREAS WHERE SOFFIT IS REMOVED.
 3. REMOVE TRACK LIGHTING AND DIRECTIONAL LIGHTING THAT HIGHLIGHTED EXISTING MARKETING DISPLAYS THAT WILL BE REMOVED.
 4. ADD LIGHTING TO MATCH EXISTING TO EXTEND THE EXISTING LIGHTING PATTERN IN MODIFIED CEILING AREAS. RELOCATE/ ADD PENDANTS AS NOTED.
 5. MODIFY EXISTING MECHANICAL ONLY AS REQUIRED TO ENSURE PROPER SUPPLY AND RETURN TO AREAS MODIFIED WITH NEW FURNITURE LOCATIONS, WALL LOCATIONS, OR ENCLOSED AS SEPARATE ROOMS.
 6. MODIFY EXISTING POWER SUPPLY ONLY TO ACCOMMODATE NEW INTERIOR SIGNAGE, ATM, AHD, VAULT AND/ OR MFD ADDITIONS/ RELOCATIONS, THE SHIFT IN WORKSTATIONS, TELLER LINES, NEW AND/OR REMOVED WALLS OR PARTIAL WALLS AND AS REQUIRED FOR POWER SUPPLY TO WINDOW SHADES (AS NOTED).
 7. FLOOR FINISHES TO BE REMOVED AND REPLACED AS NOTED - CORRESPONDING TO NEW FURNITURE AND TELLER LINE LAYOUT.
 8. ATM, AHD, N/D, PACKAGE RECEIVER, AND VAULTS MAY BE RELOCATED/ NEW AS NOTED ON PLANS.
 9. ADD/ MODIFY VESTIBULE AS IDENTIFIED ON PLAN.
 10. ALL WORK IS REQUIRED TO BE PERFORMED AFTER BANKING HOURS (NIGHT AND WEEKENDS). THE BRANCH WILL BE IN OPERATION.
 11. NO PLUMBING WORK.

CODE DATA

JURISDICTION:
 CITY OF MIAMI BEACH
 BUILDING DEPARTMENT
 ATTN: RASHONDA WILSON/1200
 CONVENTION CENTER DRIVE,
 MIAMI BEACH, FLORIDA 33139
 T: 305.673.1610 EXT. 6621
 F:
 BUILDING CODE

2001 FLORIDA BUILDING CODE
 2001 FLORIDA PLUMBING CODE
 2001 FLORIDA MECHANICAL CODE
 2008 NATIONAL ELECTRIC CODE
 2001 FLORIDA BUILDING CODE CH. II
 2001 FLORIDA BUILDING CODE CH. 13
 2001 FLORIDA FIRE PREVENTION CODE

OCCUPANCY: - BUSINESS GROUP B
 CONSTRUCTION TYPE: -TYPE V-B - UNPROTECTED (PRESUMED)
 HEIGHT LIMITATION: 2 STORIES
 ALLOWABLE AREA: 9,000 SF.
 TOTAL BUILDING: 29,030 SF.
 TOTAL BRANCH: 1,200 SF.
 AREA OF MODIFICATIONS: 4,321 SF.
 TOTAL OCCUPANT LOAD (BUSINESS)
 1,200 SF./100 SF. PER OCCUPANT = 12
 TOTAL EXITS REQUIRED = 2
 TOTAL EXITS PROVIDED = 2
 TOTAL WIDTH REQUIRED OF ALL EXITS =
 (12 X 2) = 24 INCHES
 TOTAL WIDTH PROVIDED OF ALL EXITS =
 (12" X 36" X 100 INCHES)

FIRE RESISTANCE RATINGS OF STRUCTURAL ELEMENTS TABLE 601 TYPE V-B CONSTRUCTION

1. EXTERIOR WALLS	0 HR
LOAD BEARING	NA
NON-LOAD BEARING	NA
2. FIREWALLS	NA
3. FIRE SEPARATION ASSEMBLIES: EXITS:	NA
SHAFTS:	NA
MIXED USE:	NA
OTHERS:	NA
4. FIRE PARTITIONS	NA
5. DWELLING UNIT SEPARATION	NA
6. SMOKE BARRIERS	NA
SMOKE PARTITIONS	NA
7. NONBEARING PARTITIONS	0 HR
8. INTERIOR BEARING WALLS	0 HR
9. STRUCTURAL MEMBERS	0 HR
10. FLOOR CONSTRUCTION	0 HR
11. ROOF CONSTRUCTION	0 HR

NOTE: THIS BUILDING IS NOT SPRINKLERED AND DOES NOT HAVE A FIRE ALARM

PROJECT INFORMATION

TENANT
 J.P. MORGAN CHASE BANK
 CHASE TOWER
 MAIL CODE IL1-0475
 TELEPHONE: (312) 325-3373
 FAX: (312) 325-3385

PROJECT MANAGEMENT COMPANY
 MENEMSHA
 ATTN.: BECKY BEDWELL
 169 LIBBEY PKWY.
 WEYMOUTH, MA 02189
 TELEPHONE: (781) 337-9012
 FAX: (775) 637-9932

ARCHITECT
 INTERPLAN, LLC
 ATTN.: LOUISE CRAVER
 933 LEE ROAD, FIRST FLOOR
 ORLANDO, FL 32810
 TELEPHONE: (407) 645-5008
 FAX: (407) 644-0673

MECHANICAL AND ELECTRICAL ENGINEER
 INTERPLAN, LLC
 ATTN.: JERRY RUSSO
 933 LEE ROAD, FIRST FLOOR
 ORLANDO, FL 32810
 TELEPHONE: (407) 645-5008
 FAX: (407) 644-0673

LEGAL DESCRIPTION

ISLAND VIEW SUB PB 6-115 E50FT OF LOT 6 + LOT 10 LE95 N2.0FT + ALL LOT 11 BLK 11 LOT SIZE IRREGULAR OR 14849-511230 I.

PARCEL ID NUMBER IS 02-3233-012-0090.

REVISION ISSUE LOG

REV #	ISSUE DATE	DESCRIPTION	AFFECTED SHEETS	REMARKS	BY
	03-11-09	ISSUED FOR OWNER REVIEW	ALL SHEETS		RS
	04-30-09	ISSUED FOR PERMIT	ALL SHEETS		RS
1	06-10-09	PERMIT COMMENTS - BLDG DEPARTMENT	A0.0, E0.0, E1.0, E2.0, E4.0	PMT-01	AP

OFFICE COPY

CITY OF MIAMI BEACH
 APPROVED FOR THE CITY
 THE CITY ENGINEER

BUILDING: MECH. Rev 09/11/09
 ZONING: CUG. 09/14/09
 DRB/FP: [Signature]
 INCUR: [Signature]
 PLUMB: [Signature]
 ELECTR: [Signature]
 MECHAN: [Signature]
 PREVEN: [Signature]
 GINGER: [Signature]
 PUBLIC WORKS: [Signature]
 STRUCTURAL: [Signature]
 CIVIL: [Signature]

PROJECT NO: 2009.0109
 DATE: 04-30-09

A0.0
 COVER SHEET

DRAWN BY: [Signature]
 CHECKED BY: [Signature]



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PROJECT NO: 2009.0109
 DATE: 04-30-09

Chase/ WaMu Rebrand Responsibility Schedule		PMC	PMC	GC	GC
		supplied	Installed	supplied	Installed
Demo	Demolition			*	*
	Daily carting/ hauling			*	*
	Daily cleaning ready for Bank Operations			*	*
	Final Cleaning			*	*
	Demo of all Wanu Marketing/Branding interior			*	*
Doors & Windows:	Interior doors			*	*
	Glass/ glazing , Aluminum entry doors			*	*
	BR Doors	*			*
Finishes	Carpet	*			*
	Pedimat	*			*
	Walk off carpet tiles	*			*
	VCT			*	*
	Wood Floor	*			*
	Ceramic Tile	*			*
	Ceiling			*	*
	Base			*	*
	paint			*	*
	Wall covering	*			*
Equipment	BR Glass	*	*		
	Kevlar panels	*			*
	ATM Rigging	*	*		
Fire Protection	sprinkler work			*	*
Electric	light fixtures	*			*
	All other labor and material			*	*
Low voltage Cabling	Insight	*	*		
Security	ADT	*	*		
Furniture	Chairs	*	*		
	Steelcase Work Stations	*	*		
	Work Station Panels	*	*		
	Coffee table	*	*		
	End table	*	*		
	Teller counter	*	*		
	CSC	*	*		
	TCD	*	*		
	KMDI Mock Soffit	*			*
	KMDI Illuminated Soffit	*			*
	Check Desk	*	*		
	Window Shades Blinds				
	Curtains				
	Queue Ropes Large Cash Vault	*	*		
After Hours Depository	*	*			
Package Receiver	*	*			
Large Safe	*	*			

GC is responsible to verify schedule with all PMC/Chase Service providers.
 Note: Not all items indicated above may apply - confirm with PMC/Chase Service providers.

CITY OF MIAMI BEACH
 VOID

INTERPLAN LLC
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

AA 003420
 CA8660

933 LEE ROAD, FIRST FLOOR
 ORLANDO, FLORIDA 32810
 PH 407.645.5008
 FX 407.629.9124

SEAL:

[Signature]
LOUISE CRAMER
 MAY 01 2009

CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS

CHASE
 INTERIOR REBRANDING CONVERSION
 MIAMI BEACH - ALTON ROAD
 WAKUL BLDG ID# 1924 CHASE STORE ID# 1742
 801 ALTON ROAD
 MIAMI, FL 33139

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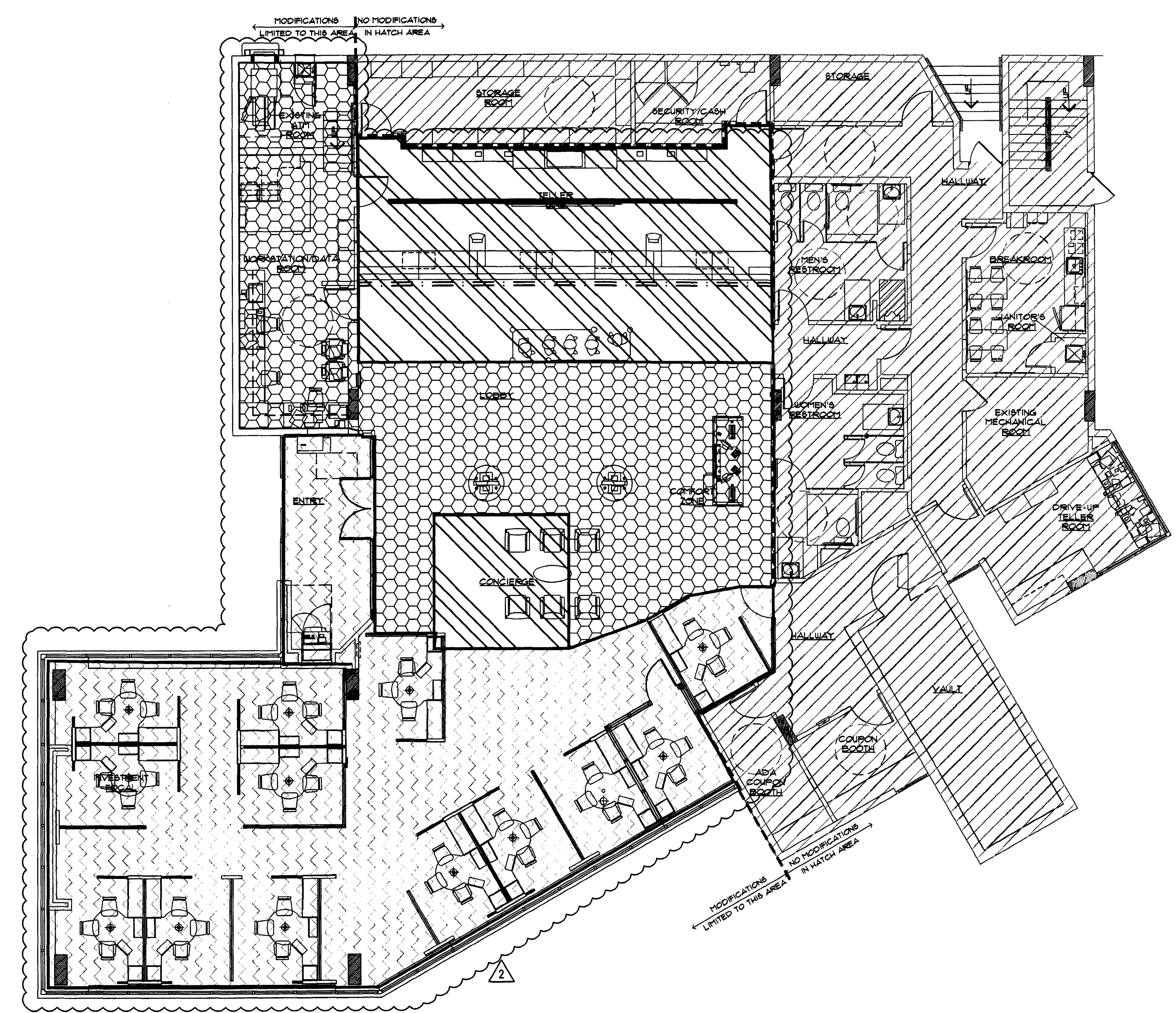
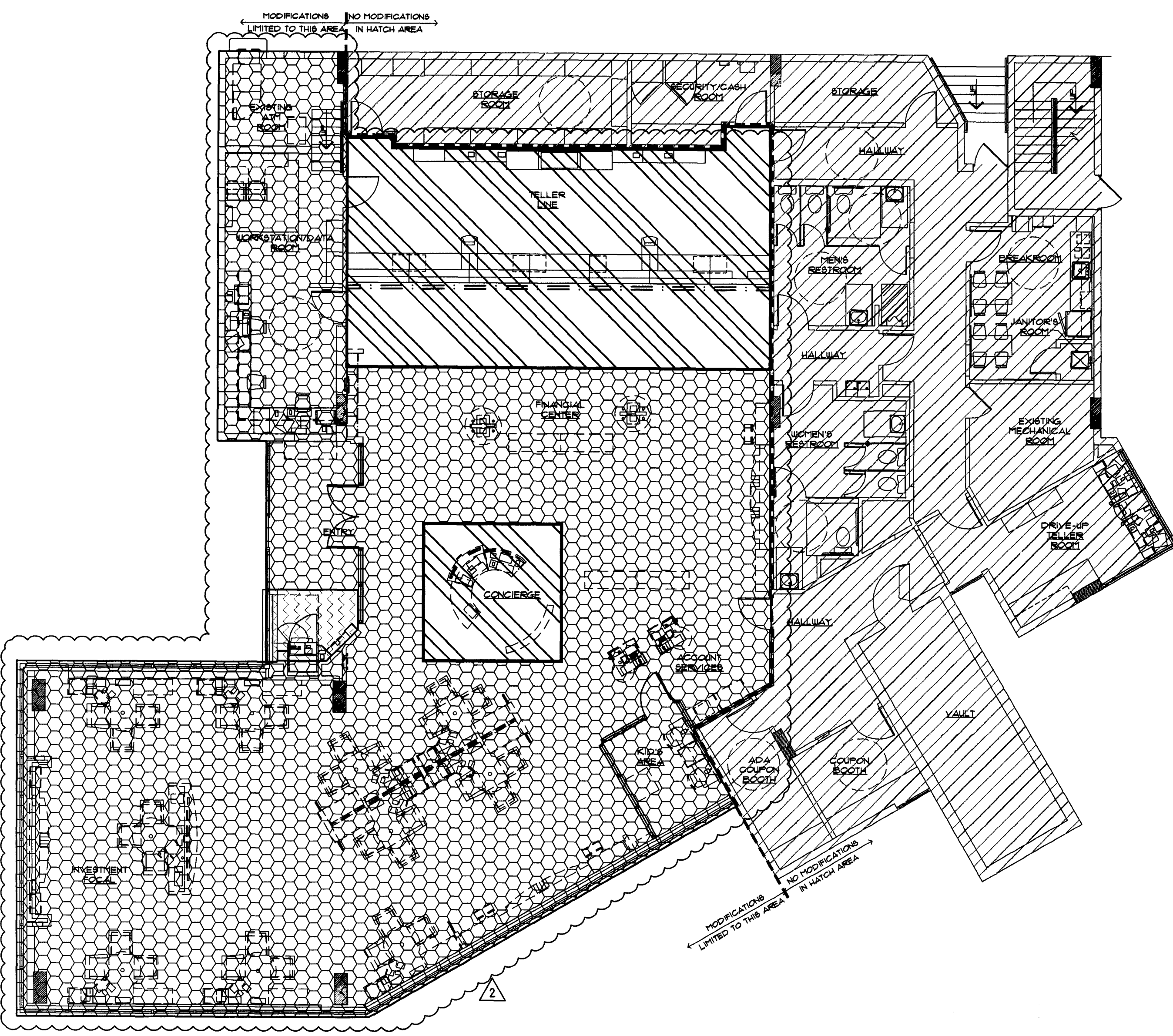
A0.0A
 RESPONSIBILITY
 SCHEDULE

DRAWN BY: *[Signature]*
 CHECKED BY: *[Signature]*

SEAL:
REFERENCE ONLY

CONSULTANT:

REVISIONS:
 NO. DATE REMARKS
 2 06-09-09 OWNER REVISIONS



CONSTRUCTION PHASING TIMELINE & INTERDEPENDENCIES

(PHASING SHOWN FOR GENERAL INTENT - VERIFY SPECIFICS WITH PMC)

1 EXISTING PLAN

- PHASE 1 (11 DAYS)
BUILD WALL BEHIND TELLER LINE AND LAMINATE AT CHECK DESKS
- PHASE 2 (5 DAYS)
REMOVE WALLS, FLOORING AND MILLWORK
- PHASE 3 (5 DAYS)
RECONFIGURE FURNITURE, INSTALL NEW FURNITURE PANELS

PROGRAMMING	EXISTING	MODEL	SCOPING	ACTUAL
OFFICES	0	1	1	1
CCRs	10	13	9	13
TOS	0	0	0	0
TOTAL SALES H C	10	14	10	14
DESK	0	2	-	1
TELLER OPS MGR	1	0	0	0
TELLER STATIONS + D-UP	7 + 3	9 + 0	7 + 3	7 + 2
CONFERENCE ROOM	0	0	0	0
CSC Station	1	3	-	3
CSC Relocated on Tellerline? (Yes / No)				No
W-Up ATMs / AHD / Pkg Rcvr	2/0/0	2/1/1	2/1/1	2/1/1
Drive-up ATMs *	1	1	-	1

* Existing Drive-Up ATM shall be field verified. No information is available for an existing Drive-Up ATM.

Phase	Location	Day #	Day of Week	Task	Interdependencies
Pre-construction			Wed-Thu	Complete Electrical/Data/Security pre-wiring and termination for CSC removal and CCR 4 and 5 relocation. Secure and post all building permits.	Security, Technology, Furniture, Branch Planning, Electrician
Phase 1	Teller line	1	Fri	Demo CSC and Teller Station #1 (C-TR-02) Relocate CCR 4 and 5. Possible relocation of central TCD and future C-TR-02.	GC, Furniture, TCD vendor, Technology, and Security
		2-3	Sat-Sun	Demo all ceiling rings, light boxes, millwork, flooring, soffits, and electrical. Install new lighting and repair ceiling grid system.	GC
		4	Mon	Construct teller line walls and teller work room.	GC
		5	Tue	Carpet teller line area early morning and start motor bank tube installation. Start painting of new walls.	GC and Tube System vendor
		6	Wed	Construct teller line, run electrical/data/security. Call for permit inspection. Complete painting.	GC, Security, Technology, Furniture, and Electrician
		7	Thu	Complete teller line and millwork in teller work room and VAT tube installation (interior, exterior). Begin carpet install.	GC and Tube System vendor
		8	Fri	Construction complete. Install teller line merchandising.	GC and Merchandising
		9	Sat	Relocate cash chest, engage Branch Planning to prep teller line, computers, and transfer cash. Complete motor bank tube system conversion.	GC, Tube System vendor, Cash Safe Vendor, and Branch Planning
		10	Sun	Commission teller line operations and conduct teller training in preparation for Mon. Complete punch list items. Decommission and remove all TCDs and old teller stations (C-TR-02).	GC, Branch staff, Branch Planning, TCD Vendor, and Technology
		11	Mon	Open teller line for BAU.	Branch Staff, Technology, and GC
		Phase 2	Platform	12	Tue
13	Wed			Prep all walls for painting and start flooring installation (carpet, wood and tile).	GC
14	Thu			Start painting platform area. Complete flooring installation.	GC
15-16	Fri-Sat			Complete painting, punch list items and merchandise entire platform.	GC and Merchandising
Phase 3	Vestibule	17	Sun	Start installation; relocate and commission all platform furniture. Demo all millwork and flooring, and terminate electrical, data, phone, etc., in vestibule. Relocate doors and prep new walls. Decommission ATM if necessary.	GC, Furniture, TCD Vendor, Technology, Security, Branch Planning, and ATM Group
		18	Mon	Paint, install flooring, commission ATM, install door graphics and merchandising. Punch list inspection and perform complete cleaning of branch.	GC, Merchandising, ATM Group, and Technology
		19-20	Tue-Wed	Perform all punch list tasks. Finalize all building permits and inspections.	GC
		21	Thu	Final punch list and re-commission.	GC

2 PROPOSED PLAN

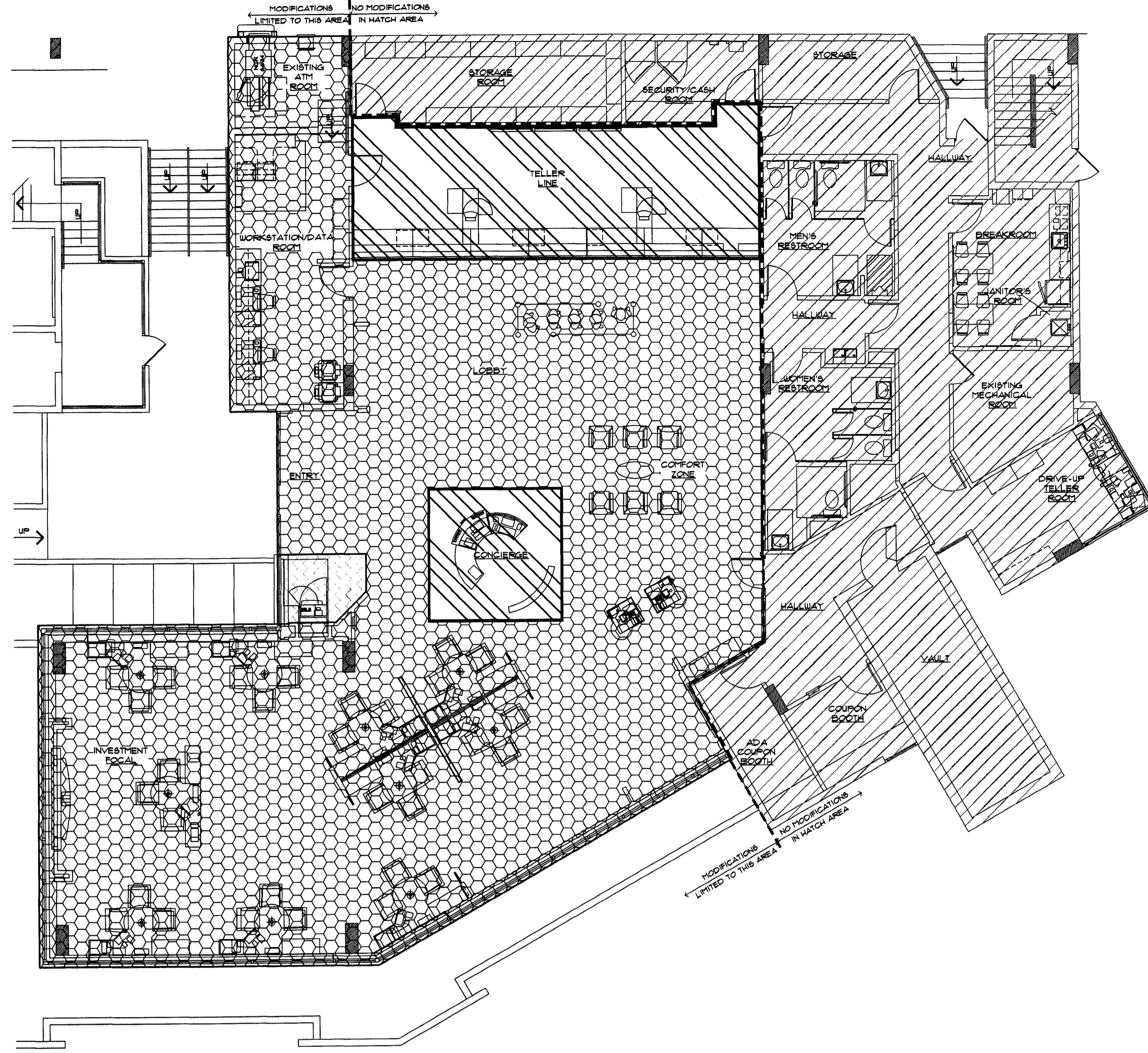
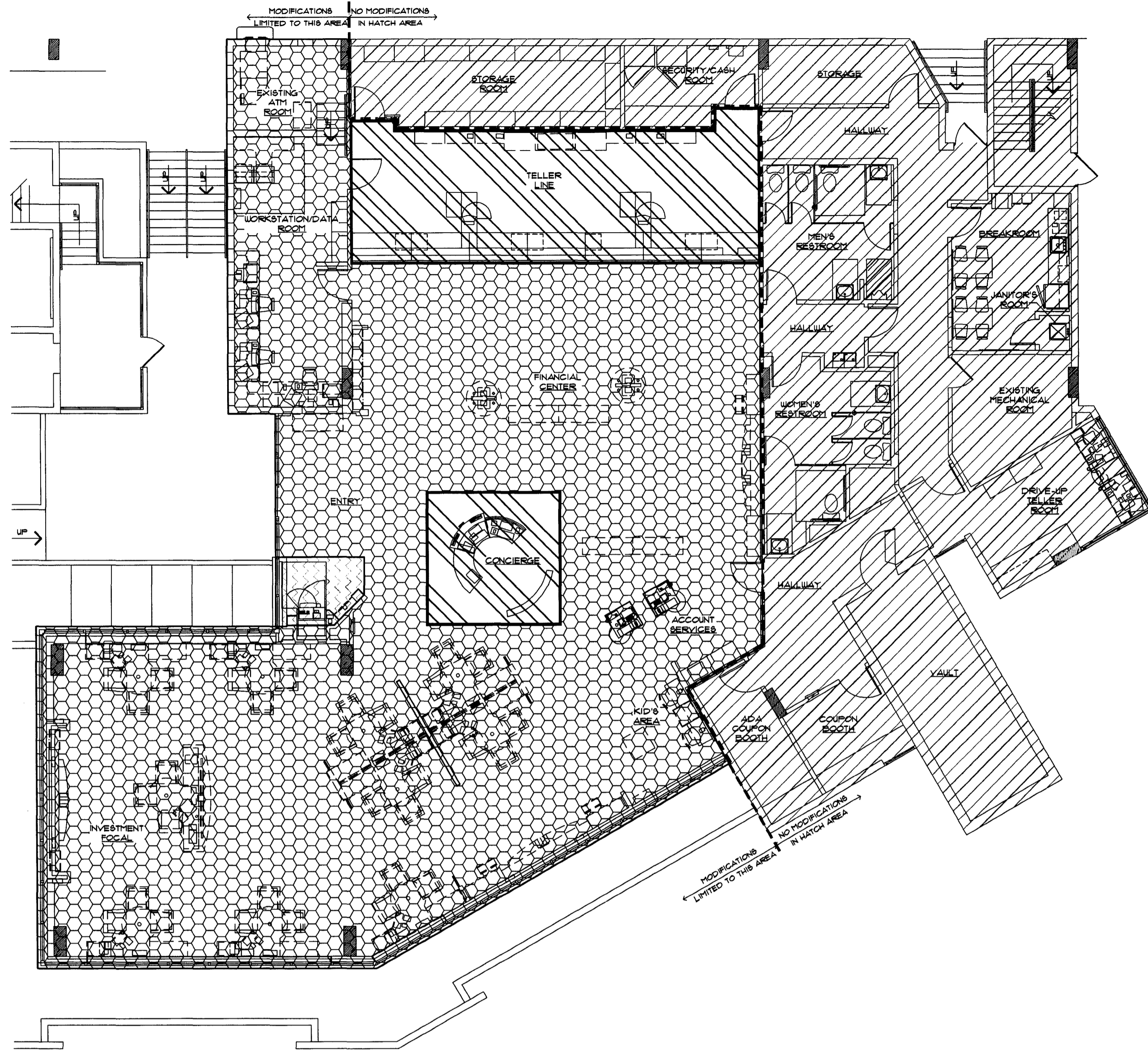
- PHASE 1 (11 DAYS)
CONSTRUCT TELLER LINE, INSTALL EQUIPMENT AND MERCHANDISE
- PHASE 2 (5 DAYS)
INSTALL FLOORING AND PAINT
- PHASE 3 (5 DAYS)
RECONFIGURE FURNITURE, INSTALL NEW FURNITURE PANELS, CONSTRUCT NEW WALLS

SEAL:
REFERENCE ONLY

CONSULTANT:

REVISIONS:

NO. DATE REMARKS



CITY OF MIAMI BEACH
VOID

CONSTRUCTION PHASING TIMELINE & INTERDEPENDENCIES

(PHASING SHOWN FOR GENERAL INTENT - VERIFY SPECIFICS WITH FMC)

1 EXISTING PLAN

- PHASE 1 (11 DAYS)
REMOVE CABINETRY BEHIND TELLER LINE AND LAMINATE AT CONCERGE DESK
- PHASE 2 (5 DAYS)
REMOVE WALLS, FLOORING AND MILLWORK
- PHASE 3 (5 DAYS)
RECONFIGURE FURNITURE, INSTALL NEW FURNITURE PANELS

PROGRAMMING	EXISTING	NEW
OFFICES (BCM / FA)	0	0
CCR (BCM / PBs / Partners)	10	0
TOS (Partners)	0	0
TOTAL SALES H C	0	0
ABM	1	0
TELLER OPS MGR	1	0
TELLER STATIONS	6	0
CONFERENCE ROOM	0	0
CSC Station (SSAs)	1	0

Phase	Location	Day #	Day of Week	Task	Interdependencies
Pre-construction			Wed-Thu	Complete Electrical/Data/Security pre-wiring and termination for CSC removal and CCR 4 and 5 relocation. Secure and post all building permits.	Security, Technology, Furniture, Branch Planning, Electrician
Phase 1	Teller line	1	Fri	Demo CSC and Teller Station #1 (C-TR-02) Relocate CCR 4 and 5. Possible relocation of central TCD and future C-TR-02.	GC, Furniture, TCD vendor, Technology, and Security
		2-3	Sat-Sun	Demo all ceiling rings, light boxes, millwork, flooring, soffits, and electrical. Install new lighting and repair ceiling and system.	GC
		4	Mon	Construct teller line walls and teller work room.	GC
		5	Tue	Carpet teller line area early morning and start motor bank tube installation. Start painting of new walls.	GC and Tube System vendor
		6	Wed	Construct teller line, run electrical/data/security. Call for permit inspection. Complete painting.	GC, Security, Technology, Furniture, and Electrician
		7	Thu	Complete teller line and millwork in teller work room and VAT tube installation (interior, exterior). Begin carpet install.	GC and Tube System vendor
		8	Fri	Construction complete. Install teller line merchandising.	GC and Merchandising
		9	Sat	Relocate cash chest, engage Branch Planning to prep teller line, computers, and transfer cash. Complete motor bank tube system conversion.	GC, Tube System vendor, Cash Safe Vendor, and Branch Planning
		10	Sun	Commission teller line operations and conduct teller training in preparation for Mon. Complete punch list items. Decommission and remove all TCDs and old teller stations (C-TR-02).	GC, Branch staff, Branch Planning, TCD Vendor, and Technology
		11	Mon	Open teller line for BAU.	Branch Staff, Technology, and GC
		Phase 2	Platform	12	Tue
13	Wed			Prep all walls for painting and start flooring installation (carpet, wood and tile).	GC
14	Thu			Start painting platform area. Complete flooring installation.	GC
15-16	Fri - Sat			Complete painting, punch list items and merchandize entire platform.	GC and Merchandising
Phase 3	Vestibule	17	Sun	Start installation; relocate and commission all platform furniture. Demo all millwork and flooring, and terminate electrical, data, phone, etc., in vestibule. Relocate doors and prep new walls. Decommission ATM if necessary.	GC, Furniture, TCD Vendor, Technology, Security, Branch Planning, and ATM Group
		18	Mon	Paint, install flooring, commission ATM, install door graphics and merchandising. Punch list inspection and perform complete cleaning of branch.	GC, Merchandising, ATM Group, and Technology
		Punchlist/clean-up	19-20	Tue-Wed	Perform all punch list tasks. Finalize all building permits and inspections.
		21	Thu	Final punch list and re-commission.	GC

2 PROPOSED PLAN

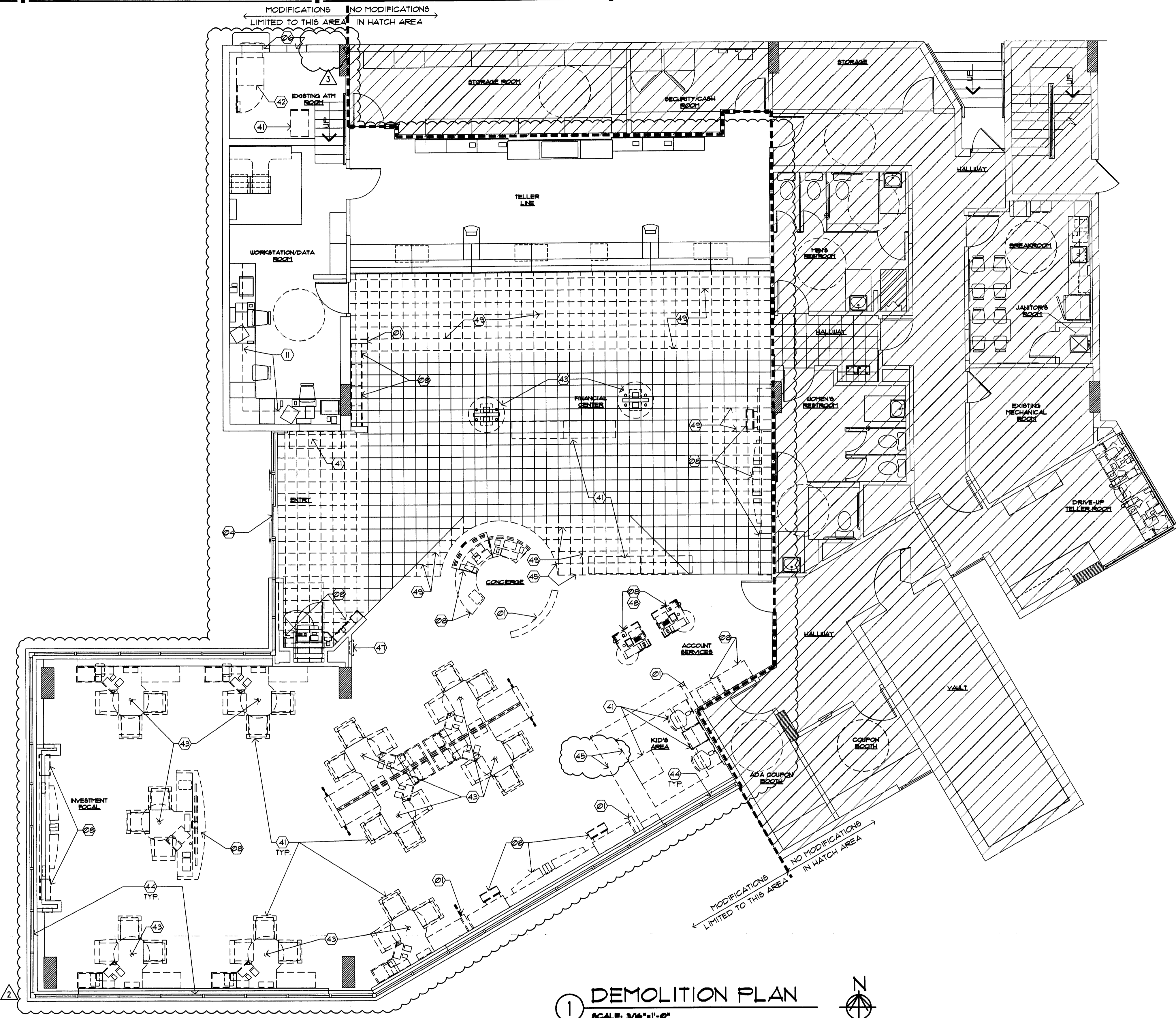
- PHASE 1 (11 DAYS)
CONSTRUCT TELLER LINE, INSTALL EQUIPMENT AND MERCHANDISE
- PHASE 2 (5 DAYS)
INSTALL FLOORING AND PAINT
- PHASE 3 (5 DAYS)
RECONFIGURE FURNITURE, INSTALL NEW FURNITURE PANELS, CONSTRUCT NEW WALLS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
MIAMI BLDG IDF 1924 CHASE STORE IDF 1742
1801 ALTON ROAD
MIAMI, FL 33139

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PROJECT NO: 2009.0109
DATE: 04-30-09

A0.0B
CONSTRUCTION
PHASING PLAN

DRAWN BY: *qw*
CHECKED BY: *123*



1 DEMOLITION PLAN
SCALE: 3/16"=1'-0"

SYMBOL LEGEND

- (2) SHEET KEY NOTE
- (12)A DOOR SYMBOL (NEW OR MODIFIED)
- (A) WINDOW SYMBOL (NEW OR MODIFIED)
- B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.)-REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR
- O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK

DEMOLITION GENERAL NOTES

1. DEMOLITION PLANS ARE ILLUSTRATIVE IN NATURE ONLY. THEY ARE INTENDED TO ASSIST THE GENERAL CONTRACTOR IN DETERMINING THE SCOPE OF THE WORK. THERE IS NO REFERENCE THAT ALL DEMOLITION AND EXISTING CONDITIONS ARE SHOWN.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND CONFIRM ALL DEMOLITION REQUIRED FOR CONFORMANCE OF THE FINAL CONSTRUCTION DOCUMENTS.
3. DASHED LINES TYPICALLY REPRESENT ITEMS TO BE REMOVED, RELOCATED OR DEMOLISHED ON THE DEMOLITION PLAN ONLY. REFERENCE THE DEMOLITION NOTES FOR DESCRIPTION OF THESE GENERAL ITEMS.
4. TRASH TO BE REMOVED DAILY BY G.C.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OF TENANT SPACE BOTH DURING AND FOLLOWING DEMOLITION WORK.
6. PROTECT ALL EXISTING MATERIALS TO REMAIN. REPAIR AND PATCH THESE EXISTING MATERIALS DURING CONSTRUCTION WHERE NEEDED. MATCH NEW MATERIALS INSTALLED TO ENSURE THAT ALL DEMOLITION AND NEW CONSTRUCTION IS COMPATIBLE AND INDISTINGUISHABLE. REQUIRED PROTECTION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - STOREFRONT BULKHEAD
 - DRYWALL
 - ELECTRICAL OUTLETS AND SWITCHES
 - EXTERIOR DOORS AND FRAMES
 - FIRE PROTECTION SYSTEM
 - MECHANICAL EQUIPMENTS
 - FIRE PROTECTION
 - FIRE RATED PENETRATIONS
7. IN AREAS INDICATED TO RECEIVE NEW FLOOR COVERING, REMOVE EXISTING FLOOR MATERIALS AND PREPARE SLAB FOR INSTALLATION OF NEW FLOORING MATERIALS

DEMOLITION SHEET KEY NOTES

- FLOOR PLAN**
- (2) EXISTING WALL TO BE REMOVED, TYP.
 - (2) PORTION OF EXISTING WALL TO REMAIN
 - (2) NOT USED.
 - (2) EXISTING DOOR AND FRAME TO REMAIN
 - (2) NOT USED.
 - (2) PORTION OF EXISTING WALL TO BE REMOVED TO ACCOMMODATE NEW WALL OPENING
 - (2) NOT USED.
 - (2) EXISTING COUNTER AND MILLWORK TO BE REMOVED.
 - (2) NOT USED.
 - (2) NOT USED.
 - (2) EXISTING SHELVES TO BE REMOVED.
8. REFER TO NEW FLOOR AND/OR CEILING PLAN FOR EXTENT OF WORK TO REMAIN OR TO BE RELOCATED.
 9. REFER TO DEMOLITION REFLECTED CEILING PLAN, SHEET ALSO FOR DEMOLITION INFORMATION REGARDING CEILING, LIGHTING AND SOFFITS.
 10. GENERAL CONTRACTOR TO SALVAGE REMOVED MILLWORK FOR POSSIBLE RE-USE. COORDINATE WITH PMC / CHASE REGARDING IT'S RE-USE ON SITE OR TO COORDINATE IT'S RELOCATION TO OTHER LOCATION.
 11. ELECTRICIAN TO CAP ALL ABANDONED OUTLET LOCATIONS AND REMOVE POWER BACK TO IT'S SOURCE.
 12. MODIFICATIONS TO AND/OR REMOVAL OF BUILDING COMPONENTS, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE IN CONFORMANCE WITH LOCAL CODE REQUIREMENTS FOR COMMERCIAL/BUSINESS FACILITIES.
 13. EXISTING ELECTRICAL FLOOR BOXES AT TELLER KIOSKS TO BE ABANDONED. REFERENCE ELECTRICAL PLANS. PATCH/REPAIR EXISTING SLAB AS REQUIRED. FLOOR BOXES TO REMAIN. INFILL WITH THINSET, LEVEL WITH SLAB.
 14. STRIP ALL EXISTING WALL COVERING/MURALS. PREP WALLS FOR NEW FINISHES.
 15. G.C. TO KEEP ALL EXISTING PENDANTS FOR REUSE.
 16. EXISTING QUICK DROP BOX TO BE REMOVED, TYP. TURN OVER TO PMC.

FF & E

- (4) EXISTING FURNITURE TO BE REMOVED.
- (4) EXISTING ATM TO BE REMOVED AND/OR RELOCATED.
- (4) EXISTING FURNITURE AND PANEL SYSTEMS TO BE REMOVED AND RECONFIGURED IN NEW LOCATION PER FURNITURE PLAN.
- (4) EXISTING WINDOW BLINDS TO BE REMOVED, TYP.
- (4) EXISTING FLOOR TRANSITION TO BE REMOVED
- (4) EXISTING EQUIPMENT TO BE REMOVED
- (4) EXISTING FIRE EXTINGUISHER TO BE REMOVED AND RELOCATED.
- (4) EXISTING ELECTRICAL, COMMUNICATIONS, FIRE SAFETY EQUIPMENT, ETC. TO BE RELOCATED. REFERENCE ELECTRICAL PLANS.
- (4) EXISTING FLOOR FINISH TO BE REMOVED.

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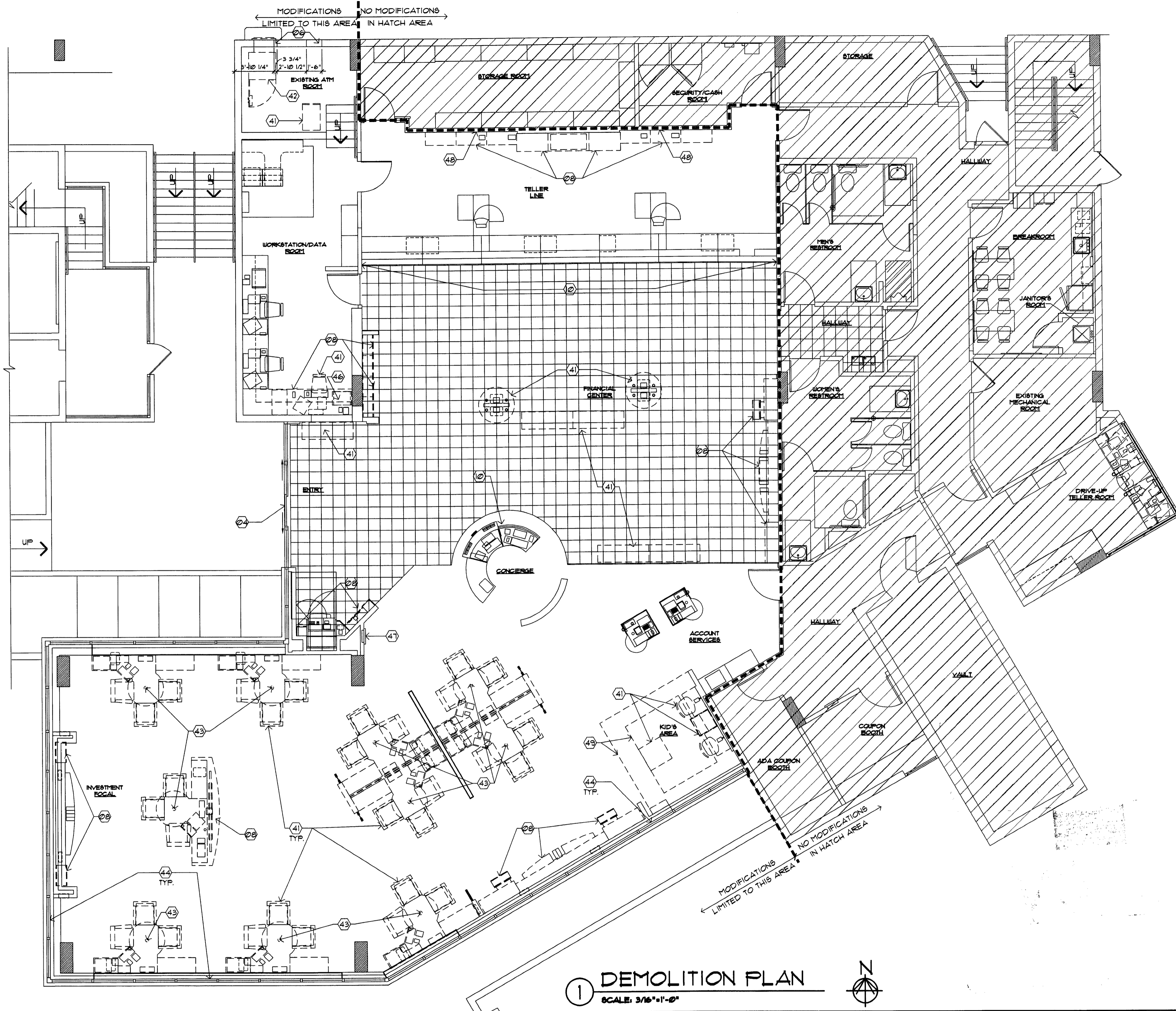
LOUISE CHRYNER
MAY 01 2009

CONSULTANT:

REVISIONS:

NO. DATE REMARKS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
MIAMI BLDG ID# 1724 CHASE STORE ID# 1742
1861 ALTON ROAD
MIAMI, FL 33139



1 DEMOLITION PLAN
SCALE: 3/16"=1'-0"
N

SYMBOL LEGEND

- (2) SHEET KEY NOTE
- (2)A DOOR SYMBOL (NEW OR MODIFIED)
- (A) WINDOW SYMBOL (NEW OR MODIFIED)
- B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.). REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR.
- O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK.

DEMOLITION GENERAL NOTES

1. DEMOLITION PLANS ARE ILLUSTRATIVE IN NATURE ONLY. THEY ARE INTENDED TO ASSIST THE GENERAL CONTRACTOR IN DETERMINING THE SCOPE OF THE WORK. THERE IS NO REFERENCE THAT ALL DEMOLITION AND EXISTING CONDITIONS ARE SHOWN.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND CONFIRM ALL DEMOLITION REQUIRED FOR CONFORMANCE OF THE FINAL CONSTRUCTION DOCUMENTS.
3. DASHED LINES TYPICALLY REPRESENT ITEMS TO BE REMOVED, RELOCATED OR DEMOLISHED ON THE DEMOLITION PLAN ONLY. REFERENCE THE DEMOLITION NOTES FOR DESCRIPTION OF THESE GENERAL ITEMS.
4. TRASH TO BE REMOVED DAILY BY G.C.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING OF TENANT SPACE BOTH DURING AND FOLLOWING DEMOLITION WORK.
6. PROTECT ALL EXISTING MATERIALS TO REMAIN. REPAIR AND PATCH THESE EXISTING MATERIALS DURING CONSTRUCTION WHERE NEEDED. MATCH NEW MATERIALS INSTALLED TO ENSURE THAT ALL DEMOLITION AND NEW CONSTRUCTION IS COMPATIBLE AND INDISTINGUISHABLE. REQUIRED PROTECTION INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
 - STOREFRONT BULKHEAD
 - DRYWALL
 - ELECTRICAL OUTLETS AND SWITCHES
 - EXTERIOR DOORS AND FRAMES
 - FIRE PROTECTION SYSTEM
 - MECHANICAL EQUIPMENTS
 - FIRE PROTECTION
 - FIRE RATED PENETRATIONS
7. IN AREAS INDICATED TO RECEIVE NEW FLOOR COVERING, REMOVE EXISTING FLOOR MATERIALS AND PREPARE SLAB FOR INSTALLATION OF NEW FLOORING MATERIALS

DEMOLITION SHEET KEY NOTES

8. REFER TO NEW FLOOR AND/OR CEILING PLAN FOR EXTENT OF WORK TO REMAIN OR TO BE RELOCATED.
9. REFER TO DEMOLITION REFLECTED CEILING PLAN, SHEET ALSO FOR DEMOLITION INFORMATION REGARDING CEILING, LIGHTING AND SOFFITS.
10. GENERAL CONTRACTOR TO SALVAGE REMOVED MILLWORK FOR POSSIBLE RE-USE. COORDINATE WITH FMC 4 CHASE REGARDING ITS RE-USE ON SITE OR TO COORDINATE ITS RELOCATION TO OTHER LOCATION.
11. ELECTRICIAN TO CAP ALL ABANDONED OUTLET LOCATIONS AND REMOVE POWER BACK TO ITS SOURCE.
12. MODIFICATIONS TO AND/OR REMOVAL OF BUILDING COMPONENTS, MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL BE IN CONFORMANCE WITH LOCAL CODE REQUIREMENTS FOR COMMERCIAL/BUSINESS FACILITIES.
13. EXISTING ELECTRICAL FLOOR BOXES AT TELLER KIOSKS TO BE ABANDONED. REFERENCE ELECTRICAL PLANS. PATCH/ REPAIR EXISTING SLAB AS REQUIRED. FLOOR BOXES TO REMAIN. INFILL WITH THINSET, LEVEL WITH SLAB.
14. STRIP ALL EXISTING WALL COVERING/ MURALS. PREP WALLS FOR NEW FINISHES.
15. G.C. TO KEEP ALL EXISTING PENDANTS FOR REUSE.
16. EXISTING QUICK DROP BOX TO BE REMOVED. TYP. TURN OVER TO FMC.
- (2) NOT USED.
- (2) NOT USED.
- (2) NOT USED.
- (2) EXISTING DOOR AND FRAME TO REMAIN
- (2) NOT USED.
- (2) PORTION OF EXISTING WALL TO BE REMOVED TO ACCOMMODATE NEW WALL OPENING
- (2) NOT USED.
- (2) EXISTING COUNTER AND MILLWORK TO BE REMOVED.
- (2) NOT USED.
- (2) EXISTING LAMINATE TO BE REMOVED.

DEMOLITION SHEET KEY NOTES

- (2) CONTROLLING SWITCH AND (?) GUIDING SIDE TRACKS TO BE REMOVED. GRILLE TO REMAIN ABOVE CEILING. NEW STOREFRONT TO MEET UNDERSIDE OF EXISTING SOFFIT/ CEILING. PATCH WALLS WHERE TRACKS ARE REMOVED. PROVIDE BLOCKING AND PATCH/ REPAIR SOFFIT/ CEILING AS REQUIRED TO MEET MANUFACTURER'S INSTALLATION REQUIREMENTS.
- (4) EXISTING FURNITURE TO BE REMOVED.
- (4) EXISTING ATM TO BE REMOVED AND/ OR RELOCATED.
- (4) EXISTING FURNITURE AND PANEL SYSTEMS TO BE REMOVED AND RECONFIGURED IN NEW LOCATION PER FURNITURE PLAN.
- (4) EXISTING WINDOW BLINDS TO BE REMOVED. TYP.
- (4) NOT USED.
- (4) NOT USED.
- (4) EXISTING FIRE EXTINGUISHER TO REMAIN.
- (4) EXISTING ELECTRICAL, COMMUNICATIONS, FIRE SAFETY EQUIPMENT, ETC. TO BE RELOCATED. REFERENCE ELECTRICAL PLANS.
- (4) EXISTING FLOOR FINISH TO BE REMOVED.

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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.0
DEMOLITION FLOOR PLAN

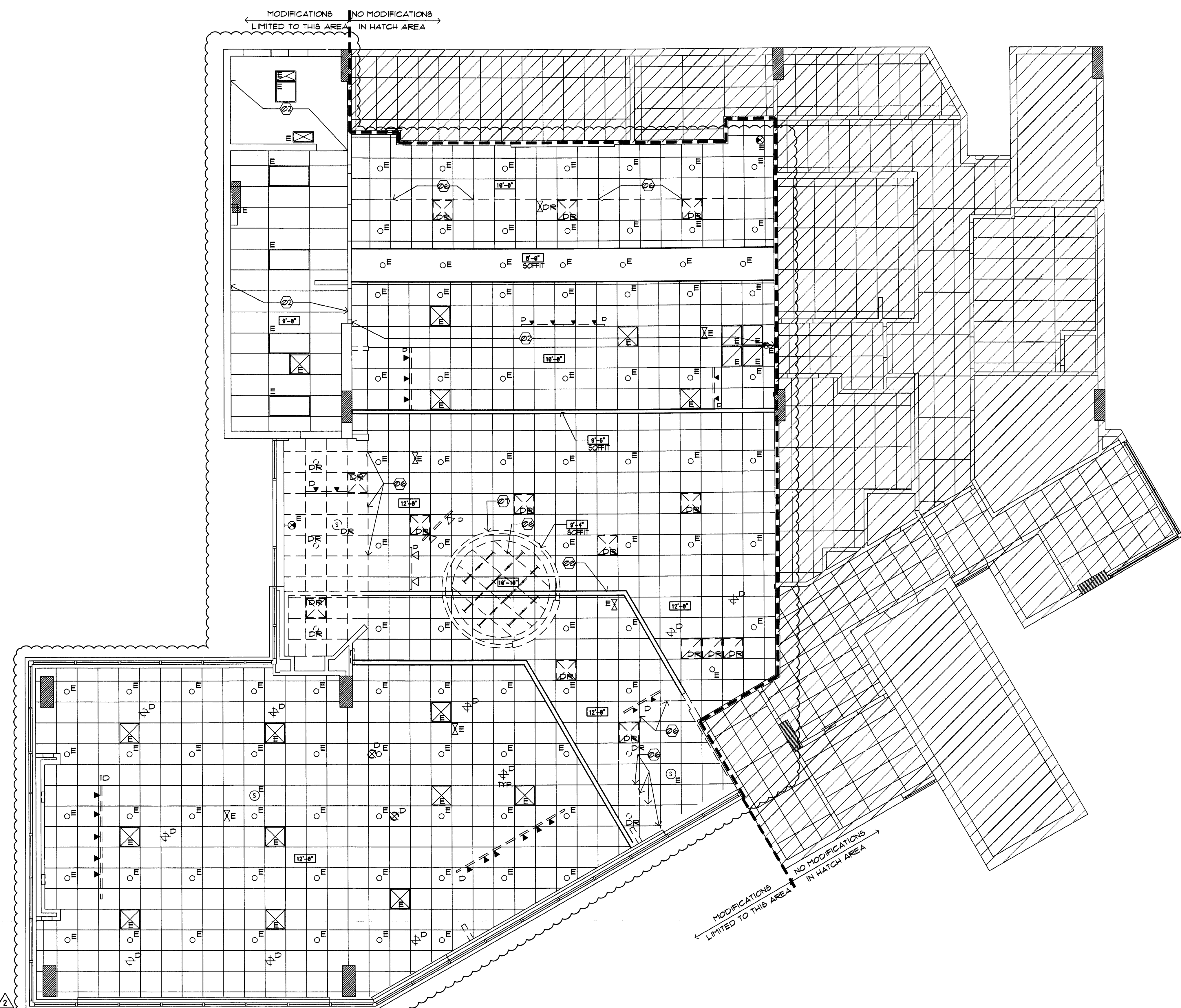
DRAWN BY: *qw*
CHECKED BY: *es*

LEGEND

- GYP. BD. CEILING - NEW
COLOR:
5/8" GYP. BD. SHEATHING
- ACT-1
ACOUSTICAL CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN BEVELED
COLOR: WHITE
SIZE: 24" x 24" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16" EXPOSED TEE
GRID FINISH: WHITE
- ACT-2
ACOUSTICAL CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN BEVELED
COLOR: WHITE
SIZE: 24" x 48" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16" EXPOSED TEE
GRID FINISH: WHITE
- SLEEVES THRU CEILING FOR DATA CABLES
- 2'x4' RECESSED LIGHT FIXTURE IN
SUSPENDED CEILING SYSTEM.
- 1 x 4 SURFACE MOUNTED FLUORESCENT
LIGHT FIXTURE.
- FLUORESCENT STRIP LIGHT FIXTURE.
- 2'x2' LAY-IN FLUORESCENT
- LED CANOPY LIGHT
- 4'x4' COMPACT FLUORESCENT DOWN LIGHT
- 4'x4' WALL WASHER
- EXIT SIGN (DIRECTIONAL)
- EXIT SIGN, LOCATE CENTRALLY OVER DOOR(S)
- EMERGENCY LIGHT, MOUNT TO CEILING
- BLUE PENDANT LIGHT FIXTURE, ALIGN W/
CENTER OF FIXTURE BELOW. RE: RCP FOR
MOUNTING HEIGHT - SEE L-10 SPEC. BELOW.
- AMBER PENDANT LIGHT FIXTURE, ALIGN W/
CENTER OF FIXTURE BELOW. RE: RCP FOR
MOUNTING HEIGHT - SEE L-9 SPEC. BELOW.
- AMBIENT DOWNLIGHT
- MONOPOINT SPOTLIGHT
- TRACK LIGHT MOUNTED TO BOTTOM OF CEILING
- COVE LIGHTING FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- EXHAUST GRILLE
- SUPPLY DIFFUSER
- RETURN GRILLE
- EXHAUST FAN, RE: MECHANICAL
- SPEAKER
- SPRINKLER HEAD
- EXISTING TO REMAIN
- DEMO
- DEMO TO BE RELOCATED
- RELOCATED (NEW LOCATION)
- NEW

L-9 PENDANT LIGHT, CENTER ON TELLER TRANS. WINDOW
MANUFACTURER: BESA LIGHTING
DESCRIPTION: AMBER PENDANT LIGHT
MODEL: IT-151109-SNG18 (AMBER) RIVA II 120V STERN
PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT. REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERY SUPPLY, BUDDY BOCKWEG
PHONE: (811) 101-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR
CEILING 8' AFF. OR LOWER

L-10 PENDANT LIGHT SALES AREA WORK STATIONS
MANUFACTURER: BESA LIGHTING
DESCRIPTION: COBALT BLUE PENDANT LIGHT
MODEL: IT-151101-SNG18 (COBALT BLUE) RIVA II 120V
STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT. REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERY SUPPLY, BUDDY BOCKWEG
PHONE: (811) 101-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR
CEILING 8' AFF. OR LOWER



1 DEMOLITION CEILING PLAN
SCALE: 3/16"=1'-0"

DEMO RCP GENERAL NOTES

1. NOT ALL NOTES, KEY NOTES OR LEGEND ITEMS MAY APPLY.
2. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNO.
3. ALL NEW SUSPENDED CEILING GRID AND CEILING TILE TO MATCH EXISTING ADJACENT SYSTEM.
4. ALL NEW GYP. BD. CEILING AND INFILL CEILING TO MATCH ADJACENT SURFACE TEXTURE AND FINISH.
5. ELECTRICAL CONTRACTOR TO ENSURE THAT MODIFIED LAYOUT OF LIGHT FIXTURES ARE PLANNED SO ELECTRICAL CAPACITY AND ENERGY USE IS CONSISTENT WITH EXISTING DESIGN.
6. CENTER LIGHT AND MECHANICAL FIXTURES WITHIN CEILING TILE TYPICAL, UNO.
7. MECHANICAL CONTRACTOR TO MOVE EXISTING SUPPLY AND RETURN GRILLES TO AVOID INTERFERENCE WITH ANY NEW WALL OR SOFFIT LOCATIONS. MECHANICAL SYSTEM SHALL BE BALANCED TO ENSURE ANY MINOR ADJUSTMENTS TO THE SYSTEM ALLOW FOR PROPER CONDITIONING OF SPACE.
8. COORDINATE ALL SOFFIT DESIGN AND ACCENT LIGHTING POSITION TO COORDINATE WITH FURNITURE LAYOUT.
9. ALL SECURITY DEVICES INCLUDING CAMERAS, MONITORS, ALARMS, ETC. WILL BE DESIGNED AND INSTALLED BY THE SECURITY COMPANY AND ARE NOT SHOWN ON THESE PLANS, NOR ON THE ELECTRICAL PLANS.

DEMO RCP SHEET KEY NOTES

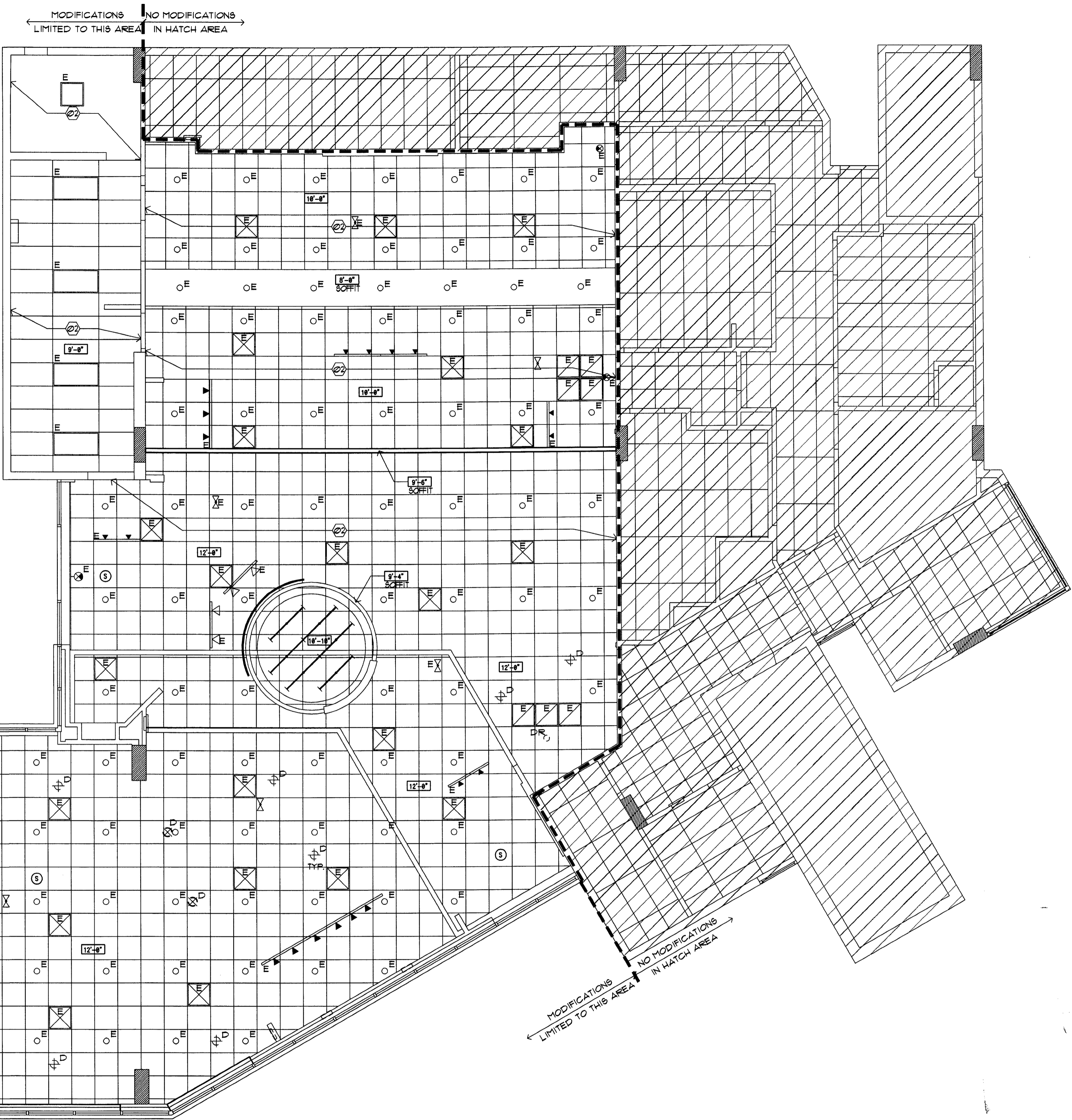
10. CONTRACTOR TO COORDINATE WITH FIRE SPRINKLER & FIRE ALARM DESIGN/BUILD CONTRACTORS TO ENSURE ANY MINOR MODIFICATIONS ARE ALLOWED BY CODE. THESE MINOR MODIFICATIONS ARE ASSUMED TO BE A SLIGHT RAISING, LOWERING OR REPOSITIONING ONLY.
 11. REMOVE EXISTING WAMU (FORMER TENANTS') RELATED MARKETING ELEMENTS SUCH AS: CIRCULAR SOFFIT(S), TRACK LIGHTING, SIGNAGE BANNERS AND/OR MARKETING DISPLAYS.
 12. TURN OVER ALL EXISTING PENDANT FIXTURES TO PMC FIELD REP.
- 20 NOT USED.
 - 21 NO CEILING WORK IN THIS AREA.
 - 22 NOT USED.
 - 23 NOT USED.
 - 24 NOT USED.
 - 25 NOT USED.
 - 26 PORTION OF EXISTING CEILING/ GRID TO BE REMOVED.
 - 27 REMOVE (WAMU RELATED) CIRCULAR SOFFIT & SIGNAGE BANNER(S).
 - 28 PORTION OF EXISTING SOFFIT TO REMAIN.

LEGEND

- GYP. BD. CEILING - NEW
COLOR:
5/8" GYP. BD. SHEATHING
- ACOUSTICAL CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN BEVELED
COLOR: WHITE
SIZE: 24" x 24" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16" EXPOSED TEE
GRID FINISH: WHITE
- ACOUSTICAL CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN BEVELED
COLOR: WHITE
SIZE: 24" x 48" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16" EXPOSED TEE
GRID FINISH: WHITE
- SLEEVES THRU CEILING FOR DATA CABLES
- 2'x4' RECESSED LIGHT FIXTURE IN SUSPENDED CEILING SYSTEM.
- 1 x 4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE.
- FLUORESCENT STRIP LIGHT FIXTURE.
- 2'x2' LAY-IN FLUORESCENT
- LED CANOPY LIGHT
- 4"x4" COMPACT FLUORESCENT DOWN LIGHT
- 4"x4" WALL WASHER
- EXIT SIGN (DIRECTIONAL)
- EXIT SIGN, LOCATE CENTRALLY OVER DOOR(S)
- EMERGENCY LIGHT, MOUNT TO CEILING
- BLUE PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE: RCP FOR MOUNTING HEIGHT - SEE L-10 SPEC. BELOW.
- AMBER PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE: RCP FOR MOUNTING HEIGHT - SEE L-9 SPEC. BELOW.
- AMBIENT DOWNLIGHT
- MONOPOINT SPOTLIGHT
- TRACK LIGHT MOUNTED TO BOTTOM OF CEILING
- COVE LIGHTING FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- EXHAUST GRILLE
- SUPPLY DIFFUSER
- RETURN GRILLE
- EXHAUST FAN, RE: MECHANICAL
- SPEAKER
- SPRINKLER HEAD
- EXISTING TO REMAIN
- DEMO
- DEMO TO BE RELOCATED
- RELOCATED (NEW LOCATION)
- NEW

L-9 PENDANT LIGHT, CENTER ON TELLER TRANS. WINDOW
MANUFACTURER: BESA LIGHTING
DESCRIPTION: AMBER PENDANT LIGHT
MODEL: IT-151802-SNG18 (AMBER) RIVA II 120V STERN
PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERV SUPPLY, BUDDY BOCKWEG
PHONE: (811) 101-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR CEILING 8' AFF. OR LOWER

L-10 PENDANT LIGHT, SALES AREA WORK STATIONS
MANUFACTURER: BESA LIGHTING
DESCRIPTION: COBALT BLUE PENDANT LIGHT
MODEL: IT-151801-SNG18 (COBALT BLUE) RIVA II 120V
STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERV SUPPLY, BUDDY BOCKWEG
PHONE: (811) 101-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR CEILING 8' AFF. OR LOWER



1 DEMOLITION CEILING PLAN
SCALE: 3/16"=1'-0"

DEMO RCP GENERAL NOTES

1. NOT ALL NOTES, KEY NOTES OR LEGEND ITEMS MAY APPLY.
2. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNO.
3. ALL NEW SUSPENDED CEILING GRID AND CEILING TILE TO MATCH EXISTING ADJACENT SYSTEM.
4. ALL NEW GYP. BD. CEILING AND INFILL CEILING TO MATCH ADJACENT SURFACE TEXTURE AND FINISH.
5. ELECTRICAL CONTRACTOR TO ENSURE THAT MODIFIED LAYOUT OF LIGHT FIXTURES ARE PLANNED SO ELECTRICAL CAPACITY AND ENERGY USE IS CONSISTENT WITH EXISTING DESIGN.
6. CENTER LIGHT AND MECHANICAL FIXTURES WITHIN CEILING TILE TYPICAL, UNO.
7. MECHANICAL CONTRACTOR TO MOVE EXISTING SUPPLY AND RETURN GRILLS TO AVOID INTERFERENCE WITH ANY NEW WALL OR SOFFIT LOCATIONS. MECHANICAL SYSTEM SHALL BE BALANCED TO ENSURE ANY MINOR ADJUSTMENTS TO THE SYSTEM ALLOW FOR PROPER CONDITIONING OF SPACE.
8. COORDINATE ALL SOFFIT DESIGN AND ACCENT LIGHTING POSITION TO COORDINATE WITH FURNITURE LAYOUT.
9. ALL SECURITY DEVICES INCLUDING CAMERAS, MONITORS, ALARMS, ETC. WILL BE DESIGNED AND INSTALLED BY THE SECURITY COMPANY AND ARE NOT SHOWN ON THESE PLANS, NOR ON THE ELECTRICAL PLANS.

DEMO RCP SHEET KEY NOTES

10. CONTRACTOR TO COORDINATE WITH FIRE SPRINKLER & FIRE ALARM DESIGN/BUILD CONTRACTORS TO ENSURE ANY MINOR MODIFICATIONS ARE ALLOWED BY CODE. THESE MINOR MODIFICATIONS ARE ASSUMED TO BE A SLIGHT RAISING, LOWERING OR REPOSITIONING ONLY.
11. REMOVE EXISTING WAMU (FORMER TENANTS') RELATED MARKETING ELEMENTS SUCH AS: CIRCULAR SOFFIT(S), TRACK LIGHTING, SIGNAGE BANNERS AND/OR MARKETING DISPLAYS.
12. TURN OVER ALL EXISTING PENDANT FIXTURES TO FMC FIELD REP.

	NOT USED.
	NO CEILING WORK IN THIS AREA.
	NOT USED.
	NOT USED.
	NOT USED.
	NOT USED.
	NOT USED.
	NOT USED.

INTERPLAN
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA8660

933 LEE ROAD, FIRST FLOOR
ORLANDO, FLORIDA 32810
PH 407.645.5008
FX 407.629.9124

SEAL:

LOUISE CRATER
MAY 01 2009

CONSULTANT:

REVISIONS:
NO. DATE REMARKS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
WAMU BLDG @ 1924 CHASE STORE ID# 1742
1801 ALTON ROAD
MIAMI, FL 33137

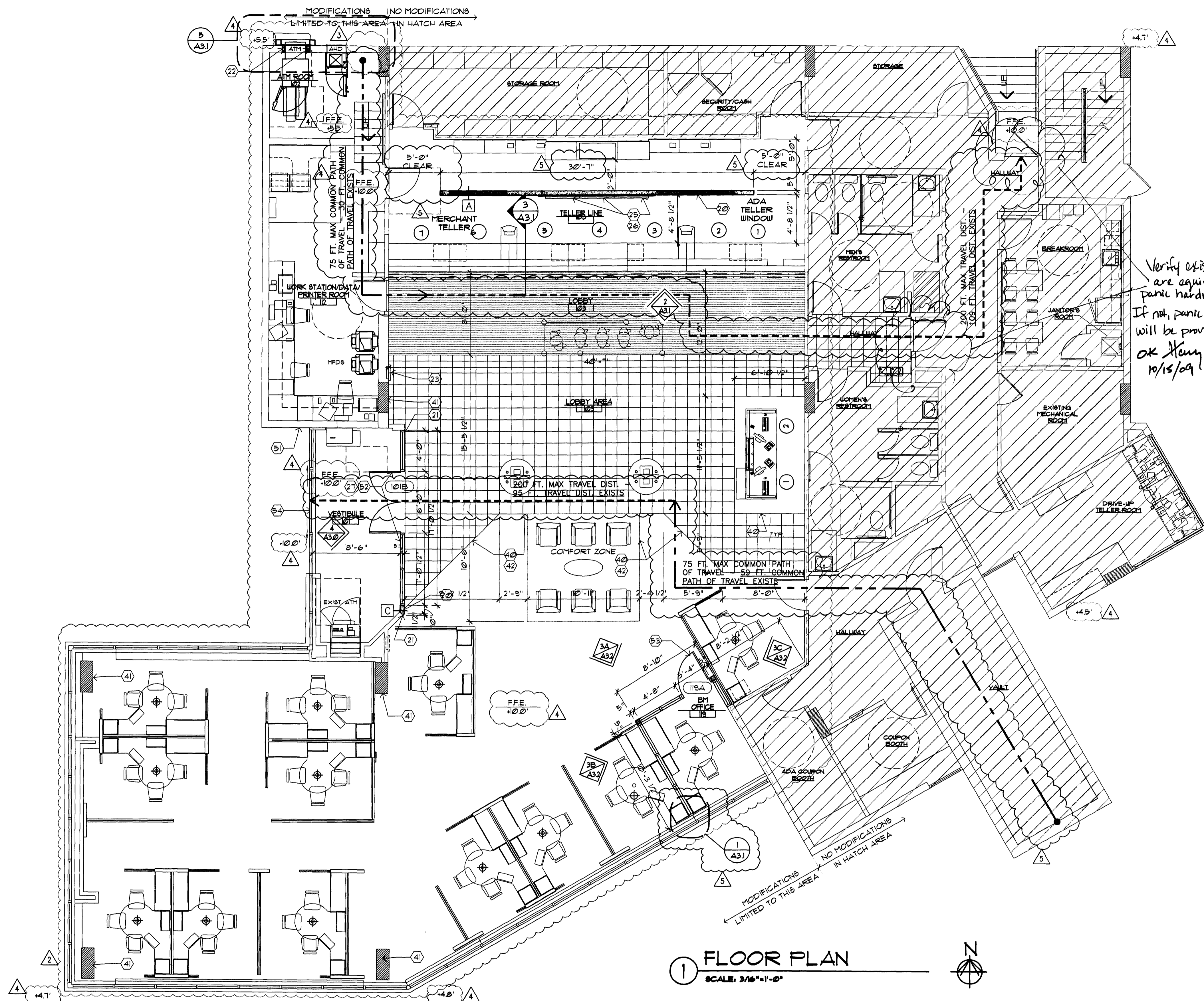
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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.0A
DEMOLITION CEILING
PLAN

DRAWN BY:
CHECKED BY:

NO.	DATE	REMARKS
2	06-09-09	OWNER REVISIONS
3	06-30-09	OWNER REVISIONS
4	07-28-09	PERMIT COMMENTS
5	10-05-09	PERMIT COMMENTS



Verify existing doors
are equipped with
panic hardware.
If not, panic hardware
will be provided.
OK Henry
10/15/09

1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

SYMBOL LEGEND	FLOOR PLAN GENERAL NOTES	FLOOR PLAN SHEET KEY NOTES
<p>⊙ SHEET KEY NOTE</p> <p>101A DOOR SYMBOL (NEW OR MODIFIED)</p> <p>A WINDOW SYMBOL (NEW OR MODIFIED)</p> <p>B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.). REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR.</p> <p>O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK.</p> <p>A WALL TYPE SYMBOL - SEE SHEET A3.0</p> <p>ELEVATION SYMBOL ELEVATION NUMBER SHEET NUMBER</p>	<p>1. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED</p> <p>2. ALL NEW WALL INFILL AREAS TO MATCH ADJACENT EXISTING WALL IN CONSTRUCTION AND GYP. BD. FINISH</p> <p>3. DOOR MARK (101A) RE: SHEET A3.0</p> <p>4. PROVIDE ADEQUATE WOOD BLOCKING AT ANCHORAGE FOR ALL COUNTERTOPS, SHELVING, CABINETS, ETC. ANCHORAGE THROUGH GYP. BD. ONLY IS NOT ACCEPTABLE.</p> <p>5. PROVIDE FIRE EXTINGUISHERS PER CODE. CONFIRM WITH FIRE DEPARTMENT PRIOR TO INSTALLATION</p> <p>6. DOOR FRAMES LOCATED 3" FROM ADJACENT FINISHED WALL UNLESS OTHERWISE NOTED (UNO.)</p> <p>7. ENSURE ALL NEW AND OLD WALLS SURROUNDING VESTIBULE EXTEND TO DECK ABOVE (WITH SLIP JOINT DETAILING AT TOP OF WALL.)</p> <p>8. X-RAY CONCRETE SLAB PRIOR TO ANY PENETRATIONS, CUTTING OR REMOVAL OF CONCRETE SLAB TO ENSURE THAT THE STRUCTURAL INTEGRITY SHALL NOT BE COMPROMISED, UNLESS EXISTING STRUCTURAL PLANS CAN BE OBTAINED TO ENSURE SUCH.</p> <p>9. FURNITURE SHOWN FOR REFERENCE ONLY. RE: FURNITURE PLANS FOR SPECIFIC INFORMATION.</p> <p>10. NOT ALL NOTES, KEYNOTES AND/OR LEGEND ITEMS APPLY.</p> <p>11. EXISTING FIRE EXTINGUISHER TO BE RELOCATED PER FIRE DEPARTMENT REQUIREMENTS</p> <p>12. EXISTING TENANT DEMISING WALL. IF TENANT DEMISING WALL IS DAMAGED DURING CONSTRUCTION OR THE FIRE RATING OF THE WALL IS COMPROMISED, THE CONTRACTOR IS RESPONSIBLE TO REPAIR THE WALL USING MATERIALS REQUIRED TO MAINTAIN THE EXISTING FIRE RATING OF THE WALL.</p>	<p>WALLS</p> <p>20. NEW WALLS & WALL INFILL TO BE CONSTRUCTED OF STUDS TO MATCH EXISTING. GYP. BD. THICKNESS/ TYPE TO MATCH EXISTING GYP. BD. TYP. (5/8" GYP. BD. ASSUMED). FIELD VERIFY.</p> <p>21. ALIGN NEW WALL OR PARTITION WITH FACE OF EXISTING WALL.</p> <p>22. INFILL OPENING IN EXTERIOR WALL WITH MATERIALS TO MATCH EXISTING ADJACENT MATERIALS EXTERIOR AND INTERIOR. ALL INFILL AREAS TO RECEIVE INSULATION, FIRE RATING AND MOISTURE PROTECTION CONSISTENT WITH EXISTING. PROPERLY CAULK AND SEAL ALL PENETRATIONS.</p> <p>23. NEW LOCATION FOR EXISTING FIRE EXTINGUISHER OR PER FIRE DEPARTMENT'S DIRECTION.</p> <p>24. NOT USED.</p> <p>25. MARKETING FIXTURE. SEE TELLER LINE ELEVATION.</p> <p>FLOORS</p> <p>26. PROVIDE PLYWOOD BACKER FOR TV BRACKET INSTALLATION. SEE DETAIL 5/A32.</p> <p>27. NEW HEADER / SOFFIT OVER NEW OR RELOCATED STOREFRONT SYSTEM. G.C. TO VERIFY EXISTING CONDITIONS AND MODIFY FRAMING IF REQUIRED TO ATTACH / BRACE TO STRUCTURE ABOVE - SEE 5C/A3.0 FOR DETAIL (SIMILAR)</p> <p>28. RE: TRANSITION DETAILS FOR APPROPRIATE FLOORING TRANSITION DETAIL, SHEET 2/A12</p> <p>29. EXISTING COLUMN TO REMAIN.</p> <p>30. PATCH AND REPAIR EXPOSED PORTIONS OF EXISTING FLOOR TO NEW FINISH TO MATCH EXISTING.</p> <p>OPENINGS</p> <p>31. ADA POWER ASSISTED ACTIVATION BUTTON TO REMAIN IF EXISTING. SECURITY VENDOR TO COORDINATE.</p> <p>32. CARD READER AT EXTERIOR ENTRY DOORS TO REMAIN IF EXISTING. SECURITY VENDOR TO COORDINATE.</p> <p>33. NEW ALUMINUM STOREFRONT SYSTEM WITH 1/4" SINGLE PANE GLAZING. RE: SHEET A3.0</p> <p>34. DOOR AND HOLLOW METAL FRAME. RE: ELEVATIONS SHEET A3.0 & SHEET A12 FOR COLOR</p> <p>35. G.C. TO PROVIDE NEW TINTING FILM ON EXISTING EXTERIOR DOORS TO MATCH EXISTING WHERE WAMU MERCHANDISING REMOVED.</p> <p>36. (NOT USED)</p>

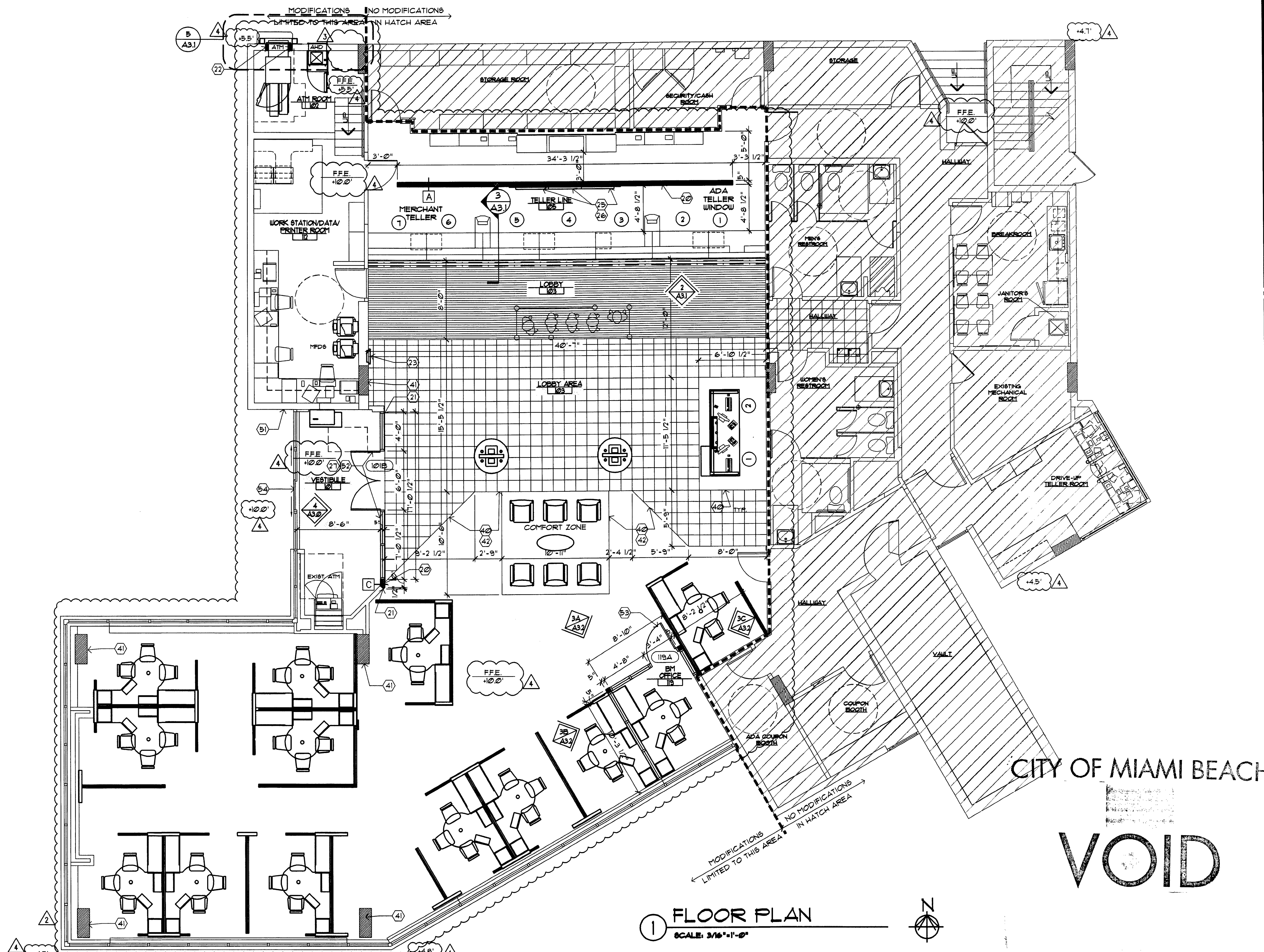
B. Walker

SEAL
Harvey Jacoby
HARVEY JACOBY
AUG 17, 2009

CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS
2	06-09-09	OWNER REVISIONS
3	06-30-09	OWNER REVISIONS
4	07-28-09	PERMIT COMMENTS



1 FLOOR PLAN
SCALE: 3/16"=1'-0"

CITY OF MIAMI BEACH
VOID

SYMBOL LEGEND

(101A)	SHEET KEY NOTE
(101A)	DOOR SYMBOL (NEW OR MODIFIED)
(A)	WINDOW SYMBOL (NEW OR MODIFIED)
B.E.	BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.)- REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR.
O.E.	OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK.
(A)	WALL TYPE SYMBOL - SEE SHEET A3.0
(2 A3.1)	ELEVATION SYMBOL ELEVATION NUMBER SHEET NUMBER

FLOOR PLAN GENERAL NOTES

- DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED
- ALL NEW WALL INFILL AREAS TO MATCH ADJACENT EXISTING WALL IN CONSTRUCTION AND GYP. BD. FINISH
- DOOR MARK (101A) RE: SHEET A3.0
- PROVIDE ADEQUATE WOOD BLOCKING AT ANCHORAGE FOR ALL COUNTERTOPS, SHELVING, CABINETS, ETC. ANCHORAGE THROUGH GYP. BD. ONLY IS NOT ACCEPTABLE.
- PROVIDE FIRE EXTINGUISHERS PER CODE. CONFIRM WITH FIRE DEPARTMENT PRIOR TO INSTALLATION
- DOOR FRAMES LOCATED 3" FROM ADJACENT FINISHED WALL UNLESS OTHERWISE NOTED (UNO.)
- ENSURE ALL NEW AND OLD WALLS SURROUNDING VESTIBULE EXTEND TO DECK ABOVE (WITH SLIP JOINT DETAILING AT TOP OF WALL)
- X-RAY CONCRETE SLAB PRIOR TO ANY PENETRATIONS, CUTTING OR REMOVAL OF CONCRETE SLAB TO ENSURE THAT THE STRUCTURAL INTEGRITY SHALL NOT BE COMPROMISED, UNLESS EXISTING STRUCTURAL PLANS CAN BE OBTAINED TO ENSURE SUCH
- FURNITURE SHOWN FOR REFERENCE ONLY. RE: FURNITURE PLANS FOR SPECIFIC INFORMATION.
- NOT ALL NOTES, KEYNOTES AND/OR LEGEND ITEMS APPLY.
- EXISTING FIRE EXTINGUISHER TO BE RELOCATED PER FIRE DEPARTMENT REQUIREMENTS
- EXISTING TENANT DEMISING WALL. IF TENANT DEMISING WALL IS DAMAGED DURING CONSTRUCTION OR THE FIRE RATING OF THE WALL IS COMPROMISED, THE CONTRACTOR IS RESPONSIBLE TO REPAIR THE WALL USING MATERIALS REQUIRED TO MAINTAIN THE EXISTING FIRE RATING OF THE WALL.

WALLS

- NEW WALLS - WALL INFILL TO BE CONSTRUCTED OF STUDS TO MATCH EXISTING. GYP. BD. THICKNESS/ TYPE TO MATCH EXISTING GYP. BD. TYP. (5/8" GYP. BD. ASSUMED). FIELD VERIFY.
- ALIGN NEW WALL OR PARTITION WITH FACE OF EXISTING WALL.
- INFILL OPENING IN EXTERIOR WALL WITH MATERIALS TO MATCH EXISTING ADJACENT MATERIALS EXTERIOR AND INTERIOR. ALL INFILL AREAS TO RECEIVE INSULATION, FIRE RATING AND MOISTURE PROTECTION CONSISTENT WITH EXISTING. PROPERLY CAULK AND SEAL ALL PENETRATIONS.
- NEW LOCATION FOR EXISTING FIRE EXTINGUISHER OR PER FIRE DEPARTMENT'S DIRECTION.
- NOT USED.
- MARKETING FIXTURE. SEE TELLER LINE ELEVATION.

FLOORS

- PROVIDE PLYWOOD BACKER FOR TV BRACKET INSTALLATION. SEE DETAIL 5/A3.2.
- NEW HEADER / SOFFIT OVER NEW OR RELOCATED STOREFRONT SYSTEM. G.C. TO VERIFY EXISTING CONDITIONS AND MODIFY FRAMING IF REQUIRED TO ATTACH / BRACE TO STRUCTURE ABOVE - SEE 5C/A3.0 FOR DETAIL (SIMILAR)
- FIRE TRANSITION DETAILS FOR APPROPRIATE FLOORING TRANSITION DETAIL, SHEET 2/A12
- EXISTING COLUMN TO REMAIN.
- PATCH AND REPAIR EXPOSED PORTIONS OF EXISTING FLOOR TO NEW FINISH TO MATCH EXISTING.

OPENINGS

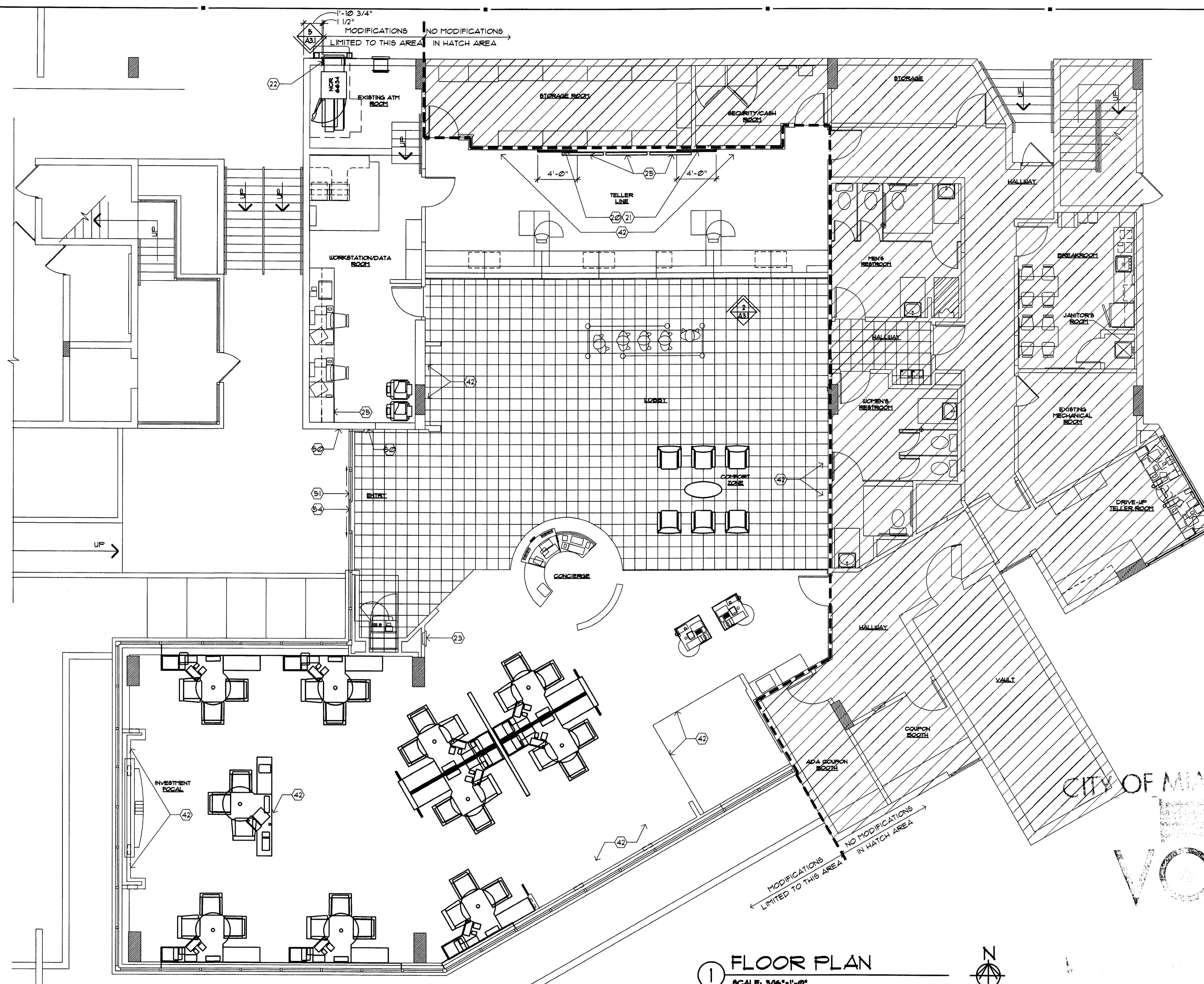
- ADA POWER ASSIST ACTIVATION BUTTON TO REMAIN IF EXISTING. G.C. TO VERIFY OPERATIONAL.
- CARD READER AT EXTERIOR ENTRY DOORS TO REMAIN IF EXISTING. SECURITY VENDOR TO COORDINATE
- NEW ALUMINUM STOREFRONT SYSTEM WITH 1/4" SINGLE PANE GLAZING. RE: SHEET A3.0
- DOOR AND HOLLOW METAL FRAME. RE: ELEVATIONS SHEET A3.0 & SHEET A12 FOR COLOR
- G.C. TO PROVIDE NEW TINTING FILM ON EXISTING EXTERIOR DOORS TO MATCH EXISTING WHERE WAMP MERCHANDISING REMOVED.
- (NOT USED)

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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.1
FLOOR PLAN

DRAWN BY: *[Signature]*
CHECKED BY: *[Signature]*



1 FLOOR PLAN
SCALE: 3/16" = 1'-0"

SYMBOL LEGEND	
(2)	SHEET KEY NOTE
(101A)	DOOR SYMBOL (NEW OR MODIFIED)
(A)	WINDOW SYMBOL (NEW OR MODIFIED)
B.E.	BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.) - REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR.
O.E.	OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK
(A)	WALL TYPE SYMBOL - SEE SHEET A3.0
(2)	ELEVATION SYMBOL
(A3)	ELEVATION NUMBER
(2)	SHEET NUMBER

- FLOOR PLAN GENERAL NOTES**
- DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNLESS OTHERWISE NOTED
 - ALL NEW WALL INFILL AREAS TO MATCH ADJACENT EXISTING WALL IN CONSTRUCTION AND GYP. BD. FINISH
 - DOOR MARK (101A) RE: SHEET A3.0
 - PROVIDE ADEQUATE WOOD BLOCKING AT ANCHORAGE FOR ALL COUNTERTOPS, SHELVING, CABINETS, ETC. ANCHORAGE THROUGH GYP. BD. ONLY IS NOT ACCEPTABLE.
 - PROVIDE FIRE EXTINGUISHERS PER CODE. CONFIRM WITH FIRE DEPARTMENT PRIOR TO INSTALLATION
 - DOOR FRAMES LOCATED 3" FROM ADJACENT FINISHED WALL UNLESS OTHERWISE NOTED (UNO.)
 - ENSURE ALL NEW AND OLD WALLS SURROUNDING VESTIBULE EXTEND TO DECK ABOVE (WITH SLIP JOINT DETAILING AT TOP OF WALL).
 - X-RAY CONCRETE SLAB PRIOR TO ANY PENETRATIONS, CUTTING OR REMOVAL OF CONCRETE SLAB TO ENSURE THAT THE STRUCTURAL INTEGRITY SHALL NOT BE COMPROMISED UNLESS EXISTING STRUCTURAL PLANS CAN BE OBTAINED TO ENSURE SUCH.
 - FURNITURE SHOWN FOR REFERENCE ONLY. RE. FURNITURE PLANS FOR SPECIFIC INFORMATION.
 - NOT ALL NOTES, KEYNOTES AND/OR LEGEND ITEMS APPLY.
 - EXISTING FIRE EXTINGUISHER TO BE RELOCATED PER FIRE DEPARTMENT REQUIREMENTS
 - EXISTING TENANT DEMISING WALL. IF TENANT DEMISING WALL IS DAMAGED DURING CONSTRUCTION OR THE FIRE RATING OF THE WALL IS COMPROMISED, THE CONTRACTOR IS RESPONSIBLE TO REPAIR THE WALL USING MATERIALS REQUIRED TO MAINTAIN THE EXISTING FIRE RATING OF THE WALL.

- WALLS**
- (2) NEW WALLS & WALL INFILL TO BE CONSTRUCTED OF STUDS TO MATCH EXISTING. GYP. BD. THICKNESS/TYPE TO MATCH EXISTING GYP. BD. TYP. (5/8" GYP. BD. ASSUMED). FIELD VERIFY.
 - (21) ALIGN NEW WALL OR PARTITION WITH FACE OF EXISTING WALL.
 - (22) INFILL OPENING IN EXTERIOR WALL WITH MATERIALS TO MATCH EXISTING ADJACENT MATERIALS EXTERIOR AND INTERIOR. ALL INFILL AREAS TO RECEIVE INSULATION, FIRE RATINGS AND MOISTURE PROTECTION CONSISTENT WITH EXISTING. PROPERLY CAULK AND SEAL ALL PENETRATIONS.
 - (23) EXISTING FIRE EXTINGUISHERS TO REMAIN
 - (24) NOT USED.
 - (25) PLASMA MONITOR. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

- FLOORS**
- (40) NOT USED.
 - (41) NOT USED.
 - (42) PATCH AND REPAIR EXPOSED PORTIONS OF EXISTING FLOOR TO NEW FINISH TO MATCH EXISTING.

- OPENINGS**
- (52) ADA POWER ASSIST ACTIVATION BUTTON TO REMAIN IF EXISTING. G.C. TO VERIFY OPERATIONAL.
 - (51) CARD READER AT EXTERIOR ENTRY DOORS TO REMAIN IF EXISTING. SECURITY VENDOR TO COORDINATE
 - (53) (NOT USED)
 - (54) (NOT USED)
 - (55) G.C. TO PROVIDE NEW TINTING FILM ON EXISTING EXTERIOR DOORS TO MATCH EXISTING WHERE WAMU MERCHANDISING REMOVED.
 - (56) (NOT USED)

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LEWIS CRAMER
MAY 11 2009

CONSULTANT:
NO. DATE REMARKS

REVISIONS:
NO. DATE REMARKS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
MIAMI BEACH - ALTON ROAD
WAMU RDG D/F 1924 CHASE STORE ID# 1742
MIAMI, FL 33139

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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.1
FLOOR PLAN

DRAWN BY: *gw*
CHECKED BY: *es*

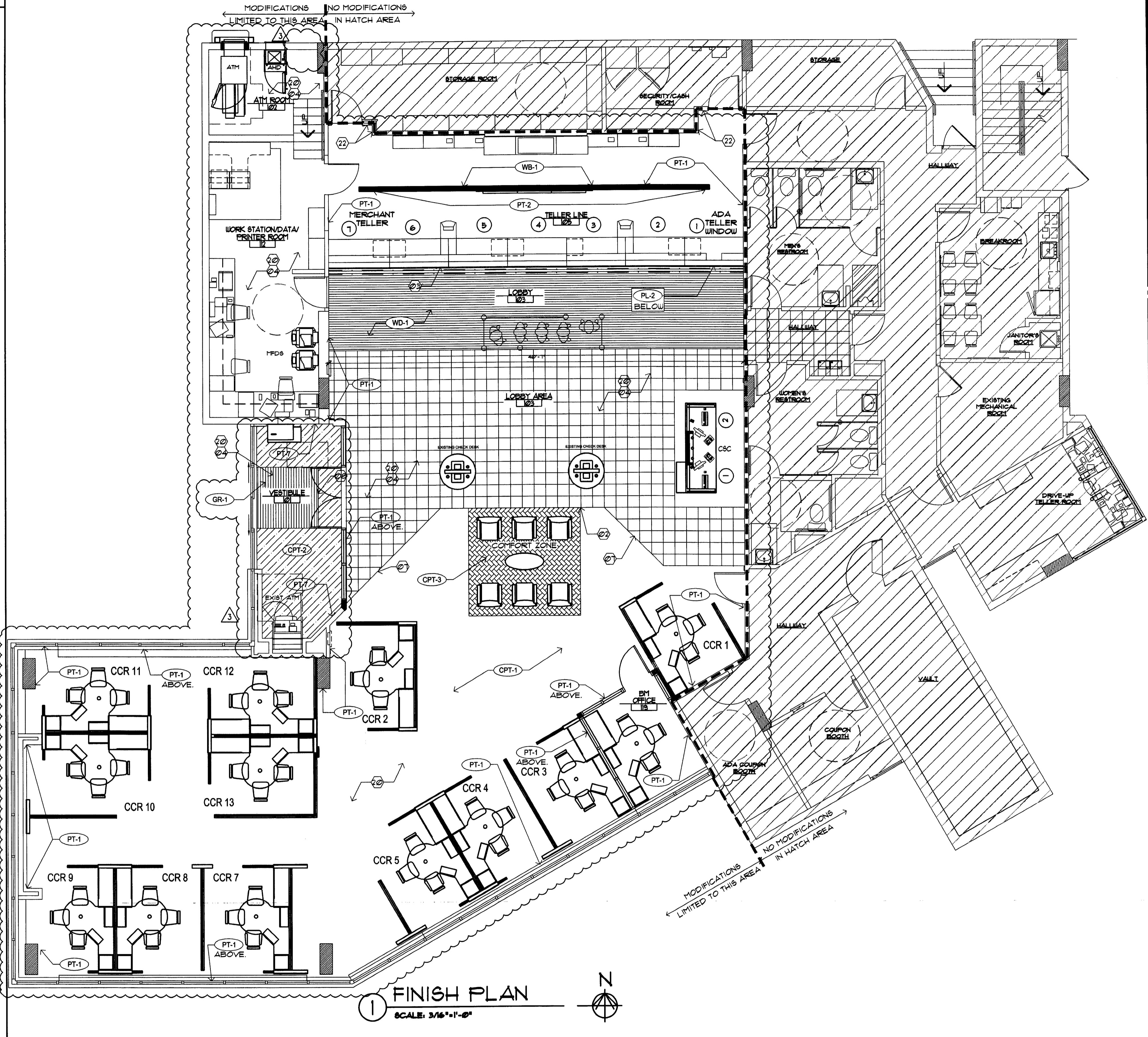
CHASE FINISH LEGEND

- NEW MILLWORK BY G.C. - SEE DETAILS ON SHEETS A3.0 & A3.2**
- PT-1** LOCATION: INTERIOR WALLS, DOORS AND FRAMES EXCEPT AS NOTED
MANUFACTURER: BENJAMIN MOORE
COLOR: AC-5 "SPRINGFIELD TAN"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL PAINT 524, SATIN FINISH 526
FINISH: EGGSHELL FOR WALLS, SATIN FOR DOORS AND FRAMES
- PT-2** LOCATION: INTERIOR ACCENT WALL BEHIND TELLER LINE
MANUFACTURER: BENJAMIN MOORE
COLOR: TO MATCH SHERWIN WILLIAMS SW-6356 "COPPER MOUNTAIN"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL FINISH 524
FINISH: EGGSHELL
- PT-4** LOCATION: INTERIOR ACCENT PAINT USED WITH WALL COVERING
MANUFACTURER: BENJAMIN MOORE
COLOR: HC-81 "OLD GLORY" (CHASE ACCENT BLUE)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL PAINT 524
FINISH: EGGSHELL
- PT-5** LOCATION: INTERIOR DRYWALL CEILING
MANUFACTURER: BENJAMIN MOORE
COLOR: NTRM READY MADE "SUPERWHITE"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL PAINT 524
FINISH: EGGSHELL
- PT-7** LOCATION: INTERIOR WALL FINISH (ENTRY VESTIBULE)
MANUFACTURER: BENJAMIN MOORE
COLOR: TO MATCH SHERWIN WILLIAMS SW-1245 (INTELLECTUAL GRA)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL FINISH 524
FINISH: EGGSHELL
- PT-8** LOCATION: WALLS, DOORS, FRAMES TO MATCH PL-2
MANUFACTURER: BENJAMIN MOORE
COLOR: 2098-10 (BARREL BROWN)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL FINISH 524, SATIN FINISH 526
FINISH: EGGSHELL FOR WALLS SATIN FOR DOORS & FRAMES
- PT-9** LOCATION: EXISTING CROWN MOLDING (HISTORIC LOCATIONS)
MANUFACTURER: BENJAMIN MOORE
COLOR: NTRM READY MIXED COLORS (WHITE DOVE 1-06)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGGSHELL FINISH 524
FINISH: EGGSHELL
- WC-1** WALL COVERING: SELECT WALL SURFACES (SEE PLAN)
MANUFACTURER: DL COUCH
PRODUCT NUMBER: CBSP-04
PATTERN: CUSTOM CHASE SILK SCREEN W/ 48" PATTERN REPEAT
- WC-2** WALL COVERING: SOFFIT SURFACES ABOVE TELLER LINES
MANUFACTURER: DL COUCH
PRODUCT NUMBER: CBOR-02
PATTERN: CUSTOM CHASE SILK SCREEN W/ 24" ROLL + 3 ROW PATTERN REPEAT. ALIGN WALL COVERING WITH BOTTOM OF SOFFIT AND CONTINUE APPLICATION UPWARDS. TRIM AT TOP. NOTE: DO NOT TRIM EVENLY FROM BOTH SIDES
- PL-1** HORIZONTAL LAMINATE: MILLWORK WORK SURFACES, HORIZONTAL SURFACES AT TELLER LINE OR CUSTOMER SERVICE CENTER
MANUFACTURER: WILSONART
PRODUCT NUMBER: 4882-38
STYLE: OILED SOAPSTONE
FINISH: TEXTURED
- PL-2** WOOD VERTICAL LAMINATE: RETROFIT TELLER LINES, SALES OFFICE WALLS (PRESTIGE LOCATIONS UNLESS EXCEPTION) ENTRY OCTAGON WALLS, BGV SURROUND
MANUFACTURER: WILSONART
PRODUCT NUMBER: 1935-01
STYLE: SHAKER CHERRY
FINISH: TEXTURED
SIZE: SEE REAL ESTATE SPECIFICATIONS
- WT-1** MOTORIZED WINDOW SHADES
MANUFACTURER: INSIDE OUTFITTERS
MODEL NUMBER: STYLE 3000, VO1
COLOR: PALE GREY
SIZE: SEAMLESS UP TO 98" WIDE
OPENNESS FACTOR: 15%

- WB-1** WALL BASE: TYPICAL ALL WALLS
MANUFACTURER: JOHNSONITE FLOORING
STYLE: "TIGHT LOCK" RESILIENT WALL BASE
COLOR: #40 "BLACK"
COMMENTS: MATCH WALL BASE TO FURNITURE FRAME
COLOR VERIFY WITH CHASE FM
SIZE: 4 1/2" 91MM LINE HEIGHT
- CPT-1** CARPET: CARPETED AREAS EXCEPT AS NOTED
MANUFACTURER: INTERFACE
NAME: MEDITATIONS
PRODUCT: 1671202500
COLOR: MOCHA 15802
CONSTRUCTION: BROADLOOM / 50 CM TILE
BACKING: GLASSBAC
SIZE TILE: 50 CM TILE
NOTE: INSTALL TILES NON-DIRECTIONAL
- CPT-2** RECYCLED TIRE TILE: AT ENTRANCE VESTIBULES
MANUFACTURER: MATS, INC.
DESCRIPTION: RECYCLED RUBBER TIRE STRIPS
SIZE: 12" x 12" x 3/8"
(INSTALL IN RUNNING BOND PATTERN NOT QUARTER TURN)
- CPT-3** CARPET: FLOATING COMFORT ZONE ONLY
MANUFACTURER: INTERFACE
NAME: TO SCALE
PRODUCT: 1465202500
COLOR: T164 CONTOUR
CARPET TYPE: 50 CM TILE
BACKING: GLASSBAC
INSTALLATION: NON-DIRECTIONAL
- CPT-4** TELLER AREA - SAME AS CARPET CPT-1 BUT APPLIED TO INTERFACE'S ANTI-FATIGUE CUSHION (CUSHIONBAC PLUS)
PRODUCT: 1671202504
- WD-1** WOOD FLOORING: AT TELLER LINE
MANUFACTURER: GAMMAPAR
WOOD SPECIES: MAPLE
COLOR: CUSTOM WALNUT MEDIUM SPICE
FINISH: PEDESTRIAN URETHANE
SIZE: 4" WIDE X RANDOM LENGTHS (12"-41")
ADHESIVE: NYDREE UP-28
LAY PATTERN PARALLEL TO TELLER LINE
- GT-1** CERAMIC TILE: HIGH TRAFFIC TELLER AND ENTRY AREAS
MANUFACTURER: MARAZZI TILE
STYLE: SIERRA MADRE
COLOR: SONORA
GROUT: CUSTOM BUILDING PRODUCTS #10 QUARTZ FOLYBLEND SANDED GROUT WIDTH: 1/8"
SIZE: 18" x 18" x 3/8" TILES
(FOR WAMU ONLY WHEN 15% OR MORE NEEDS REPLACED)
- GR-1** WALK OFF GRATE: AT ENTRANCE VESTIBULES
MANUFACTURER: NUWAY
STYLE: REVERSIBLE FOOT GRILLE (CLOSED CONSTRUCTION)
SIZE: 6' x 6' FOR ALL WAMU CONVERSIONS
FINISH: ALUMINUM
FRAME: SCHLUTER
COLOR: CHARCOAL WIPER STRIPS
(INSTALL WITH WIPER STRIPS PARALLEL WITH ENTRANCE DOORS WALL)
- WT-2** WINDOW SHEERS
MANUFACTURER: DESIGN TEX
MODEL NUMBER: SILKIS 219/201161
COLOR: NATURAL
SIZE: 18" NO PATTERN REPEAT
INSTALL: SHEERS TO BE INSTALLED BY VENDOR

NOTES: IF BRANCH HAS EXISTING AWNINGS, MUST RECEIVE PRIOR DRG APPROVAL
 * VENDOR TO CONDUCT SITE SURVEY FOR ALL NON-NEW BUILD SITES AND PROVIDE RE OR GENERAL CONTRACTOR SURVEY RESULTS INDICATING WHERE TO PLACE POWER
 * RE TO PROVIDE APPROPRIATE POWER TO EACH WINDOW ACCORDING TO SITE SURVEY FROM INSIDE OUTFITTERS
 * EACH BANK OF WINDOWS WILL BE CONTROLLED BY A BATTERY OPERATED REMOTE CONTROL UNIT THAT WILL BE PLACED IN THE BRANCH MANAGERS OFFICE. (BREAK ROOM SHADES ARE MANUAL)
 * SHADES WILL BE PROGRAMMED WITH PRE SET UPPER AND LOWER STOPPING POINTS SO ALL SHADES WILL GO UP AND DOWN AT THE SAME TIME TO THE SAME STOPPING POINT (THE LOWEST SHADE CAN GO 4" FROM THE FLOOR)

PER FFPC 2007, NFPA 101-LIFE SAFETY CODE, SECTION 38.3.3.2-2 INTERIOR WALL AND CEILING FINISHES IN BUSINESS OCCUPANCIES STATES
 38.3.3.2.1 INTERIOR WALL AND CEILING FINISH MATERIAL COMPLYING WITH SECTION 1022 SHALL BE CLASS B OR CLASS B IN EXITS AND IN EXIT ACCESS CORRIDORS.
 38.3.3.2.2 INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS A, CLASS B, OR CLASS C IN AREAS OTHER THAN THOSE SPECIFIED IN 38.3.3.2.1
 THE GC SHALL CONSIDER THESE FINISH CLASSES AS MINIMUM REQUIREMENTS WHEN PROVIDING NEW FINISHES.



SYMBOL LEGEND	FINISH GENERAL NOTES	FINISH KEY NOTES				
<ul style="list-style-type: none"> (2) SHEET KEY NOTE (101A) DOOR SYMBOL (NEW OR MODIFIED) (A) WINDOW SYMBOL (NEW OR MODIFIED) B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.) REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR. O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK. 	<ol style="list-style-type: none"> 1. EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. 2. POSITION COMFORT ZONE AT TILE GROUT LINES. 3. NOT USED. 4. CONTRACTOR TO FEATHER FLOOR SURFACE AT TRANSITION OF FLOOR MATERIALS DIFFERING IN THICKNESS TO ELIMINATE TOE TRIP. 5. NEW PAINT TO EXTEND FULL SURFACE STOPPING ONLY AT CHANGE OF MATERIALS AND OR CORNERS 6. NEW WOOD FLOORING AT TELLER AREA TO EXTEND FULL LENGTH OF TELLER COUNTER 	<table border="1"> <thead> <tr> <th>FLOOR</th> <th>WALL</th> </tr> </thead> <tbody> <tr> <td> <ul style="list-style-type: none"> (2) ALIGN FLOOR MATERIAL EDGE WITH WALL. (2) ALIGN COMFORT ZONE WITH GROUT LINES. (2) WOOD FLOORING TO EXTEND 1" BACK FROM OUTER EDGE OF TELLER LINE COUNTER PER DETAIL 3/A31. (2) EXISTING FLOORING TO REMAIN AS IS. (2) NOT USED. (2) NOT USED. (2) EXISTING FLOORING TO BE PATCHED/ INFILLED TO MATCH EXISTING AS REQUIRED. (2) FEATHER CONCRETE FLOOR AS REQUIRED FOR LEVEL TRANSITION BETWEEN WALK-OFF GRATE (GR-1) AND RECYCLED RUBBER TILE (CPT-2). </td> <td> <ul style="list-style-type: none"> (2) EXISTING WALL / BASE FINISH TO REMAIN. (2) NOT USED. (2) PAINT THIS WALL ONLY, CORNER TO CORNER, WITH PT-1. (2) PAINT / TOUCH-UP WALL FINISH TO MATCH EXISTING AS REQUIRED. INFILL EXISTING BASE AS REQUIRED TO MATCH EXISTING. </td> </tr> </tbody> </table>	FLOOR	WALL	<ul style="list-style-type: none"> (2) ALIGN FLOOR MATERIAL EDGE WITH WALL. (2) ALIGN COMFORT ZONE WITH GROUT LINES. (2) WOOD FLOORING TO EXTEND 1" BACK FROM OUTER EDGE OF TELLER LINE COUNTER PER DETAIL 3/A31. (2) EXISTING FLOORING TO REMAIN AS IS. (2) NOT USED. (2) NOT USED. (2) EXISTING FLOORING TO BE PATCHED/ INFILLED TO MATCH EXISTING AS REQUIRED. (2) FEATHER CONCRETE FLOOR AS REQUIRED FOR LEVEL TRANSITION BETWEEN WALK-OFF GRATE (GR-1) AND RECYCLED RUBBER TILE (CPT-2). 	<ul style="list-style-type: none"> (2) EXISTING WALL / BASE FINISH TO REMAIN. (2) NOT USED. (2) PAINT THIS WALL ONLY, CORNER TO CORNER, WITH PT-1. (2) PAINT / TOUCH-UP WALL FINISH TO MATCH EXISTING AS REQUIRED. INFILL EXISTING BASE AS REQUIRED TO MATCH EXISTING.
FLOOR	WALL					
<ul style="list-style-type: none"> (2) ALIGN FLOOR MATERIAL EDGE WITH WALL. (2) ALIGN COMFORT ZONE WITH GROUT LINES. (2) WOOD FLOORING TO EXTEND 1" BACK FROM OUTER EDGE OF TELLER LINE COUNTER PER DETAIL 3/A31. (2) EXISTING FLOORING TO REMAIN AS IS. (2) NOT USED. (2) NOT USED. (2) EXISTING FLOORING TO BE PATCHED/ INFILLED TO MATCH EXISTING AS REQUIRED. (2) FEATHER CONCRETE FLOOR AS REQUIRED FOR LEVEL TRANSITION BETWEEN WALK-OFF GRATE (GR-1) AND RECYCLED RUBBER TILE (CPT-2). 	<ul style="list-style-type: none"> (2) EXISTING WALL / BASE FINISH TO REMAIN. (2) NOT USED. (2) PAINT THIS WALL ONLY, CORNER TO CORNER, WITH PT-1. (2) PAINT / TOUCH-UP WALL FINISH TO MATCH EXISTING AS REQUIRED. INFILL EXISTING BASE AS REQUIRED TO MATCH EXISTING. 					

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CONSULTANT:
 HARVEY JACOBY
 A115.17.003

REVISIONS:

NO.	DATE	REMARKS
1	06-09-09	OWNER REVISIONS
2	06-09-09	OWNER REVISIONS
3	06-30-09	OWNER REVISIONS

CHASE
 INTERIOR REBRANDING CONVERSION
 MIAMI BEACH - ALTON ROAD
 WAMU BLDG #04, 1924 CHASE STORE #P-1742
 1801 ALTON ROAD
 MIAMI, FL 33139

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PROJECT NO: 2009.0109
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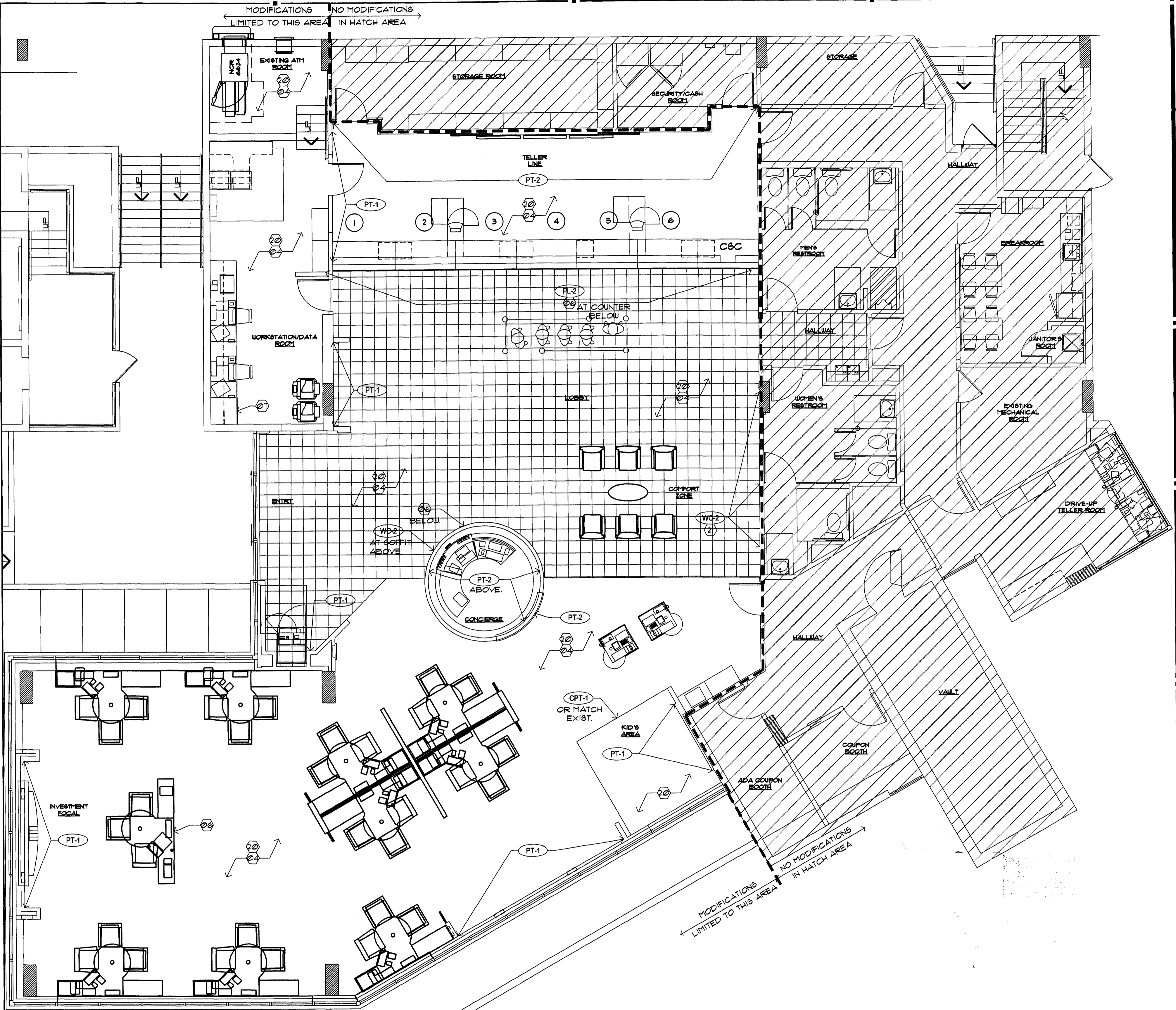
A1.2
 FINISH PLAN

DRAWN BY: [Signature]
 CHECKED BY: [Signature]

CHASE FINISH LEGEND

- NEW MILLWORK BY GC - SEE DETAILS ON SHEETS A3.0 & A3.2**
 - PT-1** LOCATION: INTERIOR WALLS, DOORS AND FRAMES EXCEPT AS NOTED
MANUFACTURER: BENJAMIN MOORE
COLOR: HC-9 "SPRING FIELDS"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524, SATIN FINISH 526
FINISH: EGG SHELL FOR WALLS, SATIN FOR DOORS AND FRAMES
 - PT-2** LOCATION: INTERIOR ACCENT WALL BEHIND TELLER LINE
MANUFACTURER: BENJAMIN MOORE
COLOR: TO MATCH SHERWIN WILLIAMS SW-6356 "COFFER MOUNTAIN"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524
FINISH: EGG SHELL
 - PT-4** LOCATION: INTERIOR ACCENT PAINT USED WITH WALL COVERING
MANUFACTURER: BENJAMIN MOORE
COLOR: HC-811 "OLD GLORY" (CHASE ACCENT BLUE)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524
FINISH: EGG SHELL
 - PT-5** LOCATION: INTERIOR DRYWALL CEILING
MANUFACTURER: BENJAMIN MOORE
COLOR: NTRM READY MADE "SUPERWHITE"
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524
FINISH: EGG SHELL
 - PT-7** LOCATION: INTERIOR WALL FINISH (ENTRY VESTIBULE)
MANUFACTURER: BENJAMIN MOORE
COLOR: TO MATCH SHERWIN WILLIAMS SW-1045 (INTELLECTUAL GRAY)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524
FINISH: EGG SHELL
 - PT-8** LOCATION: WALLS, DOORS, FRAMES TO MATCH PL-2 PANELS
MANUFACTURER: BENJAMIN MOORE
COLOR: 2039-10 (BARREL BROWN)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524, SATIN FINISH 526
FINISH: EGG SHELL FOR WALLS SATIN FOR DOORS & FRAMES
 - PT-9** LOCATION: EXISTING CROWN MOLDING (HISTORIC LOCATIONS)
MANUFACTURER: BENJAMIN MOORE
COLOR: NTRM READY MIXED COLORS (WHITE DOVE 1-06)
DESCRIPTION: AURA WATERBORNE INTERIOR PAINT, EGG SHELL FINISH 524
FINISH: EGG SHELL
 - WC-1** WALL COVERING: SELECT WALL SURFACES (SEE PLAN)
MANUFACTURE: DL COUCH
PRODUCT NUMBER: CBOR-04
PATTERN: CUSTOM CHASE SILK SCREEN W/ 48" PATTERN REPEAT
 - WC-2** WALL COVERING: SOFFIT SURFACES ABOVE TELLER LINES
MANUFACTURE: DL COUCH
PRODUCT NUMBER: CBOR-02
PATTERN: CUSTOM CHASE SILK SCREEN W/ 24" ROLL + 3 ROW PATTERN REPEAT. ALIGN WALL COVERING WITH BOTTOM OF SOFFIT AND CONTINUE APPLICATION UPWARDS. TRIM AT TOP. NOTE: DO NOT TRIM EVENLY FROM BOTH SIDES
 - PL-1** HORIZONTAL LAMINATE: MILLWORK WORK SURFACES, HORIZONTAL SURFACES AT TELLER LINE OR CUSTOMER SERVICE CENTER
MANUFACTURE: WILSONART
PRODUCT NUMBER: 4882-38
STYLE: OILED SOAPSTONE
FINISH: TEXTURED
 - PL-2** WOOD VERTICAL LAMINATE: RETROFIT TELLER LINES, SALES OFFICE WALLS (PRESTIGE LOCATIONS UNLESS EXCEPTION), ENTRY OCTAGON WALLS, BGV SURROUND
MANUFACTURE: WILSONART
PRODUCT NUMBER: 1935-01
STYLE: SHAKER CHERRY
FINISH: TEXTURED
SIZE: SEE REAL ESTATE SPECIFICATIONS
 - WT-1** MOTORIZED WINDOW SHADES
MANUFACTURER: INSIDE OUTFITTERS
MODEL NUMBER: STYLE 3000, VOI
COLOR: PALE GREY
SIZE: SEAMLESS UP TO 98" WIDE
OPENNESS FACTOR: 15%
- NOTE: INSTALL WITH GRAIN RUNNING VERTICALLY!
RETROFIT LOCATIONS SHOULD MATCH DOMINANT WOOD FINISH EXISTING IN BRANCH: CONSULT BRAND EXPERIENCE TEAM FOR SIGN OFF ON FINISHES RECOMMENDED OTHER THAN SHAKER CHERRY
- NOTES: IF BRANCH HAS EXISTING AWNINGS, MUST RECEIVE PRIOR DRC APPROVAL
* VENDOR TO CONDUCT SITE SURVEY FOR ALL NON-NEW BUILD SITES AND PROVIDE RE OR GENERAL CONTRACTOR SURVEY RESULTS INDICATING WHERE TO PLACE POWER
* RE TO PROVIDE APPROPRIATE POWER TO EACH WINDOW ACCORDING TO SITE SURVEY FROM INSIDE OUTFITTERS
* EACH BANK OF WINDOWS WILL BE CONTROLLED BY A BATTERY OPERATED REMOTE CONTROL UNIT THAT WILL BE PLACED IN THE BRANCH MANAGERS OFFICE. (BREAK ROOM SHADES ARE MANUAL)
* SHADES WILL BE PROGRAMMED WITH PRE SET UPPER AND LOWER STOPPING POINTS SO ALL SHADES WILL GO UP AND DOWN AT THE SAME TIME TO THE SAME STOPPING POINT (THE LOWEST SHADE CAN GO 4' FROM THE FLOOR)
- PER IFPC 2007, NFPA 101-LIFE SAFETY CODE, SECTION 303.3.2.1-2 INTERIOR WALL AND CEILING FINISHES IN BUSINESS OCCUPANCIES STATES
303.3.2.1 INTERIOR WALL AND CEILING FINISH MATERIAL COMPLYING WITH SECTION 102 SHALL BE CLASS B OR CLASS B IN EXITS AND IN EXIT ACCESS CORRIDORS.
303.3.2.2 INTERIOR WALL AND CEILING FINISHES SHALL BE CLASS A, CLASS B, OR CLASS C IN AREAS OTHER THAN THOSE SPECIFIED IN 303.3.2.1
THE GC SHALL CONSIDER THESE FINISH CLASSES AS MINIMUM REQUIREMENTS WHEN PROVIDING NEW FINISHES.

- WB-1** WALL BASE: TYPICAL ALL WALLS
MANUFACTURER: JOHNSONITE FLOORING
STYLE: "TIGHT LOCK" RESILIENT WALL BASE
COLOR: "40" BLACK"
COMMENTS: MATCH WALL BASE TO FURNITURE FRAME
COLOR VERIFY WITH CHASE PT1
SIZE: 4" SLIM LINE HEIGHT
 - CPT-1** CARPET: CARPETED AREAS EXCEPT AS NOTED
MANUFACTURER: INTERFACE
NAME: MEDITATIONS
PRODUCT: 1612102500
COLOR: MOCHA 115812
CONSTRUCTION: BROADLOOM / 50 CM TILE
BACKING: GLASBAC
SIZE TILE: 50 CM TILE
NOTE: INSTALL TILES NON-DIRECTIONAL
 - CPT-2** RECYCLED TIRE TILE: AT ENTRANCE VESTIBULES
MANUFACTURER: INTERFACE
DESCRIPTION: RECYCLED RUBBER TIRE STRIPS
SIZE: 12" x 12" x 3/8"
(INSTALL IN RUNNING BOND PATTERN NOT QUARTER TURN)
 - CPT-3** CARPET: FLOATING COMFORT ZONE ONLY
MANUFACTURER: INTERFACE
NAME: TO SCALE
PRODUCT: 1465202500
COLOR: 1164 CONTOUR
CARPET TYPE: 50 CM TILE
BACKING: GLASBAC
INSTALLATION: NON-DIRECTIONAL
 - CPT-4** TELLER AREA - SAME AS CARPET CPT-1 BUT APPLIED TO INTERFACE'S ANTI-FATIGUE CUSHION (CUSHIONBAC PLUS)
PRODUCT: 1612102504
 - WD-1** WOOD FLOORING: AT TELLER LINE
MANUFACTURER: GAMMAPAR
WOOD SPECIES: MAPLE
COLOR: CUSTOM WALNUT MEDIUM SPICE
FINISH: PEDESTRIAN URETHANE
SIZE: 4" WIDE X RANDOM LENGTHS (12"-41")
ADHESIVE: NYDREE UP-28
LAY PATTERN PARALLEL TO TELLER LINE
 - CT-1** CERAMIC TILE: HIGH TRAFFIC TELLER AND ENTRY AREAS
MANUFACTURER: MARAZZI TILE
STYLE: SIERRA MADRE
COLOR: SONORA
GROUT: CUSTOM BUILDING PRODUCTS #20 QUARTZ POLYBLEND SANDED, GROUT WIDTH: 1/8"
SIZE: 18" x 18" x 3/8" TILES
(FOR WAMU ONLY WHEN 15% OR MORE NEEDS REPLACED)
 - GR-1** WALK OFF GRATE: AT ENTRANCE VESTIBULES
MANUFACTURER: NUWAY
STYLE: REVERSIBLE FOOT GRILLE (CLOSED CONSTRUCTION)
SIZE: 6' x 6' FOR ALL WAMU CONVERSIONS
FINISH: ALUMINUM
FRAME: SCHLUTER
COLOR: CHARCOAL WIPER STRIPS
(INSTALL WITH WIPER STRIPS PARALLEL WITH ENTRANCE DOORS WALL)
 - WT-2** WINDOW SHEERS
MANUFACTURER: DESIGN TEX
MODEL NUMBER: SILKIS 219/207161
COLOR: NATURAL
SIZE: 18" NO PATTERN REPEAT
INSTALL: SHEERS TO BE INSTALLED BY VENDOR
- NOTES: * IF BRANCH HAS EXTERIOR AWNINGS, MUST RECEIVE PRIOR DRC APPROVAL
* IF BRANCH HAS AN ILLUMINATED INTERIOR SOFFIT INSTALLED IN THE WINDOWS, SHEERS SHOULD BE INSTALLED BEHIND
* SHIP TO A LOCAL DRAPERY FABRICATOR
* DRAPERY SHOULD BE FABRICATED AT A 2 TO 1 FULLNESS. PINCH-PLEATED AND INSTALLED ON A TRAVERSE ROD



1 FINISH PLAN
SCALE: 3/16"=1'-0"

SYMBOL LEGEND	FINISH GENERAL NOTES	FINISH KEY NOTES																
<ul style="list-style-type: none"> (2) SHEET KEY NOTE (101A) DOOR SYMBOL (NEW OR MODIFIED) (A) WINDOW SYMBOL (NEW OR MODIFIED) B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.C.)-REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR. O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK. 	<ol style="list-style-type: none"> 1. EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION 2. POSITION COMFORT ZONE AT TILE GROUT LINES. 3. NOT USED. 4. CONTRACTOR TO FEATHER FLOOR SURFACE AT TRANSITION OF FLOOR MATERIALS DIFFERING IN THICKNESS TO ELIMINATE TOE TRIP. 5. NEW PAINT TO EXTEND FULL SURFACE STOPPING ONLY AT CHANGE OF MATERIALS AND OR CORNERS 6. NEW WOOD FLOORING AT TELLER AREA TO EXTEND FULL LENGTH OF TELLER COUNTER 7. MATCH EXISTING TRANSITIONS WHERE MATCHING EXISTING FLOORING. 8. PAINT AND WALLCOVERING TO MATCH CHASE STANDARDS. 9. PATCH AND REPAIR EXPOSED PORTIONS OF EXISTING FLOOR TO RECEIVE NEW FINISH. 10. PROPERLY CLEAN SUBSTRATE TO RECEIVE NEW FINISHES 	<table border="1"> <thead> <tr> <th>FLOOR</th> <th>WALL</th> </tr> </thead> <tbody> <tr> <td>(2) NOT USED.</td> <td>(2) EXISTING WALL / BASE FINISH TO REMAIN.</td> </tr> <tr> <td>(2) NOT USED.</td> <td>(2) PROVIDE 12W X 8H WOOD TRIM AT WALL TO DEFINE WALLCOVERING AT COMFORT ZONE.</td> </tr> <tr> <td>(2) NOT USED.</td> <td></td> </tr> <tr> <td>(2) EXISTING FLOORING TO REMAIN AS IS.</td> <td></td> </tr> <tr> <td>(2) NOT USED.</td> <td></td> </tr> <tr> <td>(2) RE-LAMINATE TOP OF EXISTING COUNTER TO MATCH EXISTING FINISH.</td> <td></td> </tr> <tr> <td>(2) RE-LAMINATE FRONT OF EXISTING COUNTER TO MATCH EXISTING FINISH.</td> <td></td> </tr> </tbody> </table>	FLOOR	WALL	(2) NOT USED.	(2) EXISTING WALL / BASE FINISH TO REMAIN.	(2) NOT USED.	(2) PROVIDE 12W X 8H WOOD TRIM AT WALL TO DEFINE WALLCOVERING AT COMFORT ZONE.	(2) NOT USED.		(2) EXISTING FLOORING TO REMAIN AS IS.		(2) NOT USED.		(2) RE-LAMINATE TOP OF EXISTING COUNTER TO MATCH EXISTING FINISH.		(2) RE-LAMINATE FRONT OF EXISTING COUNTER TO MATCH EXISTING FINISH.	
FLOOR	WALL																	
(2) NOT USED.	(2) EXISTING WALL / BASE FINISH TO REMAIN.																	
(2) NOT USED.	(2) PROVIDE 12W X 8H WOOD TRIM AT WALL TO DEFINE WALLCOVERING AT COMFORT ZONE.																	
(2) NOT USED.																		
(2) EXISTING FLOORING TO REMAIN AS IS.																		
(2) NOT USED.																		
(2) RE-LAMINATE TOP OF EXISTING COUNTER TO MATCH EXISTING FINISH.																		
(2) RE-LAMINATE FRONT OF EXISTING COUNTER TO MATCH EXISTING FINISH.																		

INTERPLAN
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA8660

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ORLANDO, FLORIDA 32810
PH 407.645.5008
FX 407.629.9124

SEAL:
KYLE GRANER
MAY 17 2009

CONSULTANT:

REVISIONS:
NO. DATE REMARKS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
WAMU BLDG # 1924 CHASE STORE ID# 1742
1801 ALTON ROAD
MIAMI, FL 33139

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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.2
FINISH PLAN

DRAWN BY: *fw*
CHECKED BY: *es*

SEAL: *Harvey Jacoby*
HARVEY JACOBY
AUG 17 2009

CONSULTANT:

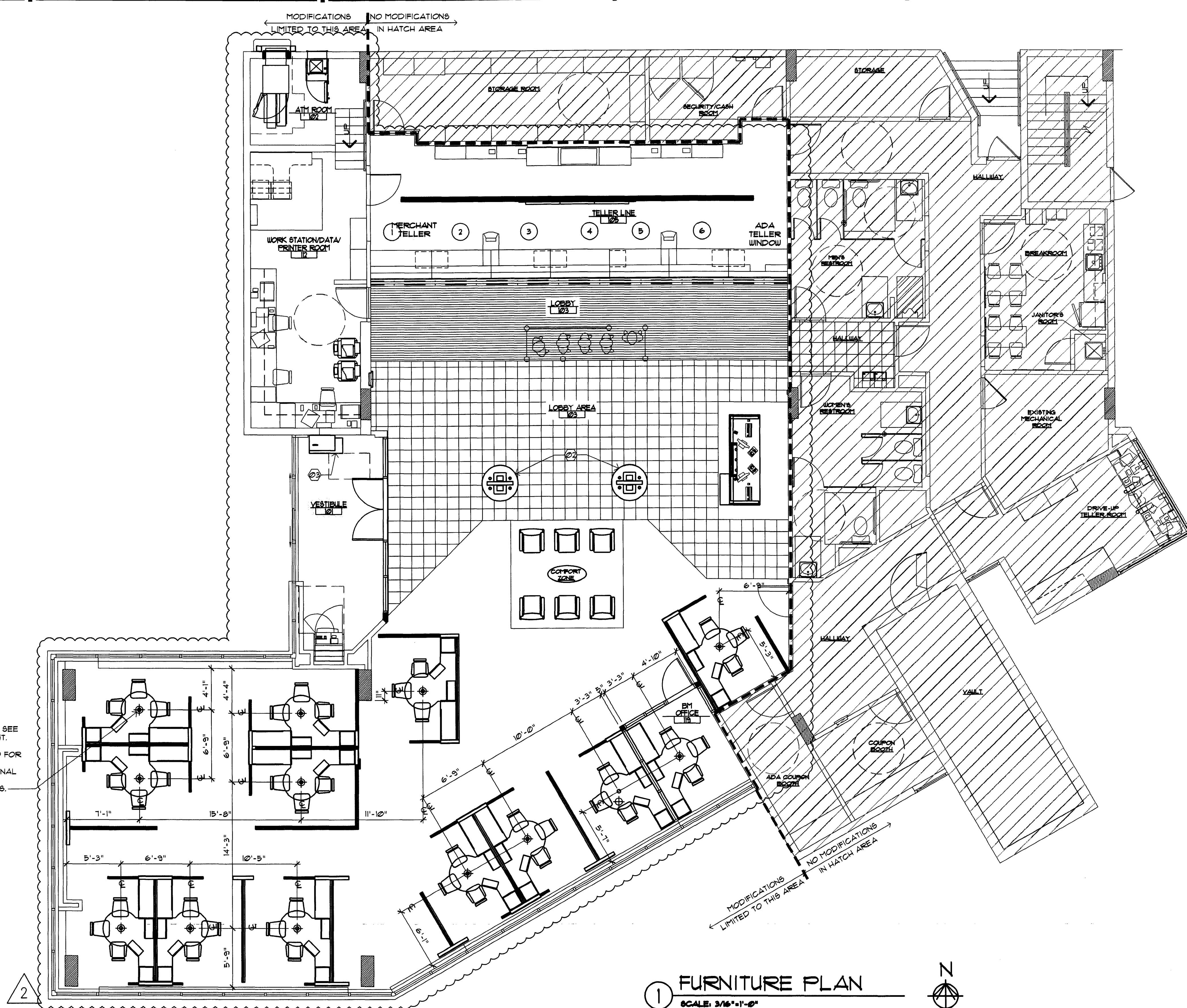
REVISIONS:
NO. DATE REMARKS
2 06-09-09 OWNER REVISIONS

CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
WAMU BLDG ID# 1924 CHASE STORE ID# 1742
1801 ALTON ROAD
MIAMI, FL 33139

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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.3
FURNITURE PLAN

DRAWN BY: *MM*
CHECKED BY: *BJ*



FENDANT LIGHT FIXTURE. SEE SECTION 4/A3.1 FOR HEIGHT. REFERENCE REFLECTED CEILING PLAN SHEET A2.0 FOR ADDITIONAL FIXTURE INFORMATION. CONFIRM FINAL PLACEMENT WITH ACTUAL FURNITURE VENDOR PLANS.

1 FURNITURE PLAN
SCALE: 3/16"=1'-0"

SYMBOL LEGEND	FURNITURE GENERAL NOTES	FURNITURE KEY NOTES
<ul style="list-style-type: none"> ⊙ SHEET KEY NOTE ①/2/A DOOR SYMBOL (NEW OR MODIFIED) ⊕ WINDOW SYMBOL (NEW OR MODIFIED) B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.)- REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR. O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK 	<ol style="list-style-type: none"> 1. FURNITURE AND PANEL VENDORS ARE RESPONSIBLE FOR INVENTORY OF EXISTING AND TAGGING OF NEW FURNITURE AND PANELS AS SHOWN ON PLAN. 2. FURNITURE VENDOR IS COORDINATED BY FMC 3. PANEL VENDOR IS COORDINATED BY FMC 4. FURNITURE AND PANEL VENDORS SHALL PROVIDE PRODUCT TAGGING AND INFO REGARDING REUSE OF ANY EXISTING PRODUCT. 5. FURNITURE AND PANELS TO BE INSTALLED TO ALLOW APPROPRIATE ADA ACCESS AND CLEARANCES. 6. FURNITURE PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. ACTUAL FURNITURE AND PANEL VENDOR PLANS SHALL GOVERN. 7. EXISTING WAMU END MERCHANDISING AT WORKSTATIONS TO BE REMOVED AND HOLES PLUGGED BY FURNITURE VENDOR, TYPICAL. 	<p>FLOOR PLAN</p> <ul style="list-style-type: none"> ⊙ NOT USED ⊙ RELOCATED CHECK DESK ⊙ NEW CHECK DESK

Harvey Jacoby
MM

C:\Users\mm\Documents\A1.3 FURNITURE PLAN\A1.3 FURNITURE PLAN.dwg (CHASE) 8/14/2009 2:28:14 PM D:\CONTR\A1.3 FURNITURE PLAN.dwg (CHASE) 8/14/2009 2:28:14 PM D:\CONTR\A1.3 FURNITURE PLAN.dwg (CHASE) 8/14/2009 2:28:14 PM

SEAL:

LEWIS G. WILCOX
REGISTERED ARCHITECT
MAY 14, 2009

CONSULTANT:

REVISIONS:

NO. DATE REMARKS

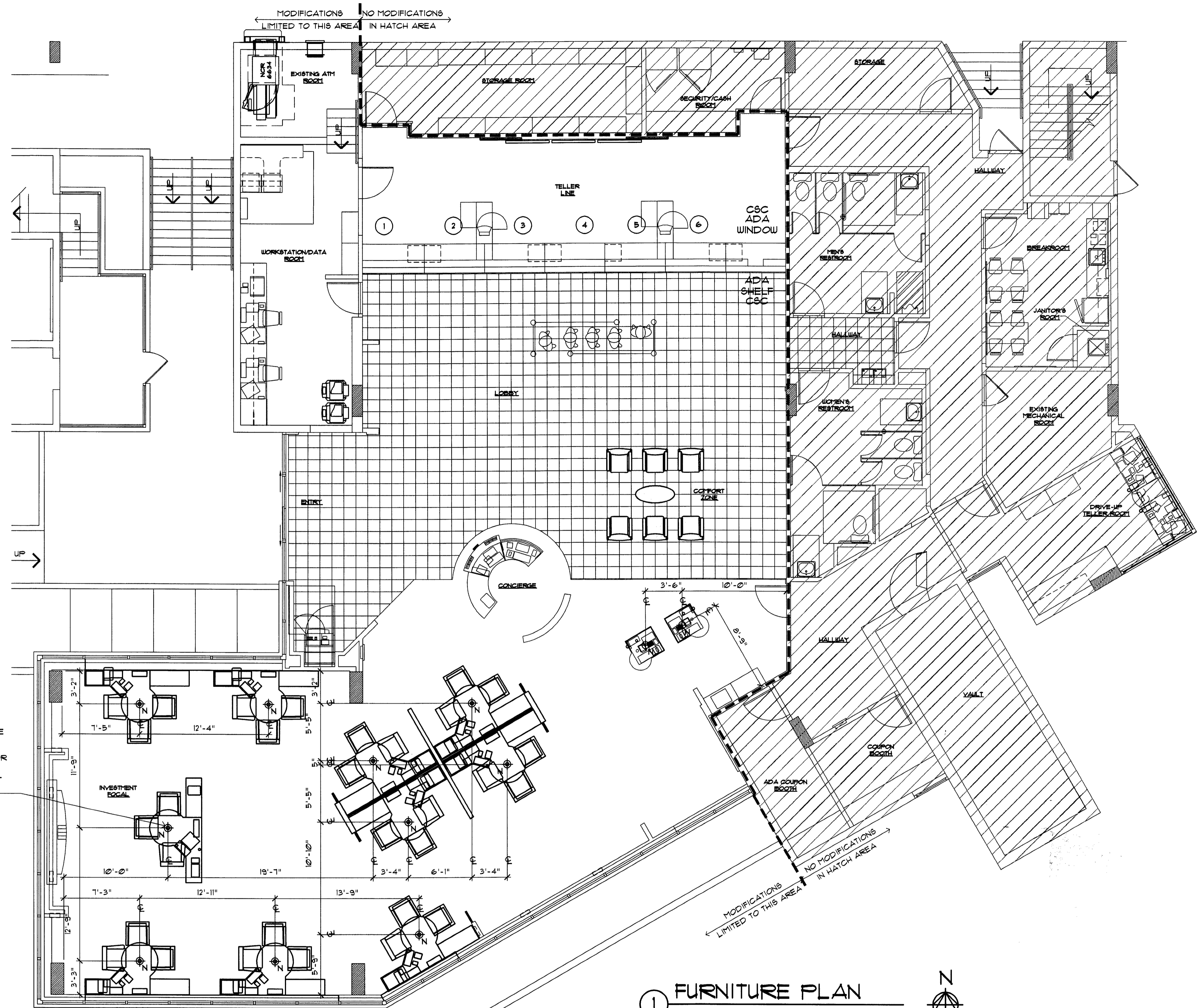
CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
WAMI BLDG ID# 1924 CHASP STORE ID# 1742
1401 ALTON ROAD
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PROJECT NO: 2009.0109
DATE: 04-30-09

A1.3
FURNITURE PLAN


DRAWN BY: *fw*
CHECKED BY: *es*



PENDANT LIGHT FIXTURE. SEE SECTION 4/A31 FOR HEIGHT. REFERENCE REFLECTED CEILING PLAN SHEET A20 FOR ADDITIONAL FIXTURE INFORMATION. CONFIRM FINAL PLACEMENT WITH ACTUAL FURNITURE VENDOR PLANS.

1 FURNITURE PLAN
SCALE: 3/16"=1'-0"
N

SYMBOL LEGEND	FURNITURE GENERAL NOTES	FURNITURE KEY NOTES
<p>Ⓢ SHEET KEY NOTE</p> <p>12A DOOR SYMBOL (NEW OR MODIFIED)</p> <p>Ⓐ WINDOW SYMBOL (NEW OR MODIFIED)</p> <p>B.E. BANK EQUIPMENT SUPPLIED AND INSTALLED BY BANK EQUIPMENT CONTRACTOR (N.I.C.). REQUIRED OPENINGS, ELEC POWER, AND CAULKING BY GENERAL CONTR.</p> <p>O.E. OFFICE EQUIPMENT SUPPLIED AND INSTALLED BY CHASE BANK.</p>	<p>1. FURNITURE AND PANEL VENDORS ARE RESPONSIBLE FOR INVENTORY OF EXISTING AND TAGGING OF NEW FURNITURE AND PANELS AS SHOWN ON PLAN.</p> <p>2. FURNITURE VENDOR IS COORDINATED BY FMC</p> <p>3. PANEL VENDOR IS COORDINATED BY FMC</p> <p>4. FURNITURE AND PANEL VENDORS SHALL PROVIDE PRODUCT TAGGING AND INFO REGARDING REUSE OF ANY EXISTING PRODUCT.</p> <p>5. FURNITURE AND PANELS TO BE INSTALLED TO ALLOW APPROPRIATE ADA ACCESS AND CLEARANCES.</p> <p>6. FURNITURE PLAN IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY, ACTUAL FURNITURE AND PANEL VENDOR PLANS SHALL GOVERN.</p> <p>7. EXISTING WAMI END MERCHANDISING AT WORKSTATIONS TO BE REMOVED AND HOLES PLUGGED BY FURNITURE VENDOR, TYPICAL.</p>	<p>FLOOR PLAN</p> <p>Ⓢ NOT USED</p> <p>Ⓢ NOT USED</p> <p>Ⓢ NOT USED</p>

SEAL:

HARRY JACOBY
 OCT 8 2009

CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS
2	05-09-09	OWNER REVISIONS
5	10-05-09	PERMIT COMMENTS

CHASE
 INTERIOR REBRANDING CONVERSION
 MIAMI BEACH - ALTON ROAD
 WAMU BLDG ID# 1924 CHASE STORE ID# 1742
 1801 ALTON ROAD
 MIAMI, FL 33139

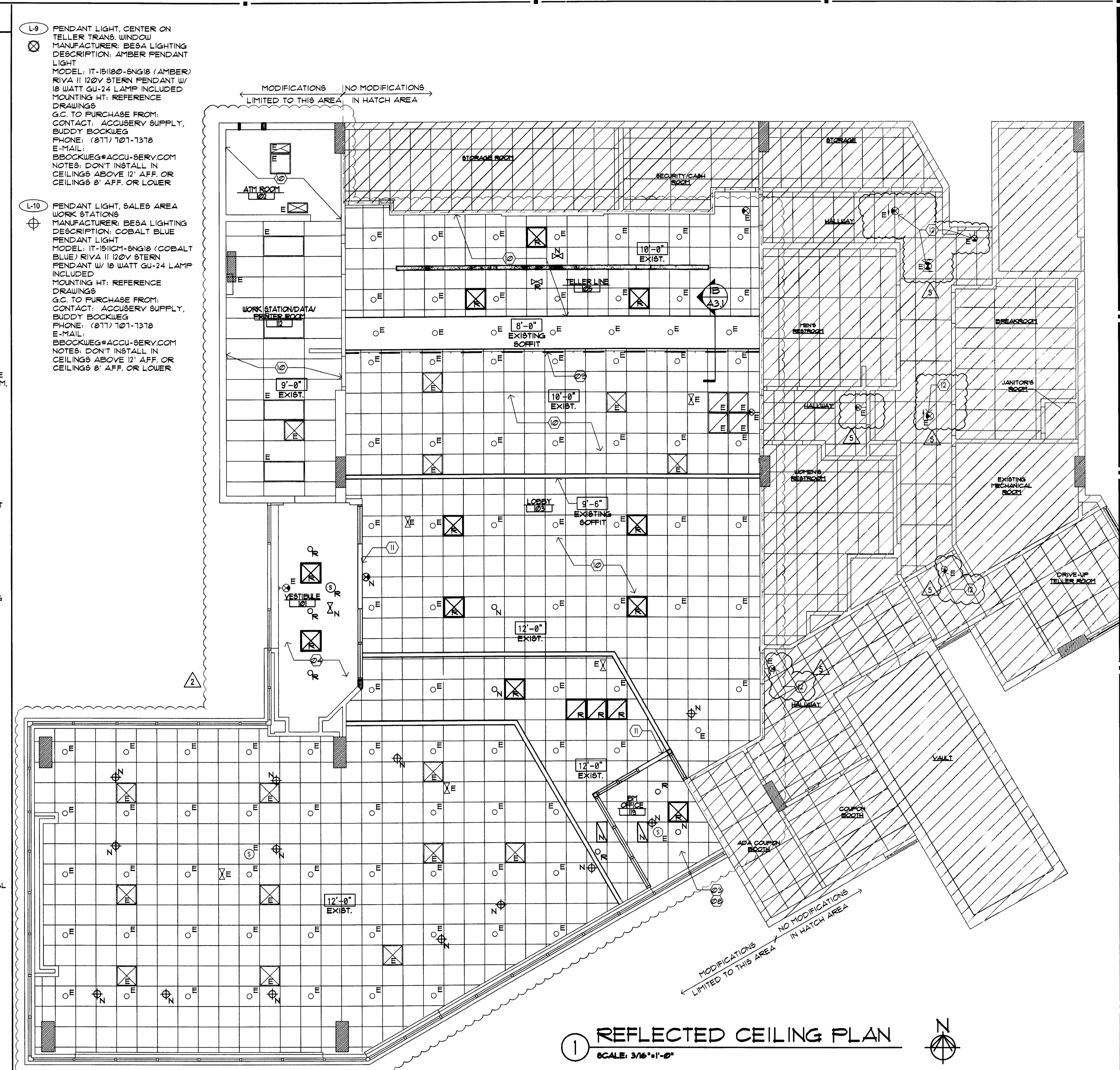
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PROJECT NO: 2009.0109
 DATE: 04-30-09

A2.0
 REFLECTED CEILING
 PLAN

DRAWN BY: *GO*
 CHECKED BY: *EJO*

LEGEND	
	GYP. BD, CEILING - NEW COLOR 5/8" GYP. BD, SHEATHING
	ACOUSTICAL CEILING: ALL AREAS MANUFACTURER: ARMSTRONG MODEL: ULTIMA OPEN PLAN BEVELED COLOR: WHITE SIZE: 24" x 24" x 3/4" EDGE: BEVELED REGULAR GRID: INTERLUDE XL 9/16" EXPOSED TEE GRID FINISH: WHITE NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
	ACOUSTICAL CEILING: ALL AREAS MANUFACTURER: ARMSTRONG MODEL: ULTIMA OPEN PLAN BEVELED COLOR: WHITE SIZE: 24" x 48" x 3/4" EDGE: BEVELED REGULAR GRID: INTERLUDE XL 9/16" EXPOSED TEE GRID FINISH: WHITE NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
	SLEEVES THRU CEILING FOR DATA CABLES
	2'x4' RECESSED LIGHT FIXTURE IN SUSPENDED CEILING SYSTEM
	1'x4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	FLUORESCENT STRIP LIGHT FIXTURE
	2'x2' LAY-IN FLUORESCENT
	LED CANOPY LIGHT
	4'x4' COMPACT FLUORESCENT DOWN LIGHT
	4'x4' WALL WASHER
	EXIT SIGN (DIRECTIONAL) EXIT SIGN LOCATE CENTRALLY OVER DOOR(S)
	EMERGENCY LIGHT, MOUNT TO CEILING
	BLUE PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE. RCP FOR MOUNTING HEIGHT - SEE L-10 SPEC. BELOW.
	AMBER PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE. RCP FOR MOUNTING HEIGHT - SEE L-9 SPEC. BELOW.
	AMBIENT DOWNLIGHT
	MONOPOINT SPOTLIGHT
	TRACK LIGHT MOUNTED TO BOTTOM OF CEILING
	COVE LIGHTING FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	EXHAUST GRILLE
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST FAN, RE. MECHANICAL
	SPEAKER
	SPRINKLER HEAD
	E = EXISTING TO REMAIN
	D = DEMO
	R = RELOCATED (NEW LOCATION)
	N = NEW



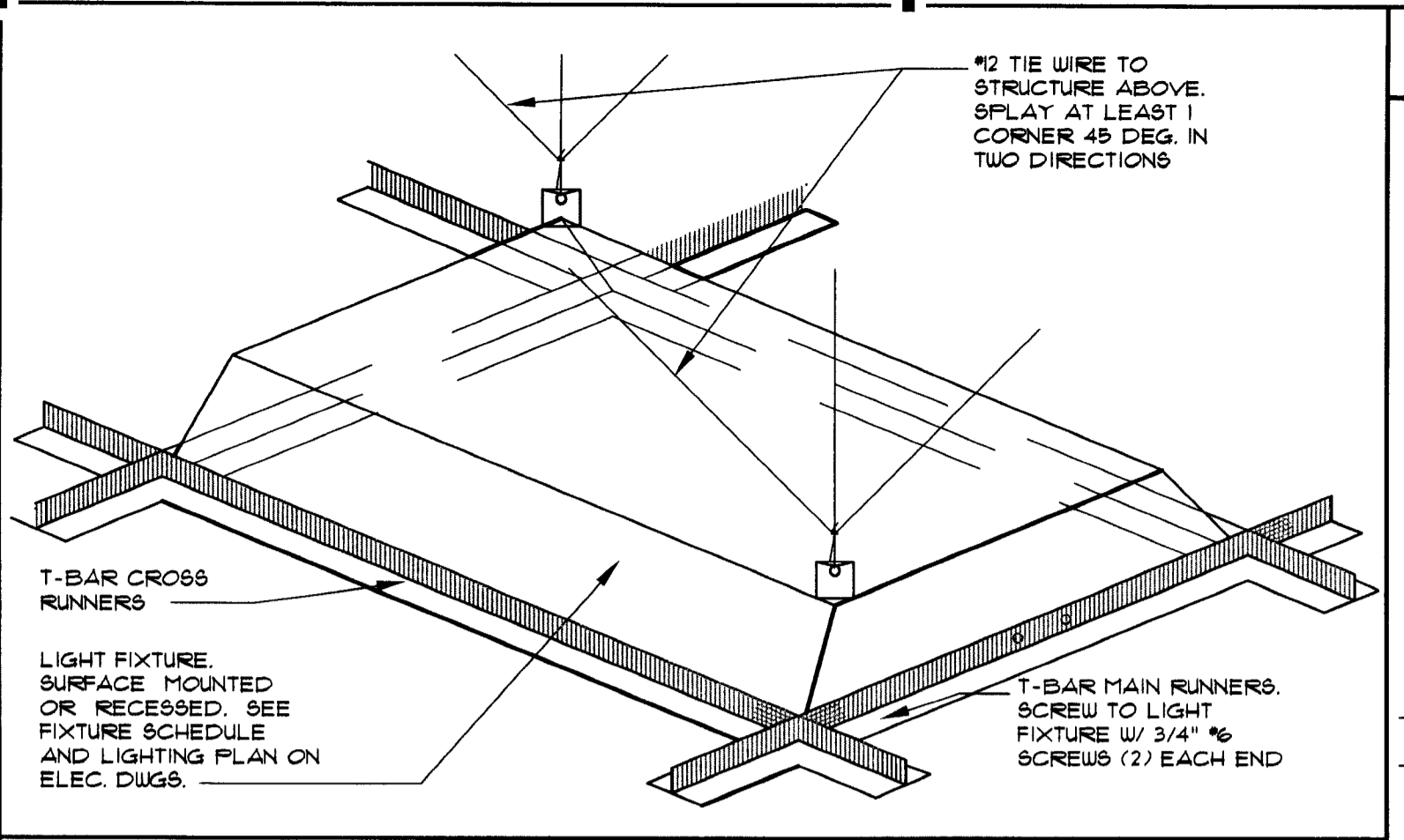
1 REFLECTED CEILING PLAN
 SCALE: 3/16" = 1'-0"

RCP GENERAL NOTES

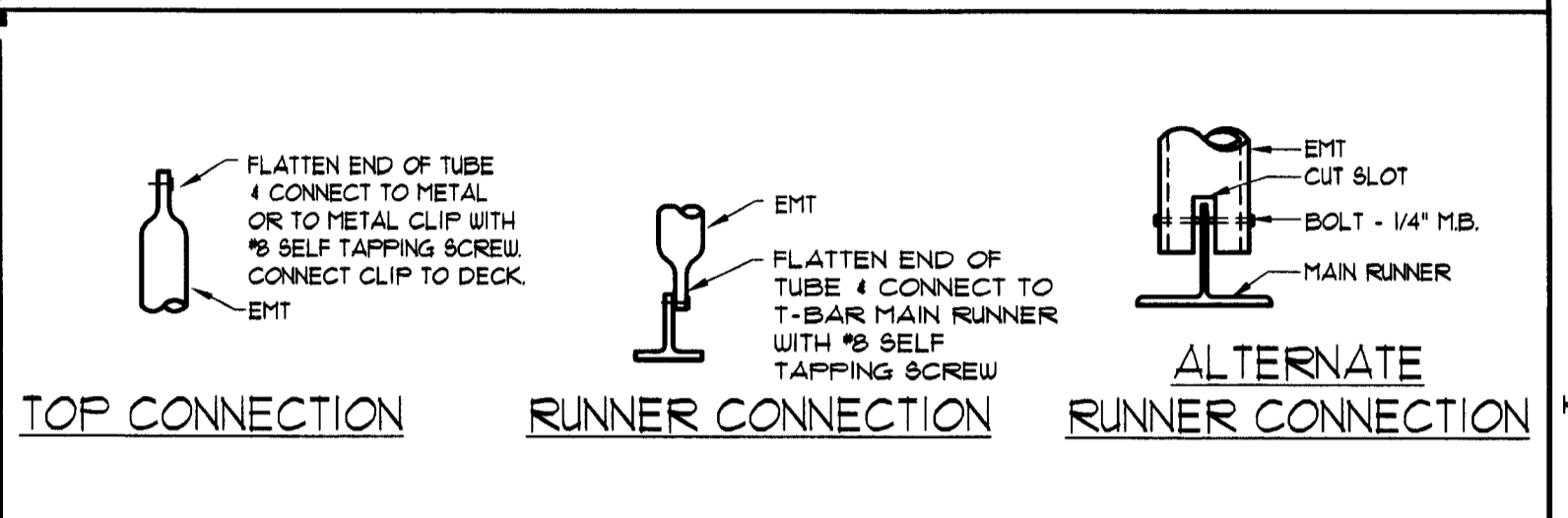
- NOT ALL NOTES, KEYNOTES OR LEGEND ITEMS MAY APPLY.
- DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNO.
- ALL NEW SUSPENDED CEILING GRID AND CEILING TILE TO MATCH EXISTING ADJACENT SYSTEM.
- ALL NEW GYP. BD, CEILING AND INFILL CEILING TO MATCH ADJACENT SURFACE TEXTURE AND FINISH.
- ELECTRICAL CONTRACTOR TO ENSURE THAT MODIFIED LAYOUT OF LIGHT FIXTURES ARE PLANNED SO ELECTRICAL CAPACITY AND ENERGY USE IS CONSISTENT WITH EXISTING DESIGN.
- CENTER LIGHT AND MECHANICAL FIXTURES WITHIN CEILING TILE TYPICAL, UNO.
- MECHANICAL CONTRACTOR TO MOVE EXISTING SUPPLY AND RETURN GRILLS TO AVOID INTERFERENCE WITH ANY NEW WALL OR SOFFIT LOCATIONS. MECHANICAL SYSTEM SHALL BE BALANCED TO ENSURE ANY MINOR ADJUSTMENTS TO THE SYSTEM ALLOW FOR PROPER CONDITIONING OF SPACE.
- ALL SOFFIT DESIGN AND ACCENT LIGHTING POSITIONS TO COORDINATE WITH FURNITURE LAYOUT. SEE SHEET A13 AND A13.1.
- ALL SECURITY DEVICES INCLUDING CAMERAS, MONITORS, ALARMS, ETC., WILL BE DESIGNED AND INSTALLED BY THE SECURITY COMPANY AND ARE NOT SHOWN ON THESE PLANS, NOR ON THE ELECTRICAL PLANS.

RCP SHEET KEY NOTES

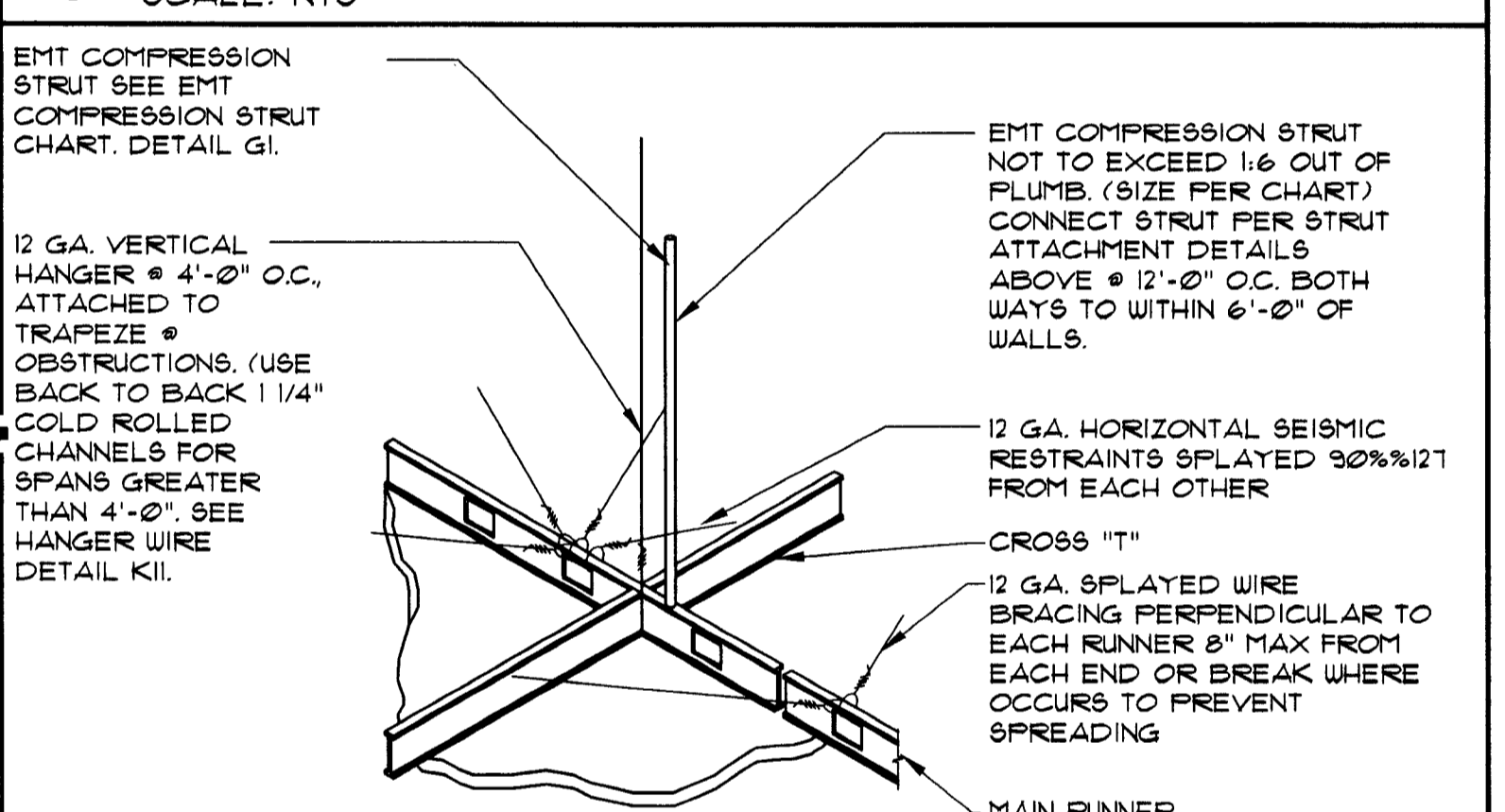
- NOT USED.
- SUSPENDED METAL GRID SYSTEM W/ 24"x48" ACOUSTICAL LAY IN TILES, CENTER IN SPACE.
- 2X2 ACT THIS AREA. FULL CEILING HEIGHT AS CLOSE TO STRUCTURE AS HYAC AS POSSIBLE.
- 5/8" GYP. BD, CEILING. PROVIDE MR. GYP. BD. AT WET AREAS.
- NOT USED.
- NOT USED.
- NOT USED.
- INFILL EXISTING CEILING GRID/TILE AS REQUIRED IN THIS AREA.
- NEW SIGNAGE BY OTHERS.
- NO CEILING WORK IN THIS AREA.
- PROVIDE NEW HEADER AT 1'-0"
- EXISTING EXIT LIGHT LOCATION. GO TO FIELD VERIFY IF EXISTING LIGHT EXISTS. IF LIGHT DOES NOT EXIST, INSTALL AS LOCATED OR AS DIRECTED BY FIRE MARSHAL.
- NOT USED.
- NOT USED.



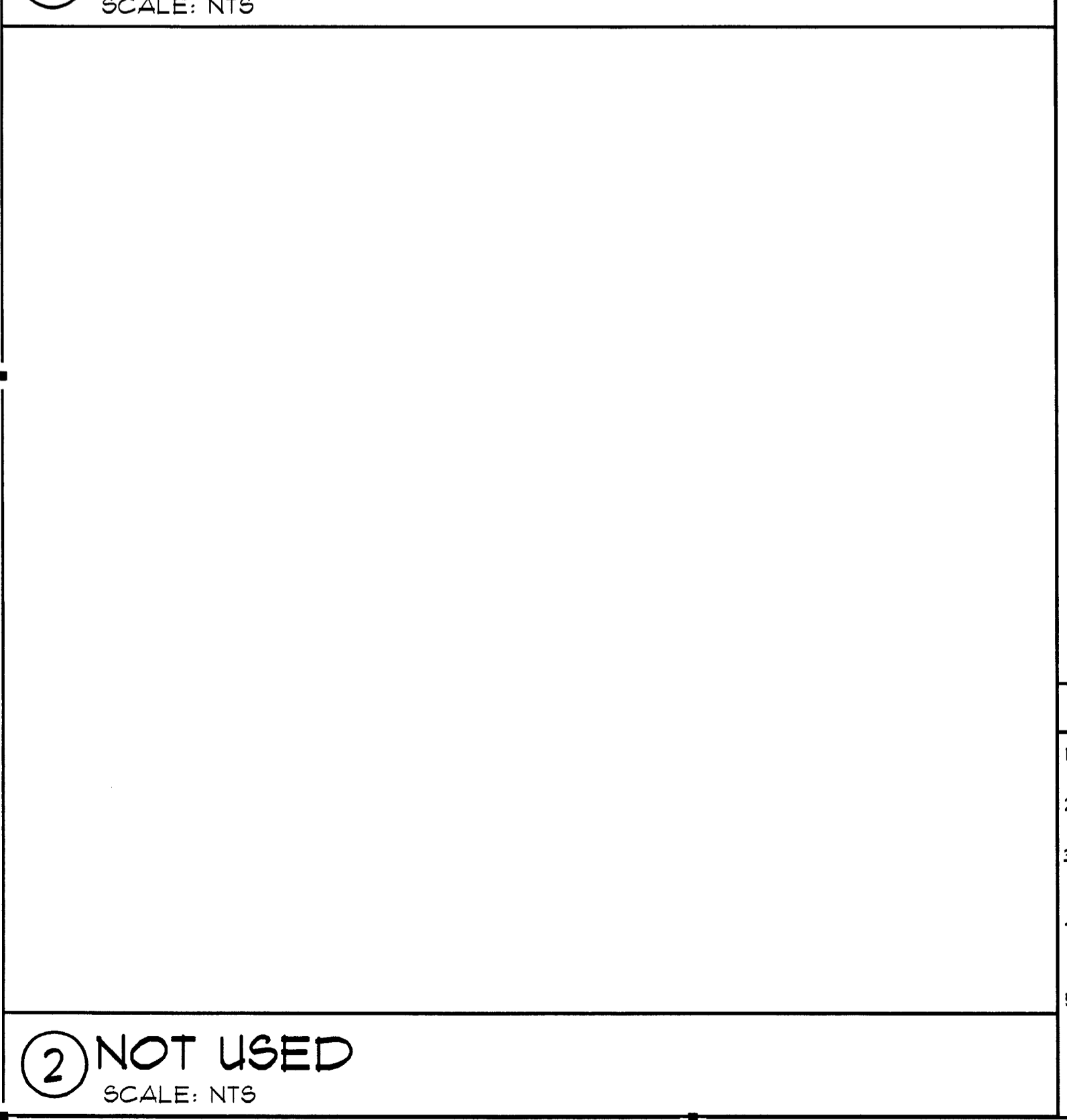
5 HANGER WIRE DETAIL
 SCALE: NTS



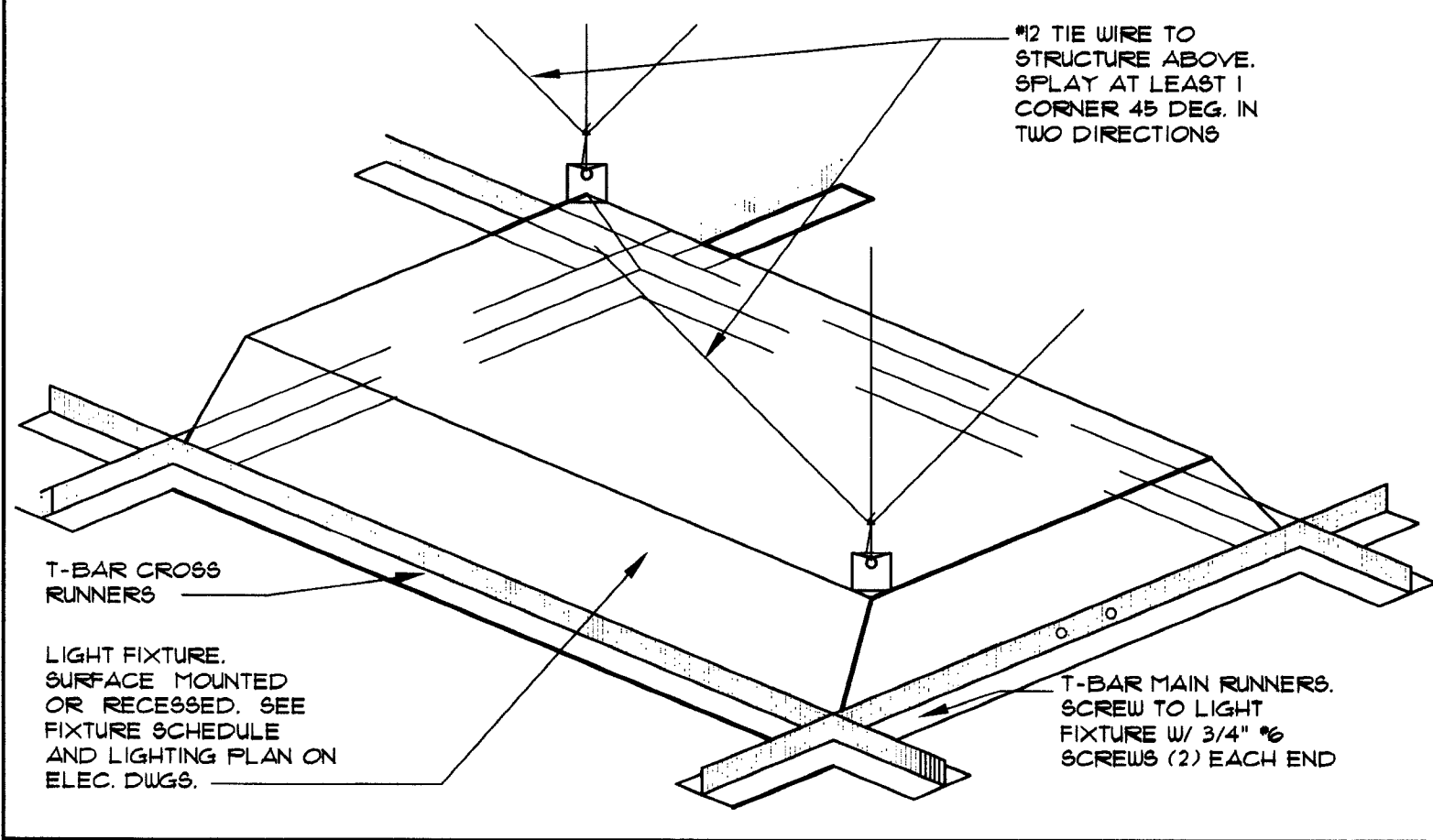
4 CONNECTION DETAILS
 SCALE: NTS



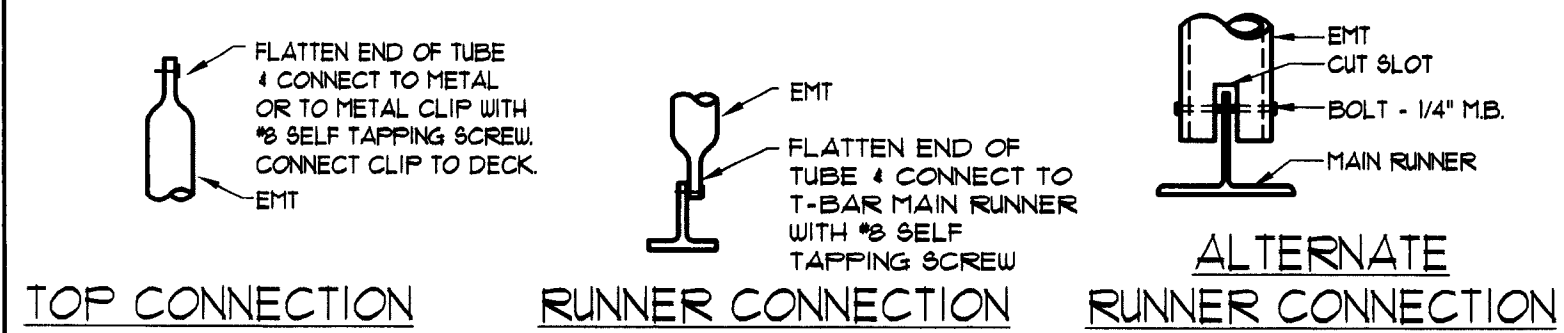
3 HANGER WIRE DETAIL
 SCALE: NTS



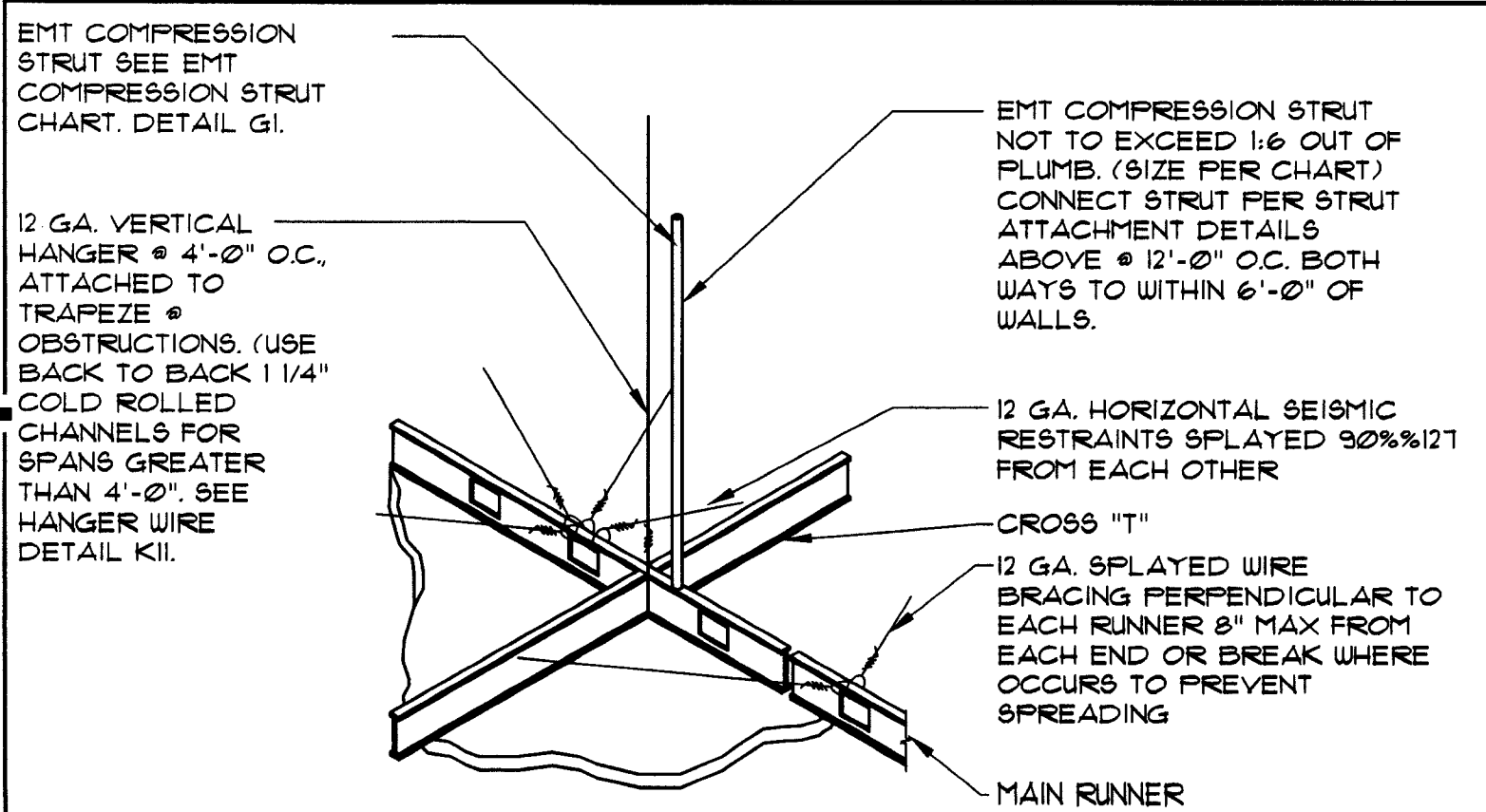
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 SCALE: NTS



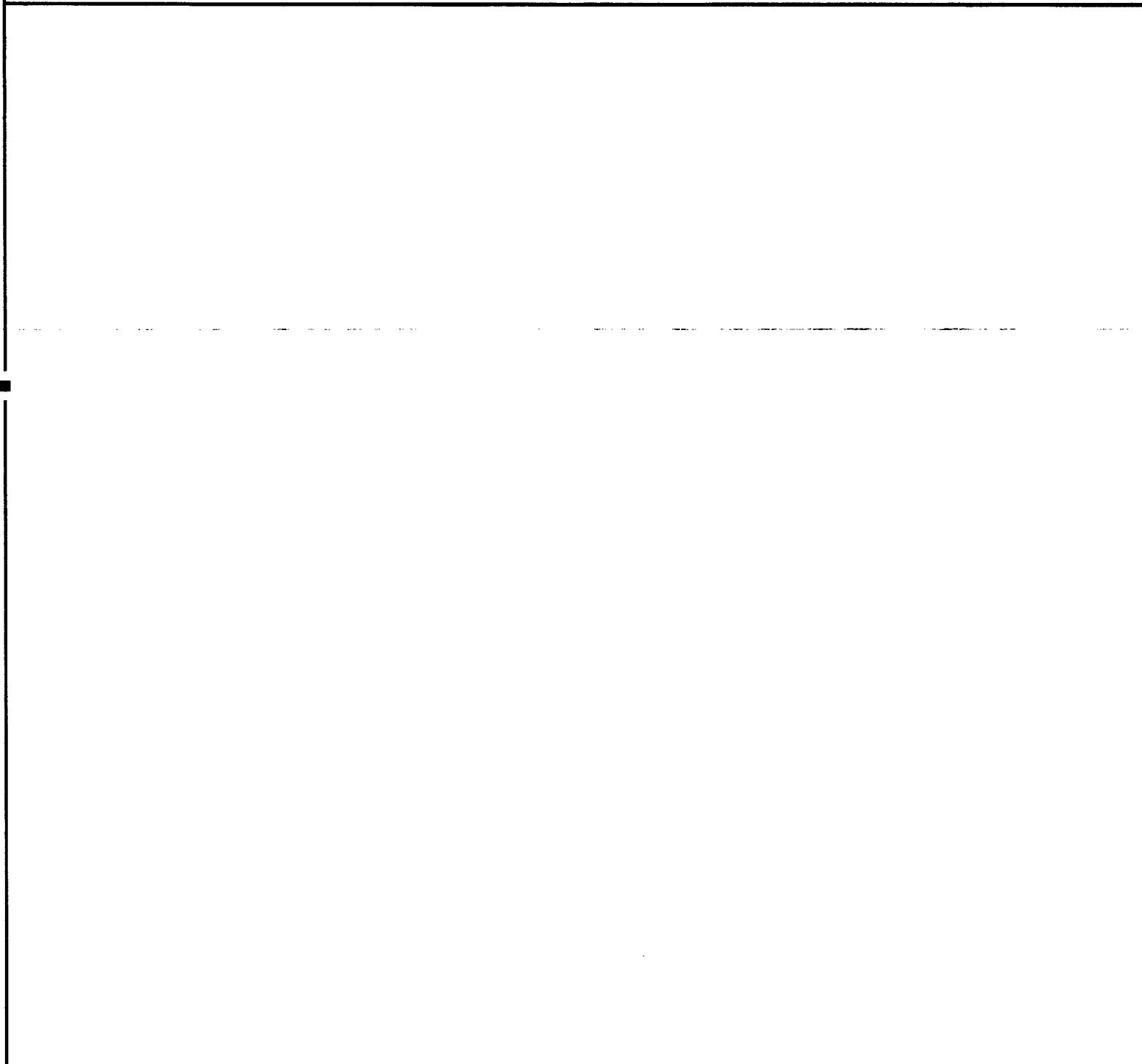
5 HANGER WIRE DETAIL
SCALE: NTS



4 CONNECTION DETAILS
SCALE: NTS



3 HANGER WIRE DETAIL
SCALE: NTS



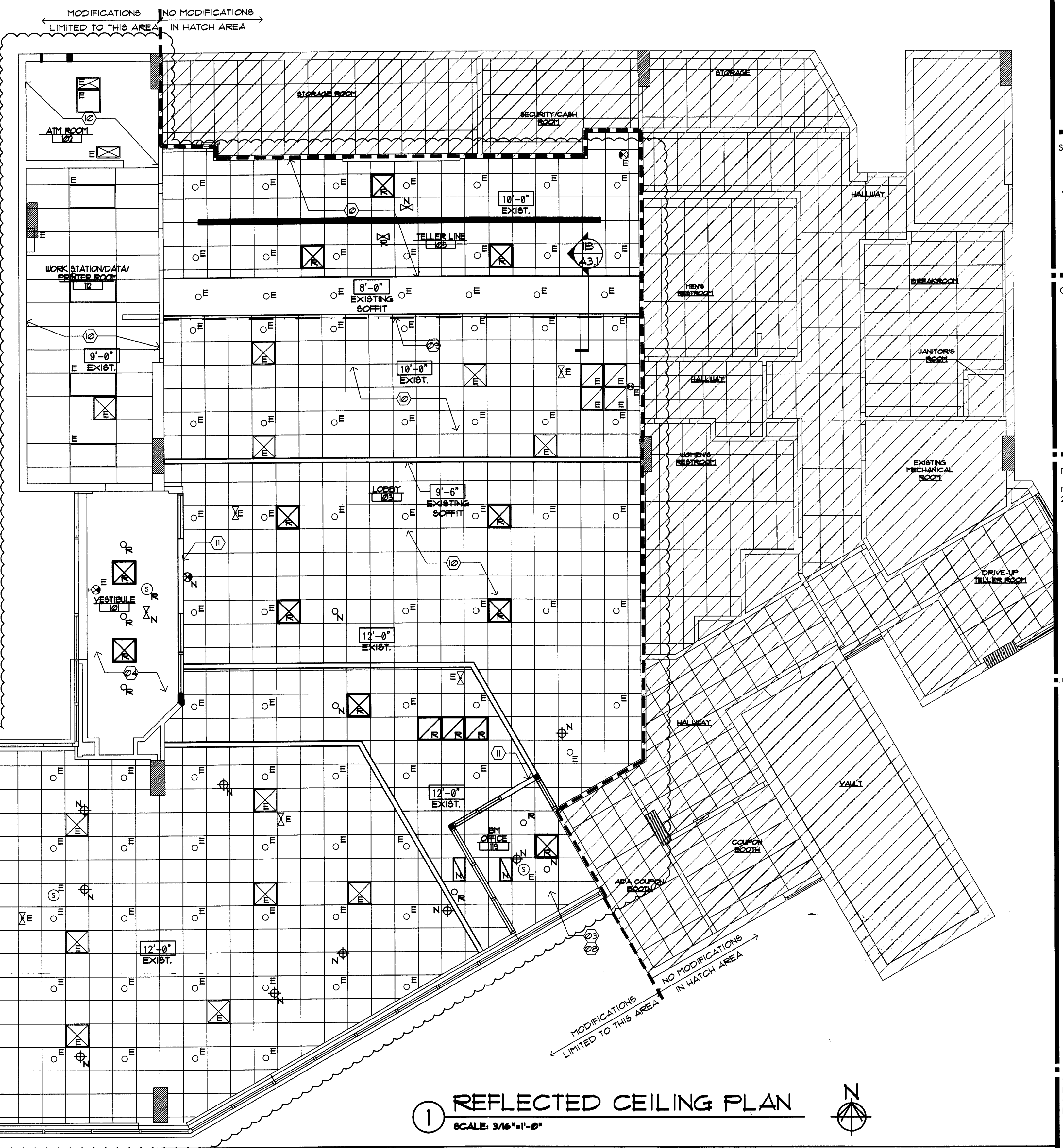
2 NOT USED
SCALE: NTS

LEGEND

- GYP. BD. CEILING - NEW COLOR: 5/8" GYP. BD. SHEATHING
- ACT-1** ACoustical CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN
BEVELED
COLOR: WHITE
SIZE: 24" x 24" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16"
EXPOSED TEE
GRID FINISH: WHITE
NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
- ACT-2** ACoustical CEILING: ALL AREAS
MANUFACTURER: ARMSTRONG
MODEL: ULTIMA OPEN PLAN
BEVELED
COLOR: WHITE
SIZE: 24" x 48" x 3/4"
EDGE: BEVELED TEGULAR
GRID: INTERLUDE XL 9/16"
EXPOSED TEE
GRID FINISH: WHITE
NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
- SLEEVES THRU CEILING FOR DATA CABLES
- 2'x4' RECESSED LIGHT FIXTURE IN SUSPENDED CEILING SYSTEM.
- 1'x4' SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE.
- FLUORESCENT STRIP LIGHT FIXTURE.
- 2'x2' LAY-IN FLUORESCENT
- LED CANOPY LIGHT
- 4'x4' COMPACT FLUORESCENT DOWN LIGHT
- 4'x4' WALL WASHER
- EXIT SIGN (DIRECTIONAL)
- EXIT SIGN LOCATE CENTRALLY OVER DOORS)
- EMERGENCY LIGHT, MOUNT TO CEILING
- BLUE PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW, RE: RCP FOR MOUNTING HEIGHT - SEE L-10 SPEC. BELOW.
- AMBER PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW, RE: RCP FOR MOUNTING HEIGHT - SEE L-9 SPEC. BELOW.
- AMBIENT DOWNLIGHT
- MONOPOINT SPOTLIGHT
- TRACK LIGHT MOUNTED TO BOTTOM OF CEILING
- COVE LIGHTING FIXTURE
- SURFACE MOUNTED LIGHT FIXTURE
- EXHAUST GRILLE
- SUPPLY DIFFUSER
- RETURN GRILLE
- EXHAUST FAN, RE: MECHANICAL
- SPEAKER
- SPRINKLER HEAD
- EXISTING TO REMAIN
- DEMO
- DEMO TO BE RELOCATED
- RELOCATED (NEW LOCATION)
- NEW

L-9 PENDANT LIGHT, CENTER ON TELLER TRANS. WINDOW
MANUFACTURER: BESA LIGHTING
DESCRIPTION: AMBER PENDANT LIGHT
MODEL: IT-151180-5NG18 (AMBER)
RIVA II 120V STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
BUDDY BOCKWIG
CONTACT: ACCUSERY SUPPLY,
BUDDY BOCKWIG
PHONE: (811) 101-1318
E-MAIL: BBOCKWIG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR CEILING 8' AFF. OR LOWER

L-10 PENDANT LIGHT, SALES AREA WORK STATIONS
MANUFACTURER: BESA LIGHTING
DESCRIPTION: COBALT BLUE PENDANT LIGHT
MODEL: IT-151181-5NG18 (COBALT BLUE)
RIVA II 120V STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
BUDDY BOCKWIG
CONTACT: ACCUSERY SUPPLY,
BUDDY BOCKWIG
PHONE: (811) 101-1318
E-MAIL: BBOCKWIG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR CEILING 8' AFF. OR LOWER



1 REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

RCP GENERAL NOTES

1. NOT ALL NOTES, KEYNOTES OR LEGEND ITEMS MAY APPLY.
2. DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNO.
3. ALL NEW SUSPENDED CEILING GRID AND CEILING TILE TO MATCH EXISTING ADJACENT SYSTEM.
4. ALL NEW GYP. BD. CEILING AND INFILL CEILING TO MATCH ADJACENT SURFACE TEXTURE AND FINISH.
5. ELECTRICAL CONTRACTOR TO ENSURE THAT MODIFIED LAYOUT OF LIGHT FIXTURES ARE PLANNED SO ELECTRICAL CAPACITY AND ENERGY USE IS CONSISTENT WITH EXISTING DESIGN.
6. CENTER LIGHT AND MECHANICAL FIXTURES WITHIN CEILING TILE TYPICAL, UNO.
7. MECHANICAL CONTRACTOR TO MOVE EXISTING SUPPLY AND RETURN GRILLS TO AVOID INTERFERENCE WITH ANY NEW WALL OR SOFFIT LOCATIONS. MECHANICAL SYSTEM SHALL BE BALANCED TO ENSURE ANY MINOR ADJUSTMENTS TO THE SYSTEM ALLOW FOR PROPER CONDITIONING OF SPACE.
8. ALL SOFFIT DESIGN AND ACCENT LIGHTING POSITIONS TO COORDINATE WITH FURNITURE LAYOUT. SEE SHEET A13 AND A13.1.
9. ALL SECURITY DEVICES INCLUDING CAMERAS, MONITORS, ALARMS, ETC. WILL BE DESIGNED AND INSTALLED BY THE SECURITY COMPANY AND ARE NOT SHOWN ON THESE PLANS, NOR ON THE ELECTRICAL PLANS.

RCP SHEET KEY NOTES

- 21 NOT USED.
- 22 SUSPENDED METAL GRID SYSTEM W/ 24"x48" ACoustical LAY IN TILES, CENTER IN SPACE.
- 23 2'x2' ACT THIS AREA. FULL CEILING HEIGHT AS CLOSE TO STRUCTURE 4 HVAC AS POSSIBLE.
- 24 5/8" GYP. BD. CEILING. PROVIDE MR. GYP. BD. AT WET AREAS.
- 25 NOT USED.
- 26 NOT USED.
- 27 NOT USED.
- 28 INFILL EXISTING CEILING GRID/ TILE AS REQUIRED IN THIS AREA.
- 29 NEW SIGNAGE BY OTHERS.
- 30 NO CEILING WORK IN THIS AREA.
- 31 PROVIDE NEW HEADER AT T-10".
- 32 NOT USED.
- 33 NOT USED.
- 34 NOT USED.

INTERPLAN LLC
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA8660

933 LEE ROAD, FIRST FLOOR
ORLANDO, FLORIDA 32810
PH 407.645.5008
FX 407.629.9124

SEAL:
Harvey Jacoby
HARVEY JACOBY
AUG 17 2009

CONSULTANT:

REVISIONS:
NO. DATE REMARKS
2 06-09-09 OWNER REVISIONS

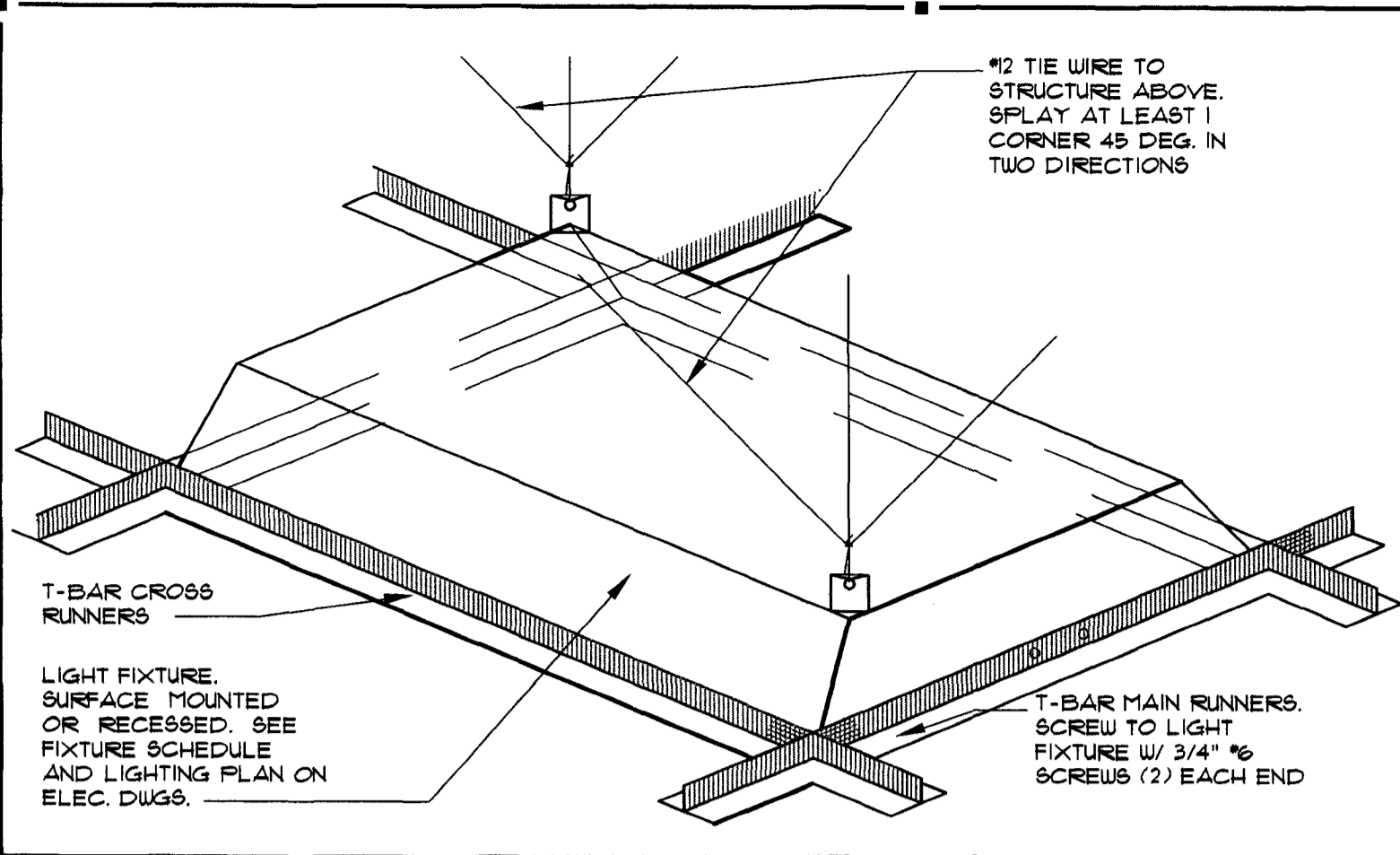
CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
MIAMI BLDG 104 1924 CHASE STORE ID# 1742
1801 ALTON ROAD
MIAMI, FL 33139

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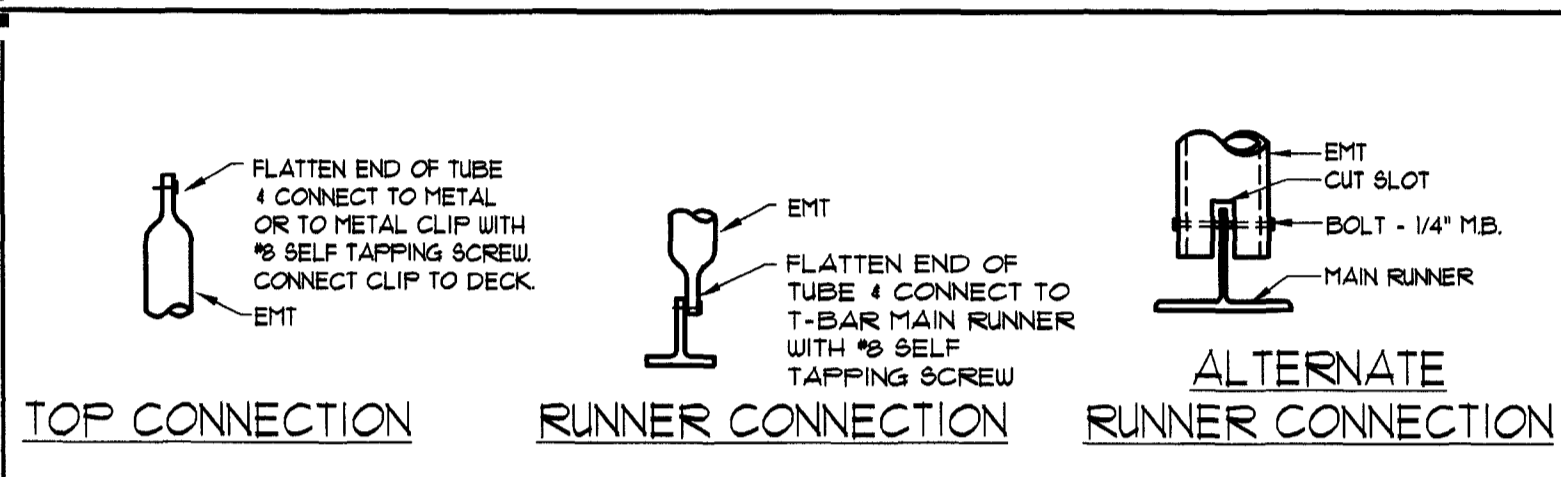
PROJECT NO: 2009.0109
DATE: 04-30-09

A2.0
REFLECTED CEILING
PLAN

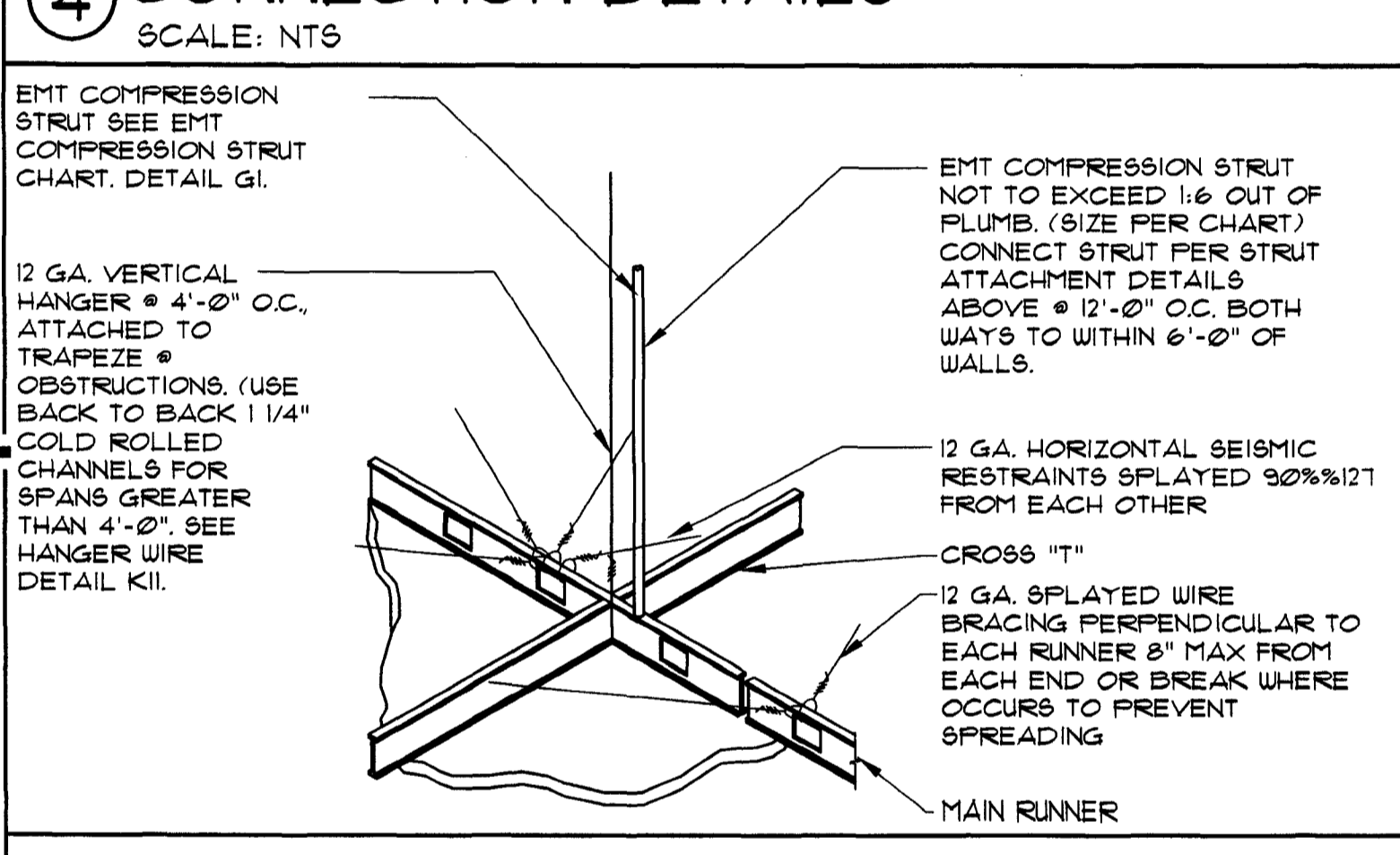
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CHECKED BY: *WJ*



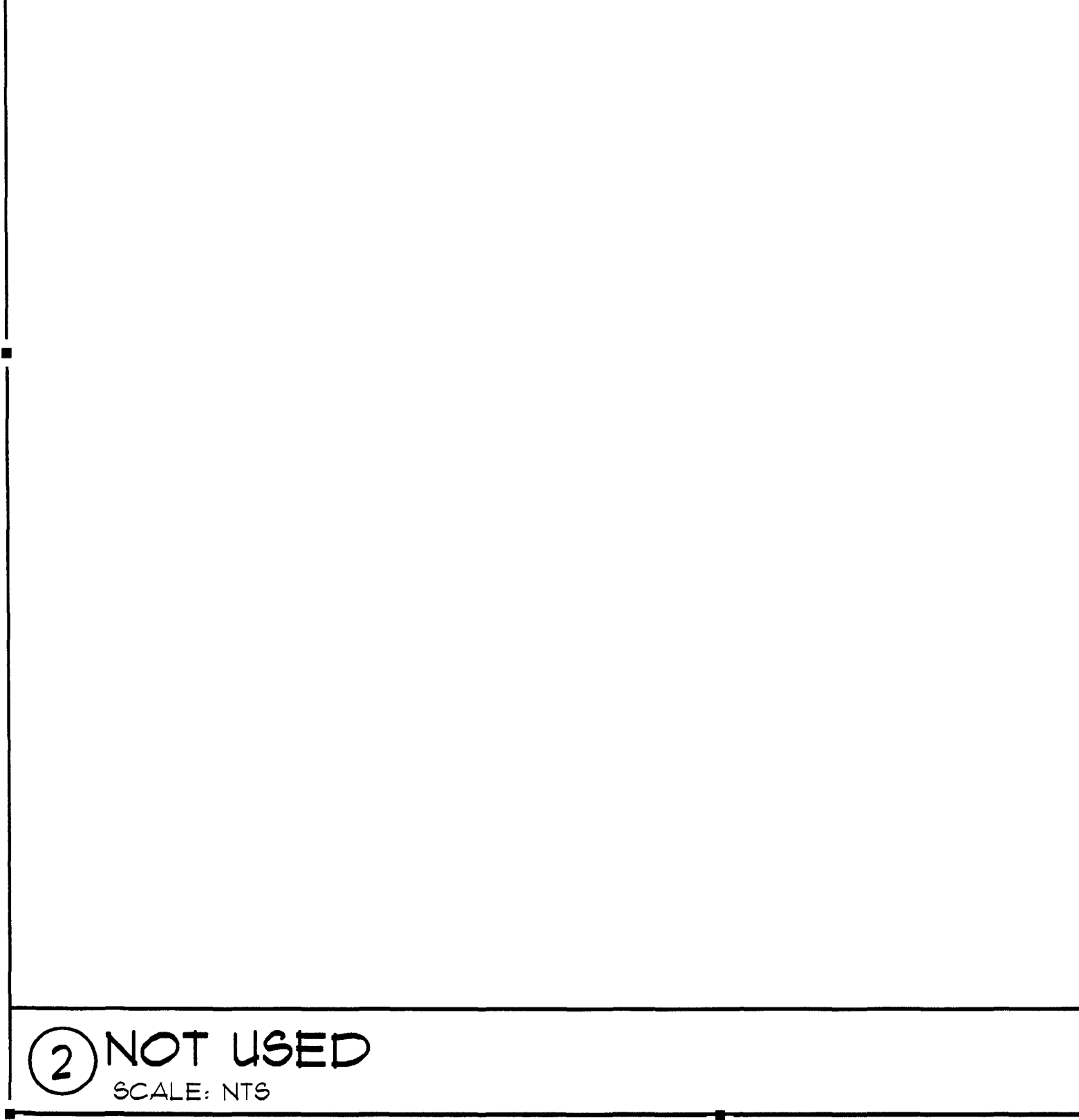
5 HANGER WIRE DETAIL
SCALE: NTS



4 CONNECTION DETAILS
SCALE: NTS



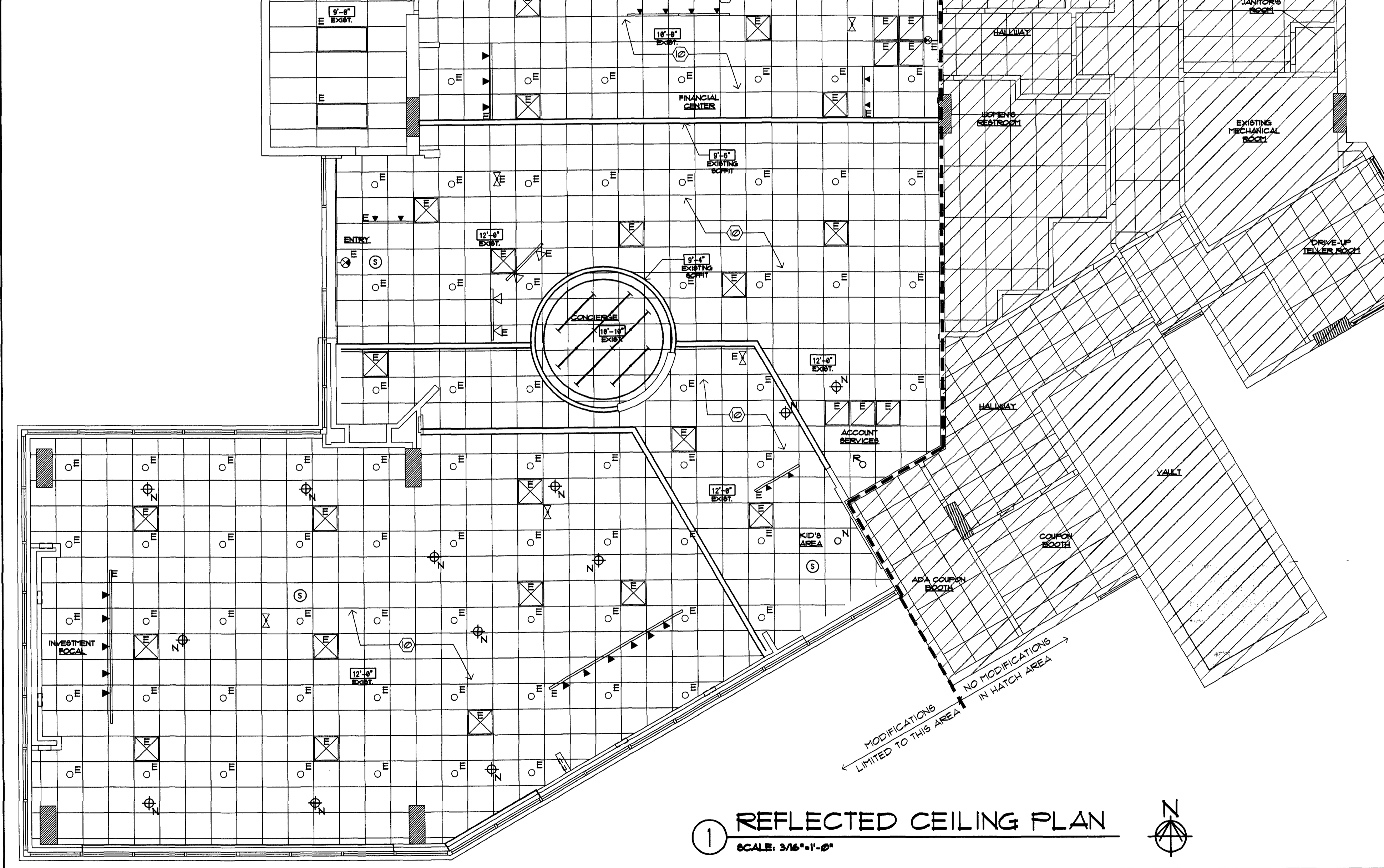
3 HANGER WIRE DETAIL
SCALE: NTS



LEGEND

	GYP. BD. CEILING - NEW COLOR: 5/8" GYP. BD. SHEATHING
	ACOUSTICAL CEILING: ALL AREAS MANUFACTURER: ARMSTRONG MODEL: ULTIMA OPEN PLAN BEVELED COLOR: WHITE SIZE: 24" x 24" x 3/4" EDGE: BEVELED REGULAR GRID: INTERLUDE XL 9/16" EXPOSED TEE GRID FINISH: WHITE NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
	ACOUSTICAL CEILING: ALL AREAS MANUFACTURER: ARMSTRONG MODEL: ULTIMA OPEN PLAN BEVELED COLOR: WHITE SIZE: 24" x 48" x 3/4" EDGE: BEVELED REGULAR GRID: INTERLUDE XL 9/16" EXPOSED TEE GRID FINISH: WHITE NOTE: TYP. IS TO MATCH EXISTING (USE IF MORE THAN 50% BEING REPLACED)
	SLEEVES THRU CEILING FOR DATA CABLES
	2"x4" RECESSED LIGHT FIXTURE IN SUSPENDED CEILING SYSTEM
	1" x 4" SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
	FLUORESCENT STRIP LIGHT FIXTURE
	2"x2" LAY-IN FLUORESCENT
	LED CANOPY LIGHT
	4"x4" COMPACT FLUORESCENT DOWN LIGHT
	4"x4" WALL WASHER
	EXIT SIGN (DIRECTIONAL) EXIT SIGN, LOCATE CENTRALLY OVER DOOR(S)
	EMERGENCY LIGHT, MOUNT TO CEILING
	BLUE PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE: RCP FOR MOUNTING HEIGHT - SEE L-10 SPEC. BELOW.
	AMBER PENDANT LIGHT FIXTURE, ALIGN W/ CENTER OF FIXTURE BELOW. RE: RCP FOR MOUNTING HEIGHT - SEE L-9 SPEC. BELOW.
	AMBIENT DOWNLIGHT
	MONOPOINT SPOTLIGHT
	TRACK LIGHT MOUNTED TO BOTTOM OF CEILING
	COVE LIGHTING FIXTURE
	SURFACE MOUNTED LIGHT FIXTURE
	EXHAUST GRILLE
	SUPPLY DIFFUSER
	RETURN GRILLE
	EXHAUST FAN, RE: MECHANICAL
	SPEAKER
	SPRINKLER HEAD
	E = EXISTING TO REMAIN
	D = DEMO
	DR = DEMO TO BE RELOCATED
	R = RELOCATED (NEW LOCATION)
	N = NEW

- L-9** PENDANT LIGHT, CENTER ON TELLER TRIANS, WINDOW
MANUFACTURER: BESA LIGHTING
DESCRIPTION: AMBER PENDANT LIGHT
MODEL: IT-151120-SNG18 (AMBER)
RIVA II 120V STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERY SUPPLY, BUDDY BOCKWEG
PHONE: (811) 701-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR LOWER
- L-10** PENDANT LIGHT, SALES AREA
MANUFACTURER: BESA LIGHTING
DESCRIPTION: COBALT BLUE PENDANT LIGHT
MODEL: IT-151121-SNG18 (COBALT BLUE)
RIVA II 120V STERN PENDANT W/ 18 WATT GU-24 LAMP INCLUDED
MOUNTING HT: REFERENCE DRAWINGS
G.C. TO PURCHASE FROM:
CONTACT: ACCUSERY SUPPLY, BUDDY BOCKWEG
PHONE: (811) 701-1318
E-MAIL: BBOCKWEG@ACCU-SERV.COM
NOTES: DON'T INSTALL IN CEILING ABOVE 12' AFF. OR LOWER



1 REFLECTED CEILING PLAN
SCALE: 3/16"=1'-0"

- RCP GENERAL NOTES**
- NOT ALL NOTES, KEYNOTES OR LEGEND ITEMS MAY APPLY.
 - DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH UNO.
 - ALL NEW SUSPENDED CEILING GRID AND INFILL CEILING TILE TO MATCH EXISTING ADJACENT SYSTEM.
 - ALL NEW GYP. BD. CEILING AND INFILL CEILING TO MATCH ADJACENT SURFACE TEXTURE AND FINISH.
 - ELECTRICAL CONTRACTOR TO ENSURE THAT MODIFIED LAYOUT OF LIGHT FIXTURES ARE PLANNED SO ELECTRICAL CAPACITY AND ENERGY USE IS CONSISTENT WITH EXISTING DESIGN.
 - CENTER LIGHT AND MECHANICAL FIXTURES WITHIN CEILING TILE TYPICAL, UNO.
 - MECHANICAL CONTRACTOR TO MOVE EXISTING SUPPLY AND RETURN GRILLS TO AVOID INTERFERENCE WITH ANY NEW WALL OR SOFFIT LOCATIONS. MECHANICAL SYSTEM SHALL BE BALANCED TO ENSURE ANY MINOR ADJUSTMENTS TO THE SYSTEM ALLOW FOR PROPER CONDITIONING OF SPACE.
 - ALL SOFFIT DESIGN AND ACCENT LIGHTING POSITIONS TO COORDINATE WITH FURNITURE LAYOUT. SEE SHEET A13 AND 4/A31.
 - ALL SECURITY DEVICES INCLUDING CAMERAS, MONITORS, ALARMS, ETC. WILL BE DESIGNED AND INSTALLED BY THE SECURITY COMPANY AND ARE NOT SHOWN ON THESE PLANS, NOR ON THE ELECTRICAL PLANS.
 - CONTRACTOR TO COORDINATE WITH FIRE SPRINKLER & FIRE ALARM DESIGN/BUILD CONTRACTORS TO ENSURE ANY MINOR MODIFICATIONS ARE ALLOWED BY CODE. THESE MINOR MODIFICATIONS ARE ASSUMED TO BE A SLIGHT RAISING, LOWERING OR REPOSITIONING ONLY.
 - REPLACE ALL DAMAGED/ DISCOLORED/ DIRTY TILE AND GRID, TYPICAL.

- RCP SHEET KEY NOTES**
- | | | | |
|---|-----------|----|-------------------------------|
| 1 | NOT USED. | 28 | NOT USED. |
| 2 | NOT USED. | 29 | NEW SIGNAGE BY OTHERS. |
| 3 | NOT USED. | 30 | NO CEILING WORK IN THIS AREA. |
| 4 | NOT USED. | 31 | NOT USED. |
| 5 | NOT USED. | 32 | NOT USED. |
| 6 | NOT USED. | 33 | NOT USED. |
| 7 | NOT USED. | 34 | NOT USED. |

INTERPLAN
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INTERIOR DESIGN
PROJECT MANAGEMENT

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CA8660

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FX 407.629.9124

SEAL:
[Signature]
LARRY C. CRANFORD
MAY 01 2009

CONSULTANT:

REVISIONS:
NO. DATE REMARKS


CHASE
INTERIOR REBRANDING CONVERSION
MIAMI BEACH - ALTON ROAD
WANU BLDG D/F 1924 CHASE STORE D/F 1742
7801 ALTON ROAD
MIAMI, FL 33155

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PROJECT NO: 2009.0109
DATE: 04-30-09

A2.0
REFLECTED CEILING
PLAN

DRAWN BY: *[Signature]*
CHECKED BY: *[Signature]*

SEAL

 HARVEY JACOBY
 AUG 17 2009

CONSULTANT:

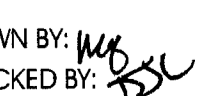

REVISIONS:
 NO. DATE REMARKS
 2 06-09-09 OWNER REVISIONS

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 MIAMI BEACH - ALTON ROAD
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PROJECT NO: 2009.0109
 DATE: 04-30-09

A3.0
 INTERIOR ELEVATIONS,
 SECTIONS AND DETAILS

DRAWN BY: 
 CHECKED BY: 

DOOR SCHEDULE							HARDWARE SCHEDULE				
REMARKS	DOOR NUMBER	DK TYPE	DIMENSIONS			DOOR MATERIAL	FRAME MATERIAL	REMARKS	SET NUMBER	TRANSITION STRIP	EL. CARD READER
			WIDTH	HEIGHT	THICK.						
	108A	C	3'-0"	7'-0"	1-3/4"	WD / GL	WD		02		
	108B	A	6'-0"	7'-0"	1-3/4"	AL / GL	AL		02		

DOOR NOTES

- EXTERIOR METAL DOORS TO BE GALV. & INSULATED.
- HOLLOW METAL JAMBS IN MASONRY TO BE GROUTED SOLID.
- ALL DOORS TO MATCH EXISTING BUILDING STANDARDS.
- UNDERCUT ATH DOOR AND PROVIDE GRILL.
- TO BE MADE OF BULLET RESISTANT MATERIAL - COORDINATE WITH FMC AND SECURITY VENDOR.

HARDWARE NOTES

- COORDINATE PERMANENT CORE / KEYING MAN'FR & INSTALLATION WITH FMC/ CHASE. PERMANENT CORE / KEYING INCLUDED IN BID KEYING ALLOWANCE. CONSTRUCTION CORES BY GENERAL CONTRACTOR.
- MOUNT CLOSER ON PULL SIDE.
- ALL HARDWARE TYPES AND FINISHES TO MATCH EXISTING. CHASE STANDARD HARDWARE SETS PROVIDED FOR STANDARDS REGARDING FUNCTIONS AND ITEMS TO BE FURNISHED.
- G.C. TO EVALUATE EXISTING HARDWARE AND COORDINATE WITH FMC IF NEW SHOULD BE INSTALLED.

DOOR STOREFRONT AND HARDWARE SPECIFICATIONS

- ALL DOOR HARDWARE TO MEET ADA ACCESSIBILITY GUIDELINES.
- PROVIDE KNURLED HARDWARE FOR HC ACCESSIBILITY COMPLIANCE TO DOORS 108A, 108A, & 110A

HARDWARE SET #02

DOOR NUMBER	QUANTITY	CHASE STANDARD (FOR REFERENCE)		FINISH *	MFR.
		DESCRIPTION	ITEM NUMBER		
108B	3	BUTT HINGE	5BB1 4.5 x 4.5 NRP	630	IVE
VESTIBULE	1	MULLION	KR4854	626	VON
	1	PANIC HARDWARE	CD93EO	626	VON
	1	PANIC HARDWARE	CD93NL-OP	626	VON
	1	MORTISE CYLINDER	20-001 WITH C123 KEYWAY	626	SCH
	2	MORTISE CYLINDER	20-001 XQ11-948 WITH C123 KEYWAY	626	SCH
	1	RIM CYLINDER	20-022	626	SCH
	2	OFFSET DOOR PULL	8192-0-0	630	IVE
	2	SURFACE CLOSER	4111 EDA	AL	LCN
	2	OVERHEAD HOLDER	104H	630	GLY

PERMANENT CYLINDER CORES BY OWNER

*NOTE: ALL HARDWARE FINISHES TO MATCH EXISTING. CHASE STANDARD SHOWN FOR REFERENCE ONLY.

HARDWARE SET #03

DOOR NUMBER	QUANTITY	CHASE STANDARD (FOR REFERENCE)		FINISH *	MFR.
		DESCRIPTION	ITEM NUMBER		
102A & 116A	3	HINGE	5BB1 4.5 x 4.5	630	IVE
ATH ROOM & FILE ROOM	1	ELECTRONIC LOCK	SCHLAGE KING COBRA MODEL KC 5156-06-626 W/ SCHLAGE STANDARD CYLINDER C123 KEYWAY	626	SCH
	1	SURFACE CLOSER	401 WITH STOP	AL	LCN
	1	KICK PLATE (PUSH)	8400 8" x 2" LDW	630	IVE
	1	DOOR SCOPE	D8200 132 DEGREE	ALB	D88
	3	SILENCER	8R64	GRY	IVE

PERMANENT CYLINDER CORES BY OWNER

*NOTE: ALL HARDWARE FINISHES TO MATCH EXISTING. CHASE STANDARD SHOWN FOR REFERENCE ONLY.

HARDWARE SET #04

DOOR NUMBER	QUANTITY	CHASE STANDARD (FOR REFERENCE)		FINISH *	MFR.
		DESCRIPTION	ITEM NUMBER		
105A & 112A	3	HINGE	5BB1 4.5 x 4.5	630	IVE
TELLER & PRINTING	1	ELECTRONIC LOCK	SCHLAGE KING COBRA MODEL KC 5156-06-626 W/ SCHLAGE STANDARD CYLINDER C123 KEYWAY	626	SCH
	1	SURFACE CLOSER	401	626	LCN
	1	KICK PLATE (PUSH)	8400 8" x 2" LDW	630	IVE
	1	WALL STOP	W8406CVX	626	IVE
	1	DOOR SCOPE	D8200 132 DEGREE	ALB	D88
	3	SILENCER	8R64	GRY	IVE

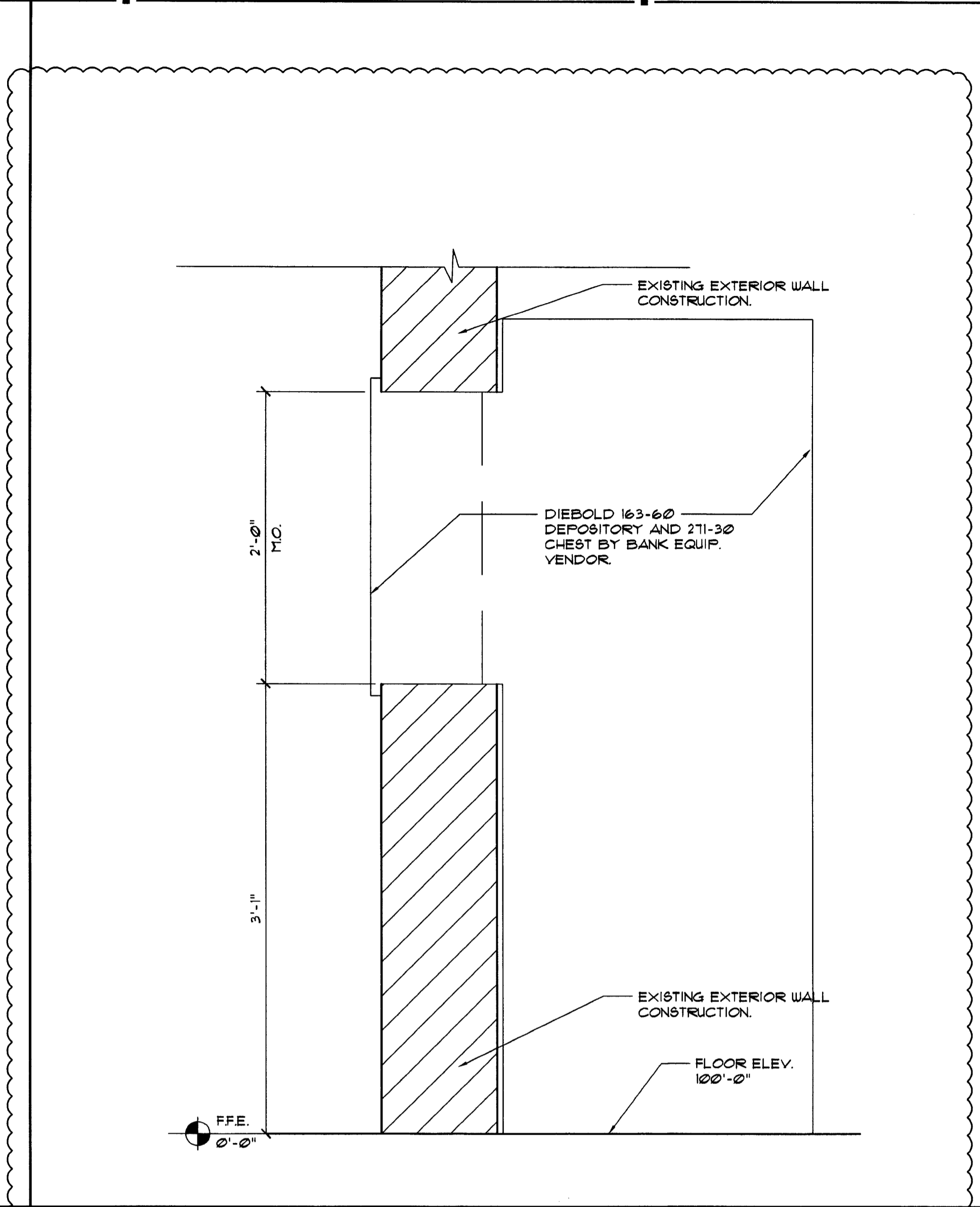
PERMANENT CYLINDER CORES BY OWNER

*NOTE: ALL HARDWARE FINISHES TO MATCH EXISTING. CHASE STANDARD SHOWN FOR REFERENCE ONLY.

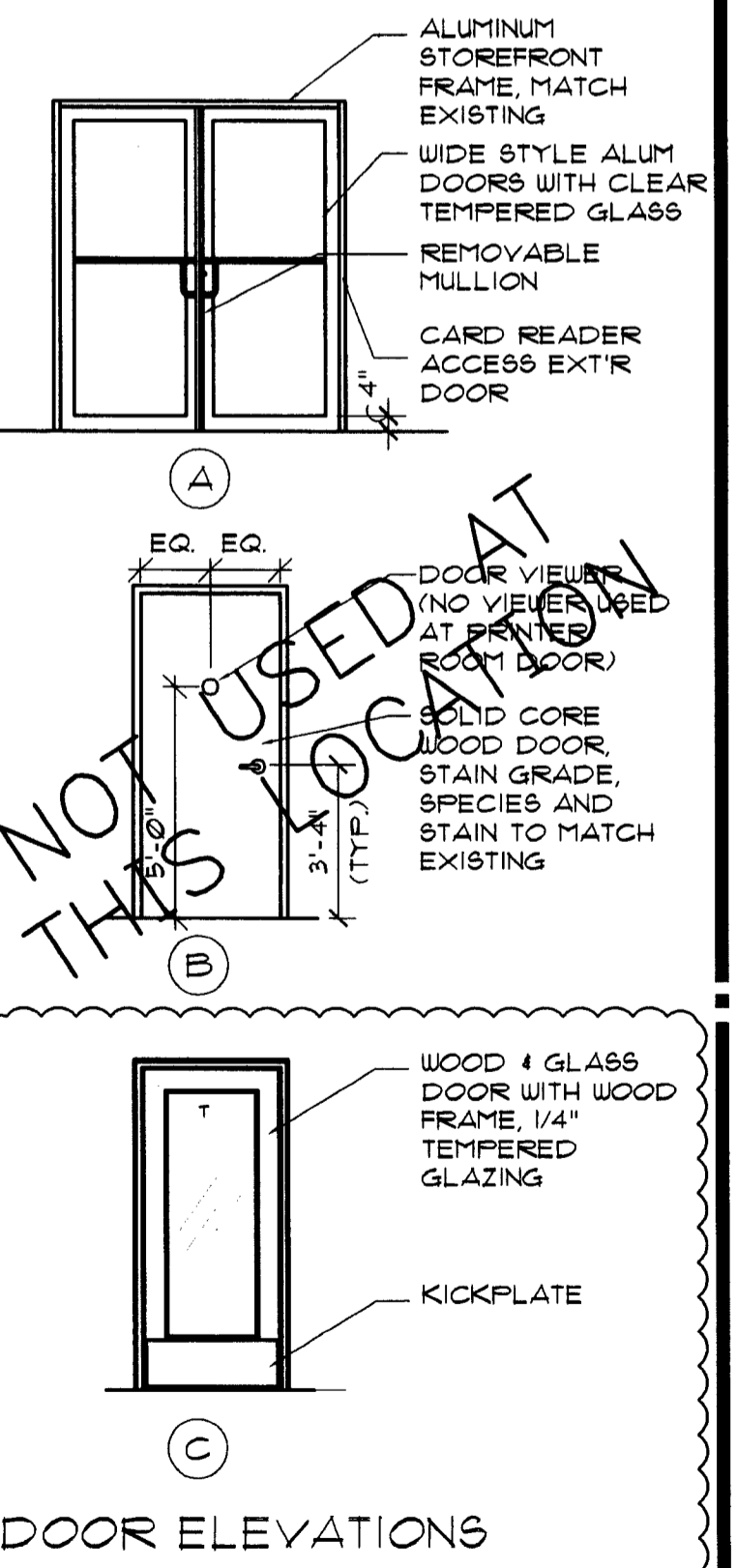
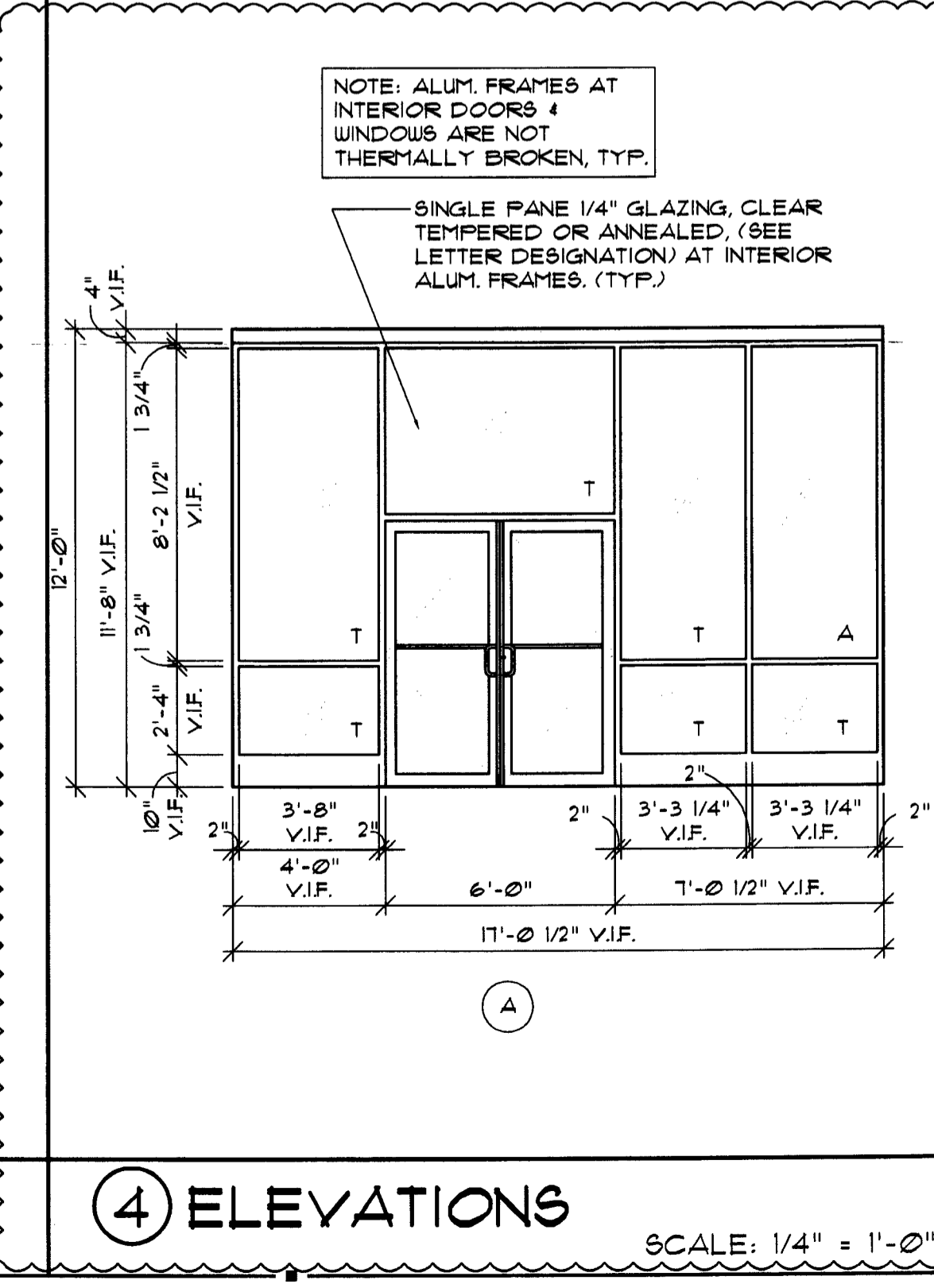
HARDWARE SET #05

DOOR NUMBER	QUANTITY	CHASE STANDARD (FOR REFERENCE)		FINISH *	MFR.
		DESCRIPTION	ITEM NUMBER		
108A	3	HINGE	5BB1 4.5 x 4.5	630	IVE
BM OFFICE	1	PASSAGE LATCH	ND108 ATH	626	SCH
	1	KICK PLATE (PUSH)	8400 8" x 2" LDW	630	IVE
	2	WALL STOP	W8406CVX	630	IVE
	3	SILENCER	8R64	GRY	IVE

*NOTE: ALL HARDWARE FINISHES TO MATCH EXISTING. CHASE STANDARD SHOWN FOR REFERENCE ONLY.



③ AFTER HOURS DEPOSITORY (AHD) DETAILS SCALE: 1/2" = 1'-0"



DOOR ELEVATIONS

① NOT USED

② NOT USED

⑤ NOT USED

<p>① NOT USED</p> <p>SCALE: 1 1/2" = 1'-0"</p>	<p>③ NOT USED</p> <p>SCALE: 3/4" = 1'-0"</p>
<p>② NOT USED</p> <p>SCALE: N.T.S.</p>	
<p>⑤ NOT USED</p> <p>SCALE: 1" = 1'-0"</p>	<p>④ NOT USED</p> <p>SCALE: 1/4" = 1'-0"</p>

DOOR SCHEDULE							HARDWARE SCHEDULE				
REMARKS	DOOR NUMBER	DIR. TYPE	DIMENSIONS			DOOR MATERIAL		REMARKS	SET NUMBER	TRANSITION STRIP	EL. CARO READER
			WIDTH	HEIGHT	THICK.	AL. GL. H.M. S.C. U.D.	FRAME MATERIAL				

DOOR NOTES

- EXTERIOR METAL DOORS TO BE GALV. & INSULATED.
- HOLLOW METAL JAMBS IN MASONRY TO BE GROUTED SOLID.
- ALL DOORS TO MATCH EXISTING BUILDING STANDARDS.
- UNDERCUT ATM DOOR AND PROVIDE GRILL.

HARDWARE NOTES

- COORDINATE PERMANENT CORE / KEYING MANFR. & INSTALLATION WITH FMC/ CHASE PERMANENT CORE / KEYING INCLUDED IN BID KEYING ALLOWANCE. CONSTRUCTION CORES BY GENERAL CONTRACTOR.
- MOUNT CLOSER ON FULL SIDE.
- ALL HARDWARE TYPES AND FINISHES TO MATCH EXISTING. CHASE STANDARD HARDWARE SETS PROVIDED FOR STANDARDS REGARDING FUNCTIONS AND ITEMS TO BE FURNISHED.

DOOR STOREFRONT AND HARDWARE SPECIFICATIONS

- ALL DOOR HARDWARE TO MEET ADA ACCESSIBILITY GUIDELINES.
- PROVIDE KNURLED HARDWARE FOR HC ACCESSIBILITY COMPLIANCE TO DOORS 102A, 103A, & 110A.

INTERPLAN LLC
 ARCHITECTURE
 ENGINEERING
 INTERIOR DESIGN
 PROJECT MANAGEMENT

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 CA8660

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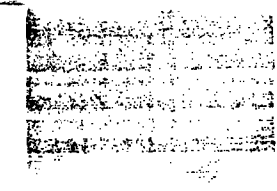
SEAL:


CONSULTANT:

REVISIONS:

NO.	DATE	REMARKS

CITY OF MIAMI BEACH



VOID

CHASE
 INTERIOR REBRANDING - CONVERSION
 MIAMI BEACH - ALTON ROAD
 WAMU BLDG ID# 1924 CHASE STORE ID# 1742
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 DATE: 04-30-09

A3.0
 INTERIOR ELEVATIONS,
 SECTIONS AND DETAILS

DRAWN BY: *qw*
 CHECKED BY: *es*