



RENOVATION OF EXISTING HISTORIC BUILDING:
THE VILLA - CASA CASUARINA
 1116 Ocean Drive Miami Beach, FL 33139



SEPARATE PERMITS REQUIRED:

NEW ELEVATOR

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PROJECT TEAM

ARCHITECT OF RECORD:
 **SKLARchitecture**

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OWNER:
 VMSB LLC
 1400 Broadway, 15th Floor, Ny, NY
 646.467.1399
 Owners Rep:
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PROJECT RENDERING



PROPOSED NEW ELEVATOR ON NORTH COURTYARD

SCOPE OF WORK

NEW ELEVATOR AT NORTH INTERIOR CENTRAL COURTYARD:

Round Glass 3 story Elevator located on North East Corner of Courtyard

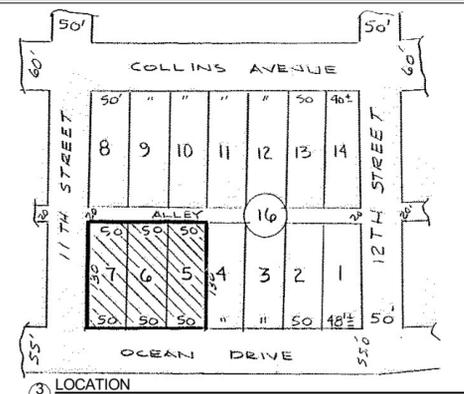
LEGAL DESCRIPTION

THIS PROPERTY IS DESCRIBED AS:
 FOLIO: 02-4203-004-0100
 LOT 5, 6, AND 7, BLOCK 16, OF OCEAN BEACH ADDITION NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, PAGE 56, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGIN AT A POINT LOCATED AT THE INTERSECTION OF THE NORTH RIGHT OF WAY MARGIN OF 11TH ST AND THE WEST RIGHT OF WAY MARGIN OF OCEAN DRIVE, SAID POINT BEING THE TRUE POINT OF BEGINNING. THENCE RUN NORTH 90DEG 00'00" WEST ALONG THE NORTH RIGHT OF WAY MARGIN OF 11 ST FOR A DISTANCE OF 130 FEET TO A POINT ON THE EAST MARGIN OF A 20 FOOT PUBLIC ALLEY. THENCE RUN NORTH 00DEG 00'00" EAST ALONG SAID ALLEY FOR A DISTANCE OF 150 FEET TO A POINT. THENCE RUN NORTH 90DEG 00'00" EAST FOR A DISTANCE OF 130 FEET TO A POINT ON THE WEST RIGHT OF WAY MARGIN OF OCEAN DRIVE. THENCE RUN SOUTH 00DEG 00'00" WEST ALONG SAID RIGHT OF WAY MARGIN FOR A DISTANCE OF 150 FEET TO A POINT AND BACK TO THE TRUE POINT OF BEGINNING.
 LAND CONTAINS 195,000 SF. AND 0.45ACRES

LOCATION MAP



KEY PLAN



CODE ANALYSIS

PLANS SHALL COMPLY WITH THE FOLLOWING:
 FLORIDA BUILDING CODE - (2017 / 6th Edition)
 FLORIDA FIRE PREVENTION CODE - (2017 / 6th Edition)
 FLORIDA BUILDING CODE - ACCESSIBILITY (2017 / 6th Edition)
 NATIONAL FIRE PROTECTION ASSOCIATION CODE - (2017 / 6th Edition)
 MIXED USE ENTERTAINMENT
 TENANT ENTERTAINMENT (THIS PERMIT) 3-STORY CONCRETE STRUCTURE

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG ELEMENT (TABLE 601)	
STRUCTURAL FRAME	1HR
BEARING WALLS (EXT. & INT)	1 EXT/ 1 INTR
NONBEARING WALLS & PARTITIONS	0HR
FLOOR CONSTRUCTION	1HR
ROOF CONSTRUCTION	1HR

REQUIRED SEPARATION OF OCCUPANCIES M / M = 0 HR (TABLE 302.2)
 *TYPE OF CONSTRUCTION WAS DETERMINED USING "NONSEPARATED" OCCUPANCIES (508.3).
 504.2 Automatic sprinkler system increase. / 506.3 Automatic sprinkler system increase.

ZONING LEGEND

	REQUIREMENTS	EXISTING	PROPOSED
ZONING:	MXE Mixed use entertainment	MXE Mixed use entertainment	MXE Mixed use entertainment
HISTORICAL DISTRICT:	OCEAN DRIVE/COLLINS AVENUE HISTORIC DISTRICT		
ADDRESS:	1116 OCEAN DRIVE MIAMI BEACH, FL 33139		
FOLIO NUMBER:	02-4203-004-0100		
YEAR CONSTRUCTED:	1932		
BASE FLOOD ELEVATION:	8' NGVD	8' NGVD	8' NGVD
LOT WIDTH:	150 FT.	150 FT.	150 FT.
LOT DEPTH:	130 FT.	130 FT.	130 FT.
LOT AREA:	4,500 FT.	4,500 FT.	4,500 FT.
HEIGHT:	75 FT.	35'	35'
NUMBER OF STORIES:		SOUTH BUILDING 2 STORIES (20'-0" FT)	SOUTH BUILDING 2 STORIES (20'-0" FT)
		NORTH BUILDING 3 STORIES (35'-0" FT)	NORTH BUILDING 3 STORIES (35'-0" FT)
GROSS SQ FOOTAGE (FOOTPRINT):		SOUTH BLDG. 2,515,25 SF	SOUTH BLDG. 2,515,25 SF
		NORTH BLDG. 6,858,84 SF	NORTH BLDG. 6,858,84 SF

FLOOR AREA RATIO

LOT SIZE 19,500 SF	MAX FAR 2.0 = 39,000 SF	25,250 SF	25,322 SF
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SETBACKS

FRONT SETBACK (EAST):	20' VARIANCE PER ORB 16026 PG 3304	22.66'	22'-8"
SIDE SETBACK (NORTH):	7.5'	4.85'	4.85'
SIDE SETBACK (SOUTH):	7.5'	4.85'	4.85'
REAR SETBACK (WEST):	10'	0'	0'

PARKING:

PARKING RATIO:	2 SPACES PER DWELLING UNIT	NO PARKING PROVIDED. IMPACT FEE WILL BE PAID AT TIME OF PERMIT	
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REVISIONS

3	CITY COMMENTS	05/06/21
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RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

REVIEW SET
 COMMISSION SUBMITTAL
 NOT FOR CONSTRUCTION
 DRY RUN PERMIT SET
 PERMIT SET
 BID SET
 CONSTRUCTION SET

DRAWN BY:
 Author
 CHECKED BY:
 ARISKLAR

COVER SHEET

A0.0

PROJECT #: Project #20-003

DATE: 05-18-2020

Historical Evolution of Site
 Phase 01 1930-1937



Casa Casuarina was built in 1930 by Alden Freeman. whose father, Joel Freeman was Treasurer of The Standard Oil Trust (also known as Rockefeller's Company) and left Alden a fabulous wealth when he passed away. This gave young Alden an opportunity to retire at the age of 27 and was able to travel the world.



Freeman, always well-travelled and very intelligent, loved the adventurous spirit of Christopher Columbus and on one of his many trips around the world, went to visit the Alcazar De Colon in Santo Domingo (Dominican Republic) which was built by Christopher Columbus's Son). Alden was so inspired by the house that he decided to build his own home in Miami Beach as homage to the Alcazar De Colon and brought back 2 authentic coralline bricks from the house, where one sits to the right hand side of the main entrance. Alden dreamed of living in a bohemian society with all his friends from local areas such as Coconut Grove and Coral Gables. In addition, on his many trips abroad he would meet fascinating people and always invite them to hang out in his beautiful home here in Miami Beach.

Historical Evolution of Site
 Phase 01 1930-1937

The property had a total of 24 apartments that Freeman filled with family and friends and were made available to rent.



Approximately, 130 decorative medallions were lined along the perimeter of the second story of in the courtyard, all of which are still existing. The subject matter of the medallions depicts people's portraits, places, and historical events that held historical or personal significance with Freeman.

Yugoslavian sculptor, Vuk Vuchinich, was additionally commissioned to create a statue for the home. The bronze Kneeling Aphrodite (Greek goddess of love) statue was created in 1928 and has resided in the house ever since.

Legend maintains that Casa Casuarina was the original name given to the house when it was built in 1930 as homage to the only remaining tree in the lot after the 1926 hurricane that hit South Florida. Freeman was forced to cut down the tree to make room for the construction of his new house. v is the botanical name of the tropical tree popularly known as the "Australian Pine".



REVISIONS

RENOVATION OF AN EXISTING HISTORIC BUILDING
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 FLORIDA 33139

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DRAWN BY:
 Author
 CHECKED BY:
 ARI SKLAR

HISTORICAL EVOLUTION
 OF THE SITE
 PHASE 1: 1930 - 1937

A0.1

PROJECT #: Project #20-003

DATE: 05-18-2020

REVISIONS

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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HISTORICAL EVOLUTION
 OF THE SITE
 PHASE 2: 1937 - 1993

A0.2

PROJECT #: Project #20-003

DATE: 05-18-2020

03-08-21

Historical Evolution of Site

Phase 02 1937 - 1993



Alden Freeman died at Casa Casuarina on December 29, 1937. The property was then sold to Jacque Amsterdam for \$100,000, who continued to run the house as an apartment complex that he named the "Amsterdam Palace. In April 1939, Amsterdam did a small renovation of the house in which he installed an elevator shaft, where the current bell is located. Also, in the renovation, the lily pond in the Courtyard was replaced with terrazzo flooring and the kneeling Aphrodite statue was moved to the front terrace to greet guests with love. In the ensuing years, Amsterdam Palace passed through the hands of several owners and hundreds of tenants. For a short time in the 1980's, the house was called Christopher Columbus Apartments. After a while, the building gradually fell into disrepair, but miraculously, most of the original fittings and artworks survived. It remained a multi-residential building for decades, changing ownership several times, until it fell into disrepair. Until one day, in 1992, it was discovered by Gianni Versace.



Site Investigation & Contextual Studies

Historical Evolution of Site



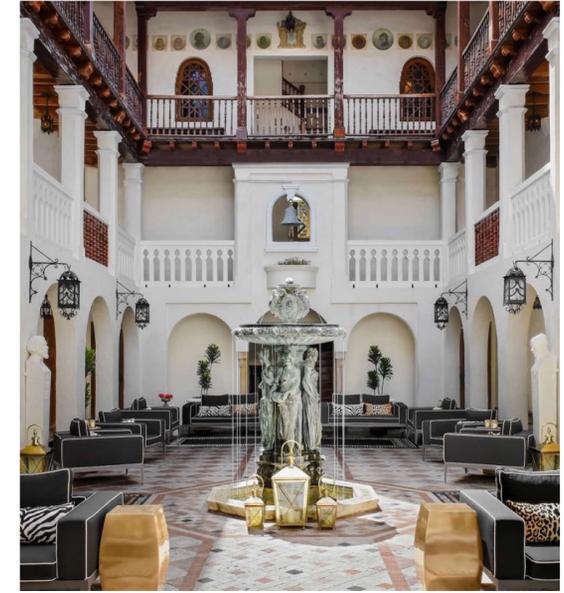
Foyer entrance in 1937



Foyer entrance in 1960



Foyer entrance in 1997



Foyer entrance today

Historical Evolution of Site

Phase 03 1993 - 1997

In 1992, while on his way to Cuba, Gianni Versace was on vacation with his family in Miami Beach. Versace was walking along Ocean Drive when there was an instant attraction to the unique Spanish architecture of the house after spotting the bronze statue of the "Kneeling Aphrodite" at its front entrance. Obsessed with Greek and Roman mythology, Versace purchased the original house built by Freeman for \$2.95 million and the lot next door, an old art deco hotel called the Hotel Revere. Although this neighborhood was placed on the National Register of Historic Places in 1979 and the strong opposition from the Miami Design Preservation League, Versace bought the Revere Hotel next door for \$3.7 million to demolish it. He then invested an additional \$32 million in renovations where the original 24-apartment structure was then converted into one single home structure with eight large suites, that included ten additional bathrooms, two kitchens, three sitting rooms, four living rooms, a library, and a bar. The south wing, which houses another two suites, and the pool and garden were added onto the previous site of the Hotel Revere. In the same renovation, the elevator shaft in the courtyard was removed, the fountain was replaced, and the observatory was reconstructed with the new copper dome.



Demolition of Hotel Revere, adjacent to Casa Casuarina

Inspired by Greco-Roman antiquity, Versace expressed a vision of his heritage throughout the house as he did in his designs. The pool is perhaps the best symbol of Versace extravagance, inlaid with thousands of 24-karat gold tiles, all imported from Italy. The mosaic garden in the courtyard is made from the same 24-karat gold mosaic tiles. A Milanese tiling company designed the Italian mosaics seen throughout the home, including the famous medusa face that holds center stage of the garden.



The second floor of the courtyard was Versace's area of the house. His personal bedroom, adorned in baroque Trompe-l'œil frescoes by Miami-based artist Allyson Krowitz, featured a drawing room attached to his apartment (now one of the hotel's restaurants). All of Versace's fabrics were upholstered on furniture, murals painted on ceilings. Picassos hanging on the wall, and classical antiques affixed in all of the rooms. When looking at the facade of the mansion, Versace's balcony centers directly above the main entrance, overlooking the entire front of the property onto Ocean Drive. In addition, the house was also used by his many close friends and family members. His brother Santo's bedroom is now called the Venus room, his sister Donatella's bedroom is the Signature suite. Various guest rooms were situated in the wing of the home that overlooks the impressive mosaic pool

Historical Evolution of Site

Current

Three years later, Gianni Versace was shot to death in his own footsteps. The house sat empty for about 3 years and in September of 2000, Donatella finally sold the property to Peter Loftin, a telecommunications magnate for \$19 million. Loftin used this house as a private residence as well as a hotel, membership club and private events venue from 2001 to the end of 2009. Some contents of when Versace lived there were auctioned in New York City in April 2001. What remains from the Versace era are the richly decorated walls, floors, ceilings, and windows, as well as the pool, garden, and the entire south wing. In December of 2009, Events impresario and restaurateur Barton G. Weiss leased the property and took over the Mansion, imprinting his own signature style on the storied house and reopened as The Villa by Barton G. In September 2013, Florida business connected to Jordache Enterprises bought the Mansion at auction with a winning bid of \$41.5 million.



Today, the Versace Mansion is a boutique hotel called The Villa Casa Casuarina. The Hotel kept as close as possible to Versace's vision. Furniture was reproduced, murals were retouched, and details were copied from archive photos. Interior doors were sealed, (they used to be like secret doors, going from one room to another. Its design is intact, and all that was done to the property was just adding the modern electronic conveniences that hotel guests and restaurant customers expect. Anyone can stay at the hotel or dine at the restaurant.

One thing does remain though. Versace Mansion continues to be the third most photographed house in the United States, perhaps because of its opulent Mediterranean Renaissance architecture. Perhaps it is because of its association with one of the most famous fashion brands in the world. Regardless, it has spectated the eyes of many, and continues to be as extravagant as Versace envisioned almost 30 years ago.



REVISIONS

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Author
CHECKED BY:
ARI SKLAR

HISTORICAL EVOLUTION
OF THE SITE
PHASE 3: 1993 - 1997

A0.3

PROJECT #: Project #20-003

DATE: 05-18-2020

REVISIONS

2	CITY COMMENTS	02/09/21
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RENOVATION OF AN EXISTING HISTORIC BUILDING
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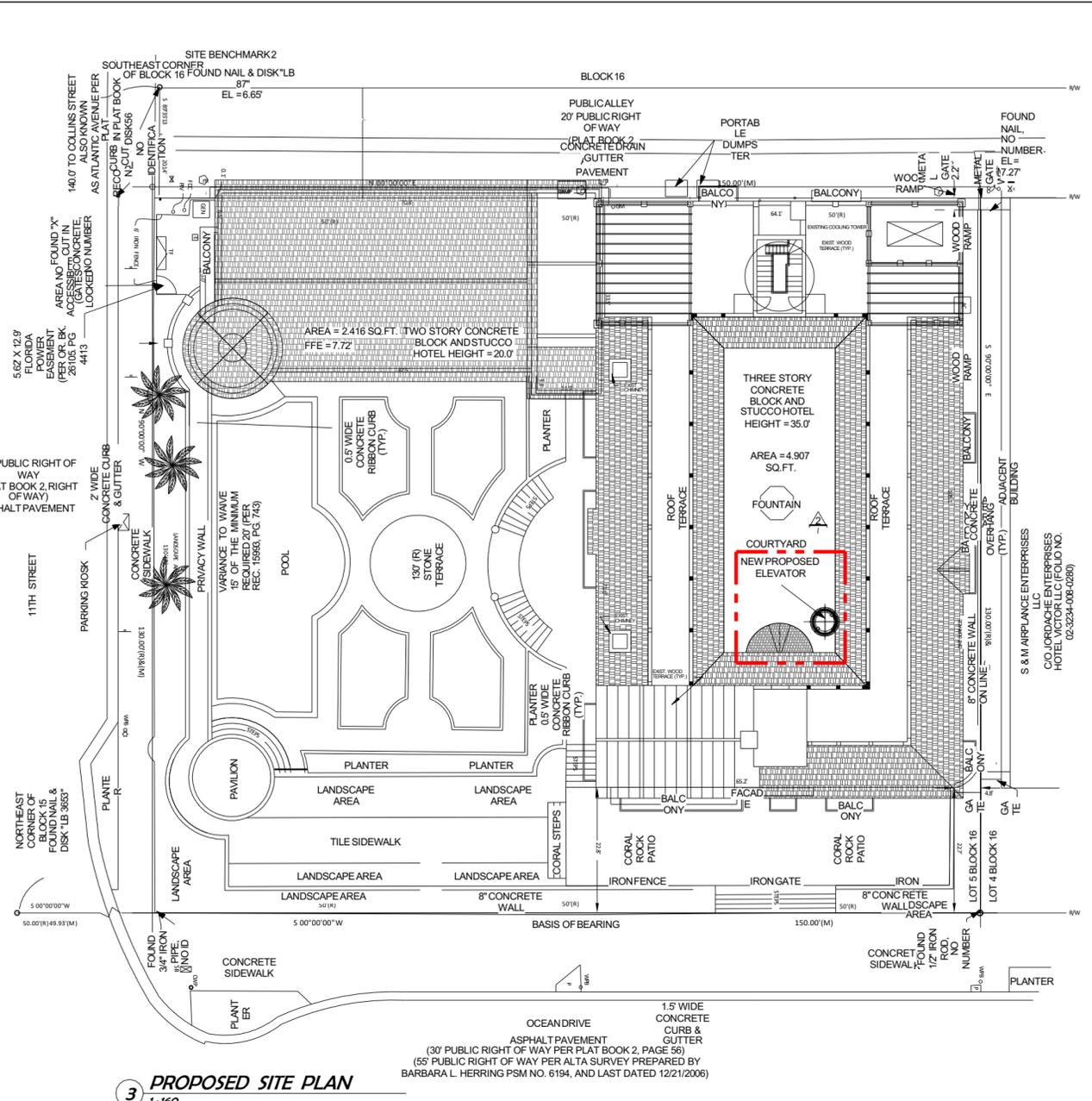
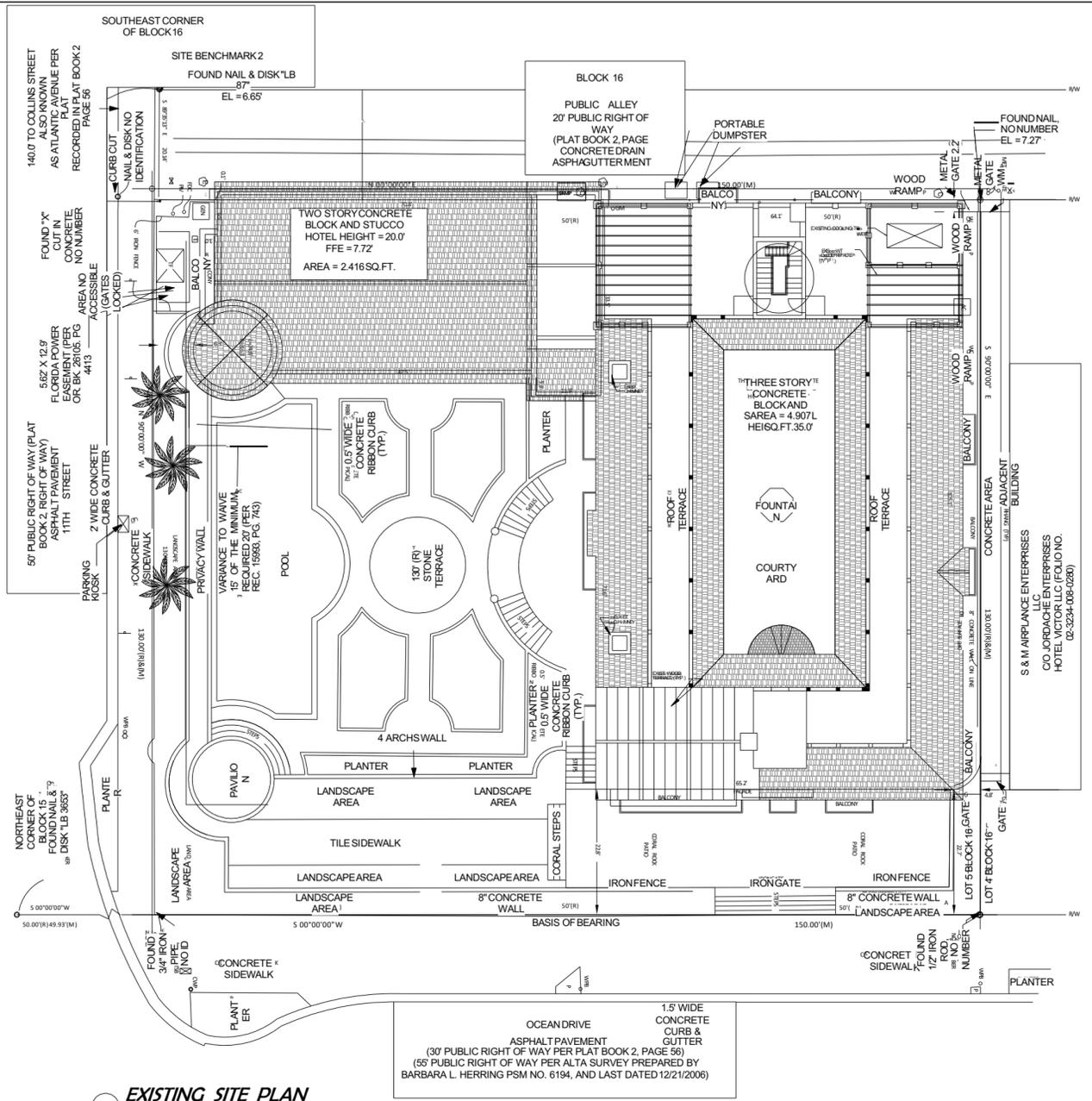
DRAWN BY:
 Author
 CHECKED BY:
 ARISKLAR

**SITE PLAN EXISTING
 and PROPOSED**

A1.0

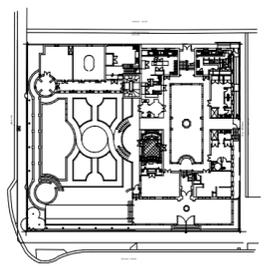
PROJECT #: Project #20-003

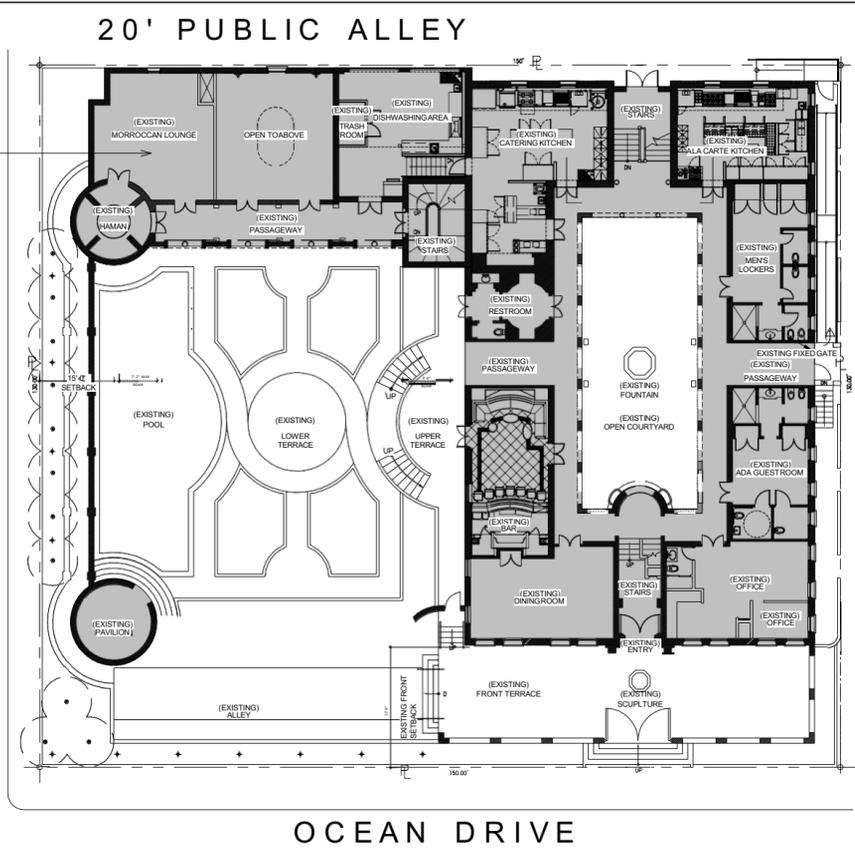
DATE: 05-18-2020



FLOOR PLAN LEGEND

	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL
	TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	DEMOLITION TAG
	CONSTRUCTION TAG





1 EXISTING GROUND FLOOR PLAN
 1/16" = 1'-0"

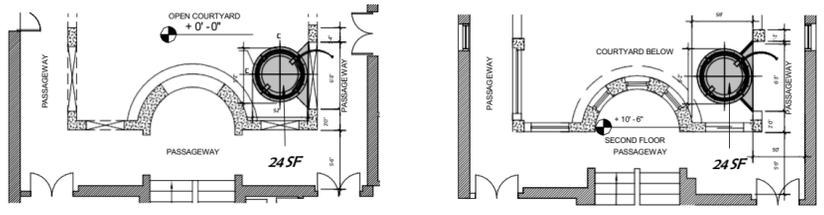
LOT SIZE = 19,500 SF MAX FLOOR AREA RATIO = 2.0
= 39,000 SF

EXISTING F.A.R.
BASEMENT.....2,713 SF
GROUND FLOOR.....8,139 SF
2ND FLOOR.....8,228 SF
3RD FLOOR.....6,170 SF
ROOF/TERRACE.....0,00 SF

TOTAL EXISTING F.A.R.....25,250 SF

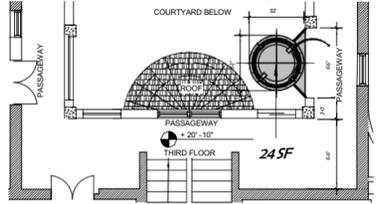
PROPOSED ELEVATOR F.A.R.....24 SF X 3= 72 SF

PROPOSED F.A.R.....25,322 SF

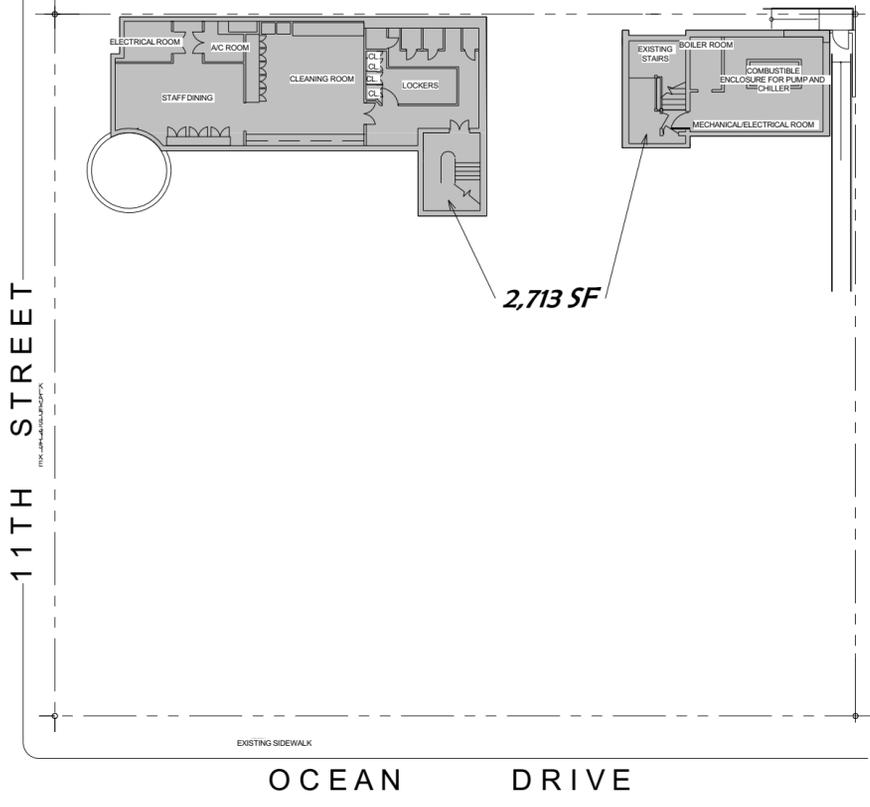


6 PROPOSED ELEVATOR GROUND FLOOR
 AREA PLAN
 1/8" = 1'-0"

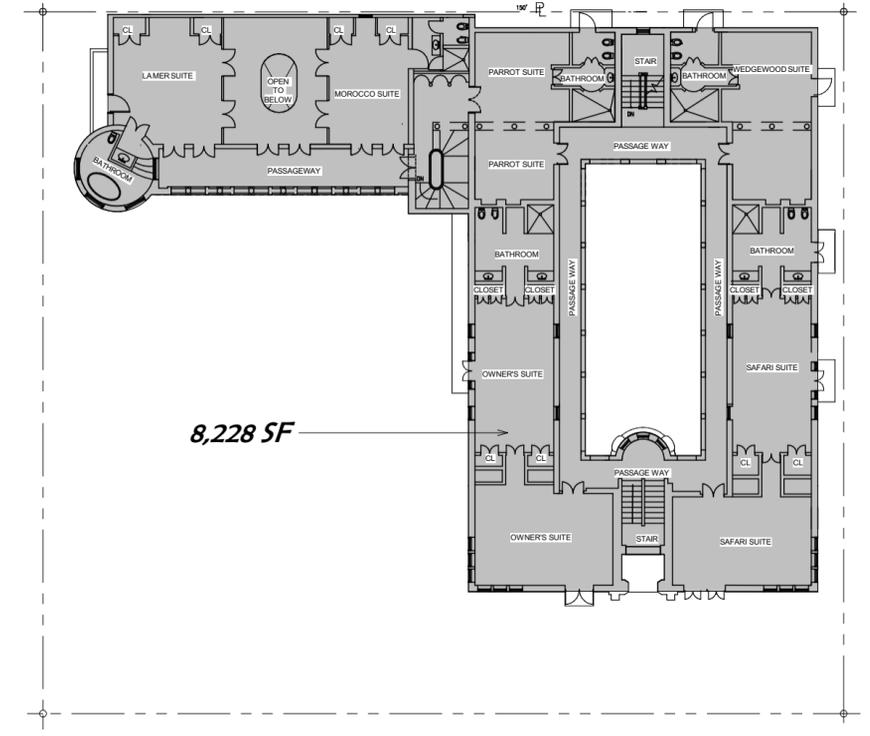
8 PROPOSED ELEVATOR 2ND FLOOR
 AREA PLAN
 1/8" = 1'-0"



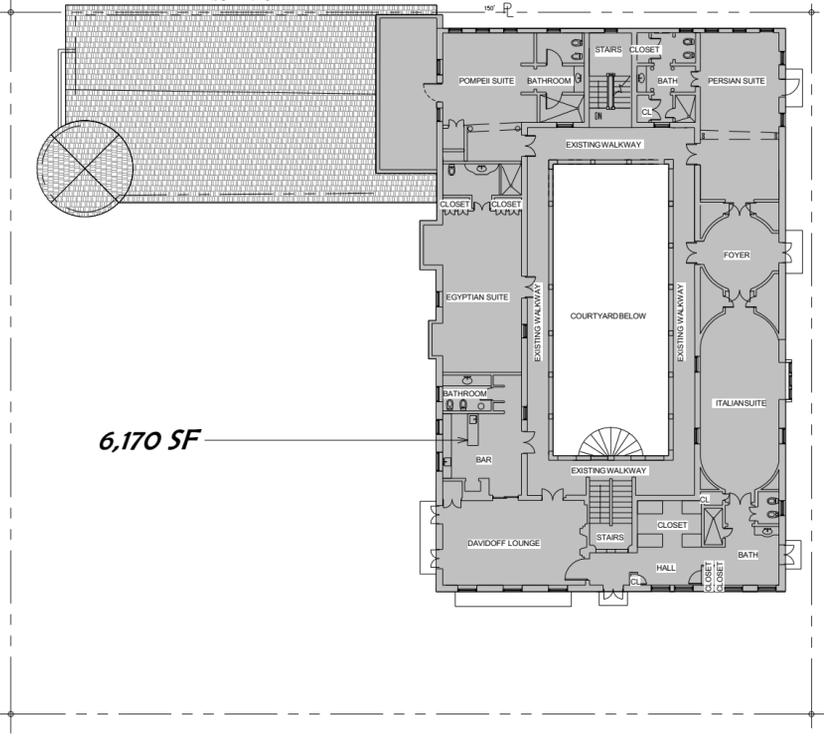
7 PROPOSED ELEVATOR THIRD FLOOR
 AREA PLAN
 1/8" = 1'-0"



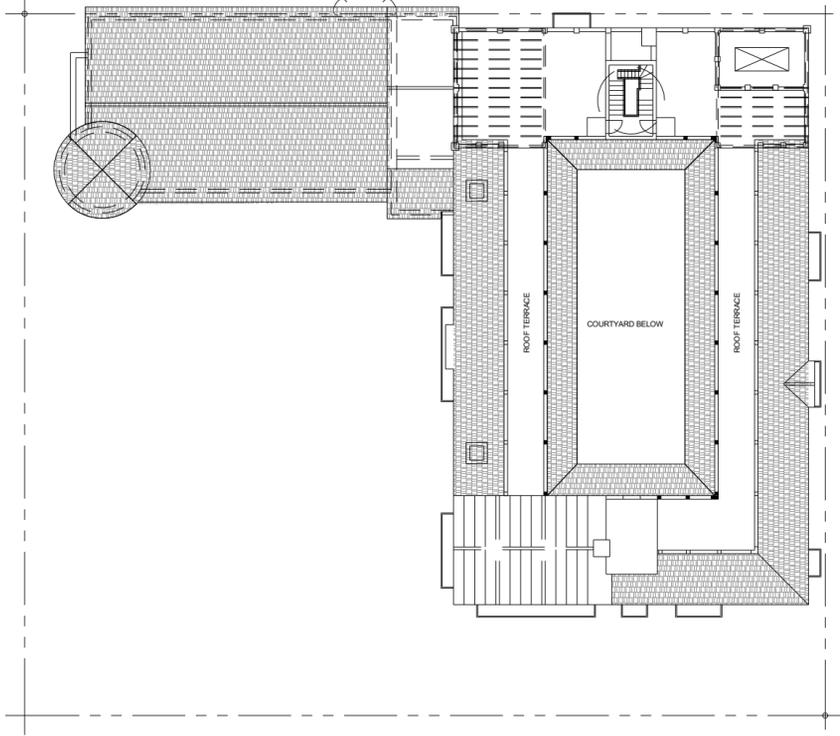
5 EXISTING BASEMENT FLOOR PLAN
 1/16" = 1'-0"



2 EXISTING SECOND FLOOR PLAN
 1/16" = 1'-0"



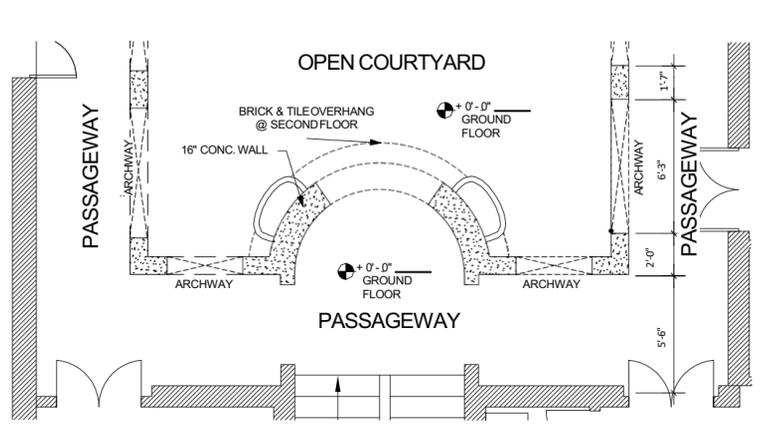
3 EXISTING THIRD FLOOR PLAN
 1/16" = 1'-0"



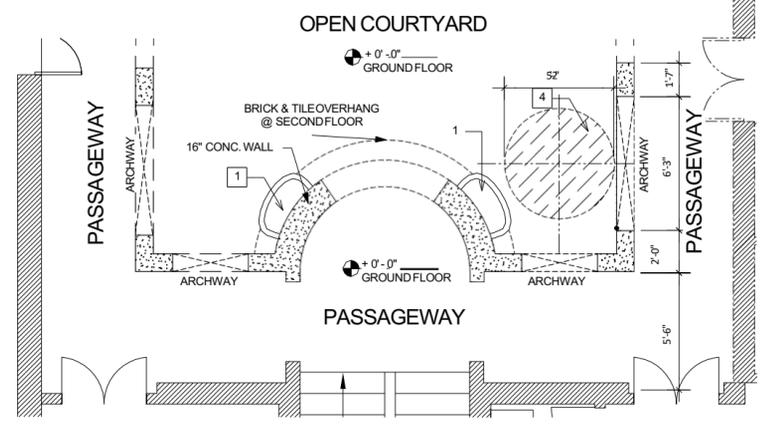
4 EXISTING ROOF & TERRACE PLAN
 1/16" = 1'-0"

REVISIONS

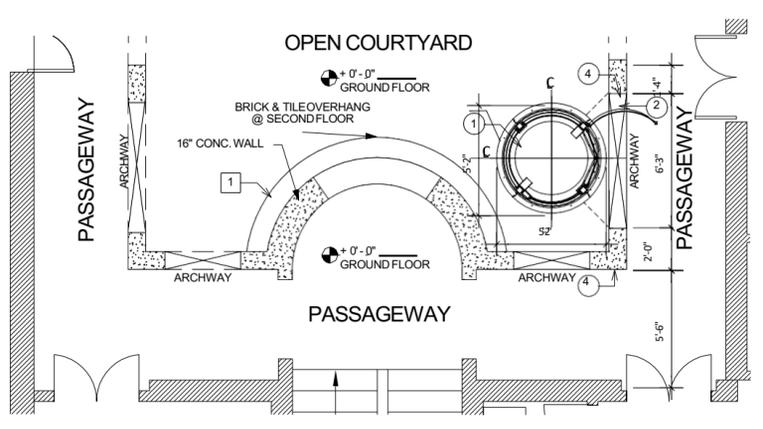
2	CITY COMMENTS	03/21/21
3	CITY COMMENTS	03/21/21



4 EXISTING GROUND FP
 1/4" = 1'-0"

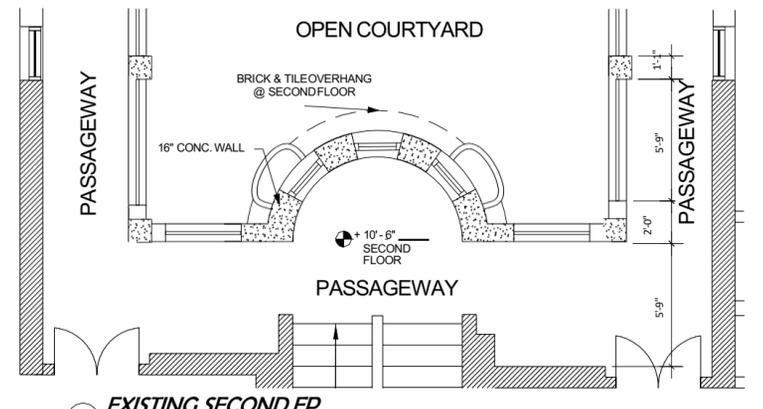


5 DEMOLITION GROUND FP
 1/4" = 1'-0"

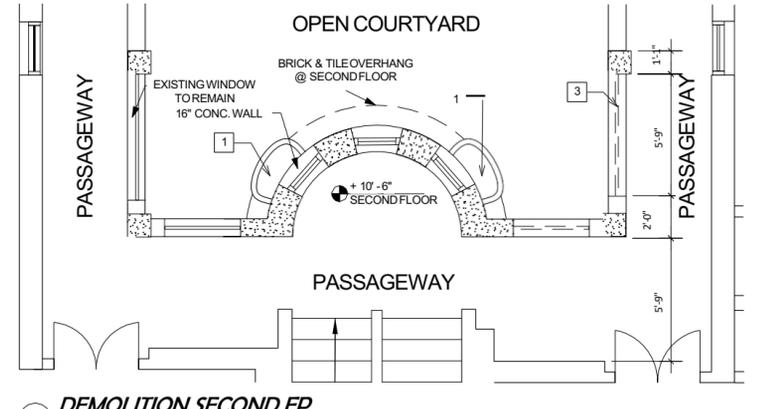


9 PROPOSED GROUND FP
 1/4" = 1'-0"

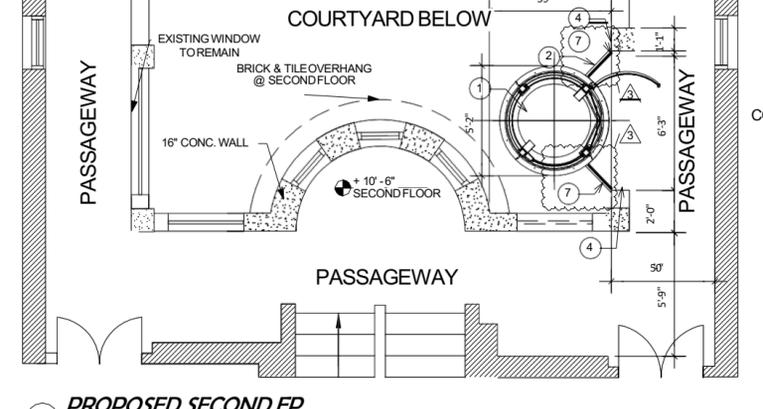
- DEMOLITION NOTES**
- 01 Remove existing planter
 - 02 Remove existing parapet, balustrade and curb, patch floor finish to match existing
 - 03 Demolish slab to receive elevator foundation, patch wall and floor finish to match existing
 - 04 Existing sconces, decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 05 Do not remove any structural members without written approval of structural engineer, provide temporary shoring where required and prepare areas for newwork.
 - 06 Electrical systems/panels, conduits & wiring to remain in same location.
 - 07 Notify arch. of all active MEP that can not be removed & capped.



2 EXISTING SECOND FP
 1/4" = 1'-0"

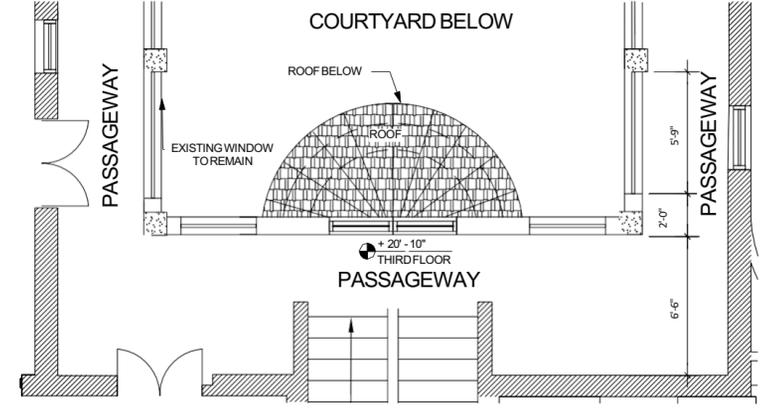


6 DEMOLITION SECOND FP
 1/4" = 1'-0"

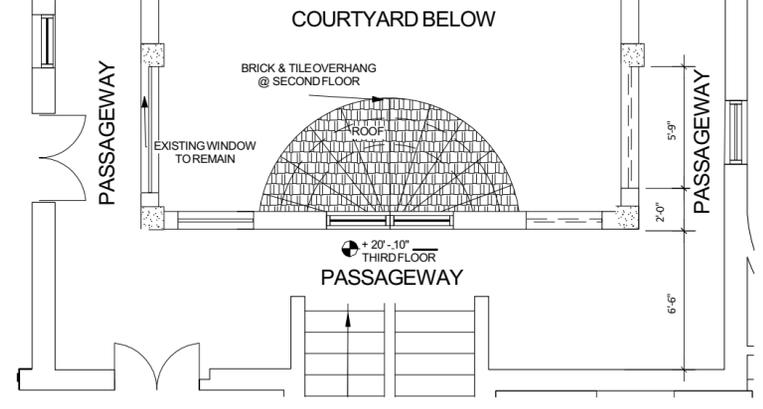


10 PROPOSED SECOND FP
 1/4" = 1'-0"

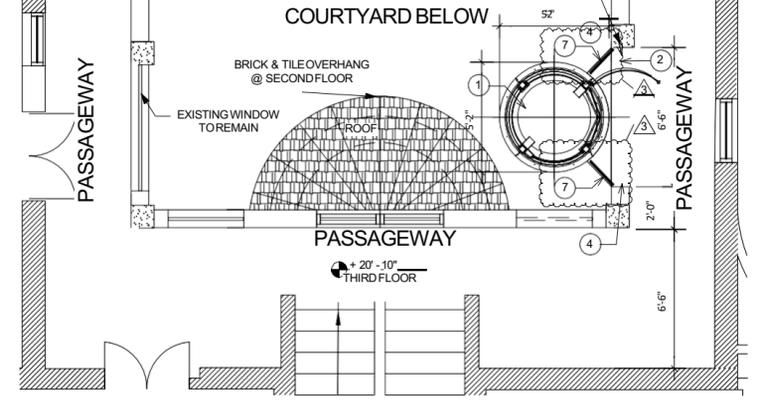
- CONSTRUCTION NOTES**
- 01 New Elevator (on its own foundation)
 - 02 New Slab to connect elevator to existing slab
 - 03 Patch floor finish to match existing
 - 04 Existing decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 05 Patch holes in floor slab with concrete leaving a smooth, level floor.
 - 06 Patch and repair ceiling systems affected on work areas.
 - 07 New glass railing with base aluminum rail



3 EXISTING THIRD FP
 1/4" = 1'-0"



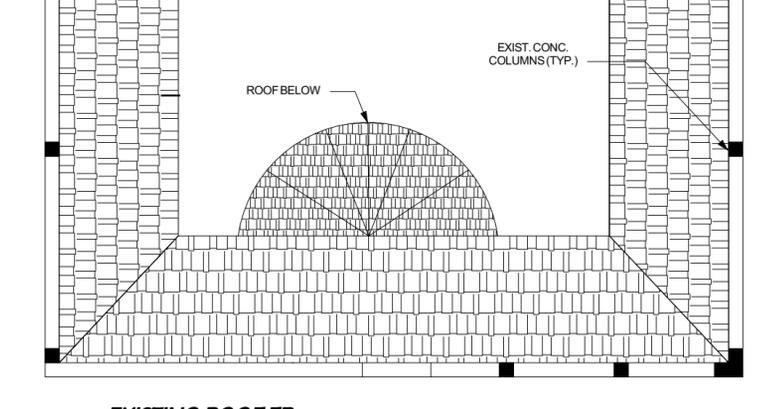
7 DEMOLITION THIRD FP
 1/4" = 1'-0"



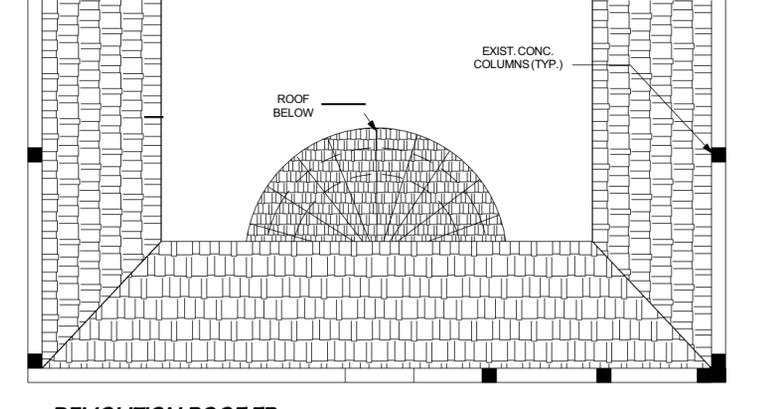
11 PROPOSED THIRD FP
 1/4" = 1'-0"

FLOOR PLAN LEGEND

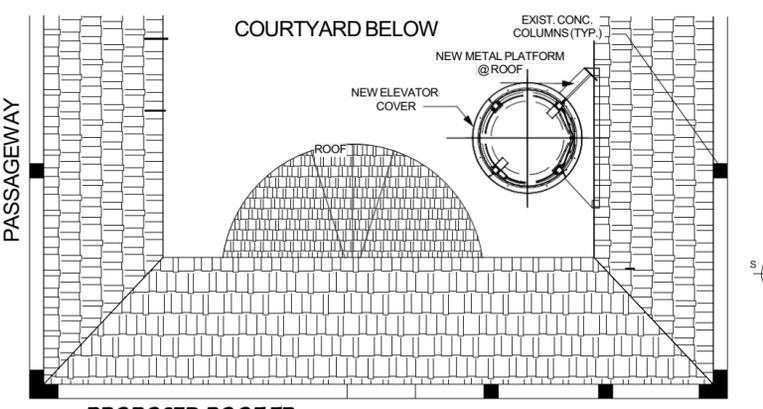
[Pattern]	EXISTING 8" CMU WALL
[Pattern]	EXISTING CONCRETE WALL
[Pattern]	EXISTING INTERIOR WALL
[Pattern]	EXISTING INTERIOR LOW WALL
[Pattern]	DEMOLITION CONCRETE WALL
[Pattern]	DEMO CONCRETE LOW WALL TO BE REMOVED
[Symbol]	ARCHWAY
[Pattern]	NEW 8" CONCRETE CMU WALL
[Pattern]	NEW 8" CONCRETE LOW WALL
[Symbol]	EXISTING CONCRETE COLUMN
[Symbol]	EXISTING WOOD COLUMN
[Symbol]	PROPOSED CONCRETE COLUMN
[Symbol]	PROPOSED METAL COLUMN
[Symbol]	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
[Symbol]	DEMOLITION TAG
[Symbol]	CONSTRUCTION TAG



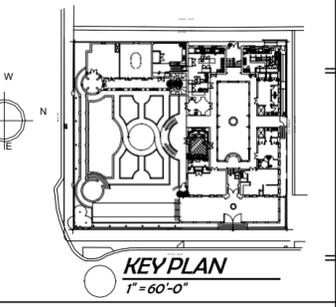
1 EXISTING ROOF FP
 1/4" = 1'-0"



8 DEMOLITION ROOF FP
 1/4" = 1'-0"



12 PROPOSED ROOF FP
 1/4" = 1'-0"



KEY PLAN
 1" = 60'-0"

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
- BID SET
- CONSTRUCTION SET

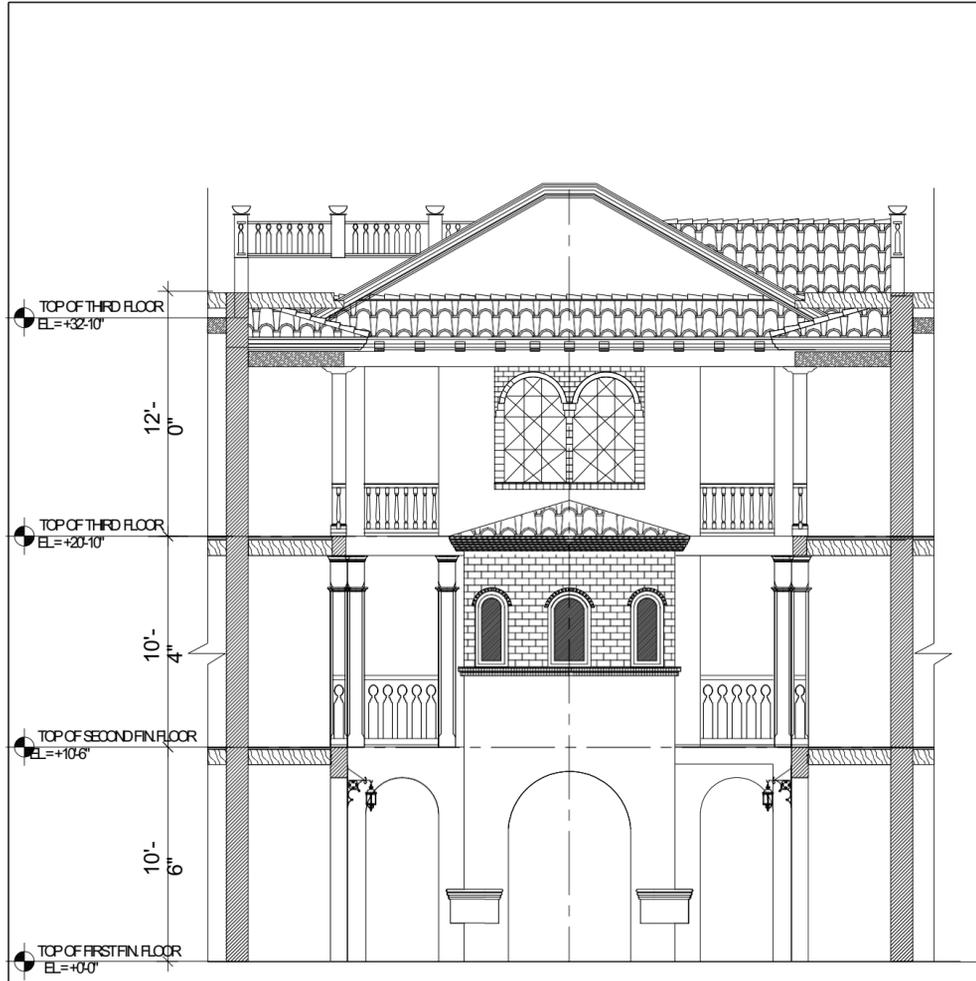
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 Author
 CHECKED BY:
 ARISKLAR

PROPOSED
 ELEVATOR FLOOR
 PLANS

A2.0

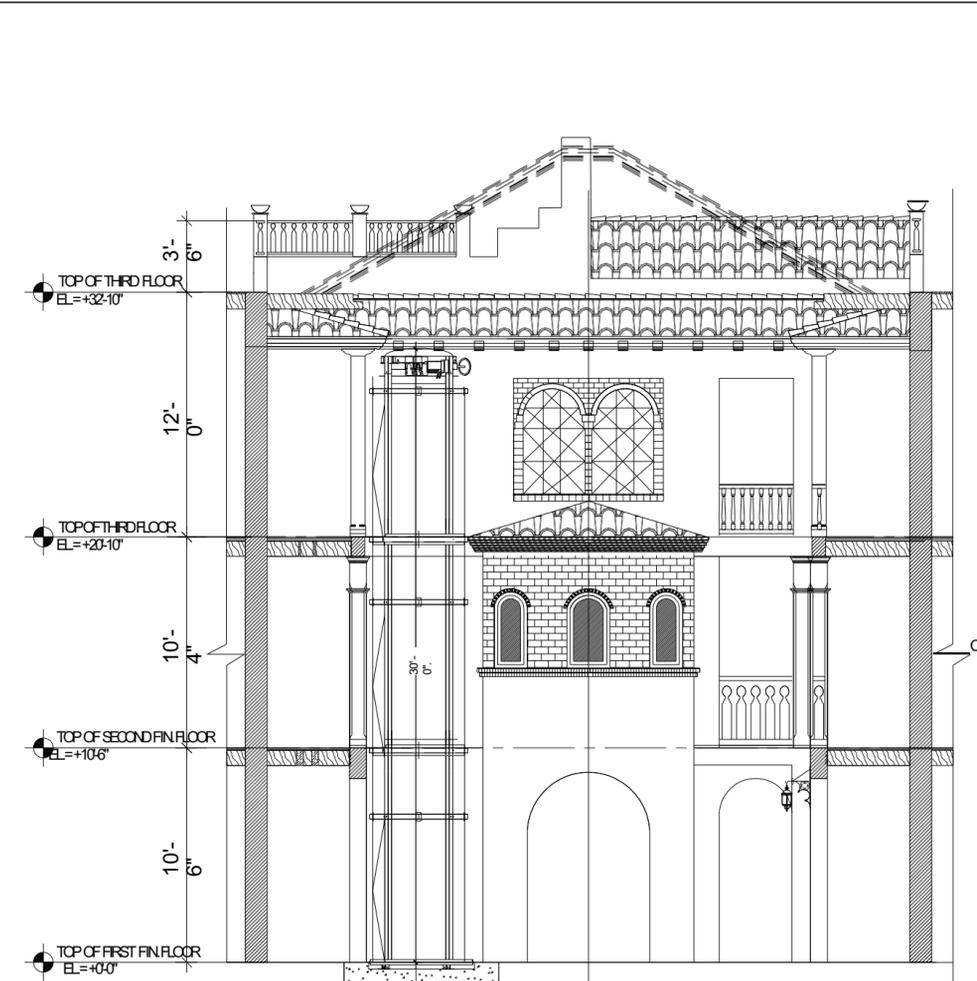
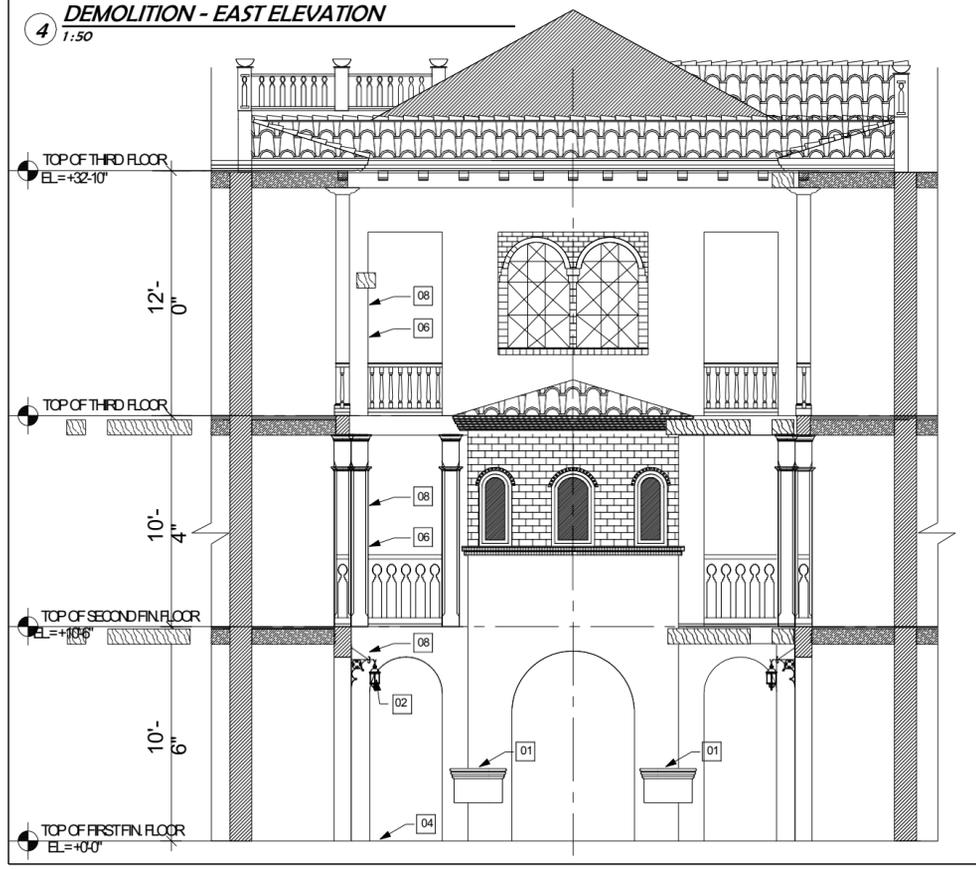
PROJECT #: Project #20-003

DATE: 05-18-2020



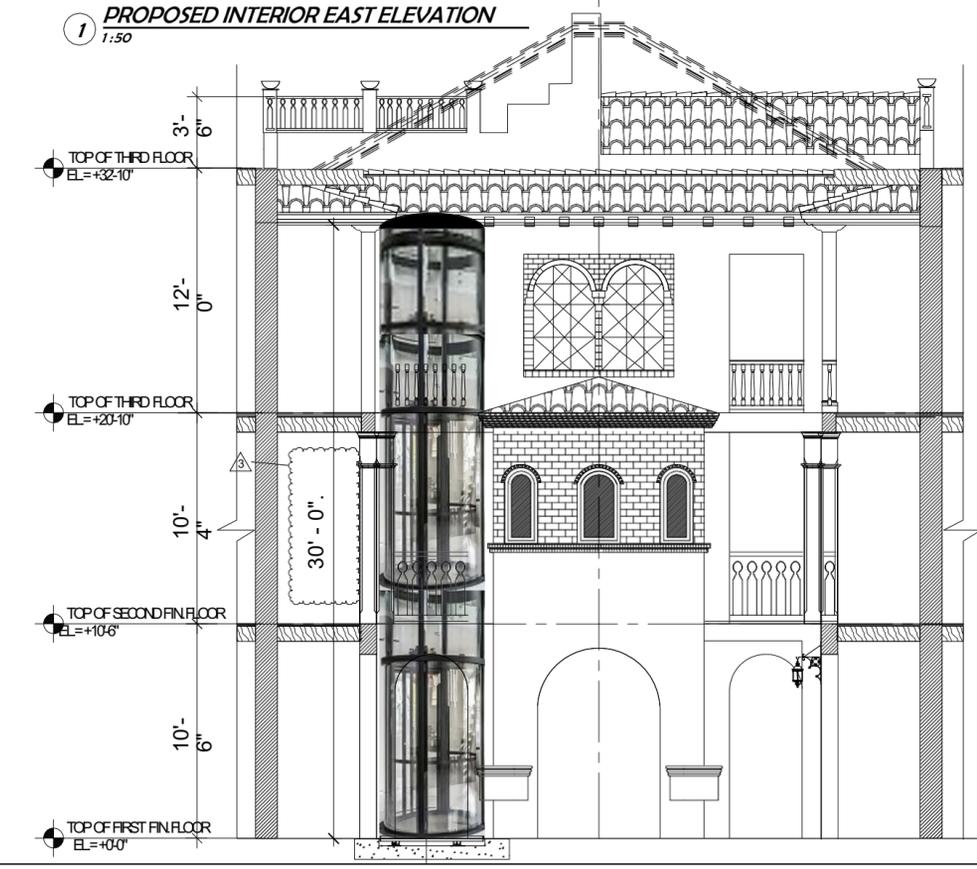
2 EXISTING EAST ELEVATION
 1:50

4 DEMOLITION - EAST ELEVATION
 1:50



3 PROPOSED ELEVATOR SECTION SEE ENLARGED ON SHEET A.6.0
 1:50

1 PROPOSED INTERIOR EAST ELEVATION
 1:50

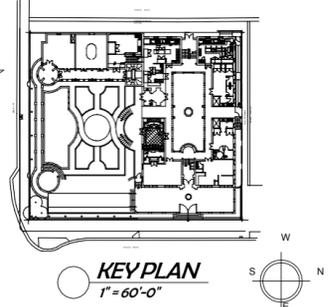


- DEMOLITION NOTES**
- 01 Remove existing planter
 - 02 Remove existing parapet, balustrade and curb, patch floor finish to match existing
 - 03 Demolish slab to receive elevator foundation, patch wall and floor finish to match existing
 - 04 Existing sconces, decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 05 Do not remove any structural members without written approval of structural engineer, provide temporary shoring where required and prepare areas for new work.
 - 06 Electrical systems/panels, conduits & wiring to remain in same location.
 - 07 Notify arch. of all active MEP that can not be removed & capped.

- CONSTRUCTION NOTES**
- 1 New Elevator (on its own foundation)
 - 2 New Slab to connect elevator to existing slab
 - 3 Patch floor finish to match existing
 - 04 Existing decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 5 Patch holes in floor slab with concrete leaving a smooth, level floor.
 - 6 Patch and repair ceiling systems affected on work areas.
 - 7 New glass railing with base aluminum rail

FLOOR PLAN LEGEND

	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL
	TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	DEMOLITION TAG
	CONSTRUCTION TAG



REVISIONS

2	CITY COMMENTS	03/21/21
3	CITY COMMENTS	03/21/21

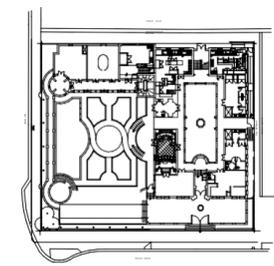
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 - 06 Electrical systems/panels, conduits & wiring to remain in same location.
 - 07 Notify arch. of all active MEP that can not be removed & capped.
- DEMOLITION KEY NOTES**
 1" = 1'-0"

- CONSTRUCTION NOTES**
- 1 New Elevator (on its own foundation)
 - 2 New Slab to connect elevator to existing slab
 - 3 Patch floor finish to match existing
 - 4 Existing decorative elements, moldings, trims to remain, protect from damage during demolition and new construction. Clean, patch and repair if necessary to match existing surrounding similar elements.
 - 5 Patch holes in floor slab with concrete leaving a smooth, level floor.
 - 6 Patch and repair ceiling systems affected on work areas.
- CONSTRUCTION KEY NOTES**
 1" = 1'-0"

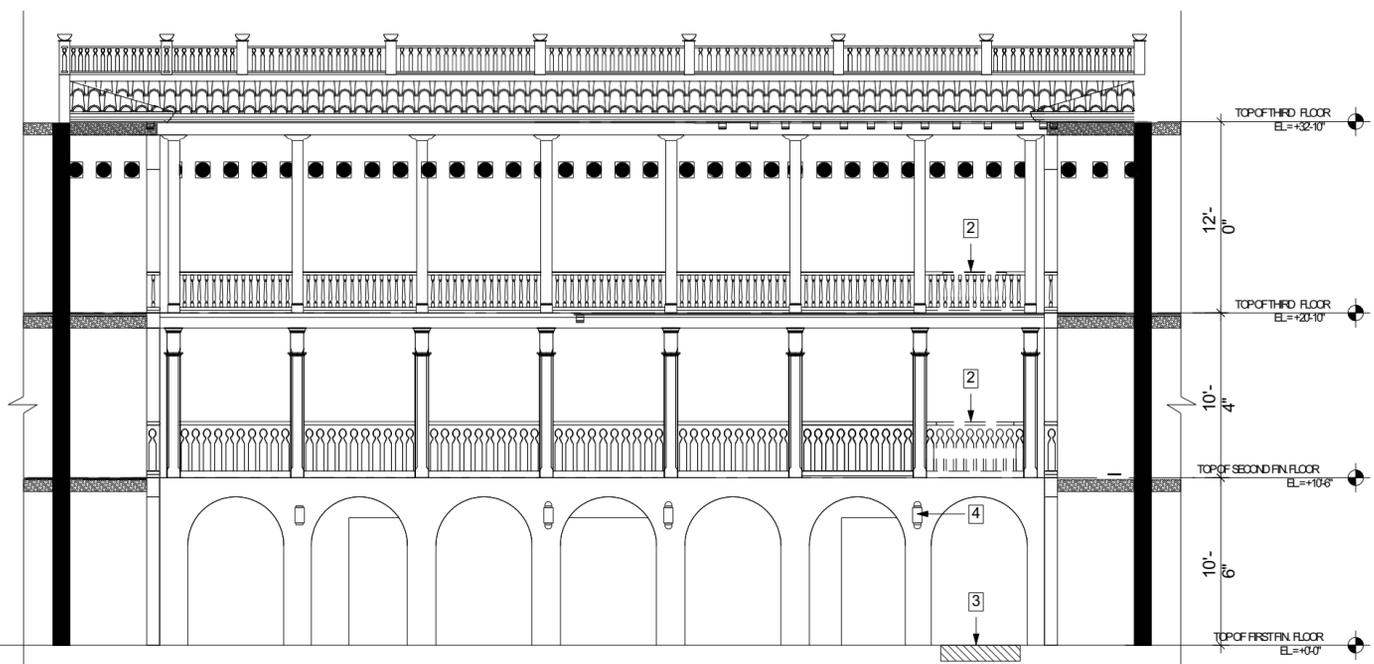
FLOOR PLAN LEGEND

	EXISTING 8" CMU WALL
	EXISTING CONCRETE WALL
	EXISTING INTERIOR WALL
	EXISTING INTERIOR LOW WALL
	DEMOLITION CONCRETE WALL
	DEMO CONCRETE LOW WALL
	TO BE REMOVED
	ARCHWAY
	NEW 8" CONCRETE CMU WALL
	NEW 8" CONCRETE LOW WALL
	EXISTING CONCRETE COLUMN
	EXISTING WOOD COLUMN
	PROPOSED CONCRETE COLUMN
	PROPOSED METAL COLUMN
	NEW METAL SLAB TO CONNECT ELEVATOR TO EXISTING SLABS
	DEMOLITION TAG
	CONSTRUCTION TAG

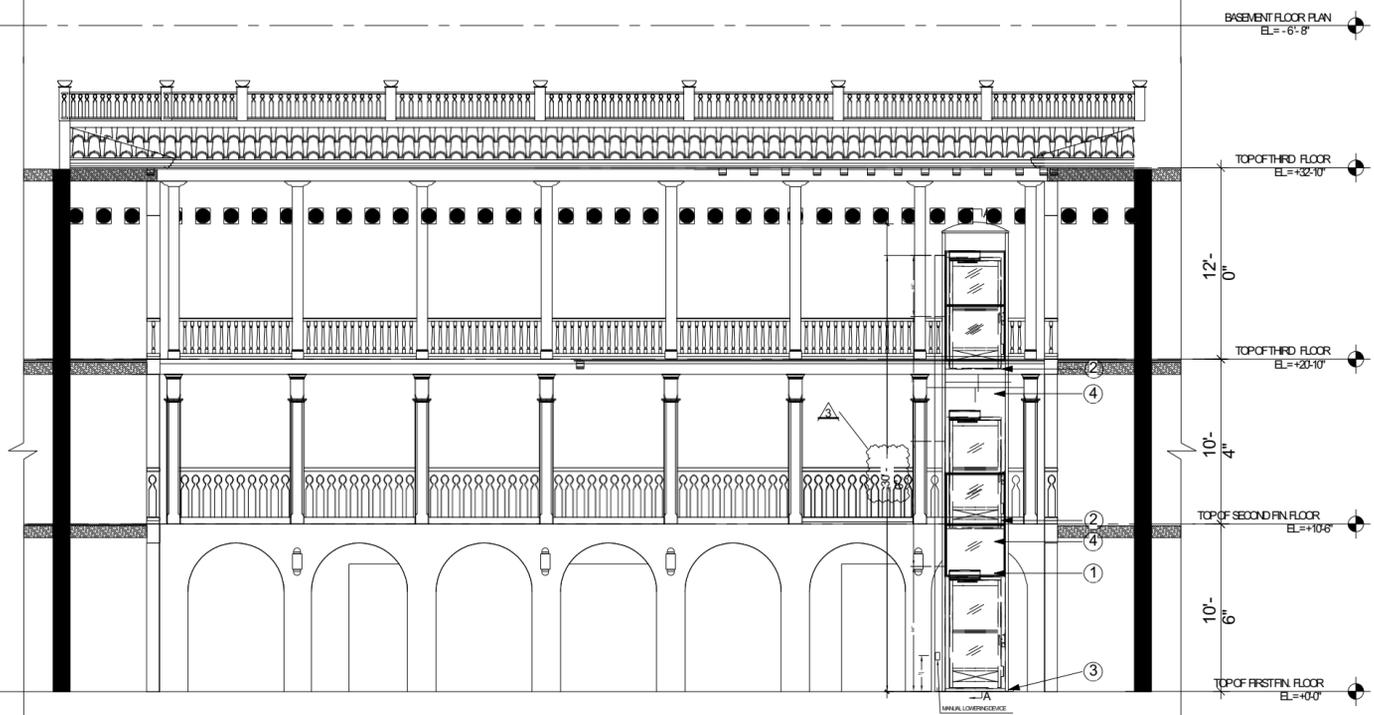
FLOOR PLAN LEGEND
 1" = 1'-0"



KEY PLAN
 1" = 60'-0"



EXISTING-DEMO NORTH INTERIOR ELEVATION



PROPOSED NORTH INTERIOR ELEVATION

INTERIOR NORTH ELEVATION
 EXISTING/DEMO AND PROPOSED
 3/16" = 1'-0"

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 1116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

- REVIEW SET
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- PERMIT SET
- BID SET
- CONSTRUCTION SET

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 Author
 CHECKED BY:
 ARISKLAR

**EXISTING & PROPOSED
 NORTH INTERIOR
 ELEVATION**

A3.1

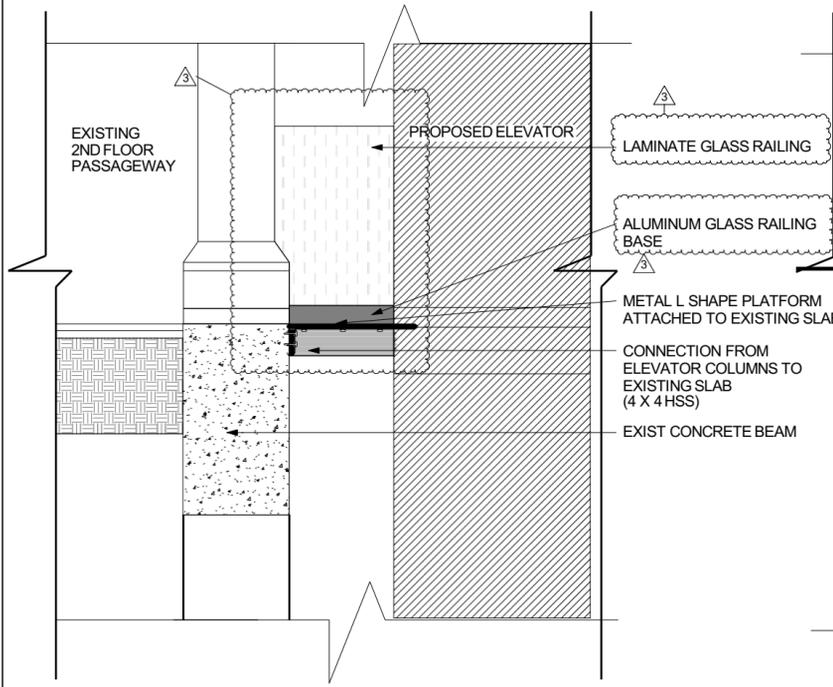
PROJECT #: Project #20-003

DATE: 05-18-2020

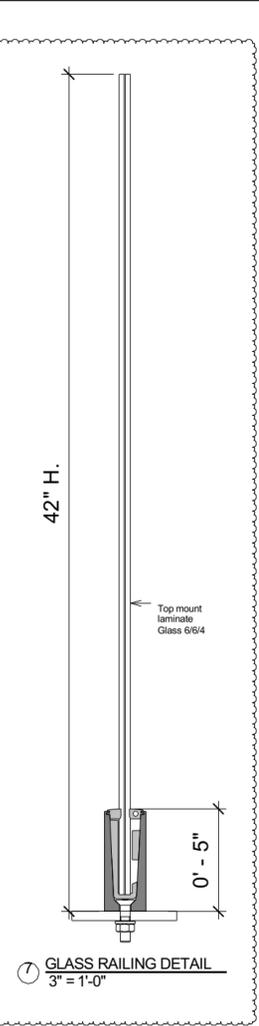
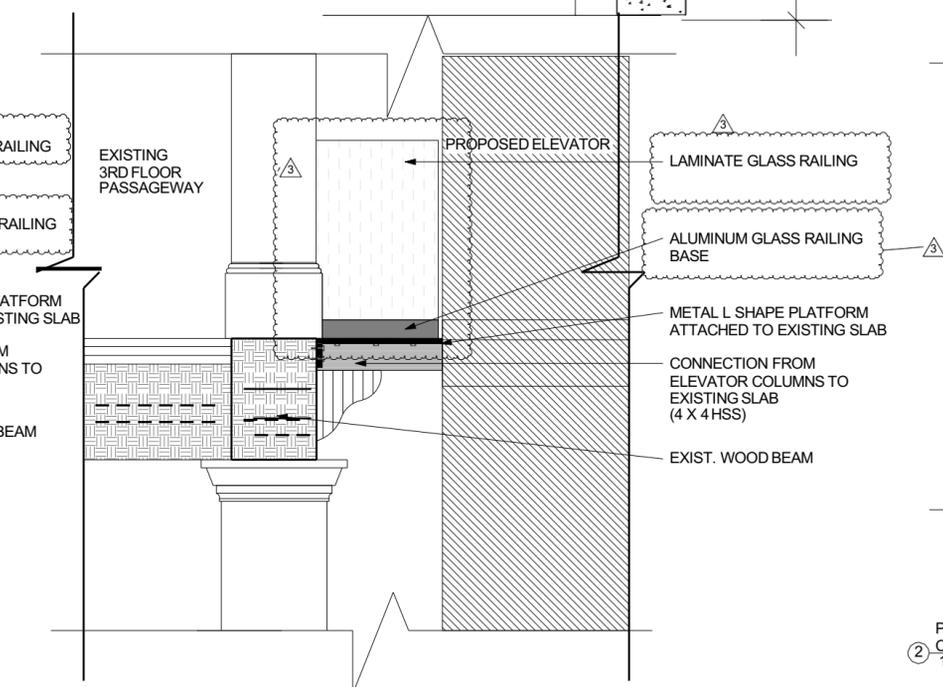


1 ACTUAL CONDITION COURTYARD
1:25

3 PROPOSED ELEVATOR SECTION CONNECTION @2ND FLOOR
1 1/2" = 1'-0"

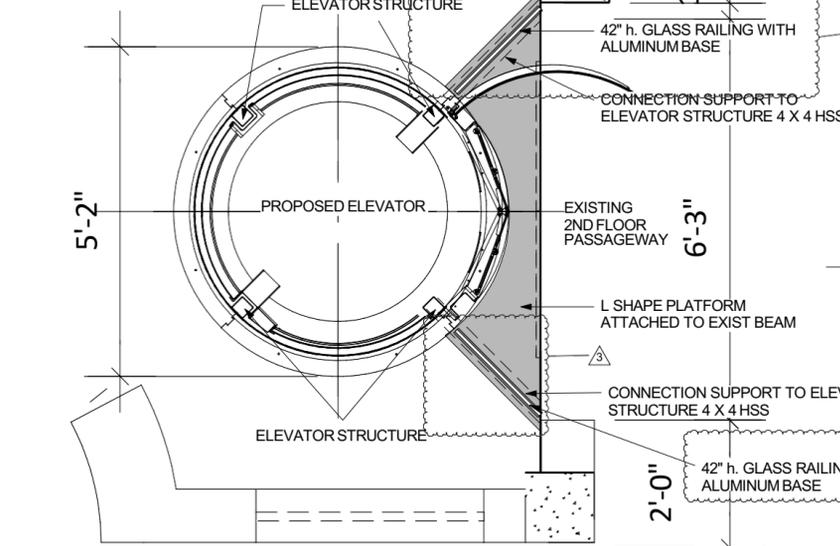


4 PROPOSED ELEVATOR SECTION CONNECTION @3RD FLOOR
1 1/2" = 1'-0"

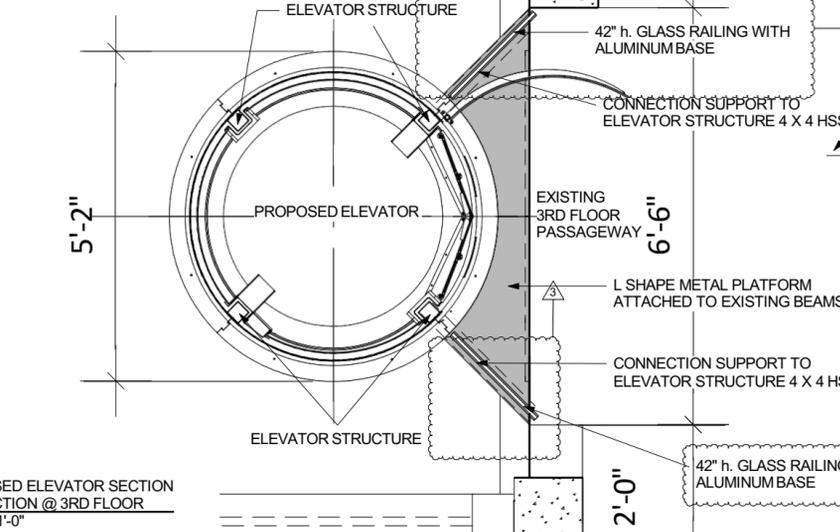


7 GLASS RAILING DETAIL
3" = 1'-0"

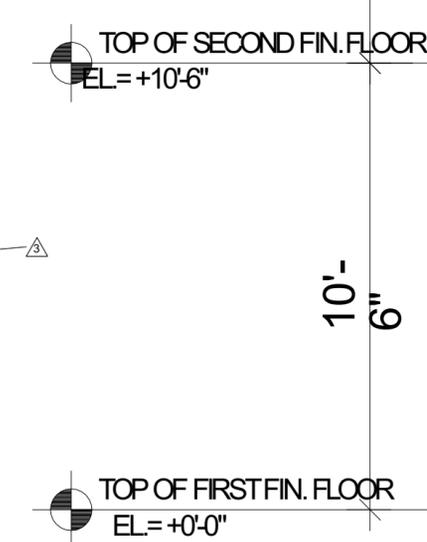
5 PROPOSED ELEVATOR CONNECTION @2ND FLOOR
3/4" = 1'-0"



6 PROPOSED ELEVATOR CONNECTION @3RD FLOOR
3/4" = 1'-0"



2 PROPOSED ELEVATOR SECTION CONNECTION
1/2" = 1'-0"



NOTES:
1.- STRUCTURAL DETAILED PLANS WILL BE SUBMITTED WITH PERMIT
2.- ALL METAL STRUCTURE CONNECTIONS WILL BE COVERED WITH WOOD FINISHES

REVISIONS

2	CITY COMMENTS	03/26/21
3	CITY COMMENTS	03/26/21

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

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- CONSTRUCTION SET

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Author
CHECKED BY:
ARISKLAR

ELEVATOR CONNECTION CONCEPT

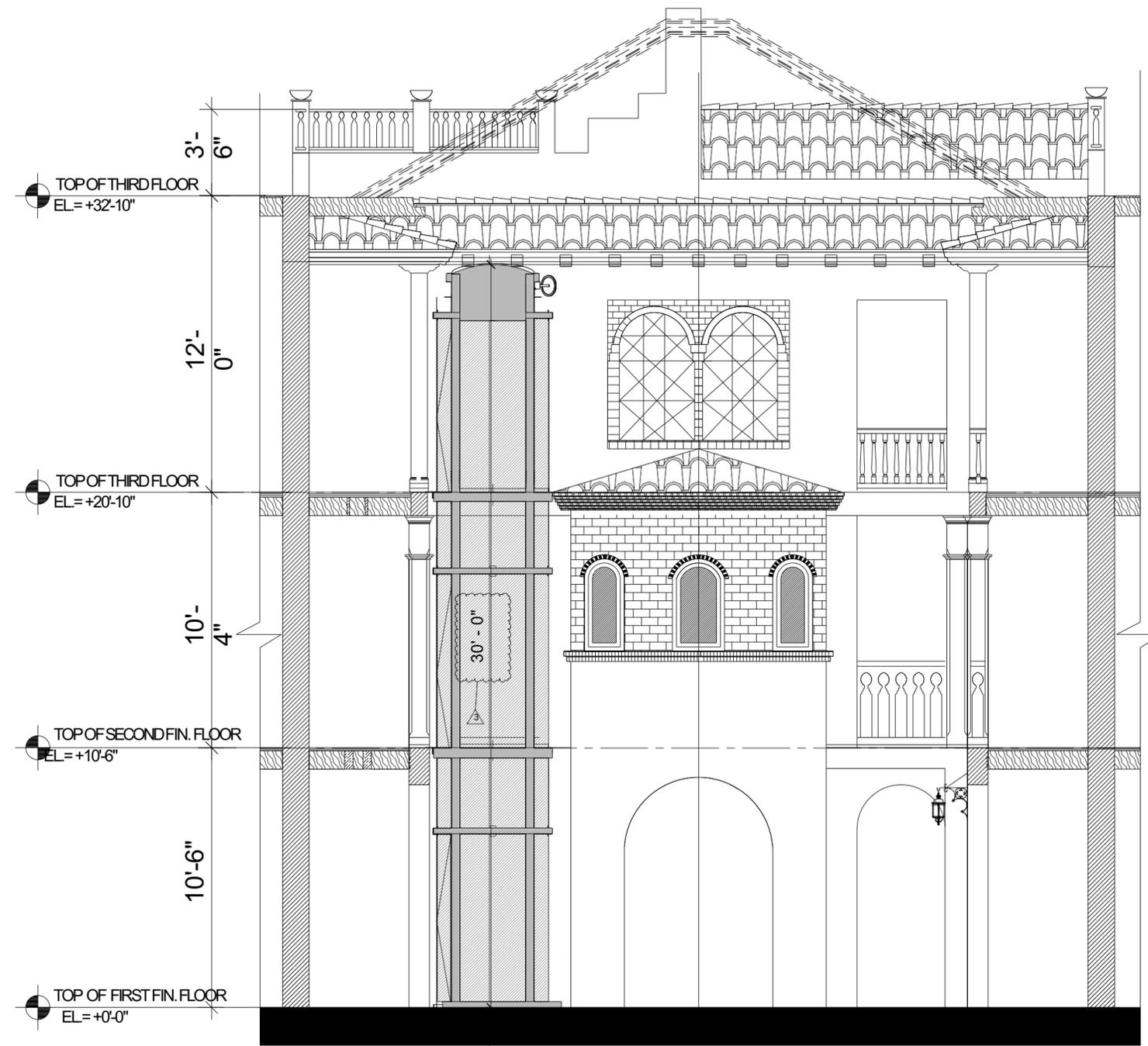
A4.1

PROJECT #: Project #20-003

DATE: 05-18-2020

REVISIONS

NO.	DATE	DESCRIPTION
1	05/18/20	CITY COMMENTS



1 PROPOSED INTERIOR EAST ELEVATION ENLARGED
 3/8" = 1'-0"

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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ENLARGED
 PROPOSED INTERIOR
 EAST ELEVATION

A4.2

PROJECT #: Project #20-003

DATE: 05-18-2020



SKLARchitecture
 2310 HOLLYWOOD BLVD.
 HOLLYWOOD, FL 33020
 TEL - (954) 925-9292
 FAX - (954) 925-6292
 www.SKLARchitect.com
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 IB 0000894
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SEAL
 ARI L. SKLAR
 LICENSE #A14173

REVISIONS

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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**PROPOSED
 INTERIOR RENDER**

A5.0

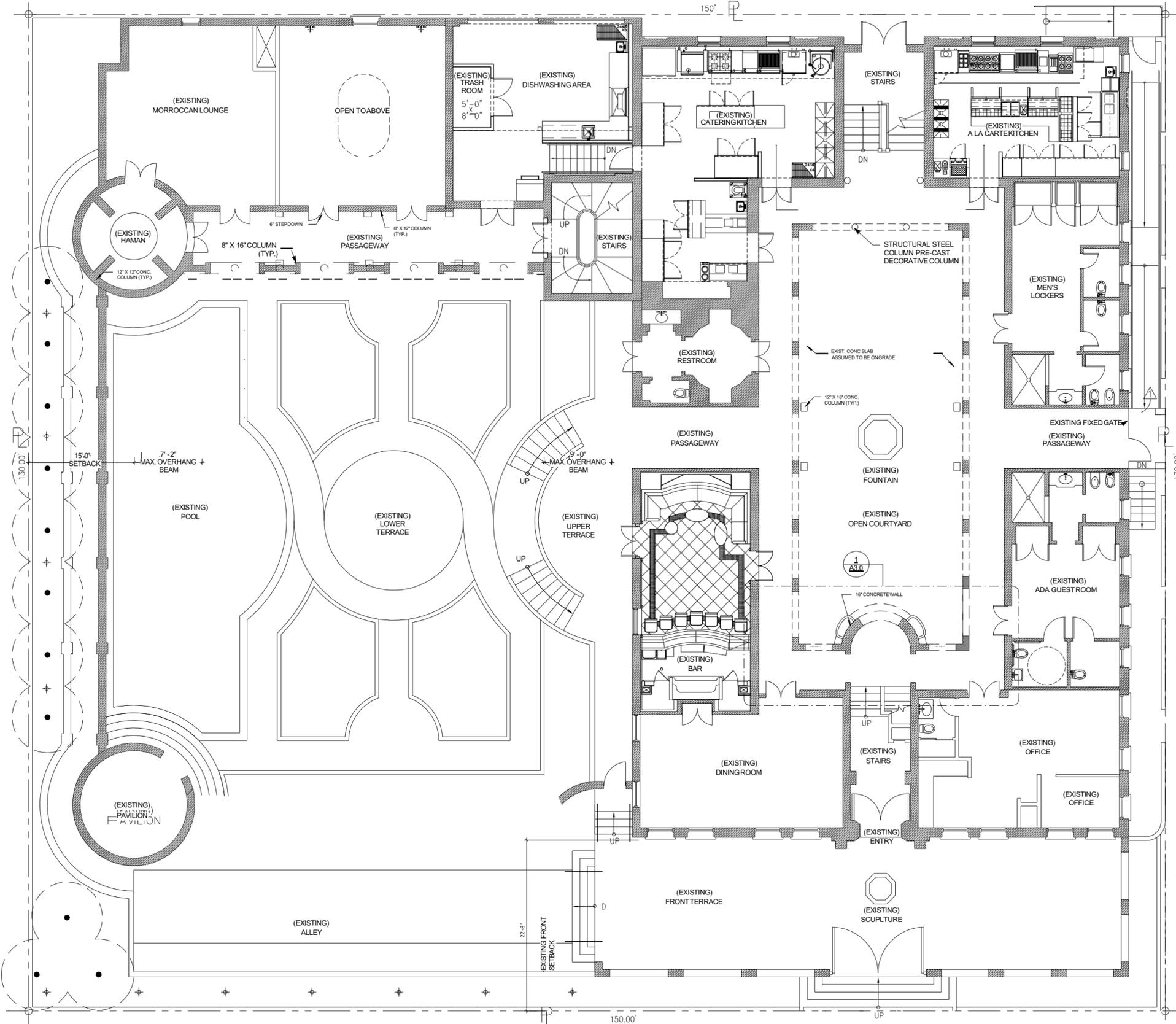
PROJECT #: Project #20-003

DATE: 05-18-2020

20' PUBLIC ALLEY

11TH STREET

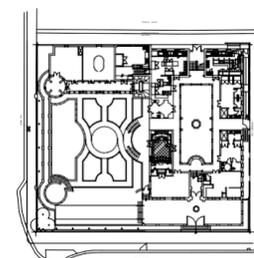
OCEAN DRIVE



1 EXISTING GROUND FLOOR PLAN
1:83



HALLWAY ENTERING COURTYARD



KEY PLAN
1" = 60'-0"

SKLARchitecture
2310 HOLLYWOOD BLVD.
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FAX - (954) 925-6192
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REVISIONS

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EXISTING GROUND
FLOOR PLAN

A6.0

PROJECT #: Project #20-003

DATE: 05-18-2020

REVISIONS

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
1116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

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- CONSTRUCTION SET

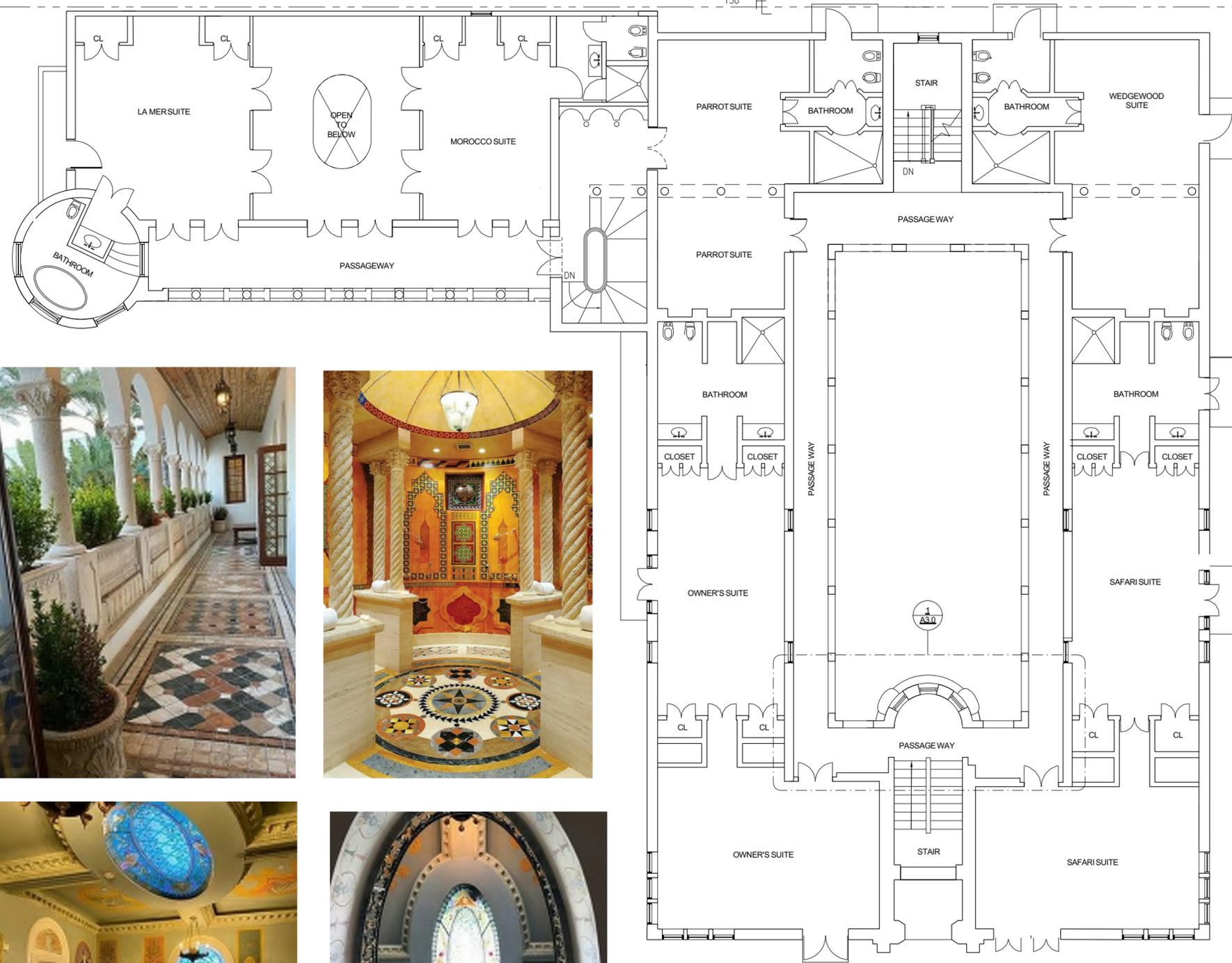
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Author
CHECKED BY:
ARISKLAR

EXISTING SECOND
FLOOR PLAN

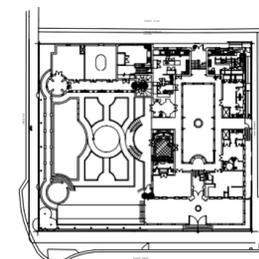
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PROJECT #: Project #20-003

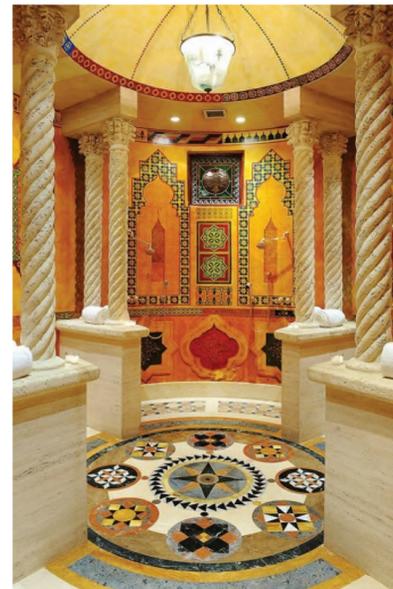
DATE: 05-18-2020



1 EXISTING SECOND FLOOR PLAN
1:83



KEY PLAN
1"=60'-0"



- REVIEW SET
- COMMISSION SUBMITTAL
- NOT FOR CONSTRUCTION
- DRY RUN PERMIT SET
- PERMIT SET
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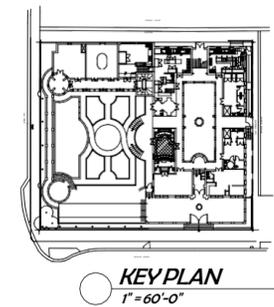
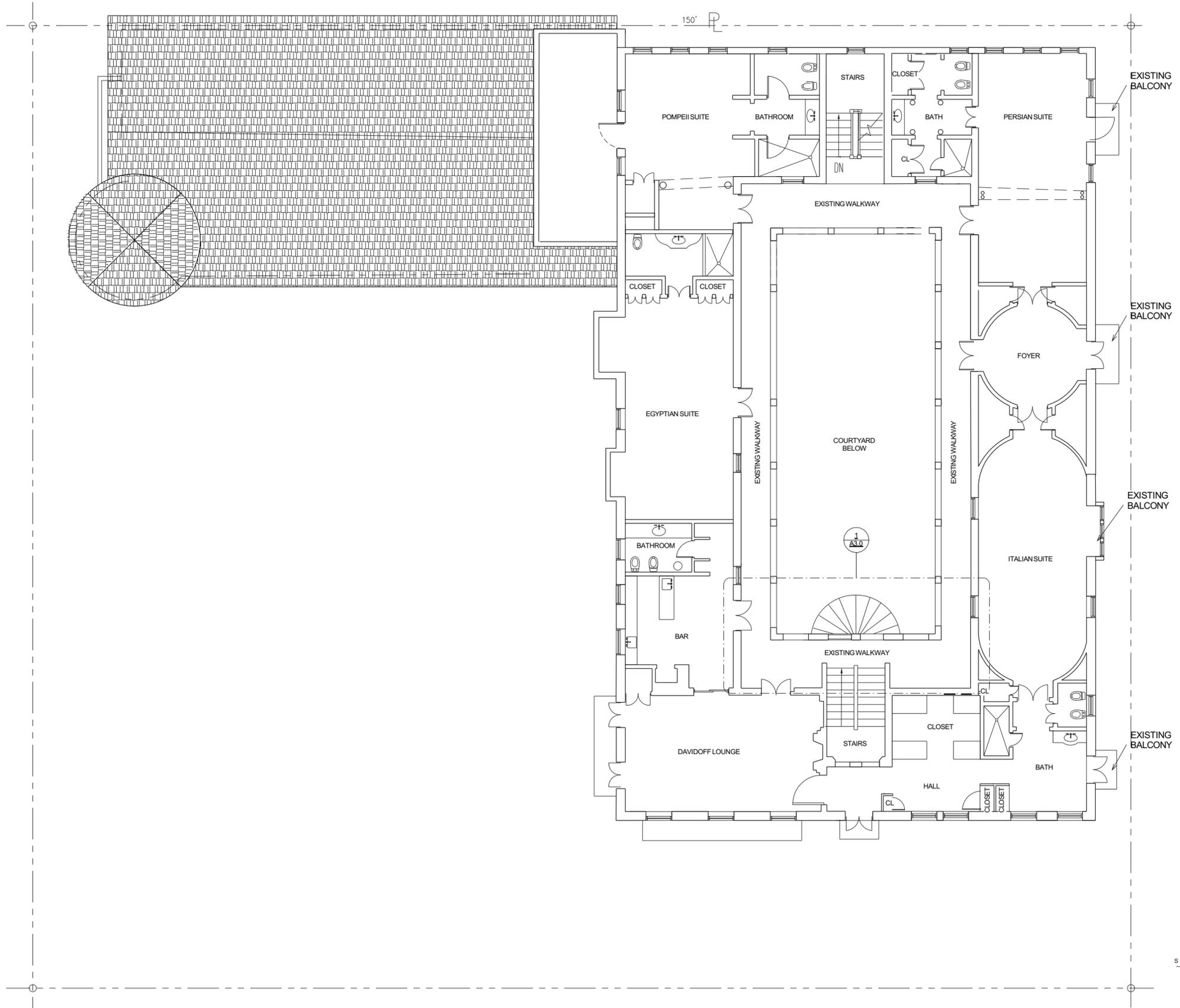
DRAWN BY:
Author
CHECKED BY:
ARISKLAR

**EXISTING THIRD
FLOOR PLAN**

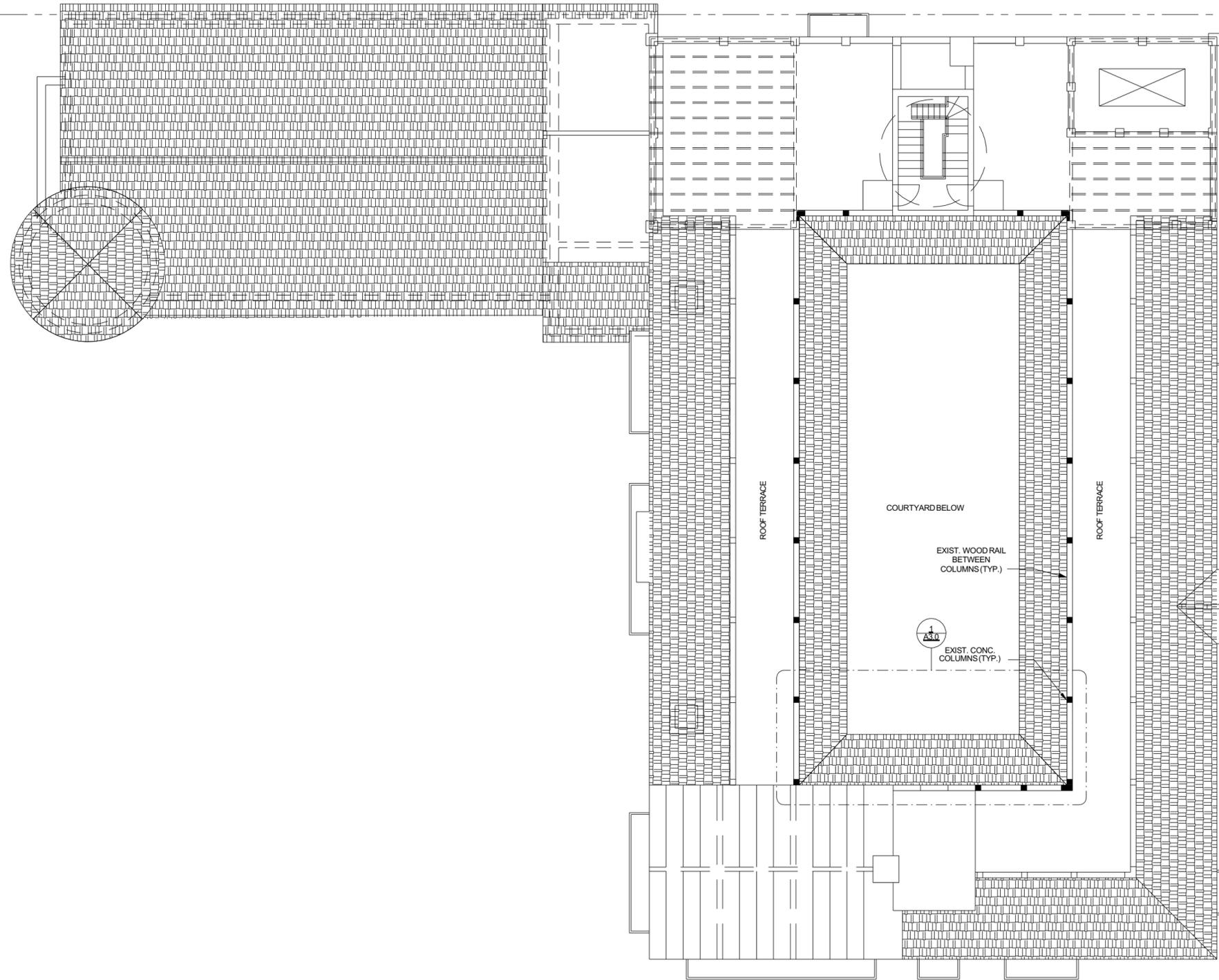
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PROJECT #: Project #20-003

DATE: 05-18-2020



1 EXISTING THIRD FLOOR PLAN
1:83



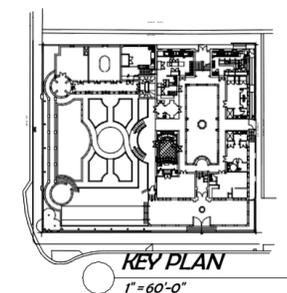
AERIAL VIEW SHOWING ROOFTOP TERRACE



ROOFTOP TERRACE IN RELATION TO COURTYARD BELOW



OUTDOOR SEATING WITH ENTRANCE TO TERRACE TO THE LEFT FROM CENTRAL STAIRS



KEY PLAN

1" = 60'-0"

RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
116 OCEAN DRIVE, MIAMI BEACH
FLORIDA 33139

- REVIEW SET
- COMMISSION SUBMITTAL
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- PERMIT SET
- BID SET
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EXISTING ROOF and
TERRACE PLAN

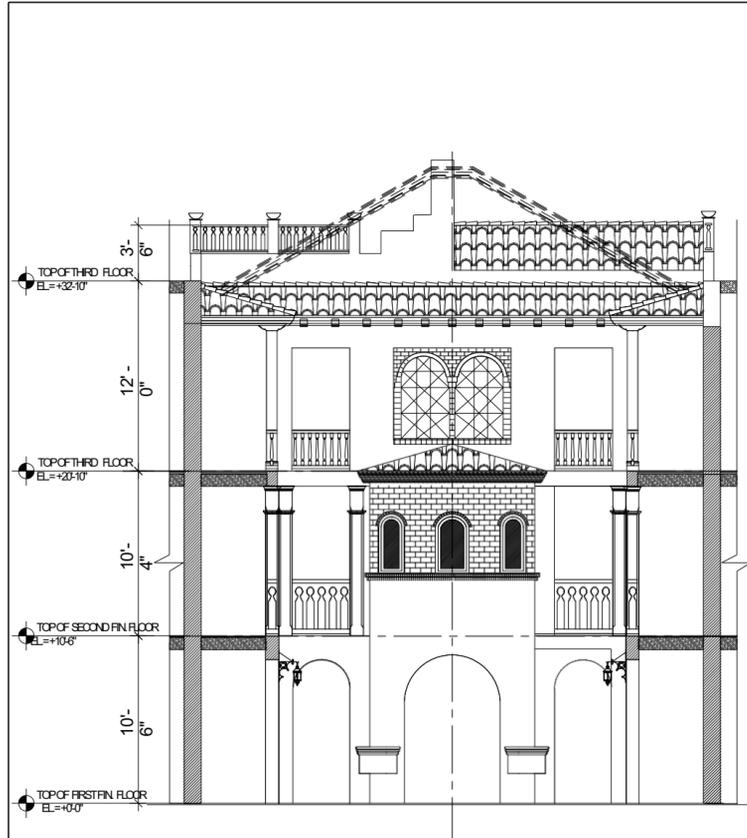
A6.3

PROJECT #: Project #20-003

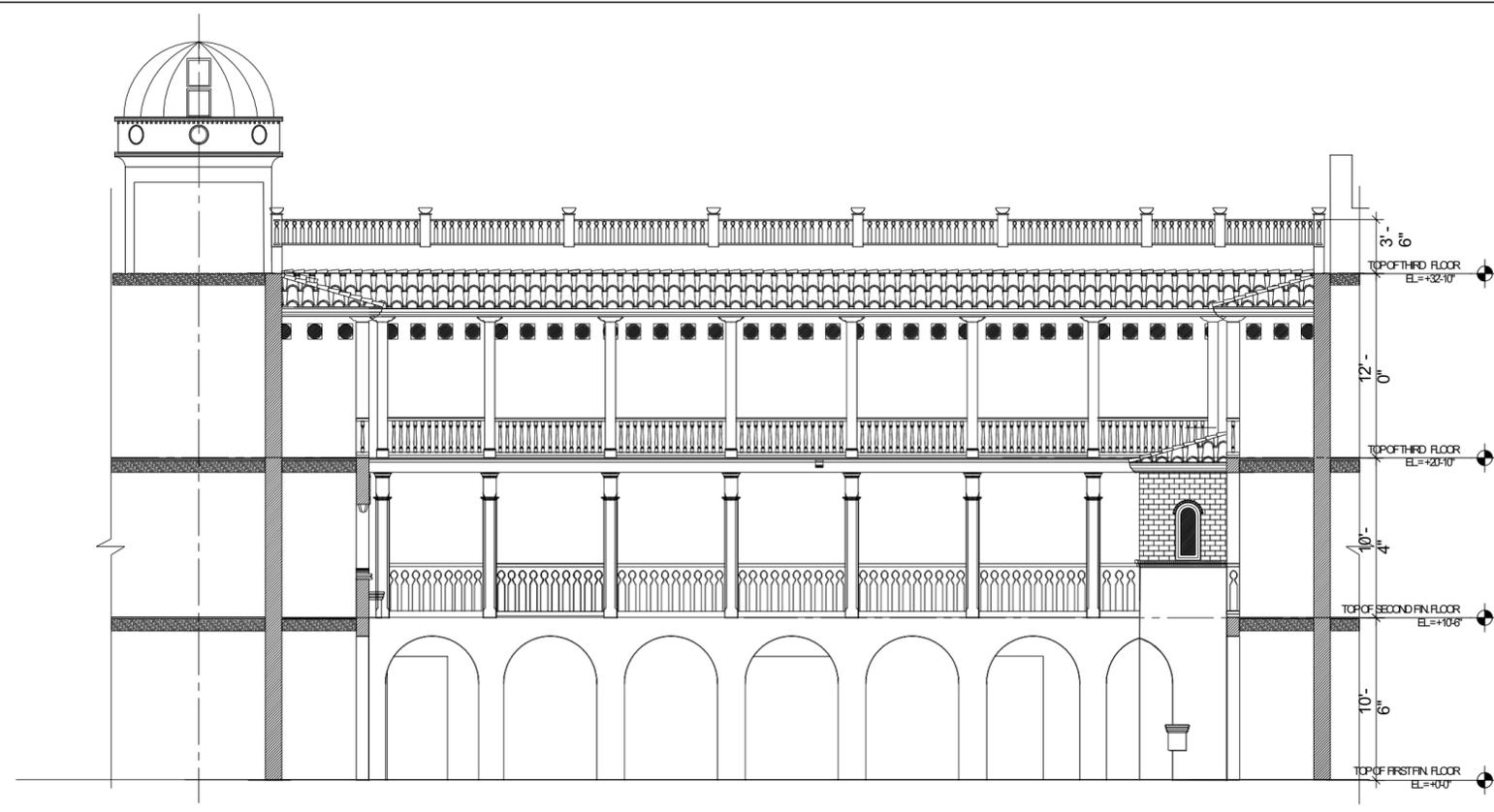
DATE: 05-18-2020

1 EXISTING ROOF & TERRACE PLAN
1:83

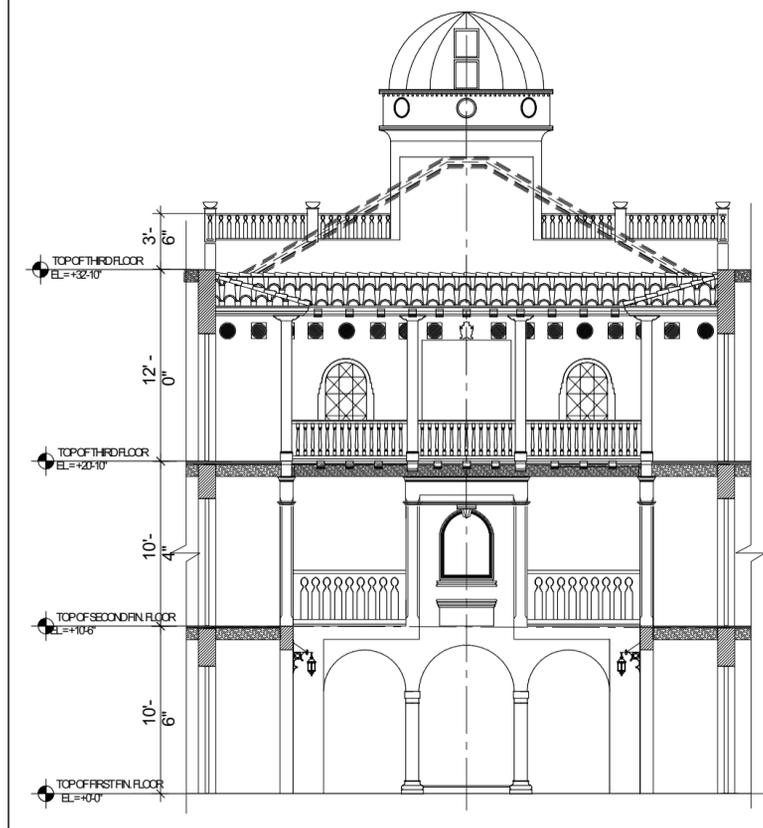
REVISIONS



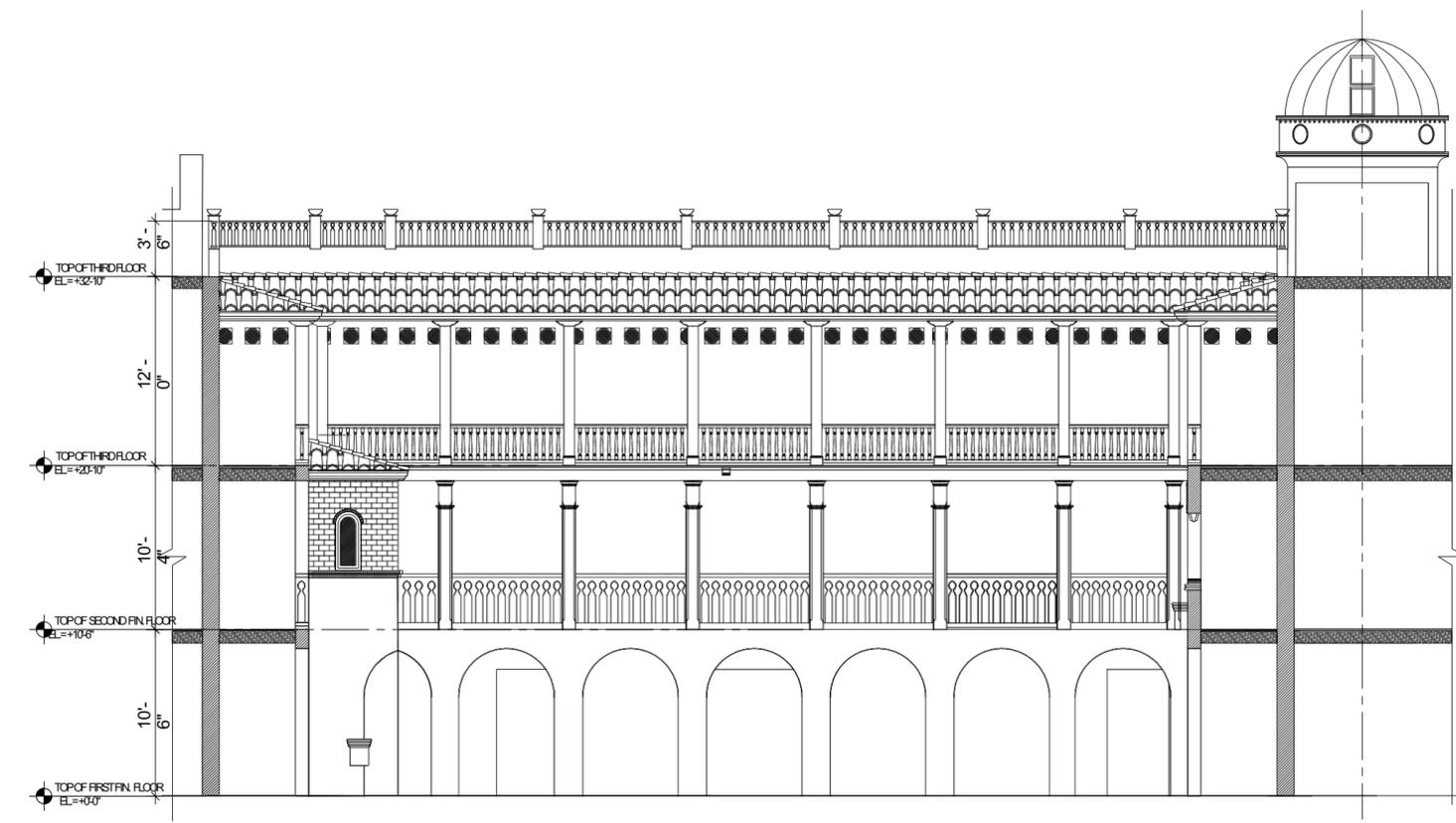
1 **EXISTING INTERIOR ELEVATION EAST - COURTYARD**
 3/16" = 1'-0"



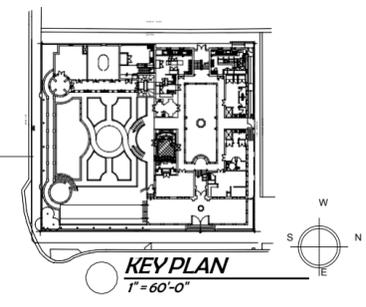
2 **EXISTING INTERIOR ELEVATION NORTH - COURTYARD**
 3/16" = 1'-0"



3 **EXISTING INTERIOR ELEVATION WEST - COURTYARD**
 3/16" = 1'-0"



4 **EXISTING INTERIOR ELEVATION SOUTH - COURTYARD**
 3/16" = 1'-0"



RENOVATION OF AN EXISTING HISTORIC BUILDING
THE VILLA CASA CASUARINA
 116 OCEAN DRIVE, MIAMI BEACH
 FLORIDA 33139

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**EXISTING INTERIOR
 ELEVATIONS -
 COURTYARD**

A6.4

PROJECT #: Project #20-003

DATE: 05-18-2020