

IC SCALE

30°

D

S

# City of Miami Beach

## Last Completed Item Reviews Across All Submittals

**Permit Type:** Building - Commercial

**Work Class:** Alteration (w/o Phased)

**Application Date:** 04/27/2020 **Status:** Issued

**Address:** 235 23 ST

**Permit:** BC2013488

MIAMI BEACH

Print Date & Time: 11/2/2020 10:09:30 AM

BUILDING DEPARTMENT

Reviewed For Compliance

11/02/2020 10:10:17 AM

Item Review Type	Status	Version	Completed Date	Assigned User
Plans Router Final – Review	Pass	1	08/24/2020	Wendy Cabrera
Mechanical Review	Pass	1	06/22/2020	Aida Sardina
Planning Review	Pass	1	07/06/2020	Carlos Markovich
Plans Digitization Process	Back from Ven	1	06/18/2020	Alexander Crespo
Building - DERM Application	Pass	2	10/06/2020	Nisca Cesar
DERM Review	Pass	2	10/06/2020	Gabi Chamoun
Parking CPMP Review	Pass	2	10/27/2020	Samuel Cecere
Fire Building Review	Pass	3	10/26/2020	Raul Cardoso
Electrical Review	Pass	3	10/22/2020	Elier Marquez
Flood Review	Pass	3	10/27/2020	Herminia Perez
Structural Review	Pass	3	10/21/2020	Vicente Franco
Building Review	Pass	3	10/21/2020	Gabi Chamoun
Plumbing Review	Pass	4	10/29/2020	Robert Janas
Permit Intake Review	Pass	4	10/29/2020	Alexander Crespo
Submittal Version Complete	Pass	4	11/02/2020	Haidenys Monzon

CERTIFICATE OF AUTHORIZATION #: 26074  
P.E. #: 14170  
12355 SW 129 CT. SUIT 4  
MIAMI, FLORIDA 33186  
PHONE: (305) 251-9177  
FAX: (305) 251-8372

ALFREDO M. CARBONELL, P.E. Inc.

Reviews:	
△	OCTOBER 10, 2020
△	
△	
△	

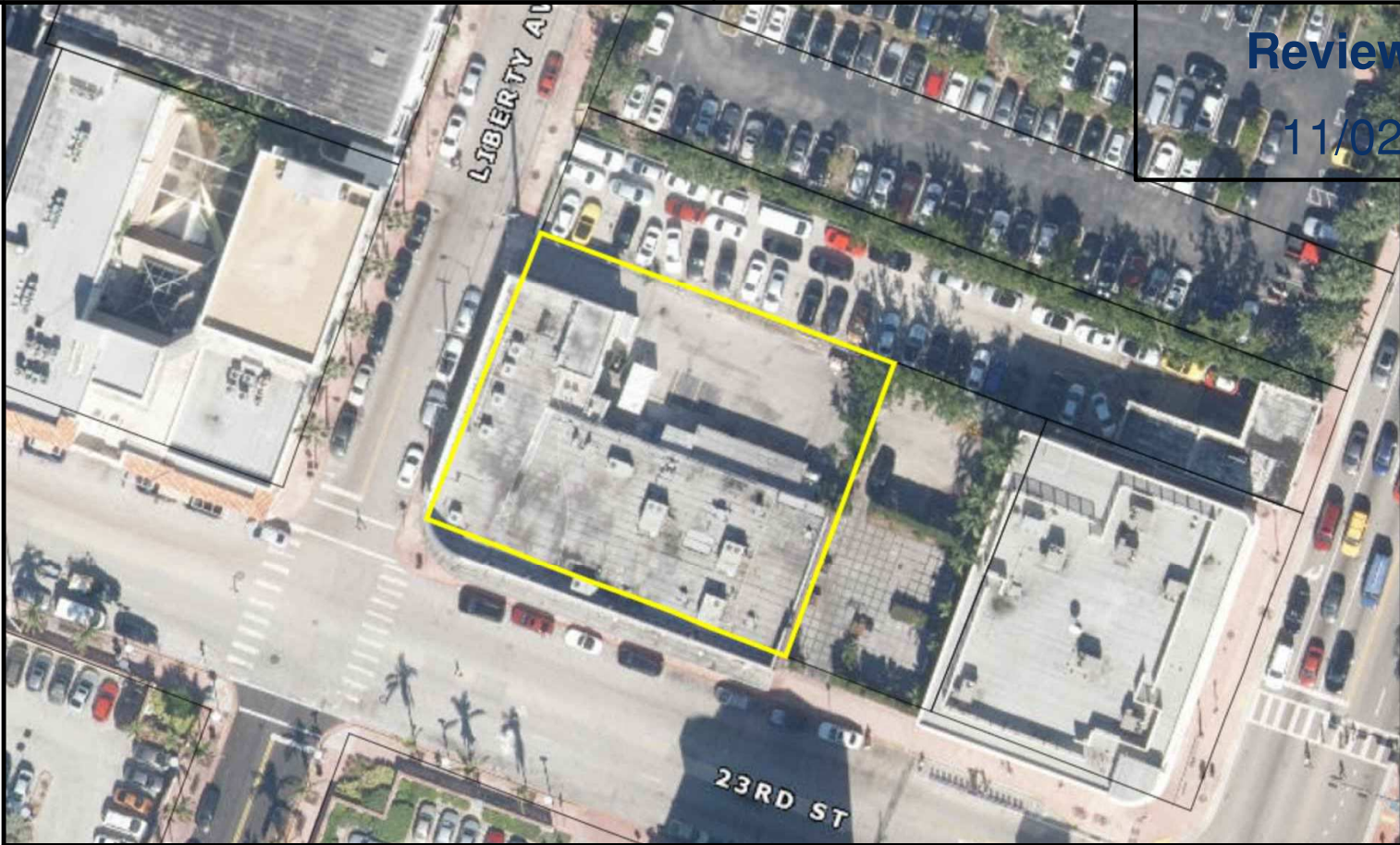
Client: MOKAI LOUNGE  
Project: REFURBISHING OF EXISTING LOUNGE  
Plan Description: CONSTRUCTION PARKING & SCOPE OF WORK

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ALFREDO M. CARBONELL, P.E. ON THE DATE OF THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Seal: ALFREDO M. CARBONELL, P.E. LICENSE No. 14170 STATE OF FLORIDA PROFESSIONAL ENGINEER OCTOBER 10th, 2020 FLA. REG. P.E. # 14170

Designed by: ALFREDO M. CARBONELL  
Drawn by: ALFREDO M. CARBONELL  
Revised & Sealed: ALFREDO M. CARBONELL  
Date: DECEMBER. 2. 2019  
Scale: AS SHOWN  
Job N°: 2019.12-2

Sheet: C-100  
1 of 1 Sheets



**LOCATION PLAN**  
SCALE: N.T.S.

- SCOPE OF WORK:  
MOKAI LOUNGE
- EXISTING LOUNGE TO BE REFURBISHED.  
A. SQUARE FOOTAGE OF BUILDING 9,552 SF (233 23 ST & 235 23 ST)  
B. SQUARE FOOTAGE OF VENUE 3,960 SF (235 23 ST) (MOKAI LOUNGE)  
C. SQUARE FOOTAGE OF CONSTRUCTION 3,410 SF
  - RELOCATE EXISTING BAR AND EQUIPMENT
  - RELOCATE ELECTRICAL DEVICES REFER TO ELECTRICAL PLANS
  - RELOCATE PLUMBING EQUIPMENT. REFER TO PLUMBING PLANS
  - NO CHANGE TO MECHANICAL /HVAC SYSTEM. EXISTING TO REMAIN
  - CHANGE LAYOUT OF EXISTING TABLES AND CHAIRS
  - REMOVE AND CLOSE TWO EXISTING EXTERIOR DOOR OPENINGS ON 23 ST (SOUTH FACADE)  
A. PROVIDE NEW CBS WALL IN LIEU OF EXISTING DOORS ON 23 ST (SOUTH FACADE)  
B. NEW DOOR OPENING ON (EAST FACADE)
  - CREATE NEW OPENING FOR EXTERIOR DOOR ON (EAST FACADE) AS SHOWN ON PLANS
  - CHANGE LAYOUT OF RESTROOM. REFER TO LAYOUT AND PLUMBING PLANS
  - PROVIDE FRAMING AND DRYWALL AS SHOWN ON PLANS WITH SOUND ATTENUATION BARRIER WALL TYPE ON 23 ST (SOUTH FACADE)  
A. NEW SOUNDPROOFED PARTITION TO MITIGATE SOUND TRANSMISSION TO EXTERIOR

- NOTES:
- THE DESIGN SHALL COMPLY WITH THE FLORIDA FIRE PREVENTION CODE LATEST EDITION.
  - ALL WORK TO COMPLY WITH FLORIDA BUILDING CODE 2017, NEC 2014.

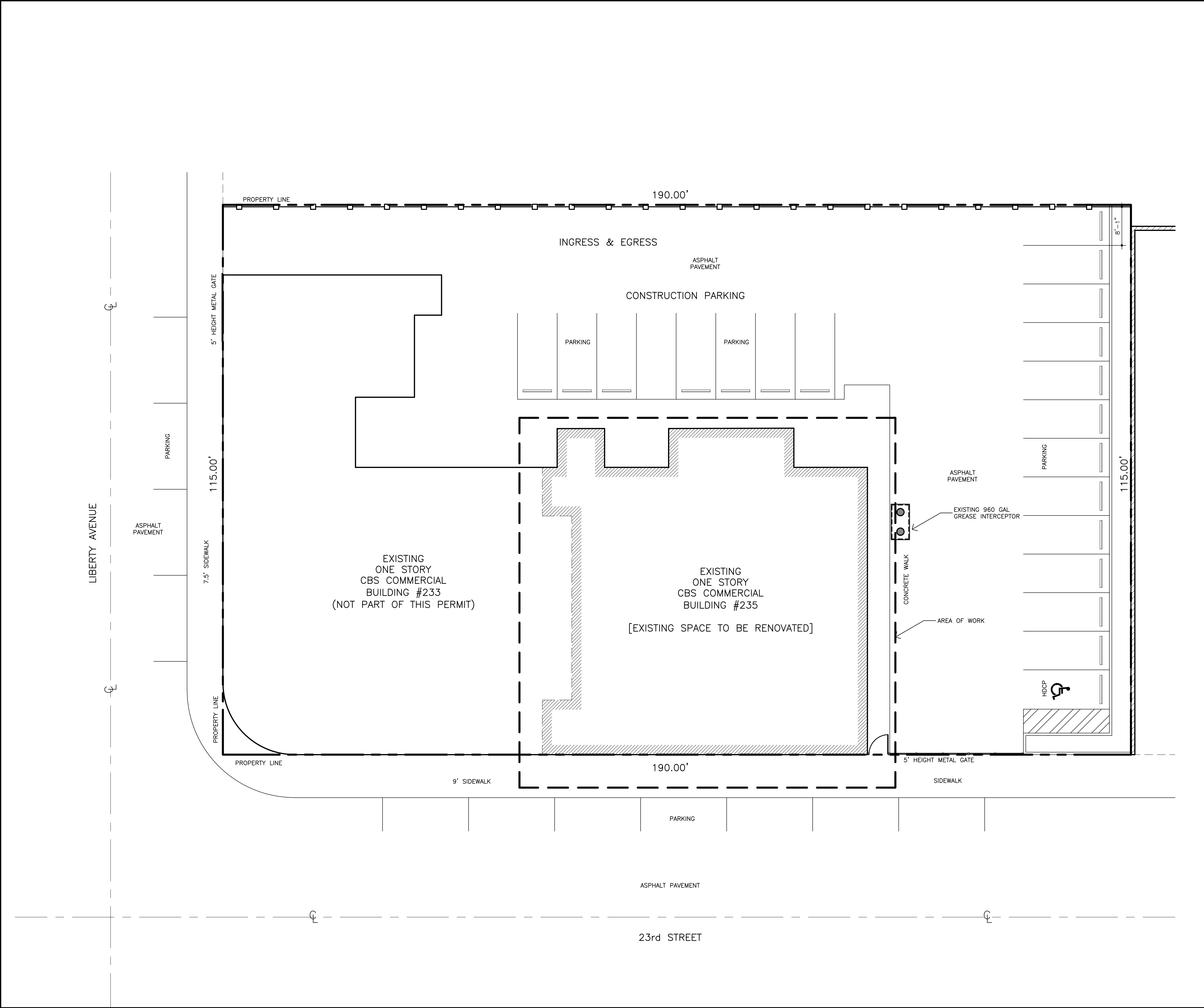
EXISTING PROPERTY INFORMATION	
FOLIO No.	02-3226-001-0520
PRIMARY ZONE:	6600 COMMERCIAL - LIBERAL
CLUC:	1111 STORE : RETAIL OUTLET
BEDS/BATHS:	0/0/0
FLOORS:	1
LIVING UNITS:	0
EXISTING BUILDING SQ.FT.:	9,552 S.F.
LOT SIZE:	15,525 S.F.
LEGAL DESCRIPTION:	
MIAMI BEACH IMPROVEMENT CO PB 5-7 LOTS 4-5-6 BLK 3 LOT SIZE 135,000 X 115 OR 17403-1207-16 0796 4(2)	

FEMA FLOOD MAP	
FIRM MAP NUMBER	12066C0336L
COMMUNITY NUMBER	20651
PANEL	0336 SUFFIX L
ZONE	AE
(EL 8 FEET)	

Alfredo M. Carbonell

Digitally signed by Alfredo M. Carbonell  
DN: c=US, st=Florida, l=Miami, o=ALFREDO M. CARBONELL, P.E., INC., cn=Alfredo M. Carbonell, email=alfredo@acarbonell.com  
Date: 2020.10.10 13:14:10 -04'00'

NEW PAGE C-100



**LOCATION MAP**  
SCALE: 3/32" = 1'-0".



# INTERIOR RENOVATION

ADDRESS: 235 23RD STREET MIAMI BEACH, FL. 33139

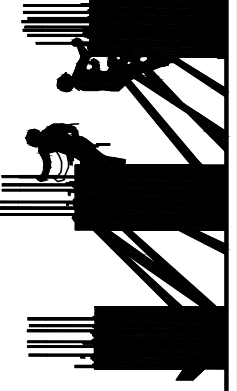
ALL INTERIOR FINISHES SHALL COMPLY WITH FFPC 101-10.2.





SHEET NUMBER	DRAWING NUMBER	DRAWING NAME	NEW PERMIT SET	06/12/2020
01	A0	PRESENTATION SHEET, SYMBOL LEGEND AND PLANS INDEX. [THIS SHEET]	•	•
02	A1	EXISTING SITE PLAN	•	•
03	A2	EXISTING FLOOR PLAN	•	•
04	A3	PROPOSED FLOOR PLAN	•	•
05	A3.1	PROPOSED REFLECTED CEILING PLAN	•	•
06	A4	BUILDING — PARTITION SECTIONS	•	•
07	A5	ARCHITECTURAL DETAILS PLAN	•	•
08	A6	INTERIOR ELEVATIONS, LOUNGE AREA.	•	•
09	LS.1	LIFE SAFETY PLAN	•	•
10	E1	ELECTRICAL PLAN	•	•
11	P1	EXISTING PLUMBING PLAN	•	•
12	P2	PROPOSED PLUMBING PLAN	•	•
13	P3	PLUMBING ISOMETRIC PLAN	•	•
14	S1	STRUCTURAL NOTES AND DETAILS	•	•
15	S2	PROPOSED STRUCTURAL PLAN	•	•

Digitally signed by  
Alfredo M. Carbonell  
DN: c=US, st=Florida,  
l=Miami, o=ALFREDO M.  
CARBONELL, P.E., INC.,  
cn=Alfredo M. Carbonell,  
email=alfredo@acarbon  
ell.com  
Date: 2020.10.20  
17:31:50 -04'00'



CERTIFICATE OF AUTHORIZATION # 26074  
P.E. # 14170  
12355 SW 129 CT. SUIT 4  
MIAMI, FLORIDA 33186  
PHONE: (305) 251-9177  
FAX: (305) 251-8372

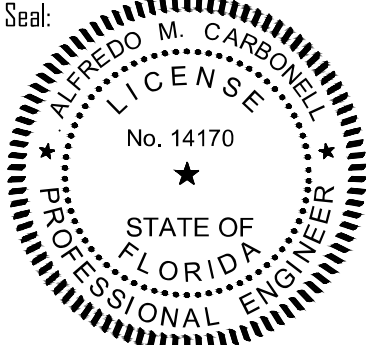
  
ALFREDO M. CARBONELL, P.E. Inc.

Reviews:	
	JULY 26, 2020
	
	
	

Client: **MOKAI LOUNGE**  
Project: **REFURBISHING OF EXISTING LOUNGE**  
235 23rd STREET MIAMI BEACH, FL. 33139

Plan Description:  
**EXISTING SITE PLAN**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ALFREDO M. CARBONELL, P.E. ON THE DATE OF THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Seal:  
  
No. 14170  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
OCTOBER 20, 2020  
FLA. REG. P.E. # 14170

Designed by:	ALFREDO M. CARBONELL
Drawn by:	ALFREDO M. CARBONELL
Revised & Sealed:	ALFREDO M. CARBONELL
Date:	DECEMBER. 2. 2019
Scale:	AS SHOWN
Job N°:	2019.12-2

Sheet:  
**A1**  
2 of 7 Sheets

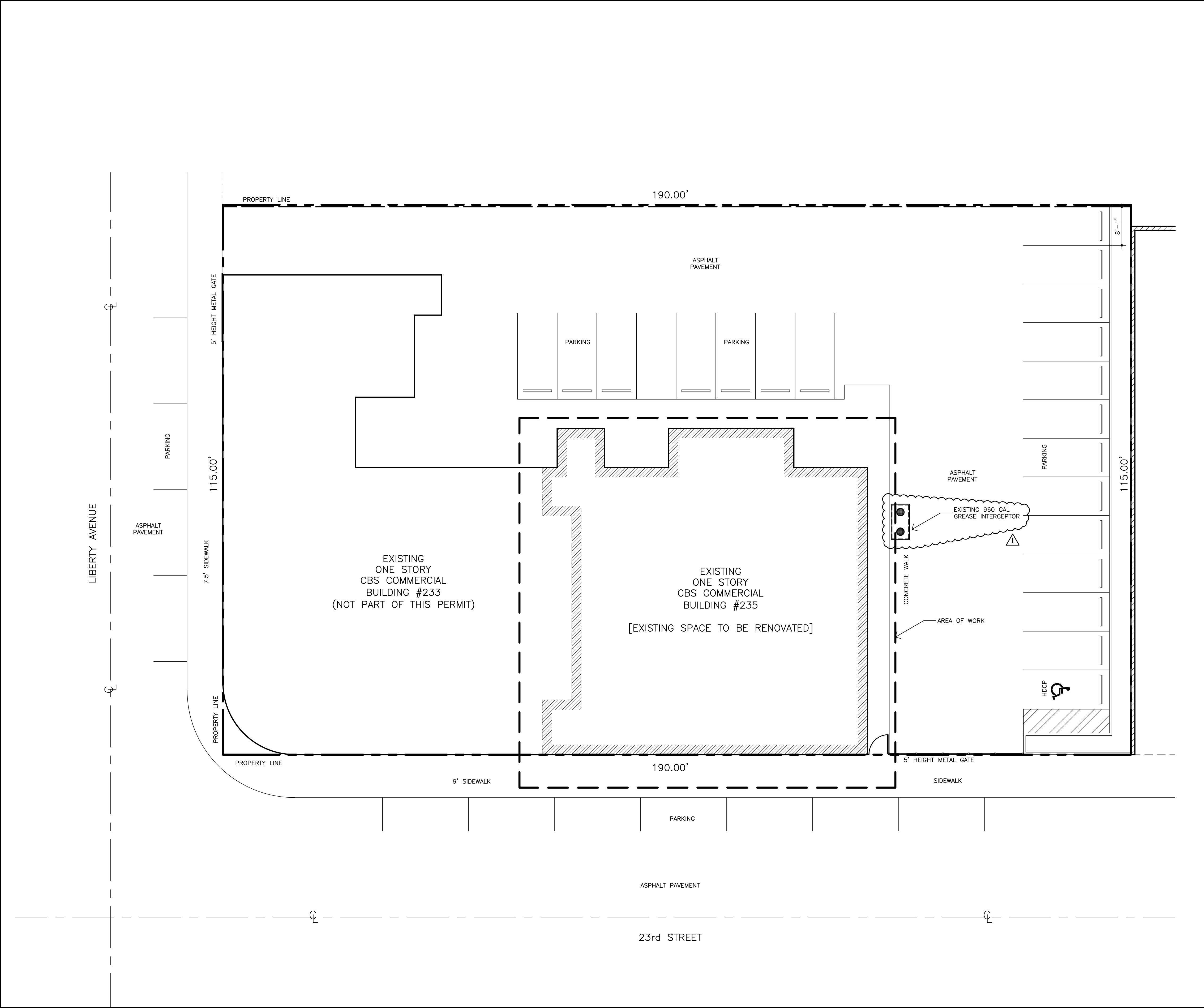


**LOCATION PLAN**  
SCALE: N.T.S.

EXISTING PROPERTY INFORMATION	
FOLIO No.	02-3226-001-0520
PRIMARY ZONE:	6600 COMMERCIAL - LIBERAL
CLUC:	1111 STORE : RETAIL OUTLET
BEDS/BATHS:	0/0/0
FLOORS:	1
LIVING UNITS:	0
EXISTING BUILDING SQ.FT.:	9,552 S.F.
LOT SIZE:	15,525 S.F.
LEGAL DESCRIPTION:	
MIAMI BEACH IMPROVEMENT CO PB 5-7 LOTS 4-5-6 BLK 3 LOT SIZE 135,000 X 115 OR 17403-1207-16 0796 4(2)	

FEMA FLOOD MAP	
FIRM MAP NUMBER	12066C0336L
COMMUNITY NUMBER	120651
PANEL	0336 SUFFIX L
ZONE	AE
(EL 8 FEET)	

Digitally signed by  
**Alfredo M. Carbonell**  
DN: c=US, st=Florida,  
l=Miami, o=ALFREDO M.  
CARBONELL, P.E., INC.,  
cn=Alfredo M. Carbonell,  
email=alfredo@acarbonell  
.com  
Date: 2020.10.20 17:32:09  
-04'00'

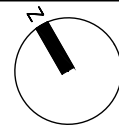
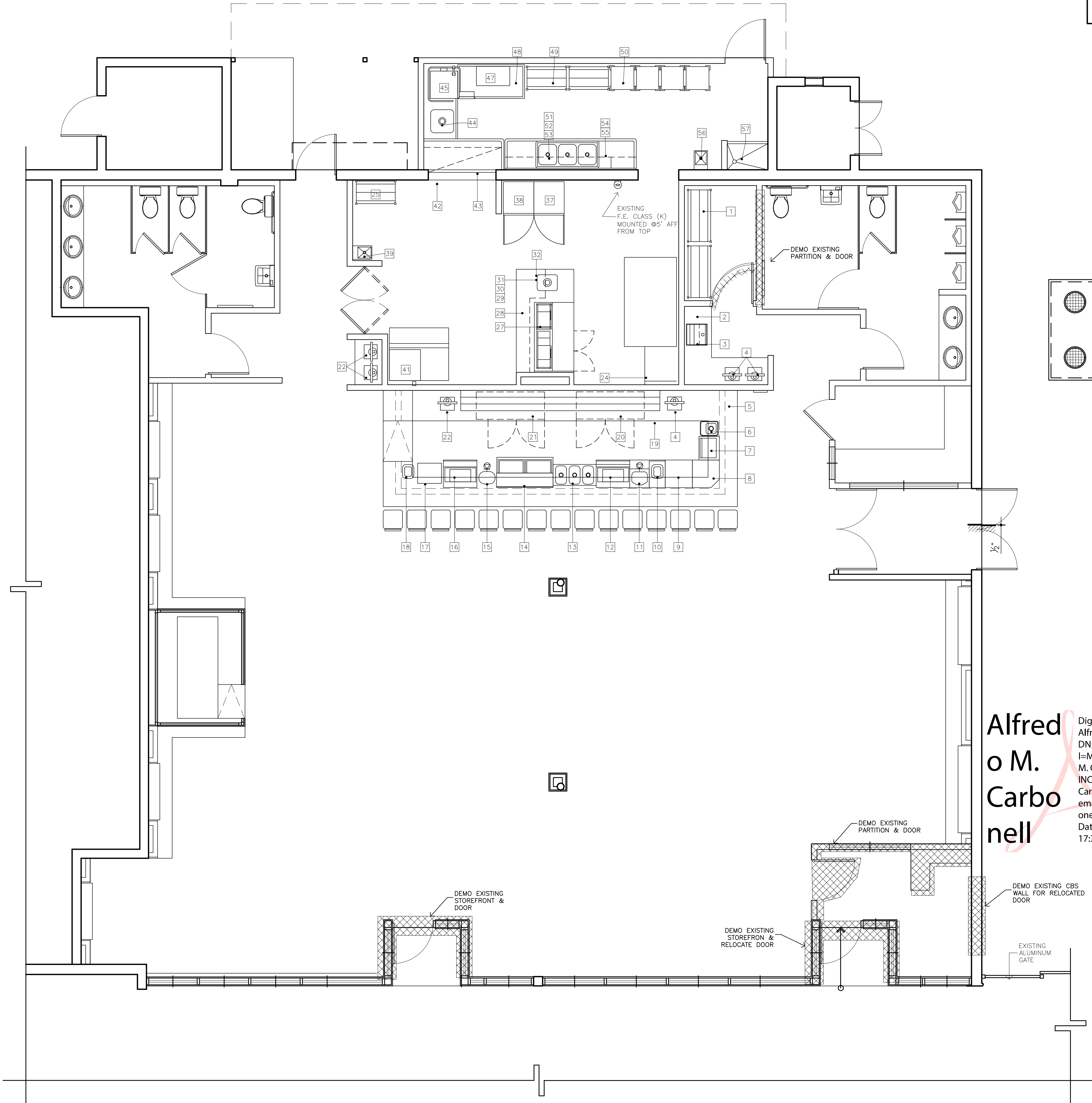


**EXISTING SITE PLAN**  
SCALE: 3/32" = 1'-0".



EQUIPMENT SCHEDULE			
ITEM No	QTY	EQUIPMENT CATEGORY	MANUFACTURER
1	1	SHELVING UNIT LOT	INTERMETRO INDUSTRIES
2	1	NOT USED	-
3	1	NOT USED	-
4	3	CASH REGISTER	BY OTHERS
5	1	BAR TOP AND DIE WALL	NIKEC
6	1	UNDER BAR HAND SINK	KROWNE METAL
7	1	UNDER BAR ICE CHEST	KROWNE METAL
8	1	UNDER BAR FILLERS & DRAIN BOARDS	KROWNE METAL
9	1	UNDER BAR GLASS RACK	KROWNE METAL
10	1	UNDER DRY WASTE	KROWNE METAL
11	1	UNDER BAR BLENDER STATION	KROWNE METAL
12	1	UNDER BAR ICE CHEST	KROWNE METAL
13	1	UNDER BAR SINK	KROWNE METAL
14	1	COOLER, BOTTLE	TRUE FOOD SERVICE
15	1	UNDER BAR BLENDER STATION	KROWNE METAL
16	1	UNDER BAR ICE CHEST	KROWNE METAL
17	1	UNDER BAR GLASS RACK	KROWNE METAL
18	1	UNDER DRY WASTE	KROWNE METAL
19	1	BACK BAR COUNTER	BY OTHERS
20	1	BACK BAR COOLER	TRUE FOOD SERVICE
21	1	BACK BAR COOLER	TRUE FOOD SERVICE
22	3	CASH REGISTER	BY OTHERS
23	1	OPEN NUMBER	-
24	1	WORK TOP TABLE	STAINLESS 2000
25	1	SODA SYSTEM	BY OTHERS
26	1	OPEN NUMBER	-
27	1	DOUBLE OVER SHELF	STAINLESS 2000
28	1	PLATE CABINET	STAINLESS 2000
29	1	NOT USED	-
30	1	FAUCET, DECK MOUNT	T & S BRASS
31	1	WORK TOP COUNTER	STAINLESS 2000
32	1	NOT USED	-
33	1	NOT USED	-
34	1	NOT USED	-
35	1	NOT USED	-
36	1	NOT USED	-
37	1	NOT USED	-
38	1	REFRIGERATOR, REACH-IN	TRUE FOOD SERVICE
39	1	SINK, HAND, WALL MOUNT	ADVANCE TABCO
40	1	OPEN NUMBER	-
41	1	ICE MAKER W/BIN	HOSHIZAKI AMERICA
42	1	DISHTABLE, "L" SHAPE	STAINLESS 2000
43	1	SORTING SHELF	STAINLESS 2000
44	1	PRE-RINSE FAUCET, WALL MOUNT	T & S BRASS
45	1	WAREWASHER, DOOR TYPE, HIGH TEMP	HOBART US FOODSERVICE
46	1	OPEN NUMBER	-
47	1	SOILED DISHTABLE	STAINLESS 2000
48	1	SORTING SHELF	STAINLESS 2000
49	2	SHELVING, WIRE	INTERMETRO INDUSTRIES
50	4	DOLLY, DISHRACK	INTERMETRO INDUSTRIES
51	1	FAUCET, WALL MOUNT	T & S BRASS
52	1	PRE-RINSE FAUCET, WALL MOUNT	T & S BRASS
53	1	DRAIN, LEVER HANDLE	T & S BRASS
54	1	THREE COMPARTMENT SINK	STAINLESS 2000
55	1	WALL SHELF AND POT RACK	STAINLESS 2000
56	1	SINK, HAND, WALL MOUNT	ADVANCE TABCO
57	1	MOP SINK	-
		MODEL NUMBER	SERIE-NK3
			-
			-
			NIKEC
			NIKEC
			KR18-1C
			KR18-24-B
			KR18-DRC90
			KR18-GSB1
			KR18-TS
			KR18-17BD
			KR18-30-B
			KR18-33
			TD-50-18
			KR18-17BD
			KR18-30-B
			KR18-GSB1
			KR18-TS
			NIKEC
			TBB-24-60
			TBB-24-60
			NIKEC
			-
			FABRICATED
			NIKEC
			-
			FABRICATED
			FABRICATED
			-
			B-0226
			FABRICATED
			GRAH-36
			-
			-
			-
			-
			-
			-
			T-23
			7-PS-60
			-
			KM-1300MAH/B-900PF
			FABRICATED
			FABRICATED
			B-0133-B
			AM14C+BUILDUP
			-
			FABRICATED
			FABRICATED
			2136NK3
			D2020N
			B-0231
			B-0133-B
			B-3650-01
			FABRICATED
			FABRICATED
			7-PS-60
			-

NOTE:  
NO EXISTING COOKING EQUIPMENT. FACILITY DOES NOT COOK AND ONLY CURRENTLY HAS EQUIPMENT TO SERVE DRINKS.  
DISH RACKS AND DISH STORAGE IS BEING USED TO STORE BOTTLED BEVERAGES.



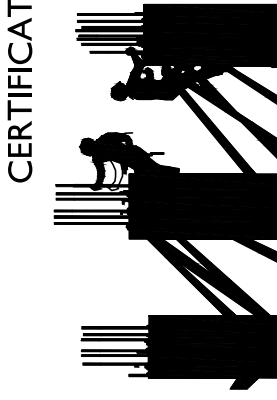
EXISTING/DEMO FLOOR PLAN

SCALE: 1/4" = 1'-0".

Alfred  
o M.  
Carbo  
nell

Digitally signed by  
Alfredo M. Carbonell  
DN: c=US, st=Florida,  
l=Miami, o=ALFREDO  
M. CARBONELL, P.E.,  
INC., cn=Alfredo M.  
Carbonell,  
email=alfredo@acarb  
onell.com  
Date: 2020.10.20  
17:32:30 -04'00'

CERTIFICATE OF AUTHORIZATION # 26074  
P.E. # 14170  
12355 SW 129 CT. SUIT 4  
MIAMI, FLORIDA 33186  
PHONE: (305) 251-9177  
FAX: (305) 251-8372



ALFREDO M. CARBONELL, P.E. Inc.

Reviews:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Client: MOKAI LOUNGE  
Project: REFURBISHING OF  
EXISTING LOUNGE  
235 23rd STREET MIAMI BEACH, FL. 33139

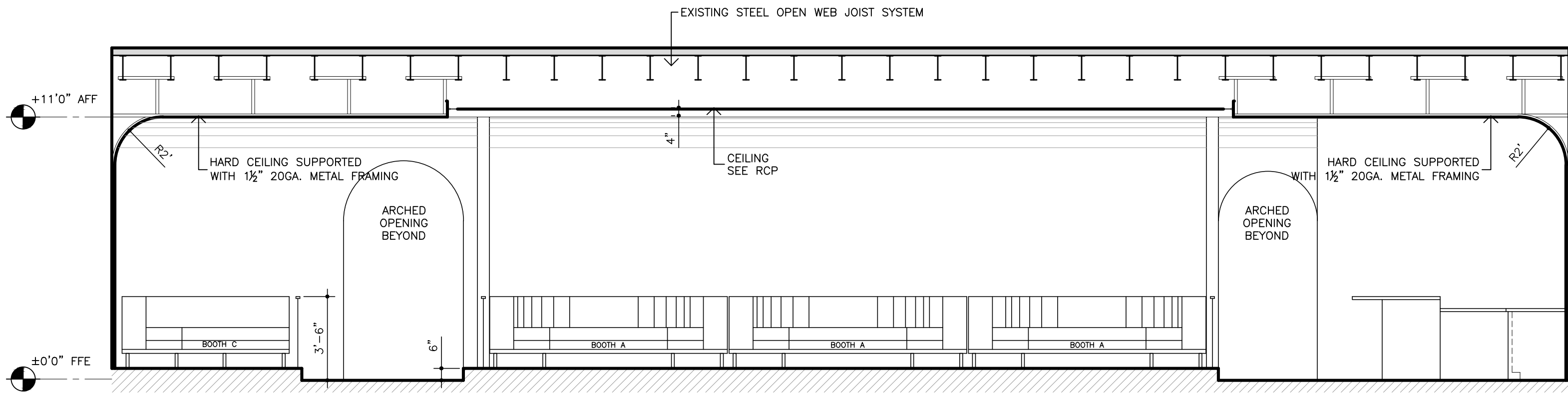
Plan Description:  
EXISTING  
FLOOR PLAN

THIS ITEM HAS BEEN DIGITALLY  
SIGNED AND SEALED BY  
ALFREDO M. CARBONELL, P.E.  
ON THE DATE INDICATED TO  
THE SEAL.  
PRINTED COPIES OF THIS  
DOCUMENT ARE NOT  
CONSIDERED SIGNED AND  
SEALED AND THE SIGNATURE  
MUST BE VERIFIED ON ANY  
ELECTRONIC COPIES.

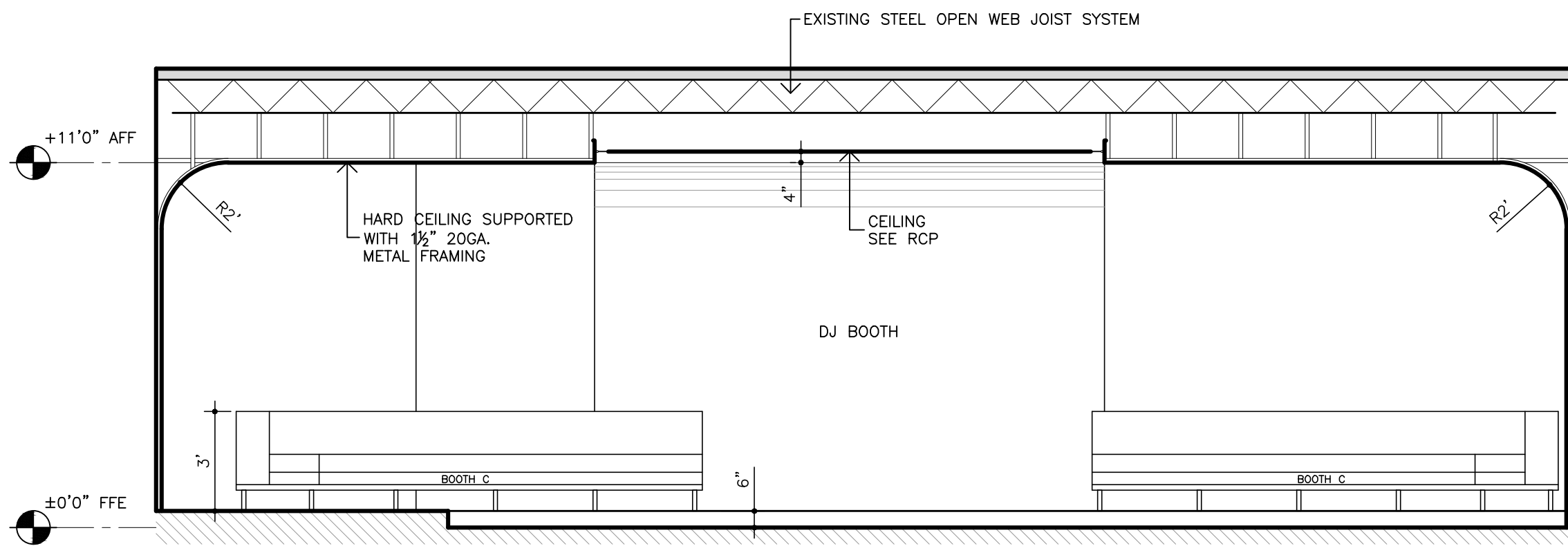


Designed by: ALFREDO M. CARBONELL  
Drawn by: ALFREDO M. CARBONELL  
Revised & Sealed: ALFREDO M. CARBONELL  
Date: DECEMBER. 2. 2019  
Scale: AS SHOWN  
Job N°: 2019.12-2

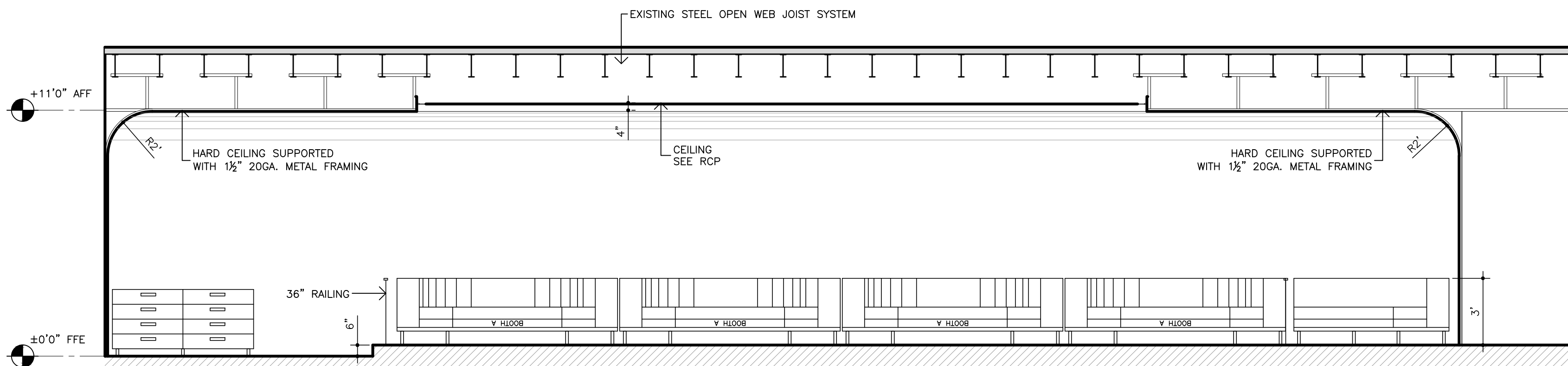
Sheet:  
A2  
3 of 7 Sheets



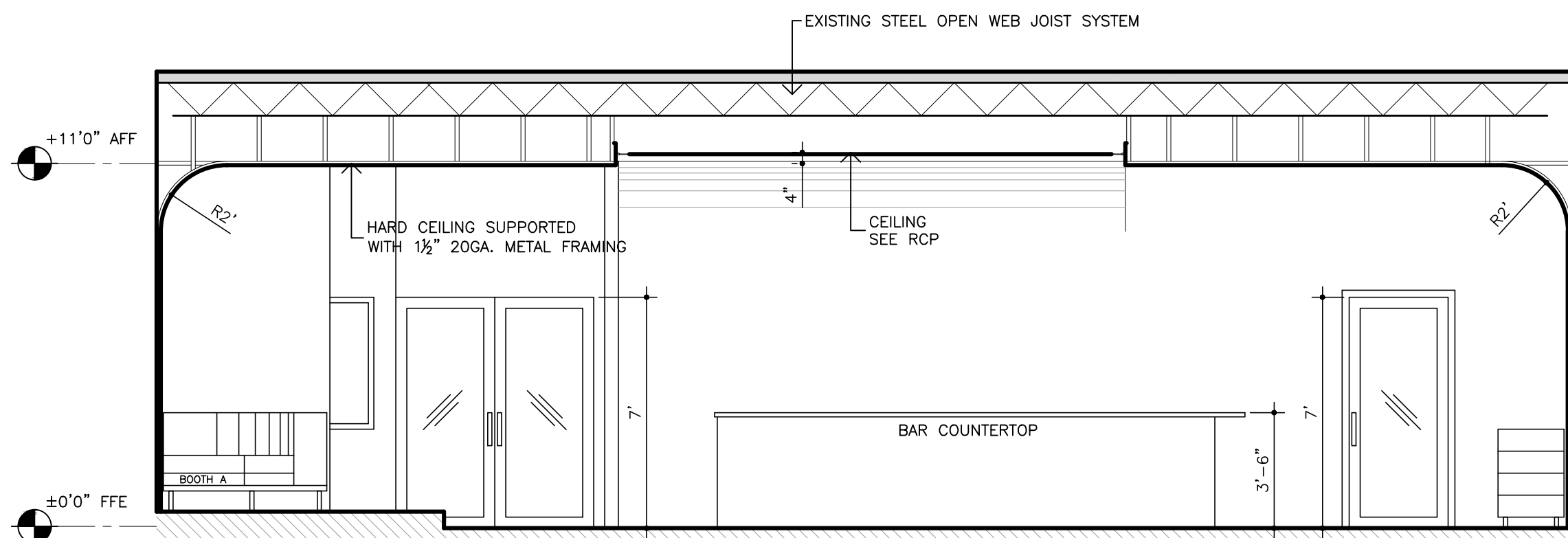
1  
A6 LOUNGE AREA ELEVATION 1 (NORTH ELEVATION)  
SCALE: 1/4" = 1'-0"



2  
A6 LOUNGE AREA ELEVATION 2 (WEST ELEVATION)  
SCALE: 1/4" = 1'-0"



3  
A6 LOUNGE AREA ELEVATION 3 (SOUTH ELEVATION)  
SCALE: 1/4" = 1'-0"



4  
A6 LOUNGE AREA ELEVATION 4 (EAST ELEVATION)  
SCALE: 1/4" = 1'-0"

Alfredo  
M.  
Carbonell

Digitally signed by Alfredo M. Carbonell  
DN: c=US, st=Florida, l=Miami, o=ALFREDO M. CARBONELL, P.E., INC., cn=Alfredo M. Carbonell,  
email=alfredo@acarbonell.com  
Date: 2020.10.20 17:34:22 -04'00'

CERTIFICATE OF AUTHORIZATION # 26074  
P.E. # 14170  
12355 SW 129 CT. SUIT 4  
MIAMI, FLORIDA 33186  
PHONE: (305) 251-9177  
FAX: (305) 251-8372

ALFREDO M. CARBONELL, P.E. Inc.

Reviews:	
△	·
△	·
△	·
△	·

Client: MOKAI LOUNGE  
Project: REFURBISHING OF EXISTING LOUNGE  
235 23rd STREET MIAMI BEACH, FL. 33139

Plan Description:  
INTERIOR ELEVATIONS

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ALFREDO M. CARBONELL, P.E. ON THE DATE OF THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Seal: ALFREDO M. CARBONELL, P.E. LICENSE No. 14170 STATE OF FLORIDA PROFESSIONAL ENGINEER OCTOBER 20, 2020 FLA. REG. P.E. # 14170

Designed by: ALFREDO M. CARBONELL  
Drawn by: ALFREDO M. CARBONELL  
Revised & Sealed: ALFREDO M. CARBONELL  
Date: DECEMBER. 2. 2019  
Scale: AS SHOWN  
Job N°: 2019.12-2

Sheet:  
A6  
7 of 7 Sheets



SCOPE OF WORK

1. REMOVE EXISTING DOOR AND STOREFRONT AND INSTALL BLOCKWALL.
2. REFER TO STRUCTURAL FLOOR PLAN FOR LOCATION OF REBAR/MASONRY AND PROPOSED LINTEL.
3. DOWEL AND EPOXY INTO FOOTING AND TIE BEAM PER PLANS. VERIFY WITH EOR PRIOR TO POURING.
4. CONTRACTOR TO VERIFY CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY DISCREPANCIES.

GENERAL STRUCTURAL NOTES

- A. REFERENCES
1. FLORIDA BUILDING CODE 2017.
  2. ASCE 7-10.
  - B. GENERAL
  1. THE CONTRACTOR SHALL FIELD CHECK ALL DIMENSIONS ON THE STRUCTURAL DRAWINGS AND VERIFY SAME ON THE ENGINEERING SET. ENGINEERING DETAILS SUCH AS a. SLABS DEPRESSIONS, WATERPROOFING, CURBS, MECHANICAL OPENINGS, FASCIA FRAMING AND BRACING SHALL BE INSTALLED AS SHOWN ON THE ENGINEERING SET.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND BRACING TO ENSURE SAFE WORKING CONDITION AT ALL TIMES. ALL CONSTRUCTION SHALL CONFORM TO THE FLORIDA BUILDING CODE.
  - C. CONCRETE
  1. SHALL BE MIX DESIGNED IN ACCORDANCE WITH A.C.I. 301 (1999 EDITION) TO ACHIEVE A 28-DAY COMPRESSIVE STRENGTH OF 3'000 P.S.I. AND A MAXIMUM WATER-CEMENT RATIO OF 0.50 BY WEIGHT AND A SLUMP OF 4".
  2. ALL CONCRETE SHALL CONTAIN AND ENGINEER-APPROVED ASTM C-494 TYPE 'D' ADMIXTURE (WATER REDUCING RETARDER), AIR ENTRAINED AGENT SHALL CONFORM TO ASTM C-260, ACCEPTABLE AIR ENTRAINING ADMIXTURE: DAREX "AEA" BY W.R. GRACE & CO., OR APPROVED EQUAL.
  3. CONCRETE ON EXPOSED BALCONIES, SLABS, BEAMS AND STAIRS SHALL HAVE THE TOP SURFACE COATED WITH "ALKYL-ALKOXY SILANE SEALER" OR ENGINEER-APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. WATER/CEMENT RATIO IN EXPOSED BALCONIES SHALL BE 0.40 BY WEIGHT. THIS CONCRETE SHALL HAVE A STRENGTH OF 5'000 P.S.I.
  4. TRANSPORTATION, PLACING AND CURING OF CONCRETE SHALL COMPLY WITH A.C.I. 318 BUILDING CODE (LATEST EDITION).
  5. ALL CONCRETE STRUCTURAL COMPONENTS SHALL HAVE CONCRETE STRENGTH TESTED IN ACCORDANCE WITH A.S.T.M. STANDARDS, F.B.C. 2010, AND A.C.I. 318 (2010 EDITION). TEST CYLINDERS MUST BE TAKEN EVERY 50 CUBIC YARDS ON CONCRETE PRIOR TO PLACEMENT. TESTING LAB SHALL PROVIDE COPIES OF CONCRETE TEST RESULTS TO ENGINEER OFFICE FOR REVIEW.
  6. CONCRETE MIX SHALL BE SUBMITTED TO ENGINEERS OFFICE FOR REVIEW.
  7. CONTRACTOR SHALL CHECK ALL DRAWINGS AND MANUFACTURER'S SHOP DRAWINGS FOR LOCATION OF ALL EMBEDDED ITEMS, SUCH AS PIPES SLEEVES, ANCHOR BOLTS, ETC. PRIOR TO PLACING CONCRETE.
  8. UNLESS OTHERWISE NOTED ON PLANS, A MINIMUM CONCRETE COVER TO REINFORCING STEEL SHALL BE MAINTAINED IN ACCORDANCE WITH CHAPTER 1, SECTIONS 7.7.1, 7.7.2 & 7.7.3 OF A.C.I. 318-1995 EDITION. SPECIFIC CONCRETE COVERS ARE GIVEN IN THE FOLLOWING:  
GRADE BEAMS:  
BOTTOM: 3" CLEAR.  
TOP: 2" CLEAR TO TIES.  
SIDE: 2" CLEAR TO TIES.  
SLAB ON GRADE:  
BOTTOM: 2" CLEAR WHEN POURED ON 6 MIL VAPOR BARRIER.  
TOP: 1½" CLEAR.  
1ST AND 2ND FLOOR SLAB:  
BOTTOM: ¾" CLEAR (INTERIOR, PROTECTED)  
TOP: ¾" CLEAR (INTERIOR, PROTECTED)  
1ST AND 2ND FLOOR SLAB:  
BOTTOM: 1" CLEAR (EXTERIOR, UNPROTECTED)  
TOP: 1½" CLEAR (EXTERIOR, UNPROTECTED)  
COLUMNS & BEAMS:  
AS SHOWN ON DETAILS.
  9. EACH CUBIC YARD OF CONCRETE SHALL CONTAIN A MIN. OF 5 BAGS OF CEMENT.
  - D. REINFORCING STEEL
  1. SHALL BE DEFORMED BARS, FREE FROM LOOSE RUST AND SCALE, AND CONFORM TO A.S.T.M. A615 GRADE 60.
  2. ALL ACCESSORIES SHALL HAVE UPTURNED LEGS, AND BE PLASTIC DIPPED AFTER FABRICATION. ACCESSORIES FOR REINFORCING SHALL BE INSTALLED IN ACCORDANCE WITH A.C.I. 315 (LATEST EDITION).
  3. SUPPORT BARS SHALL BE #5 AND NOT SPACED MORE THAN 4'-0" O.C.
  4. SUPPORT BARS AND ENDS OF MAIN REINFORCING SHALL NOT EXTEND MORE THAN 1'-8" PAST OUTERMOST CHAIR OR SUPPORT BAR.
  4. A MINIMUM OF 3 SUPPORT BARS AND 3 INDIVIDUAL HIGH CHAIRS FOR EACH SUPPORT BAR SHALL BE PROVIDED FOR TOP REINFORCING.
  5. ALL PLACEMENT OF REINFORCING BARS SHALL BE IN ACCORDANCE WITH THE MANUAL OF STANDARD PRACTICE OF THE CONCRETE REINFORCING STEEL INSTITUTE.
  6. PLASTIC TIPPED COLUMN SPACERS SHALL BE PROVIDED FOR VERTICAL COLUMN REINFORCING STEEL, SUCH THAT A 2" MINIMUM CLEARANCE IS MAINTAINED.
  - E. STRUCTURAL STEEL
  - STRUCTURAL STEEL SHALL CONFORM WITH THE FOLLOWING GRADES:  
a. ALL WF, ANGLE BASE PLATES, CONN. PLATES (UON)----- A.S.T.M. A36 (FY=36 KSI)  
b. STRUCTURAL TUBE----- A.S.T.M. A500, GRADE B (FY=46 KSI)  
c. STEEL PIPE----- A.S.T.M. A53, GRADE B (FY=35 KSI)  
d. ANCHOR BOLTS (UON)----- A.S.T.M. A307.
  2. ALL STRUCTURAL STEEL SHALL BE DETAILED, PREFABRICATED, CORROSION PROTECTED & ERECTED IN ACCORDANCE WITH THE AISC CODE OF STANDARD PRACTICE, LATEST EDITION, EXCEPT AS MODIFIED IN THESE NOTES. PROVIDE IN SHOP ONE COAT OF RUST INHIBITING PAINT FOR ALL EXPOSED STRUCTURAL STEEL.
  3. ALL EXTERIOR COLUMNS, BASE & CAP PLATES SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION.
  4. ALL ANCHOR BOLTS, HEADED STUDS SHALL BE HOT DIPPED GALVANIZED.
  5. CONNECTIONS SHALL BE BOLTED/WELDED AS SHOWN ON PLANS. THE FABRICATOR IS RESPONSIBLE FOR THE DESIGN OF CONNECTIONS NOT SHOWN ON THE DRAWINGS. GENERALLY, CONNECTIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE SCHEMATIC AND ARE ONLY INTENDED TO SHOW THE RELATIONSHIP OF MEMBERS CONNECTED.
  6. UNLESS OTHERWISE NOTED OR SHOWN ON PLANS, CONNECTIONS AT BEAM/COLUMN AND BEAM/WALL SHALL BE DESIGNED FOR TWO-THIRDS OF THE ALLOWABLE LOAD ON THE MEMBERS, AS DEFINED IN THE AISC TABLE FOR ALLOWABLE LOADS ON BEAMS.
  7. GROUT FOR COLUMN BASE PLATES SHALL BE NON-SHRINK, NON-METALLIC GROUT SUCH AS MASTER FLOW 713, AS MANUFACTURED BY MASTER BUILDERS OR APPROVED EQUAL (5'000 PSI MIN.)
  8. ALL EXPOSED STRUCTURAL STEEL MEMBERS SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION. TOUCH-UP IN FIELD AT WELDS AS REQUIRED.
  - F. WELDING
  - ALL WELDING TO BE DONE BY CERTIFIED WELDERS. WELDING SHALL BE MADE WITH E70XX ELECTRODES AND CONFORM TO THE CURRENT RECOMMENDATIONS OF THE A.I.S.C. AND THE AMERICAN WELDING SOCIETY.
  - G. MASONRY
  1. CONCRETE MASONRY UNITS SHALL COMPLY WITH THE PROVISIONS OF THE STANDARD SPECIFICATION FOR DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY, NCM TR-75B AND ACI 532.
  2. HOLLOW MASONRY UNITS SHALL CONFORM TO ASTM C-90, TYPE-1, "STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS".
  3. MORTAR SHALL CONFORM TO ASTM C-270, TYPE 'M' WITH A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AT 2'500 PSI.

4. HORIZONTAL JOINT REINFORCING SHALL BE EXTENDED NO. 9 LADDER TYPE FOR 8" THICK MASONRY UNITS, AS MANUFACTURED BY "DUR-O-WALL", HOT DIPPED GALVANIZED, OR ENGINEER APPROVED EQUAL PLACED AT EVERY SECOND BLOCK COURSE (16" VERTICALLY) FOR ALL INTERIOR AND EXTERIOR WALLS. THE JOINT REINFORCING SHALL EXTENDED 8" INTO ADJACENT COLUMNS.
5. WHEN COLUMNS ARE CONSTRUCTED FIRST, BLOCK AND COLUMN SHALL BE TIED THRU 20 GAUGE GALVANIZED CORRUGATED DOVETAIL SLOTS AND 1" x 5" x 16" GA. GALVANIZED CORRUGATED DOVETAIL ANCHORS AT THE SAME LOCATION AND SPACING AS THE HORIZONTAL JOINT REINFORCING LED IN.
6. REFER TO ADDITIONAL REINFORCING NOTES ON FLOOR PLANS.
7. UNIT MASONRY COMPRESSIVE STRENGTH OF 1'900 PSI TO RESULT F'm = 1'500 PSI.
- H. NOA/SPECIALTY ENGINEER

1. ALL PRE-ENGINEERED, PREMANUFACTURED ITEMS REQUIRE MIAMI-DADE NOTICE OF APPROVAL (NOA). CERTAIN ENGINEERS ITEM REQUIRE ANALYSIS, DESIGNS, DRAWINGS & DETAILS TO BE PROVIDED BY THE CONTRACTOR'S/MANUFACTURER'S SPECIALTY ENGINEER(S) REGISTERED TO PRACTICE IN THE STATE OF FLORIDA. THE SPECIALTY ENGINEER'S SERVICE MAY ALSO BE REQUIRED WHEN REQUESTED BY THE ENGINEER OF RECORD (EOR). THESE ITEMS INCLUDE, BUT NOT LIMITED TO:  
2. FOR ITEMS THAT REQUIRE ANALYSIS, DESIGNS, DRAWINGS & DETAILS BY THE SPECIALTY ENGINEER, THE CONTRACTOR SHALL PROVIDE ALL SUCH SERVICES THRU THE SPECIALTY ENGINEER(S) AT NO ADDITIONAL COST TO THE OWNER OR TO THE ARCHITECT/ENGINEER OR SUCH CALCULATIONS AND DRAWINGS SHALL BE DULY SIGNED AND SEALED BY THE CONTRACTOR'S SPECIALTY ENGINEER(S).

I. SHOP DRAWINGS

- PRIOR TO FABRICATION SUBMITTO THE STRUCTURAL ENGINEER FOR REVIEW, FOUR SET OF SHOP DRAWINGS FOR ALL REINFORCING & STRUCTURAL STEEL (CERTIFIED MILL TESTS ARE ALSO REQUIRED PRIOR TO ERECTION). FOR COMPONENTS OUTLINED IN NOTES, 'J' SUBMIT FOUR SETS OF SHOP DRAWINGS AND DESIGN CALCULATION SIGNED AND SEALED BY FABRICATORS SPECIALTY ENGINEER REGISTERED TO PRACTICE IN THE STATE OF FLORIDA.
- J. BRACING

1. THE FRAME SHALL BE BUILT TRUE AND PLUMB AND TEMPORARY BRACING SHALL BE INTRODUCED WHEREVER NECESSARY TO TAKE CARE OF ALL LOADS TO WICH THE STRUCTURE MAY BE SUBJECTED. INCLUDING EQUIPMENT AND OPERATION OF SAME. SUCH BRACING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE LEFT IN PLACE AS LONG AS REQUIRED FOR SAFETY.
2. PRECAST STRUCTURE MUST HAVE ERECTION BRACING TO SUSTAIN WIND VELOCITY OF 75 MPH AND CONTRACTOR SHALL PROVIDE BRACING SHOP DRAWINGS SIGNED AND SEALED BY PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA.

K. WOOD

1. WOOD MEMBERS IN CONVENTIONAL FRAMING SHALL HAVE A MINIMUM ALLOWABLE BENDING STRESS OF 1'200 PSI, & MINIMUM ALLOWABLE SHEAR STRESS OF 70 PSI AND MODULUS OF ELASTICITY OF 1'200'000 PSI AT 19% MOISTURE CONTENT IN ACCORDANCE WITH A.I.T.C. STANDARDS.
2. TRUSSES TO BE DESIGNED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF FLORIDA FOR LOADS PER APPLICABLE BUILDING CODE AND/OR AS SHOWN ON DRAWINGS.
3. WOOD MEMBERS IN CONVENTIONAL FRAMING SHALL BE SOUTHERN YELLOW PINE #2 WITH A 19% MOISTURE CONTENT.
- L. N/A.

N. CORROSION PROTECTION

1. CONCRETE FOR EXPOSED TERRACES, SLABS, BEAMS AND STAIRS SHALL HAVE RHEOCRETE 222 CORROSION INHIBITING CHEMICAL ADMIXTURE.
2. THE ADMIXTURE SHALL BE ADDED AT PLANT IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
3. REINFORCING STEEL AT AREAS EXPOSED TO WEATHER AND FOR PORTIONS OF REINFORCING STEEL THAT FORM THE PERIMETER AND HAVE LESS THAN 3" CLEAR COVER SHALL BE HOT DIPPED GALVANIZED AFTER FABRICATION. THIS SHALL INCLUDE, BUT NOT LIMITED TO ALL EXTERIOR EDGES, EXTERIOR LEGS OF PERIMETERS BEAMS AND COLUMNS AND EXTERIOR FACE LONGITUDINAL REINFORCING OF PERIMETER BEAMS.
4. STRUCTURAL STEEL SEE NOTES E.
- O. WOOD TRUSS GENERAL NOTES

THE TRUSS LAYOUT SHOWN IN THESE PLANS ARE SCHEMATIC IN NATURE, HOWEVER, THE SUPPORTING SUPERSTRUCTURE HAS BEEN DESIGNED UNDER THE ASSUMPTION THAT THE FRAMING SCHEME SHOWN WILL PARALLEL FINAL TRUSS DESIGNERS LAYOUT. THIS FRAMING SCHEME (DIRECTION OF TRUSSES, MAJOR G.T. BEARING OINTS, ETC.) CAN BE MODIFIED ONLY AFTER OBTAINING PERMISSION FROM THE ENGINEER OF RECORD WHO MUST REVIEW PROPOSED CHANGES AND AUTHORIZE STRUCTURAL REVISIONS ACCORDINGLY. FINAL SIGNED AND SEALED ENGINEERED TRUSS DESIGN MUST BE SUBMITTED TO THIS OFFICE FOR REVIEW AS PER GENERAL NOTES. TRUSS DESIGNERS MUST PROVIDE ALL TRUSS TO TRUSS CONNECTIONS AS PART OF THIS DESIGN.

ADDITIONAL NOTES FOR TIE BEAMS

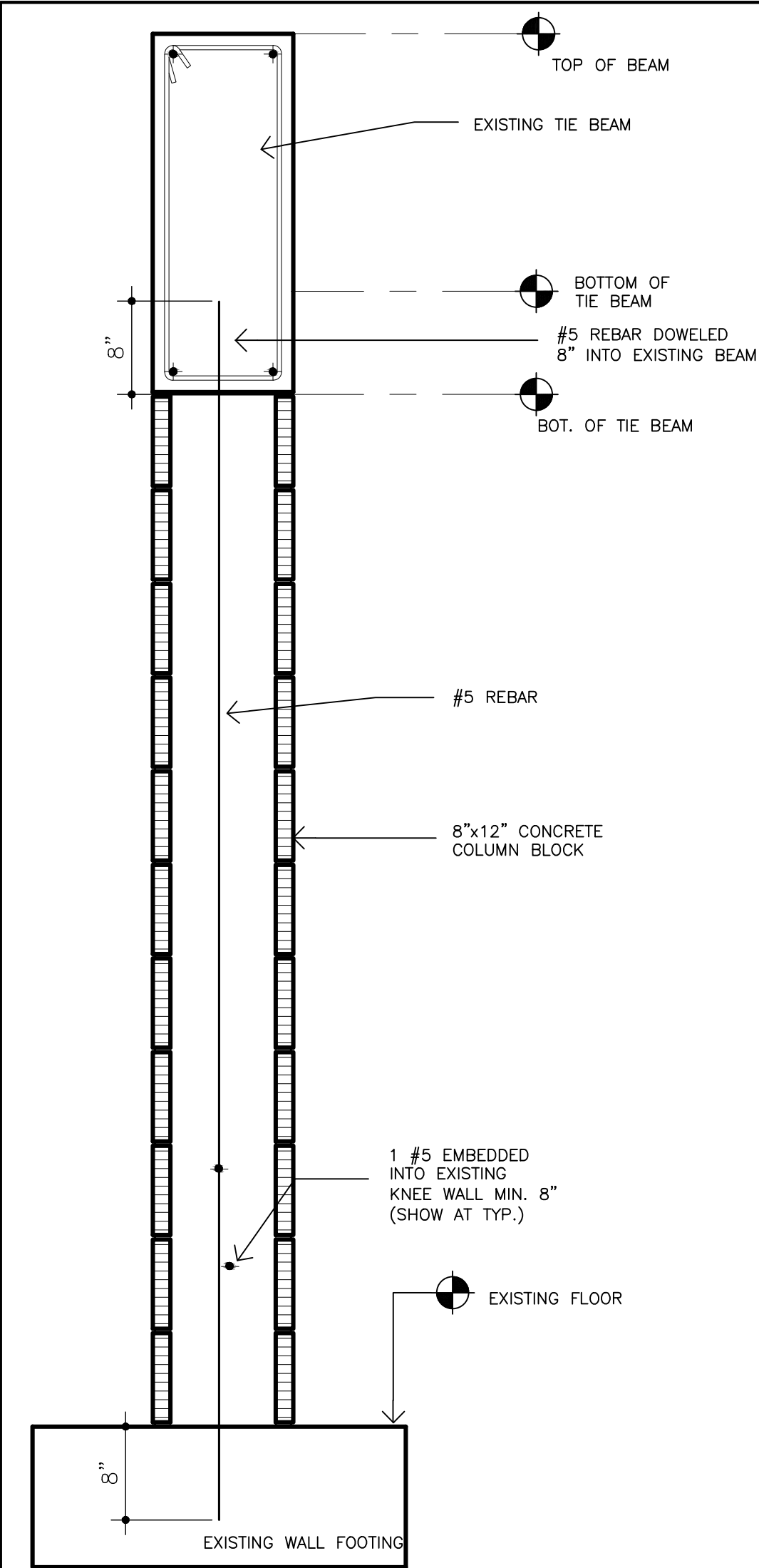
1. TYPICAL TIE BEAM REINFORCEMENT SHAL BE CONTINUOUS AND LAPS FOR TOP & BOTTOM REINFORCING SHALL BE STAGGERED.
2. WHERE TIE BEAMS FORM CORNERS OR ACUTE/OBTUSE ANGLES, THE REINFORCEMENT SHALL BE LAPPED WITH TOP & BOTTOM 2'-6" x 2'-6" LAP BARS OF MATCHING ANGLES @ ACUTE/OBTUSE ANGLES.
3. WHERE TIE BEAM TERMINATES WITHOUT FORMING A CORNER OR ANGLES, THE TOP REINFORCEMENT SHALL BE HOOKED OR EXTENDED INTO ADJACENT SLAB AS THE CASE MAY BE (PER TYP. BEAM DIAGRAM)
4. WHERE TIE BEAM OCCURS ADJACENT TO A DESIGNED BEAM, THE TIE BEAM REINFORCEMENT SHALL BE EXTENDED INTO THE DESIGNED BEAM FOR CLASS "C" LAPS.
5. UNLESS OTHERWISE NOTED TIES FOR THE TIE BEAMS SHALL BE 4 #3 @12" AT EACH CORNER & BEND & ON EACH SIDE OF INTERMEDIATE COLUMNS & FOR THE REMAINDER LENGTH PROVIDE #3 @ 48".

A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:  
"THE BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES. TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES".

SOIL STATEMENT:  
SOIL AT THIS SITE IS SAND & ROCK ADEQUATE TO SUPPORT THE DESIGN LOAD OF 2,000 PSF AFTER EXCAVATION, SIGNED & SEALED LETTER WILL BE SUBMITTED BY THE ARCHITECT OR THE ENGINEER ATTESTING THAT THE SITE HAS BEEN OBSERVED AND THE FOUNDATION CONDITIONS ARE SIMILAR TO THOSE UPON WICH THE DESIGN IS BASED ON.

LAP/SPLICE SCHEDULE	
BAR SIZE	LAP
#4 TO #8	4'-0"
#9	4'-6"

COLUMN SCHEDULE					F'c = 3,000 PSI
MARK	SIZE	REINFORCEMENT VERT. OR BASE PLATE	REINFORCEMENT TIES OR CAP PLATE	REMARKS	
(C1)	ONE BLOCK CELL	1 #5 VERTICAL	-	FULLY GROUTED CELL AND REBAR LAPPED 30" MIN.	
(C2)	12"x8"	4 #5 VERTICAL	#3 TIES @ 8" O.C.	NEW STARTER COLUMN	



1  
S1

**BLOCK WALL SECTION TYP.**  
SCALE: N.T.S

CERTIFICATE OF AUTHORIZATION # 26074  
P.E. #: 14170  
12355 SW 129 CT, SUIT 4  
MIAMI, FLORIDA 33186  
PHONE (305) 251-9177  
FAX: (305) 251-8372

**ALFREDO M. CARBONELL, P.E. Inc.**

Reviews:	
△	-
△	-
△	-
△	-
△	-

Client: **MOKAI LOUNGE**  
Project: **REFURBISHING OF EXISTING LOUNGE**  
235 23rd STREET MIAMI BEACH, FL 33139

Plan Description:

**STRUCTURAL NOTES & DETAILS**

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ALFREDO M. CARBONELL, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT VALID UNLESS SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Seal: **ALFREDO M. CARBONELL, P.E.**  
No. 14170  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

OCTOBER 16, 2020  
FLA. REG. P.E. # 14170

Designed by: **ALFREDO M. CARBONELL**  
Drawn by: **ALFREDO M. CARBONELL**  
Reviewed & Sealed: **ALFREDO M. CARBONELL**  
Date: **DECEMBER. 2. 2019**  
Scale: **AS SHOWN**  
Job No.: **2019.12-2**

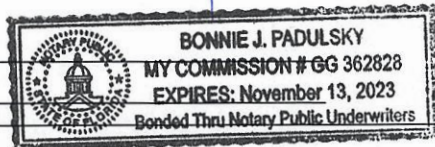
Sheet: **SI**  
1 of 2 Sheets.

Alfredo M. Carbonell

Digitally signed by Alfredo M. Carbonell  
DN: c=US, st=Florida, l=Miami, o=ALFREDO M. CARBONELL, P.E., INC., cn=Alfredo M. Carbonell, email=alfredo@acarbonell.com  
Date: 2020.10.16 13:52:55 -04'00'



Office Use Only		Applicant Information (Blue or Black Ink Only)		Building Department	
Submittal Date: <u>4/27/2020</u> Permit #: <u>BC2013488</u>		Parcel / Folio Number:  <u>02-3226-001-0520</u>		<u>11/02/2020 10:10:18 AM</u> 1700 Convention Center Drive, 2nd Floor Miami Beach, Florida 33139 Telephone: 305- 673-7610; Fax: 305-673-7857 <a href="http://www.miamibeachfl.gov/building/">http://www.miamibeachfl.gov/building/</a>	
Property Address: <u>235 23 ST</u>		Unit #:	Master Permit Number (If applicable):		Violation # (If applicable):
Permit Type (select one)		Permit Request (select all that apply)		Property Information (select one)	
<input checked="" type="checkbox"/> Building <input type="checkbox"/> Electrical <input type="checkbox"/> Mechanical <input type="checkbox"/> Plumbing <input type="checkbox"/> Roofing <input type="checkbox"/> Phased Permit <input type="checkbox"/> Demo year built <input type="checkbox"/> Generator <input type="checkbox"/> Temporary Structure <input type="checkbox"/> Fire <input type="checkbox"/> Shop Drawings		<input checked="" type="checkbox"/> New Permit <input type="checkbox"/> Change of Contractor <input type="checkbox"/> Change of Architect/Engineer <input type="checkbox"/> LEED <input type="checkbox"/> Interior, Non-Structural Only <input type="checkbox"/> Permit Extension <input type="checkbox"/> Permit Renewal <input type="checkbox"/> Permit Revision <input type="checkbox"/> Change of Use <input type="checkbox"/> Private Provider <input type="checkbox"/> City Project <input type="checkbox"/> Relieve Permit		<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Multi-Family Residential <input type="checkbox"/> Residential: Single-Family Residential or Duplex Occupancy Classification: Total Value of Work: \$ Attach a copy of the construction cost affidavit to this form	
New Construction/Addition		Alteration/Reconfiguration of Space			
Total Value: <u>341,000</u>		Square Footage: <u>3,410</u>		Value of Work: \$	
Description of Work: <u>Mokai Lounge 1. Existing Lounge to refurbished a. square footage of Building 9,552 (233 23 ST &amp; 235 23 ST) b. Square Footage of Venue 3,960 c. Square Footage of Construction 3,410 ( cont'd next page)</u>					
Property Owner			Contractor		
Name: <u>Alar-Ver Properties Inc.</u>			Name: <u>Peninsula Plumbing Inc.</u>		
Address: <u>P.O. Box 402694</u>			Address: <u>206 SW 22 Road</u>		
City: <u>Miami Beach</u>	State: <u>FL</u>	Zip Code: <u>33140</u>	City: <u>Miami</u>	State: <u>FL</u>	Zip Code: <u>33129</u>
Driver's License/ State Identification Number:			State Identification Number/License: <u>CGC1509221</u>		
E-Mail Address: _____ Daytime phone: _____			E-Mail Address: <u>frank@peninsulaplumbingfl.com</u> Daytime phone: <u>305-525-4833</u>		
Architect			Structural Engineer		
Name: _____ License Number: _____			Name: <u>Alfredo M. Carbonell P.E. Inc.</u> License Number: <u>14170</u>		
E-Mail Address: _____ Daytime phone: _____			E-Mail Address: <u>Alfredo@acarbonell.com</u> Daytime phone: <u>305-608-8926</u>		
Notice & Certification					
This application is hereby made to obtain a permit to do the work and installations as indicated. I certify that all work will be performed to meet the standards of all laws and construction regulations in this jurisdiction. I understand that a separate permit must be secured for Electrical, Elevator, Fire, Mechanical, Plumbing, Signs, Wells, Pools, Furnaces, Boilers, Heaters, Tanks, Air Conditioners, etc. <b>Owner's Affidavit:</b> I certify that all the foregoing information is correct. Owner Certifies that the aforementioned Contractor has the authorization to perform the work as specified above. <b>Lessee's Affidavit:</b> Lessee certifies that he has full consent and authorization from owner of subject property to perform the above-mentioned work and to hire above captioned contractor. In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as: the Environmental Division of Miami-Dade County; Permitting, Environment and Regulatory Affairs, Water & Sewer Department, Department of Environmental Protection, South Florida Water Management District, Miami-Dade County Impact Fee, water management districts, state agencies, and/or federal agencies. Under penalties of perjury, I declare that to the best of my knowledge, the facts stated in this document are true. Any information found to be false may cause the revocation and/or denial of the permit and/or Certificate of Occupancy.					
OWNER'S ELECTRONIC SUBMISSION STATEMENT: Under penalty of perjury, I declare that all the information contained in this permit application is true and correct.					
<input type="checkbox"/> Owner/Lessee for new permits (Documentation establishing ownership may be requested). <input type="checkbox"/> TEMPORARY STRUCTURE PERMIT PACKAGE MUST BE SUBMITTED TWO (2) WEEKS IN ADVANCE.* <input type="checkbox"/> Master Permit Contractor of Record (For sub-permit / change of contractor).					
<b>WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT IS REQUIRED FOR ANY WORK WITH COST EXCEEDING \$2,500.00.</b>					
Signature of Owner/Agent or GC (for Sub-permits): _____ PRINT NAME: <u>HUGO Ruiz as VP ALAR-VER PROPERTIES</u> STATE OF <u>Florida</u> COUNTY OF <u>Miami-Dade INC.</u> Sworn to and subscribed before me this <u>16</u> day of <u>March</u> , 20 <u>20</u> by <u>HUGO Ruiz</u> Signature of Notary Public: _____ Print Name: <u>Bonnie J. Padulsky</u>			Signature of Qualifier: _____ PRINT NAME: _____ STATE OF _____ COUNTY OF _____ Sworn to and subscribed before me this _____ day of _____, 20____ by _____ Signature of Notary Public: _____ Print Name: _____		
(SEAL) Personally known _____ or Produced Identification _____			(SEAL) Personally known _____ or Produced Identification _____		



**Reviewed For Compliance**

2. Relocate Existing Bar and Equipment 3. Relocate Electrical Devices Refer to Electrical Plans 4. Relocate Plumbing Equipment. Refer to Plumbing Plans 5. No Change 6. Change Mechanical / HVAC System. Existing to Remain 6. Change layout of existing tables and chairs 7. Remove and close two existing exterior door openings on 23 St (South Façade) a. Provide new cbs wall in lieu of existing doors on 23 St (South Façade) b. New Door opening on (East Façade) 8. Create New Opening for Exterior Door on (East Façade) as shown on plans 9. Change layout of restroom. Refer to Layout and Plumbing Plans 10. Provide Framing and Drywall as shown on plans with sound attenuation Barrier Wall Type on 23 St (South Façade) a. New Soundproofed partition to mitigate sound transmission to the exterior



## FLOORPLAN SKETCH

Borrower: ALAR-VER PROPERTIES INC	File No.: 2018720-PRV3470
Property Address: 233 23 ST	Case No.:
City: Miami Beach	State: FL
Lender: ALAR-VER PROPERTIES INC	Zip: 33139

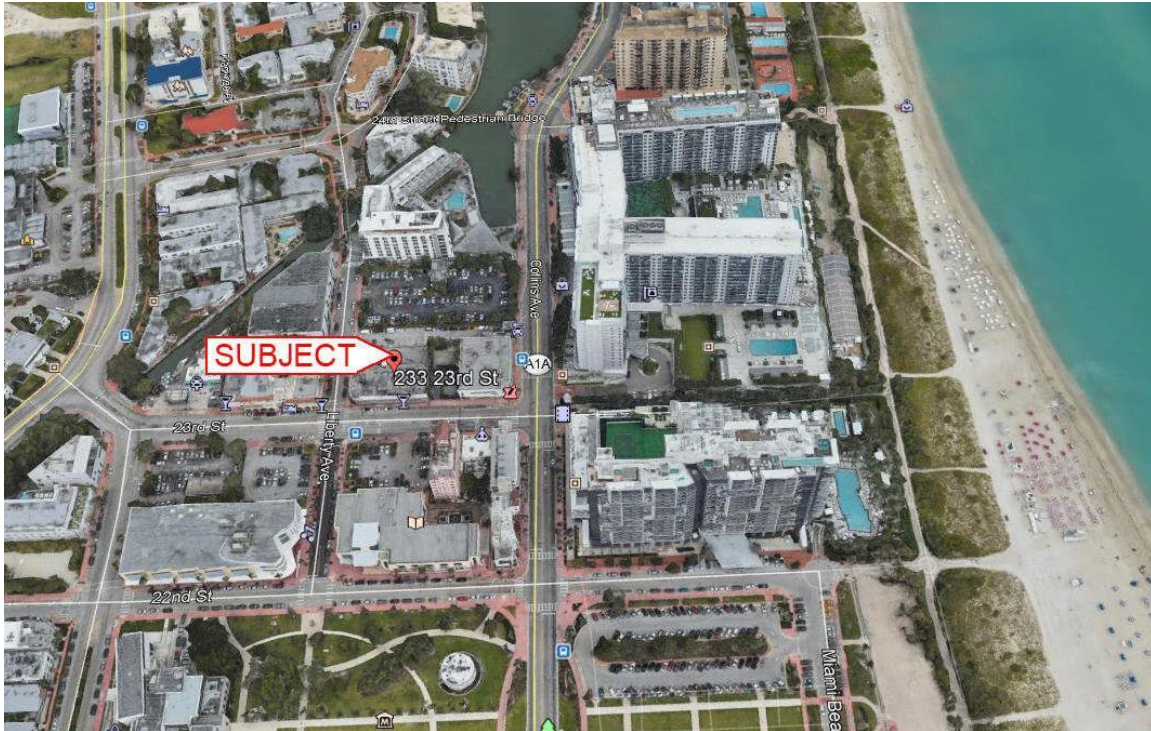
Sketch

First Floor  
[Area: 9061 ft<sup>2</sup>]

Dimensions: 60', 109', 118', 26', 40', 83', 23' 9 1/2'

Living Area		Area Calculation	
First Floor	9061.01 ft <sup>2</sup>	First Floor	x 1.00 = 9061.01 ft <sup>2</sup>
		40' x 26' x	1.00 = 1040 ft <sup>2</sup>
		118' x 60' x	1.00 = 7080 ft <sup>2</sup>
		24' 0 1/2" x 17' x	0.35 = 444.5 ft <sup>2</sup>
		43' x 17' x	1.00 = 731 ft <sup>2</sup>
Total Living Area (rounded): 9061 ft <sup>2</sup>		Arc: Chord: 24' 0 1/2" Arc: 4'	63.91 ft <sup>2</sup>

### Aerial photograph





### Photographs

FRONT



STREET



REAR



SW CORNER





INTERIOR VIEW



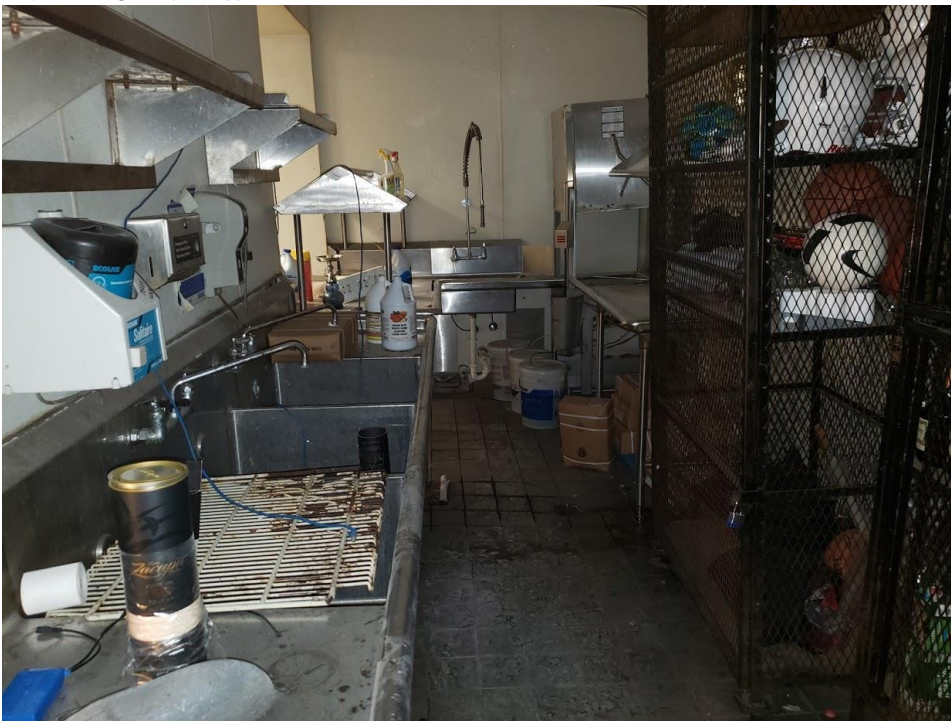
INTERIOR VIEW



INTERIOR VIEW

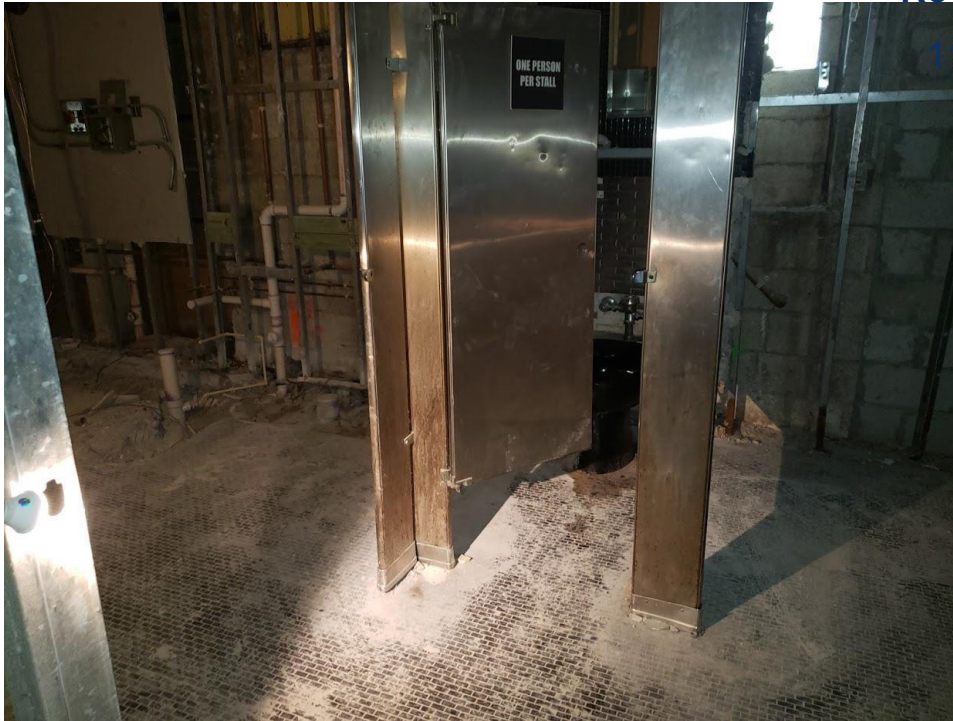


INTERIOR VIEW





INTERIOR VIEW



INTERIOR VIEW

