

ELEVEN 44

MULTI-FAMILY RESIDENTIAL PROJECT

1144 MARSEILLE DRIVE
MIAMI BEACH, FLORIDA 33141

HISTORICAL PRESERVATION BOARD & ZONING SUBMITTAL

FINAL SUBMITTAL APRIL 5TH, 2021

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AERIAL PHOTO VIEW LOOKING FROM NORTHEAST



AERIAL PHOTO VIEW LOOKING FROM NORTHWEST



AERIAL PHOTO VIEW LOOKING FROM SOUTHWEST



AERIAL PHOTO VIEW LOOKING FROM SOUTHEAST



MARSEILLES DRIVE STREET VIEW LOOKING WEST



MARSEILLE DRIVE STREET VIEW LOOKING EAST

PHOTOGRAPHS TAKEN ON 11/06/2020

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

A03





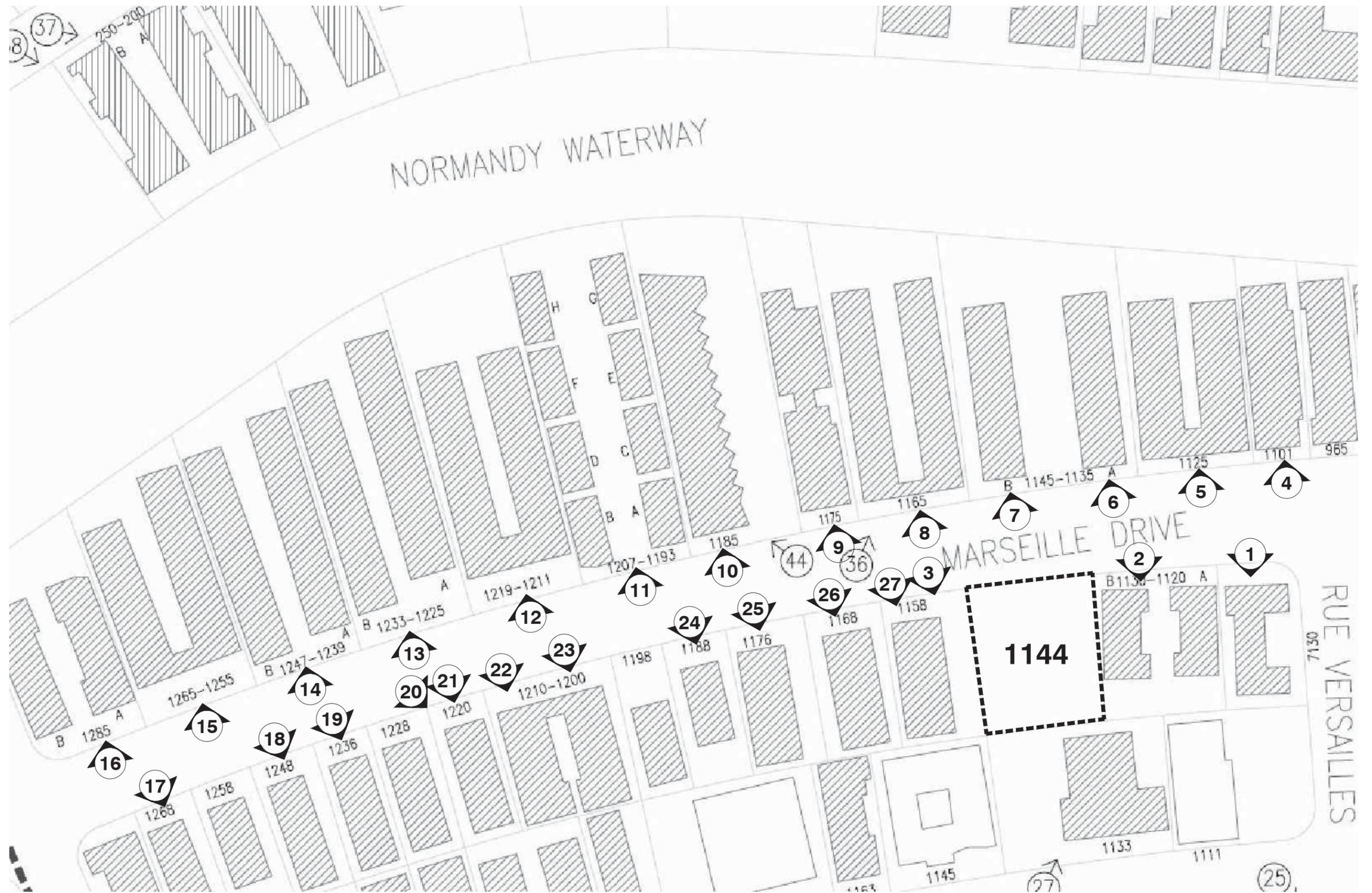
STREET NORTH VIEW OF VACANT PROJECT SITE FROM MARSEILLE DRIVE

PHOTOGRAPHS TAKEN ON 11/06/2020

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

A04





CONTRIBUTING BUILDINGS PHOTO LEGEND



PHOTO 1 - #1127



PHOTO 2 - #1130



PHOTO 3 - #1158



PHOTO 4 - #1101



PHOTO 5 - #1125



PHOTO 6 - #1135-1145



PHOTO 7 - #1177



PHOTO 8 - #1165



PHOTO 9 - #1145

PHOTOGRAPHS TAKEN ON 11/06/2020





PHOTO 10 - #1193-1207



PHOTO 11 - #1193-1207



PHOTO 12 - #1185



PHOTO 13 - #1255-1265



PHOTO 14 - #1247



PHOTO 14 - #1225-1233



PHOTO 16 - #1275-1285



PHOTO 17 - #1268



PHOTO 18 - #1248

PHOTOGRAPHS TAKEN ON 11/06/2020

A07





PHOTO 19 - #1236-1240



PHOTO 20 - #1220



PHOTO 21 - #1220



PHOTO 22 - #1210



PHOTO 23 - #1200



PHOTO 24 - #1185



PHOTO 25 - #1176



PHOTO 26 - #1168



PHOTO 27 - #1158

PHOTOGRAPHS TAKEN ON 11/06/2020



CONTACT PHONE NUMBERS:
 MIAMI-DADE COUNTY DEVELOPMENT SERVICES
 DIVISION: (305) 375-2800
 MIAMI-DADE COUNTY
 LAND DEVELOPMENT DIVISION: (305) 375-2141
 CITY OF MIAMI BEACH BUILDING DEPT.: (305) 673-7610

PROPERTY ADDRESS:
 1144 MARSEILLE DRIVE
 MIAMI BEACH, FL 33141

FOLIO NUMBER:
 02-3210-013-1110

LAND AREA:
 13,274± SQ. FT.

STATEMENT OF ENCROACHMENTS:

1. CHAIN LINK FENCE AT SW CORNER OF PROPERTY ENDOACHES 0.5' OVER PROPERTY LINE.

NO EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS HAVE BEEN NOTICED.

THERE IS NO PHYSICAL EVIDENCE THAT THE SITE WAS EVER USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

UTILITY COMPANIES:

Florida Power & Light - 305-377-8108
 AT&T - 786-489-6418
 Water & Sewer - NIFTA RINCON 305-372-6639

ZONED:

RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY

SITE RESTRICTIONS:

ALL SITE RESTRICTIONS WERE OBTAINED ON FEBRUARY 23, 2021 PER CODE OF THE CITY OF MIAMI BEACH, FLORIDA - CHAPTER 142-ZONING DISTRICTS AND REGULATIONS, ARTICLE II- DISTRICT REGULATIONS, DIVISION 3- RESIDENTIAL MULTIFAMILY DISTRICTS, SUBDIVISION II-RM-1 RESIDENTIAL MULTIFAMILY LOW INTENSITY.
 FOR OFFICIAL INFORMATION, PLEASE REFER TO THE CODE OF THE CITY OF MIAMI BEACH, FLORIDA.

LOT AREA, LOT WIDTH, UNIT SIZE AND BUILDING HEIGHT REQUIREMENTS:

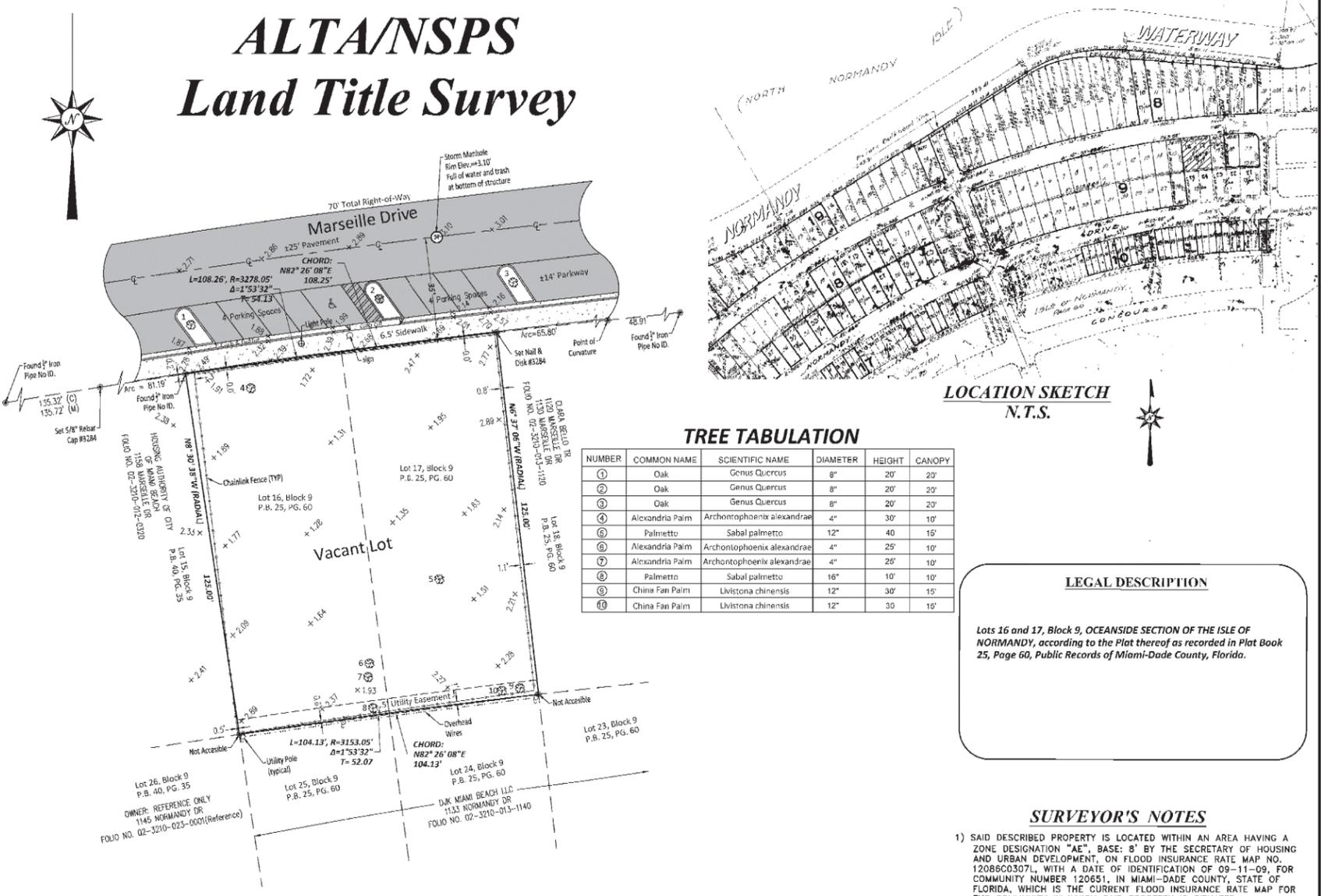
Minimum Lot Area (Square Feet)	Minimum Lot Width (Feet)	Minimum Unit Size (Square Feet)	Average Unit Size (Square Feet)	Maximum Building Height (Feet)
5,600	50	New construction—550 Non-elderly and elderly low and moderate income housing—400 Workforce housing—400 Rehabilitated buildings—400 Hotel units: 12% 300-335 85% 335+ For contributing hotel structures, located within an individual historic site, a local historic district or a national register district, which are renovated in accordance with the Secretary of the Interior Standards and Guidelines for the Rehabilitation of Historic Structures as amended, retaining the existing room configuration and sizes of at least 200 square feet shall be permitted. Additionally, the existing room configurations for the above described hotel structures may be modified to address applicable life-safety and accessibility regulations, provided the 200 square foot minimum unit size is maintained, and provided the maximum occupancy per hotel room does not exceed 4 persons. Hotel units within rooftop additions to contributing structures in a historic district and individually designated historic buildings—200	New construction—800 Non-elderly and elderly low and moderate income housing—400 Workforce housing—400 Rehabilitated buildings—550. The number of units may not exceed the maximum density set forth in the comprehensive plan. For contributing hotel structures, located within an individual historic site, a local historic district or a national register district, which are renovated in accordance with the Secretary of the Interior Standards and Guidelines for the Rehabilitation of Historic Structures as amended, retaining the existing room configuration and sizes of at least 200 square feet shall be permitted. Additionally, the existing room configurations for the above described hotel structures may be modified to address applicable life-safety and accessibility regulations, provided the 200 square foot minimum unit size is maintained, and provided the maximum occupancy per hotel room does not exceed 4 persons. Hotel units within rooftop additions to contributing structures in a historic district and individually designated historic buildings—200	Historic district—40 Planning Park Local Historic District—35 in section 142-1161 Otherwise—50 70' for properties outside a local historic district with a ground level consisting of non-habitable parking and/or amenity uses—55

SETBACK REQUIREMENTS:

	Front	Side, Interior	Side, Facing a Street	Rear
Algebraic parking lot on the same lot except where (c) below is applicable	70 feet	Single lots less than 65 feet in width: 5 feet; otherwise 10 feet, or 8% of lot width, whichever is greater	Single lots less than 65 feet in width: 5 feet; otherwise 10 feet, or 8% of lot width, whichever is greater	5 feet abutting an alley, otherwise 10% of the lot depth
Subterranean and pedestal	23 feet Except lots A and 1-30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231-237 of the Amended Plat of First Ocean Front Subdivision—50 feet	Single lots less than 65 feet in width: 7.5 feet. Lots equal to or greater than 65 feet in width: Minimum 10 feet or 8% of lot width, whichever is greater, and sum of the side yards shall equal 15% of lot width. Notwithstanding the foregoing, rooftop additions to contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming side interior pedestal setbacks.	Single lots less than 65 feet in width: 7.5 feet. Lots equal to or greater than 65 feet in width: Minimum 10 feet or 8% of lot width, whichever is greater, and sum of the side yards shall equal 15% of lot width. Notwithstanding the foregoing, rooftop additions to contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming rear pedestal setbacks.	10% of lot depth. Notwithstanding the foregoing, rooftop additions to non-contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming rear pedestal setbacks.
Tower	20 feet + 1 foot for every 1 foot increase in height above 50 feet, to a maximum of 50 feet; they shall remain constant. Except lots A and 1-30 of the Amended Plat Indian Beach Corporation Subdivision and lots 231-237 of the Amended Plat of First Ocean Front Subdivision—50 feet.	The required pedestal setback plus 10% of the height of the tower portion of the building. The total required setback shall not exceed 50 feet. Notwithstanding the foregoing, rooftop additions to contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming side interior pedestal setbacks.	Sum of the side yards shall equal 16% of the lot width. Minimum 10 feet or 8% of lot width, whichever is greater.	15% of lot depth. Notwithstanding the foregoing, rooftop additions to non-contributing structures in a historic district and individually designated historic buildings may follow existing nonconforming rear pedestal setbacks.

LEGEND

WM	WATER METER
CB	CATCH BASIN
FH	FIRE HYDRANT
CL	CLEAN OUT
SM	SANITARY MANHOLE
ST	STORM MANHOLE
PM	FPL MANHOLE
BS	BELL SOUTH MANHOLE
IN	INLET
WV	WATER VALVE
GV	GAS VALVE
UP	UTILITY POLE
CU	CONCRETE UTILITY POLE
TR	TRAFFIC BOX
TRT	TRIT
PB	PLAT BOOK
PG	PAGE
SF	SQUARE FEET
+	MORE OR LESS
ELEV.	ELEVATION
INV.	INVERT
CL	CENTERLINE
M	CITY OF MIAMI MONUMENT LINE
PL	PROPERTY LINE
FNCR	ENCROACHMENT
(M)	MEASURED
(P)	PLAT
(C)	CALCULATED
—	OVERHEAD POWER LINES
—	WATER MAIN
—	SEWER MAIN
—	TELEPHONE LINE
—	GAS LINE
—	CHAIN LINK FENCE
—	BACKFLOW PREVENTER
⊕	HANDICAP PARKING
⊕	ELECTRIC BOX
⊕	COLUMN
TBM	TEMPORARY BENCH MARK
⊕	STREET LIGHT POLE



TREE TABULATION

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
1	Oak	Genus Quercus	8"	20'	20'
2	Oak	Genus Quercus	8"	20'	20'
3	Oak	Genus Quercus	8"	20'	20'
4	Alexandria Palm	Archontophoenix alexandrae	4"	30'	10'
5	Palmetto	Sabal palmetto	12"	40'	15'
6	Alexandria Palm	Archontophoenix alexandrae	4"	25'	10'
7	Alexandria Palm	Archontophoenix alexandrae	4"	26'	10'
8	Palmetto	Sabal palmetto	16"	10'	10'
9	China Fan Palm	Livistona chinensis	12"	30'	15'
10	China Fan Palm	Livistona chinensis	12"	30'	15'



LEGAL DESCRIPTION

Lots 16 and 17, Block 9, OCEANSIDE SECTION OF THE ISLE OF NORMANDY, according to the Plat thereof as recorded in Plat Book 25, Page 60, Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES

- SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "AE", BASE: 8' BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 12085C0307L, WITH A DATE OF IDENTIFICATION OF 09-11-09, FOR COMMUNITY NUMBER 120551, IN MIAMI-DADE COUNTY, STATE OF FLORIDA, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- LOCATION AND IDENTIFICATION OF UTILITIES, IF ANY ARE SHOWN IN ACCORDANCE WITH RECORDED PLAT.
- OWNERSHIP IS SUBJECT TO OPINION OF TITLE.
- TYPE OF SURVEY: ALTA/NSPS LAND TITLE SURVEY
- LEGAL DESCRIPTION: FURNISHED BY CLIENT
- THIS SURVEY IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER
- THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTIES.
- UNDERGROUND UTILITIES ARE NOT DEPICTED HEREON, CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK OR CONSTRUCTION ON THE PROPERTY HEREIN DESCRIBED. SURVEYOR SHALL BE NOTIFIED AS TO ANY DEVIATION FROM UTILITIES SHOWN HEREON.
- THE SURVEYOR OF RECORD DOES NOT DETERMINE OWNERSHIP OF FENCES. MEASUREMENTS SHOWN HEREON DEPICT PHYSICAL LOCATION OF FENCE
- WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1:7500FT.
- IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHOWN SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.
- NO ATTEMPT HAS BEEN MADE TO LOCATE ANY FOUNDATION BENEATH THE SURFACE OF THE GROUND.

IF ELEVATIONS ARE SHOWN, THEY ARE BASED ON A CLOSED LEVEL LOOP USING THIRD ORDER PROCEDURE AND ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 +0.0 DENOTES EXISTING ELEVATION
 ELEVATION REFERS TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. BENCHMARK: A-23-R ELEVATION: +2.26' (NAVD88)

TITLE COMMITMENT PER OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY.
 POLICY NO.: 0F6-8198556, AGENT'S FILE REFERENCE: 14-04-967
 DATE OF POLICY: MAY 8, 2014 @ 08:45 AM

SCHEDULE B EXCEPTIONS

- ITEM NO. 1 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 2 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 3 SURVEY SHOWN ON THIS PAGE
- ITEM NO. 4 EASEMENTS PROVIDED TO SURVEYOR PLOTTED AS SHOWN
- ITEM NO. 5 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 6 NOT A SURVEYING MATTER NOT PLOTTABLE
- ITEM NO. 7 PLAT OF OCEAN SIDE SECTION OF THE ISLE OF NORMANDY P.B. 25, PG. 60 AFFECTS PROPERTY BLANKET IN NATURE PLOTTED AS SHOWN
- ITEM NO. 8 DEED BOOK 1381, PG. 525 DEED BOOK NOT PROVIDED TO SURVEYOR

THE PROPERTY HAS DIRECT PHYSICAL ACCESS TO MARSEILLE DRIVE, A DEDICATED PUBLIC STREET.

PARKING NOTE

THE TOTAL NUMBER OF STRIPED PARKING SPACES REQUIRED BY LOCAL ZONING ORDINANCE IS _____, INCLUDING _____ DESIGNATED AS HANDICAPPED SPACES. THE NUMBER OF ACTUAL STRIPED PARKING SPACES LOCATED ON THE SUBJECT PROPERTY IS 0, INCLUDING 0 DESIGNATED AS HANDICAPPED SPACES.

CERTIFICATION

To: HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 6(b), 7(a), 8, 9, 13, 16, and 19 of Table A thereof. The fieldwork was completed on 02-23-2021.
 Date of Plat or Map: 02-23-2021
 By: Waldo F. Paetz, Professional Surveyor and Mapper No. LS3284 State of Florida
 DELTA MAPPING AND SURVEYING, INC.
 13301 S.W. 132ND AVENUE
 SUITE 117
 MIAMI, FL 33186
 LB No. 7950
 TEL: 786-429-1024
 FAX: 786-592-1152

THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS SITUATED ON THE ABOVE PREMISES. THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON ADJACENT LAND ABUTTING SAID PROPERTY EXCEPT AS SHOWN HEREON AND WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF FLORIDA.

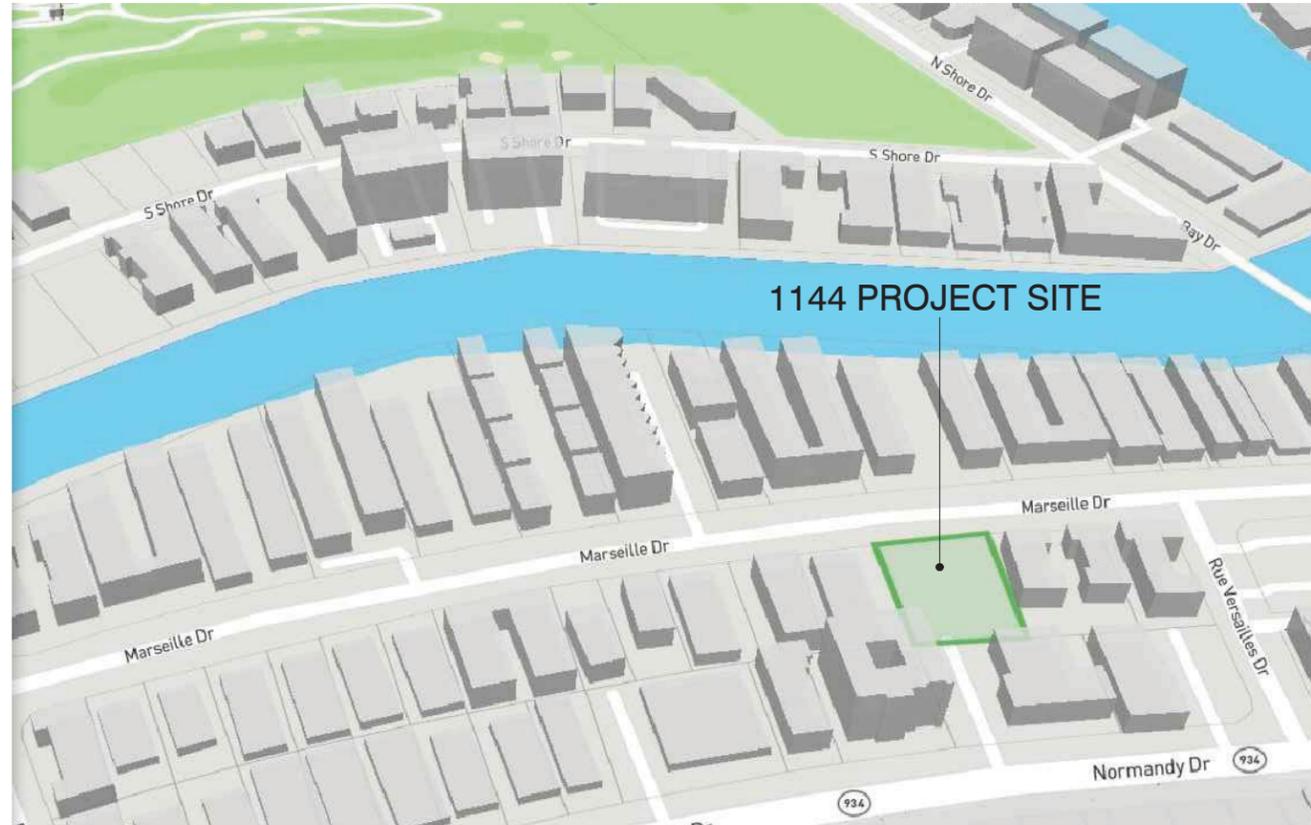
Delta Mapping and Surveying, INC.
 13301 SW 132nd AVENUE MIAMI, FL 33186
 SUITE 117 PHONE: (786) 429-1024

Surveyors, Land Planners & Mappers

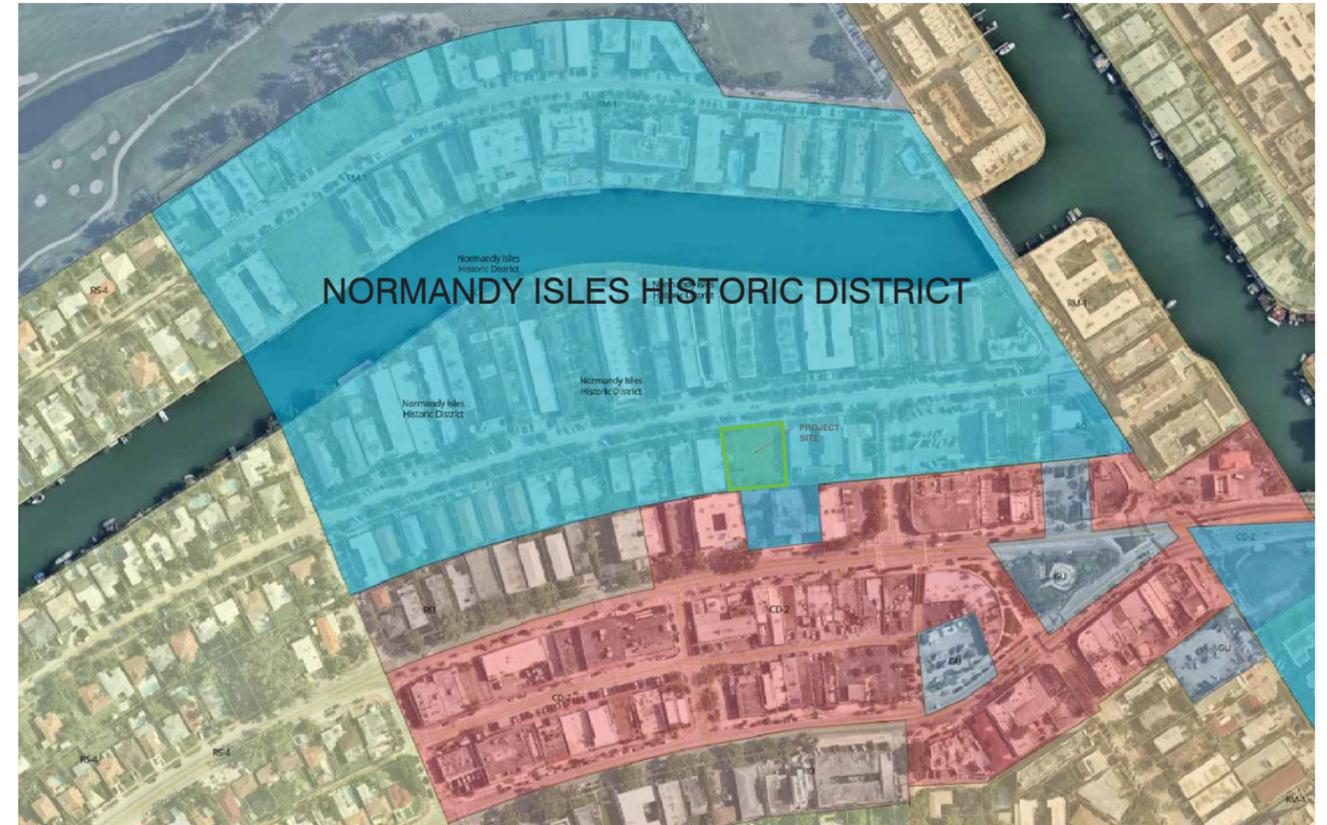
ALTA/NSPS SURVEY

REVISIONS	DATE	REMARKS

DATE: 02-23-2021
 SCALE: 1" = 20'
 DRAWN BY: V.C.
 DRAWING NO: 21-0022
 SHEET NO: 1 of 1



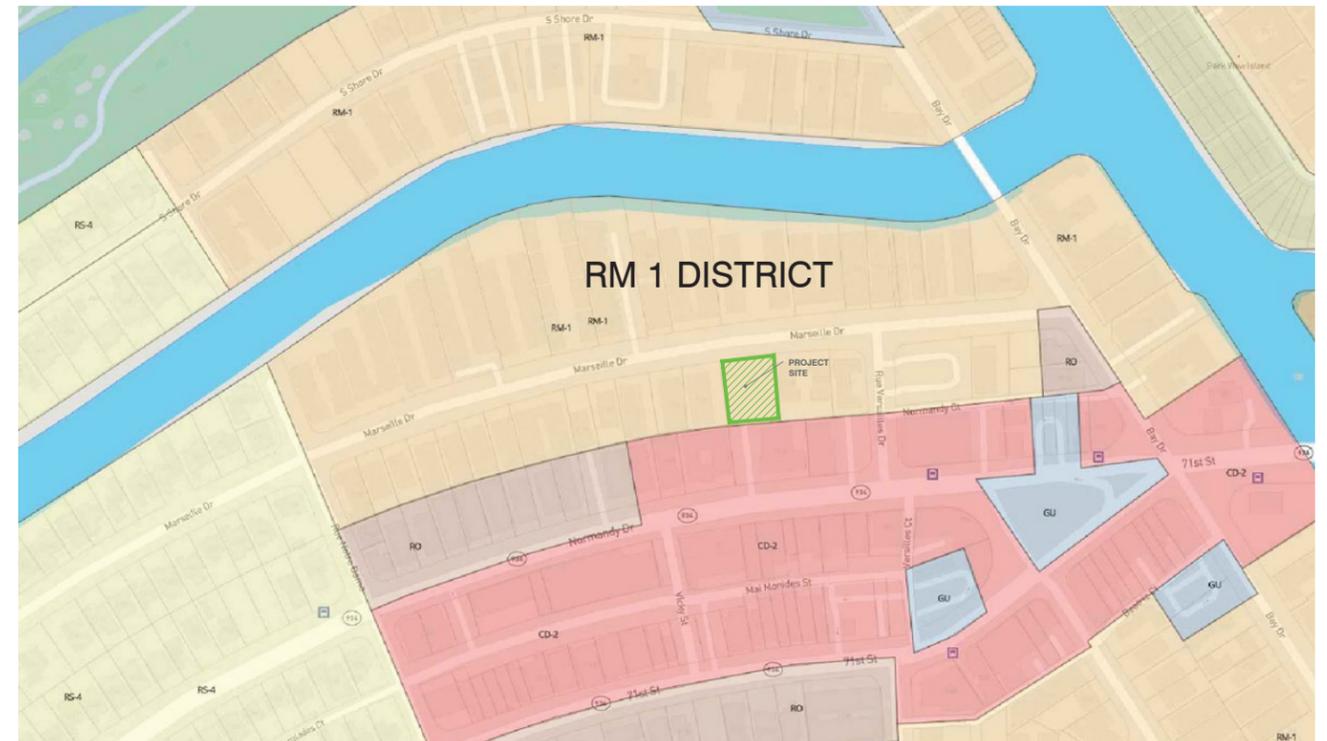
MARSEILLES DRIVE VOLUMETRIC AERIAL OVERVIEW MAP



NORMANDY ISLE HISTORICAL DISTRICT PHOTO MAP



PARKING DISTRICT 1 MAP



PRIMARY ZONING DISTRICT - RM-1



LOCATION MAP



CRESCENT- 1420 Ocean Dr, Miami Beach

2



HENROSA HOTEL - 1435 Collins Ave, Miami Beach

1



MC ALPIN - 1430 Ocean Dr, Miami Beach

4



STEVEN CHAYKIN APARTMENTS - 321-327 Michigan Ave, Miami Beach

3



LOCATION MAP



7330 Harding Ave, Miami Beach

5



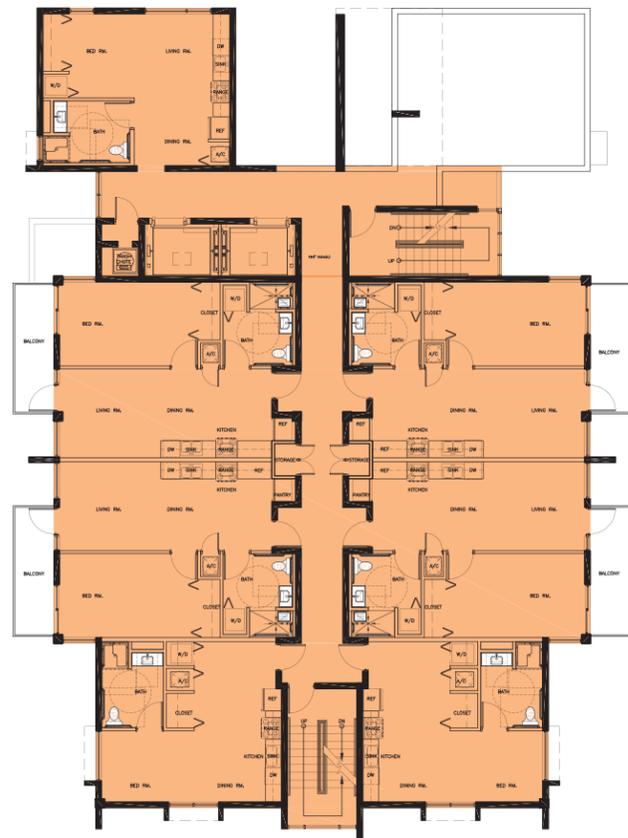


SETBACK REQUIREMENTS - PARKING (SECTION 142-156(a)) (AS ALLOWED BY NBNRCD OVERLAY SECTION 142-870.15(e)(1)) AND SECTION 142-870.18(d))	REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
PARKING DISTRICT	PARKING DISTRICT 1		
TOTAL PARKING SPACES ((Sec 130-32.(6B))	22 X 0.5 = 11 SPACES	12 SPACES	
BICYCLE SPACES	-	4 SPACES	
FRONT	20 FT. MIN.	54 FT. - 2 IN.	
INTERIOR SIDE (LOT WIDTH OF 65 FEET OR GREATER)	10 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)*	10'-0" FT. EAST 9'-0" FT. WEST (UNDER BUILDING)	
STREET SIDE	10 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)	N/A	
REAR * 8% OF LOT WIDTH (108.26 FT. X 0.08 = 8.66 FT.) **10% OF LOT DEPTH (125.0 FT. X 0.1 = 12.5 FT.)	10% OF THE LOT DEPTH (MIN.)*	12.5 FT.	
PARKING SPACE DIMENSION STANDARD	8.5' X 18'	8.5' X 18'	
PARKING CONFIGURATION	90 DEGREES	90 DEGREES	
ADA SPACES	0-25 = 1 ADA SPACE	1 ADA SPACE	
TANDEM PARKING SPACES	ALLOWED	0 PROVIDED	
DRIVE AISLE WIDTH	22 FT WIDTH	22 FT WIDTH	
FLOOD MANAGEMENT INFORMATION			
FLOOD ZONE:	AE		
BASE FLOOD ELEVATION (BFE):	8.0' N.G.V.D (6.44' NAVD)		
DESIGN FLOOD ELEVATION (DFE):	9.0' N.G.V.D (BFE+1.0')		
LOWEST FFE OF HABITABLE SPACE:	9.0' N.G.V.D (7.44' NAVD)		
LOWEST GRADE ELEVATION ADJACENT TO THE BUILDING:	3.33' N.G.V.D (1.77' NAVD)		
HIGHEST GRADE ELEVATION ADJACENT TO THE BUILDING:	4.45' N.G.V.D (2.89' NAVD)		
LOWEST ELEVATION OF EQUIPMENT SERVICING THE BUILDING:	9.0' N.G.V.D DFE (7.44' NAVD)		
GRADE AT SIDEWALK	4.24' N.G.V.D (2.68' NAVD)		
CROWN OF ROAD ELEVATION:	4.45' N.G.V.D (3.89' NAVD)		
ADJUSTED GRADE ELEVATION:	6.12' N.G.V.D (4.56' NAVD)		
FIRM MAP NUMBER:	12086C0307L - IDEN:09-11-09 - COM#:120651		

CITY OF MIAMI BEACH - ZONING DATA TABULATION

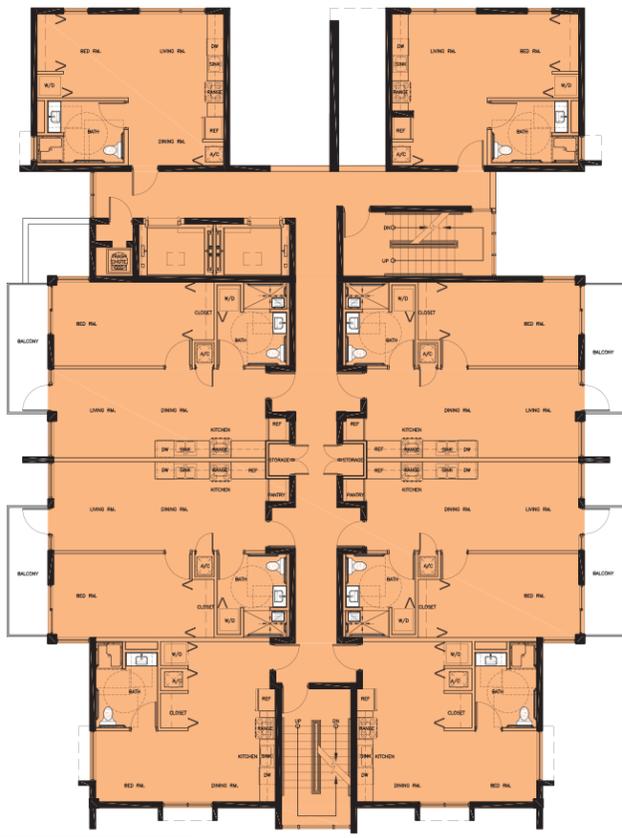
GENERAL SITE DATA				
LEGAL DESCRIPTION:	OCEAN SIDE SEC ISLE OF NORMANDY, PB 25 60, LOTS 16 & 17 BLK 9, LOT SIZE 106.000 X 125, OR 16057-1987 0793 1, COC 25891-2198 08 2007 1			
ADDRESS:	1144 MARSEILLE DRIVE, MIAMI BEACH, FLORIDA 33141			
FOLIO:	02-3210-013-1110			
FLOOD ZONE:	AE			
DESIGN FLOOD ELEVATION, MIN.:	9.0' N.G.V.D			
GRADE SIDEWALK ELEVATION:	4.24' N.G.V.D			
FIRST FLOOR LEVEL:	EL. +0'-0" = +9.00' N.G.V.D			
SITE SIZE:	13,274 S.F. (.30 ACRE)			
STREET FRONTAGE OF SITE:	108.25'			
CATEGORY / USE PROPOSED:	AFFORDABLE MULTI-FAMILY DWELLING HOUSING - NON-ELDERLY			
ZONING DATA				
ZONING DISTRICT - UNDERLYING:	RM-1, RESIDENTIAL MULTIFAMILY, LOW INTENSITY			
OVERLAY DISTRICT:	NORMANDY ISLE HISTORIC DISTRICT			
DEVELOPMENT REGULATIONS (SECTION 142-870.15(a))		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
MINIMUM DEVELOPABLE LOT AREA (S.F.)		5,000 S.F. MIN.	13,274 S.F.	
MINIMUM DEVELOPABLE LOT WIDTH		50 FT. MIN.	108.25 FT.	
MAXIMUM DEVELOPABLE LOT WIDTH		N/A (AFFORDABLE HOUSING SHALL HAVE NO MAXIMUM LOT WIDTH RESTRICTION)*	N/A	* NO MINIMUM OR MAXIMUM YARD ELEV. REQ., OR MAXIMUM LOT COVERAGE REQ. (SEC.142-870.15 (c)(2))
MAXIMUM DEVELOPABLE AGGREGATION (PLATTED LOTS)		2 LOTS MAXIMUM	2 AGGREGATE LOTS	
AREA REQUIREMENTS (SECTION 142-155(a)(1))		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
FLOOR AREA RATIO		FAR: 1.25 MAX. LOT 13,274 X 1.25 = 16,592 S.F.	16,160 S.F.	
UNIT SIZE REQUIREMENTS (SECTION 142-870.15(b))		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
MINIMUM UNIT SIZE (NEW CONSTRUCTION)		400 S.F. MIN.	STUDIO 400 S.F.	
AVERAGE UNIT SIZE (AFFORDABLE HOUSING)		550 S.F. AVERAGE	STUDIO 400 S.F. (10 DU) 1 BED RM 550 S.F. (12 DU)	
HEIGHT REQUIREMENTS (SECTION 142-870.15(c))		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
HEIGHT OF FIRST 25 FEET OF BUILDING DEPTH		32 FT. MAX. AT FIRST 25 FT *	30FT. - 6 IN. AT FIRST 20 FT *	* REQUEST HPB APPROVAL FOR 20 FT (SEC.142-870.15 (c)(1))
HEIGHT OF REMAINDER OF BUILDING DEPTH		45 FT. MAX.	40 FT. - 6 IN.	
SETBACK REQUIREMENTS - BUILDING (SECTION 142-870.15 (d)(e)) - NBNRCD OVERLAY		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
FRONT		20 FT. MIN.	21 FT. - 6 IN.	
INTERIOR SIDE (LOT WIDTH OF 61 FEET OR GREATER)		7.5 FT. OR 8% OF LOT WIDTH WHICHEVER IS GREATER (MIN.)*	29'-10" FT. EAST 8'-8" FT. WEST	
STREET SIDE		5 FT. MIN.	N/A	
REAR		5 FT. MIN.	5 FT. - 8 IN.	
* 8% OF LOT WIDTH (108.26 X 0.08 = 8.66 FT.)				
GROUND FLOOR REQUIREMENT		12 FT. MIN. HEIGHT FROM BASE FLOOD PLUS FREEBOARD TO UNDERSIDE OF SLAB *	10 FT. *	* REQUEST HPB WAIVE HEIGHT REQUIREMENT TO 10 FT. (SEC.142-870.15 (d)(1)(a.))
LOT AGGREGATION GUIDELINES - (SECTION 142-870.16) - NBNRCD OVERLAY		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
ACKNOWLEDGE ORIGINAL PLATTING OF ASSEMBLED PARCELS		2 PARCELS AGGREGATED	YES	
WIDTH OF ANY NEW BUILDING		85 FT. MAX.	64 FT.	
SEMI-PUBLIC OUTDOOR AREA		500 SQ. FT.	806 SQ. FT.	
DESIGN AND RESILIENCY STANDARDS (SECTION 142-870.17) - NBNRCD OVERLAY		REGULATION CRITERIA	PROVIDED DESIGN	REMARKS
NATURALLY LANDSCAPED AREA GROUND LEVEL		(664 SQ. FT.) 5% LOT	(754 SQ. FT.) 5.7% LOT	
ALL CONSTRUCTION AND FINISH MATERIALS BELOW DESIGN FLOOD ELEVATION (BFE + 1.0' = 9.0' N.G.V.D.) SHALL BE FLOOD-DAMAGE RESISTANT MATERIALS (ASCE 24-05 CH. 5.0)				





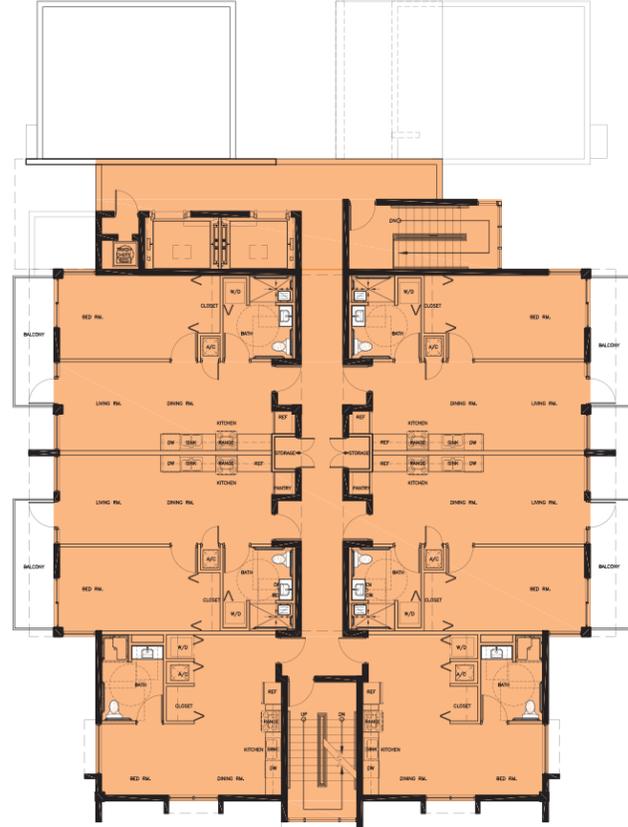
FLOOR AREA: THIRD FLOOR
4,962 S.F. (FLOOR AREA)

3RD FLOOR
SCALE: 1/8"=1'-0"



FLOOR AREA: SECOND FLOOR
5,413 S.F. (FLOOR AREA)

2ND FLOOR
SCALE: 1/8"=1'-0"



FLOOR AREA: FOURTH FLOOR
4,480 S.F. (FLOOR AREA)

4TH FLOOR
SCALE: 1/8"=1'-0"



FLOOR AREA: FIRST FLOOR
 $414+460+147+118+173 = 1,305$ S.F. (FLOOR AREA)

FLOOR AREA RATIO
+1,305 S.F. 1ST FL.
+5,413 S.F. 2ND FL.
+4,962 S.F. 3RD FL.
+4,480 S.F. 4TH FL.
16,160 S.F. TOTAL

1ST FLOOR
SCALE: 1/8"=1'-0"
GRAPHIC SCALE
0 2' 5' 10' 20'

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

A12.1



NATURALLY LANDSCAPED AREA
 13,274 SF x 5% = 663 SF MIN. PROVIDED: 754 S.F. (5.7%) NATURAL LANDSCAPE WITHIN SETBACK AREA

NATURALLY LANDSCAPED AREA (WITHIN SETBACKS)

SCALE: 1/8"=1'-0"
 GRAPHIC SCALE
 0 2' 5' 10' 20'



GARDNER + SEMLER
LANDSCAPE ARCHITECTURE
WWW.GSADDESIGN.COM
17670 NW 78th AVE. SUITE 214
MIAMI, FL 33015
P.305.392.1016 F.305.392.1019
CORP. ID# 0000266

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ELEVEN44
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MIAMI BEACH, FL 33141

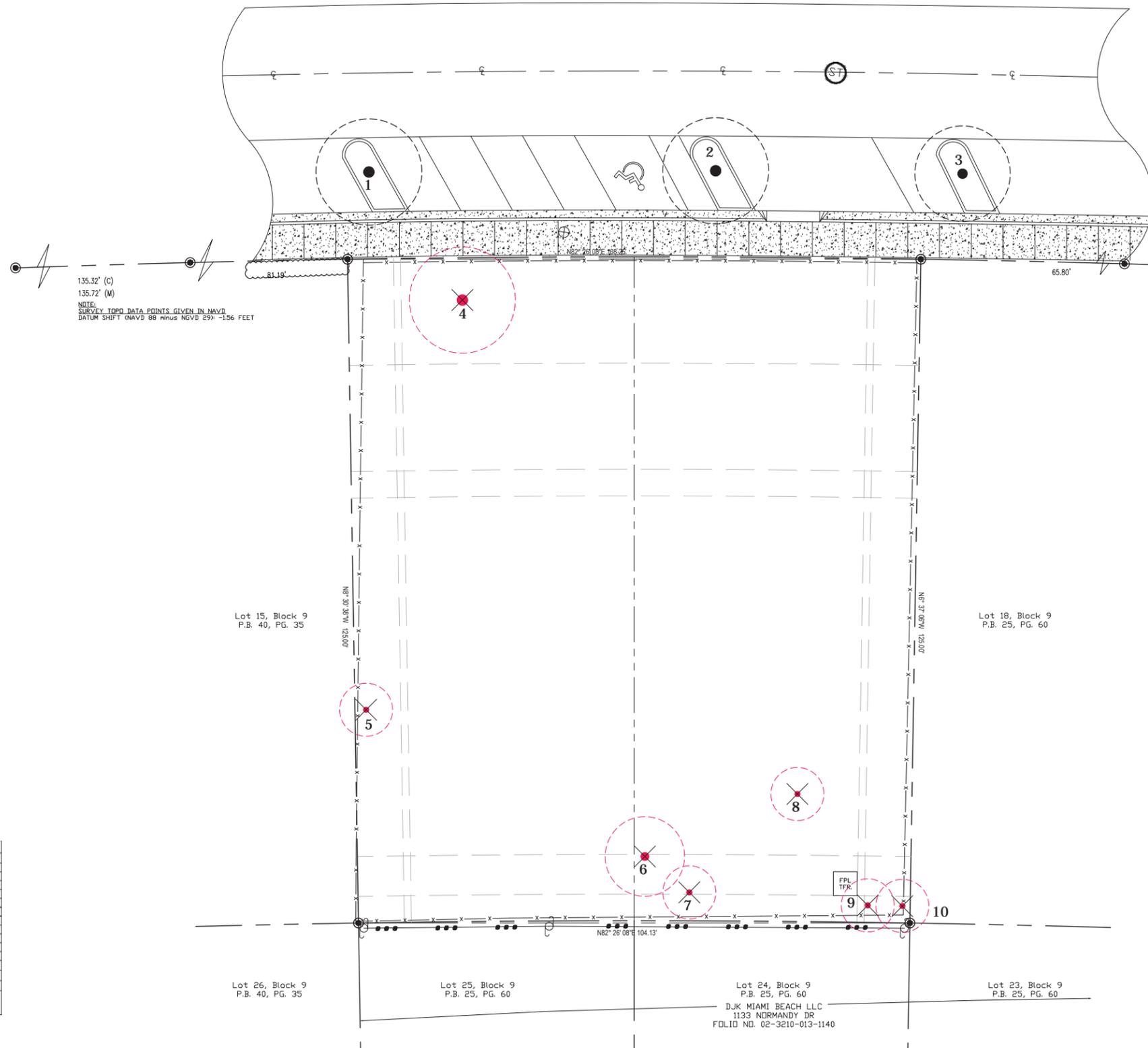
03.15.2021 SITE PLAN CHANGES

04.12.2021 SITE PLAN CHANGES

REV.

EXISTING TREE
DISPOSITION
PLAN

DATE	12.30.2020
SCALE	as noted
SHEET	LA1-01



LEGEND



EXISTING TREE
TO REMAIN



EXISTING TREE TO
BE REMOVED

EXISTING TREE DISPOSITION LIST									
KEY	BOTANICAL NAME	COMMON NAME	SIZE		DISPOSITION			NOTES	MITIGATION DBH. (in.)
			HT. (ft.)	SPD. (ft.)	DBH. (in.)	REMAIN	REMOVE		
1	Quercus virginiana	Live Oak	20	20	10.5	x			Fair
2	Quercus virginiana	Live Oak	18	20	8.5	x			Poor
3	Quercus virginiana	Live Oak	18	18	6.4	x			Fair
4	Phoenix canariensis	Canary Island Date Palm	32	20	30		x		good 1 Palm
5	Musa acuminata	Banana	10	10	10		x		good Not a tree
6	Pythospermum elegans	Solitaire Palm	25	15	Multi		x		good 1 Palm
7	Sabal Palmetto	Sabal Palm	16	10	10		x		good 1 Palm
8	Washingtonia robusta	Washington Palm	45	10	8		x		good 1 Palm
9	Washingtonia robusta	Washington Palm	24	10	10		x		good 1 Palm
10	Washingtonia robusta	Washington Palm	18	10	10		x		good 1 Palm
TOTAL PALMS TO BE REMOVED									6
TOTAL DBH INCHES MITIGATION REQUIRED									12
TOTAL DBH INCHES MITIGATION PROVIDED									12

Note: Mitigation is being provided by 6 Spanish Stoppers.



EXISTING TREE DISPOSITION PLAN

46'-8" 23'-4" 11'-8" 0'
SCALE: 3/32" = 1'-0"

1
LA1-01

LANDSCAPE SPECIFICATIONS
PART 1 - GENERAL

1.1 SCOPE
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.

1.2 CONTRACTOR QUALIFICATIONS
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNLGA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in County where work is performed.

1.3 INVESTIGATION OF UTILITIES
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).

1.4 SUBSTITUTIONS
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.

1.5 PLANT SIZES
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.

1.6 PLANT QUALITY
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species; healthy, vigorous, free from insects, disease and injury.

B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.

C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.

1.7 PLANT QUANTITY
A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.

1.8 UNIT PRICES
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.

1.9 SUBMITTALS
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.

B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. ft.) for approval by the Landscape Architect prior to delivery to the site.

1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.

B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.

C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.

1.11 MAINTENANCE PRIOR TO ACCEPTANCE
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".

1.12 ACCEPTANCE OF INSTALLATION
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such an inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.

1.13 GUARANTEE
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkmanlike manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.

1.14 REPLACEMENT
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1.15 MATERIALS AND OPERATIONS: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.

2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.

PART 2 - MATERIALS
2.1 PLANTING SOIL
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.

2.2 FERTILIZER
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: IESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other micron elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for sod and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.

2.3 WATER
A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.

2.4 MULCH
A. Mulch shall be as specified on the Plant List.

2.5 ROOT BARRIER MATERIAL
A. Root barrier material shall be 24" deep polypropylene panels by DeepRoot or approved equal.

B. Install per details in the plans.

PART 3 - INSTALLATION PROCEDURES

3.1 LAYOUT
A. Verify location of all underground utilities and obstructions prior to excavation.

3.2 HERBICIDE TREATMENT
A. In all areas infected with weed and/or grass growth, a systemic herbicide shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.

3.3 PLANT PIT EXCAVATION AND BACKFILLING
A. Trees: See the Planting and Bracing Details and notes.

B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.

C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curb and pavements as shown in the plans.

D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.

3.4 WATERING
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, if one is provided. Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION

For trees up to 5 inch caliper - 5 gallons
From 5 to 8 inch caliper - 25 gallons
9 inch and up caliper - 50 gallons

FREQUENCY OF WATER

Daily for the first week
3 times per week for weeks 2 - 5
2 times per week for weeks 6 - 8
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrubs, sod, and groundcover for the time specified above, after installation of each section of the planting installed.

3.5 FERTILIZING
A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing after planting of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:

- Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.
- Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.
- Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.

4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

3.6 MULCHING
A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after setting, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.

3.7 GUYING AND BRACING
A. See the details bound herewith or made part of the plans.

3.8 SODDING
A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the finish grade of sod is flush with adjacent pavement or top of curb as well as adjacent sod in the case of sod patching.

B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.

C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.

D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.

E. Apply fertilizer to the sod as specified in Section 3.5.

F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing sod.

PLANT BED PREPARATION NOTES

- In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with systemic herbicide prior to beginning soil preparation.
- In all shrub and groundcover beds, excavate and backfill soil as described in "Plant List". If no specific preparation is noted, prepare soil as described below for either condition, over the entire area to be planted:
Condition A:
If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil per plant list unless otherwise stated. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.
Condition B:
Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil per plant list into the existing soil to a depth of 18 inches unless otherwise stated. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before planting.

For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 2 inches in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.

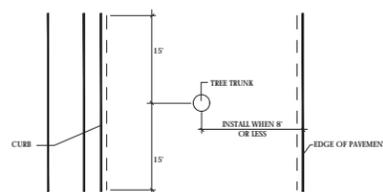
For Trees and shrubs larger than 7 gallon, Add Dinehart® transplant inoculant supplied by Horticultural Alliance, Inc. (800-628-6373) or equal. Mix into top 8-10 inches of planting hole, making sure it is contact with the root ball. Add at a rate specified by manufacturer (typically 4oz. per 1 inches of trunk caliper or 7 gallon can).

SPACING OF PLANTS (SEE PLANT SPACING DETAIL)

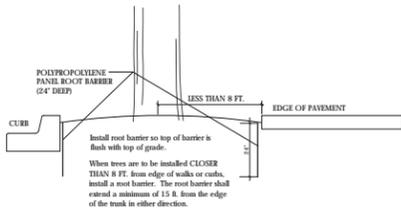
1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.

PROTECTION OF PLANTS

1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT PILE SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

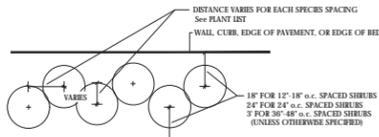


PLAN VIEW



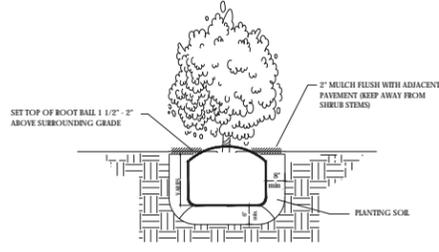
ROOT BARRIER INSTALLATION DETAIL

N.T.S.



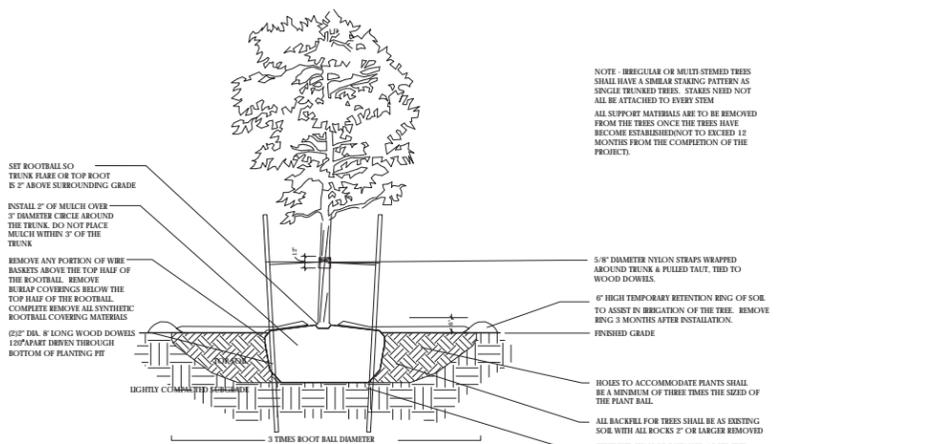
SHRUB SPACING DIAGRAM

N.T.S.



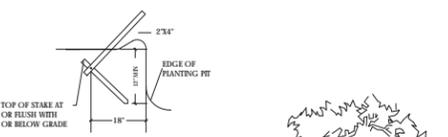
SHRUB INSTALLATION DETAIL

N.T.S.



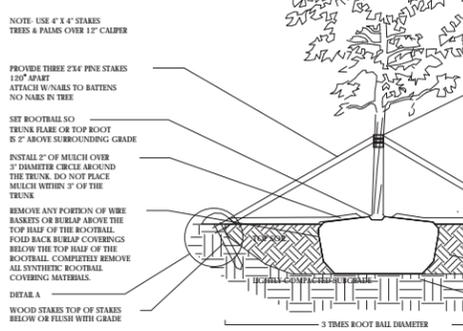
PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.



DETAIL A

N.T.S.



BATTEN DETAIL B

N.T.S.

PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER

N.T.S.

PLANT LIST				
TREES	KEY	PLANT NAME	QTY.	UT. SIZE
	EUFO	Eugenia foetida ...Spanish Stopper	7	ea. 8' tall x 4' spread, lifted to tree form, 3" trunks max, 2" Totalling 2" DBH
	FIDE	Filicium decipiens ...Japanese Fern Tree	5	ea. 12' tall x 5' spread, 2" DBH
	PIDI	Pimenta dioca ...Allspice	3	ea. 12' tall x 6' spread, 2" DBH
SHRUBS	KEY	PLANT NAME	QTY.	UT. SIZE
	COER	Conocarpus erectus ...Green Buttonwood	33	ea. 60" x 36"
	CTRS	Cordyline fruticosa "Red Sister" ...Red Sister Hawaiian Ti Plant	10	ea. 36" x 30", 2-3 PPP
	FUGI	Furcraea gigantea ...Giant False Agave	3	ea. 3' x 3'
	LOCH	Loropetalum chinense "Rubrum" ...Chinese Fringe Flower	26	ea. 18"x18"
	PSBA	Psychotria bahamensis ...Wild Coffee	127	ea. 24" x 24"
	MUCA	Muhlenbergia capillaris ...Muhly Grass	121	ea. 3 gal cans
	TRDA	Tripsacum dactyloides ...Fakahatchee Grass	11	ea. 3 gal cans
GROUNDCOVERS	KEY	PLANT NAME	QTY.	UT. SIZE
	ARGL	Aragrostis glabra ...Perennial Peanut	445	ea. 1 gallon cans
	PIMI	Pilea microphylla ...Arillary Fern	78	ea. 1 gal cans
MISCELLANEOUS	KEY	PLANT NAME	QTY.	UT. SIZE
	BAMA	Bambusa malingensis ...Seabreeze Bamboo	5	ea. 12' Tall Overall Multi
MISCELLANEOUS	KEY	PLANT NAME	QTY.	UT. SIZE
		Planting Soil	as req.	c.y.
		70% Silica Sand		
		20% Everglades Muck		
		10% Shredded Pinebark		
		Shredded Melaleuca Mulch	as req.	c.y. 2" layer in all shrub beds
		Gravel	1.65	c.y.
		Polish Black Mexican River Stone		
		2"-3" aggregate size		
		3" deep over filter fabric		

2

CITY OF MIAMI BEACH
LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District	RM-1	Lot Area	0.30	Square Feet	13,274	REQUIRED/ALLOWED	PROVIDED
OPEN SPACE	Square feet of required Open Space as indicated on site plan: Lot Area = 13,274 s.f. x 20% = 2,654 s.f.					2,654	3,543
B.	Square feet of parking lot open space required as indicated on site						
	Number of parking spaces x 10 s.f. parking space =					0	0
C.	Total square feet of landscaped open space required: A+B=					2,654	3,543

LAWN AREA CALCULATION		
A.	Square feet of landscaped open space required	2,654 3,543
B.	Maximum lawn area (sod) permitted= 30% x 796 s.f.	796 0

TREES		
A.	Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements = 28 trees / acre (28 x 0.30 acres = 9 trees - number of existing trees (0) = 9 new trees	9 10
B.	% Natives required: Number of trees provided x 30% =	3 10
C.	% Low maintenance / drought and salt tolerant required: Number of trees provided x 50% =	5 10
D.	Street Trees (maximum average spacing of 20' o.c.) 98 (driveway subtracted) linear feet along street divided by 20'= 5 trees	5 5 (2 Exist)
E.	Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.): 0 linear feet along street divided by 20'= 0 trees	0 0

SHRUBS		
A.	Number of shrubs required: Sum of lot and street trees required x	168 298
B.	% Native shrubs required: Number of shrubs provided x 50%=	84 259

LARGE SHRUBS OR SMALL TREES		
A.	Number of large shrubs or small trees required: Number of required shrubs x 10%=	17 33
B.	% Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	9 33



PLANTING DETAILS AND SPECIFICATIONS



1

LA1-03



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LANDSCAPE ARCHITECTURE
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CORP. ID # 0000266

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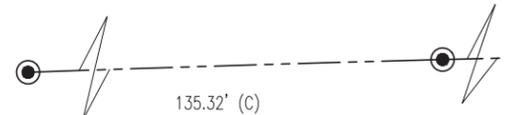
ELEVEN44
1144 NE MARSELLE DR.
MIAMI BEACH, FL 33141

REV.	DATE	DESCRIPTION
03.15.2021	03.15.2021	SITE PLAN CHANGES
04.12.2021	04.12.2021	SITE PLAN CHANGES

TITLE	DATE
PLANTING DETAILS AND SPECIFICATIONS	12.30.2020

as noted

IA1-03

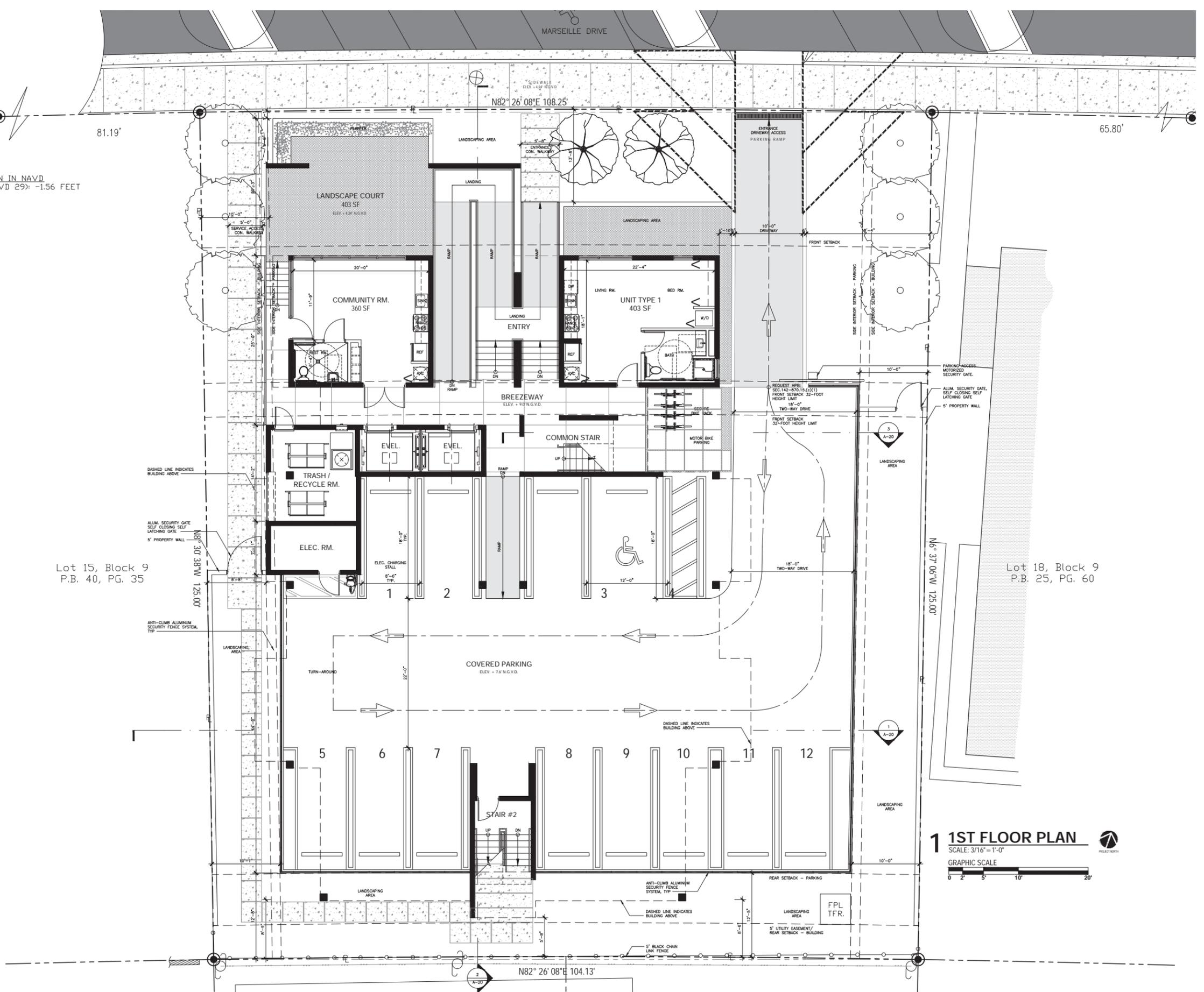


135.32' (C)
135.72' (M)

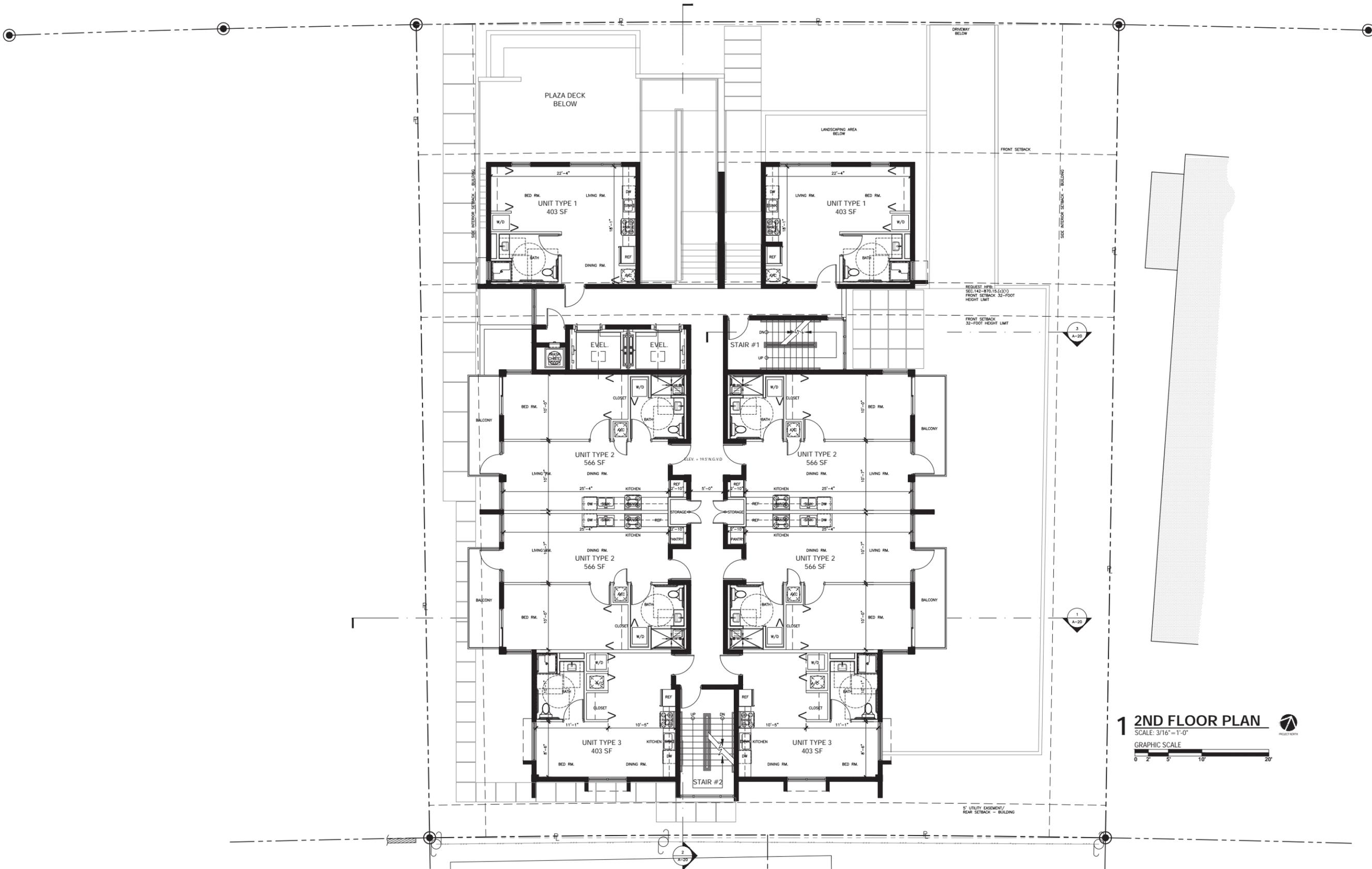
NOTE:
SURVEY TOPD DATA POINTS GIVEN IN NAVD
DATUM SHIFT (NAVD 88 minus NGVD 29): -1.56 FEET

Lot 15, Block 9
P.B. 40, PG. 35

Lot 18, Block 9
P.B. 25, PG. 60



1 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"
GRAPHIC SCALE
0 2 5 10 20'



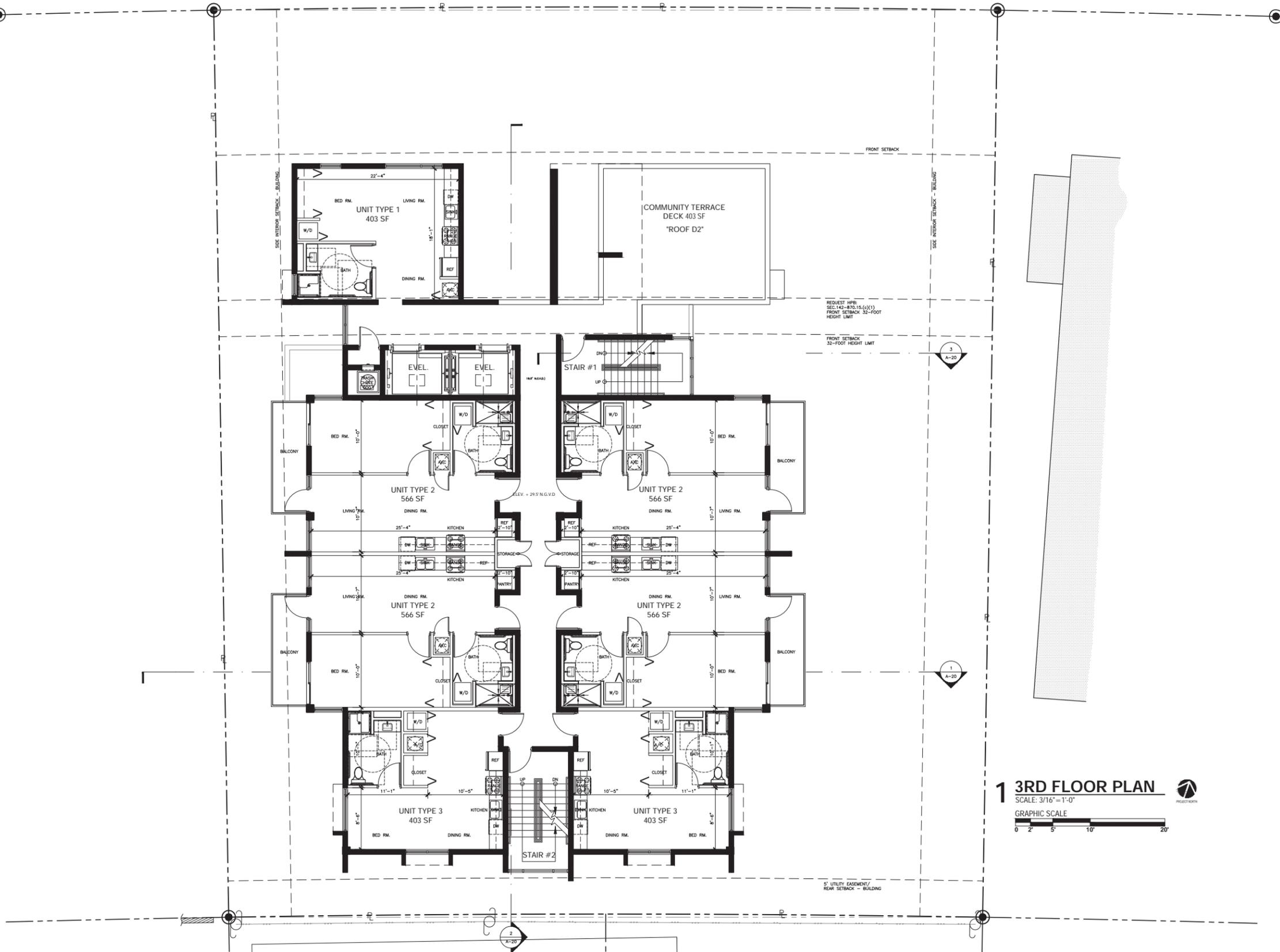
1 2ND FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 GRAPHIC SCALE
 0 2 5 10 20'

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

SECOND FLOOR PLAN

1 1 4 4 M A R S E I L L E D R I V E

A14



1 3RD FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 GRAPHIC SCALE
 0 2 5 10 20'

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

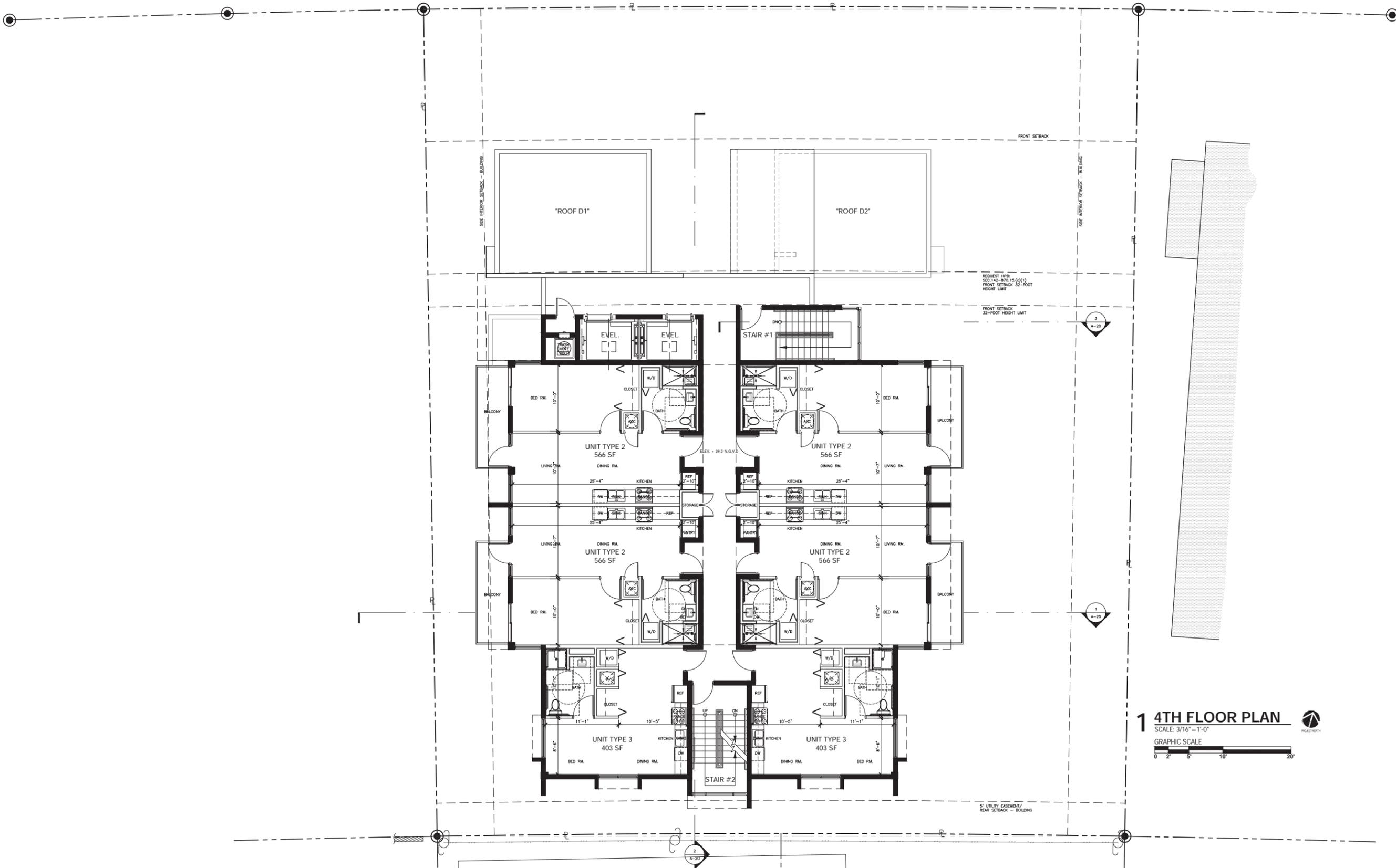
THIRD FLOOR PLAN

1 1 4 4 M A R S E I L L E D R I V E

A15



E L E V E N 4 4
 1144 MARSEILLE DRIVE, MIAMI BEACH, FL 33141



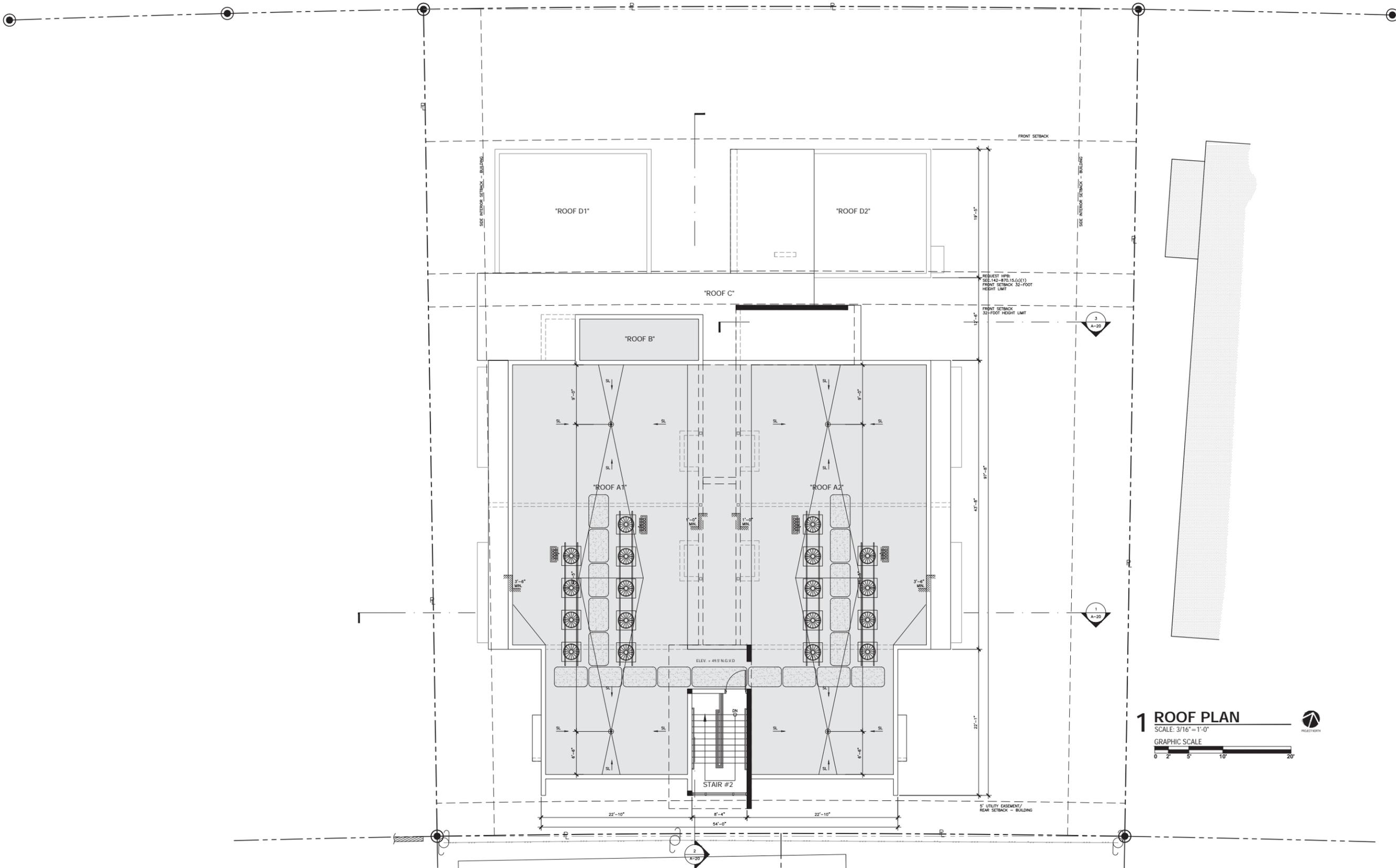
1 4TH FLOOR PLAN
 SCALE: 3/16" = 1'-0"
 GRAPHIC SCALE
 0 2 5 10 20'

THE HOUSING AUTHORITY OF THE CITY OF MIAMI BEACH, FLORIDA

FOURTH FLOOR PLAN

1 1 4 4 M A R S E I L L E D R I V E

A16



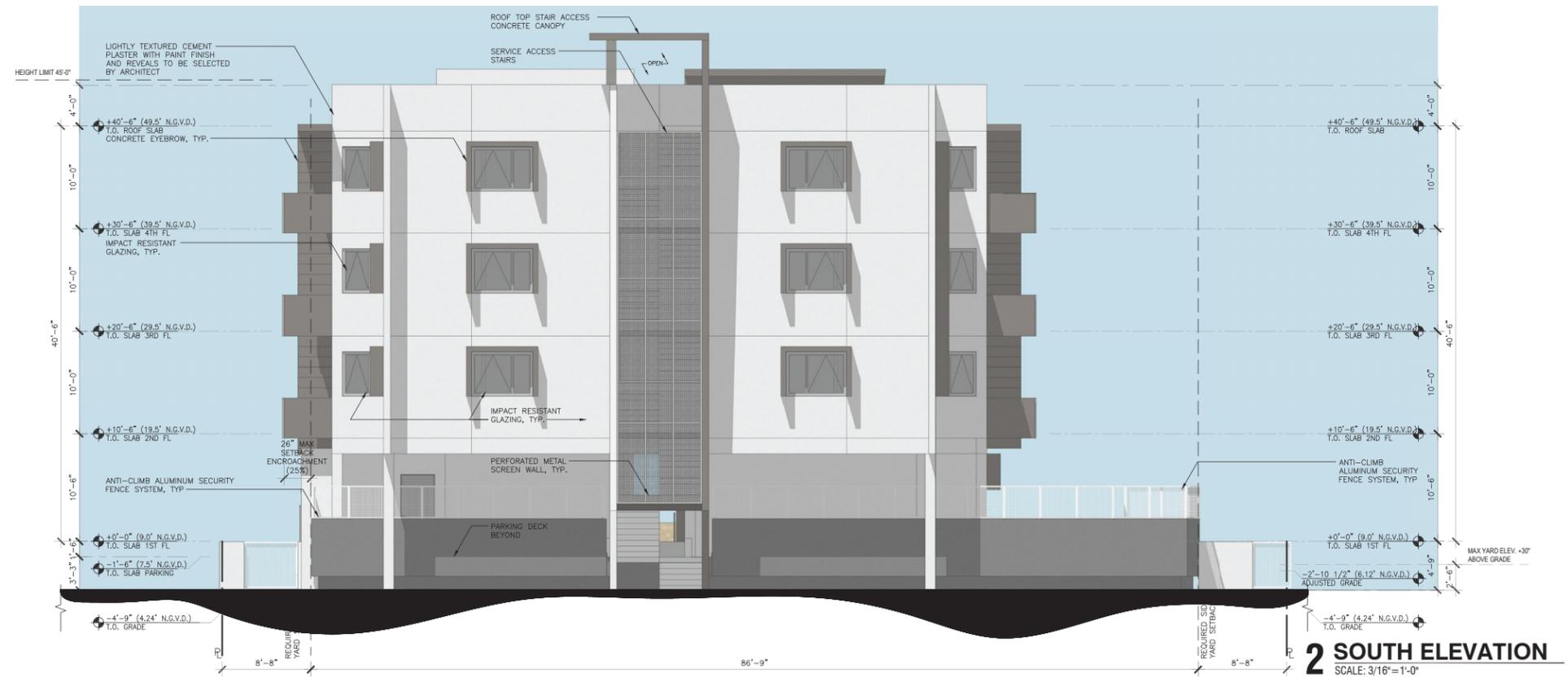
1 ROOF PLAN
 SCALE: 3/16" = 1'-0"
 GRAPHIC SCALE
 0 2 5 10 20'

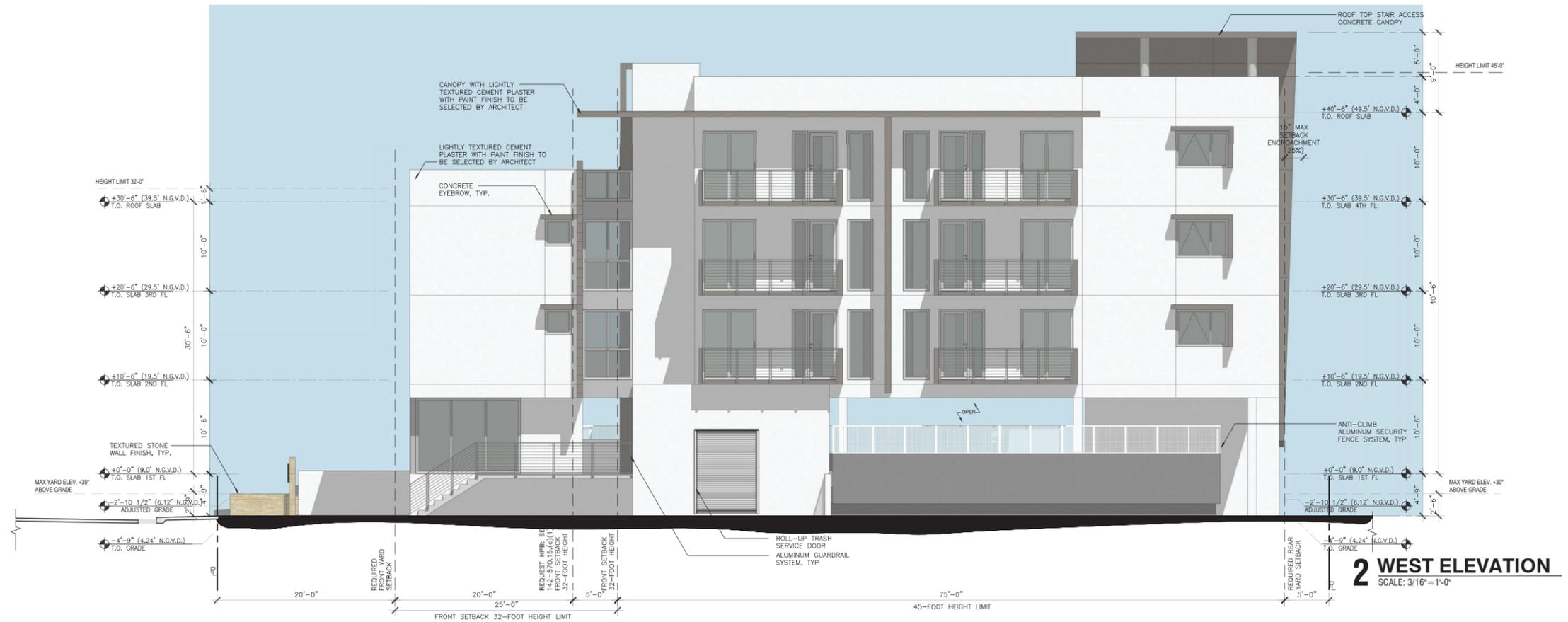
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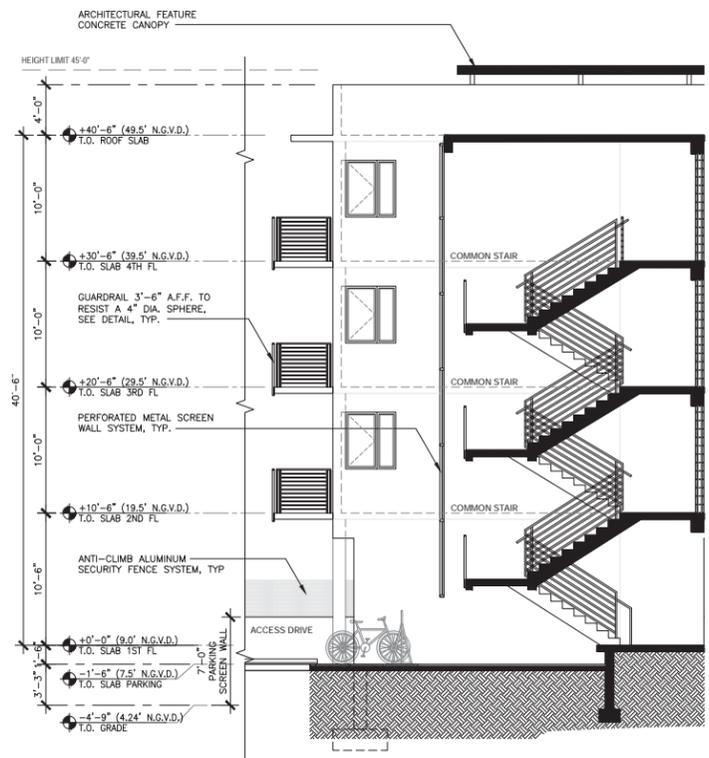
A17

ROOF LEVEL PLAN

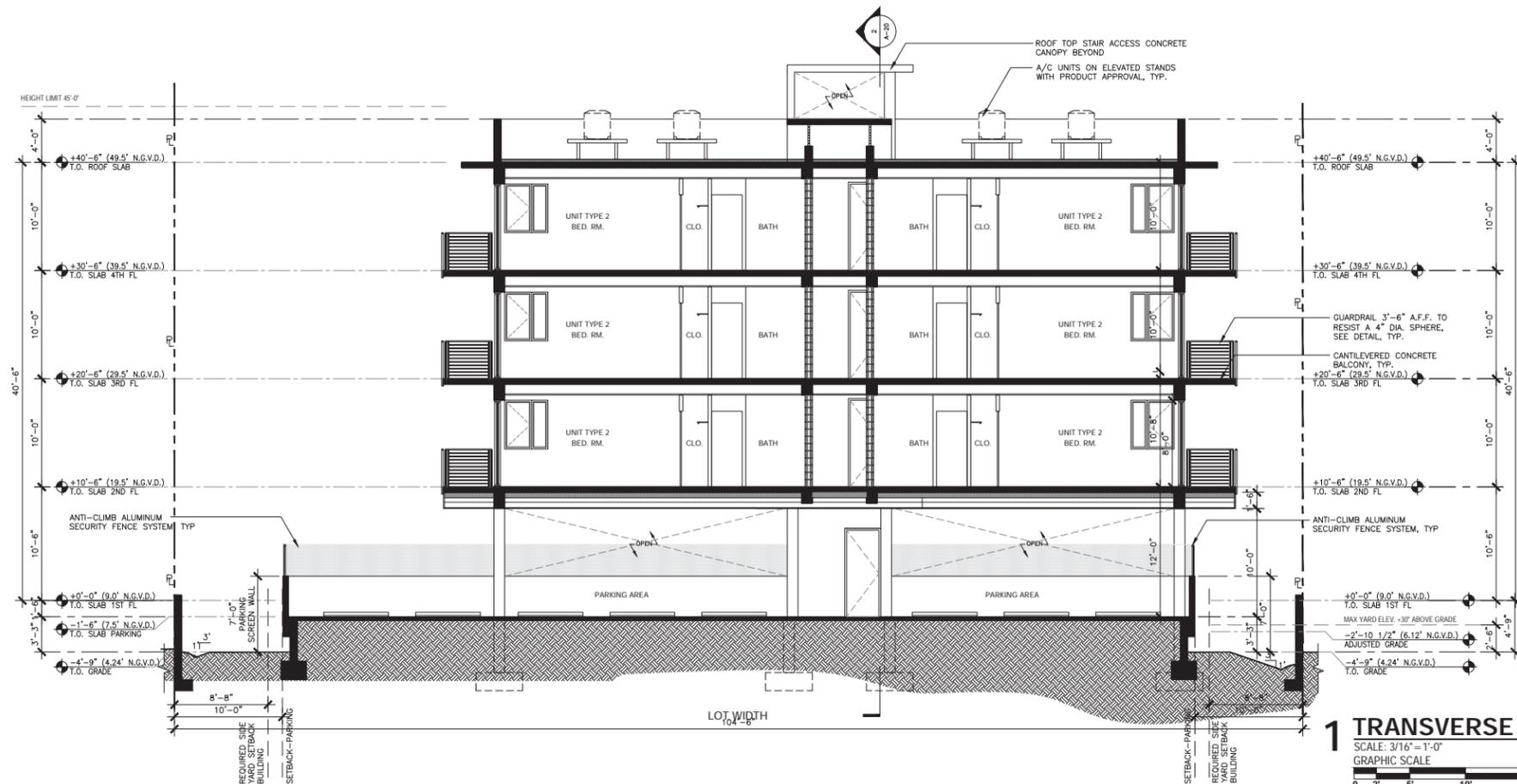
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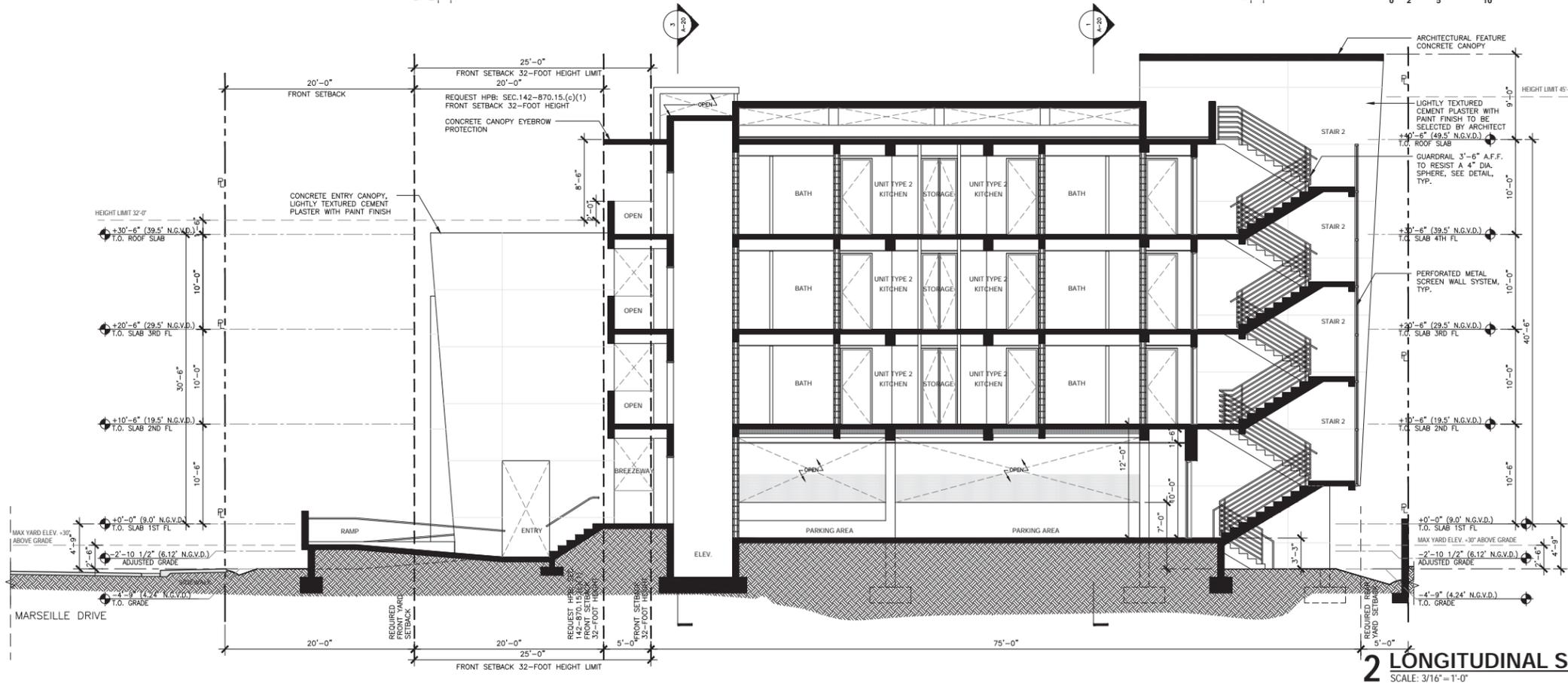




3 FEATURE STAIR SECTION
SCALE: 3/16"=1'-0"



1 TRANSVERSE SECTION
SCALE: 3/16"=1'-0"
GRAPHIC SCALE



2 LONGITUDINAL SECTION
SCALE: 3/16"=1'-0"



MODEL VIEW 2



MODEL VIEW 1



MODEL VIEW 3



MODEL VIEW 4



MODEL VIEW 6



MODEL VIEW 5



MODEL VIEW 8



MODEL VIEW 7



MODEL VIEW 10



MODEL VIEW 9



MODEL VIEW 12



MODEL VIEW 11



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A24

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1 1 4 4 M A R S E I L L E D R I V E

 **E L E V E N 4 4**
1144 MARSEILLE DRIVE, MIAMI BEACH, FL 33141



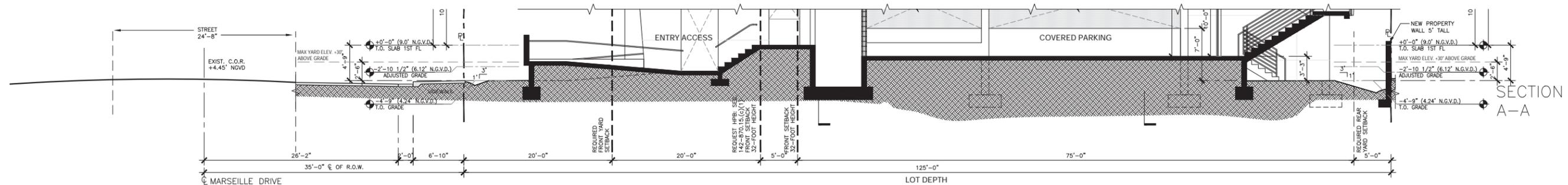
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A25

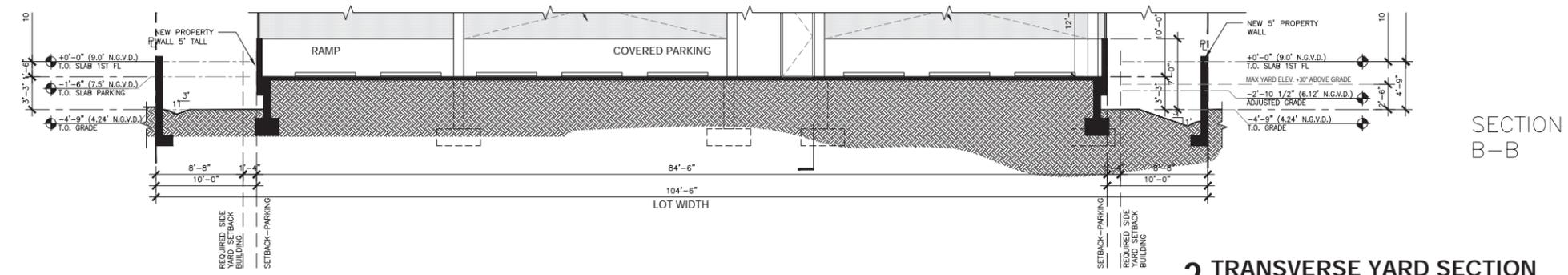
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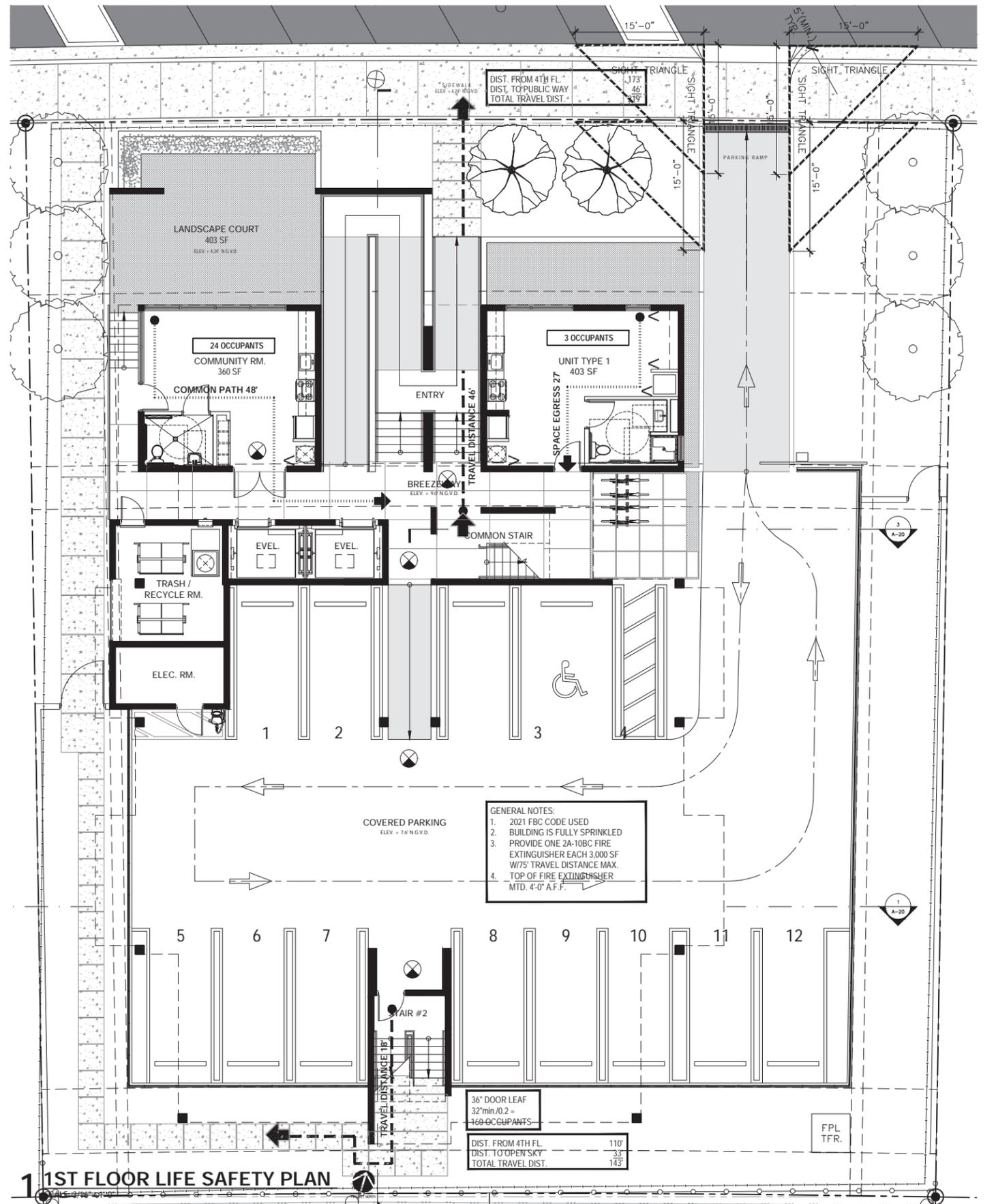
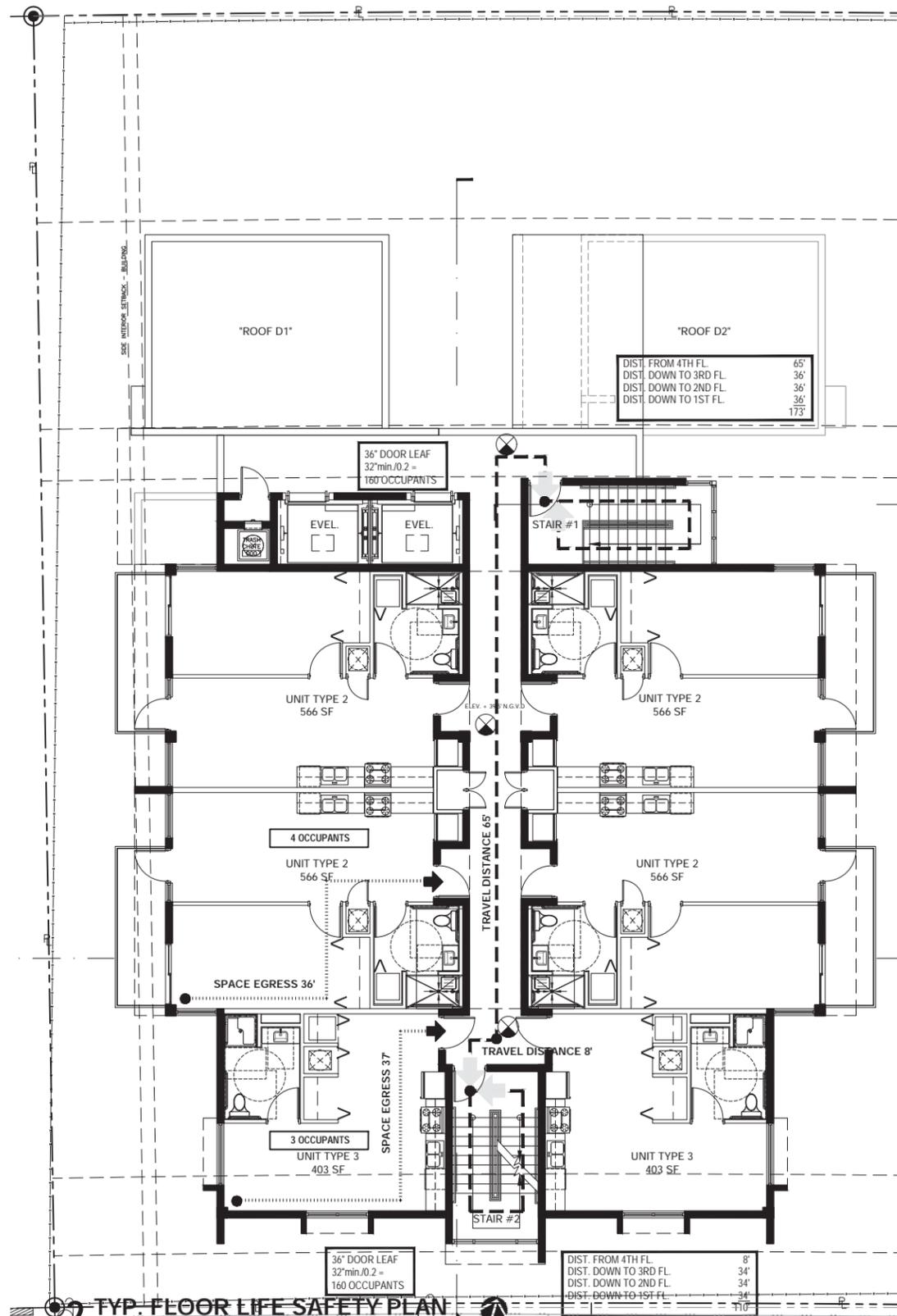


1 LONGITUDINAL YARD SECTION
 SCALE: 3/16"=1'-0"
 GRAPHIC SCALE
 0 2 5 10 20'



2 TRANSVERSE YARD SECTION
 SCALE: 3/16"=1'-0"





ARCHITECTURAL FEATURE WALL
PROSEIN - STONE TILE
WHITE TRAVERTINE LEDGESTONE



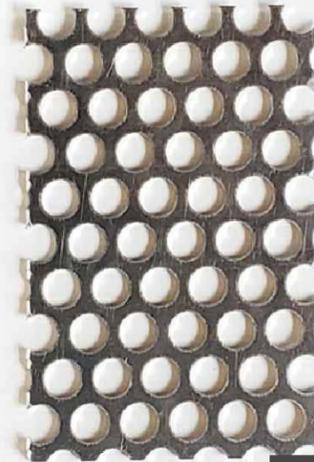
ARCHITECTURAL GLAZING
VITRO ARCHITECTURAL GLASS
COLOR- CLEAR /NEUTRAL



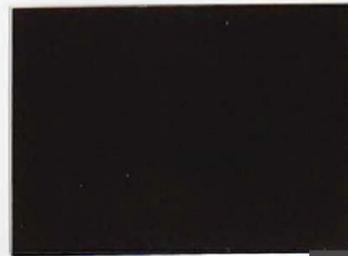
ARCHITECTURAL FEATURE ACCENT
SHERWIN-WILLIAMS
BLUE MOSQUE - SW-6789



EXTERIOR BASE COLOR
SHERWIN-WILLIAMS
COTTON WHITE - SW-7104



SCREEN FEATURE
McNICHOLS - PERFORATED METAL
1/2" ROUND ON 11/16 " STG. CTRS.



WINDOW MULLION
COLOR - DARK BRONZE ANODIZED



ARCHITECTURAL EYEBROW ACCENT
SHERWIN-WILLIAMS
NIGHT OWL - SW-7061





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