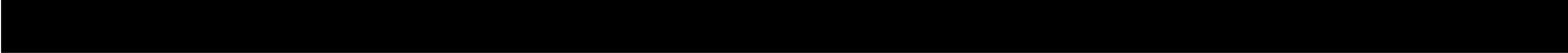


REQUEST FOR DRB APPROVAL FOR:
DANDEKAR RESIDENCE

FINAL SUBMITTAL: 03/08/2021
CONTINUED FROM MAY AGENDA
JUNE 2021 AGENDA



450 W DILIDO DRIVE, MIAMI BEACH, FLORIDA 33139

DRB21-0643



CLIENT
ASHWIN DANDEKAR

ARCHITECT
CHOEFF LEVY FISCHMAN
ARCHITECTURE + DESIGN
8425 BISCAYNE BLVD., SUITE 201
MIAMI, FL 33138
(305) 434-8338

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY
LOCATED AT
450 W DILIDO DRIVE, MIAMI BEACH, FL 33139

WAIVER REQUESTED:

1. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS
FOR THE OPEN-SPACE COURTYARD FOR THE
SOUTHEAST (LEFT) ELEVATION.

2. REQUEST TO WAIVE THE MAXIMUM BUILDING HEIGHT
FROM 24'-0" TO 26'-0".

DANDEKAR RESIDENCE
450 W DILIDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2061

date:
01/18/2021

revised:

sheet no.

A-0.0

Neighbor Support
Dandekar Residence
450 W Di Lido Dr



No.	Property Address	Owner
1	455 W Di Lido DR	Pedro A. and Elena Rivera
2	460 W Di Lido DR	Marsha S. Satuloff and Lynne Grusby
3	440 W Di Lido DR	Joshua W. Maes and Stephanie K. Maes
4	430 W Di Lido DR	Pamela Borovetz

April 26 ____, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**
Letter of Support

Dear Board Members:

I am the owner of 455 West Dilido Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,



Signature

Pedro A. Rivera

Print name

April 29th, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**
Letter of Support

Dear Board Members:

I am the owner of 460 W. Dilido Dr, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,

 
Signature

MARGINA SEWER SKULOFF LYNN GRUSBY
Print name

April 29, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**
Letter of Support

Dear Board Members:

I am the owner of 440 W Dilido Dr, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,



Signature



Print name

4/30/____, 2021

Design Review Board Members

c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

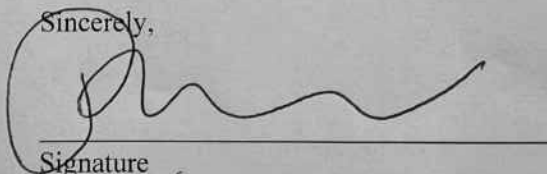
Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**
Letter of Support

Dear Board Members:

I am the owner of 430 W. DILIDO, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,



Signature

Pamela Borovetz

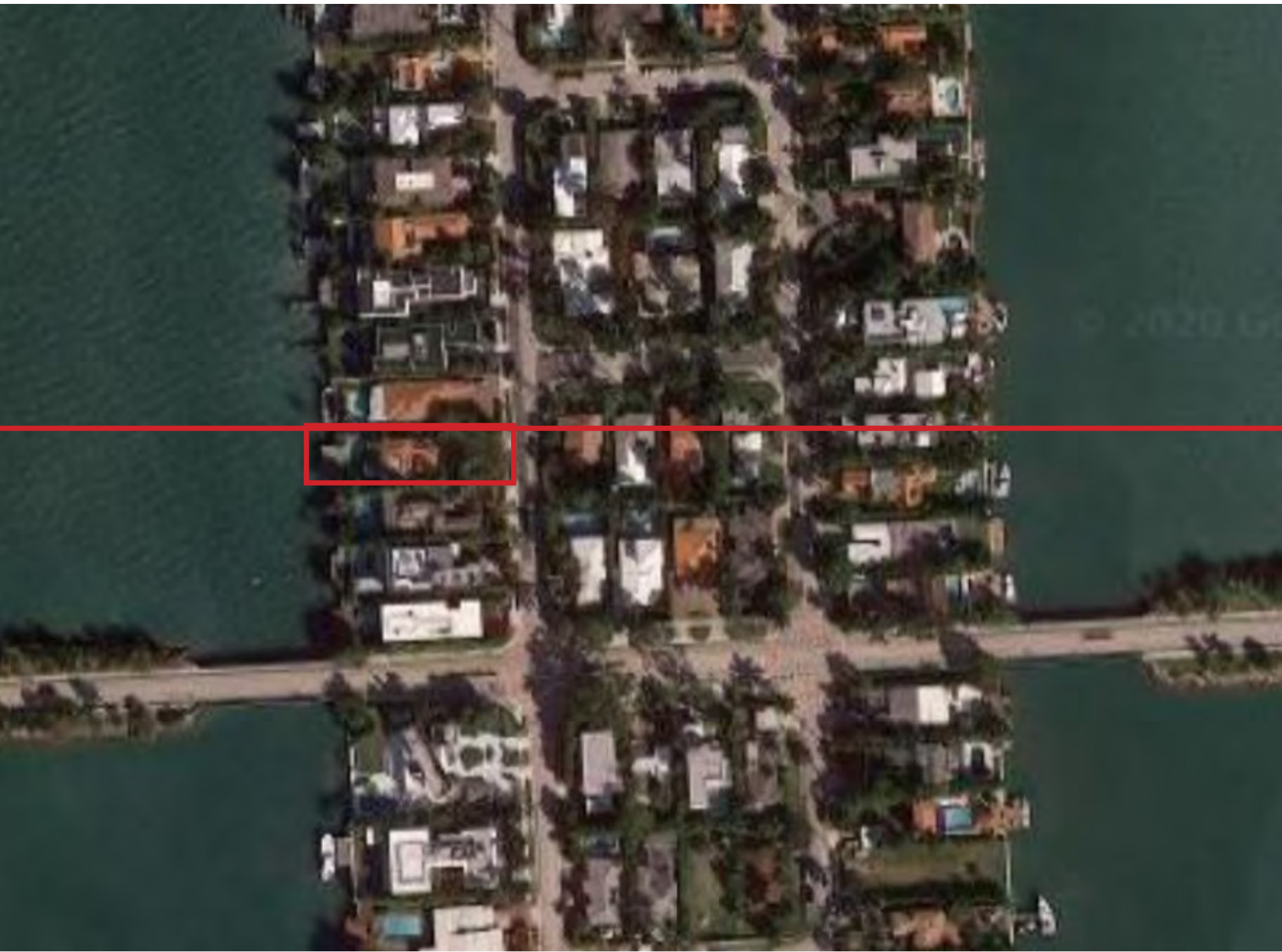
Print name

REQUEST FOR DRB APPROVAL FOR:
DANDEKAR RESIDENCE

FINAL SUBMITTAL: 03/08/2021
CONTINUED FROM MAY AGENDA
JUNE 2021 AGENDA

450 W DILIDO DRIVE, MIAMI BEACH, FL 33139

DRB21-0643



INDEX OF DRAWINGS

COVER PAGES/ CONTEXT	
A-0.0	COVER SHEET + SCOPE OF WORK
A-0.1	INDEX OF DRAWINGS + LOCATION MAP
A-0.4	SURROUNDING PROPERTIES PHOTOGRAPHS
A-0.3	SITE PHOTOGRAPHS
A-0.5	CONTEXT ANALYSIS
PROPOSED ARCHITECTURAL DRAWINGS	
A-1.0	AREA CALCS - UNIT SIZE
A-1.1	AREA CALCS - LOT COVERAGE
A-1.2	AREA CALCS - YARD CALCS
A-2.0	SITE PLAN
A-2.1	FIRST FLOOR PLAN
A-2.2	SECOND FLOOR PLAN
A-2.3	ROOF PLAN
A-3.0	FRONT ELEVATION
A-3.1	RIGHT ELEVATION
A-3.2	REAR ELEVATION
A-3.3	LEFT ELEVATION
A-3.4	FRONT COLORED ELEVATION
A-3.5	RIGHT COLORED ELEVATION
A-3.6	REAR COLORED ELEVATION
A-3.7	LEFT COLORED ELEVATION
A-4.0	SECTION 1 & 2
A-4.1	SECTION 3 & 4
A-4.2	SECTION 5 & 6
A-5.00	WALL TYPES
A-5.0	OPEN-SPACE WAIVER DIAGRAM
A-5.1	HEIGHT WAIVER DIAGRAM
A-5.2	HEIGHT WAIVER DIAGRAM
A-6.0	SUPPORTING DIAGRAMS
A-6.0	YARD SECTION DIAGRAM
A-6.1	YARD SECTION DIAGRAM
A-6.2	YARD SECTION DIAGRAM
A-6.3	YARD SECTION DIAGRAM
GRAPHICS	
G-1.0	AXONOMETRICS
G-1.1	MATERIAL BOARD
G-2.0	FRONT RENDERING
G-2.1	FRONT RENDERING
G-2.2	RIGHT SIDE RENDERING
G-2.3	LEFT SIDE RENDERING
G-2.4	REAR RENDERING

DANDEKAR RESIDENCE
450 W DILIDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2061

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01/18/2021

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sheet no.

A-0.1



SITE



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES



PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4



PHOTOGRAPH 5



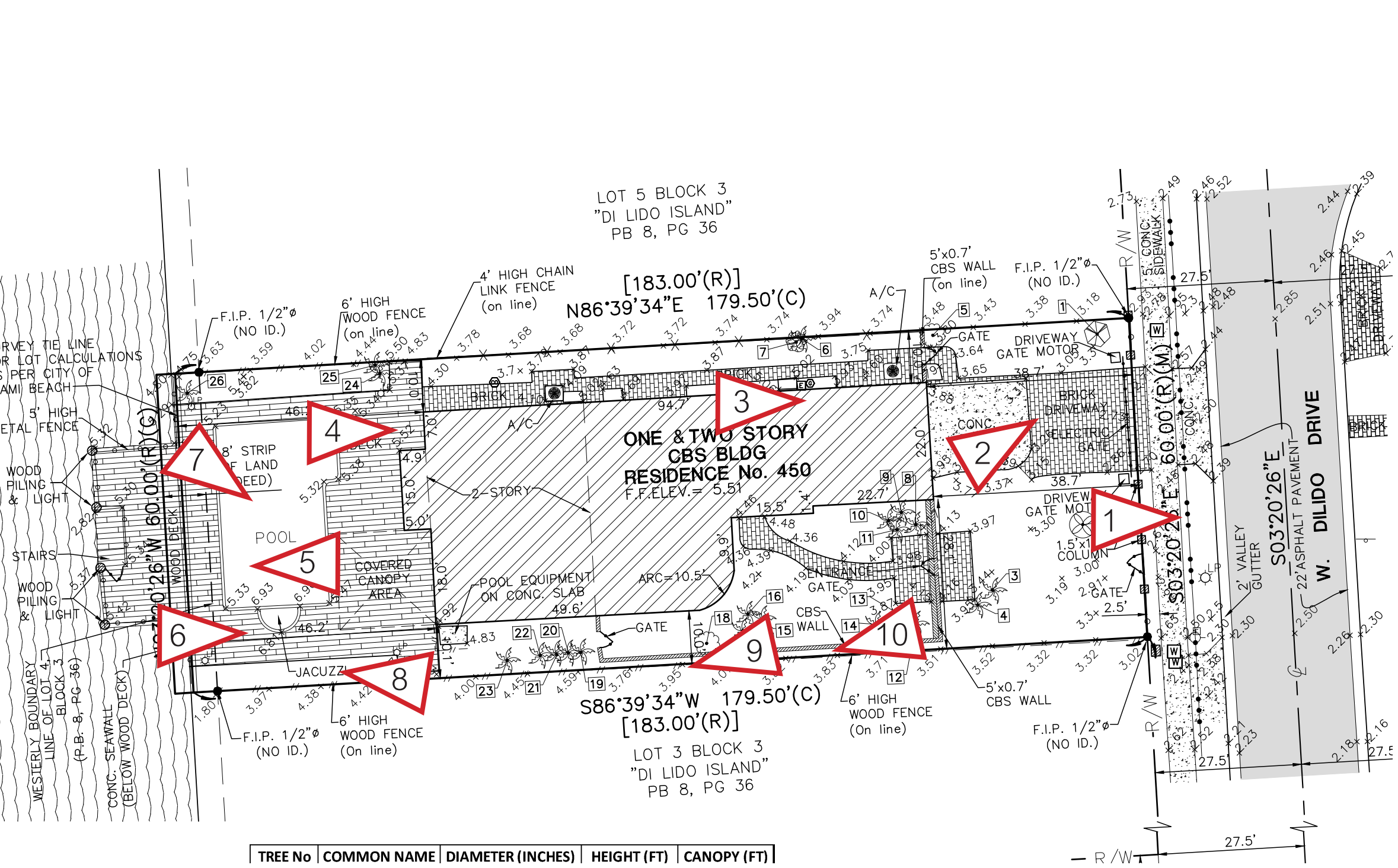
PHOTOGRAPH 6



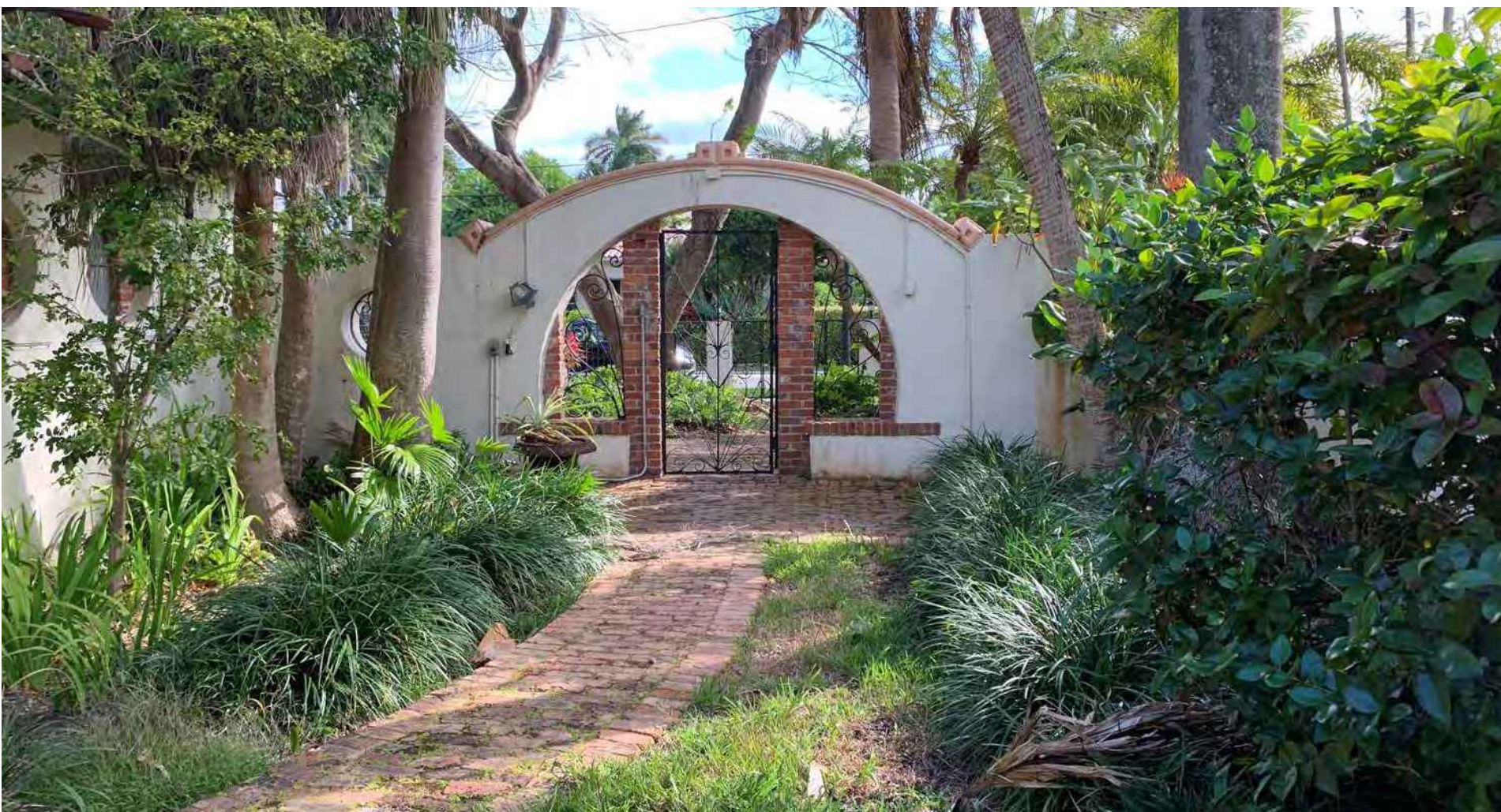
PHOTOGRAPH 7



PHOTOGRAPH 8



PHOTOGRAPH 9



PHOTOGRAPH 10



SUBJECT PROPERTY 1 (450 W DILIDO DRIVE)



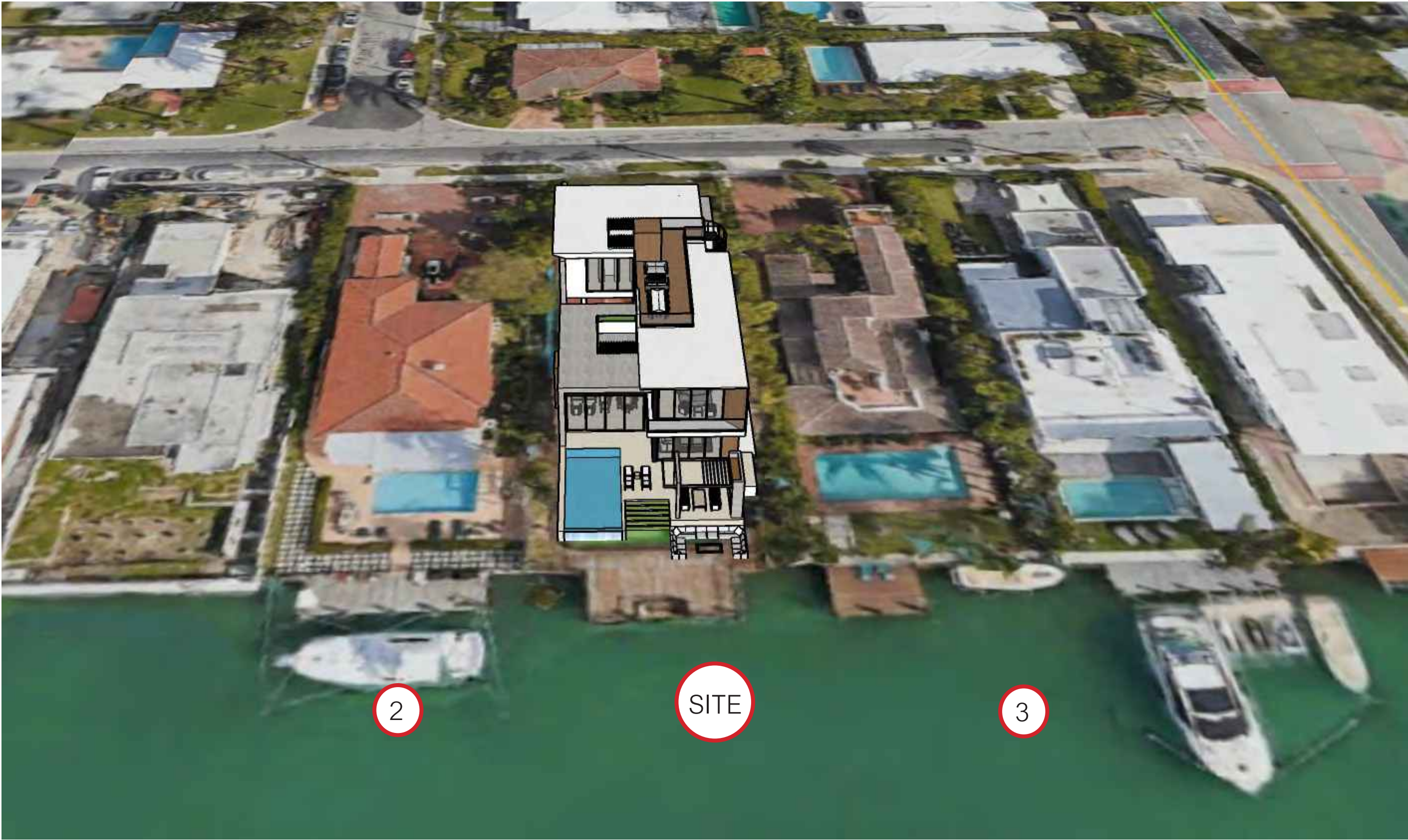
RESIDENCE 2



RESIDENCE 3

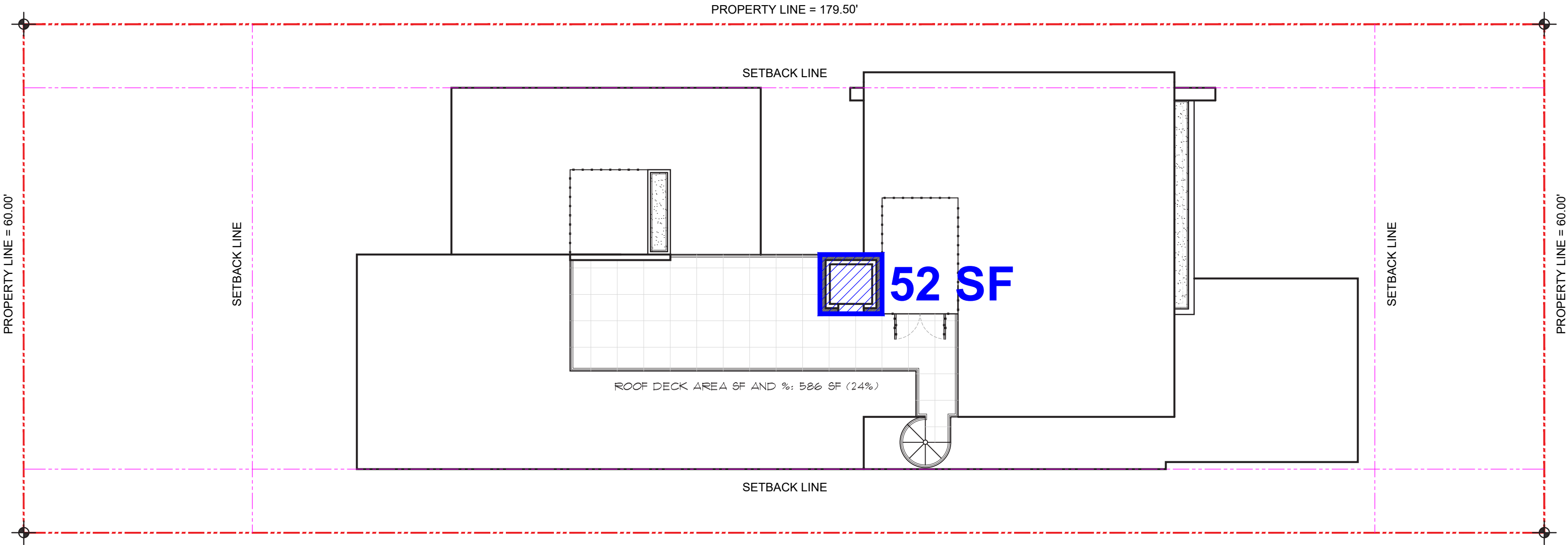


AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED

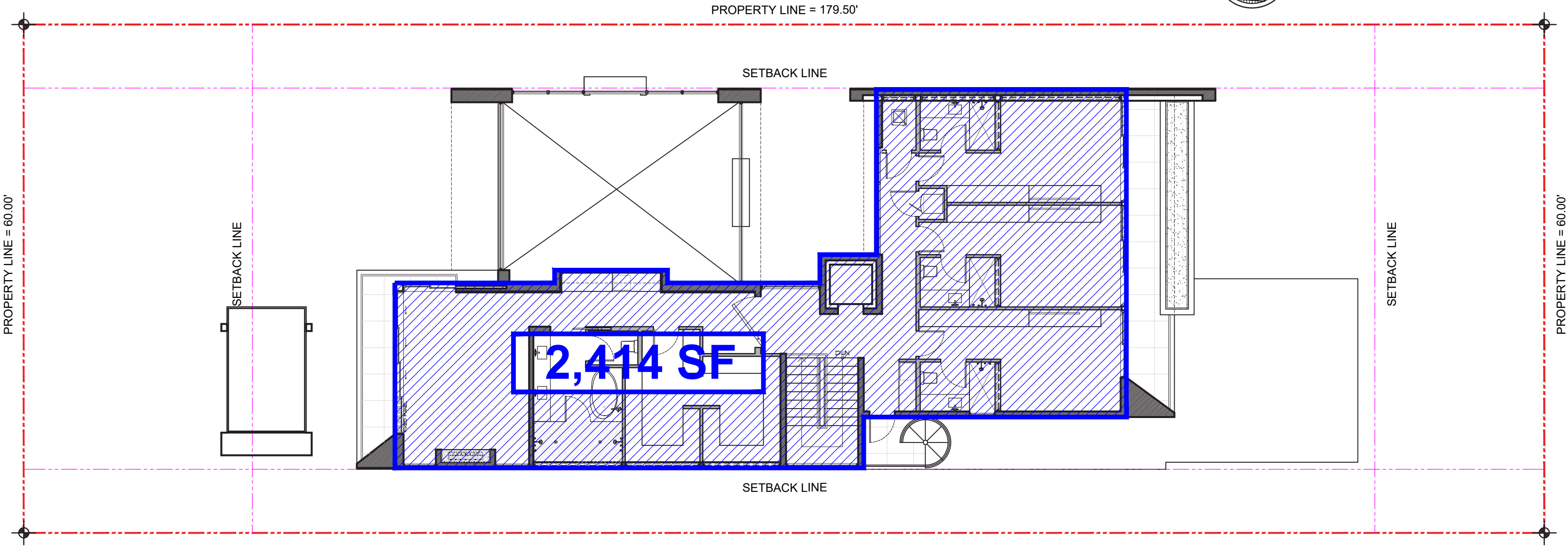


SURROUNDING CONTEXT ELEVATIONS

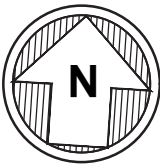
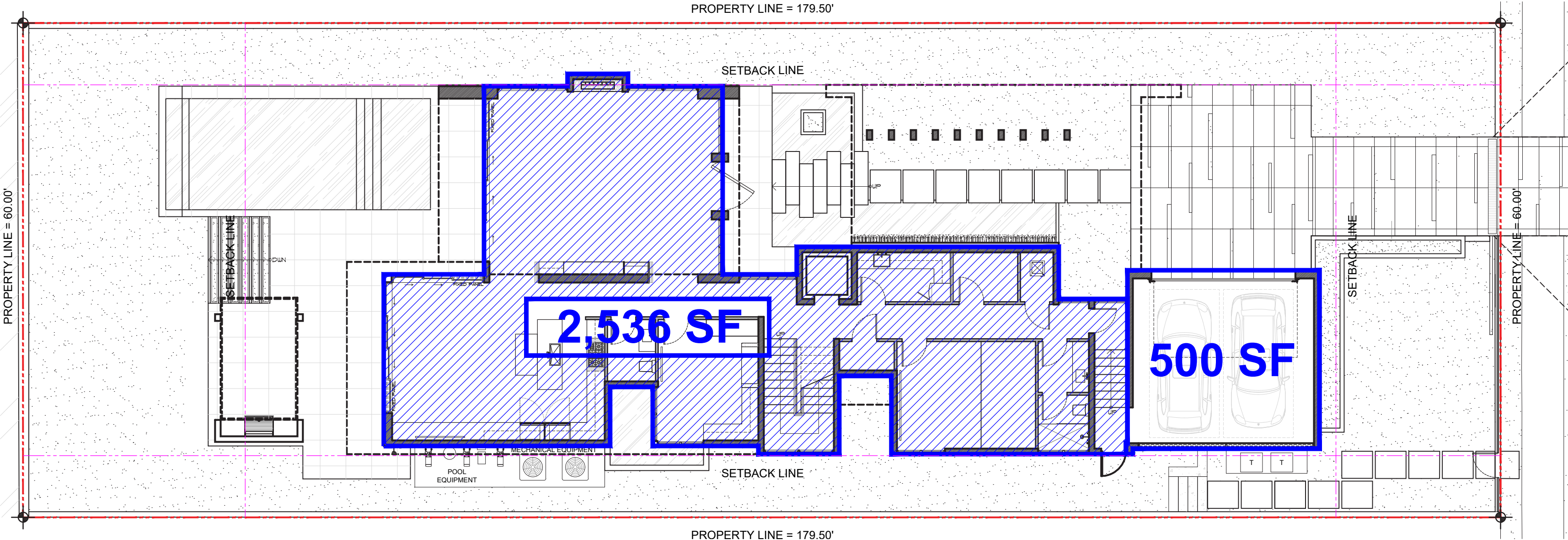
CONTEXT ANALYSIS



UNIT SIZE
ROOF DECK
SCALE: 3/32"=1'-0"



UNIT SIZE
SECOND FLOOR
SCALE: 3/32"=1'-0"



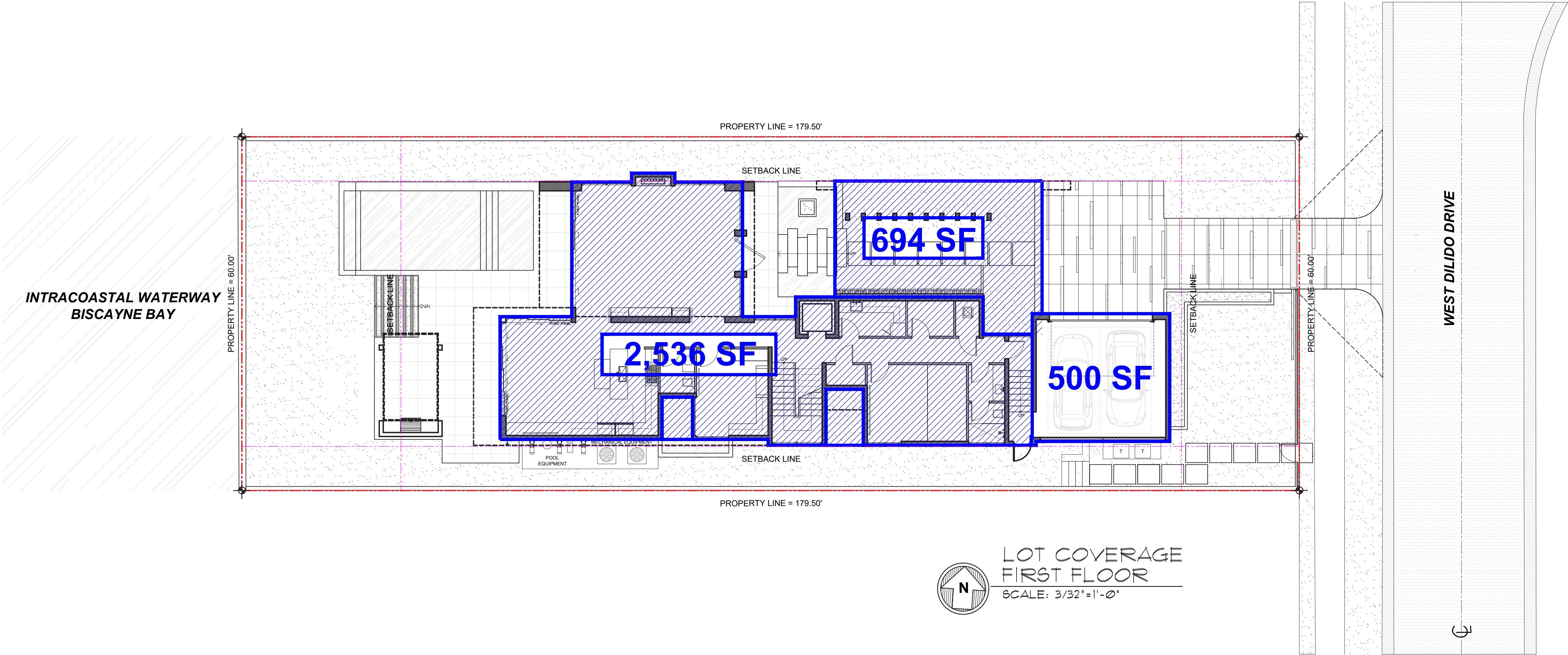
UNIT SIZE
FIRST FLOOR
SCALE: 3/32"=1'-0"

UNIT SIZE :

LOT SIZE:	10,110 S.F.
FIRST FLOOR	2,536 S.F.
SECOND FLOOR	2,414 S.F.
ROOF DECK	52 S.F.
TOTAL PROPOSED	5,002 S.F. 46.4%
MAX UNIT / LOT SIZE	5,385 S.F. (50% MAX)

LOT COVERAGE:

LOT SIZE:	10,110 S.F.
FIRST FLOOR	2,536 S.F.
A/C OVERHANGS	694 S.F.
TOTAL	3,230 S.F. 29.9%
MAX LOT COVERAGE	3,231 S.F. (30% MAX)



DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2061

date:
01/18/2021

revised:

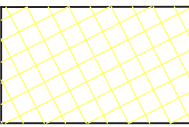

sheet no.

A-1.1

FRONT YARD CALCULATIONS

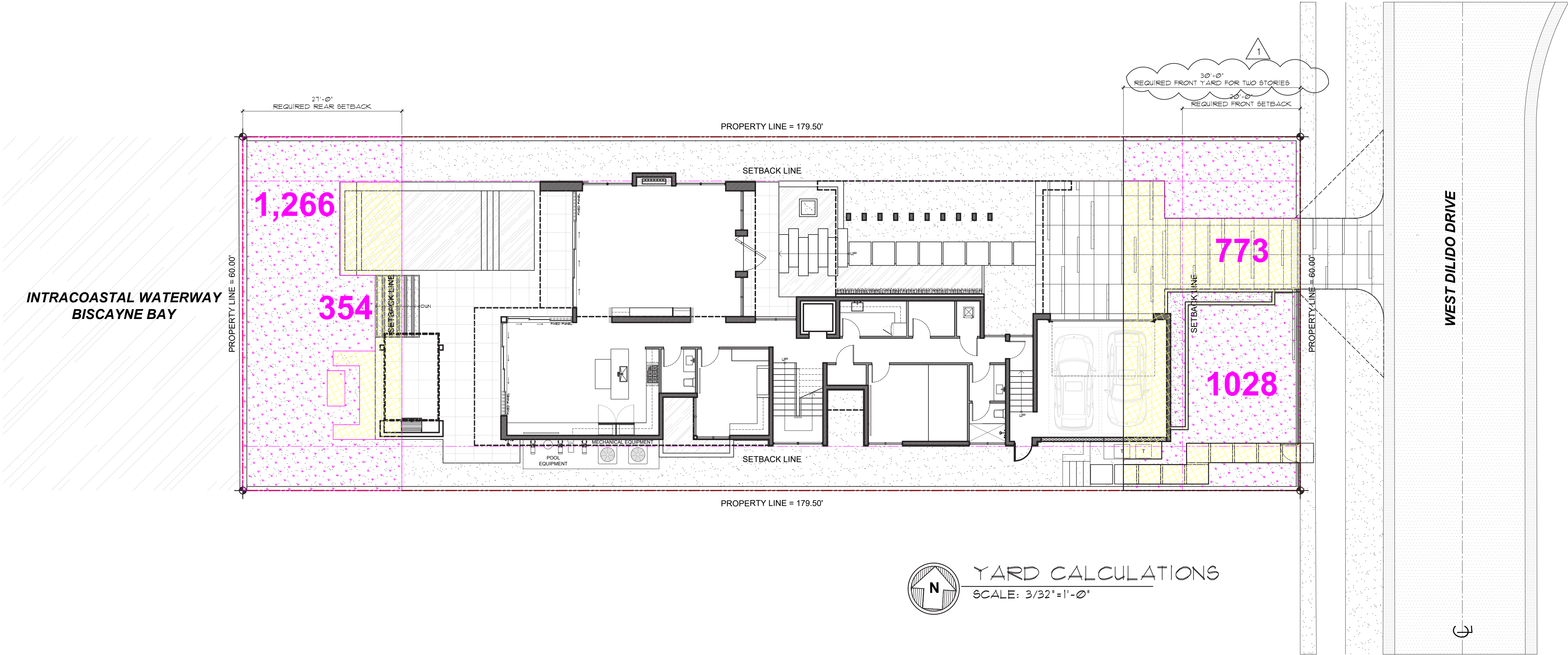
AREA:	1,801 S. F.	100%
IMPERVIOUS AREA:	773 S. F.	43%
PERVIOUS AREA:	1,028 S. F.	57% (50% MIN)

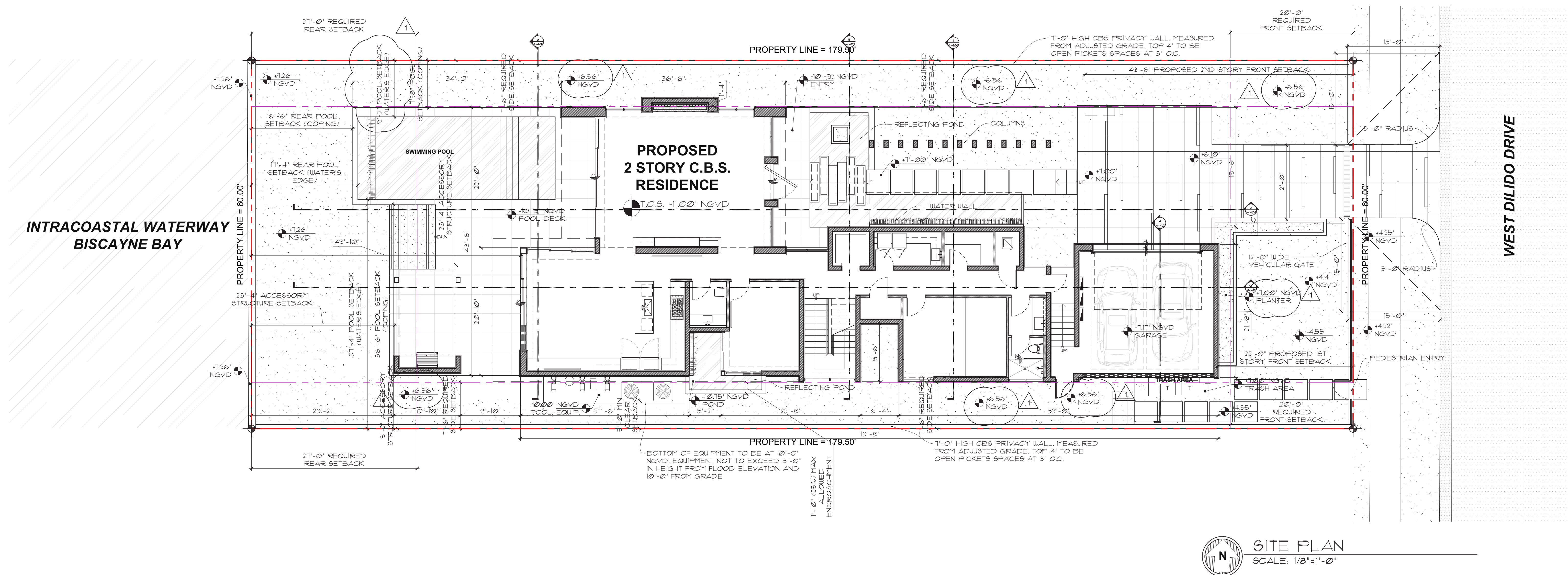
LEGEND

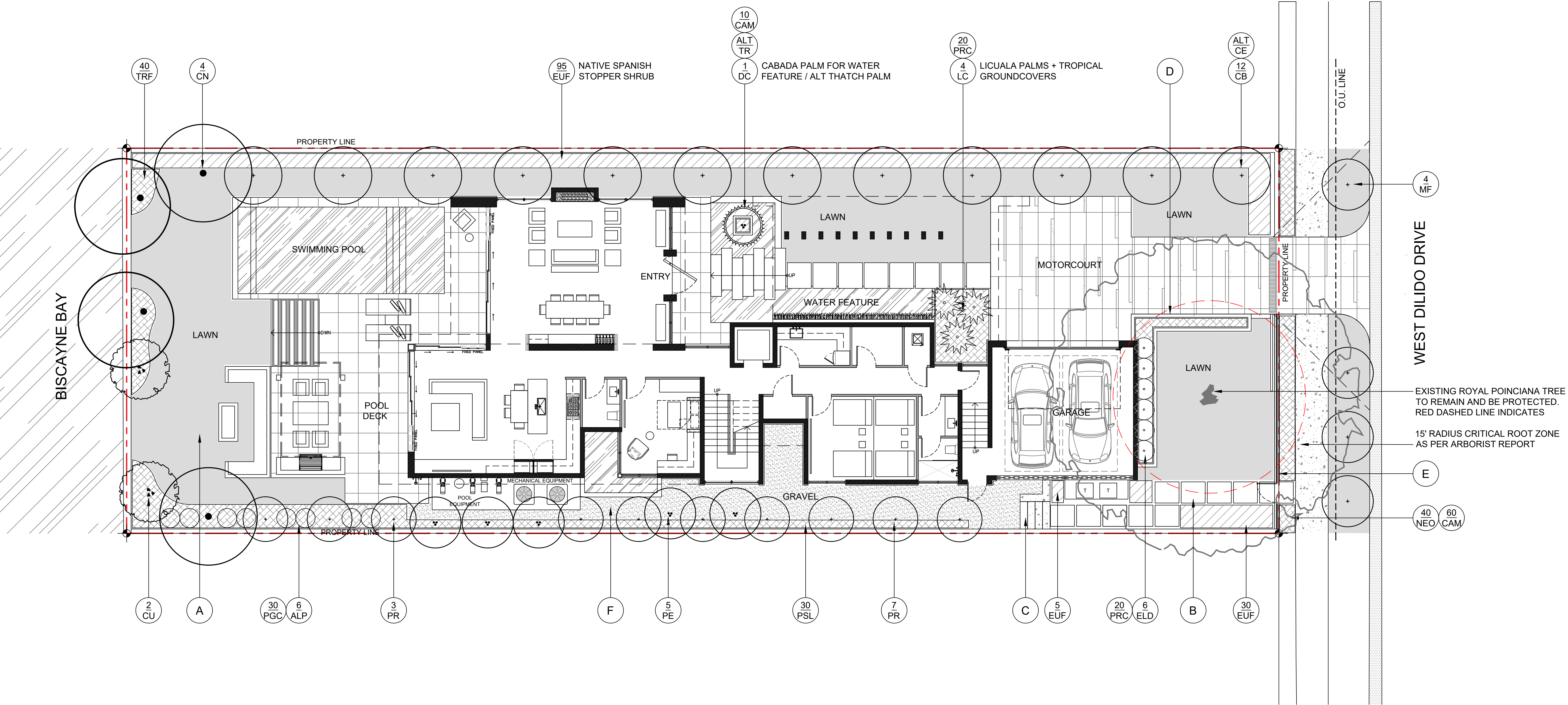
-  IMPERVIOUS AREA:
-  PERVIOUS AREA:

REAR YARD CALCULATIONS

AREA:	1,620 S. F.	100%
IMPERVIOUS AREA:	354 S. F.	21.8%
PERVIOUS AREA:	1,266 S. F.	78.2% (70% MIN)



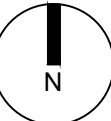


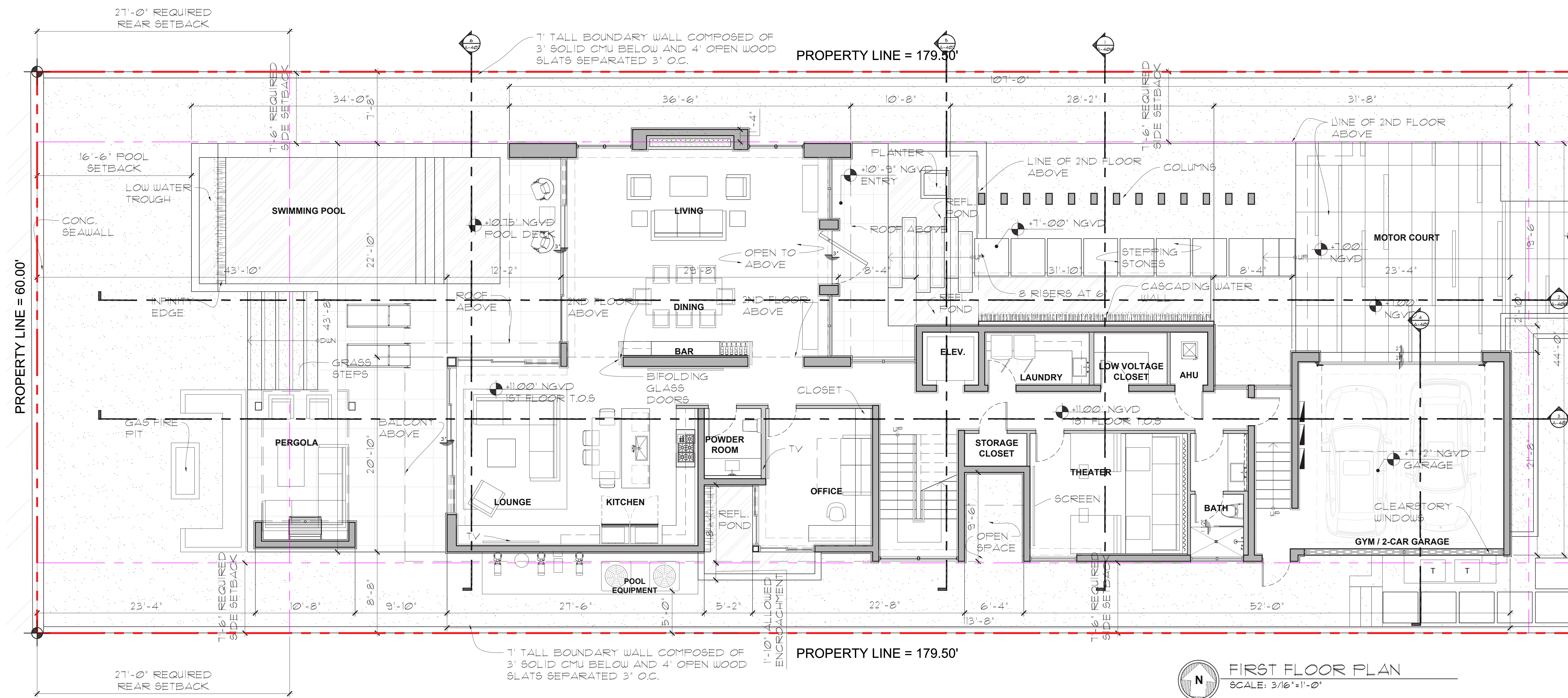


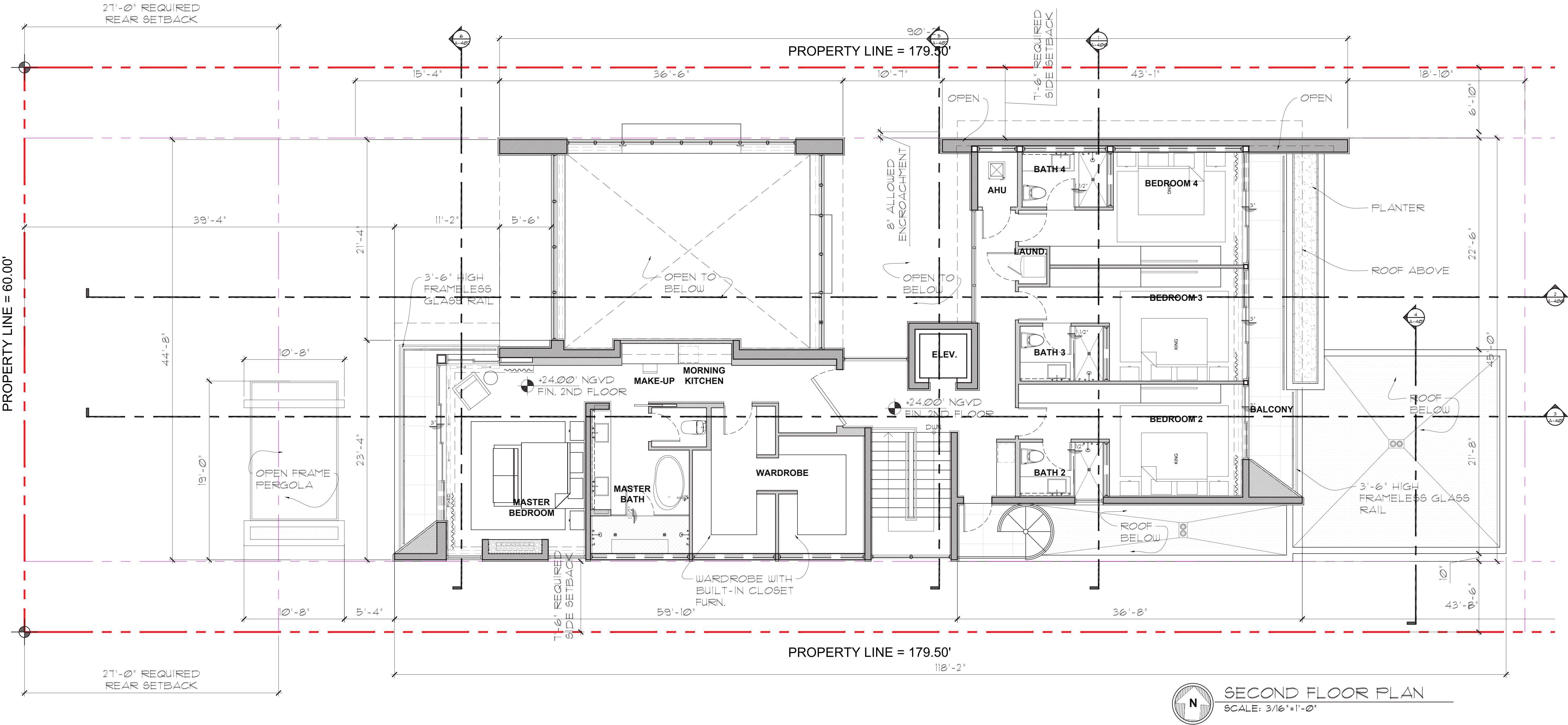
LANDSCAPE PLAN LEGEND

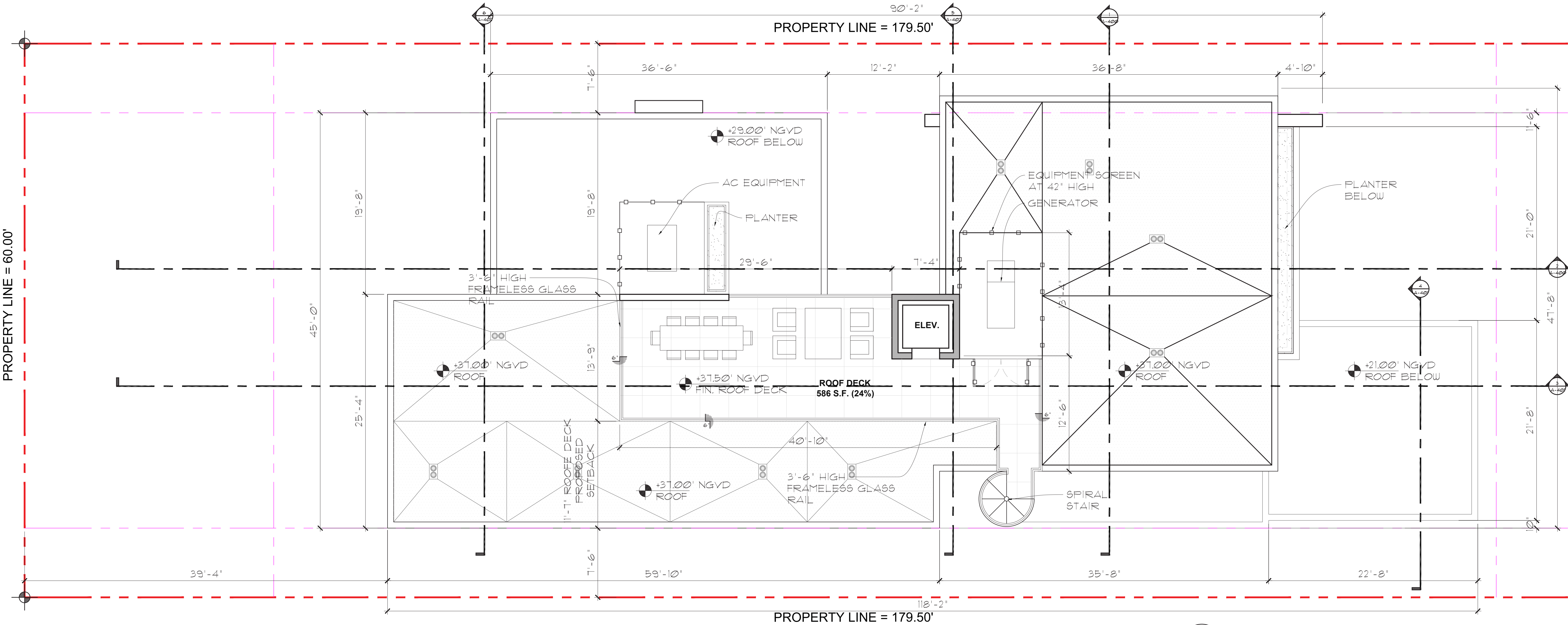
- (A) NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- (B) SAND SET STONE PAVERS
- (C) OOLITE RETAINING WALL + STEPS
- (D) OOLITE RETAINING WALL
- (E) CONTEMPORARY FENCE REFER TO ARCHITECTURE PLANS
- (F) 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

FIRST FLOOR LANDSCAPE PLAN









ROOF PLAN
SCALE: 3/16"=1'-0"

seal

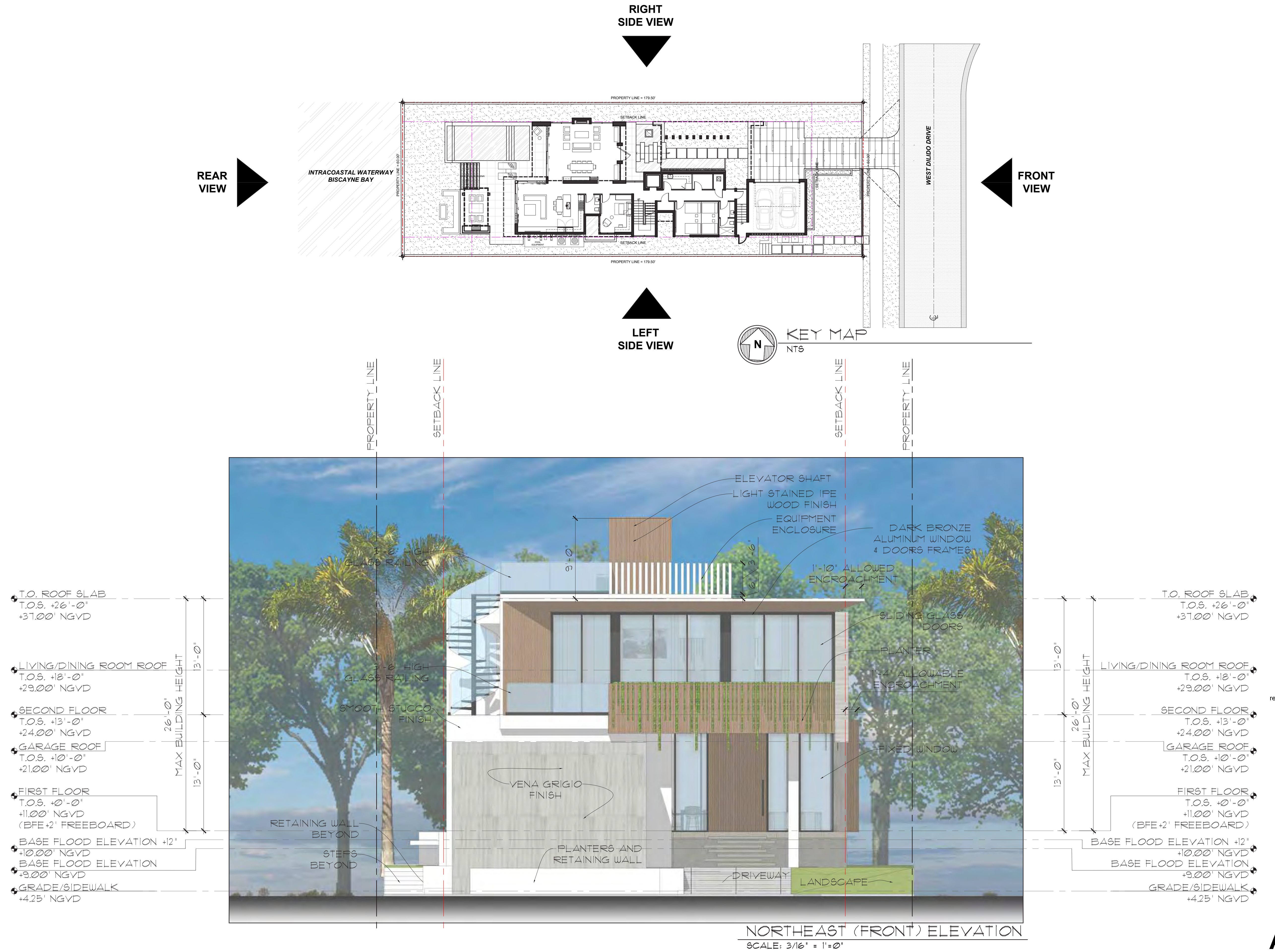
Ralph Choeff
registered architect
AR0009679
AA26003009

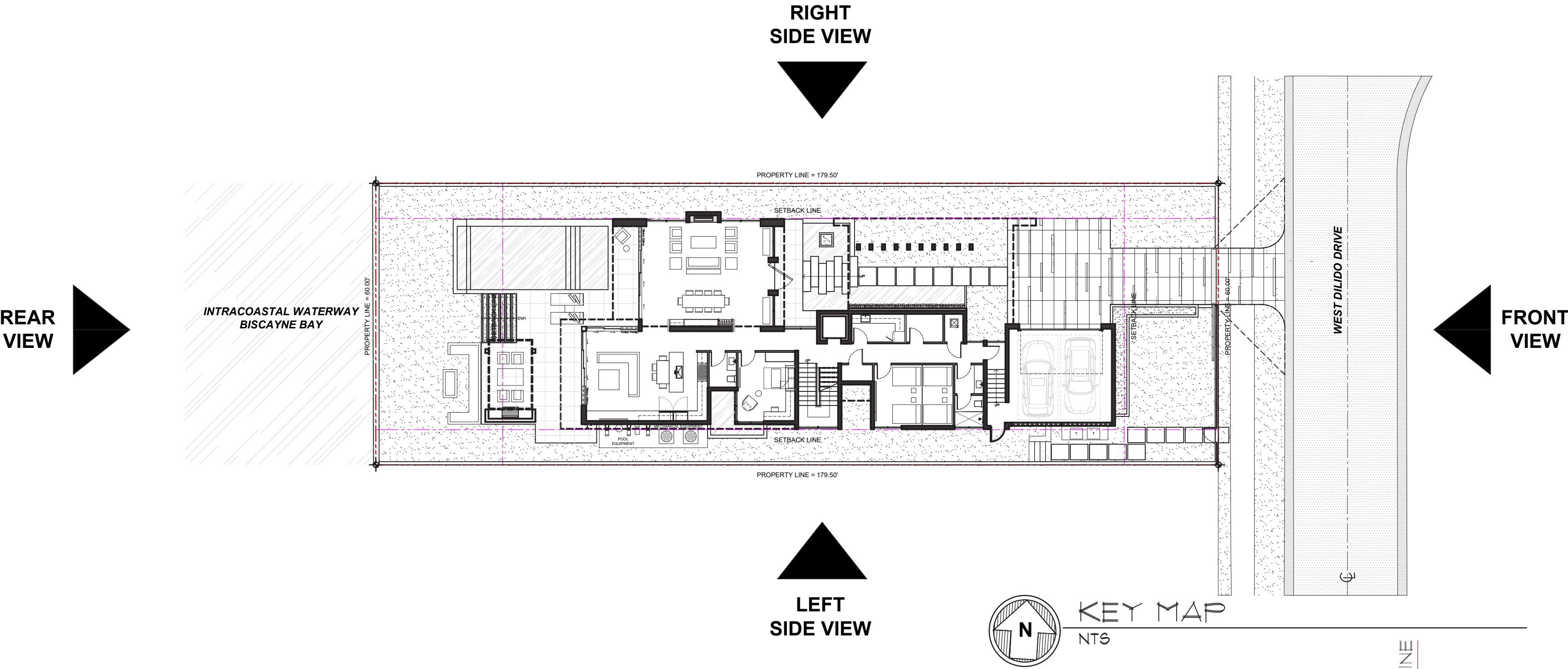
comm no.
2061

date:
01/18/2021

revised:

sheet no.





NORTHWEST (RIGHT) ELEVATION
SCALE: 3/16" = 1' = 0"

DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

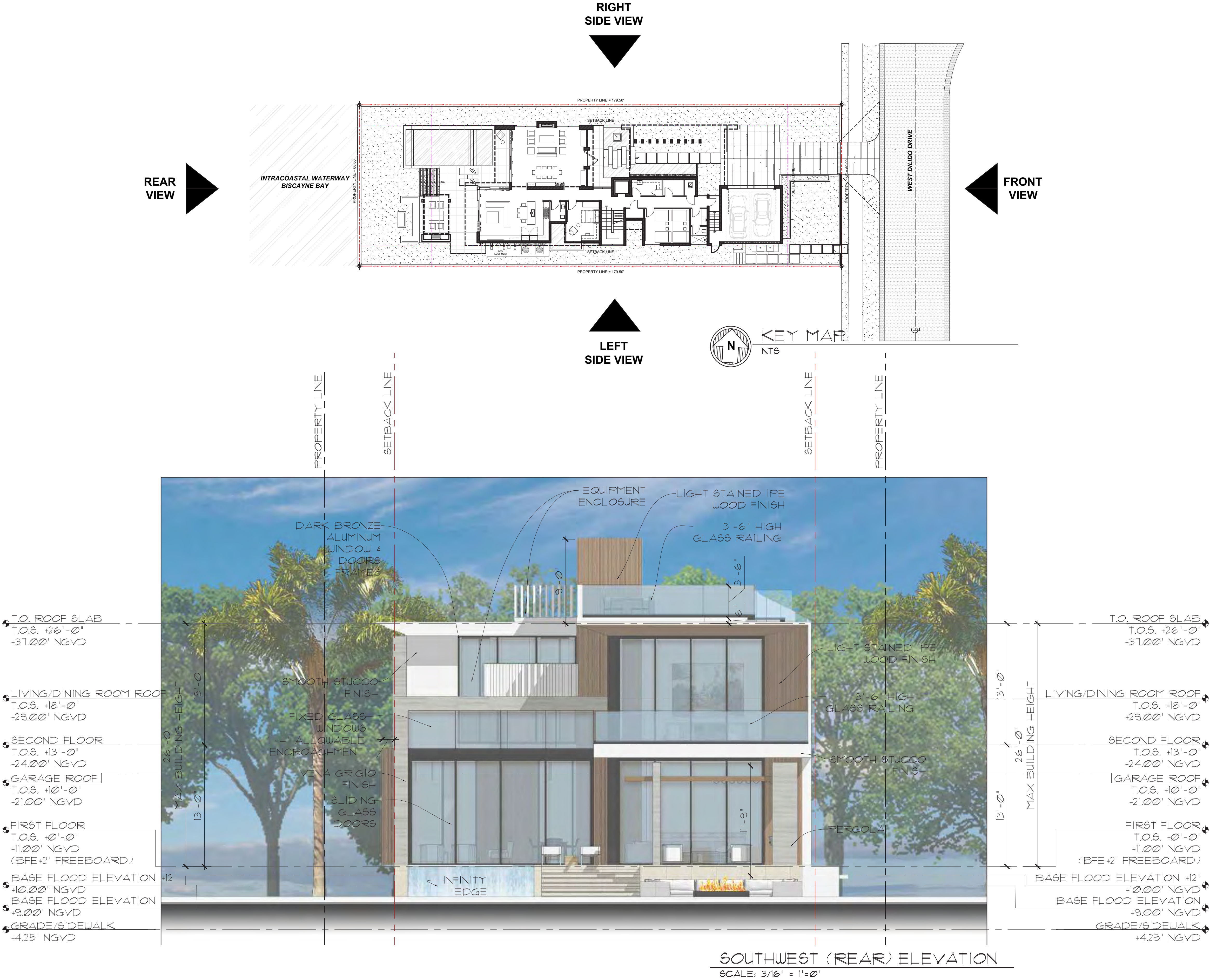
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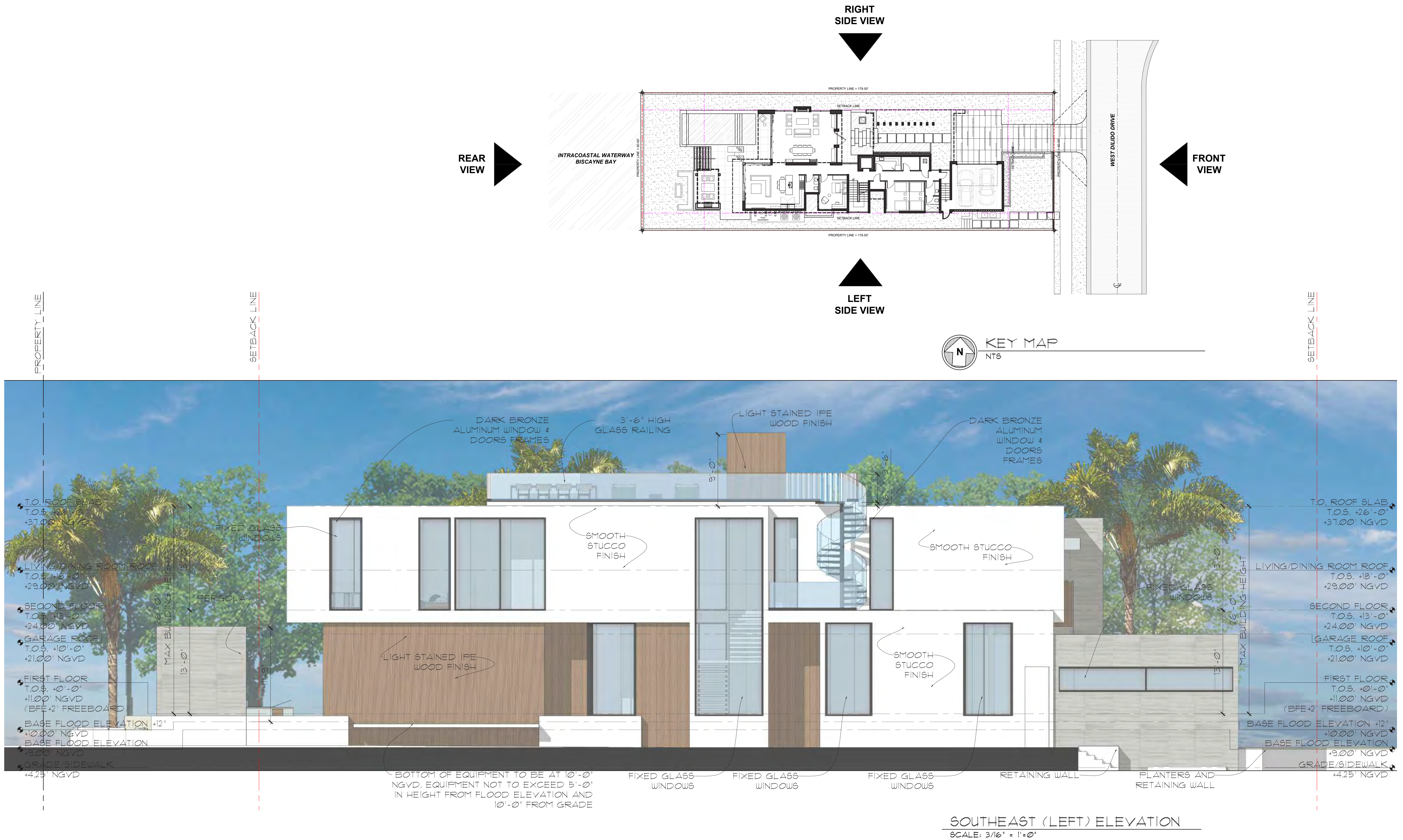
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01/18/2021

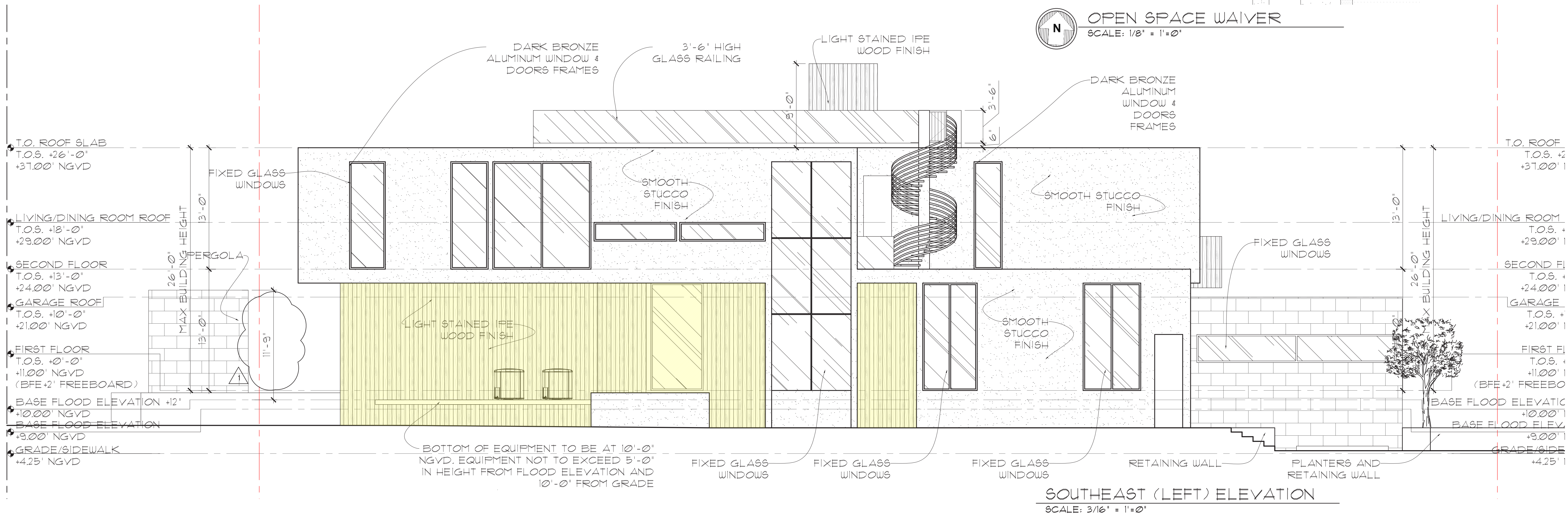
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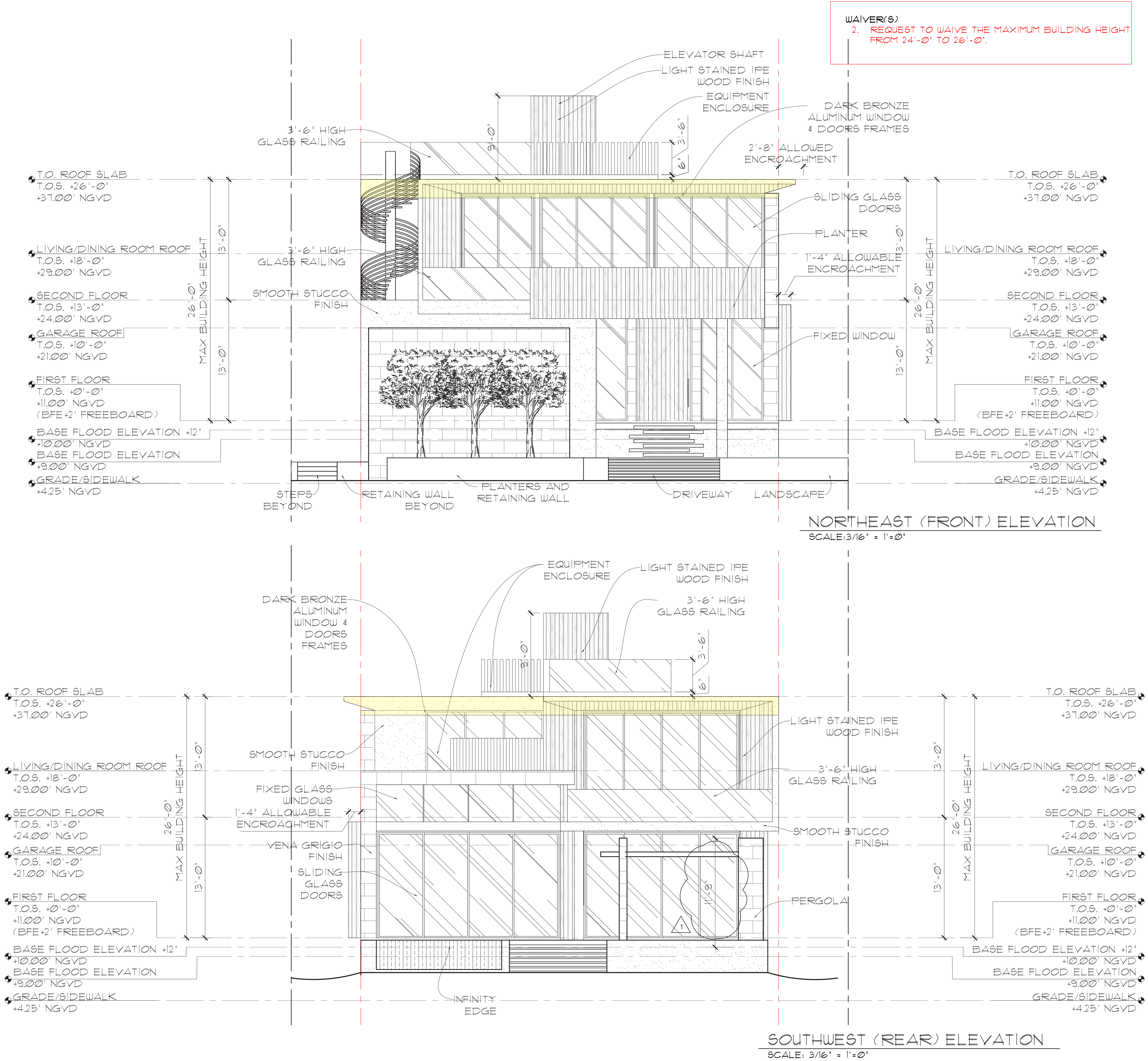
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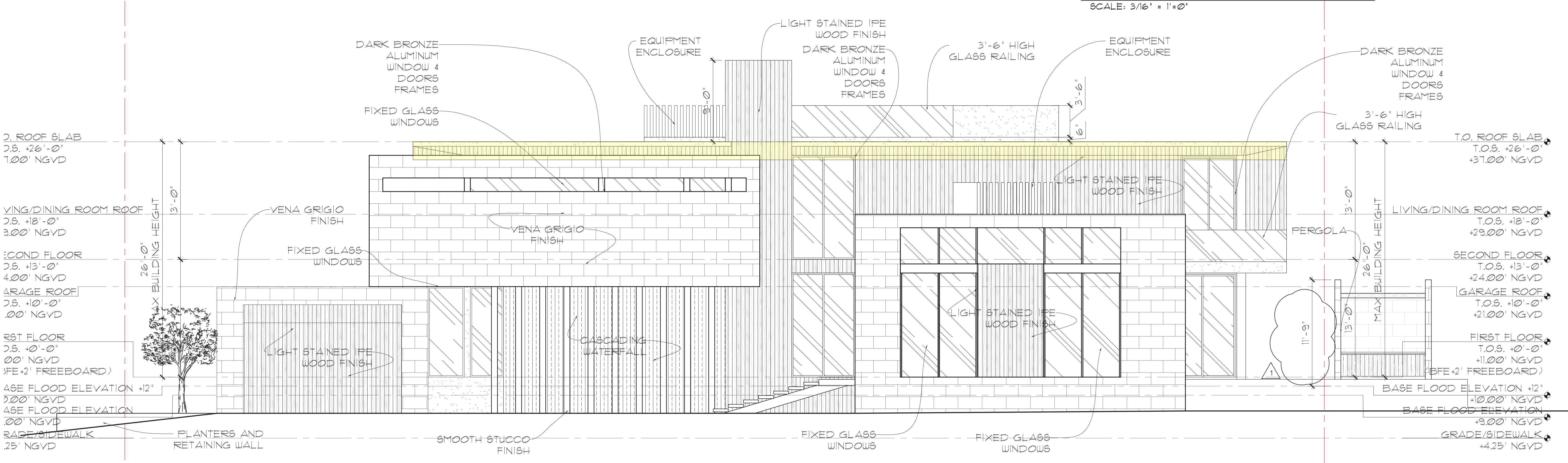
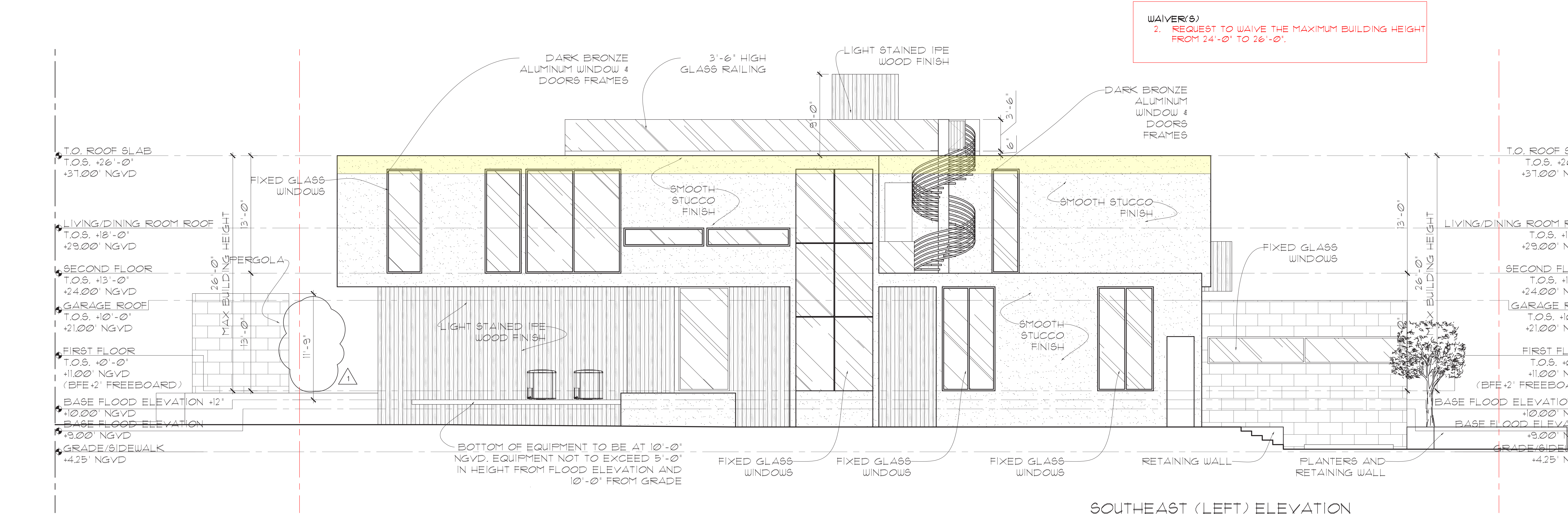
A-3.5



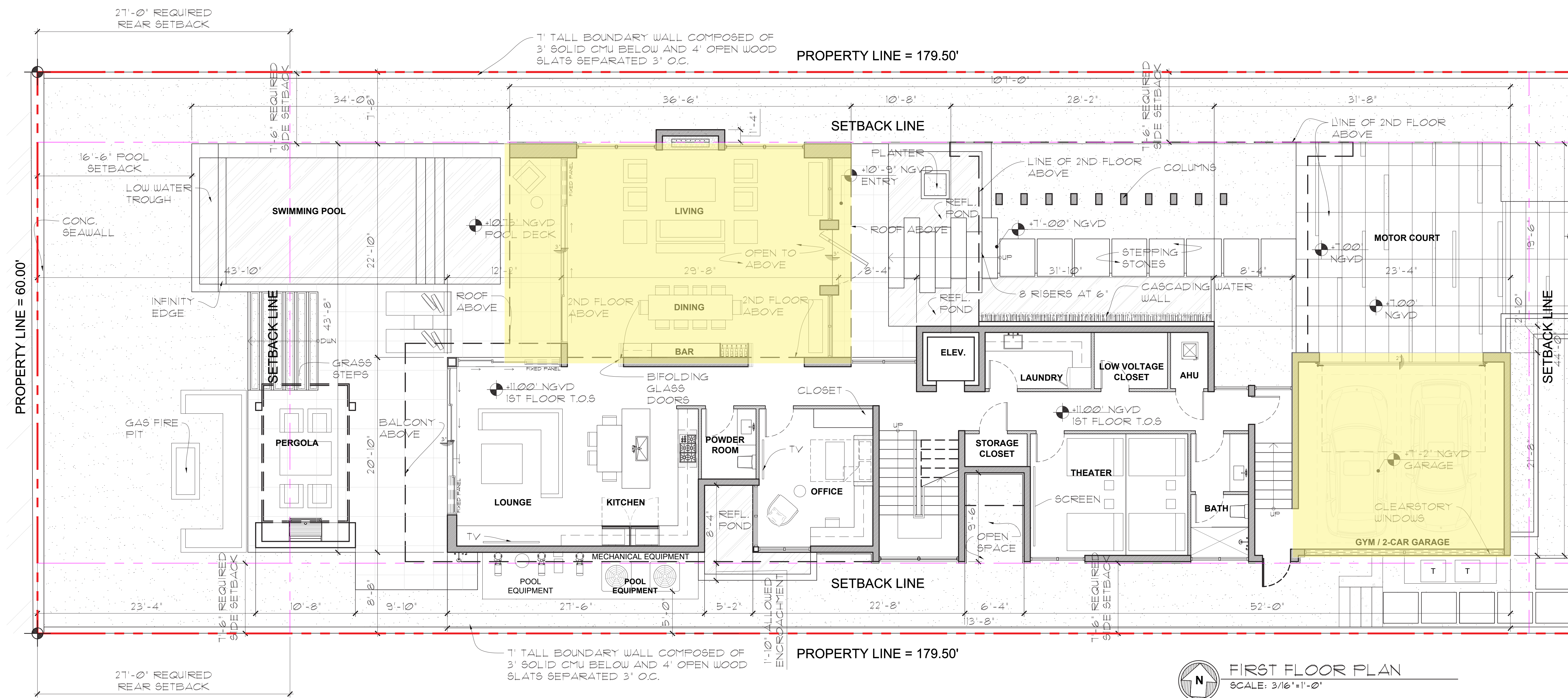


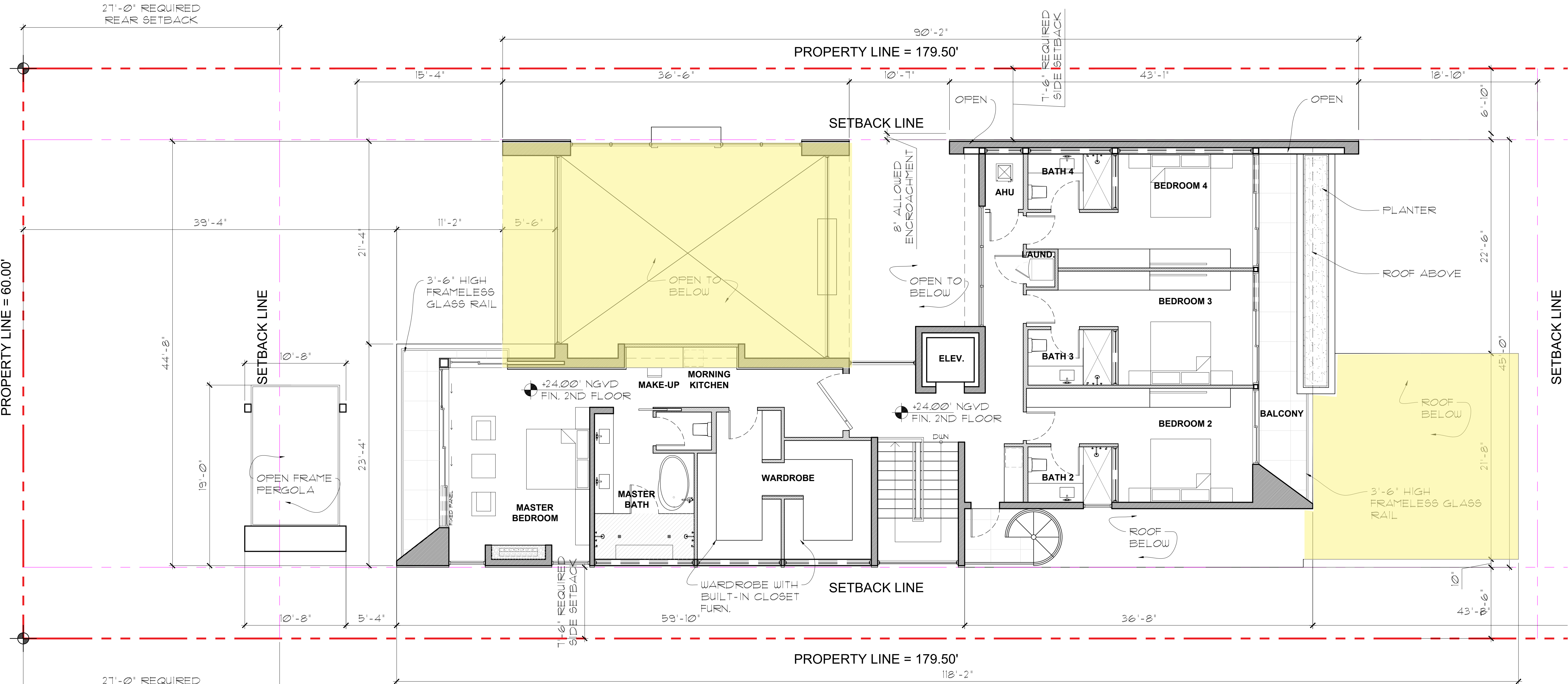


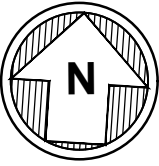


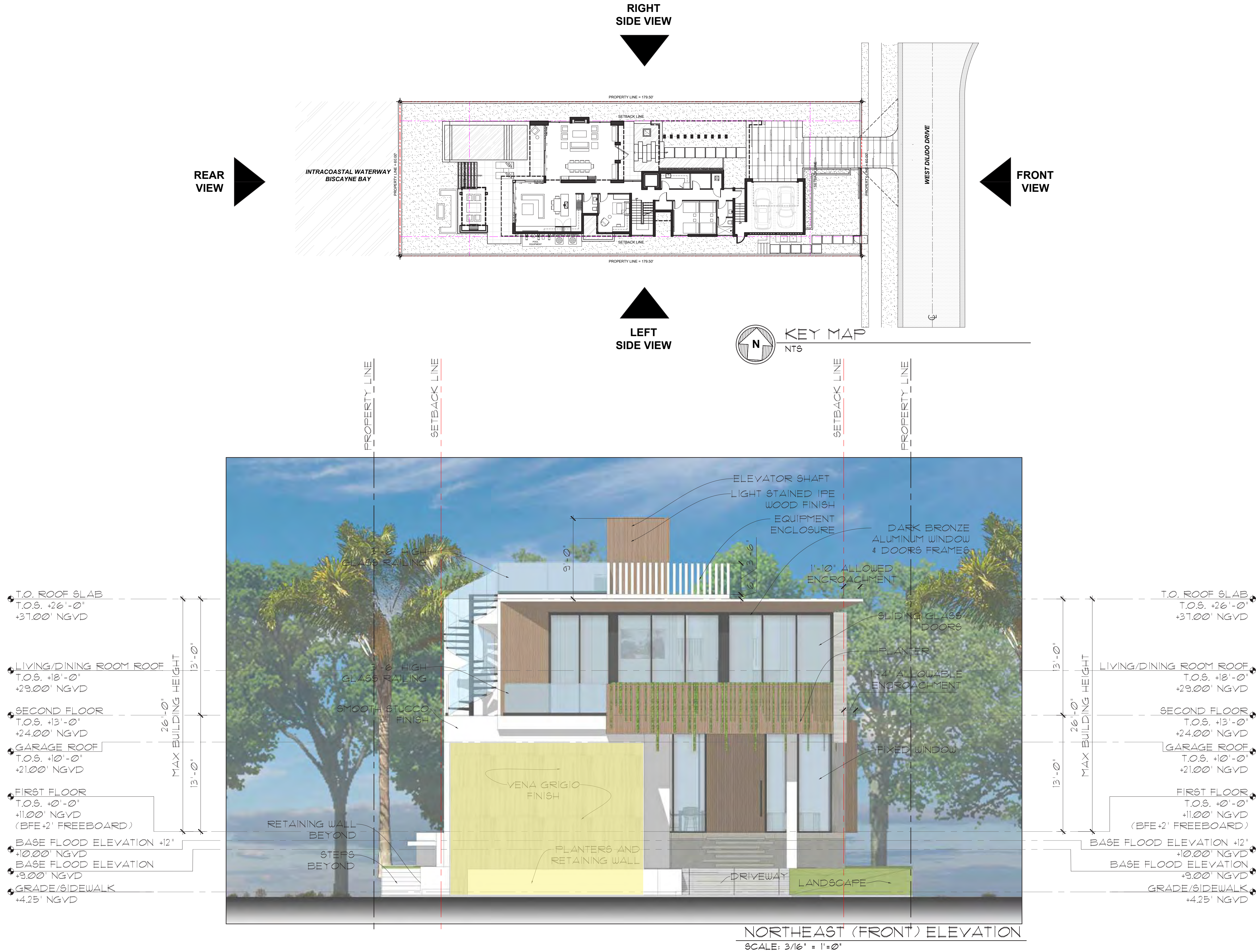


NORTHWEST (RIGHT) ELEVATION
SCALE: 3/16" = 1'-0"





 **SECOND FLOOR PLAN**
SCALE: 3/16"=1'-0"



DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33138

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

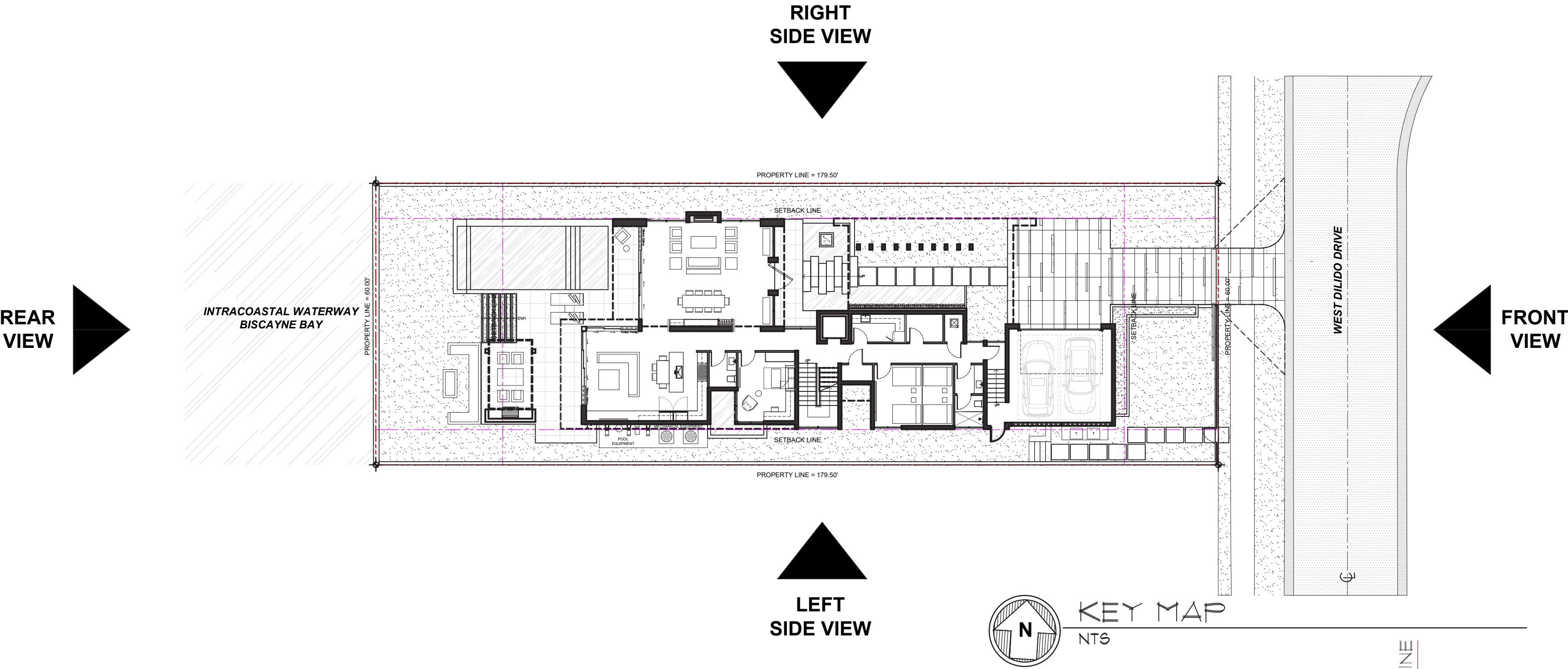
comm no.
2061

date:
01/18/2021

revised:

sheet no.

A-3.4



NORTHWEST (RIGHT) ELEVATION
SCALE: 3/16" = 1' = 0"

DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
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AA26003009

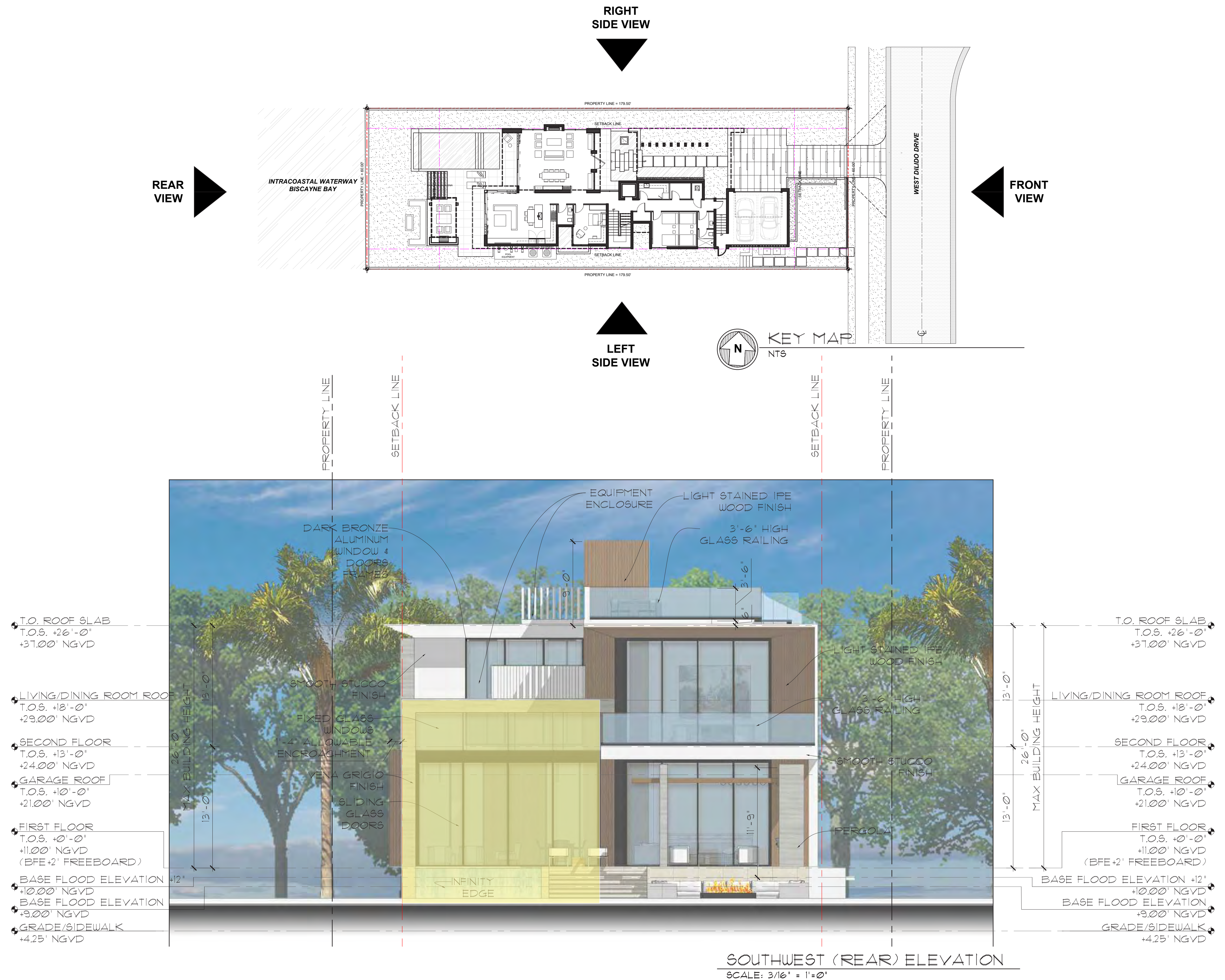
comm no.
2061

date:
01/18/2021

revised:

sheet no.

A-3.5





Northeast Elevation (Front)
Rendering



Northwest Elevation (Right)
Rendering



Southwest Elevation (Rear)
Rendering

FINAL SUBMITTAL
03/08/2021
CHOEFF LEVY FISCHEMAN
ARCHITECTURE + DESIGN
(t) 305.434.8338
(f) 305.892.5292
www.cfoffice.com

DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33139

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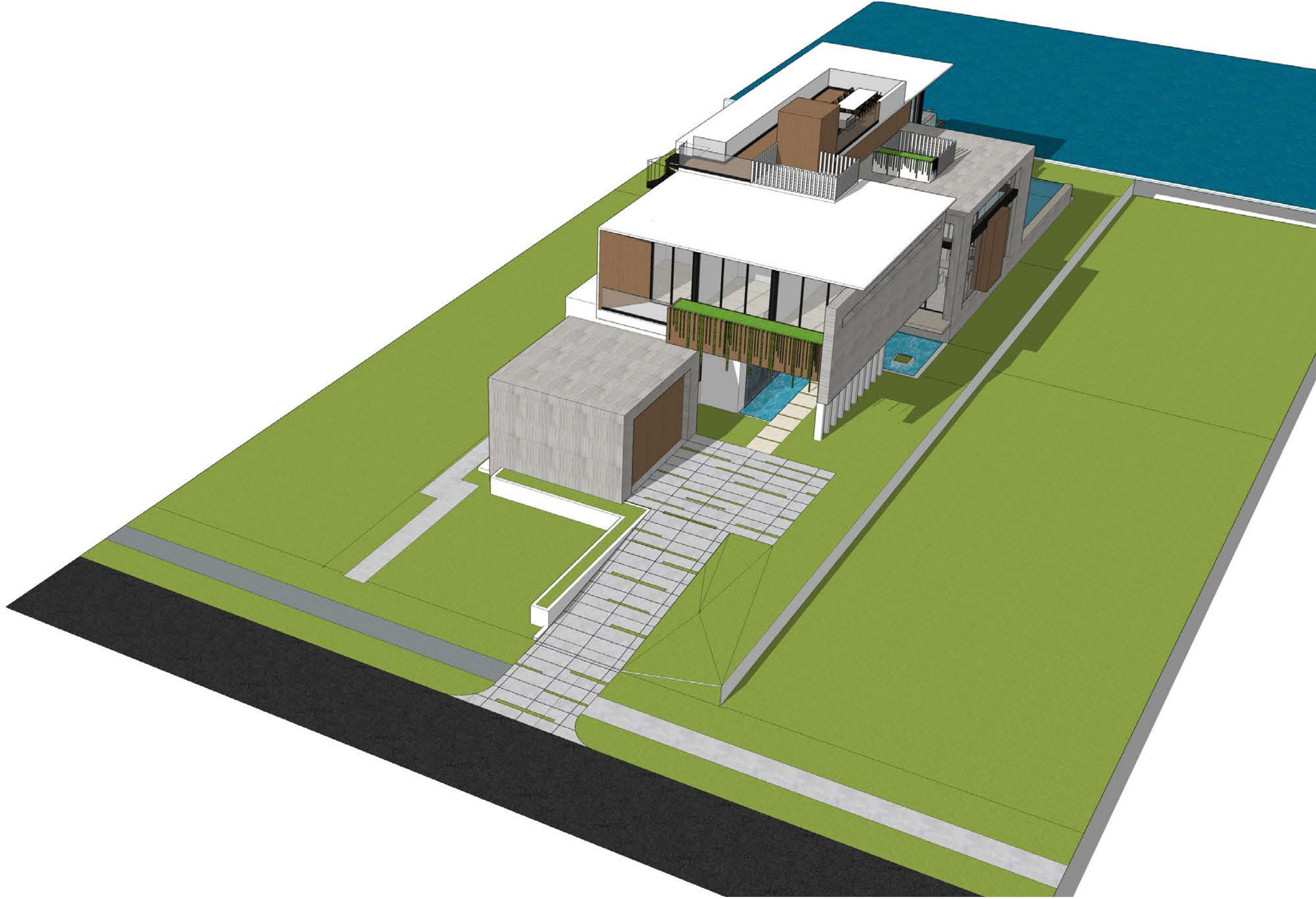
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date:
01/18/2021

revised:

sheet no.

G-2.4



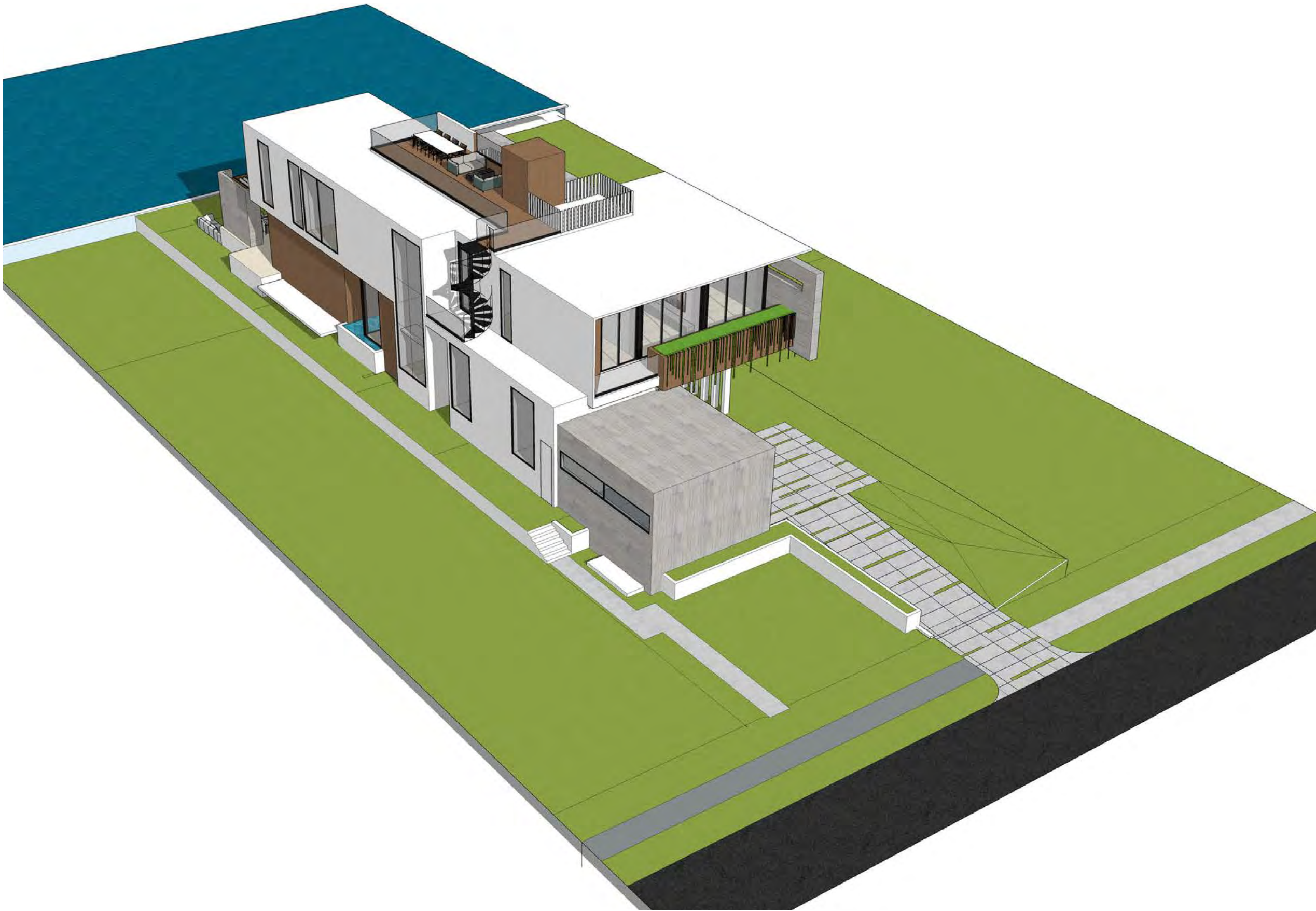
NORTH BIRD'S EYE LEVEL VIEW



EAST BIRD'S EYE LEVEL VIEW



SOUTH BIRD'S EYE LEVEL VIEW



WEST BIRD'S EYE LEVEL VIEW



VENA GRIGIO FINISH



TARIMATEC WOOD CLADDING



SMOOTH STUCCO



DARK BRONZE ALUMINUM
FINISH



Northeast Elevation (Front)
Rendering

FINAL SUBMITTAL
03/08/2021
CHOEFF LEVY FISCCHMAN
ARCHITECTURE + DESIGN
(t) 305.434.8338
(f) 305.892.5292
www.cfoffleveyschman.com
8425 Biscayne Blvd, suite 201
Miami, Florida 33138

DANDEKAR RESIDENCE
450 W DILDO DRIVE
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2061

date:
01/18/2021

revised:

sheet no.

G-2.0



Northeast Elevation (Front)
Rendering

FINAL SUBMITTAL
03/08/2021
CHOEFF LEVY FISCHEMAN
ARCHITECTURE + DESIGN
(t) 305.434.8338
(f) 305.892.5292
www.clfarchitects.com
8425 Biscayne Blvd, suite 201
Miami, Florida 33138

DANDEKAR RESIDENCE
450 W DILDO DRIVE
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seal

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registered architect
AR0009679
AA26003009

comm no.
2061

date:
01/18/2021

revised:

sheet no.

G-2.1



Northwest Elevation (Right)
Rendering



Southeast Elevation (Left)
Rendering

seal

Ralph Choeff
registered architect
AR0009679
AA26003009

comm no.
2061

date:
01/18/2021

revised:

sheet no.

G-2.3



Southwest Elevation (Rear)
Rendering

FINAL SUBMITTAL
03/08/2021
CHOEFF LEVY FISCHEMAN
ARCHITECTURE + DESIGN
(t) 305.434.8338
(f) 305.892.5292
www.cfoffice.com
8425 Biscayne Blvd, suite 201
Miami, Florida 33138

DANDEKAR RESIDENCE
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seal

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AA26003009

comm no.
2061

date:
01/18/2021

revised:

sheet no.
G-2.4



C.M.B. LANDSCAPE FINAL DRB SUBMITTAL - 03.08.21

NEW RESIDENCE | 450 W. DILIDO DR | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

PROPERTY ADDRESS
450 W. DILIDO DRIVE
MIAMI BEACH, FL 33139

EXISTING VEGETATION SUMMARY

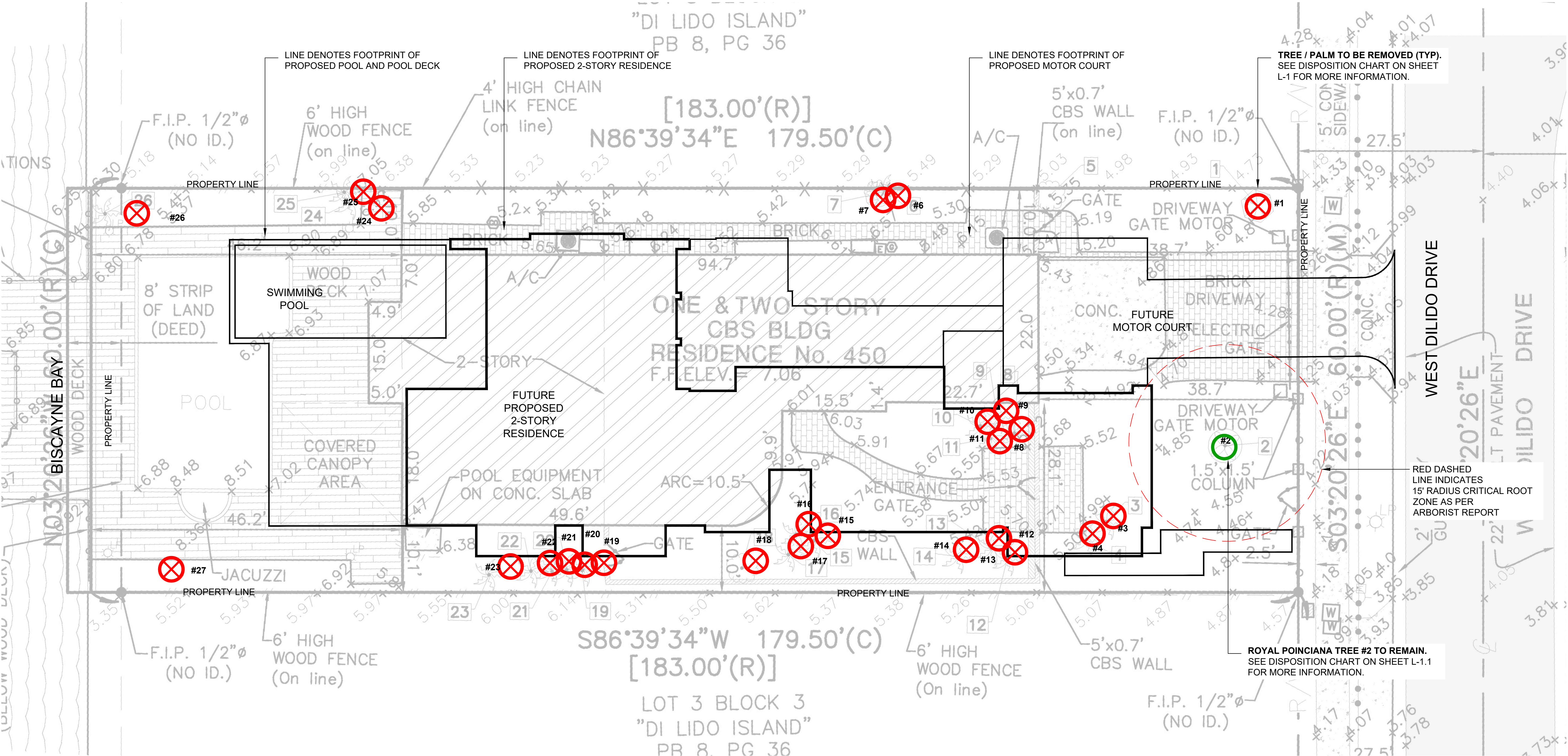
The existing vegetation located on the property is composed mostly of palms and a few distinctive trees. The landscape architect is requesting to remove all the vegetation on site. Please note that the landscape architect intends to provide an improved landscape design that shall mitigate for the palm and tree loss by introducing new native trees to the site and meet all landscape requirements set forth by C.M.B. Chapter 126.

SCOPE OF WORK

- New landscape design to complement new Residence

INDEX OF SHEETS

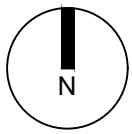
- L-0.0 Landscape Cover + Sheet Index
- L-1.0 Existing Tree Survey + Disposition Plan
- L-1.1 Existing Tree Chart, Mitigation Summary, Notes + Details
- L-2.0 First Floor Landscape Plan
- L-2.1 Second Floor Landscape Plan
- L-3.0 Plant List, Landscape Notes + Details
- L-4.0 Schematic Grading Plan

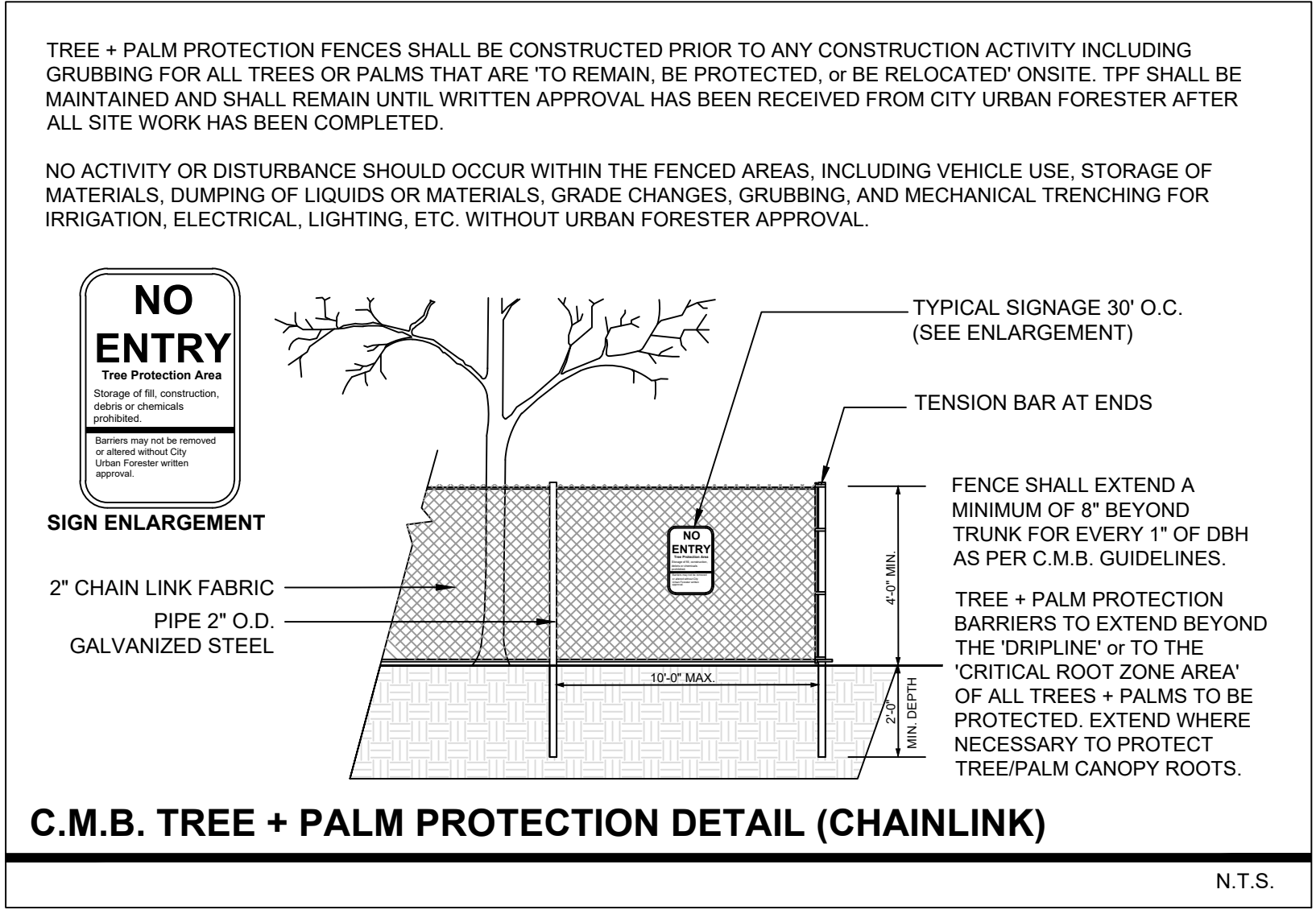


C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES
1. THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE.
2. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY HADONNE CORP. DATED 02.11.20
3. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 02.10.21
4. AN ARBORIST REPORT DATED 02.23.21 HAS BEEN PROVIDED BY ALEXIS ALVEY ISA CERTIFIED ARBORIST NY-5539B OF ALVEY TREE CONSULTING. PLEASE REFER TO ATTACHED REPORT FOR MORE INFORMATION.
5. MIAMI BEACH P+Z MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A DBH BETWEEN 6" AND 12" INCHES. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH GREENSPACE MANAGEMENT / P.W FOR THE REMOVAL OF TREES / PALMS WITH A DBH GREATER THAN 12" INCHES OR IN THE R.O.W.
6. THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 6" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
7. THERE ARE NO TREES or PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

C.M.B. EXISTING TREE SURVEY LEGEND
<div><div></div><div>TREE or PALM TO BE REMOVED. SEE CHART L-1.1.</div></div> <div><div></div><div>TREE or PALM TO REMAIN. PRESERVE + PROTECT</div></div> <div><div></div><div>CRITICAL ROOT ZONE AS PER ARBORIST REPORT</div></div>

EXISTING TREE SURVEY + DISPOSITION PLAN





C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - 450 W. DILIDO DRIVE										
NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	MITIGATION	COMMENTS
#1	Umbrella Tree	Schefflera actinophylla	YES	35"	20'	20'	POOR	REMOVE		IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#2	Royal Poinciana	Delonix regia	YES	30"	35'	55'	FAIR	REMAIN	35" DBH N/A	PRESERVE + PROTECT DURING CONSTRUCTION
#3	Queen Palm	Syagrus romanzoffiana	NO	11"	35'	15'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#4	Pygmy Date Palm (dbl)	Phoenix roebelenii	NO	4"	12'	8'	POOR	REMOVE	N/A	SMALL PALM, NO MITIGATION REQUIRED
#5	Podocarpus	Podocarpus gracilior	NO	14"	30'	18'	GOOD	REMOVE	14" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#6	Corn Plant	Dracaena fragrans	NO	14"	25'	10'	POOR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#7	Weeping Fig	Ficus benjamina	NO	9"	25'	22'	GOOD	REMOVE	9" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#8	Chinese Fan Palm	Livistona chinensis	NO	8"	35'	12'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#9	Chinese Fan Palm	Livistona chinensis	NO	9"	30'	12'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#10	Chinese Fan Palm	Livistona chinensis	NO	9.5"	30'	12'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#11	Chinese Fan Palm	Livistona chinensis	NO	15.5"	40'	10'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#12	Chinese Fan Palm	Livistona chinensis	NO	9.5"	30'	12'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#13	Chinese Fan Palm	Livistona chinensis	NO	8.5"	30'	12'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#14	Royal Palm	Roystonea regia	NO	21"	50'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#15	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#16	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#17	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#18	Strawberry Guava	Psidium cattleianum	NO	4.5"	20'	15"	FAIR	REMOVE	4" DBH	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#19	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#20	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#21	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#22	Traveler's Palm	Ravenala madagascariensis	NO	8"	25'	10'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#23	Traveler's Palm	Ravenala madagascariensis	NO	9"	15'	0	DEAD	REMOVE	N/A	DEAD PALM, NO MITIGATION REQUIRED
#24	Coconut Palm	Cocos nucifera	NO	12"	40'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#25	Coconut Palm	Cocos nucifera	NO	9.5"	35'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#26	Coconut Palm	Cocos nucifera	NO	10.5"	35'	15'	FAIR	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#27	Coconut Palm	Cocos nucifera	NO	8"	23'	16'	GOOD	REMOVE	1 REP. TREE	IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
TOTAL TREE DBH LOSS: 62" + THE REMOVAL OF (20) PALMS *										
TREE MITIGATION REQUIRED: (21) REPLACEMENT TREES @ 12HT x 2" DBH X 6' SPREAD										
PALM MITIGATION REQUIRED: (20) REPLACEMENT TREES @ 12HT x 2" DBH X 6' SPREAD										

CH. 46 TREE PRESERVATION + PROTECTION / TREE + PALM MITIGATION SUMMARY

TOTAL TREE DBH LOSS: 62"

REPLACEMENT TREES REQUIRED:

(21) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (11) REPLACEMENT TREES REQUIRED @ 16' HEIGHT + 4" DBH + 8' SPREAD

REPLACEMENT TREES PROVIDED: 22 REPLACEMENT TREES PROVIDED @ 12'HT + 2" DBH

BREAKDOWN:

-(11) BRAZILIAN BUEATYLEAF TREES @ 16' HEIGHT + 4" DBH + 8' SPREAD = 22 REPLACEMENT TREES

TOTAL PALMS REMOVED: 20 PALMS

REPLACEMENT TREES REQUIRED:

(20) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (10) REPLACEMENT TREES REQUIRED @ 16' HT + 4" DBH + 8' SPREAD

REPLACEMENT TREES PROVIDED: 20 REPLACEMENT TREES PROVIDED @ 12'HT + 2" DBH

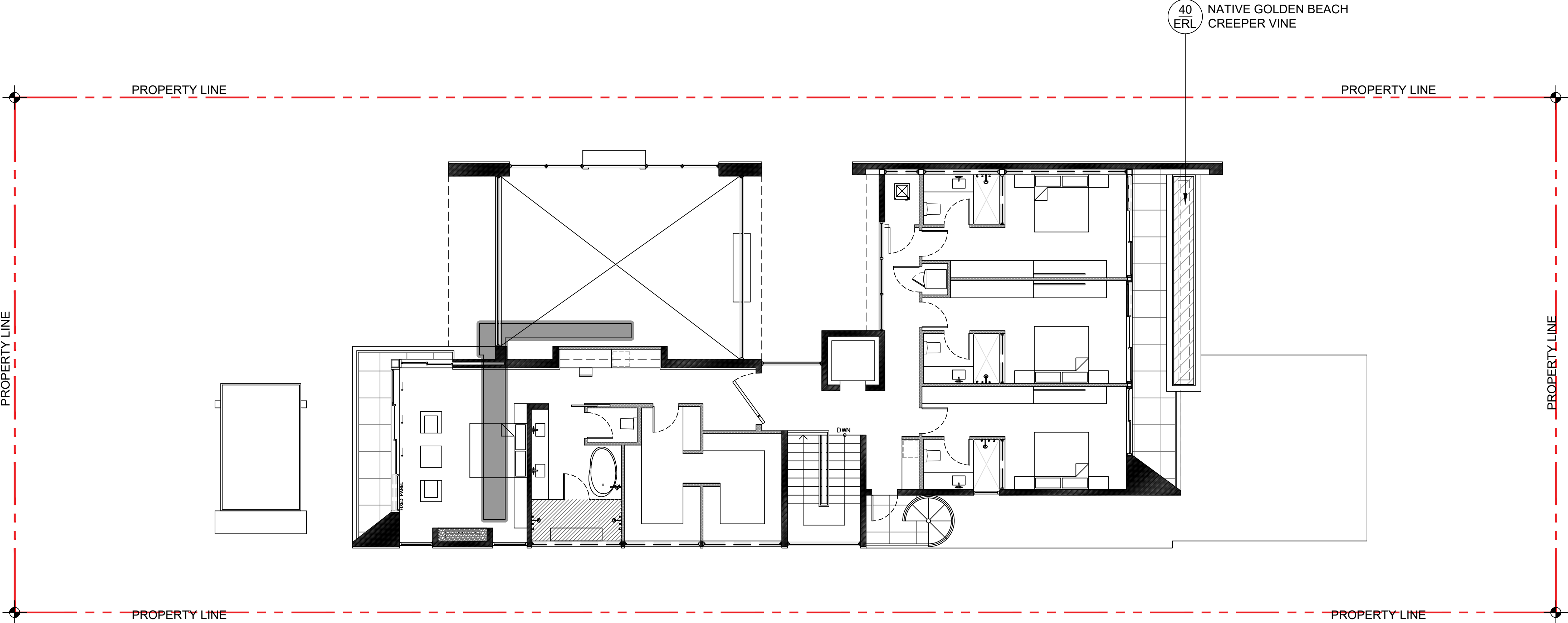
BREAKDOWN:

-(1) BRAZILIAN BUEATYLEAF TREES @ 16' HEIGHT + 4" DBH + 8' SPREAD = 2 REPLACEMENT TREES

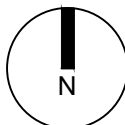
-(2) NATIVE SEA GRAPE TREE @ 16' HEIGHT + 4" DBH + 8' SPREAD = 4 REPLACEMENT TREES

-(4) NATIVE SIMPSONS STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 4 REPLACEMENT TREES

-(10) BAY RUM TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 10 REPLACEMENT TREES



SECOND FLOOR LANDSCAPE PLAN



LANDSCAPE NOTES

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.

2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.

3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.

CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.

GROUNDCOVER PLANTING BEDS:
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

SHRUB AND HEDGE PLANTING AREAS:
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.

TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:
REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30"BEFORE PLACING NEW PLANTING SOIL. APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SOODED.
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
7. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE CITY OF MIAMI BEACH TREE PERMITTING GUIDELINES. ANY TREES OR PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "I" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING SCHEDULES.CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.

9. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH APPROVED NATURAL SHREDDED COCO BROWN MULCH FREE FROM WEEDS AND PESTS. NO 'NUGGETS', 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.

10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.

11. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.

CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.

12. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.

13. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.

A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.

13. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE SCOTTS AGRIFORM 20-10-5 PLANTING TABS OR APPROVED EQUAL AS RECOMMENDED BY LANDSCAPE CONTRACTOR

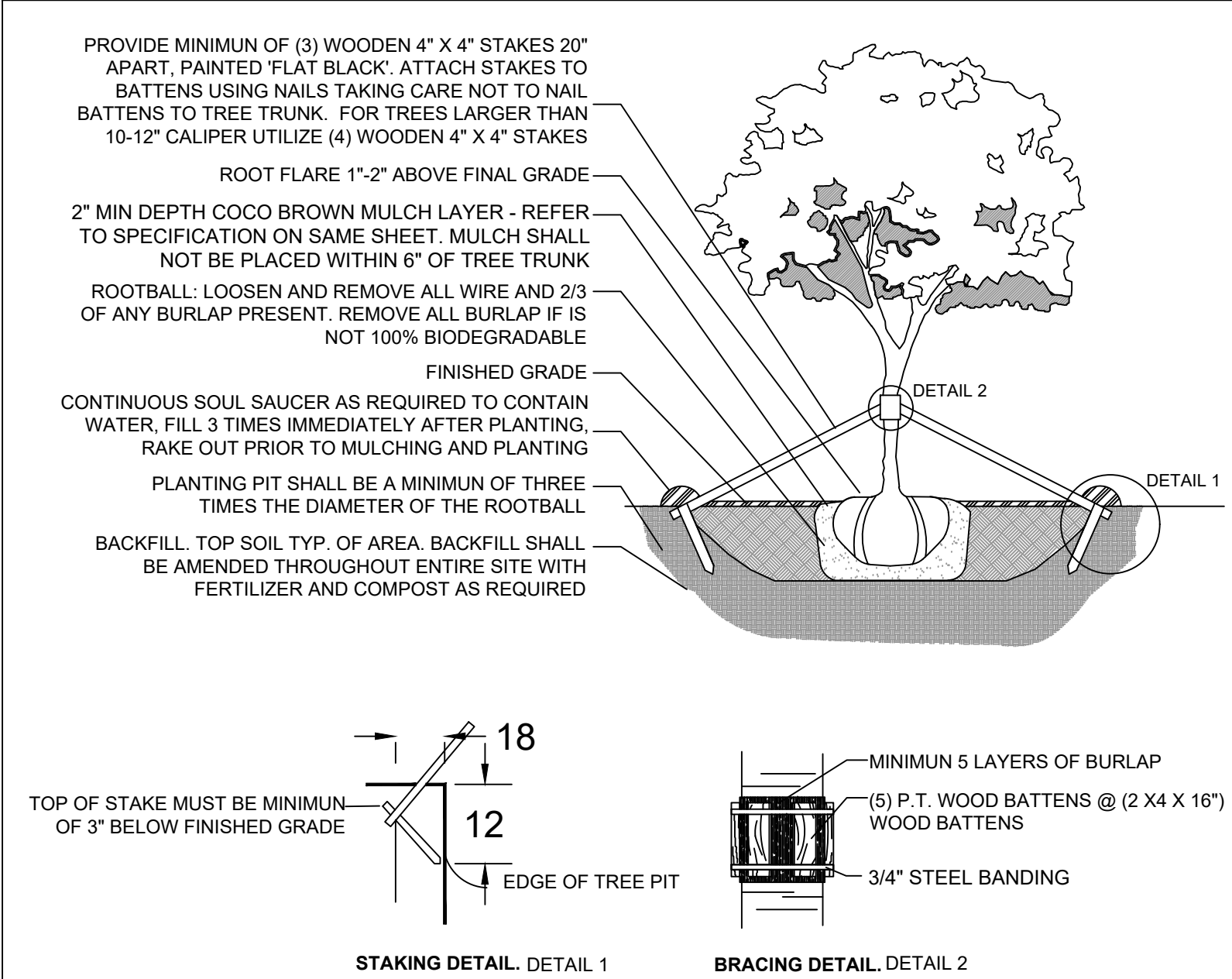
14. SHOULD ANY TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTION REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH A CITY OF MIAMI BEACH CODE, ANSI-A 300 PRUNING STANDARDS AND OR AN ISSUED ERM TREE PERMIT OR ENVIRONMENTAL PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR ASCA CONSULTING ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.

15. ALL TREES + PALMS TO REMAIN OR BE RELOCATED ON SITE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRICADES INSTALLED AT THE TREE OR PALM DRIP LINE. A TREE PROTECTION FENCE SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING AND SHALL REMAIN IN PLACE UNTIL ON SITE CONSTRUCTION HAS BEEN COMPLETED.

17. MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNK THAT IS INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES + PALMS, ALL MULCH SHALL BE AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.

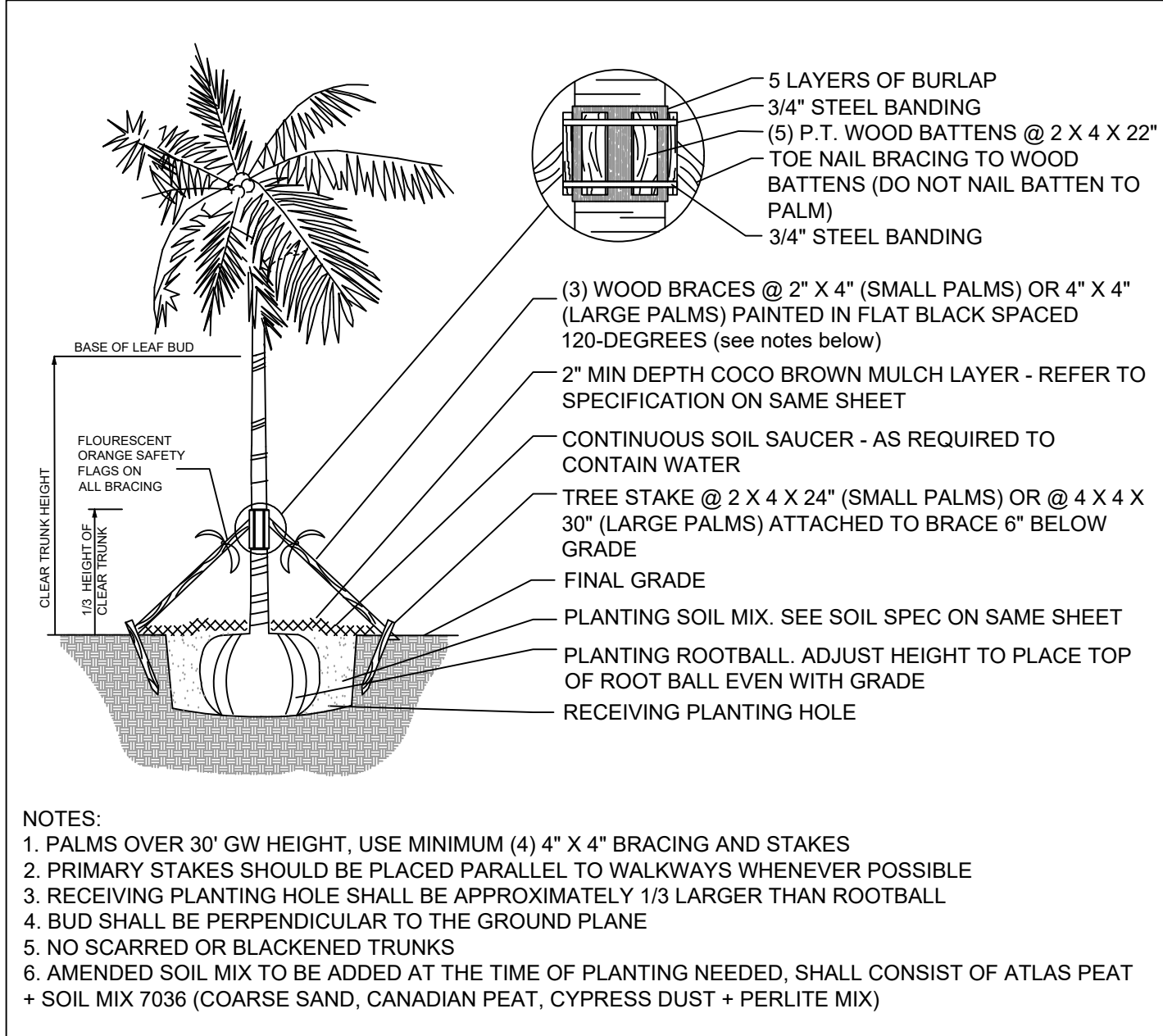
PLANT LIST - 450 W. DILIDO DRIVE

KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CB	12	NO	BRAZILIAN BUEATYLEAF	Calophyllum brasiliense	16' ht min, 8' spread min, 4" dbh, standard trunk
CE	ALT	YES	GREEN BUTTONWOOD	Conocarpus erectus	16' ht min, 8' spread min, 4" dbh, standard trunk
CU	2	YES	SEA GRAPE TREES	Coccoloba uvifera	14' ht min, 8' spread min, 4" dbh, multi trunk
EF	ALT	YES	SPANISH STOPPER TREE	Eugenia foetida	12' ht min, 6' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
PR	10	NO	BAYRUM TREE	Pimenta racemosa	12' ht min, 6' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
MF	4	YES	SIMPSON STOPPER	Myrcianthes fragrans	12' ht min, 6' spread min, 2" dbh, 5' clear trunk, standard trunk, equal to Treeworld Wholesale
PALMS					
CN	4	NO	COCONUT PALM	Cocos nucifera 'Maypan'	8' gray wood, leaning, Florida Fancy
DC	1	NO	CABADA PALM	Dypsis cabadae	8' gray wood, leaning, Florida Fancy
LC	4	NO	LICUALA PALMS	Licuala grandis	2 - 3' overall height, Florida Fancy
PE	5	NO	ALEXANDER PALMS	Ptychosperma elegans	12'-13' ht clear trunk, 7-8' gray wood, double, #2 thin trunk
TR	ALT	YES	THATCH PALM	Thrinax radiata	5' height, Florida Fancy
SHRUBS					
ELD	6	NO	JAPANESE BLUEBERRY	Elaeocarpus decipiens	15 gallon, 4-5' height, 2' spread, 30" on center, matched
EUF	130	YES	SPANISH STOPPER SHRUB	Eugenia foetida	15 gallon, 5' height, 2' spread, 30" on center
PSL	30	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, 2' - 3' height, 30" spread
GROUNDCOVERS					
ALP	6	NO	TORCH GINGER	Alpinia purpurata	15 gallon, 5' on center, full
CAM	70	NO	CARISSA 'EMERALD BLANKET'	Carissa macrocarpa	3 gallon, 12" on center, full
ERL	40	NO	GOLDEN BEACH CREEPER	Ernodea littoralis	1 gallon, 12" on center, full
LIR	AS REQ	NO	LILYTURF	Liriope muscari	1 gallon, 12" on center, full
MOD	6	NO	SWISS CHEESE PLANT	Monstera deliciosa	3 gallon, 24" on center, full
NEO	40	NO	NEOMARICA	Neomarica caerulea 'Regina'	3 gallon, 24" on center, full
PGC	30	NO	PHILODENDRON 'GREEN CONGO'	Same	3 gallon, 18" on center, full
PRC	40	NO	PHILODENDRON 'ROJO CONGO'	Same	3 gallon, 18" on center, full
TRF	40	NO	DWARF FAKAHATCHEE	Tripsacum floridana	1 gallon, 12" spread, full
SOD, AGGREGATE & MULCH					
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH				
SOD	NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS				
DGA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED, INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH				



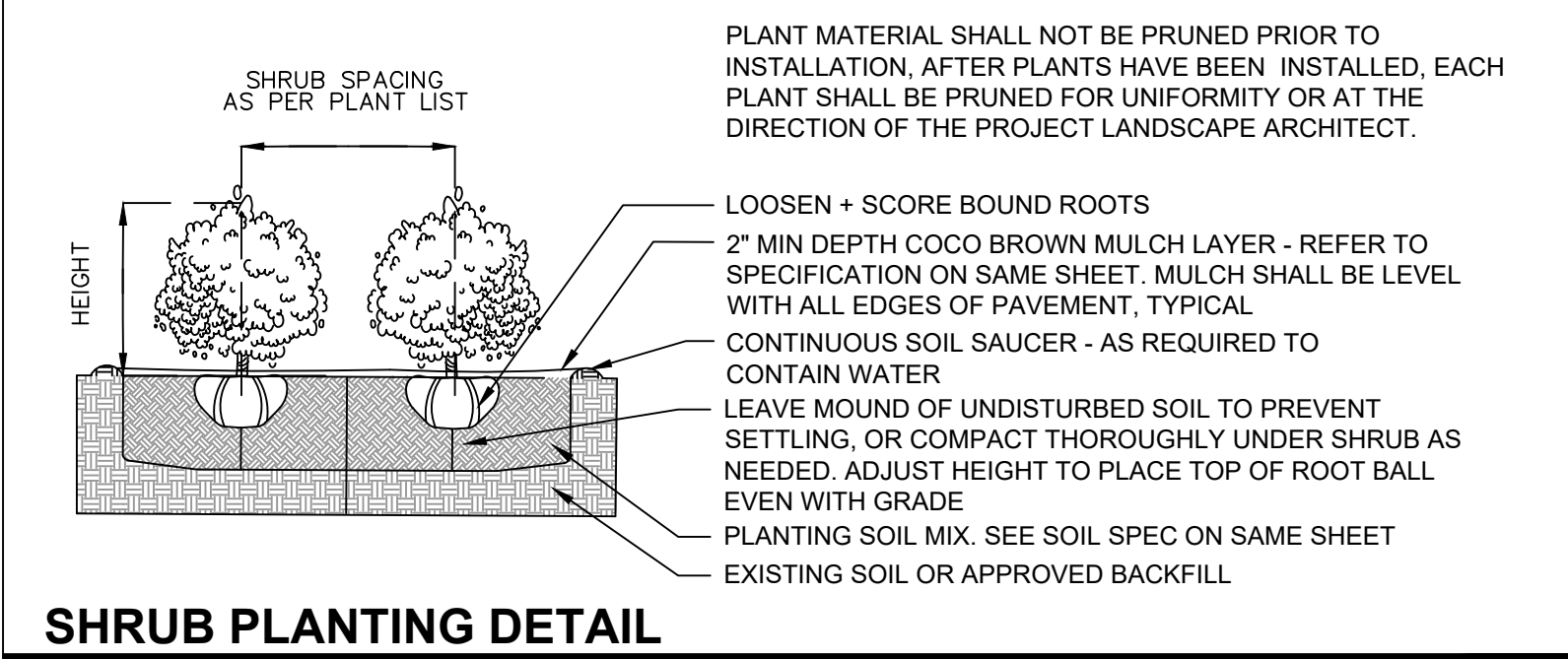
C.M.B. LARGE TREE PLANTING DETAIL

N.T.S.



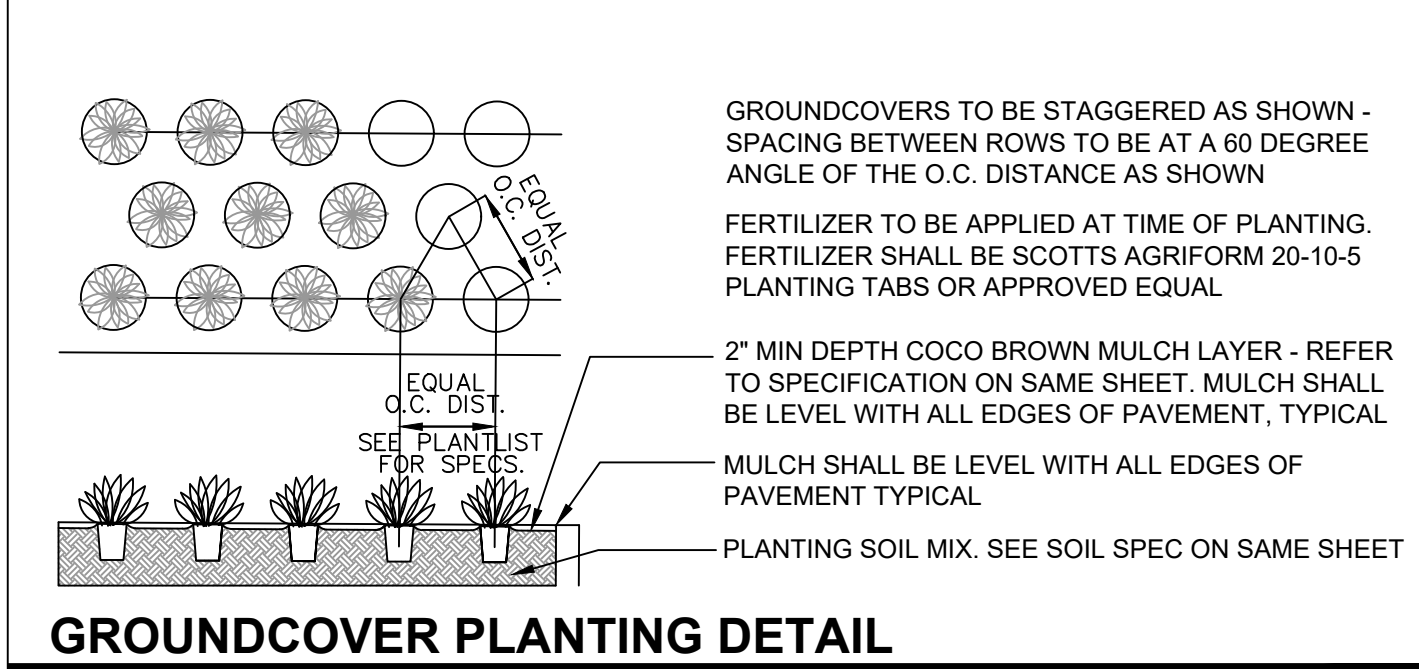
C.M.B. PALM PLANTING DETAIL

N.T.S.



SHRUB PLANTING DETAIL

N.T.S.



GROUNDCOVER PLANTING DETAIL

LANDSCAPE LEGEND

MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 26 (RS1 - RS4 Single Family Home Residential)

ZONING: RS3 LOT SIZE: 10,770 SF ACRES: .25

TREES
FRONT YARD - 2 TREES REQUIRED / 3 TREES PROVIDED
REAR YARD - 3 TREES REQUIRED / 3 TREES PROVIDED

TOTAL OF 5 TREES REQUIRED FOR LOTS UP TO 6,000 SF. 1 ADDITIONAL TREE IS REQUIRED FOR EACH ADDITIONAL 1,000 SF OF LOT AREA.

10,770 - 6,000 = 4,770 SF = 10 TOTAL TREES REQUIRED / 24 TREES PROVIDED.
(2 NATIVE SEA GRAPE TREE + 10 BAYRUM TREES + 12 BRAZILIAN BUEATYLEAF TREES PROVIDED)

DIVERSITY REQUIREMENT
6-10 REQUIRED TREES = 3 TREE SPECIES / 4 SPECIES PROVIDED

NATIVE TREES
30% OF REQUIRED TREES OR .30 X 10 = 3 NATIVE TREES REQUIRED / 6 NATIVE TREES PROVIDED (2 NATIVE SEA GRAPE TREE + 4 NATIVE SIMPSON STOPPER TREES PROVIDED)

LOW MAINTENANCE TREES
50% OF REQUIRED TREES OR .50 X 10 = 5 LOW MAINTENANCE REQUIRED / 12 LM TREES PROVIDED (2 NATIVE SEA GRAPE TREE + 10 BAY RUM TREES PROVIDED)

STREET TREE REQUIREMENT
AVERAGE STREET TREE SPACING 20' ON CENTER
W. DILIDO : 60 LF / 20 = 3 STREET TREES REQUIRED / 4 STREET TREES PROVIDED (4 NATIVE SIMPSON STOPPER TREES PROVIDED)

SHRUBS
12 SHRUBS (OR VINES) REQUIRED FOR EACH REQUIRED LOT AND STREET TREE or 12 X (13) = 160 SHRUBS REQUIRED / 160 SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS + 30 NATIVE DWARF BAHAMA COFFEE + 6 JAPANESE BLUEBERRY SHRUBS PROVIDED)

NATIVE SHRUBS
50% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .50 X 156 = 78 NATIVE SHRUBS REQUIRED / 160 NATIVE SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS + 30 NATIVE DWARF BAHAMA COFFEE PROVIDED)

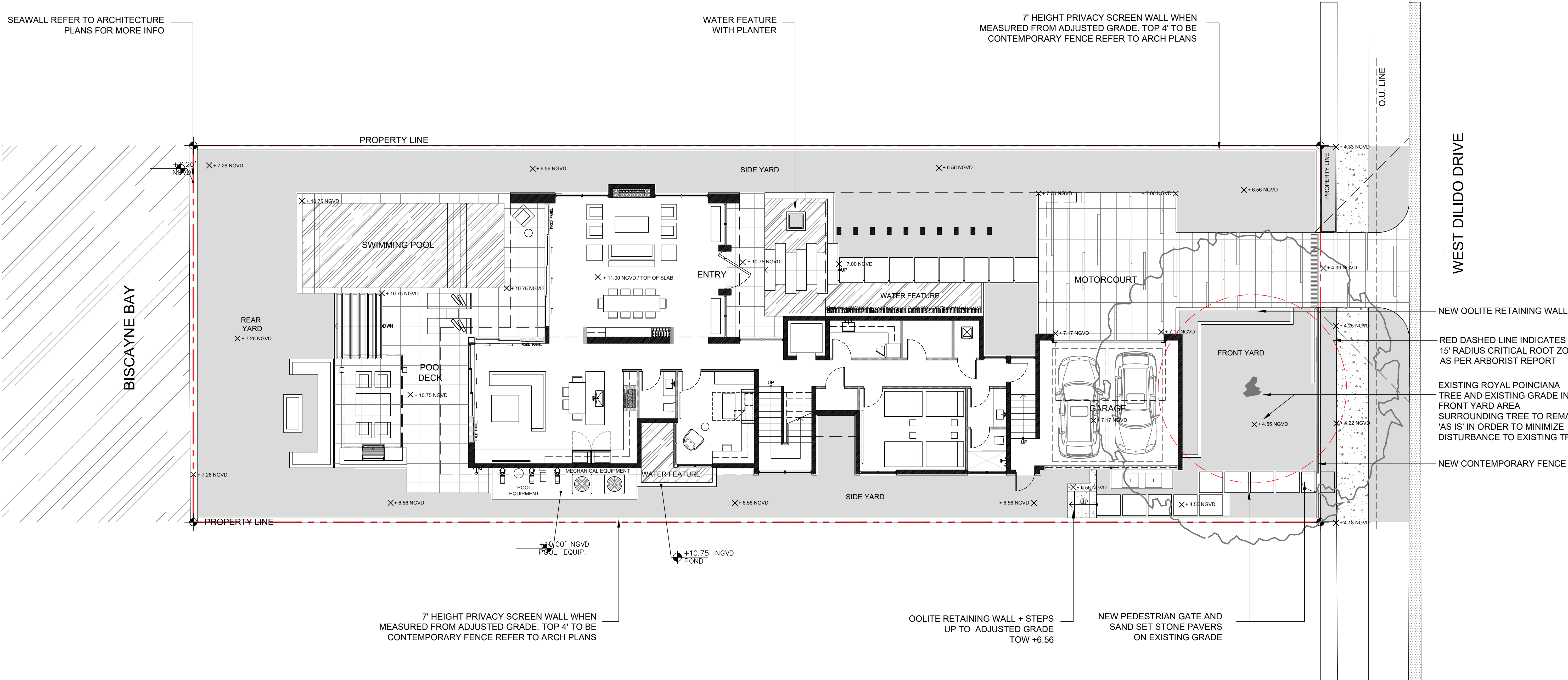
LARGE SHRUBS / SMALL TREES
10% OF TOTAL SHRUBS REQUIRED MUST BE LARGE SHRUBS OR SMALL TREES or .10 X 156 = 16 LARGE SHRUBS REQUIRED / 130 LARGE SHRUBS / SMALL TREES PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS PROVIDED)

NATIVE LARGE SHRUBS / SMALL TREES
50% OF TOTAL LARGE SHRUBS REQUIRED MUST BE NATIVE or .50 X 16 = 8 NATIVE LARGE SHRUBS REQUIRED / 130 NATIVE LARGE SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS PROVIDED)

LAWN AREA
50% MAXIMUM OF LANDSCAPE AREA: NEW LAWN AREAS ARE LESS THAN 50% OF LANDSCAPE AREA

IRRIGATION SYSTEM
100% COVERAGE PROVIDED PURSUANT TO CMB REQUIREMENTS SET IN CHAPTER 126

seal



Job No.: **20009**

1/1

PROPOSED RESIDENCE

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	450 WEST DILIDO DRIVE, MIAMI BEACH, FL 33139			
		Legal Description: LOT 4 & 8ft STRIP CONTIG TO SAME, ON BAY BLK 3, OR 17732-0181 0797 1			
2	Folio number(s):	02-3232-011-0330			
3	Board and file numbers :				
4	Year built:	NOW	Zoning District:		RS-3
5	Based Flood Elevation:	AE 9.00	Grade value in NGVD:		4.25' NGVD
6	Adjusted grade (Flood+Grade/2):	6.60' NGVD	Free board:		9'+2' (11' N.G.V.D.)
7	Lot Area:	10,770 SF			
8	Lot width (AVG.):	60'	Lot Depth (AVG.):		179.50'
9	Max Lot Coverage SF and %:	3,231 SF (30%)	Proposed Lot Coverage SF and %:		3,230 SF (29.9%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:		500 SF
11	Front Yard Open Space SF and %:	1,028 SF (57%)	Rear Yard Open Space SF and %:		1,266 SF (78.2%)
12	Max Unit Size SF and %:	5,385 SF (50%)	Proposed Unit Size SF and %:		5,002 (46.4%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:		2,536 SF
			Proposed Second Floor Unit Size:		2,414 SF
14			Proposed Roof Deck Unit Size:		52 SF
15					
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		586 SF (24%)
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')		26'-0"	WAIVER REQUESTED
18	Setbacks:				
19	Front First level:	20'-0"		22'-0"	
20	Front Second level:	30'-0"		43'-8"	
21	Side 1:	7'-6"		7'-6"	
22	Side 2:	7'-6"		7'-6"	
23	Rear:	27'-0"		43'-10"	
24	Accessory Structure Side 1:	7'-6"		9'-2"	
25	Accessory Structure Side 2 :	7'-6"		33'-4"	
26	Accessory Structure Rear:	13'-6"		23'-4"	
27	Sum of Side yard :	15'-0"		15'-0"	
28	Located within a Local Historic District?		No		
29	Designated as an individual Historic Single Family Residence Site?		No		
30	Determined to be Architecturally Significant?		No		
Notes:					
ITEM #	New Construction Floodplain Management Data				
1	Flood Zone:	AE + 9'			
2	FIRM Map Number	12086C0316L			
3	Base Flood Elevation (BFE):	9.00' NGVD			
4	Proposed Flood Design Elevation:	11.00' NGVD			
5	Crown of Road Elevation:				
6	Classification of Structure:	Category II			
7	Building Use:	Single-Family Residence			
8	Lowest Elev. of Equip				
9	Lowest Adjacent Grade				
10	Highest Adjacent Grade				

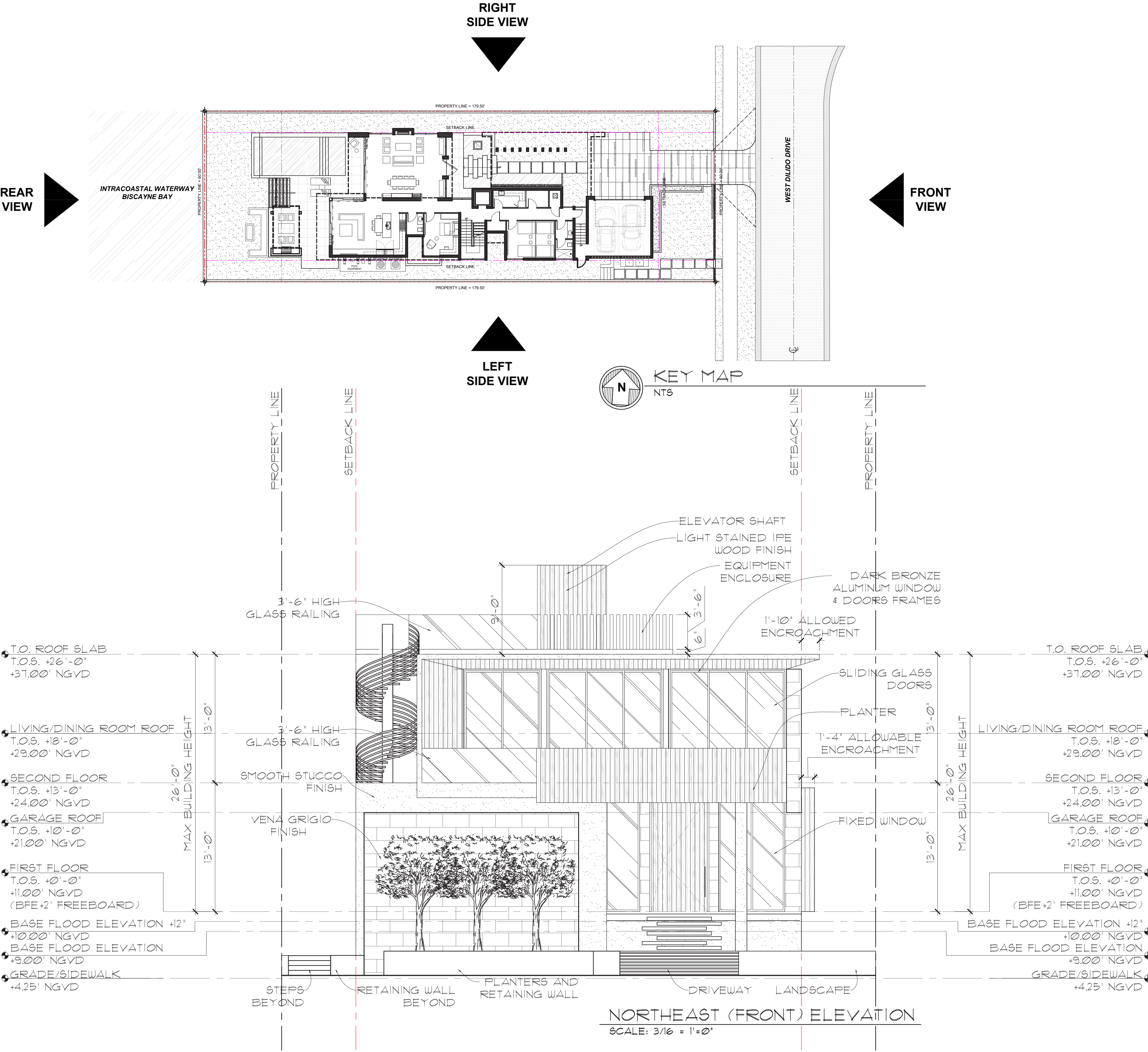
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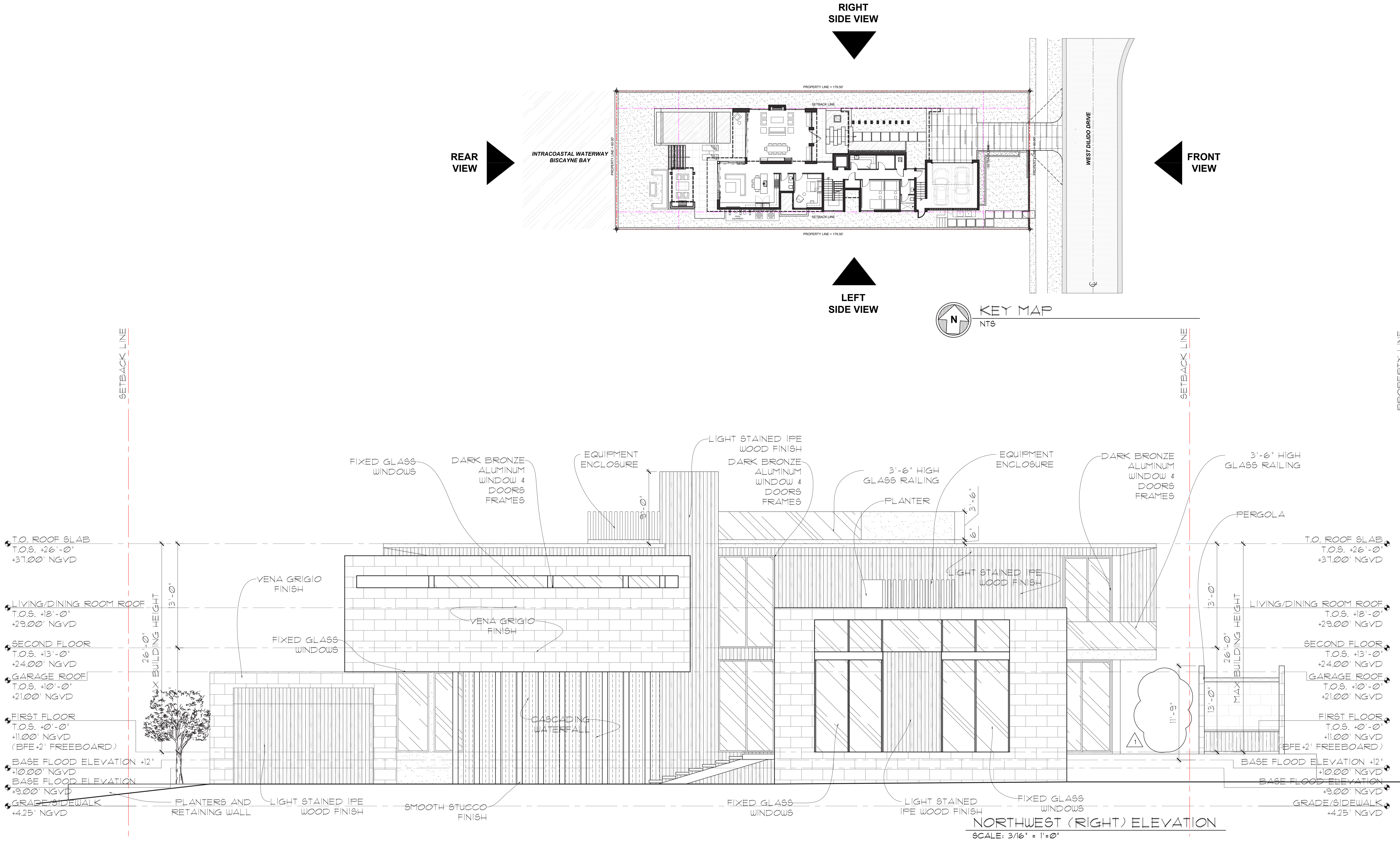
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registered architect
AR0009679
AA26003009

comm no.
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date:
01/18/2021

revised:





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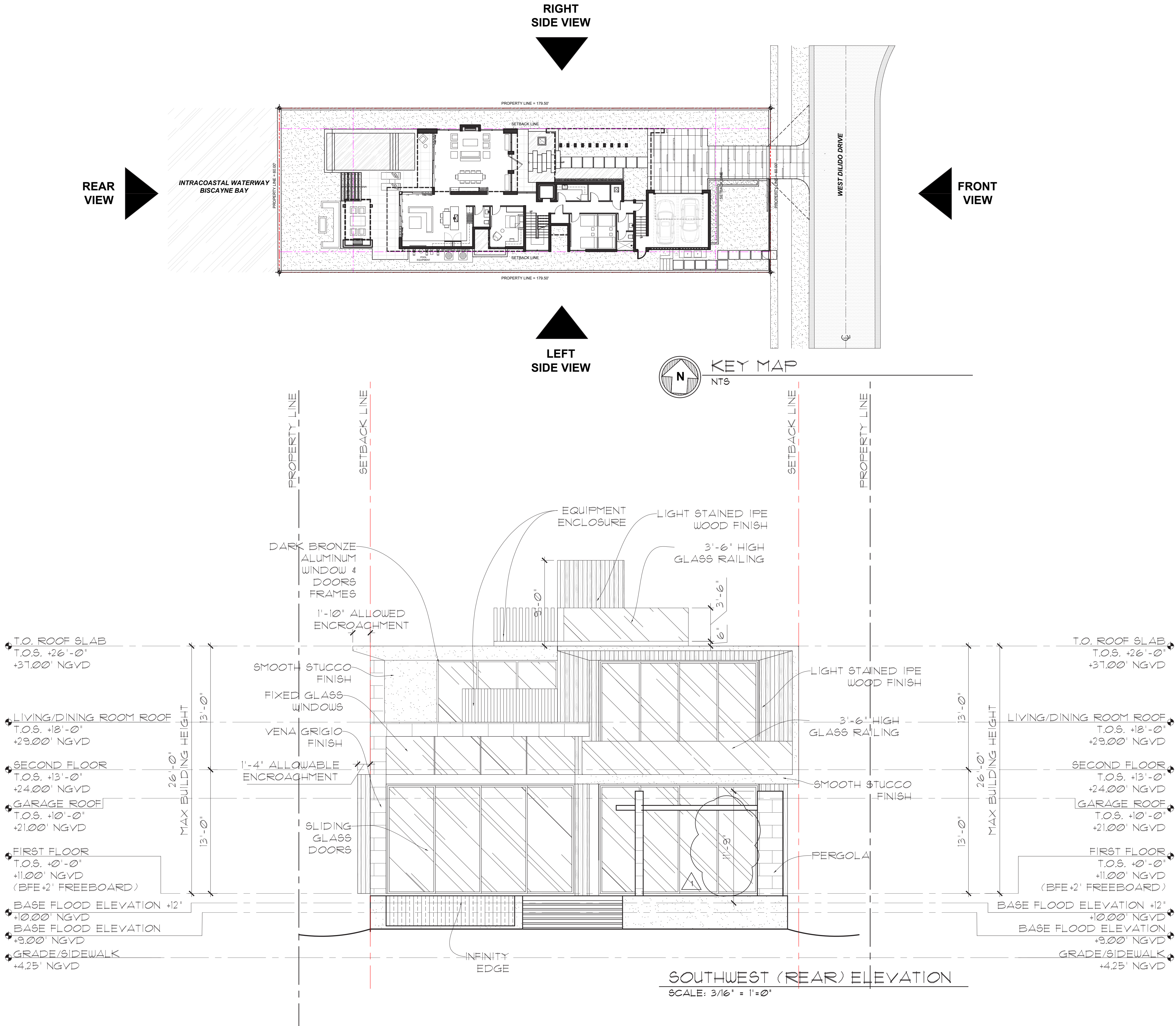
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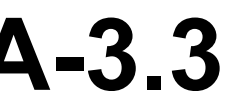
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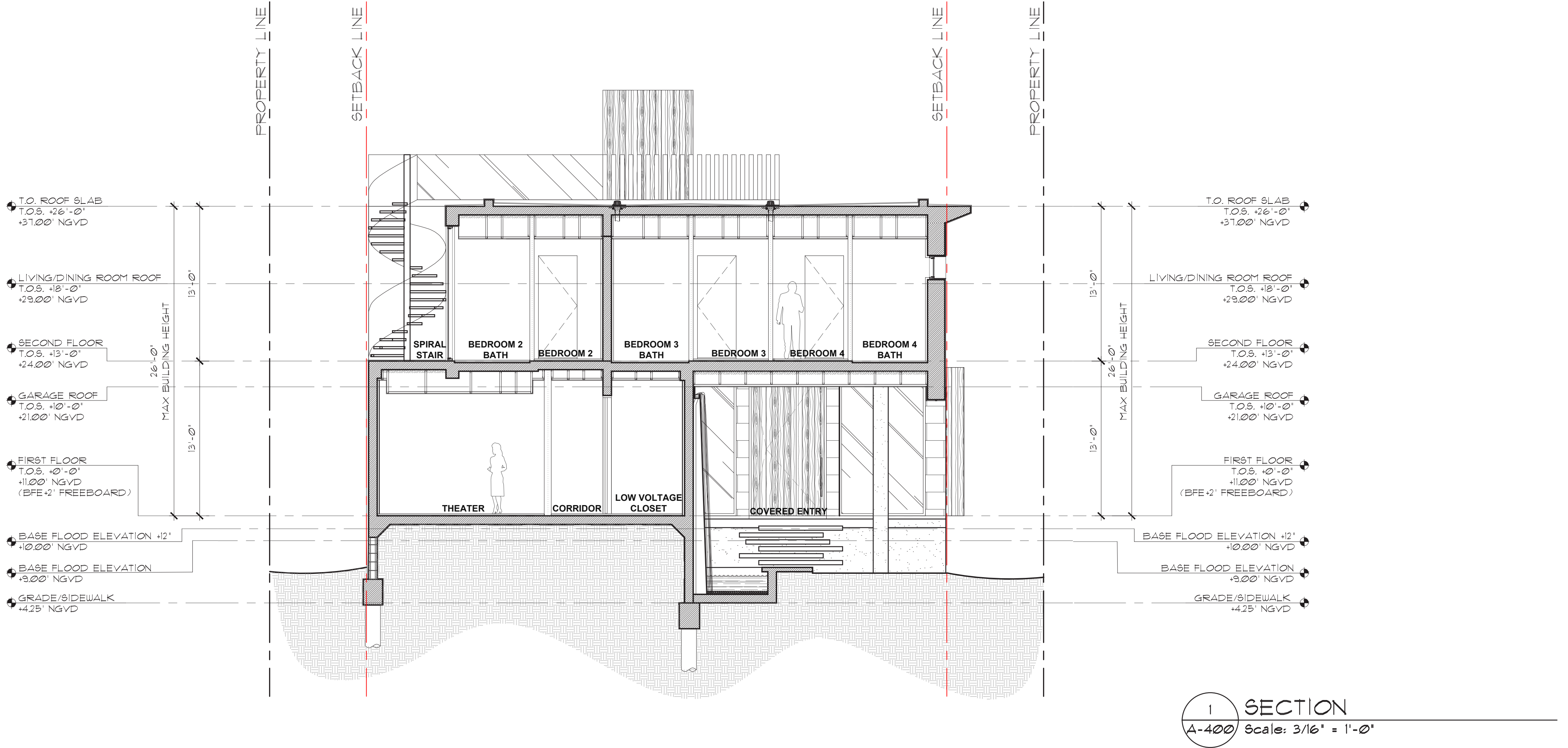
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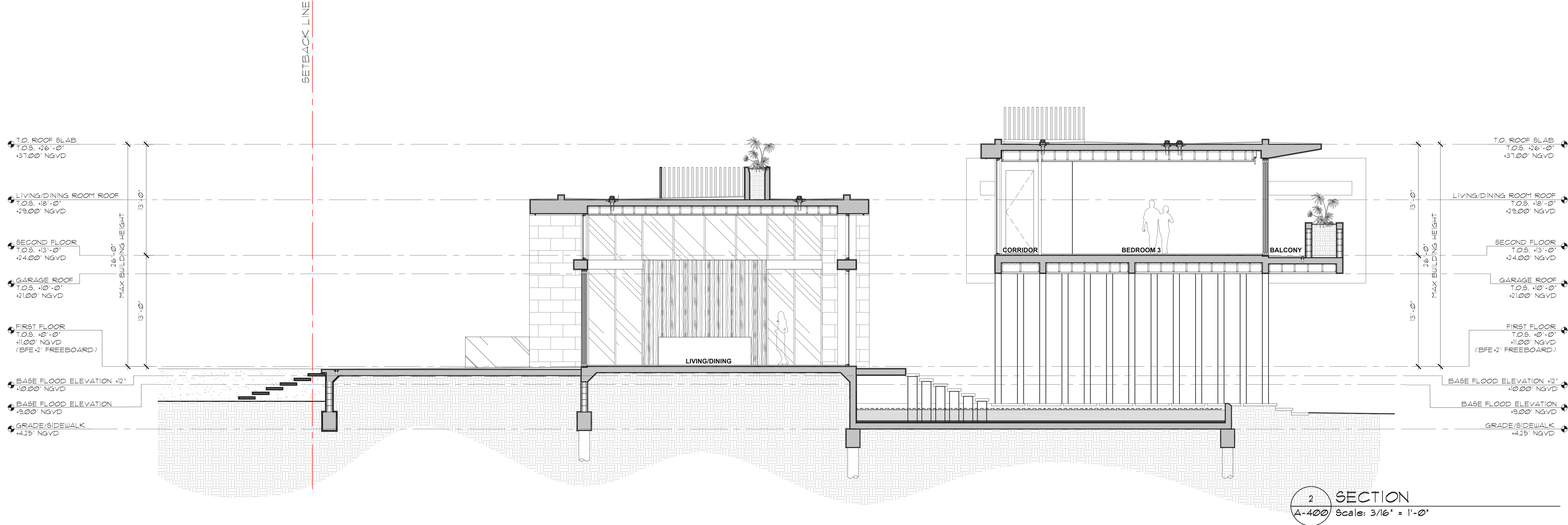
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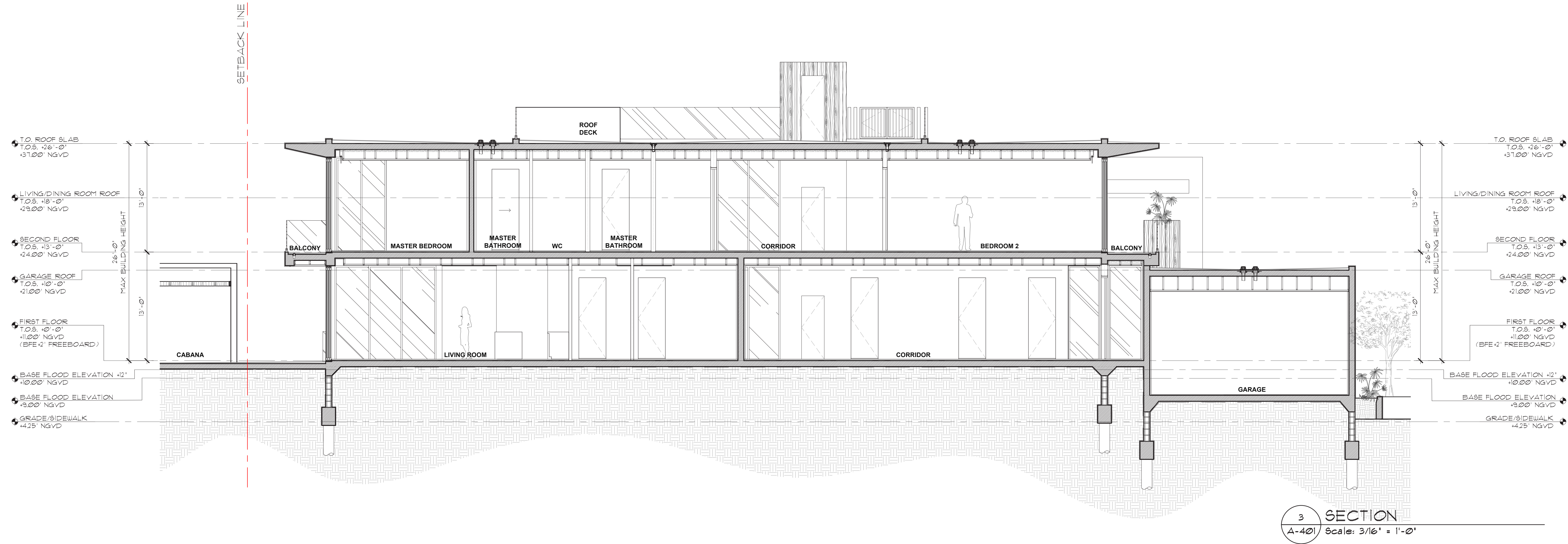
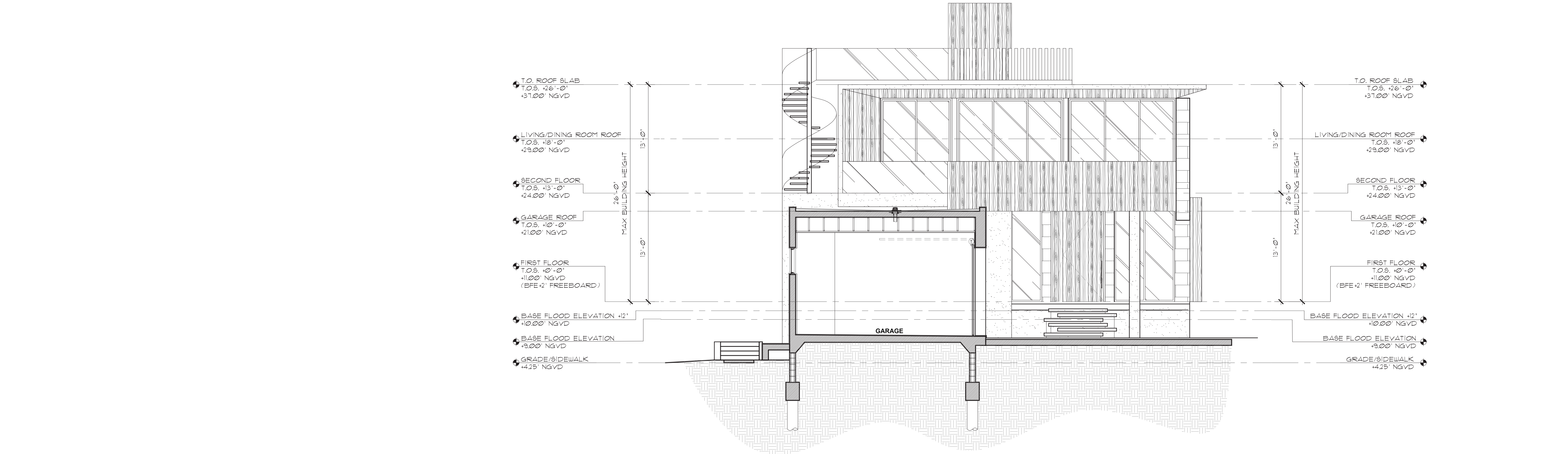
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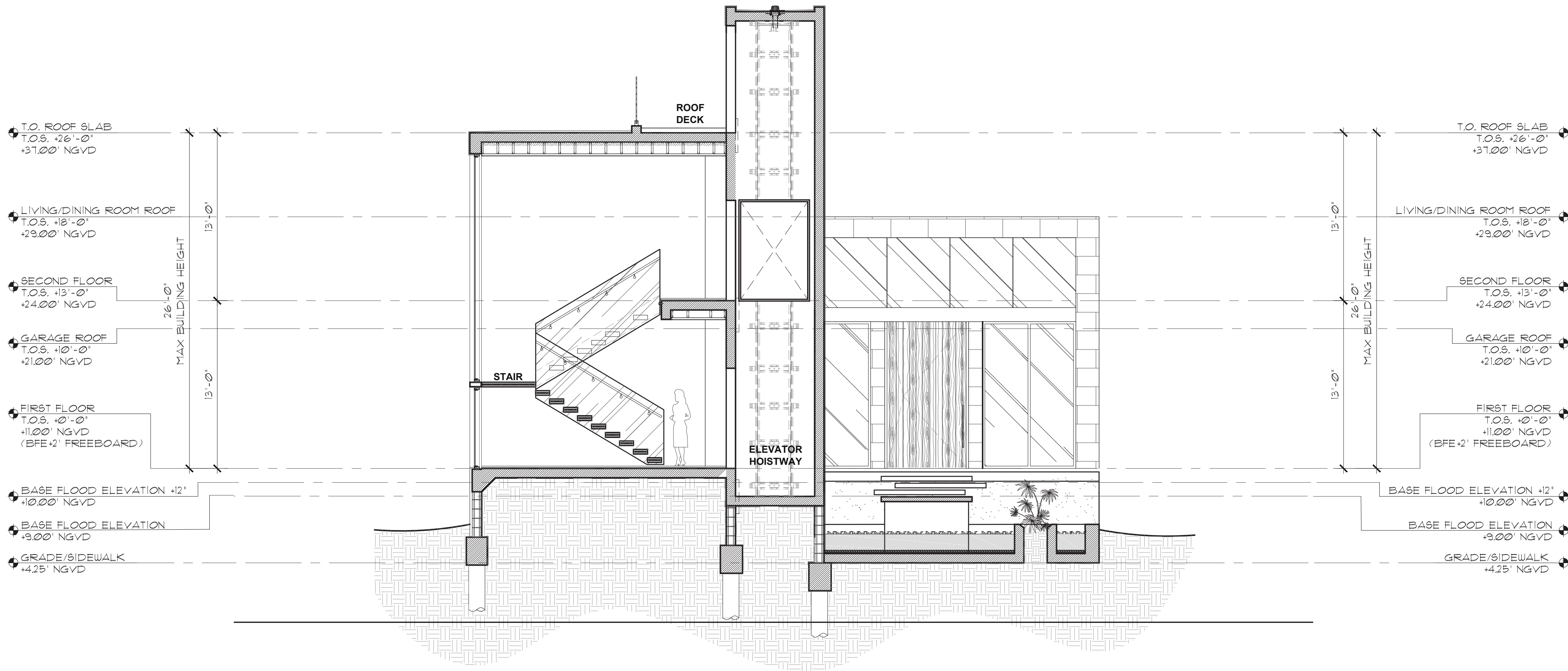
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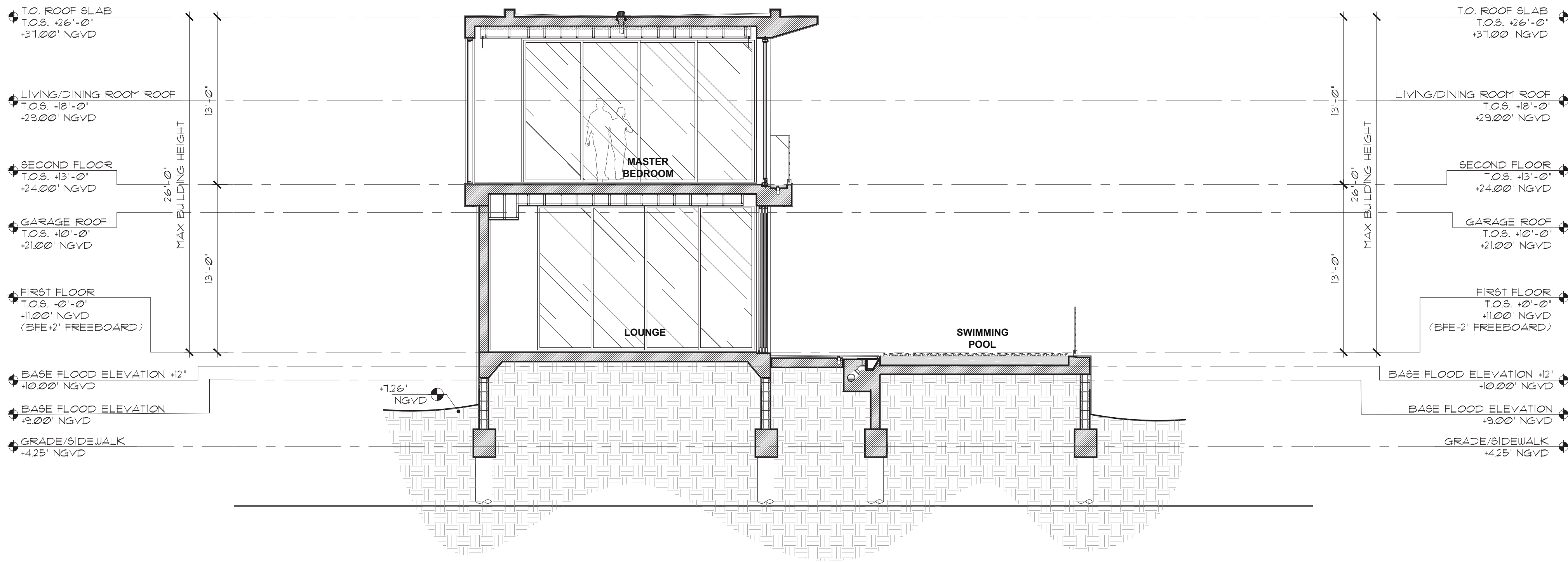
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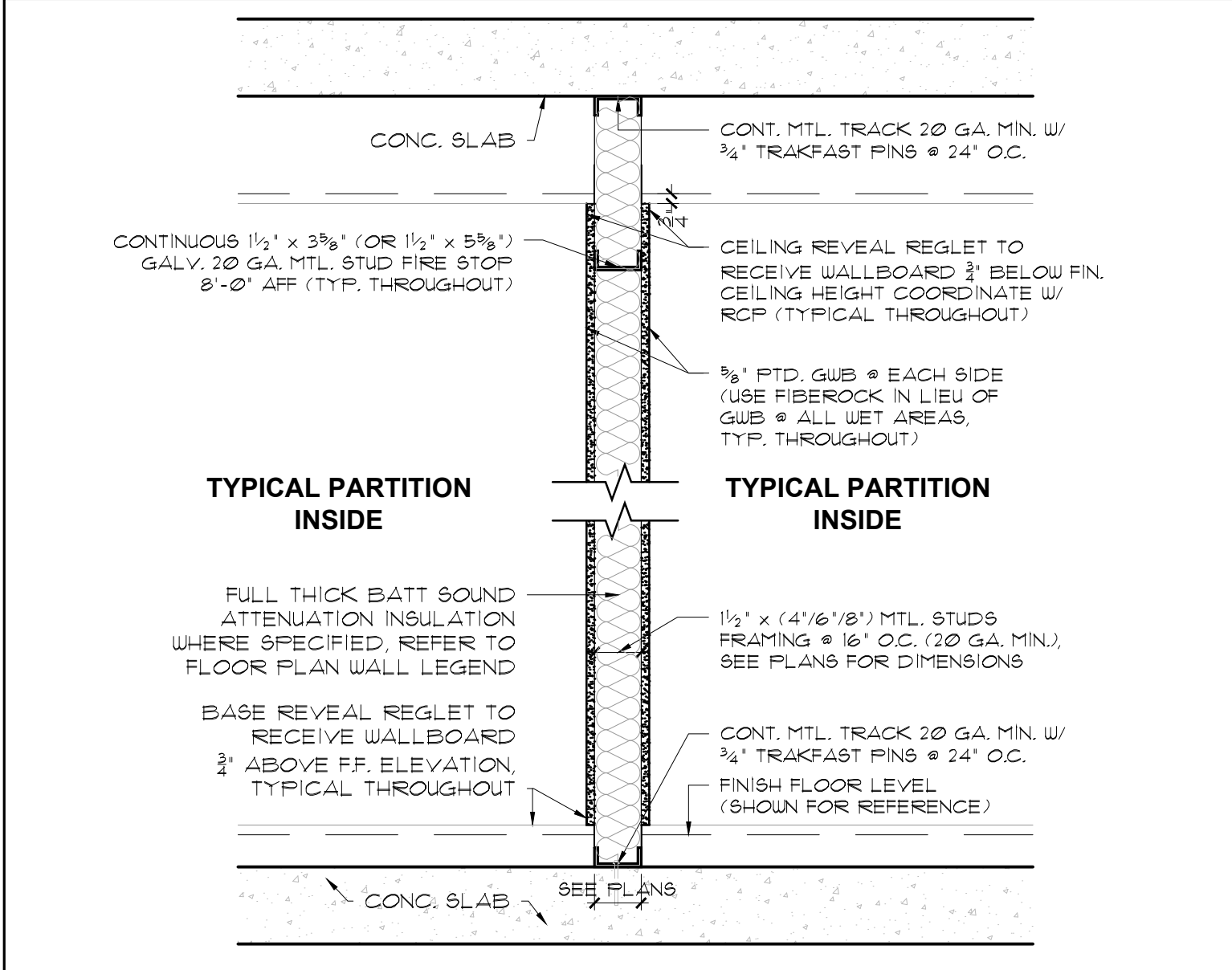
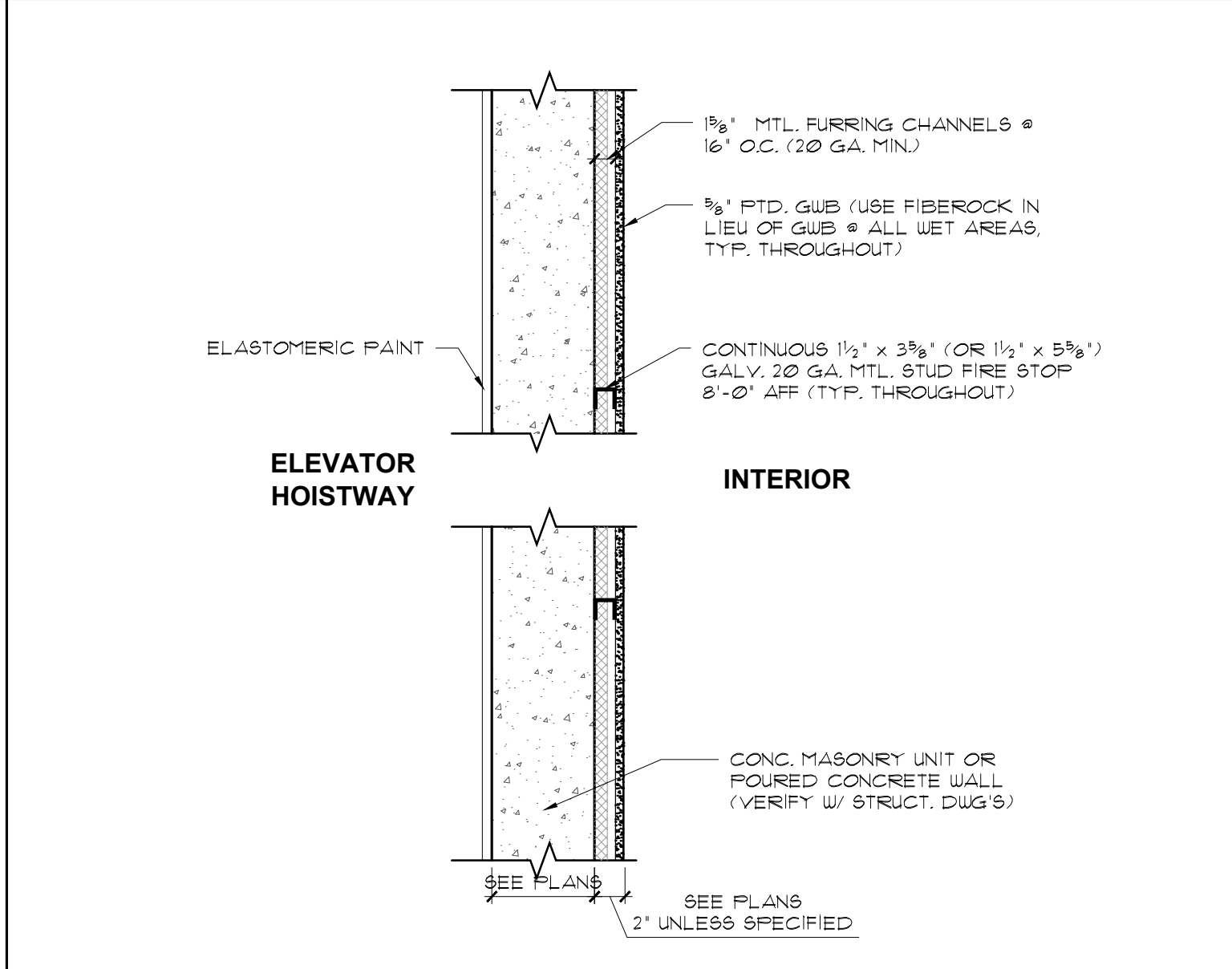
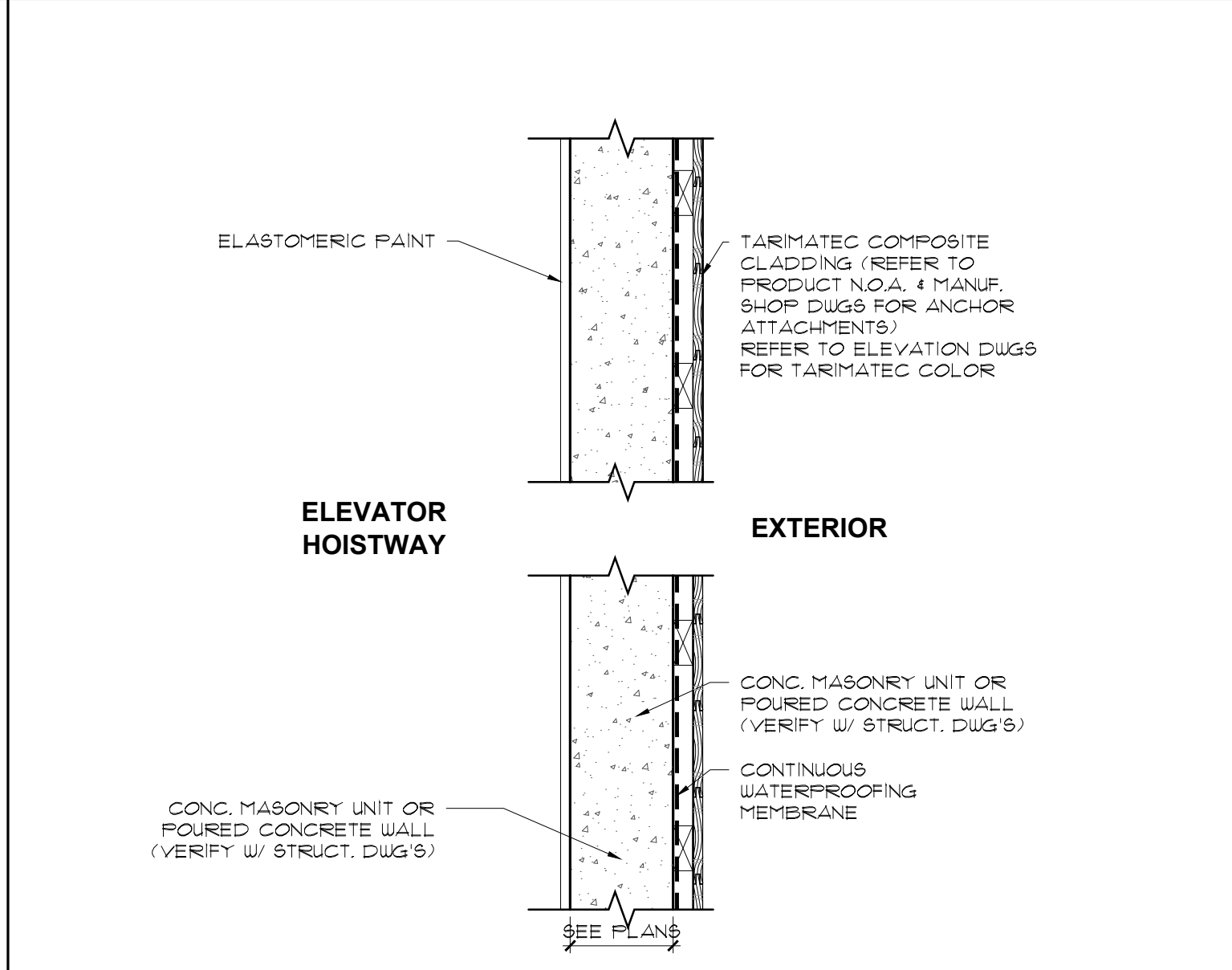
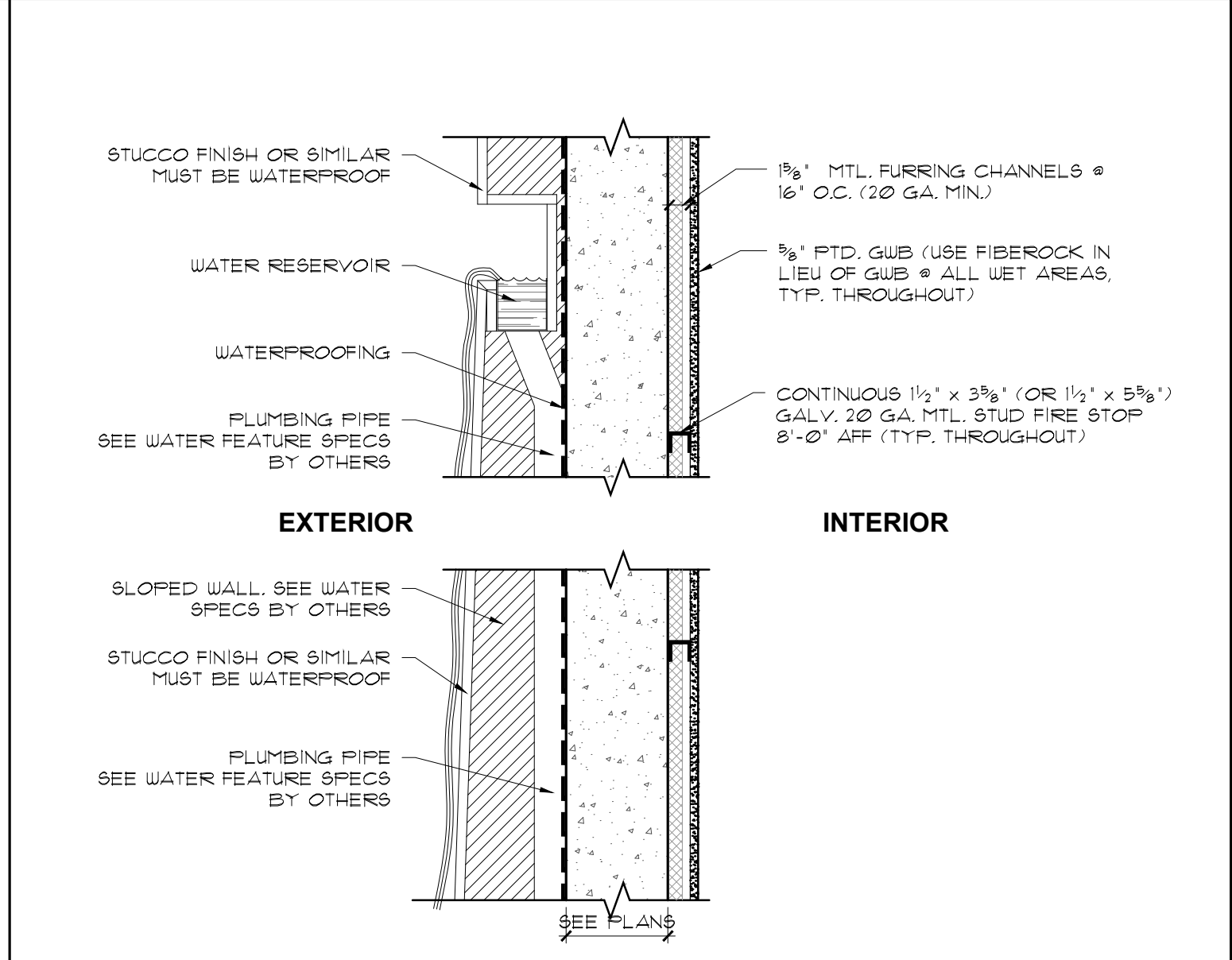
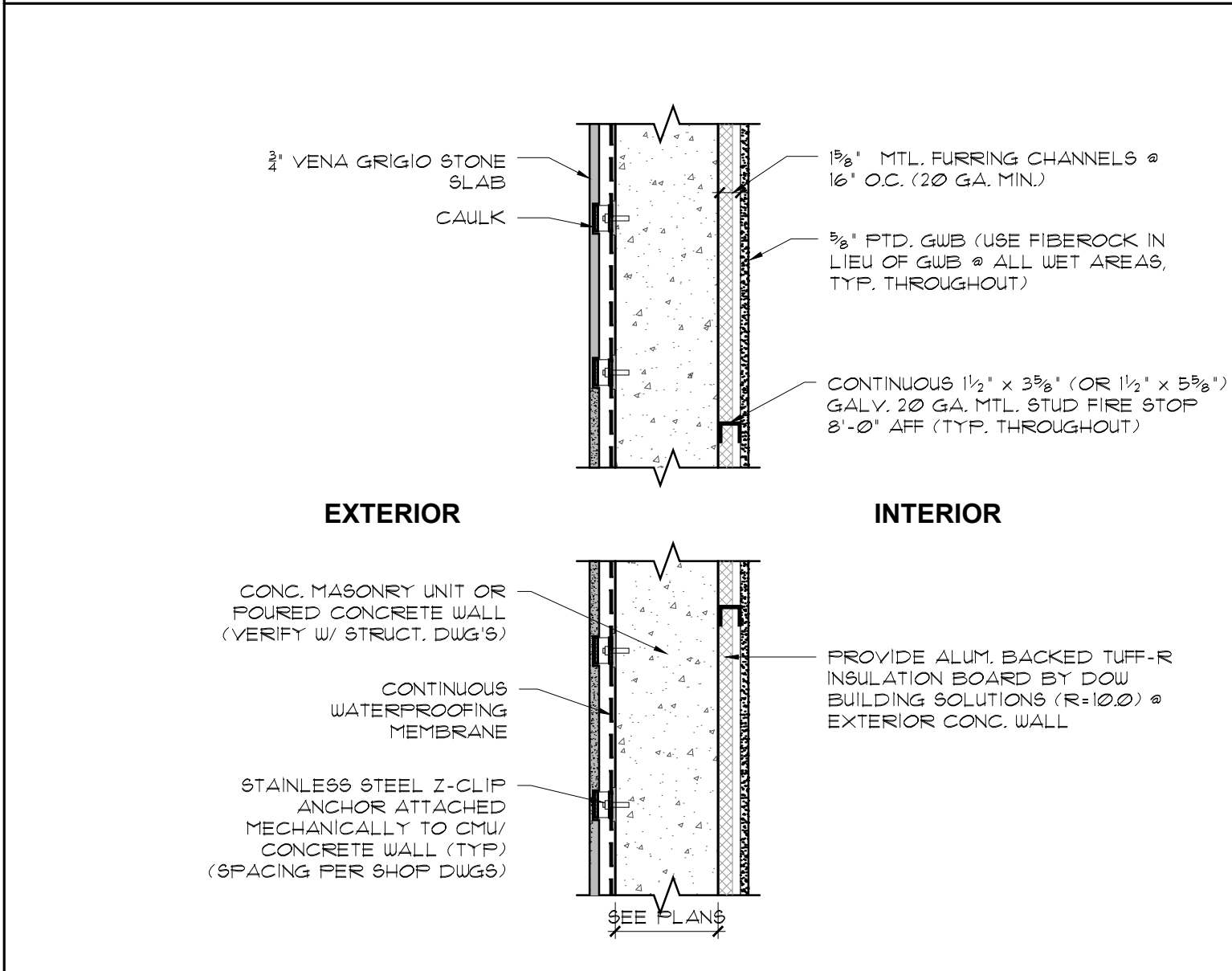
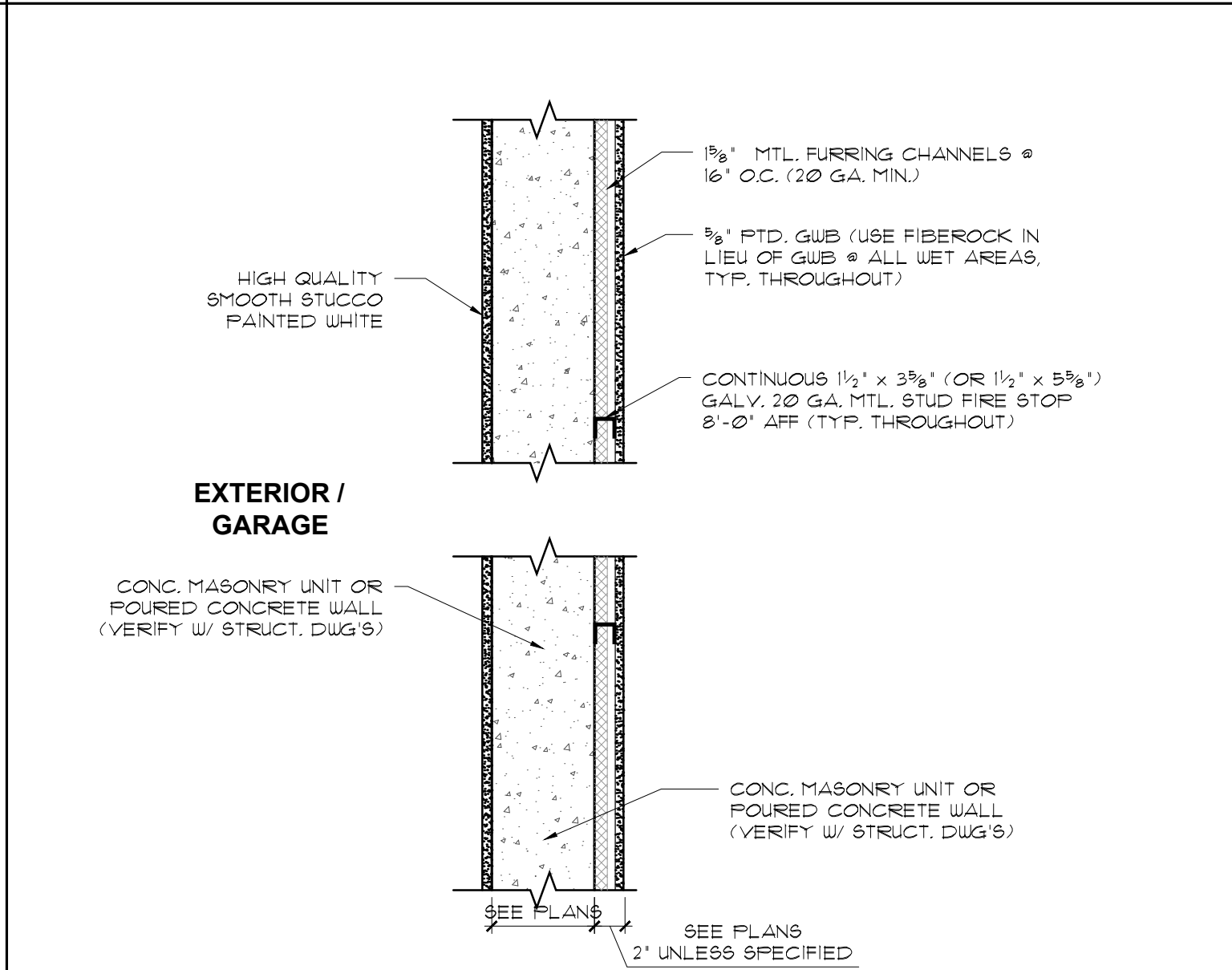
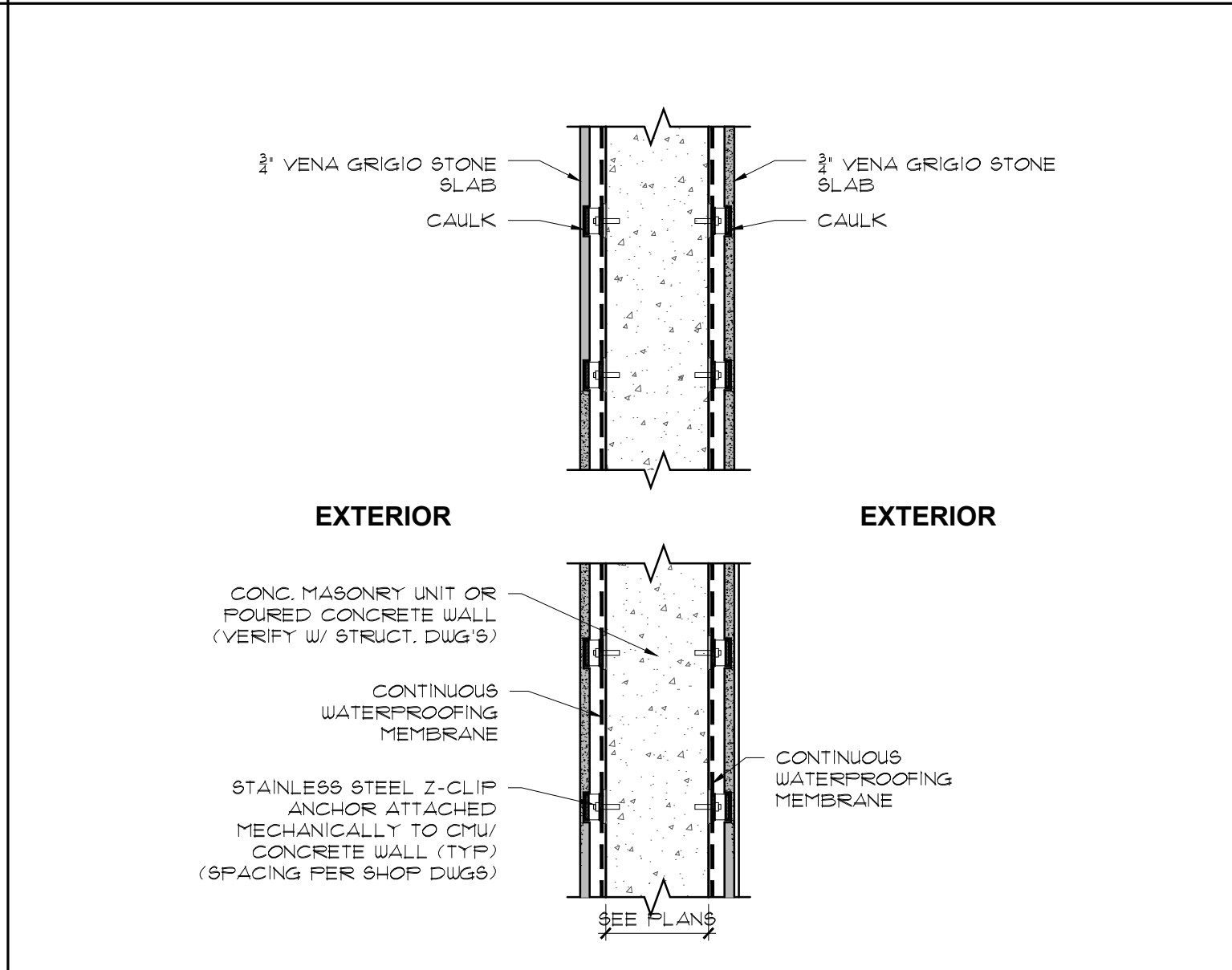
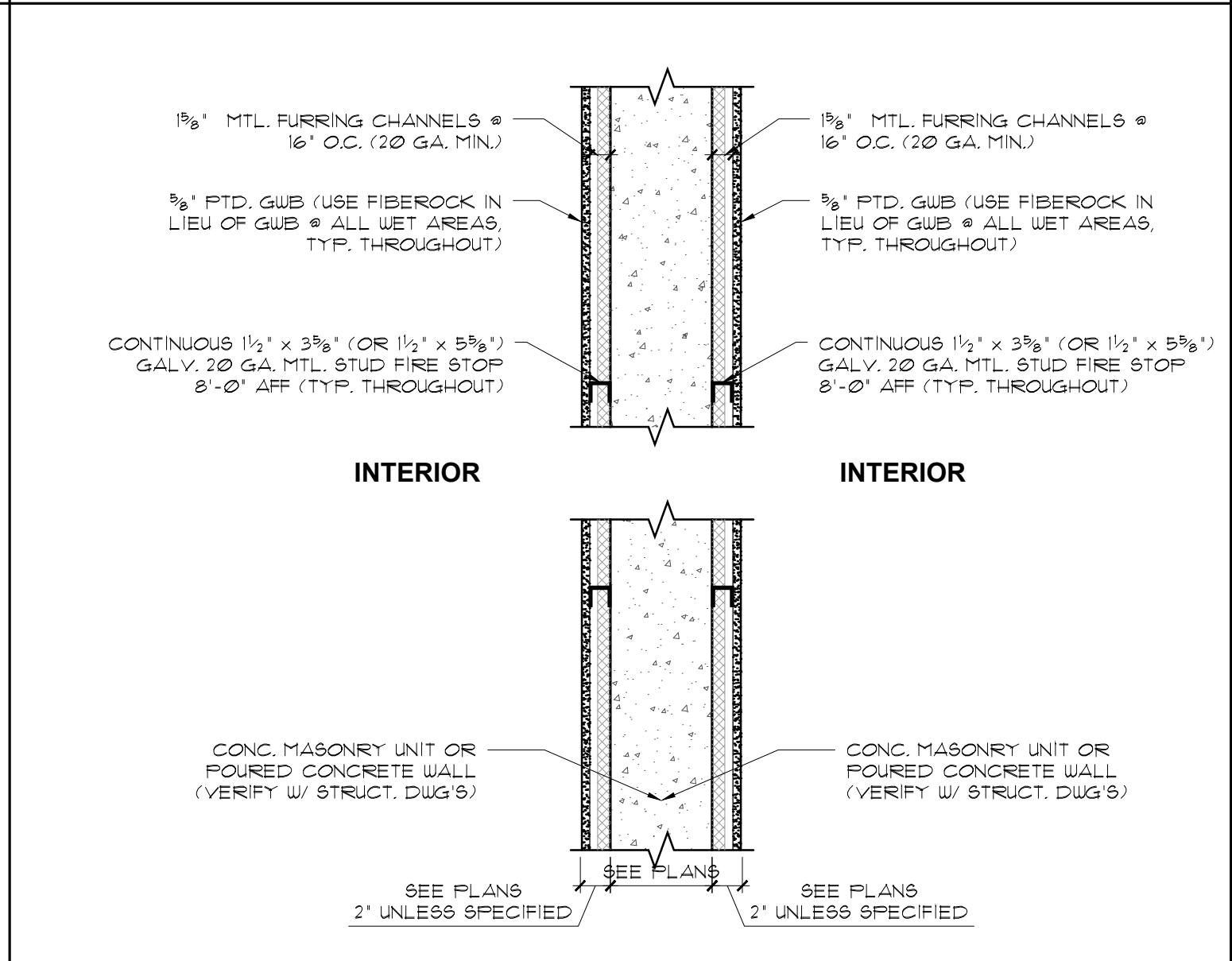
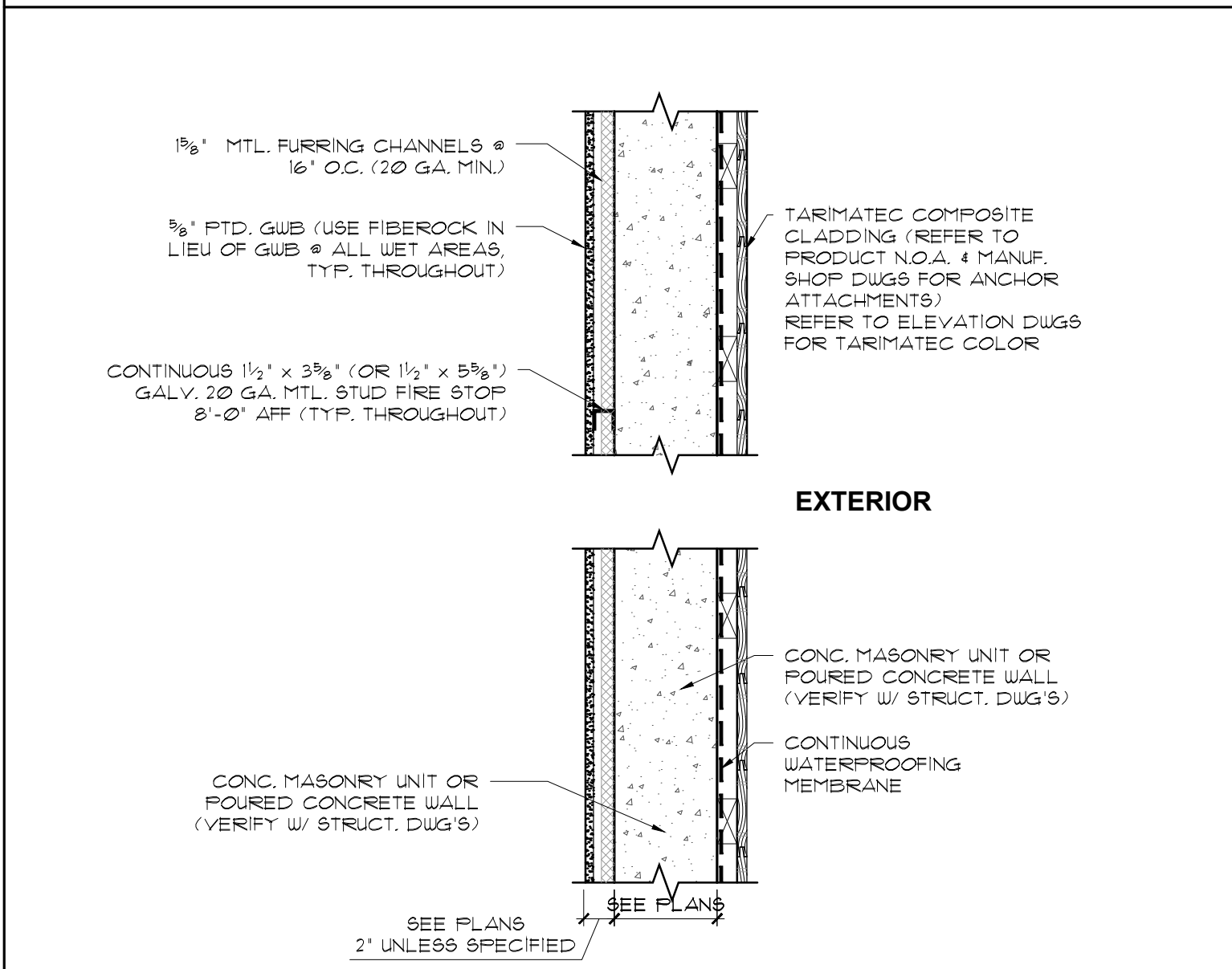
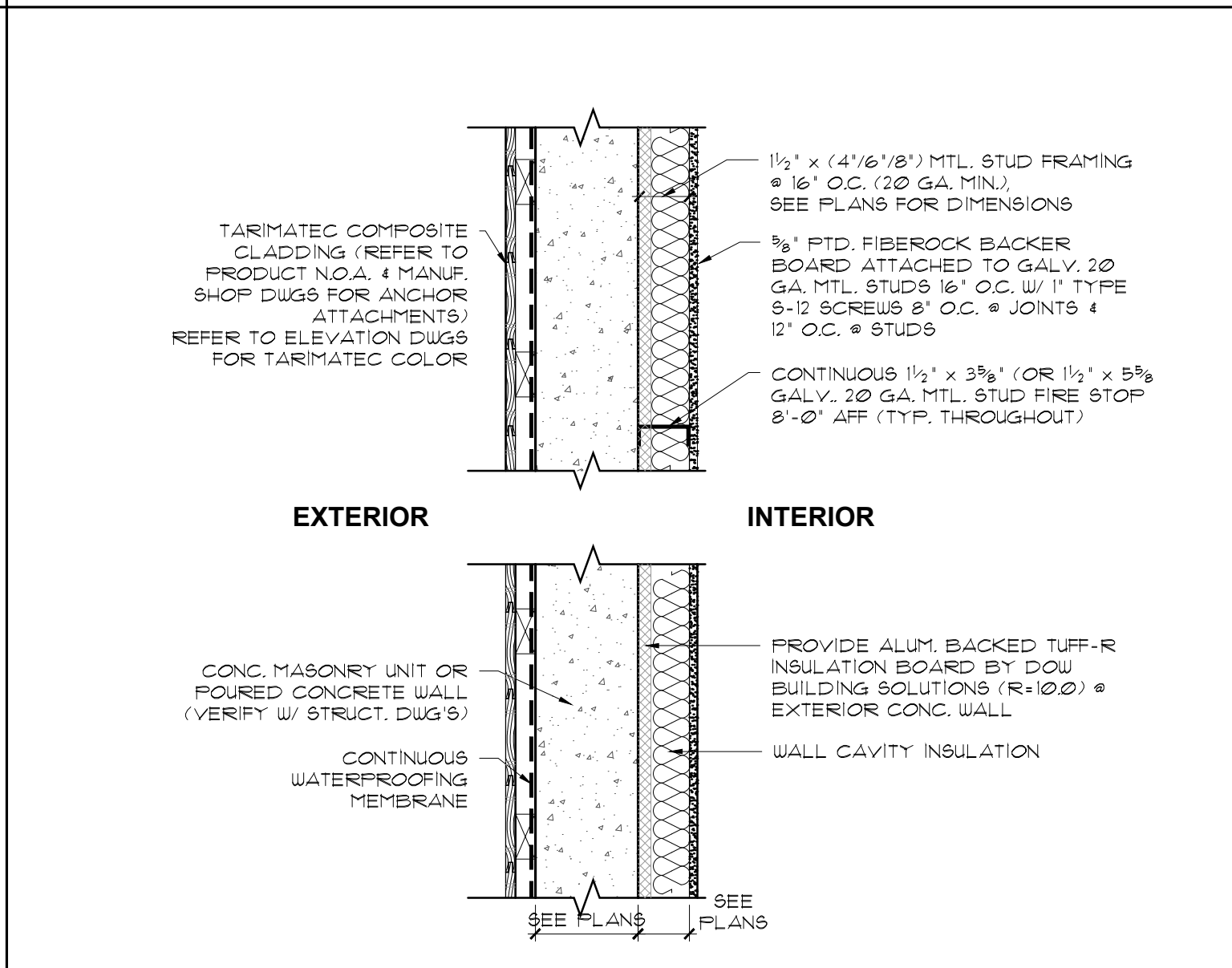
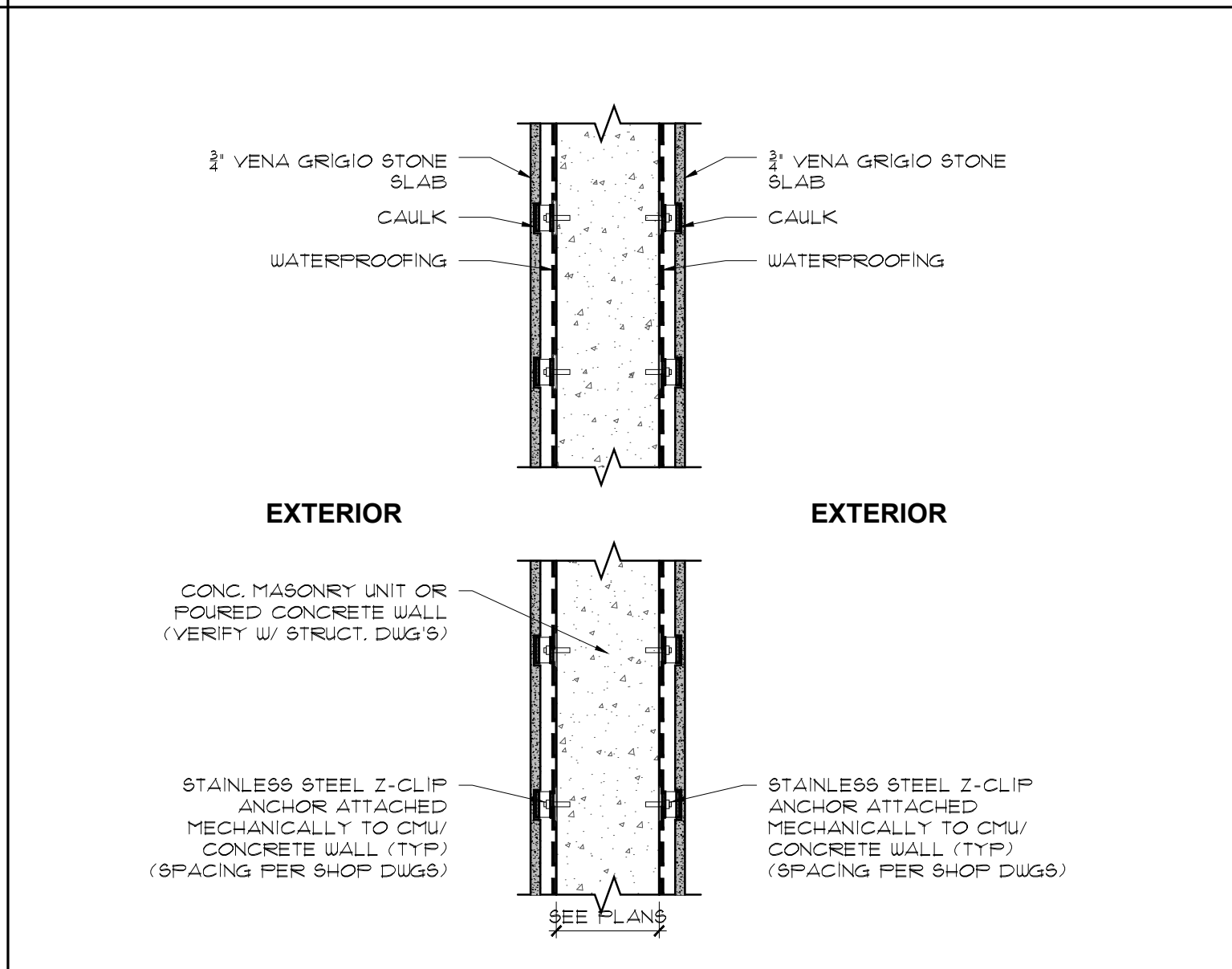
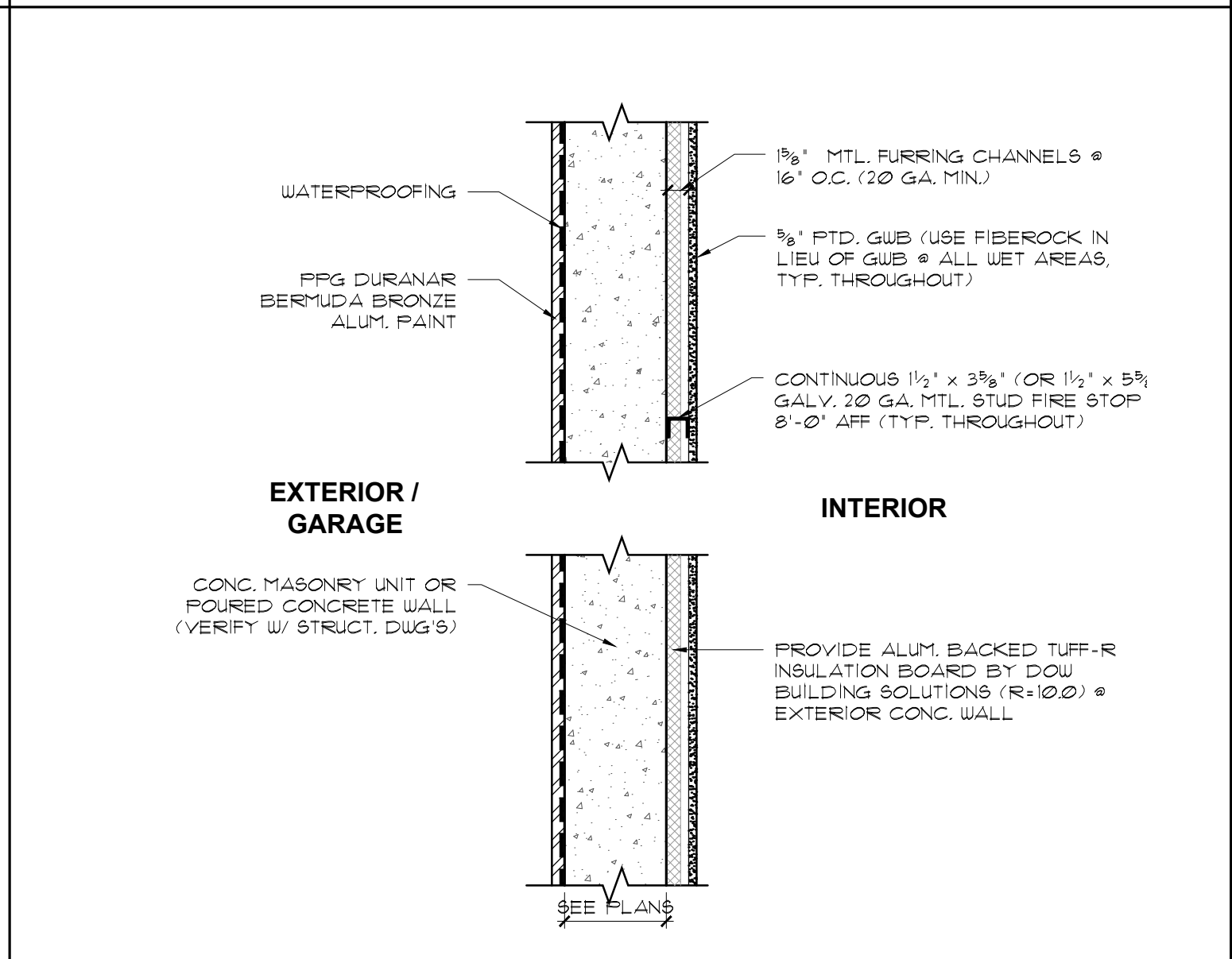
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5 SECTION
A-402 Scale: 3/16" = 1'-0"



6 SECTION
A-402 Scale: 3/16" = 1'-0"

 <p>TYPICAL PARTITION INSIDE</p> <p>CONC. SLAB</p> <p>CONT. MTL. TRACK 20 GA. MIN. W/ 3/4" TRAKFAST FINS @ 24" O.C.</p> <p>CEILING REVEAL REGLET TO RECEIVE WALLBOARD 3/4" BELOW FIN. CEILING HEIGHT COORDINATE W/ RCP (TYPICAL THROUGHOUT)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>1 1/2" x (4'/6'/8') MTL. STUDS FRAMING @ 16" O.C. (20 GA. MIN.) SEE PLANS FOR DIMENSIONS</p> <p>CONT. MTL. TRACK 20 GA. MIN. W/ 3/4" TRAKFAST FINS @ 24" O.C.</p> <p>FINISH FLOOR LEVEL (SHOWN FOR REFERENCE)</p> <p>CONC. SLAB</p> <p>SEE PLANS</p> <p>CEILING REVEAL REGLET TO RECEIVE WALLBOARD 3/4" BELOW FIN. CEILING HEIGHT COORDINATE W/ RCP (TYPICAL THROUGHOUT)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>1 1/2" x (4'/6'/8') MTL. STUDS FRAMING @ 16" O.C. (20 GA. MIN.) SEE PLANS FOR DIMENSIONS</p> <p>CONT. MTL. TRACK 20 GA. MIN. W/ 3/4" TRAKFAST FINS @ 24" O.C.</p> <p>FINISH FLOOR LEVEL (SHOWN FOR REFERENCE)</p> <p>CONC. SLAB</p> <p>SEE PLANS</p>	 <p>ELEVATOR HOISTWAY INTERIOR</p> <p>ELASTOMERIC PAINT</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p>	 <p>ELEVATOR HOISTWAY EXTERIOR</p> <p>ELASTOMERIC PAINT</p> <p>TARIMATEC COMPOSITE CLADDING (REFER TO PRODUCT N.O.A. 4 MANUF. SHOP DWGS FOR ANCHOR ATTACHMENTS) REFER TO ELEVATION DWGS FOR TARIMATEC COLOR</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>SEE PLANS</p>	 <p>CONCRETE WALL DETAIL D</p> <p>STUCCO FINISH OR SIMILAR MUST BE WATERPROOF</p> <p>WATER RESERVOIR</p> <p>WATERPROOFING</p> <p>PLUMBING PIPE SEE WATER FEATURE SPECS BY OTHERS</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>SEE PLANS</p>
<p>A PARTITION WALL DETAIL</p> <p>SCALE: 1" = 1'-0"</p>	<p>B CONCRETE WALL DETAIL</p> <p>SCALE: 1" = 1'-0"</p>	<p>C CONCRETE WALL DETAIL</p> <p>SCALE: 1" = 1'-0"</p>	<p>D CONCRETE WALL DETAIL</p> <p>SCALE: 1" = 1'-0"</p>
 <p>CONCRETE WALL DETAIL E</p> <p>EXTERIOR</p> <p>3" VENA GRIGIO STONE SLAB</p> <p>CAULK</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p> <p>INTERIOR</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p>	 <p>CONCRETE WALL DETAIL F</p> <p>EXTERIOR / GARAGE</p> <p>HIGH QUALITY SMOOTH STUCCO PAINTED WHITE</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p> <p>INTERIOR</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p>	 <p>CONCRETE WALL DETAIL G</p> <p>EXTERIOR</p> <p>3" VENA GRIGIO STONE SLAB</p> <p>CAULK</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p> <p>EXTERIOR</p> <p>3" VENA GRIGIO STONE SLAB</p> <p>CAULK</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p>	 <p>CONCRETE WALL DETAIL H</p> <p>INTERIOR</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p> <p>EXTERIOR</p> <p>3/8" MTL. FURRING CHANNELS @ 16" O.C. (20 GA. MIN.)</p> <p>3/8" PTD. GUB (USE FIBEROCK IN LIEU OF GUB @ ALL WET AREAS, TYP. THROUGHOUT)</p> <p>CONTINUOUS 1 1/2" x 3 3/8" (OR 1 1/2" x 5 3/8") GALV. 20 GA. MTL. STUD FIRE STOP 8'-0" AFF (TYP. THROUGHOUT)</p> <p>CONC. MASONRY UNIT OR POURED CONCRETE WALL (VERIFY W/ STRUCT. DWG'S)</p> <p>CONTINUOUS WATERPROOFING MEMBRANE</p> <p>STAINLESS STEEL Z-CLIP ANCHOR ATTACHED MECHANICALLY TO CMU/ CONCRETE WALL (TYP) (SPACING PER SHOP DWGS)</p> <p>SEE PLANS</p> <p>2' UNLESS SPECIFIED</p>
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