




# 4747 RESIDENCE

4747 NORTH BAY ROAD, MIAMI BEACH, FLORIDA  
DESIGN REVIEW BOARD DRB 21-0655  
FINAL SUBMITTAL: APRIL 6TH, 2021



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**CV-0.0**  
PLOT DATE: 2021-04-05

seal

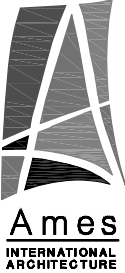
ADDRESS • HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 303 DUNE BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE • (561) 274-8444, FAX • (561) 274-4448.  
L10 • A400002807 ARCHITECT • APR01/2001



# NEW RESIDENCE AT: 4747 NORTH BAY ROAD

PRE-APPLICATION MEETING: FEBRUARY 11, 2019  
FIRST CAP SUBMISSION: FEBRUARY 18, 2019  
FINAL CAP SUBMITTAL: MARCH 11, 2019  
DRB BOARD MEETING: MAY07, 2019

PRE-APPLICATION MEETING: FEBRUARY 24, 2021  
FIRST CAP SUBMISSION: MARCH 15, 2021



| CLIENT   | ARCHITECT  | STRUCTURAL ENGINEER   | MEP ENGINEER   | LANDSCAPING  | CIVIL ENGINEER  | CONSULTANTS  |
|--|--|---|--|--|---|--|
| ANUP PATEL<br>4747 NORTH BAY ROAD<br>MIAMI BEACH, FL 33140 | AMES INTERNATIONAL ARCHITECTURE<br>203 DIXIE BLVD<br>DELRAY BEACH, FL 33444<br>(561) 274-6444<br>AR12001 | OPTIMUS STRUCTURAL DESIGN<br>7850 NW 146TH STREET, SUITE 305<br>MIAMI LAKES, FL 33016<br>(305) 512-5860<br>PE 61706 | VIDAL & ASSOCIATES INC.<br>241 NW SOUTH RIVER DRIVE<br>MIAMI, FL 33128<br>(305) 571-1860<br>PE 56204 | CHRISTOPHER CAWLEY<br>780 NE 69TH STREET #1106<br>MIAMI, FL 33138<br>(305) 979-1585<br>LC 26000460 | OCEAN ENGINEERING, INC.<br>333 NE 24TH STREET, SUITE 408<br>MIAMI, FL 33137<br>(786) 253-5252<br>PE 61747 | SNS CONSTRUCTION INC.<br>NE 10TH COURT ROAD<br>MIAMI, FL 33179<br>(305) 467-4188 |

## SCOPE OF WORK

- CONSTRUCTION OF A NEW 2 STORY STRUCTURE WITH POOL, POOL DECK, MOTOR COURT, COVERED PARKING & LANDSCAPING.
- REVIEW MODIFICATIONS TO THE GROUND FLOOR , 1ST FLOOR,2ND FLOOR PLAN TO A PREVIOUSLY APPROVED "DRB" SET
- REVIEW THE ADDED ROOF DECK

- OCCUPANCY TYPE: RESIDENTIAL RS-4



# DRAWING INDEX

| NO.    | SHEET NAME   |
|--------|--|
| CV-0.0 | COVER SHEET  |
| I-0.0  | INDEX  |
| EX-1.0 | SURVEY   |
| EX-2.0 | LOCATION PLAN  |
| EX-2.1 | NEIGHBORHOOD ANALYSIS - CONTEXT                        |
| EX-2.2 | NEIGHBORHOOD ANALYSIS - CONTEXT                        |
|        |  |
| A-0.0  | PREVIOUS / PROPOSED ZONING DATA SHEET                  |
| A-1.0  | PREVIOUS / PROPOSED BUILDING - SITE PLAN               |
| A-1.1  | PREVIOUS / PROPOSED BUILDING - GROUND FLOOR PLAN       |
| A-1.2  | PREVIOUS / PROPOSED BUILDING - FIRST FLOOR PLAN        |
| A-1.3  | PROPOSED BUILDING - SECOND FLOOR PLAN                  |
| A-1.4  | PROPOSED BUILDING - ROOF PLAN                          |
|        |  |
| A-2.0  | PREVIOUS / PROPOSED ZONING DIAGRAM - LOT COVERAGE      |
| A-2.1  | PREVIOUS / PROPOSED ZONING DIAGRAM - GROUND UNIT SIZE  |
| A-2.2  | PREVIOUS / PROPOSED ZONING DIAGRAM - FIRST UNIT SIZE   |
| A-2.3  | PREVIOUS / PROPOSED ZONING DIAGRAM - SECOND UNIT SIZE  |
| A-2.4  | PREVIOUS / PROPOSED ZONING DIAGRAM - ROOF UNIT SIZE    |
| A-2.5  | PREVIOUS / PROPOSED CALCULATIONS - FRONT AND REAR YARD |
| A-2.6  | ZONING DIAGRAM - AXONOMETRIC                           |
|        |  |
| A-3.0  | MATERIAL BOARD   |
| A-3.1  | RENDERED ELEVATIONS - FRONT                            |
| A-3.2  | RENDERED ELEVATIONS - REAR                             |
|        |  |
| A-4.0  | PROPOSED ELEVATIONS - FRONT (NORTH)                    |
| A-4.1  | PROPOSED ELEVATIONS - REAR (SOUTH)                     |
| A-4.2  | PREVIOUS ELEVATIONS - REAR (SOUTH)                     |
| A-4.3  | PROPOSED ELEVATIONS - LEFT (EAST)                      |
| A-4.4  | PROPOSED ELEVATIONS - RIGHT (WEST)                     |
|        |  |
| A-5.0  | SECTIONS - TRANSVERSE A                                |
| A-5.1  | SECTIONS - LONGITUDINAL B                              |
| A-5.2  | PREVIOUS SECTION - TRANSVERSE                          |
| A-5.3  | PREVIOUS SECTION - REAR YARD                           |
|        |  |
| A-6.0  | PROPOSED - CMB YARD GRADE CALCULATIONS                 |
| A-6.1  | PREVIOUS - CMB YARD GRADE CALCULATIONS                 |
|        |  |
| A-7.0  | RENDERING - VIEW 1                                     |
| A-7.1  | RENDERING - VIEW 2                                     |

**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-202

**REVISION**

4 01-13-2021  
CHANGE OF ARCHITECT

5 02-15-2021  
OWNER REVISIONS

sheet no  
-0.0

PLOT DATE: 2021-04-05

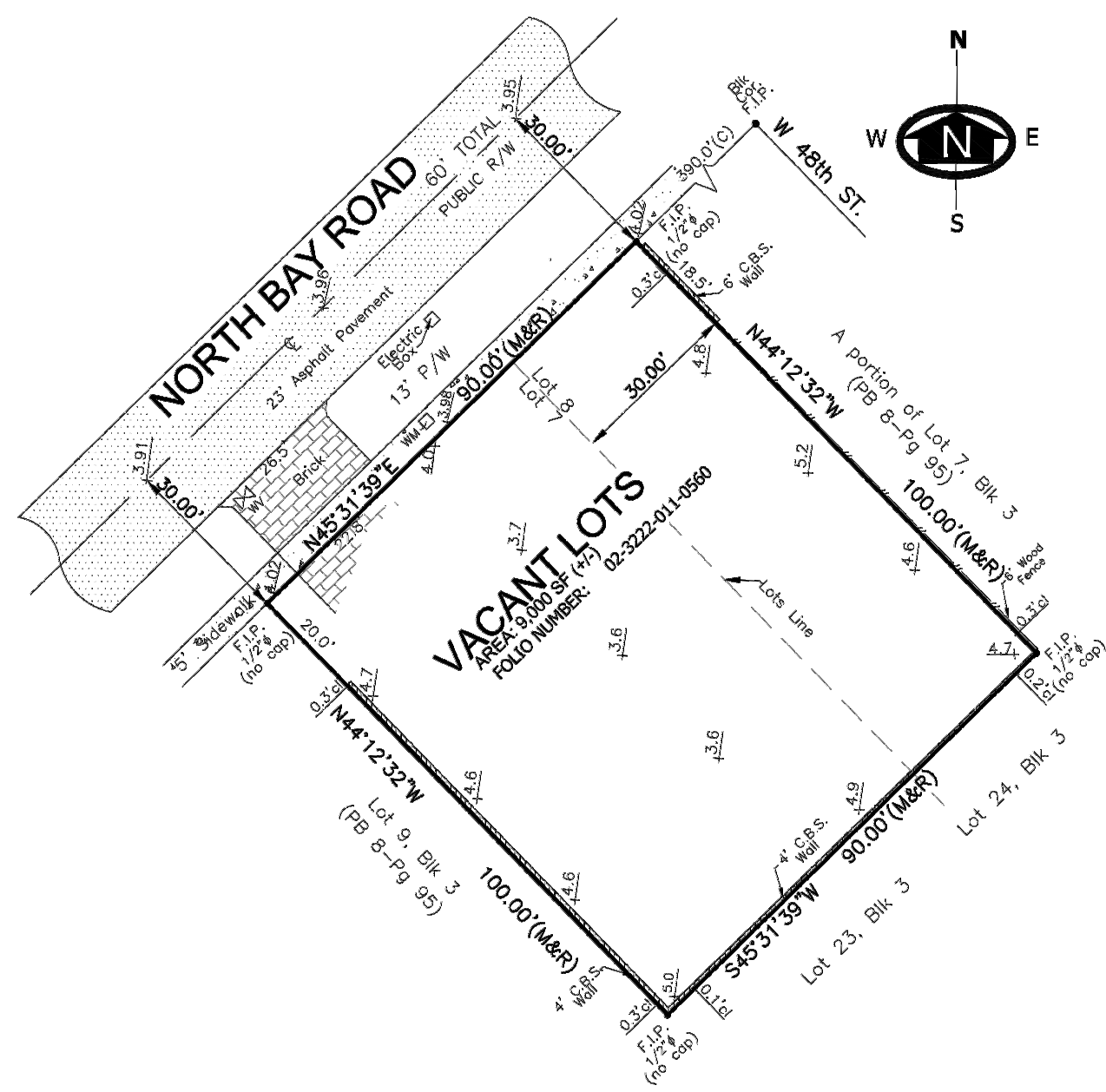
[illegible]

ice, AAC0032307 ARCHR., AR0012001  
ADDRESS: HISTORIC DEL-DA PARK PROFESSIONAL DISTRICT, 209 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE, (561)274-6444. FAX, (561)274-6449



# SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'

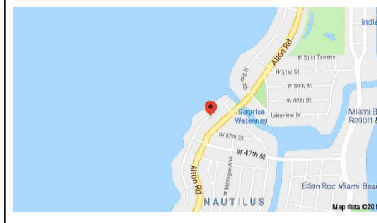


**CERTIFIED TO :**  
ANUP PATEL AND SRADDDHA PATEL  
SCOTT A. ELK, P.A.  
CHICAGO TITLE INSURANCE COMPANY, MIAMI BEACH, FLORIDA.

**ENCROACHMENTS AND OTHER POINTS OF INTEREST:**  
- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY  
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AH (SEE NOTE 1)  
- THERE NO PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

## LOCATION MAP

SCALE: NTS



## SITE PICTURE



### ABBREVIATION (IF ANY APPLIED)

|                                   |                                       |
|-----------------------------------|---------------------------------------|
| A = CURVE                         | P/W = PARWAY                          |
| A/S = AIR CONDITIONING UNIT       | P.O.B. = POINT OF BEGINNING           |
| ASPH. = ASPHALT                   | P.O.C. = POINT OF COMMENCEMENT        |
| B.M. = BENCH MARK                 | P.O.V. = POINT OF VIEW                |
| Bk/Corr. = BLOCK CORNER           | P.I. = POINT OF INTERSECTION          |
| CALC. (C) = CALCULATED            | P = PROPERTY LINE                     |
| CB = CATCH BASIN                  | P.P. = POWER POLE                     |
| C.B.S. = CONCRETE BLOCK STRUCTURE | P.R.M. = PERMANENT REFERENCE MONUMENT |
| CL = CLEAR                        | P.T. = POINT OF TANGENCY              |
| CONC. = CONCRETE                  | RAD. = RADIAL                         |
| D.M.E. = DRAINAGE MAINT. EASEMENT | REC. (R) = RECORDED                   |
| D = DIAMETER                      | RES. = RESIDENCE                      |
| EASMT. = EASEMENT                 | R/W = RIGHT OF WAY                    |
| ELEV. = ELEVATION                 | SEC. = SECTION                        |
| ENC. = ENCROACHMENT               | S.D.H. = SET DRILL HOLE               |
| F.O.H. = FOUND DRILL HOLE         | S.N/O = SET NAIL AND DISC             |
| F.H. = FIRE HYDRANT               | S.I.P. = SET IRON PIPE                |
| F.N/D = FOUND NAIL AND DISC       | S.R.B. = SET REBAR                    |
| F.L.P. = FOUND IRON PIPE          | STY = STORY                           |
| F.S. = FOUND SPRING               | SWK. = SIDEWALK                       |
| L.P. = LIGHT POLE                 | T.O.P. = TOP OF BANK                  |
| MEAS. (M) = MEASURED              | U.E. = UTIL. EASEMENT                 |
| MH = MANHOLE                      | W.P. = WOODEN POLE                    |
| M = MONUMENT                      | W = WOODEN POLE                       |
| M.L. = MONUMENT LINE              | W = WOODEN POLE                       |
| NTS = NOT TO SCALE                | W = WOODEN POLE                       |

### SURVEYOR'S LEGEND (IF ANY APPLIED)

|                       |                       |
|-----------------------|-----------------------|
| BOUNDARY LINE         | CATCH BASIN           |
| STRUCTURE (BLDG.)     | MANHOLE               |
| CONCRETE BLOCK WALL   | O.E. OVER-HEAD ELECT. |
| METAL FENCE           | POWER POLE            |
| WOODEN FENCE          | LIGHT POLE            |
| CHAIN LINK FENCE      | HANDICAP SPACE        |
| WOOD DECK/DOCK        | FIRE HYDRANT          |
| ASPHALTED AREAS       | EASEMENT LINE         |
| CONCRETE              | WATER VALVE           |
| BRICKS OR PAVERS      | TV-CABLE BOX          |
| ROOFED AREAS          | WATER METER           |
| WATER (EDGE OF WATER) | CONC. LIGHT POLE      |

JOB ADDRESS: 4747 N. BAY ROAD MIAMI BEACH, FL. 33140  
JOB NUMBER: 18-510  
DATE OF SURVEY: MAY 8, 2018 / FEBRUARY 13, 2019(UPDATE) / OCT. 24, 2020 (UPDATE) / MARCH 12, 2021 (UPDATE)  
FOLIO NUMBER: 02-3222-011-0560

### JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. **120651-0309L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **9,000 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. D-132-B**, WITH AN ELEVATION OF **8.23 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.44°12'32"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF W. 48th ST., AS SHOWN ON PLAT BOOK 8 AT PAGE 95 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY, FLORIDA.

### GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.  
SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.  
UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.  
THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.  
PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.  
THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.  
THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.  
THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.  
THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/16 FOOT FOR NATURAL GROUND SURFACES AND 1/32 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.  
THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.  
ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.  
IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

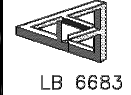
### LEGAL DESCRIPTION:

LOT 8, IN BLOCK 3, OF NAUTILUS SUBDIVISION OF THE MIAMI BEACH BAY SHORE CO., ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, AT PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; ALSO THAT PART OF LOT 7, IN BLOCK 3, OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, AT PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTHERLY LINE OF BAY ROAD AT THE POINT OF INTERSECTION WITH THE LINE DIVIDING LOTS 7 AND 8, OF BLOCK 3, OF NAUTILUS SUBDIVISION; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF BAY ROAD A DISTANCE OF 30 FEET TO A POINT; THENCE SOUTHEASTERLY AT A RIGHT ANGLE TO THE SOUTHERLY LINE OF BAY ROAD A DISTANCE OF 100 FEET TO THE SOUTHEASTERLY LINE OF LOT 7, OF BLOCK 3, OF NAUTILUS SUBDIVISION; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF LOT 7, OF BLOCK 3, OF NAUTILUS SUBDIVISION A DISTANCE OF 30 FEET TO A POINT; THENCE NORTHWESTERLY ALONG THE LINE DIVIDING LOTS 7 AND 8, OF BLOCK 3 OF NAUTILUS SUBDIVISION A DISTANCE OF 100 FEET TO THE POINT OF BEGINNING.

WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FOR THE FLORIDA STATUTES.

**American Services of Miami, Corp.**  
Consulting Engineers . Planners . Surveyors

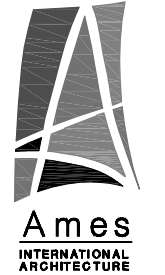


3195 PONCE DE LEON BLVD, SUITE 200  
CORAL GABLES, FL 33134  
PHONE: (305)598-5101 FAX: (305)598-8627  
ASOMIAMI.COM

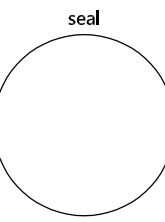
LB 6683



DATE: MARCH 15, 2021



**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140



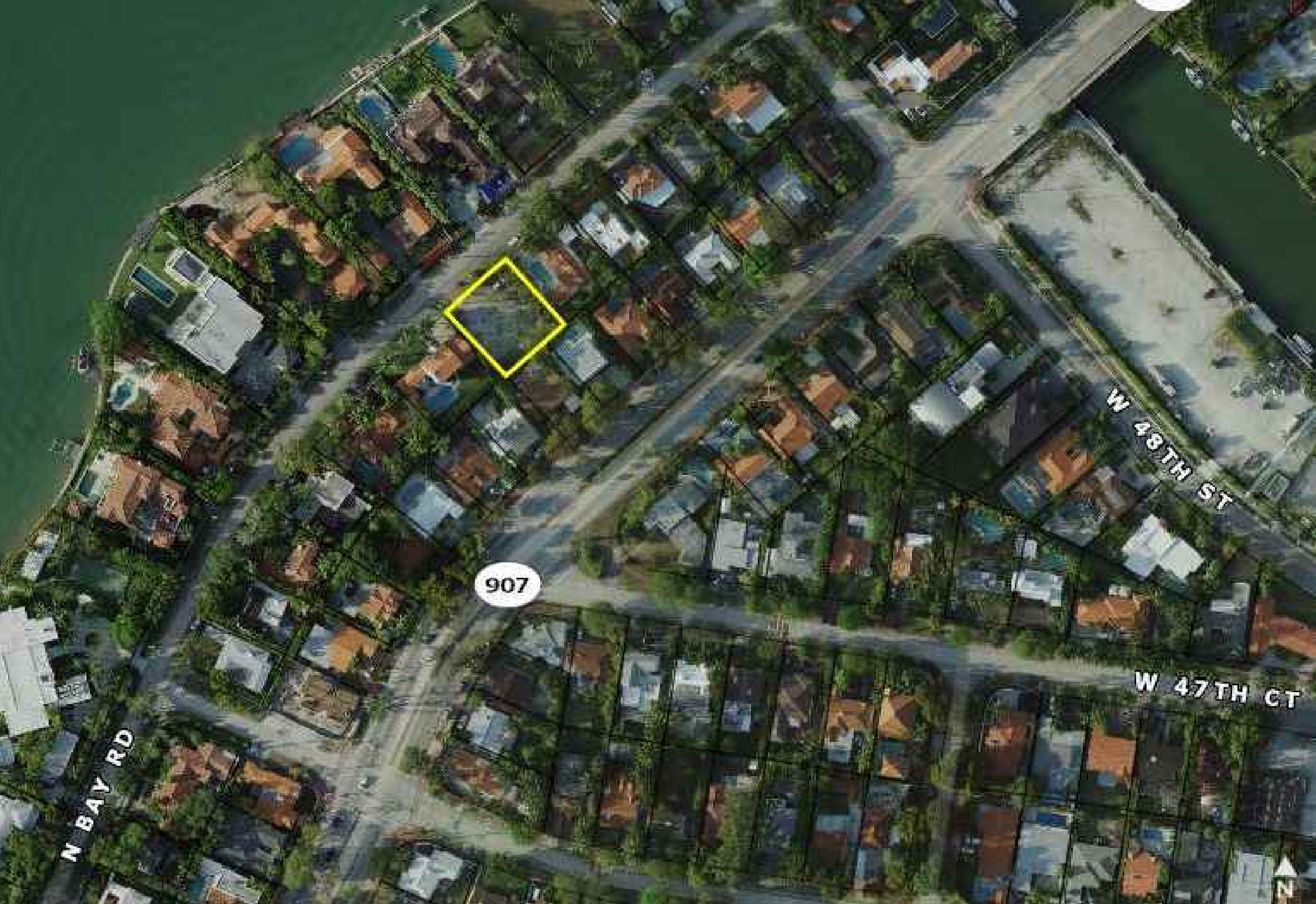
Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**EX-1.0**  
PLOT DATE: 2021-04-05



# LOCATION PLAN



Ames  
INTERNATIONAL  
ARCHITECTURE

NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**EX-2.0**  
PLOT DATE: 2021-04-05

seal

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 303 DUNE BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE: (561) 827-6444, FAX: (561) 827-4646  
LAW: A40002807 ARCHITECTS - A40002801



# NEIGHBORHOOD ANALYSIS - CONTEXT



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**EX-2.1**  
PLOT DATE: 2021-04-05

seal

ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DOE BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE: (561) 274-6444, FAX: (561) 274-6448.  
L18 - A40002807 ARCH181 - A3002801







| SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET                        |  |   |  |                      |              |
|--|--|---|--|----------------------|--------------|
| ITEM #   | Zoning Information   |   |  |                      |              |
| 1  | Address:   | 4747 NORTH BAY ROAD MIAMI BEACH FL33140 |  |                      |              |
| 2  | Folio number(s):   | 02-3222-011-0560                        |  |                      |              |
| 3  | Board and file numbers :   |   |  |                      |              |
| 4  | Year built:  | 1926                                    | Zoning District:   | RS-4                 |              |
| 5  | Based Flood Elevation:   | +8.00' NGVD                             | Grade value in NGVD:   | +4.00' NGVD          |              |
| 6  | Adjusted grade (Flood+Grade/2):                                    | +6.00' NGVD                             | Free board:  | +5.00'               |              |
| 7  | Lot Area:  | 9,000 SF                                |  |                      |              |
| 8  | Lot width:   | 90'-0"                                  | Lot Depth:   | 100'-0"              |              |
| 9  | Max Lot Coverage SF and %:   | 2,700 SF                                | Proposed Lot Coverage SF and %:  | 2,155.51 SF (23.95%) |              |
| 10   | Existing Lot Coverage SF and %:                                    | 2,997.32 SF (29.90%)                    | Lot coverage deducted (garage-storage) SF:   | 600 SF (NOT INCL)    |              |
| 11   | Front Yard Open Space SF and %:                                    | 1,063.10 SF SF (59.06%)                 | Rear Yard Open Space SF and %:   | 1,396.86 SF (77.60%) |              |
| 12   | Max Unit Size SF and %:  | 4,500 SF (50%)                          | Proposed Unit Size SF and %:   | 3,983.52 SF(44.26%)  |              |
| 13   | Existing First Floor Unit Size:                                    | TBD                                     | Proposed First Floor Unit Size:  | 2,155.51 SF          |              |
| 14   | Existing Second Floor Unit Size                                    |   | Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) | N/A                  |              |
| 15   |  | TBD                                     | Proposed Second Floor Unit Size SF and % :   | 1,655.90 SF          |              |
| 16   |  |   | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):                              | N/A                  |              |
|  |  | Required                                | Existing   | Proposed             | Deficiencies |
| 17   | Height:  | 24'-0"                                  | TBD  | 24'-0"               | N/A          |
| 18   | Setbacks:  |   |  |                      |              |
| 19   | Front First level:   | 20'-0"                                  | 19'-10.8'"   | 30'-0"               | N/A          |
| 20   | Front Second level:  | 30'-0"                                  | N/A  | 30'-0"               | N/A          |
| 21   | Side 1:  | 11'-3"                                  | 7'-4"  | 11'-3"               | N/A          |
| 22   | Side 2 or (facing street):   | 11'-3"                                  | 10'-0"   | 11'-3"               | N/A          |
| 23   | Rear:  | 20'-0"                                  | 14'-3.5"   | 22'-0"               | N/A          |
|  | Accessory Structure Side 1:  | N/A                                     | N/A  |                      | N/A          |
| 24   | Accessory Structure Side 2 or (facing street) :                    | N/A                                     | N/A  |                      | N/A          |
| 25   | Accessory Structure Rear:  | N/A                                     |  | N/A                  | N/A          |
| 26   | Sum of Side yard :   | 22'-6"                                  | 17'-4"   | 22'-6"               | 0            |
| 27   | Located within a Local Historic District?                          |   |  | no                   |              |
| 28   | Designated as an individual Historic Single Family Residence Site? |   |  | no                   |              |
| 29   | Determined to be Architecturally Significant?                      |   |  | no                   |              |
| Notes:   |  |   |  |                      |              |
| If not applicable write N/A  |  |   |  |                      |              |
| All other data information should be presented like the above format |  |   |  |                      |              |

PREVIOUS ZONING DATA

| SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET |  |  |  |                   |              |
|---|--|--|--|-------------------|--------------|
| ITEM #  | Zoning Information   |  |  |                   |              |
| 1   | Address:   | 4747 NORTH BAY ROAD, MIAMI BEACH, FL-33140 |  |                   |              |
| 2   | Folio number(s):   | 02-3222-011-0560                           |  |                   |              |
| 3   | Board and file numbers :   |  |  |                   |              |
| 4   | Year built:  | 1926                                       | Zoning District:   | RS-4              |              |
| 5   | Based Flood Elevation:   | +.8.00' NGVD                               | Grade value in NGVD:   | +.4.00' NGVD      |              |
| 6   | Adjusted grade (Flood+Grade/2):                                    | +.6.00' NGVD                               | Free board:  | +.5.00' NGVD      |              |
| 7   | Lot Area:  | 9,000 SF                                   |  |                   |              |
| 8   | Lot width:   | 90'-0"                                     | Lot Depth:   | 100'-0"           |              |
| 9   | Max Lot Coverage SF and %:   | 2,700 SF                                   | Proposed Lot Coverage SF and %:  | 2575 SF (28.61%)  |              |
| 10  | Existing Lot Coverage SF and %:                                    | VACANT LOT                                 | Lot coverage deducted (garage-storage) SF:   | 600 SF (NOT INCL) |              |
| 11  | Front Yard Open Space SF and %:                                    | 1,132 (62.8%)                              | Rear Yard Open Space SF and %:   | 1,542 SF (85.6%)  |              |
| 12  | Max Unit Size SF and %:  | 4,500(50%)                                 | Proposed Unit Size SF and %:   | 4463 SF(49.58%)   |              |
| 13  | Existing First Floor Unit Size:                                    |  | Proposed First Floor Unit Size:  | 2575 SF (28.61%)  |              |
| 14  | Existing Second Floor Unit Size                                    |  | Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval) | N/A               |              |
| 15  |  |  | Proposed Second Floor Unit Size SF and % :   | 1805 SF           |              |
| 16  |  |  | Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):                              | 442 SF (24%)      |              |
|   |  | Required                                   | Existing   | Proposed          | Deficiencies |
| 17  | Height:  | 24'-0"                                     | N/A  | 24'-0"            | N/A          |
| 18  | Setbacks:  |  |  |                   | N/A          |
| 19  | Front First level:   | 20'-0"                                     | N/A  | 30'-0"            | N/A          |
| 20  | Front Second level:  | 30'-0"                                     | N/A  | 30'-0"            | N/A          |
| 21  | Side 1:  | 11'-3"                                     | N/A  | 11'-3"            | N/A          |
| 22  | Side 2 or (facing street):   | 11'-3"                                     | N/A  | 11'-3"            | N/A          |
| 23  | Rear:  | 20'-0"                                     | N/A  | 22'-0"            | N/A          |
|   | Accessory Structure Side 1:  | N/A  | N/A  | N/A               | N/A          |
| 24  | Accessory Structure Side 2 or (facing street) :                    | N/A  | N/A  | N/A               | N/A          |
| 25  | Accessory Structure Rear:  | N/A  | N/A  | N/A               | N/A          |
| 26  | Sum of Side yard :   | 22'-6"                                     | N/A  | 22'-6"            | N/A          |
| 27  | Located within a Local Historic District?                          |  | NO   |                   |              |
| 28  | Designated as an individual Historic Single Family Residence Site? |  | NO   |                   |              |
| 29  | Determined to be Architecturally Significant?                      |  | NO   |                   |              |

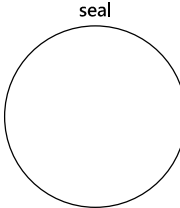
Notes:  
If not applicable write N/A  
All other data information should be presented like the above format

PROPOSED ZONING DATA

PROJECT # 2021-AMIES INTERNATIONAL ARCHITECTURE CONSENT OF PLANS AND SPECIFICATIONS. PLANS, DESIGN, DRAWINGS AND SPECIFICATIONS ARE THE SOLE AND EXCLUSIVE PROPERTY OF AMIES INTERNATIONAL ARCHITECTURE AND SHALL BE USED BY AMIES INTERNATIONAL ARCHITECTURE FOR ANY PURPOSE WHATSOEVER. THE PLANS, DESIGN, DRAWINGS AND SPECIFICATIONS ARE LOANED TO THE CLIENT FOR THE CLIENT'S USE ONLY. THE CLIENT SHALL NOT REPRODUCE, COPY, REUSE, OR OTHERWISE DISSEMINATE THE PLANS, DESIGN, DRAWINGS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF AMIES INTERNATIONAL ARCHITECTURE. THERE SHALL BE NO LIABILITY FOR ANY DAMAGE OR LOSS OF ANY KIND, INCLUDING BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR IN CONNECTION WITH THE USE OF THE PLANS, DESIGN, DRAWINGS AND SPECIFICATIONS.



NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140



Job no.  
20-4989  
comm no.  
1810  
date:  
02-15-2021  
REVISIONS


01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
A-0.0  
PLOT DATE: 2021-04-05





MIAMI BEACH, FL 33140



seal

date:  
02-15-2021  
**REVISIONS**

sheet no.

PLOT DATE: 2021-04-05

Los Angeles, CA 9002307 ARCHULETA, ARCO/2001 ADDRESS - HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE - (561)274-8444, FAX - (561)274-8449.

- FRONT GATE IS SHIFTED OVER TO ALLOW FOR VEHICULAR SLIDING GATE ACCESS.
- 1' OF GREEN IS PROVIDED FROM THE WALL OF THE HOUSE TO PREVENT WALL TO VEHICLE COLLISION.
- REAR YARD, SUN BED IS REMOVED AND STAIRS ARE EXTENDED.
- POOL EQUIPMENT IS MIRRORED TO THE OPPOSITE SIDE OF THE HOUSE.
- ADDITION OF WALKWAY ON 2ND FLOOR, SW CORNER.

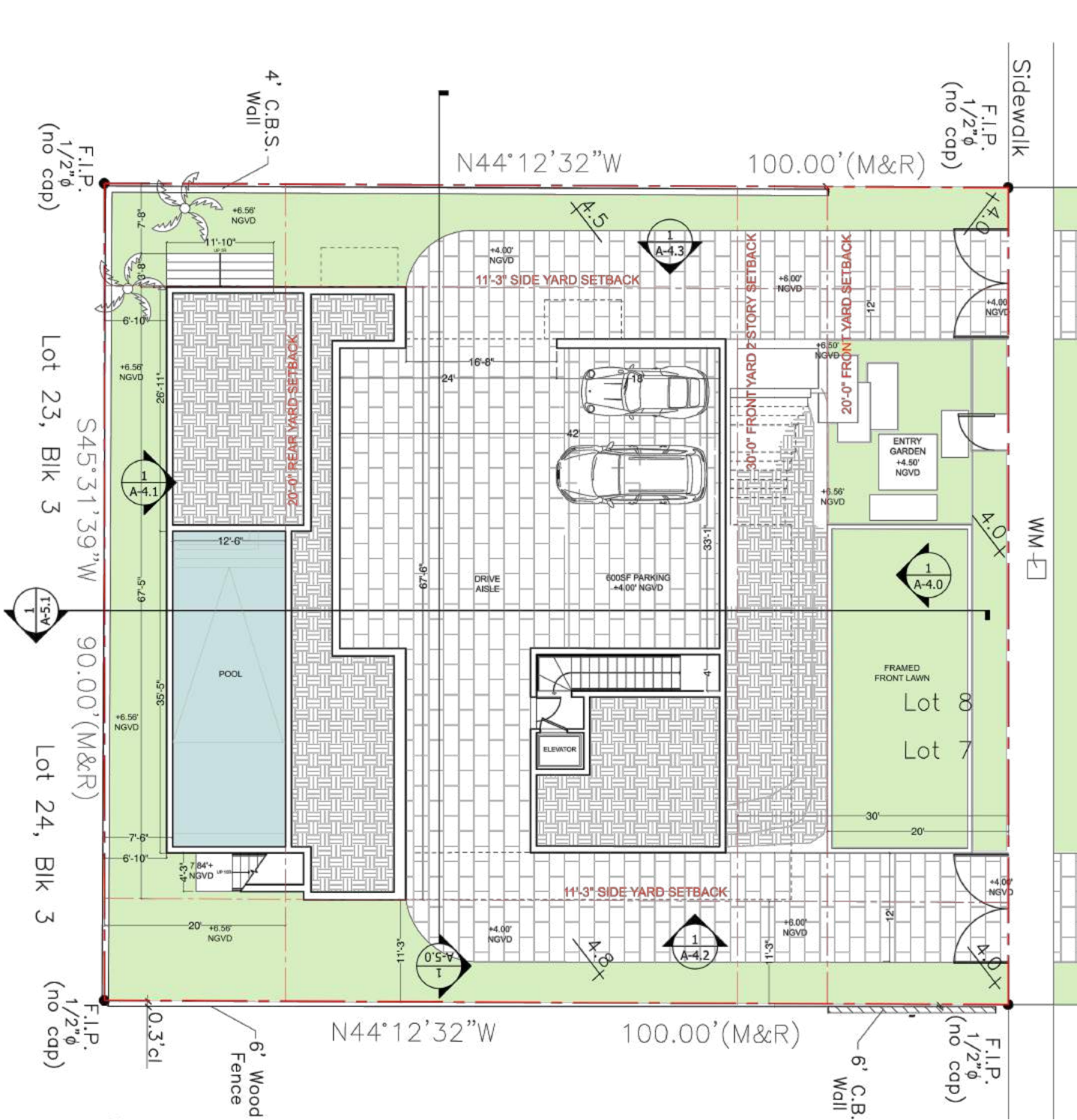


SCALE: 1/16" = 1'-0"



SCALE: 1/16" = 1'-0"



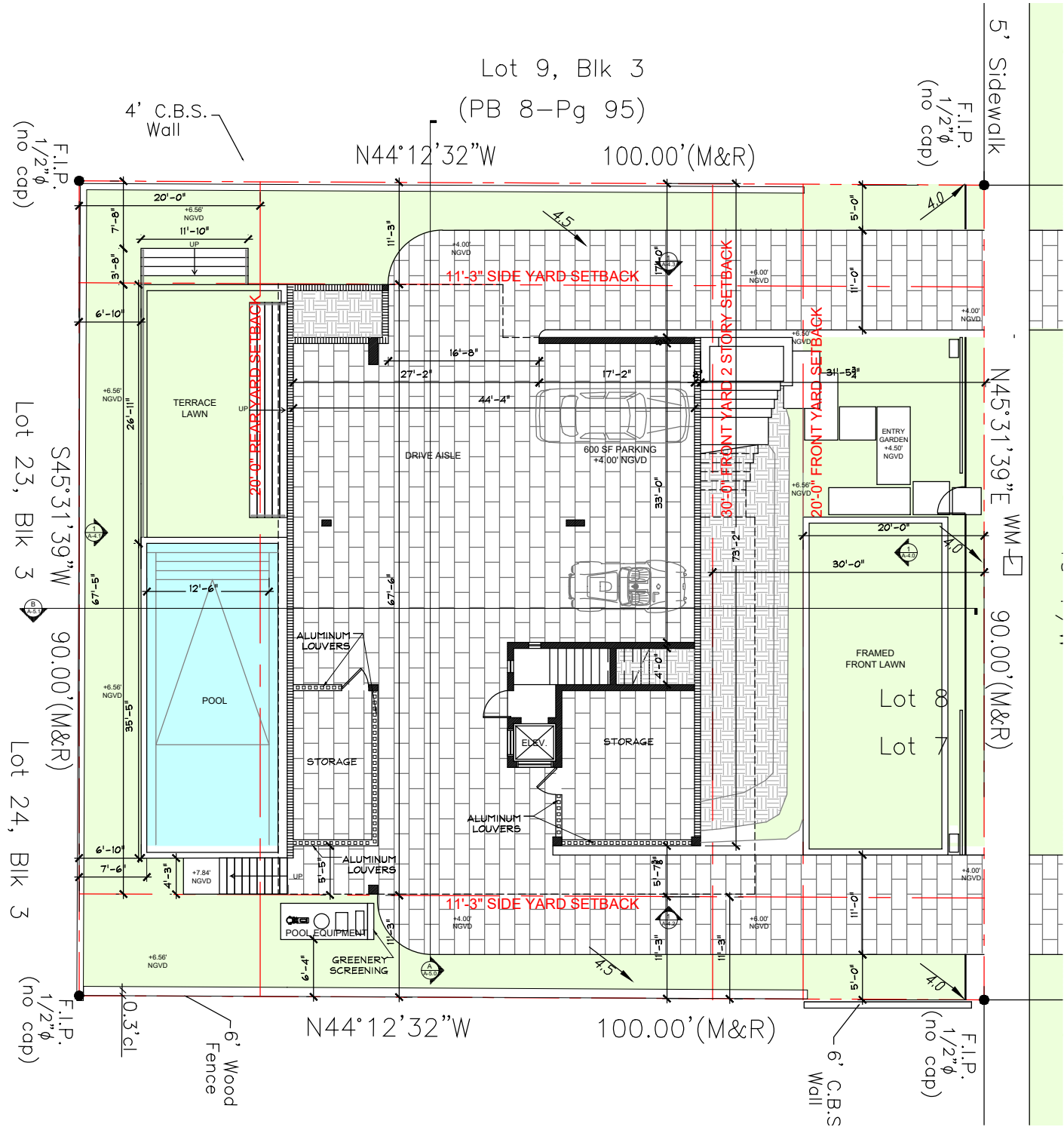


## PREVIOUS GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"

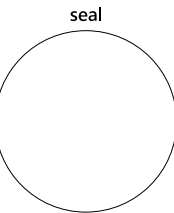
### NOTES:

- 142-105 (d) THE USE OF THE UNDERSTORY IS SHALL BE FOR NON-HABITABLE PURPOSES, AND GIVEN THAT THE AREA MAY BE SUBJECT TO FLOODING.
- DRIVE AISLE REAR WALL FLUSH WITH POOL.
- NON-ENCLOSED STORAGE SPACES PROVIDED BY ELEVATOR AND POOL STAIRS, OPEN ON 50% WITH USE OF LOUVERS.
- 1' OF GREEN IS PROVIDED FROM THE WALL OF THE HOUSE TO PREVENT WALL TO VEHICLE COLLISION.
- ENTRY GATE MOVED OVER TO INCORPORATE SLIDING GATE ACCESS FOR VEHICLES.



## PROPOSED GROUND FLOOR PLAN

SCALE: 1/16" = 1'-0"



Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

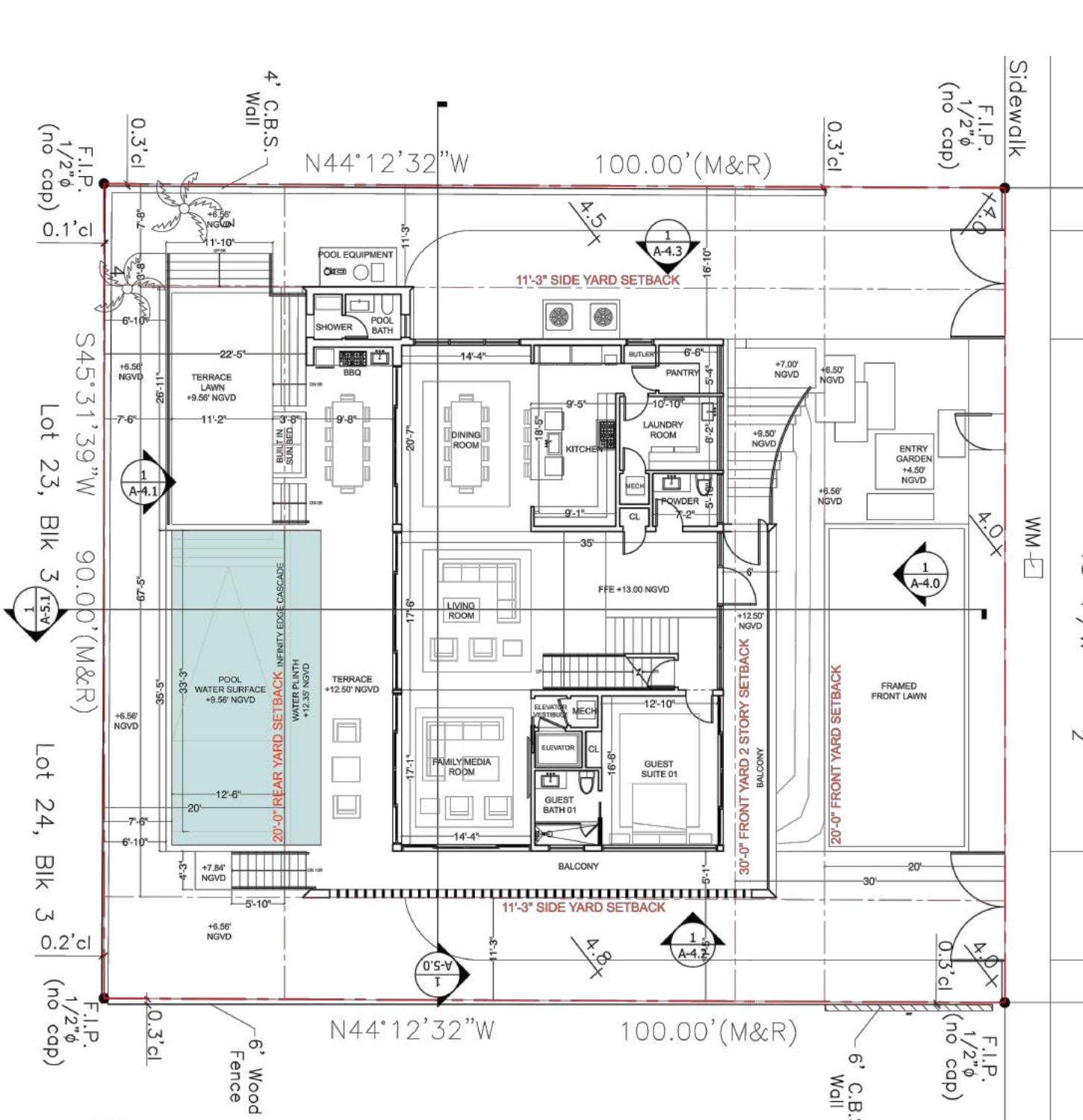
01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-1.1**  
PLOT DATE: 2021-04-05



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

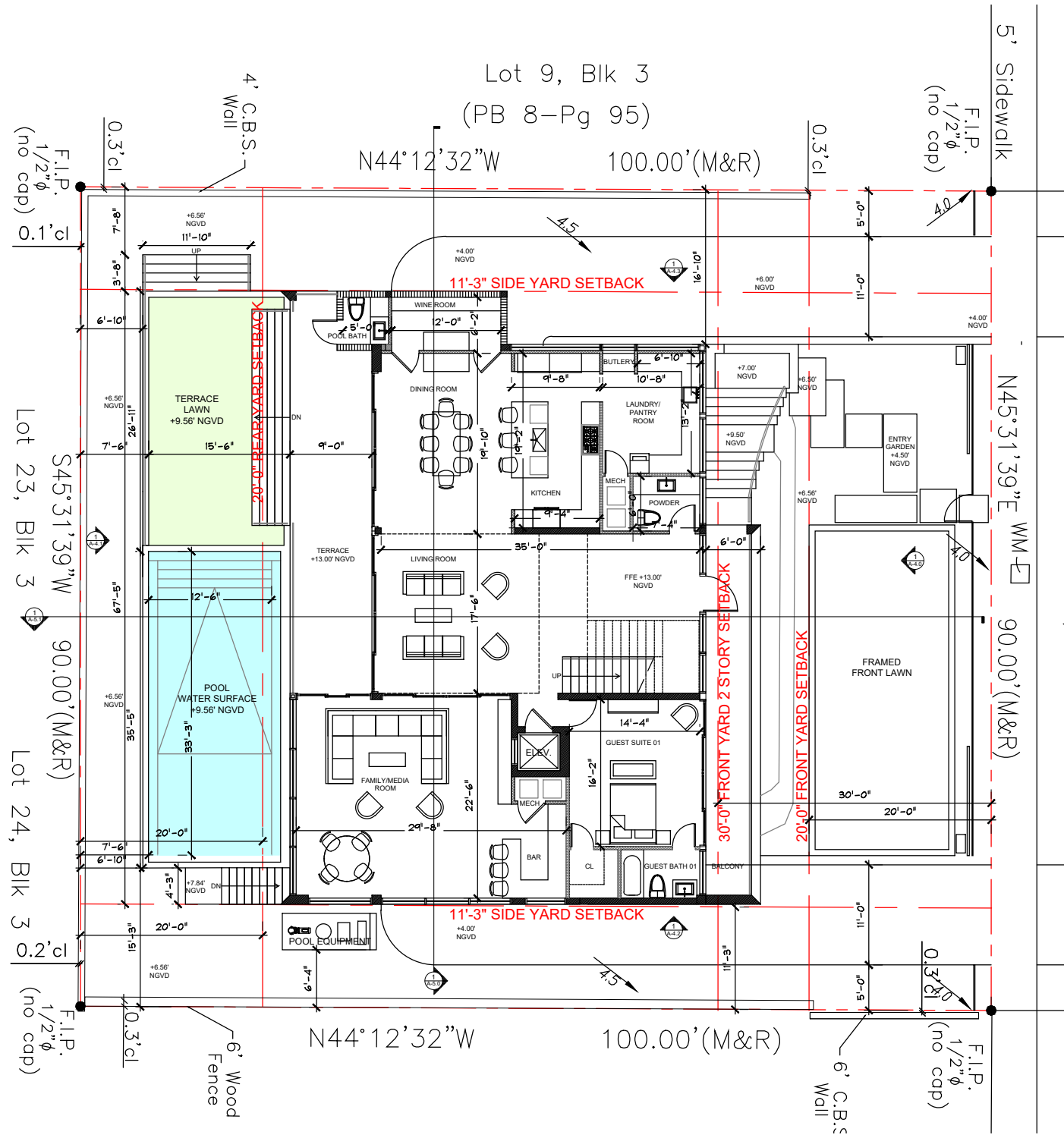




**PREVIOUS FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"

**NOTES:**

- EXTENDED WALLS/GLASS TO EDGE OF SETBACK TO MAXIMIZE SF, BY FAMILY ROOM, BAR, AND GUEST SUITE.
- RE-ORGANIZE POWDER ROOM, MECHANICAL, LAUNDRY ROOM, AND POOL BATH.
- ADDED A WINE ROOM BESIDE DINING ROOM.
- A/C EQUIPMENT RELOCATED TO ROOF.
- SUN BED REMOVED AND STAIRS EXTENDED.

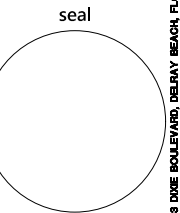


**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/16" = 1'-0"



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140



Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-1.2**

PLOT DATE: 2021-04-05



- NOTES:
- EXTENDED MASTER SUITE AND GUEST SUITE 02.
  - REDESIGN FLOOR PLAN



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
**MIAMI BEACH, FL 33140**

seal

Job no.  
**20-4989**  
comm no.  
**1810**

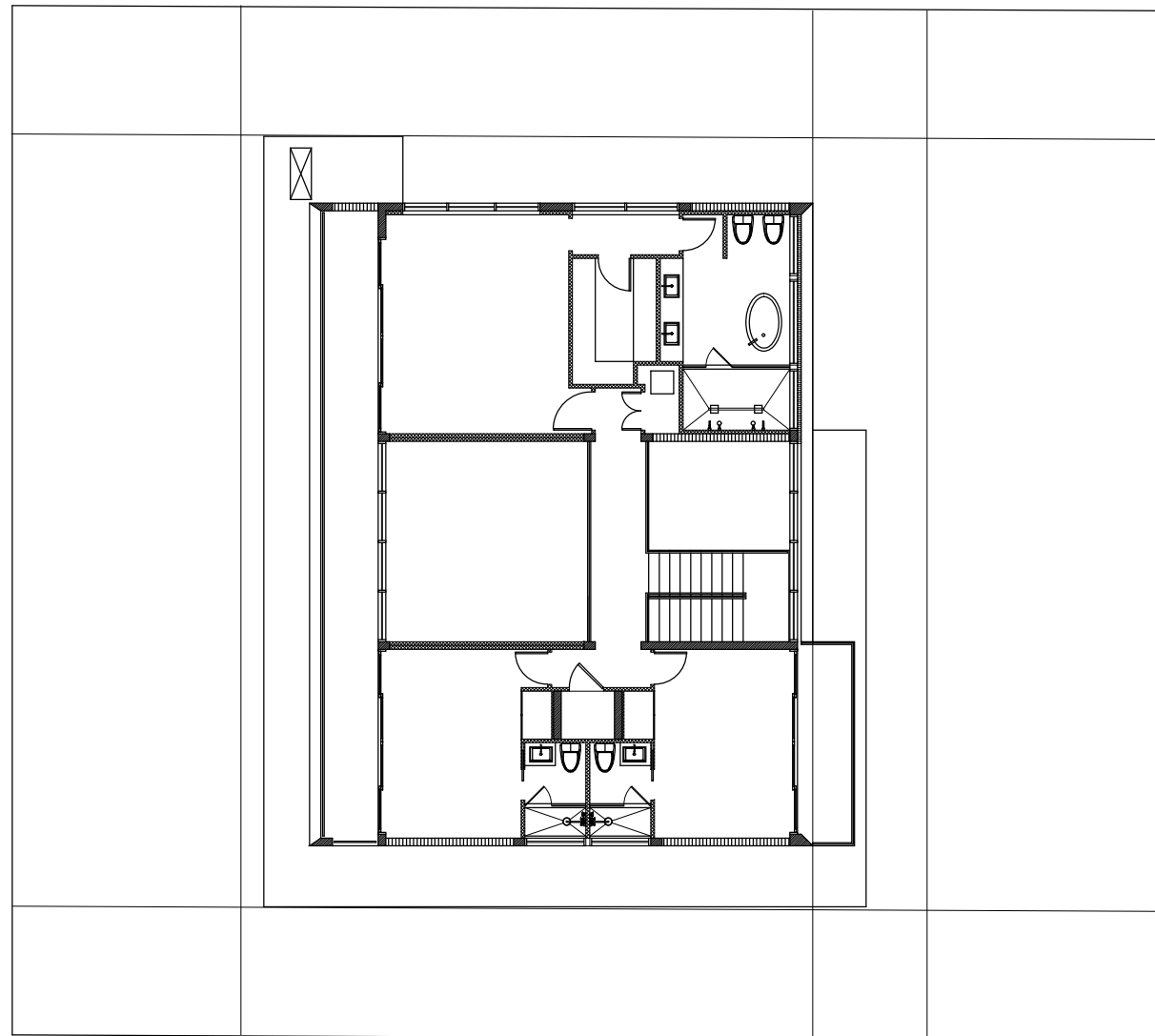
date:  
02-15-2021  
REVISIONS

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.

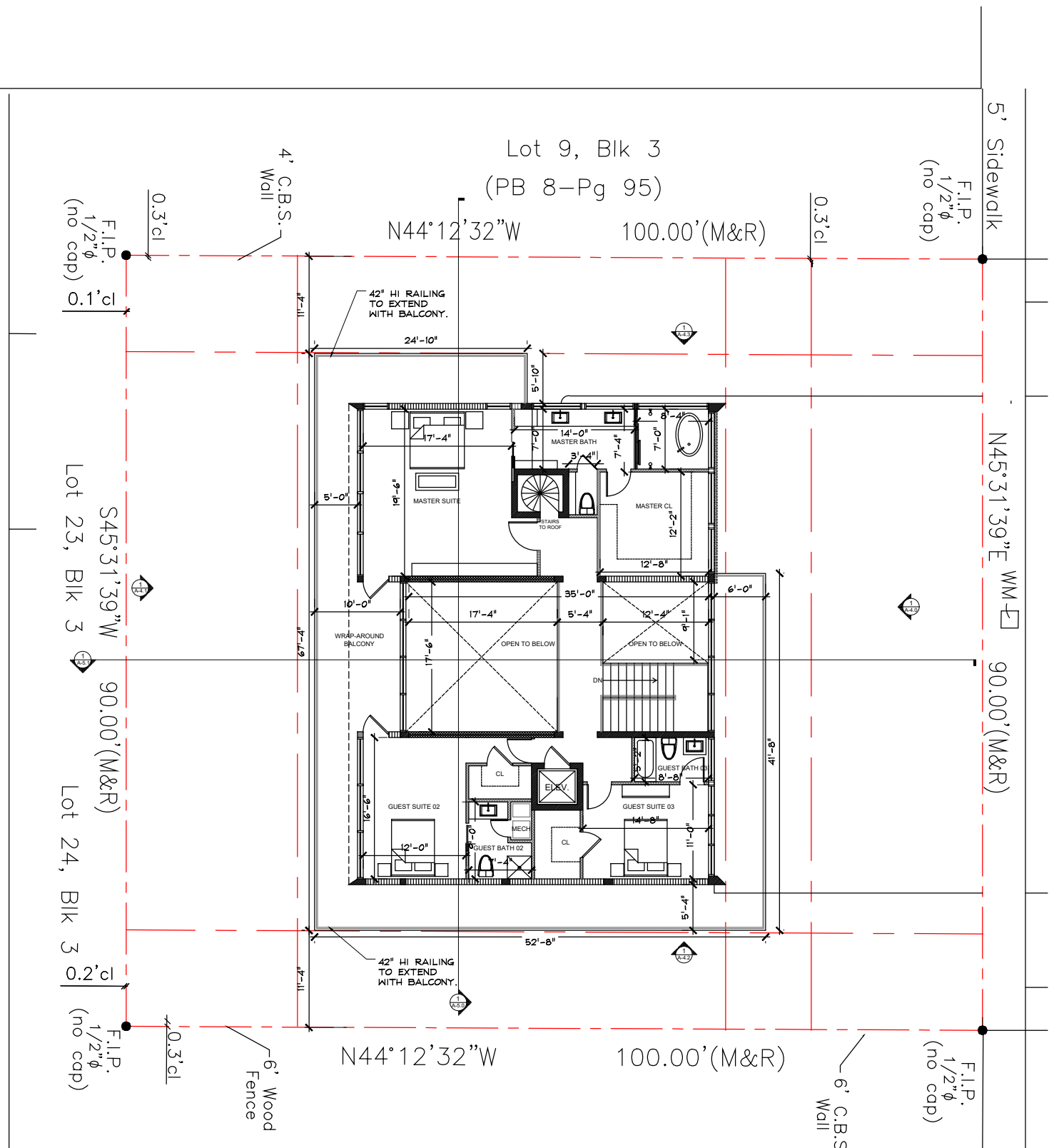
## A-1.3

PLOT DATE: 2021-04-05



PREVIOUS SECOND FLOOR PLAN

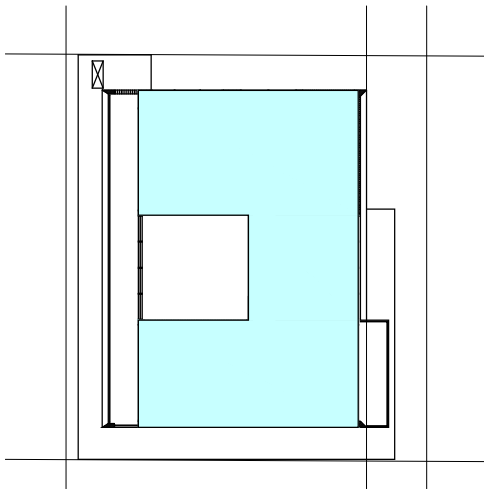
SCALE: 1/16" = 1'-0"



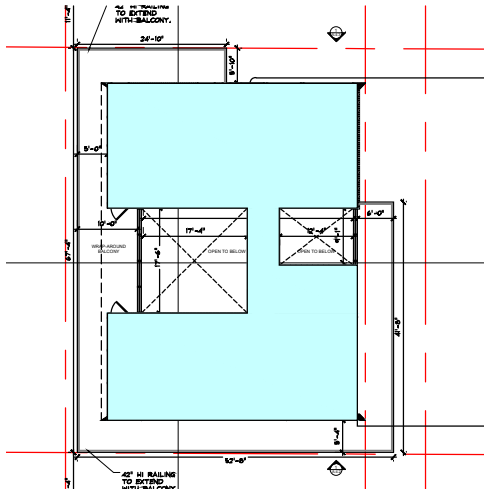
## PROPOSED SECOND FLOOR PLAN

SCALE: 1/16" = 1'-0"





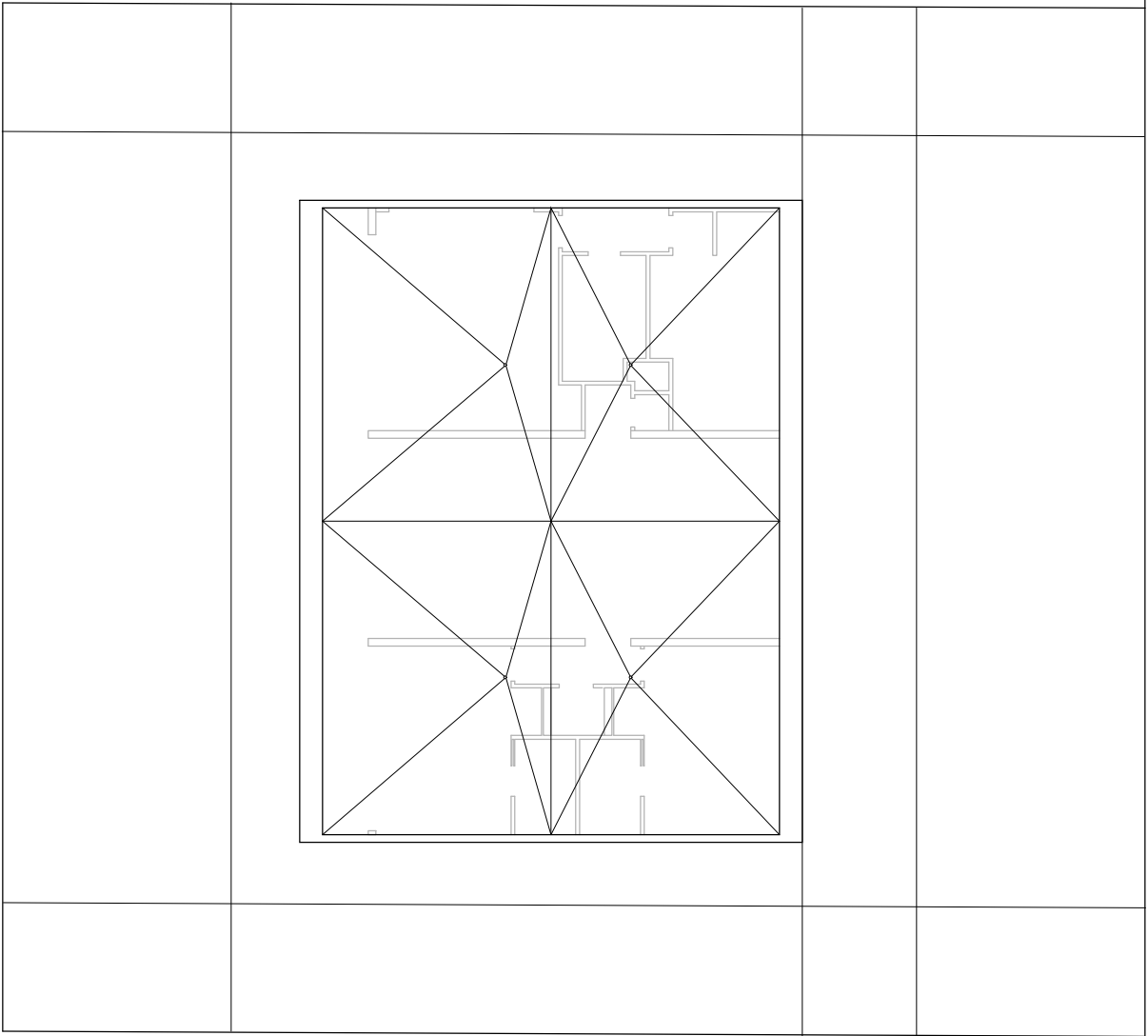
PREVIOUS SECOND PLAN  
SCALE: 1/32" = 1'-0"



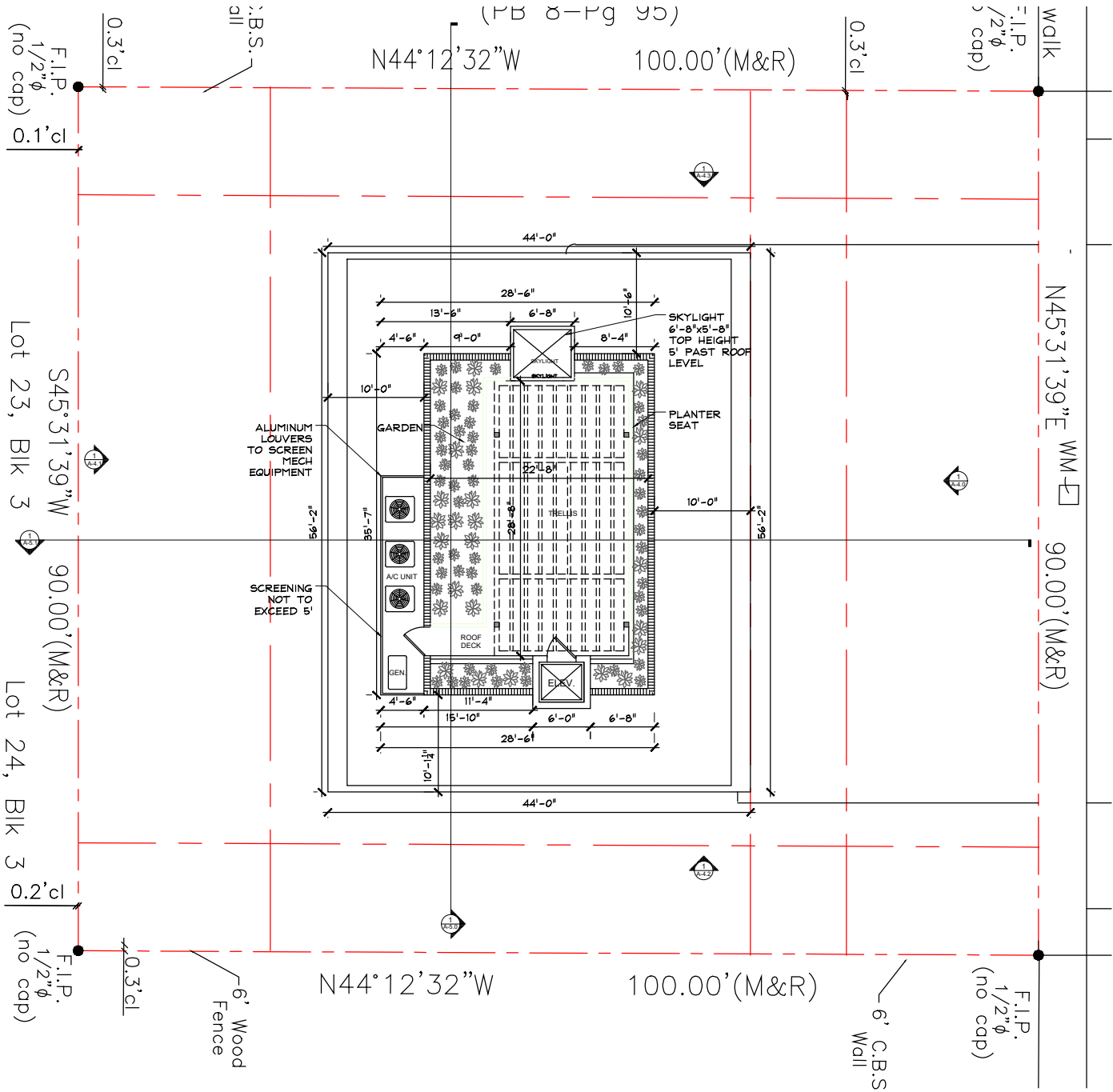
PROPOSED SECOND PLAN  
SCALE: 1/32" = 1'-0"

TOTAL ROOF AREA= 2,471 SF  
ROOF DECK AREA= 442 SF  
  
TOTAL ROOF ENCLOSED  
AREA= 442 SF  
  
ROOF DECK MAX  
  
1805 x 25%= 451.25 SF  
  
ROOF STRUCTURE  
1805 x 20%= 361 SF

- NOTES:
- MECHANICAL EQUIPMENT RELOCATED. NO SETBACK NEEDED FOR EQUIPMENT.
  - ALUMINUM SCREENING FOR MECHANICAL EQUIPMENT NOT TO EXCEED 5'.
  - SKYLIGHT EXCEED ROOF HEIGHT OF 5'.

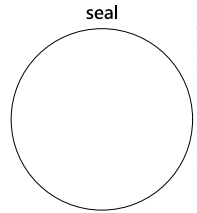


PREVIOUS ROOF FLOOR PLAN  
SCALE: 1/16" = 1'-0"



PROPOSED ROOF FLOOR PLAN  
SCALE: 1/16" = 1'-0"

CONTRACT NO. 20-4989 COMM. NO. 1810 DATE: 02-15-2021 REVISIONS  
01-13-2021 CHANGE OF ARCHITECT  
02-15-2021 OWNER REVISIONS  
sheet no. A-1.4 PLOT DATE: 2021-04-05



Job no.  
20-4989  
comm no.  
1810  
date:  
02-15-2021  
REVISIONS

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
A-1.4

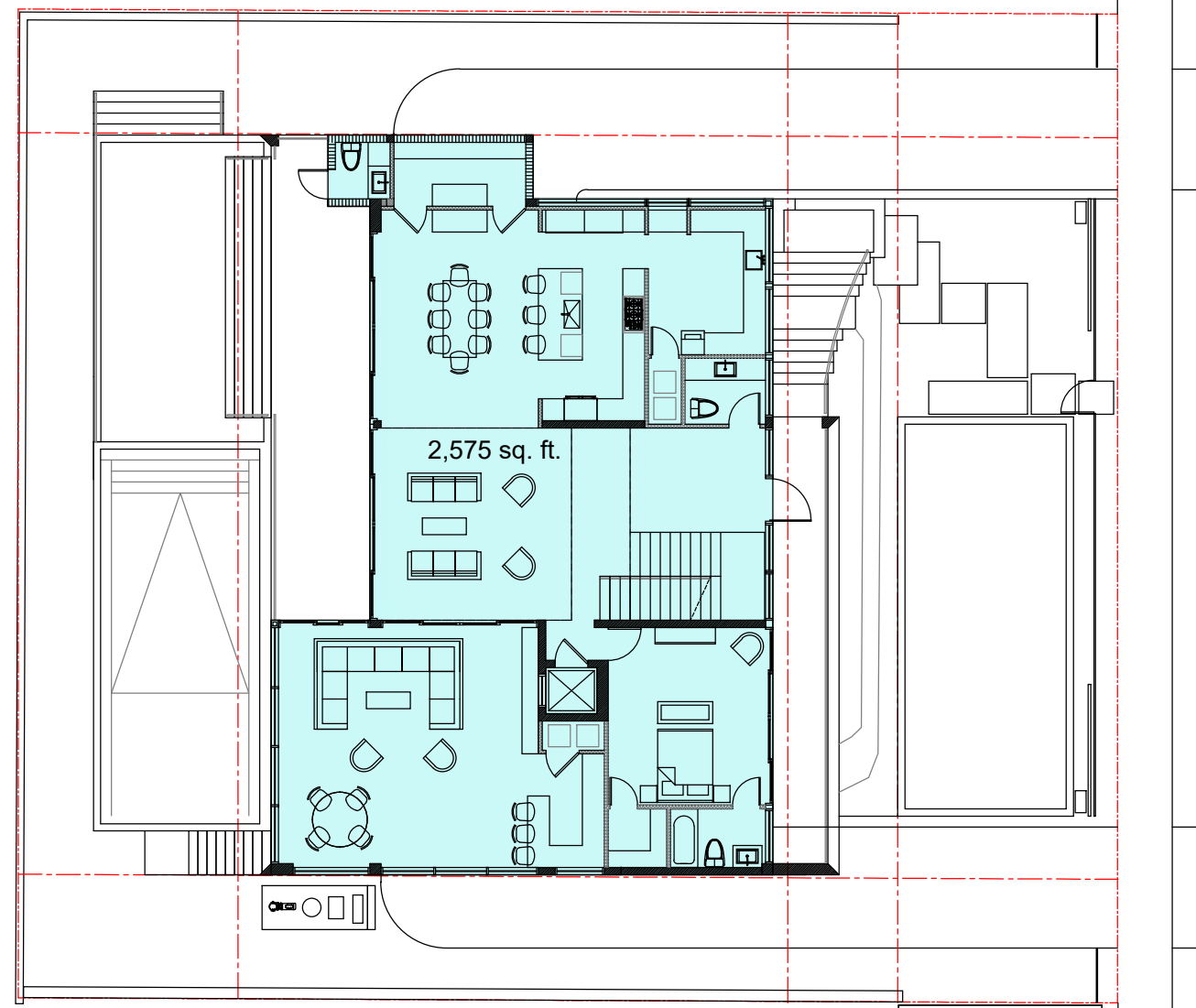
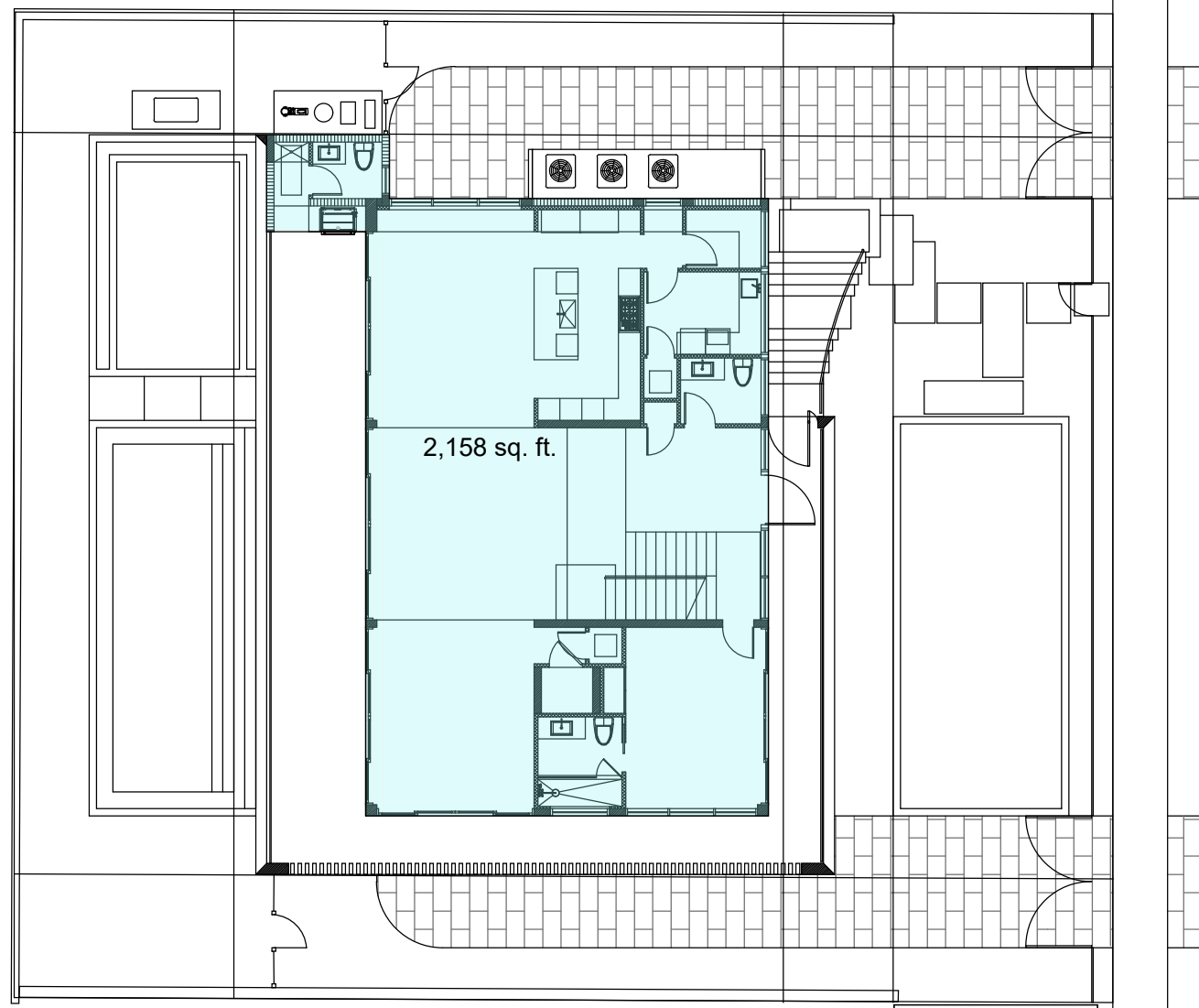
PLOT DATE: 2021-04-05




NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

ADDRESS : HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 200 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561) 827-8444. FAX : (561) 827-4646. Lic # AA0008307 ARCHER+ ARCHITECTS





 PREVIOUS LOT COVERAGE  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

 **PROPOSED LOT COVERAGE**  
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

| ALLOWABLE UNIT SIZE                    | GROUND FLOOR UNIT SIZE | FIRST FLOOR UNIT SIZE | SECOND FLOOR UNIT SIZE | TOTAL UNIT SIZE   |
|--|------------------------|-----------------------|------------------------|-------------------|
| 4,500 SF<br>50% OF LOT AREA (9,000 SF) | 83 SF                  | 2,575 SF              | 1,805 SF               | 4,463 SF (49.58%) |
| LOT AREA                               | PREVIOUS LOT COVERAGE  | PROPOSED LOT COVERAGE |                        |                   |
| 9,000 SF                               | 2,158 SF               | 2,575 SF              |                        |                   |

seal

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021

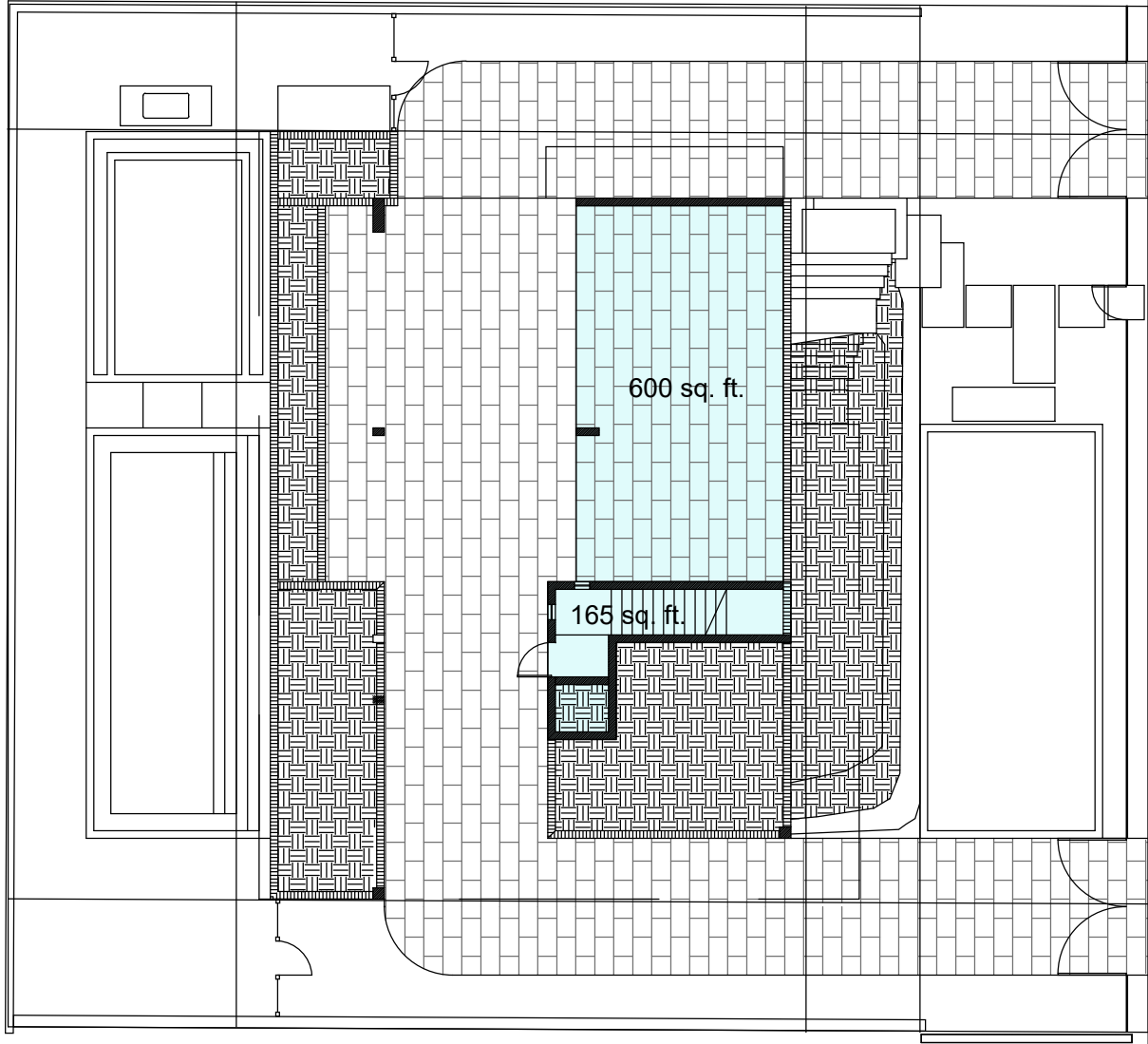
**REVISIONS**

4 01-13-2021  
CHANGE OF ARCHITECT

6 02-15-2021  
OWNER REVISIONS

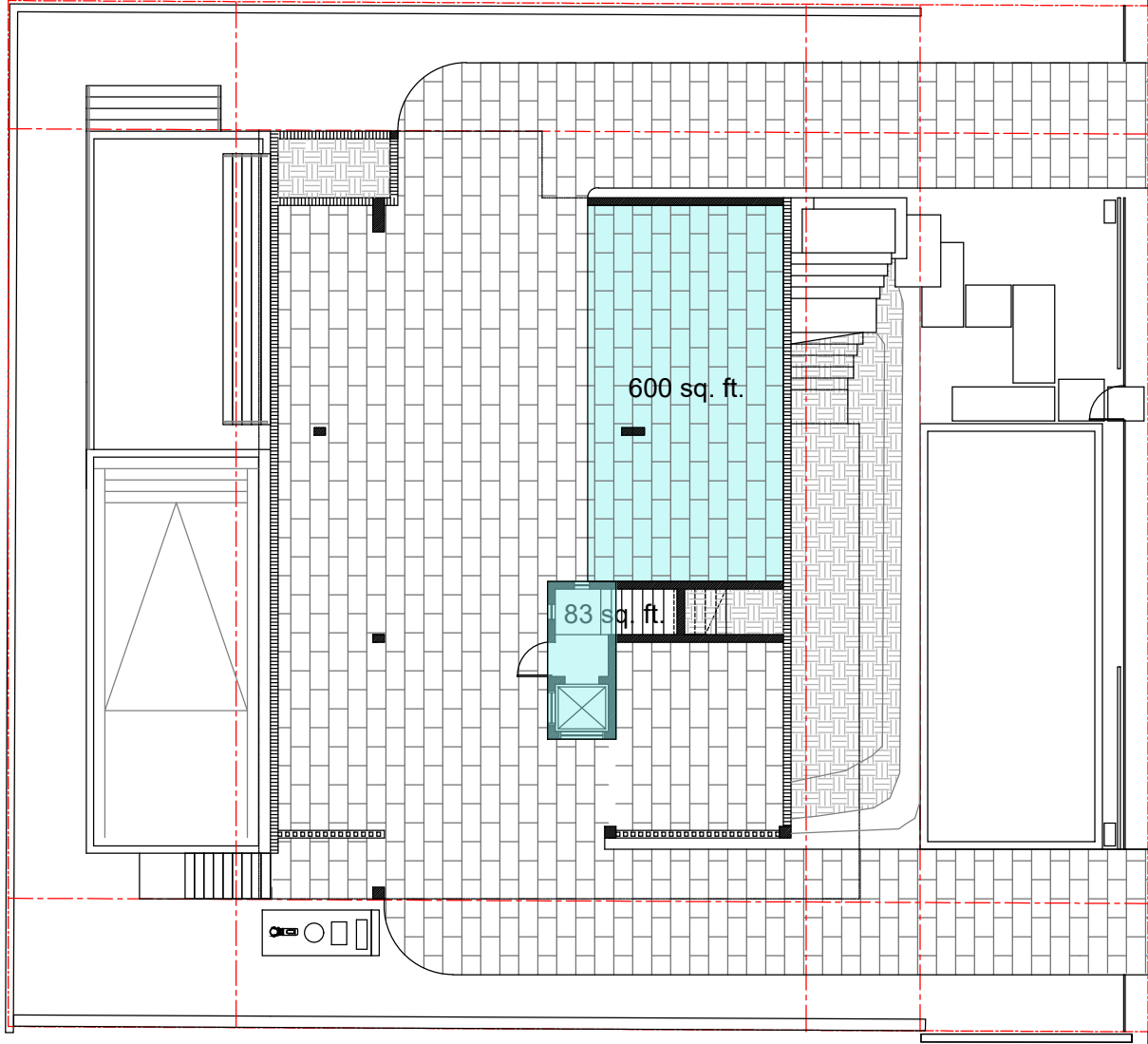
sheet no.  
A-2.0  
PLOT DATE: 2021-05-27





 **PREVIOUS GROUND UNIT SIZE**  
SCALE: 1/16" = 1'-0"

| ALLOWABLE UNIT SIZE                    | GROUND FLOOR UNIT SIZE | FIRST FLOOR UNIT SIZE | SECOND FLOOR UNIT SIZE | TOTAL UNIT SIZE   |
|--|------------------------|-----------------------|------------------------|-------------------|
| 4,500 SF<br>50% OF LOT AREA (9,000 SF) | 83 SF                  | 2,575 SF              | 1,805 SF               | 4,463 SF (49.58%) |
| LOT AREA                               | PREVIOUS LOT COVERAGE  | PROPOSED LOT COVERAGE |                        |                   |
| 9,000 SF                               | 2,158 SF               | 2,575 SF              |                        |                   |



 **PROPOSED GROUND UNIT SIZE**  
SCALE: 1/16" = 1'-0"

- 01-13-2021  
CHANGE OF ARCHITECT
- 02-15-2021  
OWNER REVISIONS

sheet no.  
**A-2.1**  
PLOT DATE: 2021-05-27









A detailed floor plan of a duplex unit, labeled "1,805 sq. ft.". The plan shows two symmetrical halves separated by a central hallway. Each half contains a living area with a fireplace, a dining area, a kitchen with a sink and stove, a bedroom, a bathroom, and a central staircase. The unit is enclosed by a thick black line, and the entire plan is set against a background of red dashed lines.



01-13-2021  
 CHANGE OF ARCHITECT  
 02-15-2021  
 OWNER REVISIONS

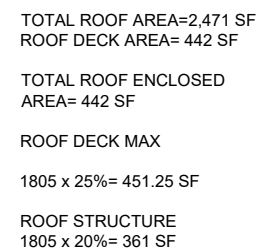
sheet no.  
**A-2.3**

PLOT DATE: 2021-05-27

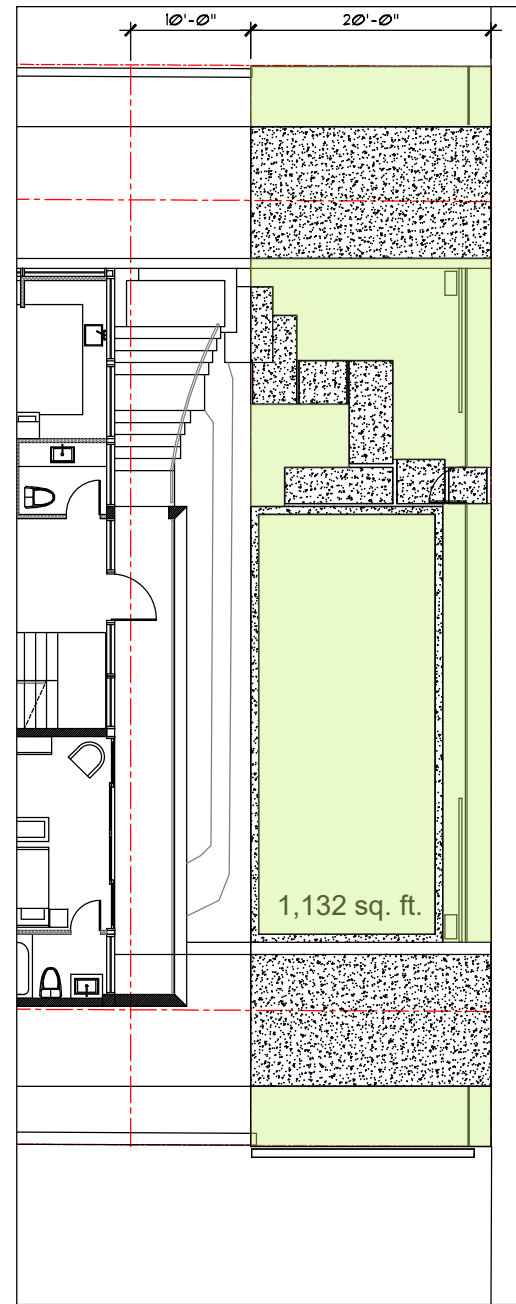
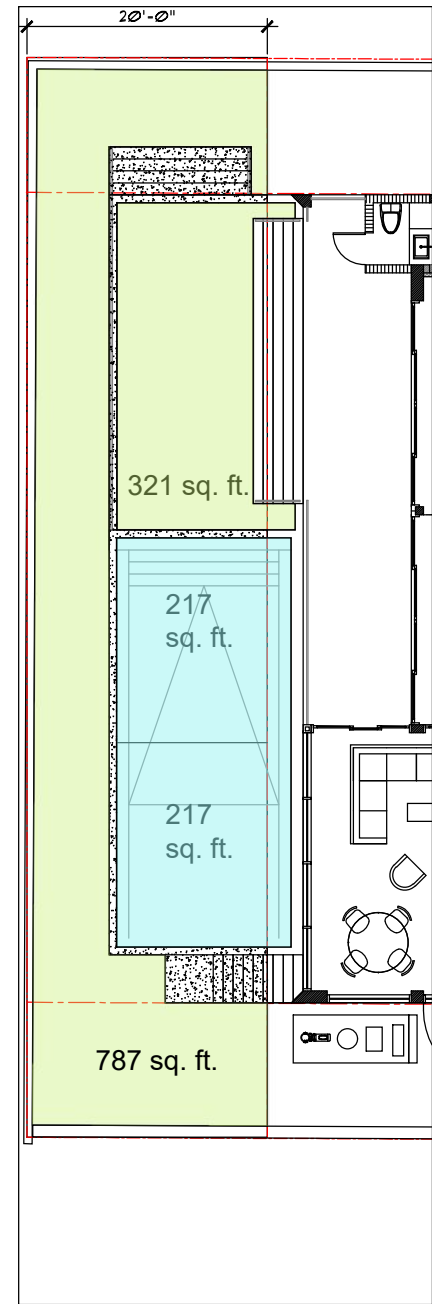
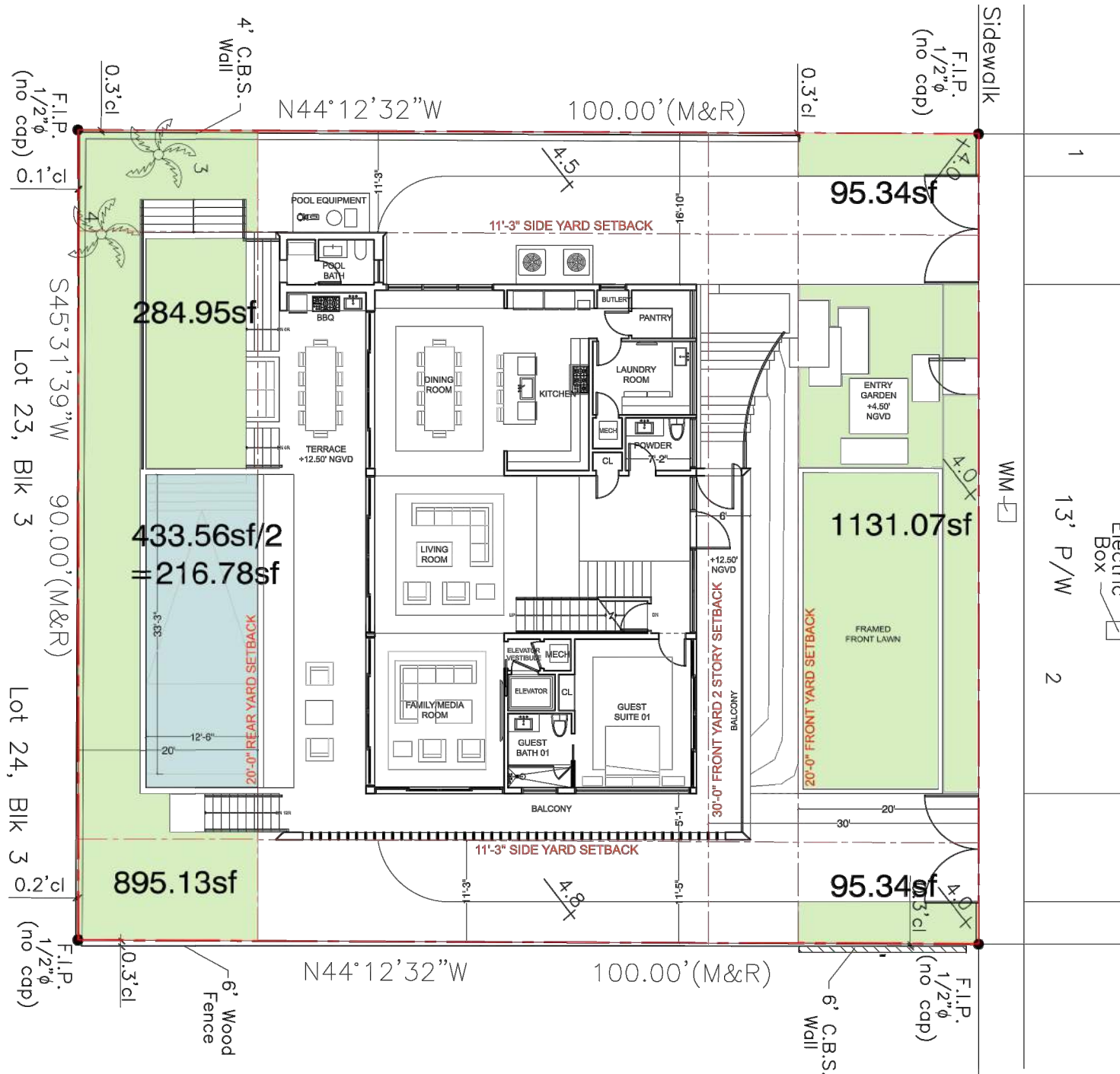




| ALLOWABLE UNIT SIZE                    | GROUND FLOOR UNIT SIZE | FIRST FLOOR UNIT SIZE | SECOND FLOOR UNIT SIZE | TOTAL UNIT SIZE   |
|--|------------------------|-----------------------|------------------------|-------------------|
| 4,500 SF<br>50% OF LOT AREA (9,000 SF) | 83 SF                  | 2,575 SF              | 1,805 SF               | 4,463 SF (49.58%) |
| LOT AREA                               | PREVIOUS LOT COVERAGE  | PROPOSED LOT COVERAGE |                        |                   |
| 9,000 SF                               | 2,158 SF               | 2,575 SF              |                        |                   |







**LOT COVERAGE LEGEND:**

|  |   |  |                              |
|--|---|--|------------------------------|
|  | RESIDENCE<br>(BUILDING LOT COVERAGE)        |  | DRIVEWAY / WALKS / POOL DECK |
|  | COVERED TERRACES<br>(BUILDING LOT COVERAGE) |  | LANDSCAPING                  |
|  | POOL  |  |                              |



**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-2.5**

PLOT DATE: 2021-05-27

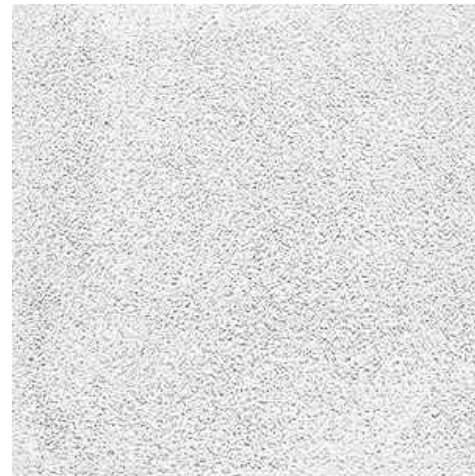
ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 308 DOE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: (561) 857-8444. FAX: (561) 857-4848.

License: A000000000 ARCHITECTS - APPROVED









- A. ROOF / ALUMINUM TRELLIS MEMBERS TO BE FINISHED IN A LIGHT WOOD TONE.
- B. ALUMINUM LOUVERS
- C. TEMPERED GLASS GUARDRAIL WITH ALUMINUM RAIL
- D. IMPACT-RATED LIGHT TINTED LAMINATED GLASS ON DARK ALUMINUM FRAMING SYSTEM.
- E. EXTERIOR SMOOTH STUCCO FINISH ON MASONRY WALL
- F. CORAL STONE

## MATERIAL BOARD



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

|   |            |                     |
|---|------------|---------------------|
| 4 | 01-13-2021 | CHANGE OF ARCHITECT |
| 5 | 02-15-2021 | OWNER REVISIONS     |

sheet no.  
A-3.0  
PLOT DATE: 2021-04-05

[illegible]

Los Angeles, CA 9002307 ARCHUR, ARD012001  
ADDRESS : HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274-8444. FAX : (561)274-8448.





Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

4 01-13-2021  
CHANGE OF ARCHITECT

5 02-15-2021  
OWNER REVISIONS

sheet no.  
A-3.1


PLOT DATE: 2021-04-05

Les : AAO002807 ARCHR : AF0012001  
ADDRESS : HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 208 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 8444. FAX : (561)274 6644.





REAR ELEVATION



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**

comm no.  
**1810**

date:  
02-15-2021

**REVISIONS**

01-13-2021

CHANGE OF ARCHITECT

02-15-2021

OWNER REVISIONS

sheet no.  
**A-3.2**

PLOT DATE: 2021-04-05

ADDRESS • HISTORIC DEL-DA PARK PROFESSIONAL DISTRICT, 303 DUNE BOULEVARD, DELRAY BEACH, FLORIDA, 33444, PHONE • (561) 857-6444, FAX • (561) 857-4646.

LES • A400000007 ARCHES • A400000001



**APPLICABLE CODE NOTE:**

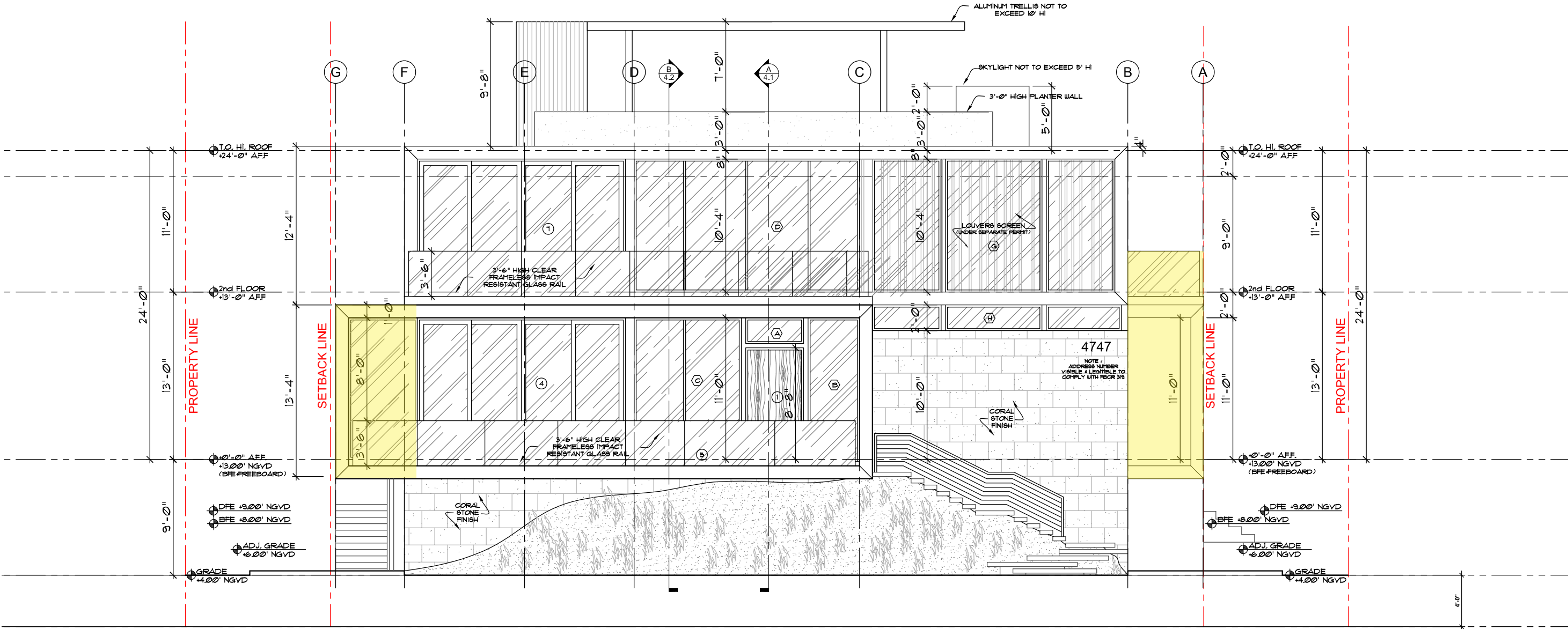
APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

**GENERAL NOTE:**

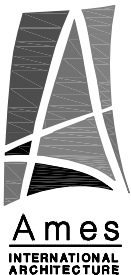
ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

**NOTES:**

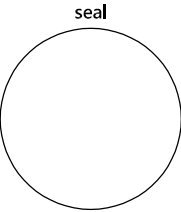
- ADDITION OF WINE ROOM.
- 1ST FLOOR EXTENDED OUT TO SETBACK LINE.
- SKYLIGHT PROTRUDE 5' PAST T.O. ROOF.
- ADDITION OF TRELLIS FOR ROOF DECK.
- NEW WINDOW ON GUEST SUITE BATHROOM N.E. SIDE.



**NORTH (FRONT) ELEVATION**  
SCALE: 1/8" = 1'-0"



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140



Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

- 01-13-2021  
CHANGE OF ARCHITECT
- 02-15-2021  
OWNER REVISIONS

sheet no.  
**A-4.0**

PLOT DATE: 2021-04-05



**APPLICABLE CODE NOTE:**

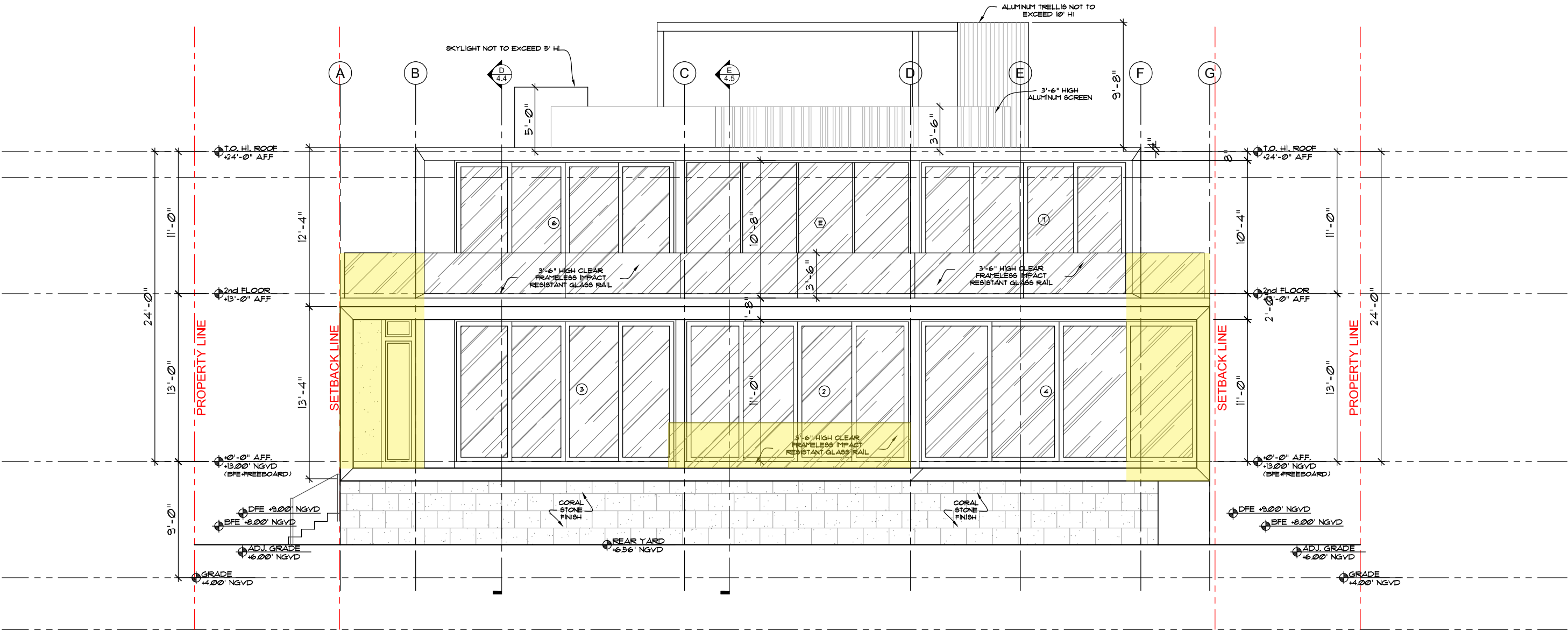
APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

**GENERAL NOTE:**

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

**NOTES:**

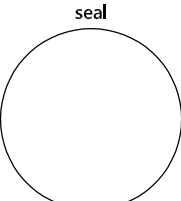
- RELOCATION OF A/C EQUIPMENT TO ROOF.
- 1ST FLOOR EXTENDED OUT TO SETBACK LINE.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF BALCONY.



**SOUTH (REAR) ELEVATION**  
SCALE: 1/8" = 1'-0"



**NEW RESIDENCE**  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140



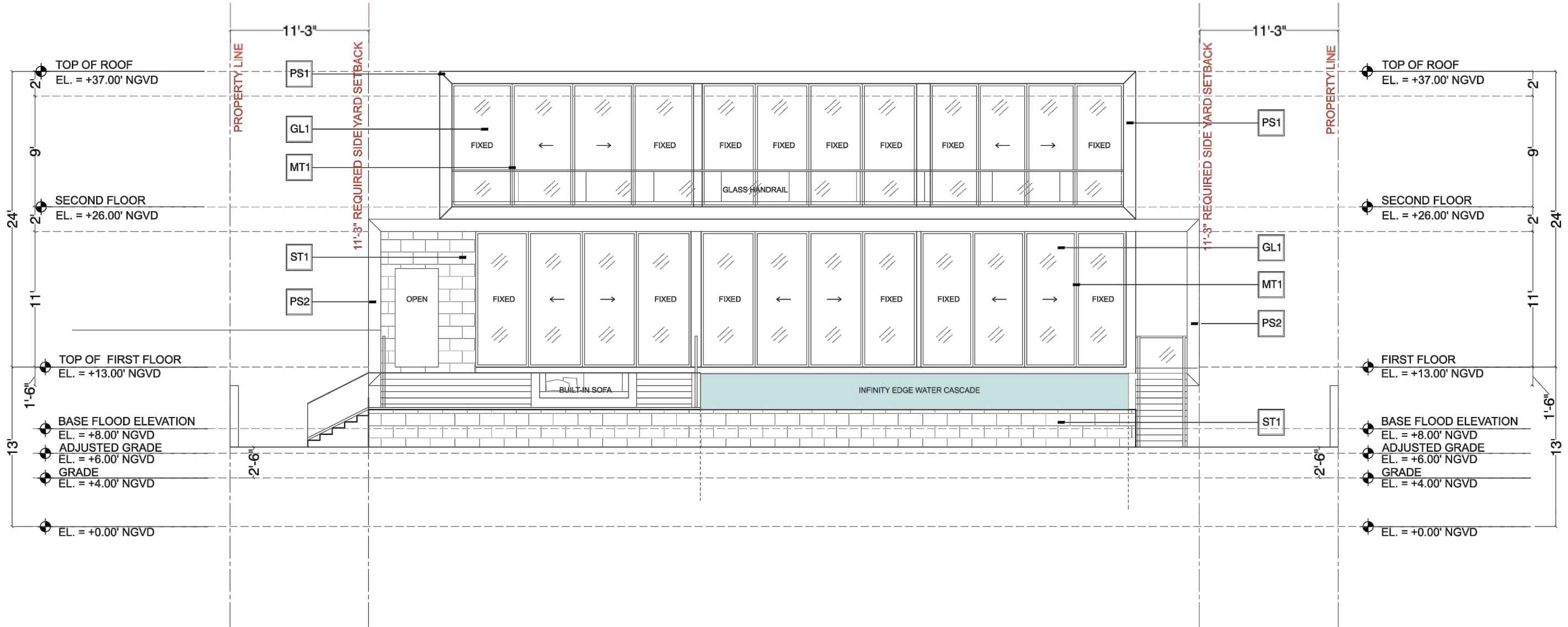
Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-4.1**

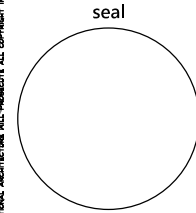
PLOT DATE: 2021-04-05





# PREVIOUS SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-4.2**

PLOT DATE: 2021-04-05



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS  
sheet no.  
**A-4.2**  
PLOT DATE: 2021-04-05  
ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 205 DUE BOLLIVARD, DELRAY BEACH, FLORIDA, 33444, PHONE: (561) 827-8444, FAX: (561) 827-4848  
LID: A40002807 ARCH-2 - A40002801



- FAMILY ROOM AND GUEST SUITE 1 EXTENDED TO SETBACK LINE.
- ADDITION OF CLERESTORY WINDOWS FAMILY ROOM.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF BALCONY.



Job no.  
20-4989  
comm no.  
1810  
date:  
02-15-2021  
REVISIONS

4 01-13-2021  
CHANGE OF ARCHITECT

5 02-15-2021  
OWNER REVISIONS

sheet no.  
A-4.3

LOT DATE: 2021-04-05

[illegible]

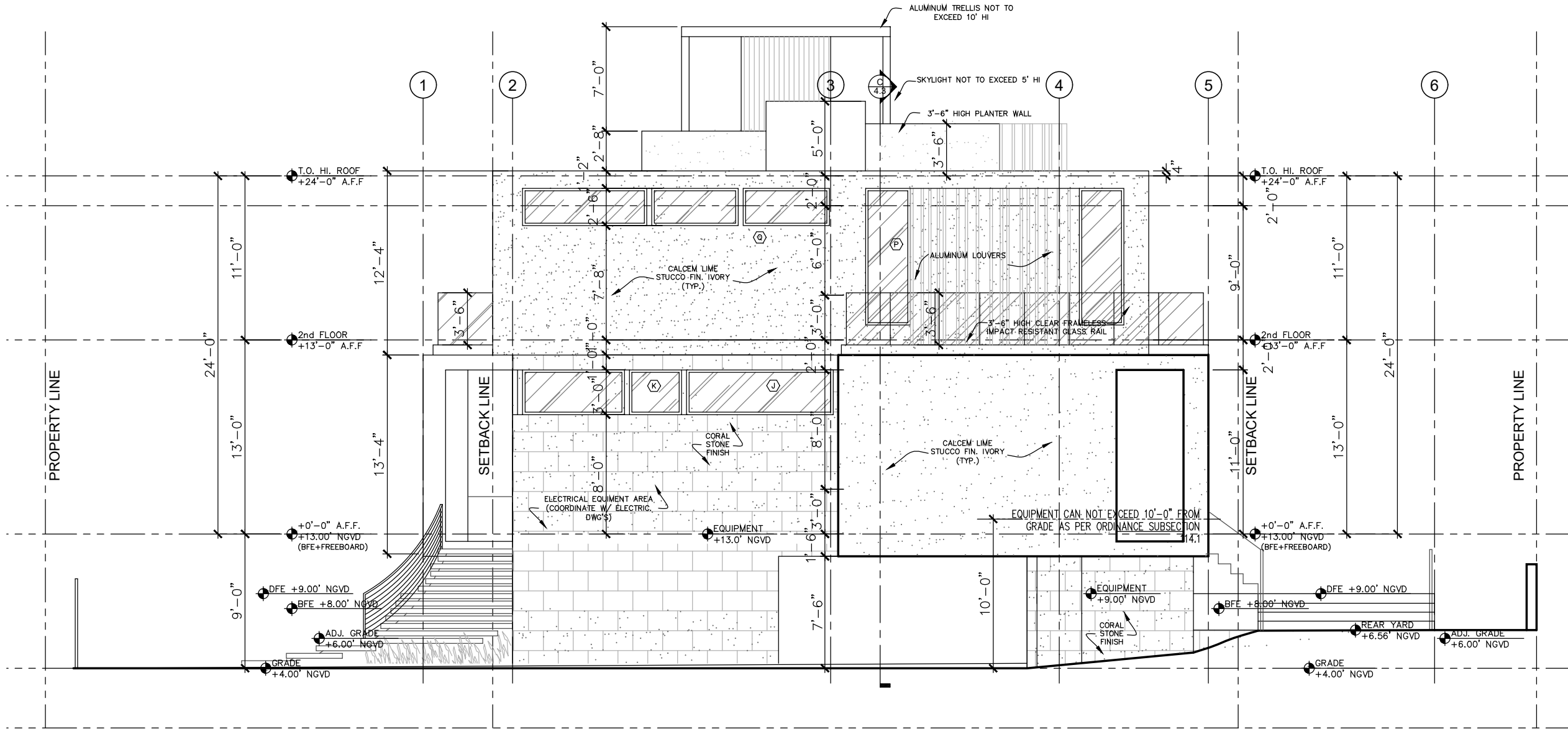
Joe : AA0002307 ARCHLr : AR0012001  
ADDRESS : HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 OXEE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274-6444, FAX : (561)274-6448.



APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL – ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

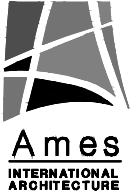
- SKYLIGHT PROTRUDE 5' PAST T.O. ROOF.
- CLERESTORY WINDOWS FOR MASTER BATH.
- EXTENSION OF MASTER BEDROOM.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF BALCONY.



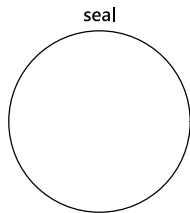
# WEST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"

COMPILED & DRAWN: AMES INTERNATIONAL ARCHITECTURE. DRAWING NO. 20-4989. DATE: 02-15-2021. PROJECT: NEW RESIDENCE, 4747 NORTH BAY ROAD, MIAMI BEACH, FL 33140. ADDRESS: HISTORIC DEL-SON PARK, PROFESSIONAL DISTRICT, 205 DOE BOULEVARD, MIAMI BEACH, FLORIDA, 33444. PHONE: (305) 927-6444, FAX: (305) 927-6446.



NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140



Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021  
REVISIONS

- 01-13-2021  
CHANGE OF ARCHITECT
- 02-15-2021  
OWNER REVISIONS

sheet no.  
**A-4.4**

PLOT DATE: 2021-04-05



SEE SHEET A-0.3 FOR ADDITIONAL NOTES  
SEE SHEET A-0.0 FOR PROJECT DATA  
SEE SHEET A-5.0 FOR DOOR & WINDOW SCHEDULES  
SEE SHEET A-5.1 FOR ADDITIONAL DETAILS

APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL  
PLANS AND CALCULATIONS HAVE BEEN PREPARED  
IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

ALL ELECTRICAL, MECHANICAL, & PLUMBING  
EQUIPMENT SERVICING THE BUILDING SHALL BE  
INSTALLED ABOVE DESIGN FLOOD ELEVATION  
(+9.00").

Architectural floor plan of a building with yellow rooms. The plan includes various dimensions and setbacks. Key features include:

- Property Lines:** Indicated by red dashed lines on the left and right sides.
- Setbacks:**
  - Side Setback Line:** Indicated by red dashed lines on the left and right sides of the building.
  - Front Setback:** 11'-3" from the front property line to the building facade.
  - Back Setback:** 11'-3" from the back property line to the building facade.
- Dimensions:**
  - Overall Width:** 11'-3"
  - Overall Depth:** 11'-3"
  - Room Dimensions:**
    - Room 1 (Top Left): 10'-4" x 11'-6"
    - Room 2 (Top Right): 10'-4" x 11'-6"
    - Room 3 (Bottom Left): 10'-4" x 11'-6"
    - Room 4 (Bottom Right): 10'-4" x 11'-6"
- Other Features:**
  - Staircase:** Located in the center of the plan.
  - Skylight:** Located on the roof of the building.
  - Planters:** Located on the roof of the building.
  - Trellis:** Located on the roof of the building.
  - Aluminum Louvers:** Located on the exterior wall of the building.
- Level Markers:**
  - 0'-0" AFF.** (Above Finished Floor)
  - 1'-0" AFF.** (Above Finished Floor)
  - 2'-0" AFF.** (Above Finished Floor)
  - 3'-0" AFF.** (Above Finished Floor)
  - 4'-0" AFF.** (Above Finished Floor)
  - 5'-0" AFF.** (Above Finished Floor)
  - 6'-0" AFF.** (Above Finished Floor)
  - 7'-0" AFF.** (Above Finished Floor)
  - 8'-0" AFF.** (Above Finished Floor)
  - 9'-0" AFF.** (Above Finished Floor)
  - 10'-0" AFF.** (Above Finished Floor)
  - 11'-0" AFF.** (Above Finished Floor)
  - 12'-0" AFF.** (Above Finished Floor)
  - 13'-0" AFF.** (Above Finished Floor)
  - 14'-0" AFF.** (Above Finished Floor)
  - 15'-0" AFF.** (Above Finished Floor)
  - 16'-0" AFF.** (Above Finished Floor)
  - 17'-0" AFF.** (Above Finished Floor)
  - 18'-0" AFF.** (Above Finished Floor)
  - 19'-0" AFF.** (Above Finished Floor)
  - 20'-0" AFF.** (Above Finished Floor)
  - 21'-0" AFF.** (Above Finished Floor)
  - 22'-0" AFF.** (Above Finished Floor)
  - 23'-0" AFF.** (Above Finished Floor)
  - 24'-0" AFF.** (Above Finished Floor)
  - 25'-0" AFF.** (Above Finished Floor)
  - 26'-0" AFF.** (Above Finished Floor)
  - 27'-0" AFF.** (Above Finished Floor)
  - 28'-0" AFF.** (Above Finished Floor)
  - 29'-0" AFF.** (Above Finished Floor)
  - 30'-0" AFF.** (Above Finished Floor)
  - 31'-0" AFF.** (Above Finished Floor)
  - 32'-0" AFF.** (Above Finished Floor)
  - 33'-0" AFF.** (Above Finished Floor)
  - 34'-0" AFF.** (Above Finished Floor)
  - 35'-0" AFF.** (Above Finished Floor)
  - 36'-0" AFF.** (Above Finished Floor)
  - 37'-0" AFF.** (Above Finished Floor)
  - 38'-0" AFF.** (Above Finished Floor)
  - 39'-0" AFF.** (Above Finished Floor)
  - 40'-0" AFF.** (Above Finished Floor)
  - 41'-0" AFF.** (Above Finished Floor)
  - 42'-0" AFF.** (Above Finished Floor)
  - 43'-0" AFF.** (Above Finished Floor)
  - 44'-0" AFF.** (Above Finished Floor)
  - 45'-0" AFF.** (Above Finished Floor)
  - 46'-0" AFF.** (Above Finished Floor)
  - 47'-0" AFF.** (Above Finished Floor)
  - 48'-0" AFF.** (Above Finished Floor)
  - 49'-0" AFF.** (Above Finished Floor)
  - 50'-0" AFF.** (Above Finished Floor)
  - 51'-0" AFF.** (Above Finished Floor)
  - 52'-0" AFF.** (Above Finished Floor)
  - 53'-0" AFF.** (Above Finished Floor)
  - 54'-0" AFF.** (Above Finished Floor)
  - 55'-0" AFF.** (Above Finished Floor)
  - 56'-0" AFF.** (Above Finished Floor)
  - 57'-0" AFF.** (Above Finished Floor)
  - 58'-0" AFF.** (Above Finished Floor)
  - 59'-0" AFF.** (Above Finished Floor)
  - 60'-0" AFF.** (Above Finished Floor)
  - 61'-0" AFF.** (Above Finished Floor)
  - 62'-0" AFF.** (Above Finished Floor)
  - 63'-0" AFF.** (Above Finished Floor)
  - 64'-0" AFF.** (Above Finished Floor)
  - 65'-0" AFF.** (Above Finished Floor)
  - 66'-0" AFF.** (Above Finished Floor)
  - 67'-0" AFF.** (Above Finished Floor)
  - 68'-0" AFF.** (Above Finished Floor)
  - 69'-0" AFF.** (Above Finished Floor)
  - 70'-0" AFF.** (Above Finished Floor)
  - 71'-0" AFF.** (Above Finished Floor)
  - 72'-0" AFF.** (Above Finished Floor)
  - 73'-0" AFF.** (Above Finished Floor)
  - 74'-0" AFF.** (Above Finished Floor)
  - 75'-0" AFF.** (Above Finished Floor)
  - 76'-0" AFF.** (Above Finished Floor)
  - 77'-0" AFF.** (Above Finished Floor)
  - 78'-0" AFF.** (Above Finished Floor)
  - 79'-0" AFF.** (Above Finished Floor)
  - 80'-0" AFF.** (Above Finished Floor)
  - 81'-0" AFF.** (Above Finished Floor)
  - 82'-0" AFF.** (Above Finished Floor)
  - 83'-0" AFF.** (Above Finished Floor)
  - 84'-0" AFF.** (Above Finished Floor)
  - 85'-0" AFF.** (Above Finished Floor)
  - 86'-0" AFF.** (Above Finished Floor)
  - 87'-0" AFF.** (Above Finished Floor)
  - 88'-0" AFF.** (Above Finished Floor)
  - 89'-0" AFF.** (Above Finished Floor)
  - 90'-0" AFF.** (Above Finished Floor)
  - 91'-0" AFF.** (Above Finished Floor)
  - 92'-0" AFF.** (Above Finished Floor)
  - 93'-0" AFF.** (Above Finished Floor)
  - 94'-0" AFF.** (Above Finished Floor)
  - 95'-0" AFF.** (Above Finished Floor)
  - 96'-0" AFF.** (Above Finished Floor)
  - 97'-0" AFF.** (Above Finished Floor)
  - 98'-0" AFF.** (Above Finished Floor)
  - 99'-0" AFF.** (Above Finished Floor)
  - 100'-0" AFF.** (Above Finished Floor)

A

## SECTION

SCALE: 1/8" = 1'-0"



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140




Diagram of a circular seal.

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021  
**REVISIONS**

|   |                                   |
|---|-----------------------------------|
| 4 | 01-13-2021<br>CHANGE OF ARCHITECT |
| 5 | 02-15-2021<br>OWNER REVISIONS     |

sheet no.  
A-5.0

PLOT DATE: 2021-04-05

ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: (561)274 4444, FAX: (561)2748446.



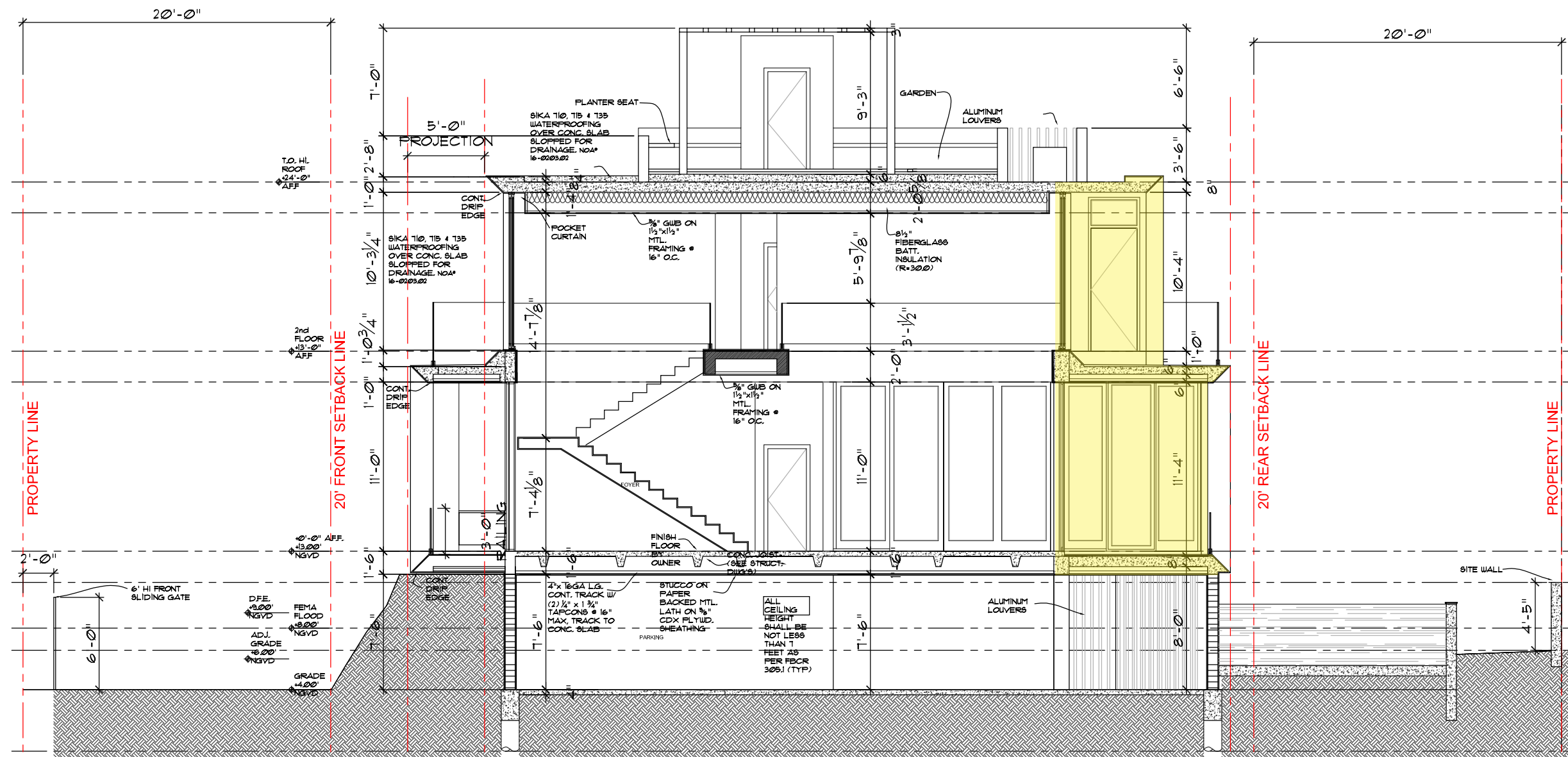
SEE SHEET A-0.3 FOR ADDITIONAL NOTES  
SEE SHEET A-0.0 FOR PROJECT DATA  
SEE SHEET A-5.0 FOR DOOR & WINDOW SCHEDULES  
SEE SHEET A-5.1 FOR ADDITIONAL DETAILS

APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL  
PLANS AND CALCULATIONS HAVE BEEN PREPARED  
IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

ALL ELECTRICAL, MECHANICAL, & PLUMBING  
EQUIPMENT SERVICING THE BUILDING SHALL BE  
INSTALLED ABOVE DESIGN FLOOD ELEVATION  
(+9.00").


ALL CONSTRUCTION & FINISH MATERIALS BELOW  
DESIGN FLOOD ELEVATION ARE TO BE FLOOD  
RESISTANT.



# B


## SECTION

SCALE: 1/8" = 1'-0"



**Ames**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140



seal

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021  
**REVISIONS**

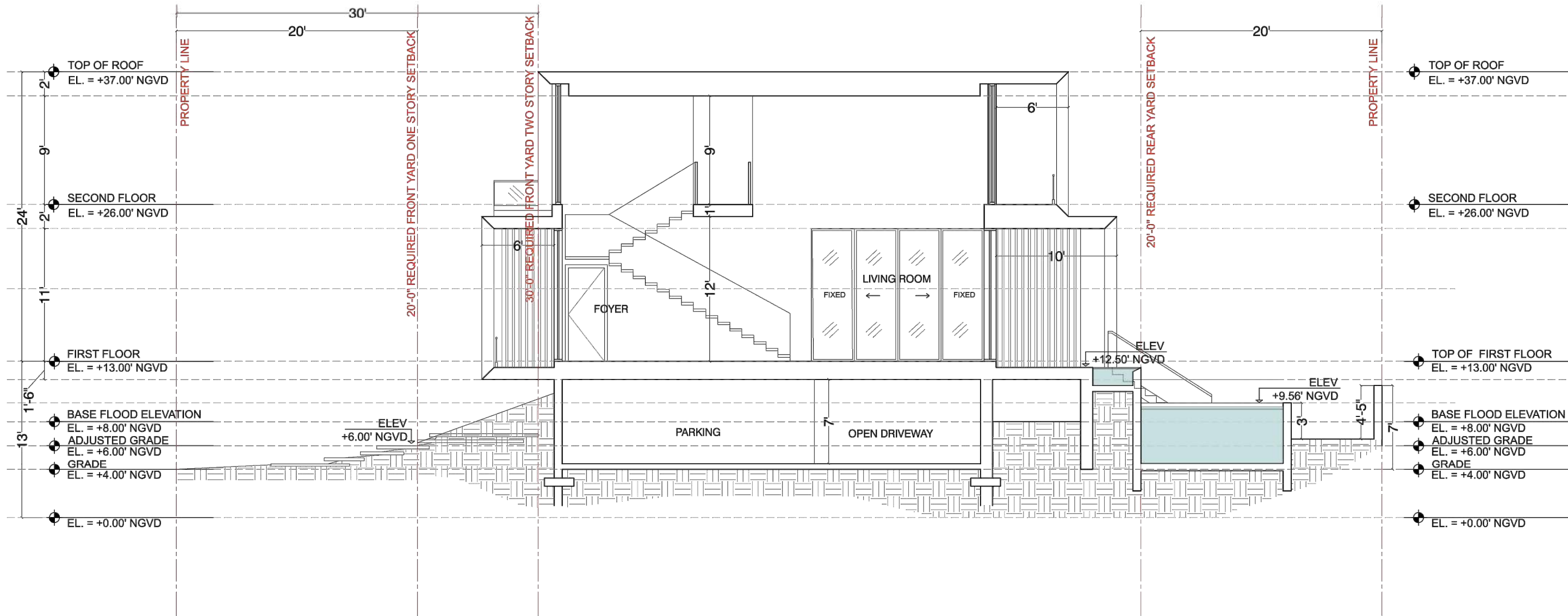
|   |            |                     |
|---|------------|---------------------|
| 4 | 01-13-2021 | CHANGE OF ARCHITECT |
| 5 | 02-15-2021 | OWNER REVISIONS     |

sheet no.  
A-5.1

PLOT DATE: 2021-04-05

Lises • A A0002307 ARCH.R. • AR0012001  
 ADDRESS • HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE • (561)274 8444, FAX • (561)2746448.





NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT

02-15-2021  
OWNER REVISIONS

sheet no.  
**A-5.2**  
PLOT DATE: 2021-04-05

ADDRESS: HISTORIC DEL-DA PARK PROFESSIONAL DISTRICT, 303 DUNE BOULEVARD, DELRAY BEACH, FLORIDA 33444, PHONE: (561) 857-6444, FAX: (561) 857-6448.

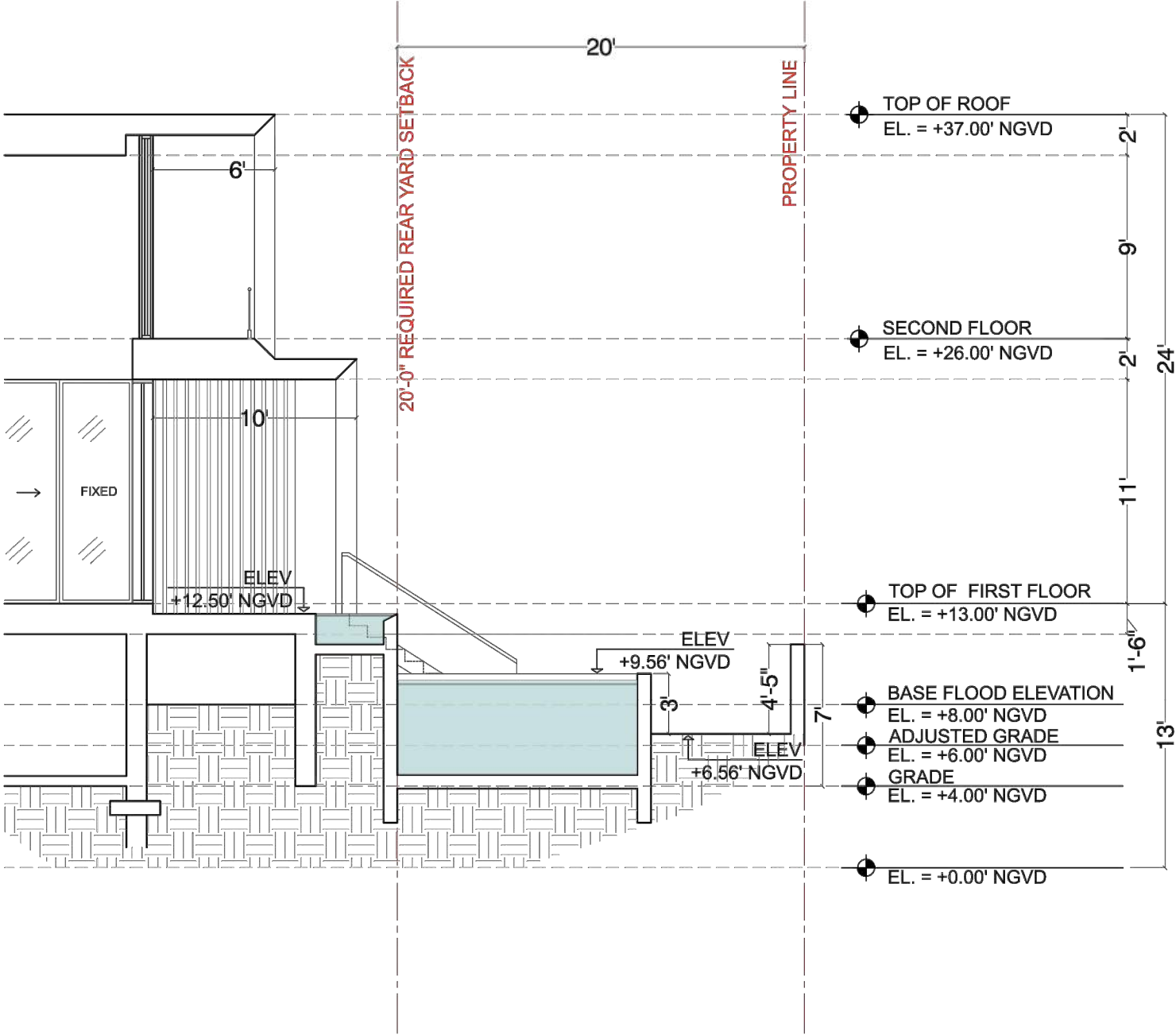
License: AA00000007 ARCHITECTS - ARCHITECTS


PREVIOUS SECTION  
SCALE: 1/8" = 1'-0"



PREVIOUS SECTION

SCALE: 1/8" = 1'-0"





**Ames**  
INTERNATIONAL  
ARCHITECTURE

NEW RESIDENCE  
4747 NORTH BAY ROAD  
MIAMI BEACH, FL 33140

Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

01-13-2021  
CHANGE OF ARCHITECT  
02-15-2021  
OWNER REVISIONS

sheet no.  
**A-5.3**  
PLOT DATE: 2021-04-05

seal

ADDRESS • HISTORIC DEL-DA PARK PROFESSIONAL DISTRICT, 303 DUNE BOULEVARD, DELRAY BEACH, FLORIDA 33444, PHONE • (561) 857-6444, FAX • (561) 857-6448.

License • A00002807 ARCHT • A00002801



### Calculation of Minimum and Maximum Yards

## PROPERTY CONDITIONS

|  |       |
|--|-------|
| Waterfront Lot (Yes/No)  | NO    |
| Corner property (Yes/No)   | NO    |
| Sidewalk (yes/no)  | YES   |
| Sidewalk elevation at the centerline of the front of the property          | 4.000 |
| Crown of road at center of property (if no sidewalk exists or is proposed) |       |
| Flood Elevation  | 8.000 |
| Freeboard (provided)   | 5.000 |

### INTERIOR SIDEYARD CONDITIONS

Indicate yes only for the condition that applies

| condition that applies |   | Max. Yard Elevation |
|------------------------|---|---------------------|
| Yes                    | Default Condon unless one of the below applies<br>Maximum Yard Elevation  | 6.560               |
|                        | Is the average grade of adjacent lot along the<br>abutting side yard equal or greater than adjusted grade?        | 8.500               |
|                        | Is the abutting property vacant?  | 8.500               |
|                        | Is their a joint agreement between abutting properties,<br>for a higher elevation, not to exceed flood elevation? | 8.000               |

### REAR YARD CONDITIONS

Indicate yes only for the condition that applies

| condition that applies |   | Max. Yard Elevation |
|------------------------|---|---------------------|
| Yes                    | Default Condon unless one of the below applies<br>Maximum Yard Elevation  | 6.560               |
|                        | Is the average grade of adjacent lot along the<br>abutting side yard equal or greater than adjusted grade?        | 8.500               |
|                        | Is the abutting property vacant?  | 8.500               |
|                        | Is their a joint agreement between abutting properties,<br>for a higher elevation, not to exceed flood elevation? | 8.000               |

## RESULTS

|   |        |
|---|--------|
| Grade   | 4      |
| Adjusted Grade  | 6      |
| 30" above Grade   | 6.5    |
| Future Crown of Road  | 5.25   |
| Future Adjusted Grade   | 7.125  |
| Minimum Freeboard Elev.   | 9.000  |
| Maximum Freeboard Elev.   | 13.000 |
| Minimum Yard Elevation  | 6.56   |
| Min. Garage elevation (for a detached or attached garage, not under the house | 6      |
| Minimum garage ceiling elevation  | 17.000 |

|                       |       |
|-----------------------|-------|
| <b>Front Yard</b>     |       |
| Min Yard Elevation    | 6.560 |
| Max Yard Elevation    | 7.125 |
| <b>Interior Side</b>  |       |
| Min Yard Elevation    | 6.560 |
| Max Yard Elevation    | 6.560 |
| <b>Interior Side</b>  |       |
| Min Yard Elevation    | 6.560 |
| Max yard Elevation    | 6.560 |
| <b>Non-Waterfront</b> |       |
| Min Yard Elevation    | 6.560 |
| Max Yard Elevation    | 6.560 |

|  |  |   |
|--|--|---|
| <p><b>Interior Side Yard</b></p> <p>Minimum Yard Elevation: 6.560</p> <p>Maximum Yard Elevation: 6.560</p> | <p><b>Non-Waterfront</b></p> <p>Minimum Yard Elevation: 6.560</p> <p>Maximum Yard Elevation: 6.560</p> | <p><b>Interior Side</b></p> <p>Minimum Yard Elevation: 6.560</p> <p>Maximum Yard Elevation: 6.560</p> |
|  | <p><b>Front Yard</b></p> <p>Minimum Yard Elevation: 6.560</p> <p>Maximum Yard Elevation: 7.125</p>     |   |

## CMB YARD GRADE CALCULATIONS



**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021  
**REVISIONS**

|   |                                   |
|---|-----------------------------------|
| 4 | 01-13-2021<br>CHANGE OF ARCHITECT |
| 5 | 02-15-2021<br>OWNER REVISIONS     |

sheet no.  
A-6.1

PLOT DATE: 2021-04-05

AA0002907 ARCHR., AR0012001  
ADDRESS : HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274 9444. FAX : (561)2749449.

[illegible]



## CALCULATION OF MINIMUM AND MAXIMUM YARDS

| PROPERTY CONDITIONS  |       |
|--|-------|
| WATERFRONT LOT (YES/NO)  | NO    |
| CORNER PROPERTY (YES/NO)   | NO    |
| SIDEWALK (YES/NO)  | YES   |
| SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY          | 4.000 |
| CROWN OF ROAD AT CENTER OF PROPERTY (IF NO SIDEWALK EXISTS OR IS PROPOSED) |       |
| FLOOD ELEVATION  | 8.000 |
| FREEBOARD (PROVIDED)   | 5.000 |

|  |                |  |
|--|----------------|--|
| INTERIOR SIDEYARD CONDITIONS   | MAX YARD ELEV. | INDICATE YES ONLY FOR THE CONDITION THAT APPLIES |
| DEFAULT CONDITION UNLESS ONE OF THE BELOW APPLIES<br>MAXIMUM YARD ELEVATION                                    | 6.560          | YES  |
| IS THE AVERAGE GRADE OF THE ADJACENT LOT ALONG THE ABUTTING SIDE YARD EQUAL OR GREATER THAN ADJUSTED GRADE?    | 8.500          |  |
| IS THE ABUTTING PROPERTY VACANT?   | 8.500          |  |
| IS THERE A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES, FOR A HIGHER ELEVATION, NOT TO EXCEED FLOOD ELEVATION? | 8.000          |  |

| REAR YARD CONDITIONS   | MAX YARD ELEV. | INDICATE YES ONLY FOR THE CONDITION THAT APPLIES |
|--|----------------|--|
| DEFAULT CONDITION UNLESS ONE OF THE BELOW APPLIES<br>MAXIMUM YARD ELEVATION                                    | 6.560          | YES  |
| IS THE AVERAGE GRADE OF THE ADJACENT LOT ALONG THE ABUTTING SIDE YARD EQUAL OR GREATER THAN ADJUSTED GRADE?    | 8.500          |  |
| IS THE ABUTTING PROPERTY VACANT?   | 8.500          |  |
| IS THERE A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES, FOR A HIGHER ELEVATION, NOT TO EXCEED FLOOD ELEVATION? | 8.000          |  |

## RESULTS

|   |        |
|---|--------|
| GRADE   | 4      |
| ADJUSTED GRADE  | 6      |
| 30" ABOVE GRADE   | 6.5    |
| FUTURE CROWN OF ROAD  | 5.25   |
| FUTURE ADJUSTED GRADE   | 7.125  |
| MINIMUM FREEBOARD ELEV.   | 9.000  |
| MAXIMUM FREEBOARD ELEV.   | 13.000 |
| MINIMUM YARD ELEVATION  | 6.56   |
| MIN. GARAGE ELEVATION (FOR A<br>DETACHED OR ATTACHED GARAGE,<br>NOT UNDER THE HOUSE | 6      |
| MINIMUM GARAGE CEILING ELEVATION  | 17.000 |

| RESULTS  |                |
|--|----------------|
| FRONT YARD<br>MIN YARD ELEV.<br>MAX YARD ELEV.     | 6.560<br>7.125 |
| INTERIOR SIDE<br>MIN YARD ELEV.<br>MAX YARD ELEV.  | 6.560<br>6.560 |
| INTERIOR SIDE<br>MIN YARD ELEV.<br>MAX YARD ELEV.  | 6.560<br>6.560 |
| NON-WATERFRONT<br>MIN YARD ELEV.<br>MAX YARD ELEV. | 6.560<br>6.560 |

|   |  |  |
|---|--|--|
| <div>INTERIOR SIDE<br/>MIN YARD ELEV.<br/>MAX YARD ELEV.</div> <div>6.560<br/>6.560</div> | <div>NON-WATERFRONT<br/>MIN YARD ELEV.<br/>MAX YARD ELEV.</div> <div>6.560<br/>6.560</div> | <div>INTERIOR SIDE<br/>MIN YARD ELEV.<br/>MAX YARD ELEV.</div> |
|   |  |  |
| <div>FRONT YARD<br/>MIN YARD ELEV.<br/>MAX YARD ELEV.</div> <div>6.560<br/>7.125</div>    |  |  |

# CMB YARD GRADE CALCULATIONS



**A m e s**  
INTERNATIONAL  
ARCHITECTURE

**NEW RESIDENCE**  
**4747 NORTH BAY ROAD**  
MIAMI BEACH, FL 33140

seal

Job no.  
**20-4989**  
comm no.  
**1810**

date:  
02-15-2021  
**REVISIONS**

sheet no.

A-6.0

PLOT DATE: 2021-04-05

© 2010 Blackwell Publishing Ltd, *Journal of Clinical Pharmacy and Therapeutics*, 35, 1–10

ADDRESS : HISTORIC DEL-IDA PARK, PROFESSIONAL DISTRICT, 203 DIXIE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274-8444. FAX : (561)274-8440.





Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

sheet no.  
A-7.0

PLOT DATE: 2021-04-05

Lee : A40016307 ARCHURs - AR0010001  
ADDRESS : HISTORIC NOL-DA PARK PROFESSIONAL DISTRICT, 208 DUSE BOLLIVARD, DELRAY BEACH, FLORIDA, 33444. PHONE : (561)274-9444. FAX : (561)274-9446.





Job no.  
**20-4989**  
comm no.  
**1810**  
date:  
02-15-2021  
**REVISIONS**

sheet no.  
A-7.1

PLOT DATE: 2021-04-05

Los Angeles, CA 90001  
ADDRESS: HISTORIC DEL-DA PARK, PROFESSIONAL DISTRICT, 203 DUKE BOULEVARD, DELRAY BEACH, FLORIDA, 33444. PHONE: (361) 274-6444. FAX: (361) 274-6448.