

REQUEST FOR DRB APPROVAL FOR:  
DANDEKAR RESIDENCE

FINAL SUBMITTAL: 03/08/2021  
MARCH 2021 AGENDA

450 W DILIDO DRIVE, MIAMI BEACH, FLORIDA 33139

DRB21-0643



CLIENT  
ASHWIN DANDEKAR

ARCHITECT  
CHOEFF LEVY FISCHMAN  
ARCHITECTURE + DESIGN  
8425 BISCAYNE BLVD., SUITE 201  
MIAMI, FL 33138  
(305) 434-8338

SCOPE OF WORK

REQUEST FOR DRB APPROVAL FOR THE PROPERTY  
LOCATED AT  
450 W DILIDO DRIVE, MIAMI BEACH, FL 33139

WAIVER REQUESTED:

1. REQUEST TO WAIVE THE ELEVATION REQUIREMENTS  
FOR THE OPEN-SPACE COURTYARD FOR THE  
SOUTHEAST (LEFT) ELEVATION.

2. REQUEST TO WAIVE THE MAXIMUM BUILDING HEIGHT  
FROM 24'-0" TO 26'-0".



**Neighbor Support**  
**Dandekar Residence**  
**450 W Di Lido Dr**



<b><u>No.</u></b>	<b><u>Property Address</u></b>	<b><u>Owner</u></b>
1	455 W Di Lido DR	Pedro A. and Elena Rivera
2	460 W Di Lido DR	Marsha S. Satuloff and Lynne Grusby
3	440 W Di Lido DR	Joshua W. Maes and Stephanie K. Maes
4	430 W Di Lido DR	Pamela Borovetz

April 26 \_\_\_\_, 2021

**Design Review Board Members**

c/o Michael Belush, Chief of Planning & Zoning  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**  
**Letter of Support**

---

Dear Board Members:

I am the owner of 455 West Dilido Dr., Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,



Signature



Print name

April 29th, 2021

**Design Review Board Members**

c/o Michael Belush, Chief of Planning & Zoning  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**  
**Letter of Support**

---

Dear Board Members:

I am the owner of 460 W. Dilido Dr, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,

   
Signature

MARINA SENOU SKULOFF LYNNÉ GRUSBY  
Print name



April 29, 2021

**Design Review Board Members**

c/o Michael Belush, Chief of Planning & Zoning  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**  
**Letter of Support**

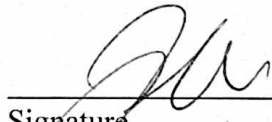
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Dear Board Members:

I am the owner of 440 W Dilido Dr, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,

  
\_\_\_\_\_  
Signature  
Joshua Maes  
\_\_\_\_\_  
Print name



4/30/\_\_\_\_, 2021

**Design Review Board Members**

c/o Michael Belush, Chief of Planning & Zoning  
Planning Department  
City of Miami Beach  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139

Re: Single-Family Home at 450 W. Dilido Drive, Miami Beach **DRB21-0643**  
**Letter of Support**

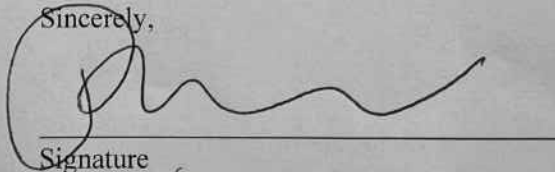
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Dear Board Members:

I am the owner of 430 W. DILIDO, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans, renderings and requests for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood. Regarding the height waiver, the 2-story portion of the home is substantially setback from the street, which along with the preservation of the existing Royal Poinciana tree at the front effectively mitigate the slight increase in height, keeping it in context with the surrounding area.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,



Signature

Pamela Borovetz

Print name



REQUEST FOR DRB APPROVAL FOR:  
DANDEKAR RESIDENCE

FINAL SUBMITTAL: 03/08/2021  
MARCH 2021 AGENDA

450 W DILIDO DRIVE, MIAMI BEACH, FL 33139

DRB21-0643



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SITE



RESIDENCE 1



RESIDENCE 2



RESIDENCE 3



RESIDENCE 4



RESIDENCE 5



RESIDENCE 6



RESIDENCE 7



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PHOTOGRAPH OF PROPERTY AND SURROUNDING PROPERTIES



AERIAL PLAN OF PROPERTY AND SURROUNDING PROPERTIES





PHOTOGRAPH 1



PHOTOGRAPH 2



PHOTOGRAPH 3



PHOTOGRAPH 4



PHOTOGRAPH 5



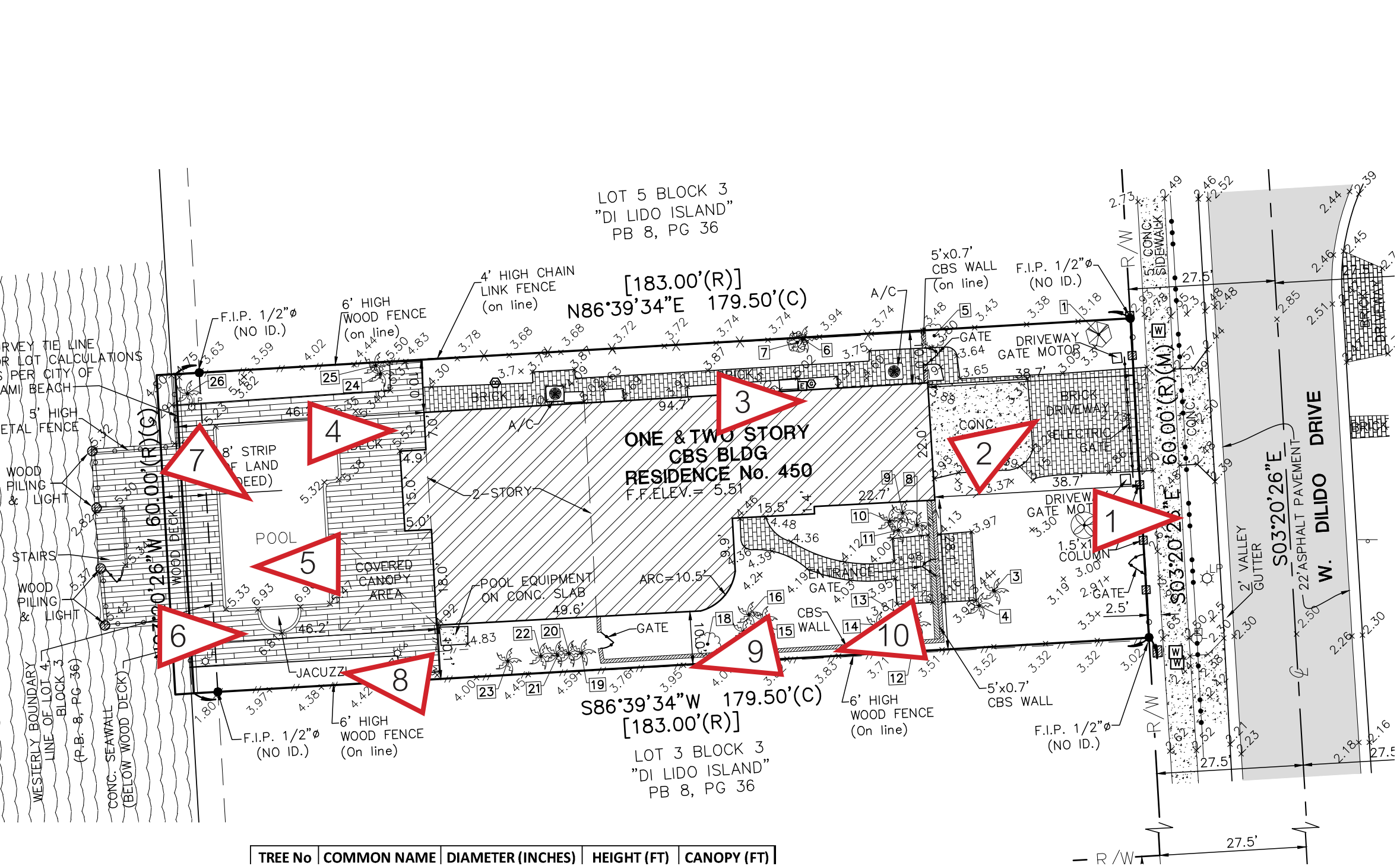
PHOTOGRAPH 6



PHOTOGRAPH 7



PHOTOGRAPH 8



PHOTOGRAPH 9



PHOTOGRAPH 10





SUBJECT PROPERTY 1 (450 W DILIDO DRIVE)



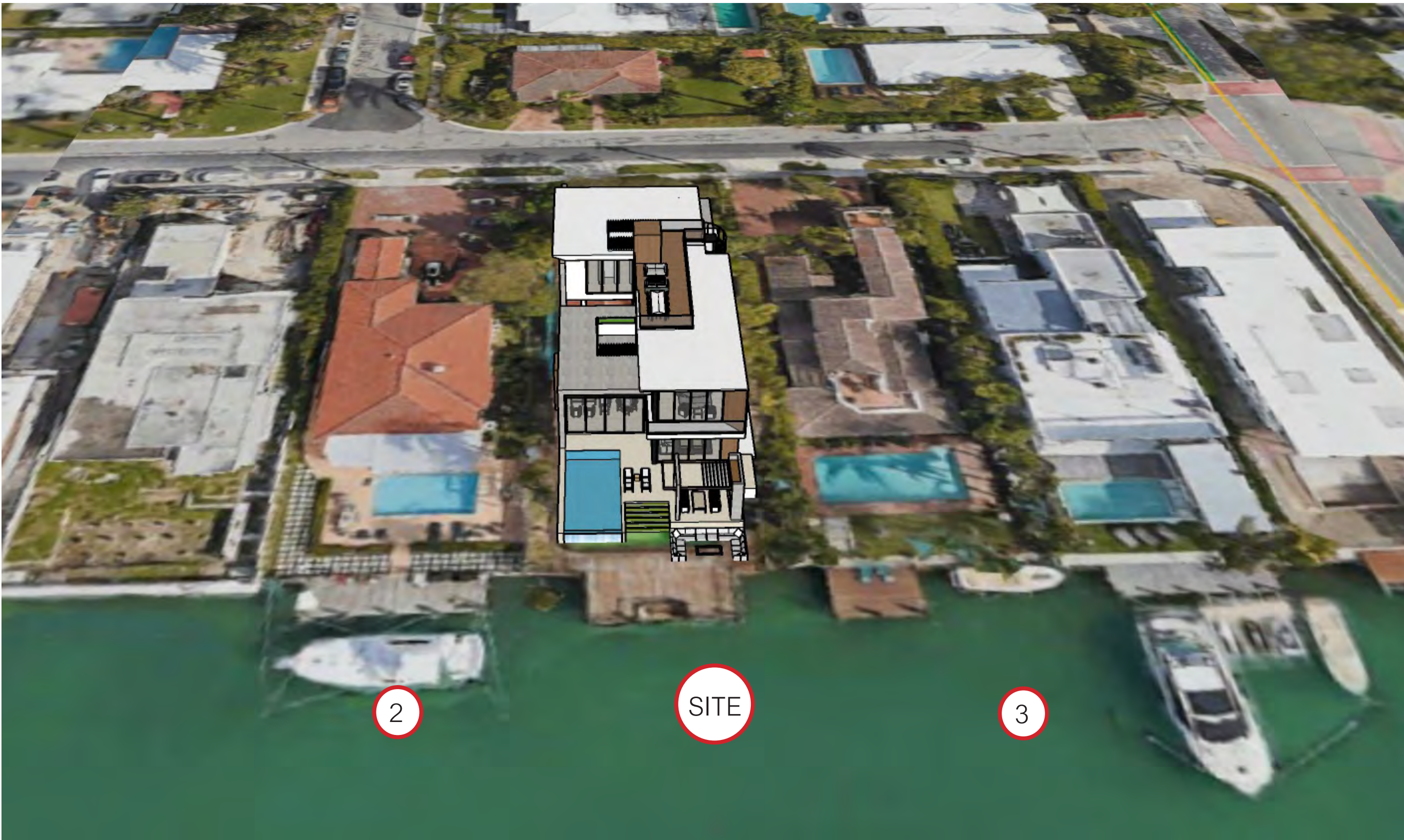
RESIDENCE 2



RESIDENCE 3

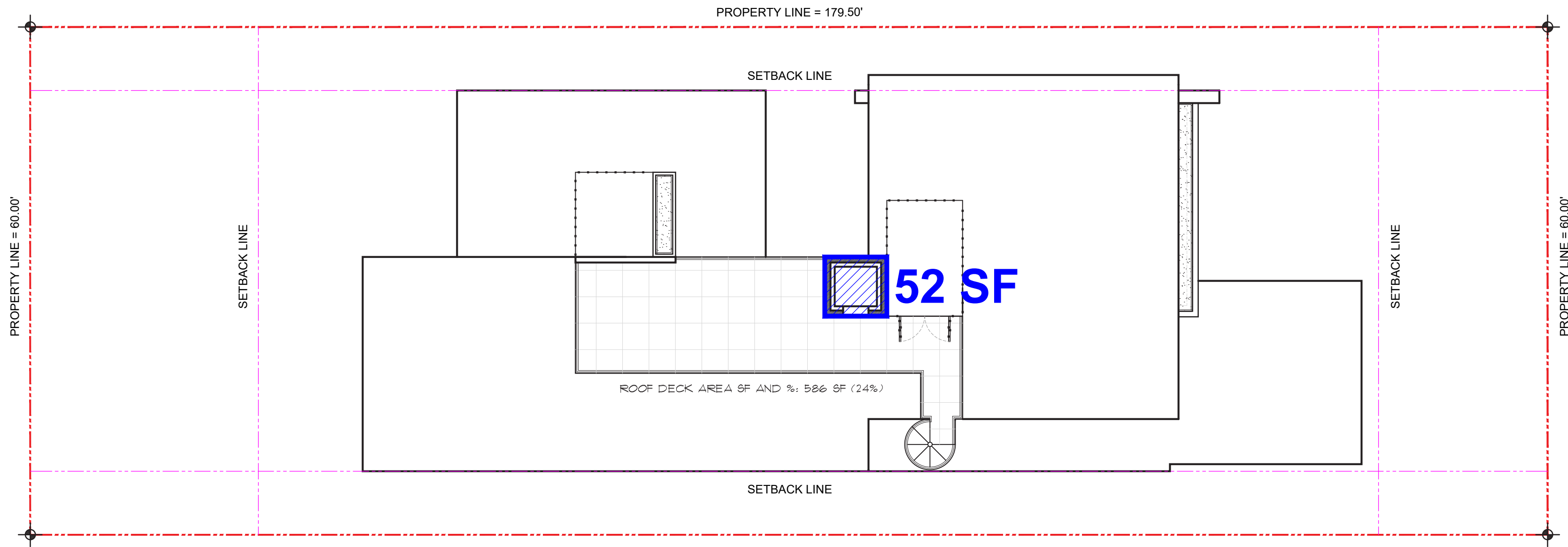


AERIAL PHOTOGRAPH WITH PROPOSED RESIDENCE INSERTED

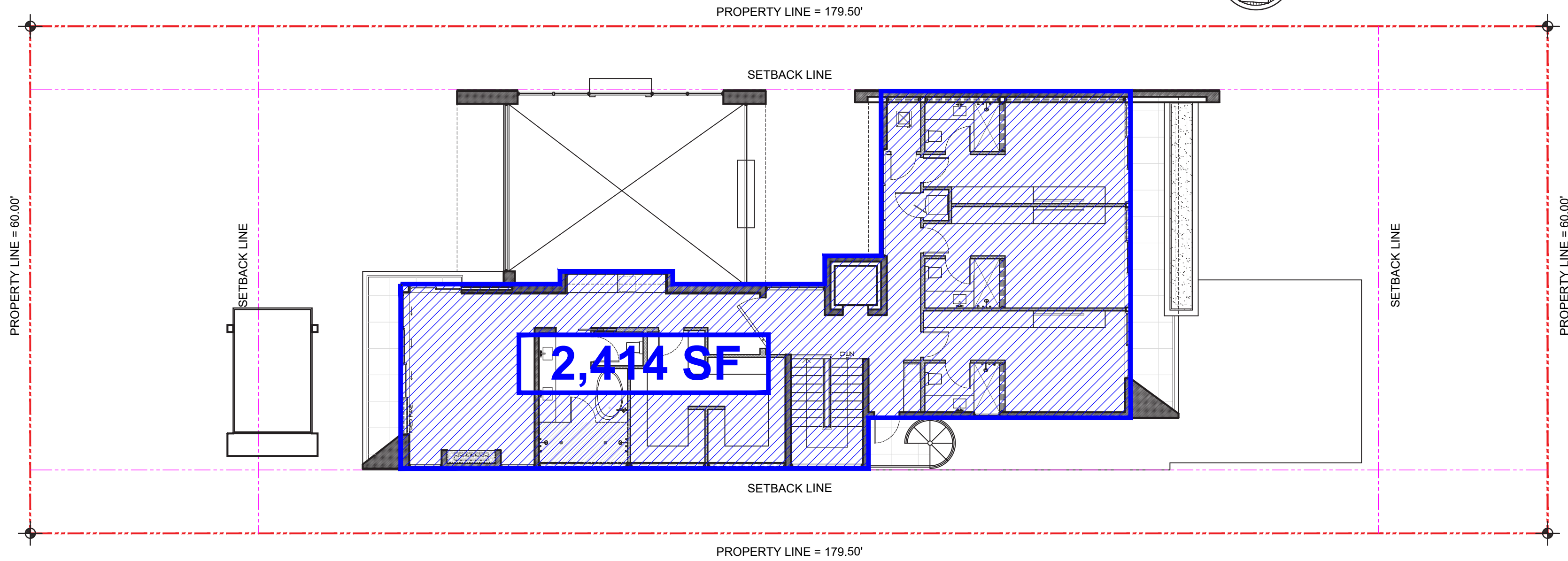


SURROUNDING CONTEXT ELEVATIONS

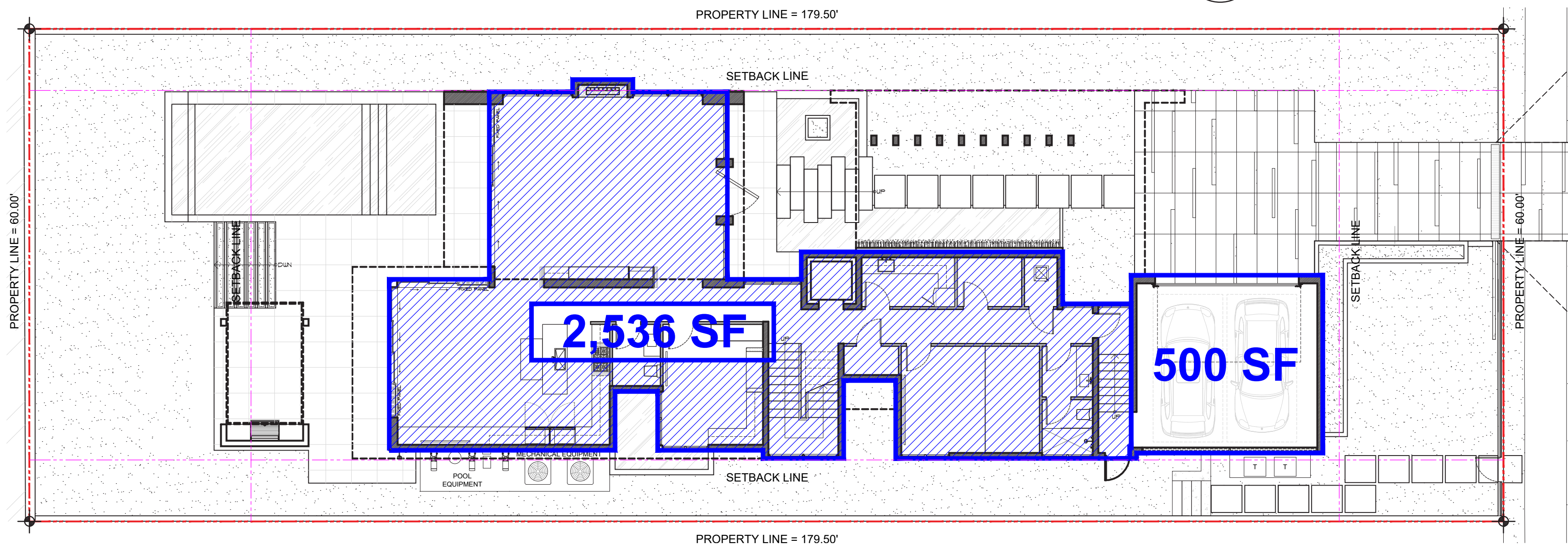




UNIT SIZE  
ROOF DECK  
SCALE: 3/32"=1'-0"



UNIT SIZE  
SECOND FLOOR  
SCALE: 3/32"=1'-0"



UNIT SIZE  
FIRST FLOOR  
SCALE: 3/32"=1'-0"

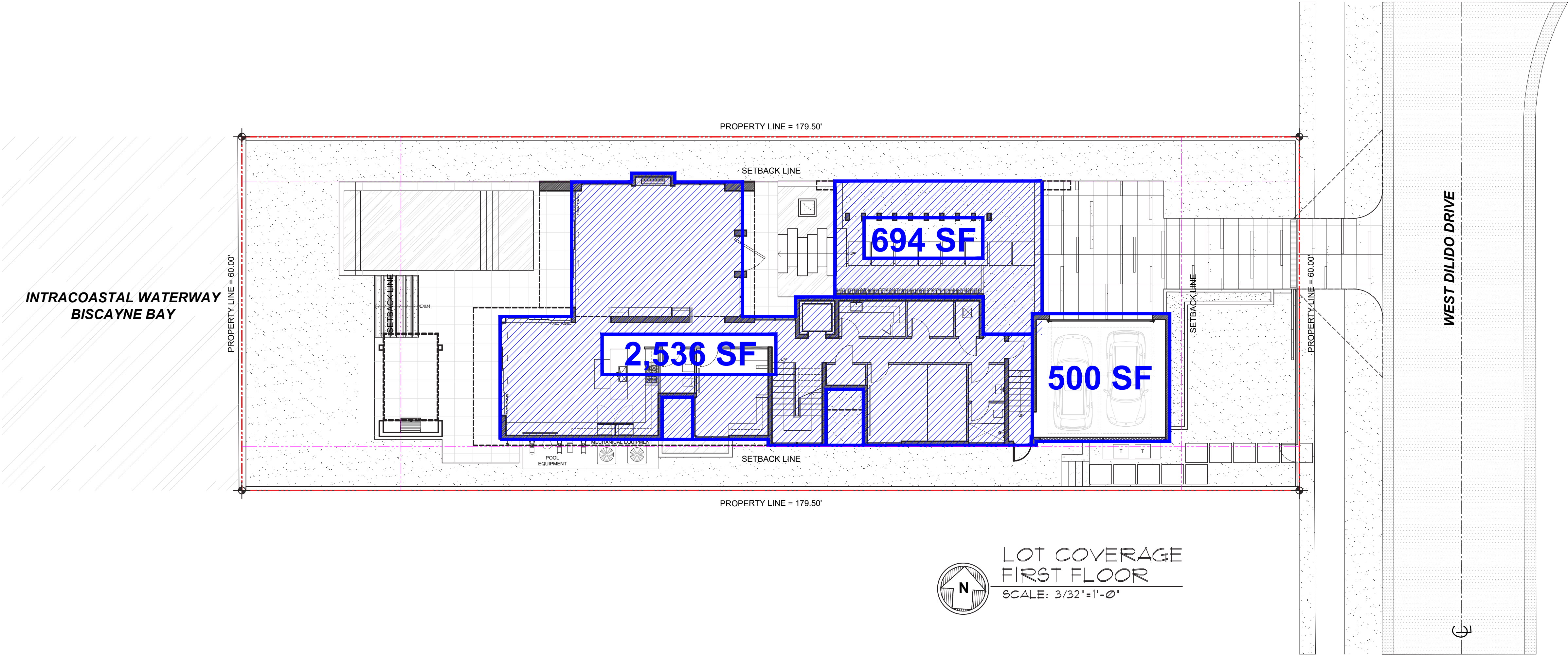
## UNIT SIZE :

LOT SIZE:	10,110 S.F.
FIRST FLOOR	2,536 S.F.
SECOND FLOOR	2,414 S.F.
ROOF DECK	52 S.F.
TOTAL PROPOSED	5,002 S.F. 46.4%
MAX UNIT / LOT SIZE	5,385 S.F. (50% MAX)



LOT COVERAGE:

LOT SIZE:	10,110 S.F.
FIRST FLOOR	2,536 S.F.
A/C OVERHANGS	694 S.F.
TOTAL	3,230 S.F. 29.9%
MAX LOT COVERAGE	3,231 S.F. (30% MAX)

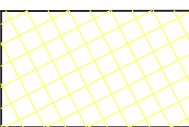





FRONT YARD CALCULATIONS

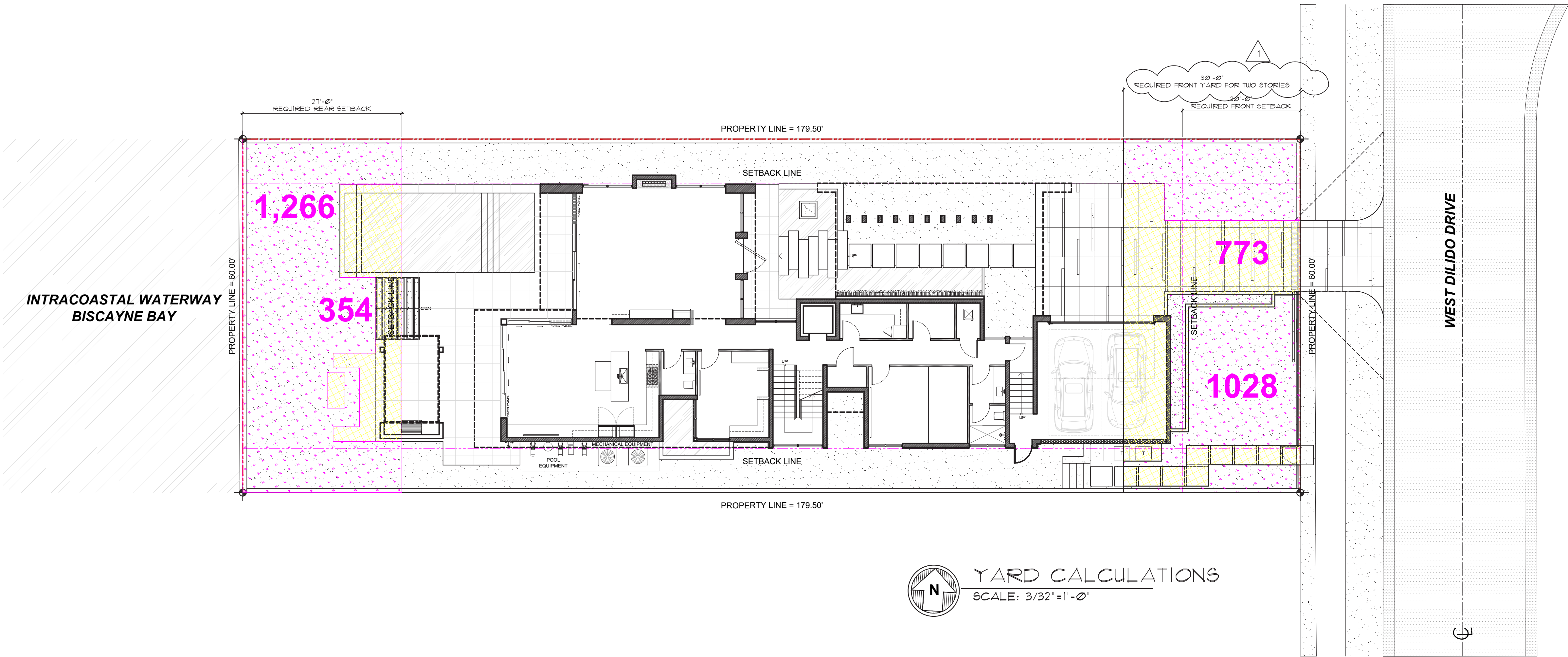
AREA:	1,801 S. F.	100%
IMPERVIOUS AREA:	773 S. F.	43%
PERVIOUS AREA:	1,028 S. F.	57% (50% MIN)

LEGEND

-  IMPERVIOUS AREA:
-  PERVIOUS AREA:

REAR YARD CALCULATIONS

AREA:	1,620 S. F.	100%
IMPERVIOUS AREA:	354 S. F.	21.8%
PERVIOUS AREA:	1,266 S. F.	78.2% (70% MIN)



DANDEKAR RESIDENCE  
450 W DILLIDO DRIVE  
MIAMI BEACH, FLORIDA, 33139

seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
2061

date:  
01/18/2021

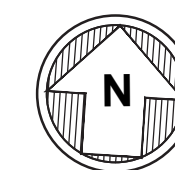
revised:

03/01/21  
DRB FIRST  
SUBMITTAL  
COMMENTS

sheet no.

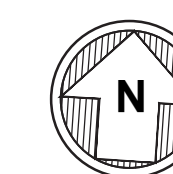
A-1.2





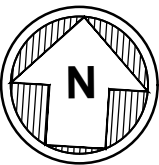
SITE PLAN  
SCALE: 1/8" = 1'-0"





FIRST FLOOR PLAN  
SCALE: 3/16" = 1'-0"





Ralph Choeff  
registered architect  
AR0009679  
AA26003009

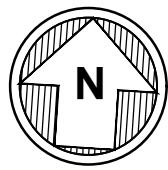
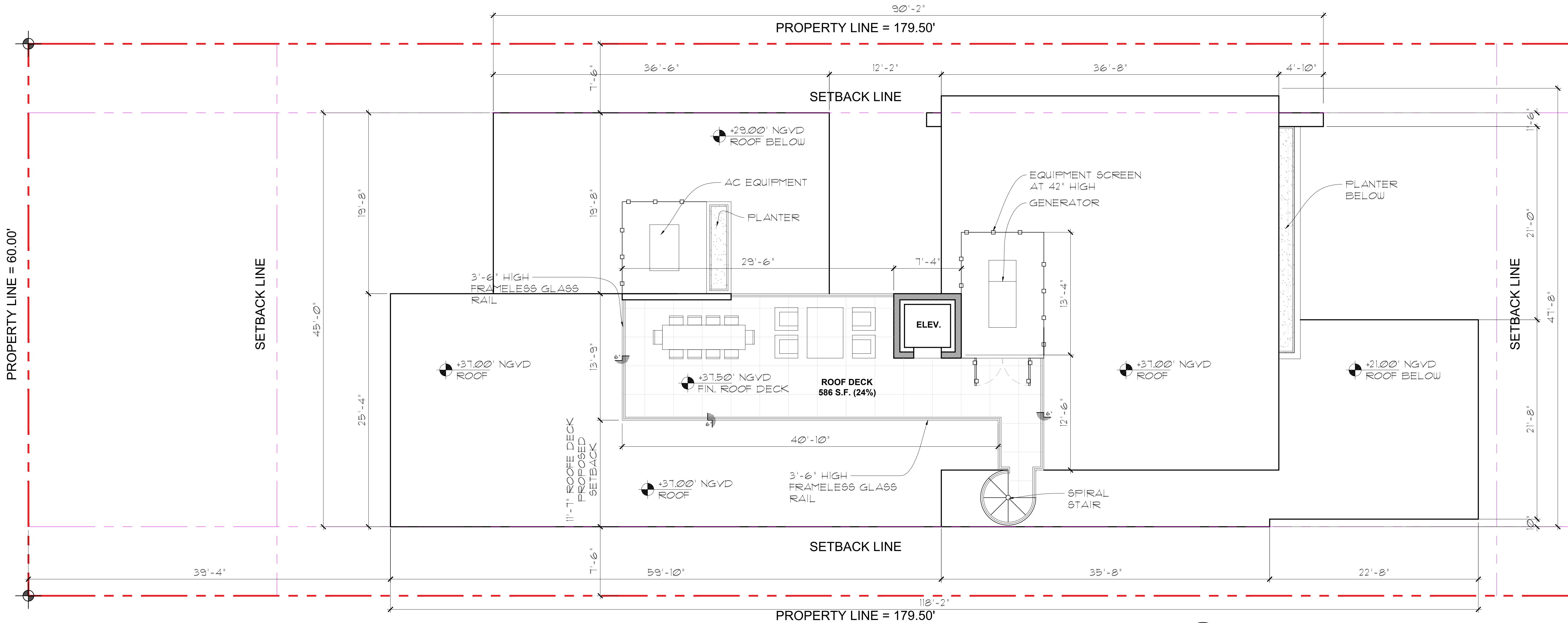
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01/18/2021

revised:

sheet no.

## A-2.2





ROOF PLAN  
SCALE: 3/16"=1'-0"

seal



seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

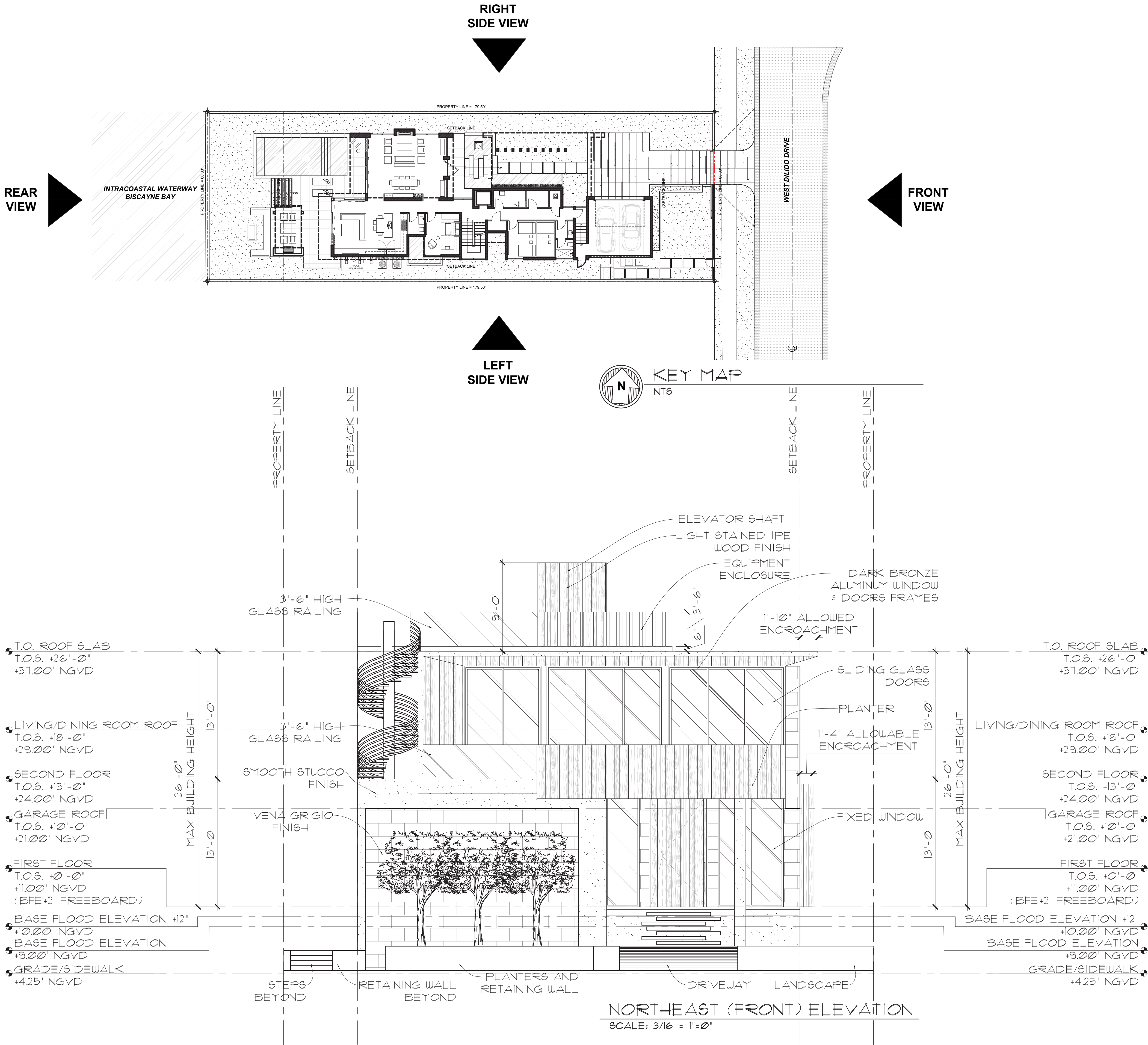
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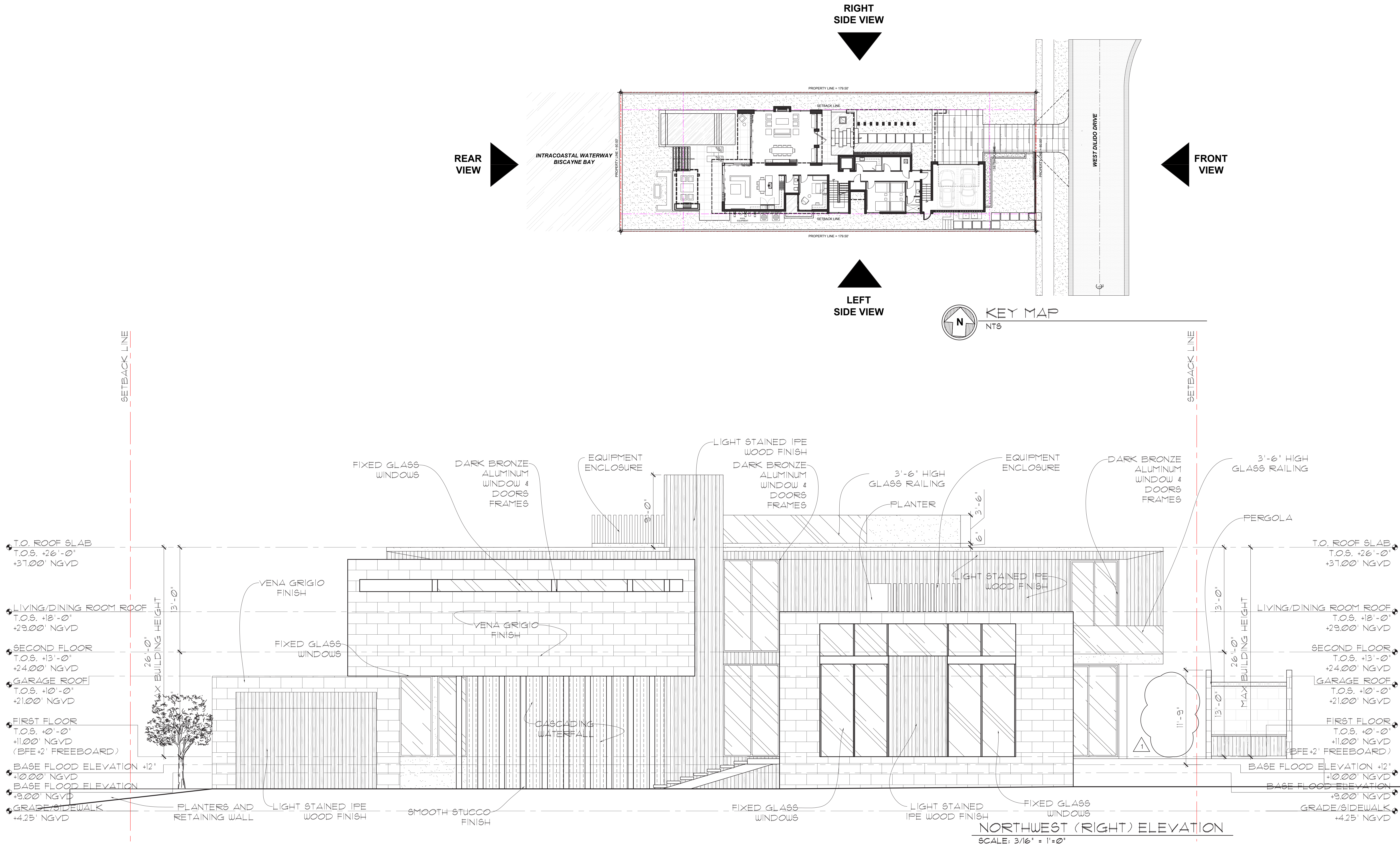
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**A-3.0**



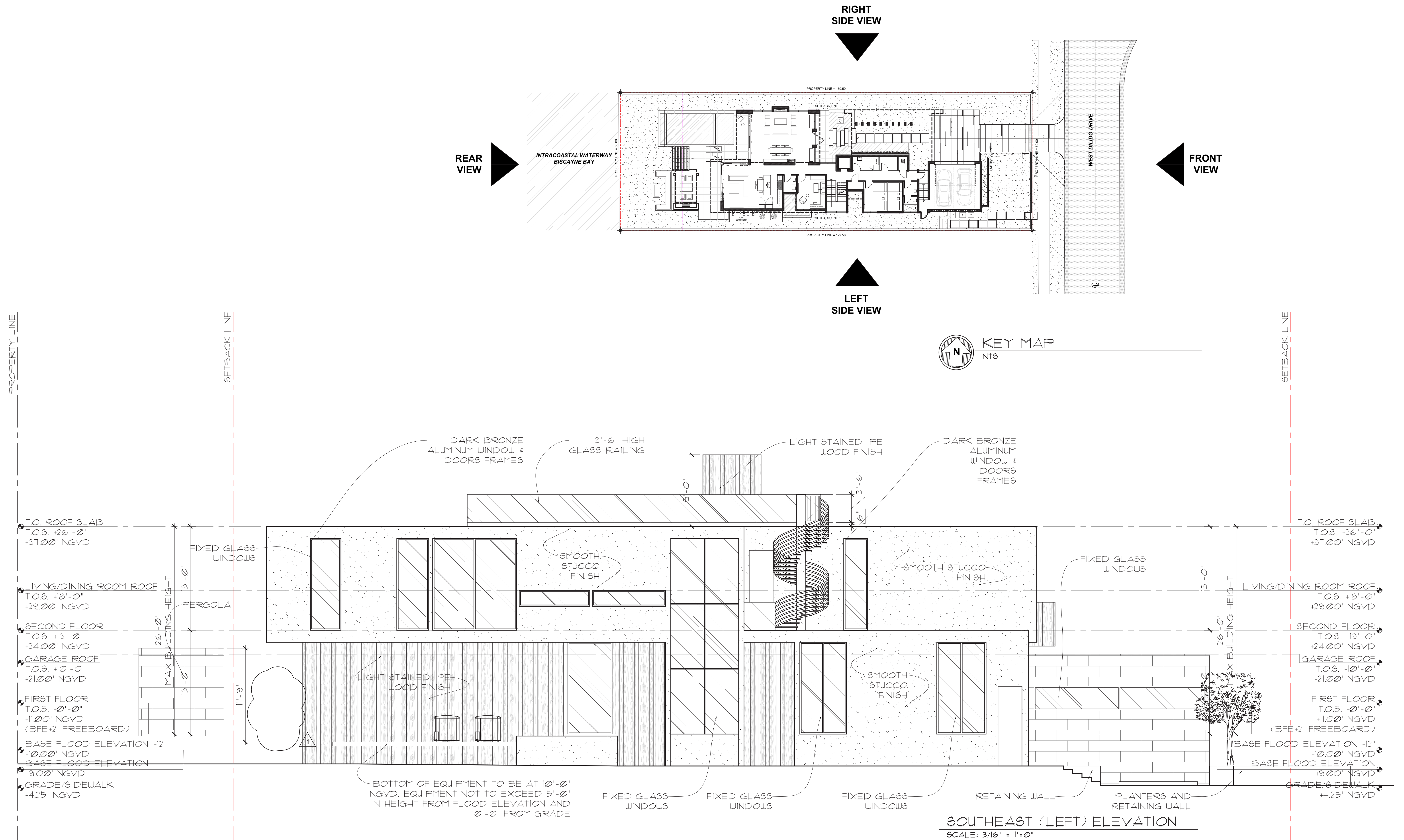














seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

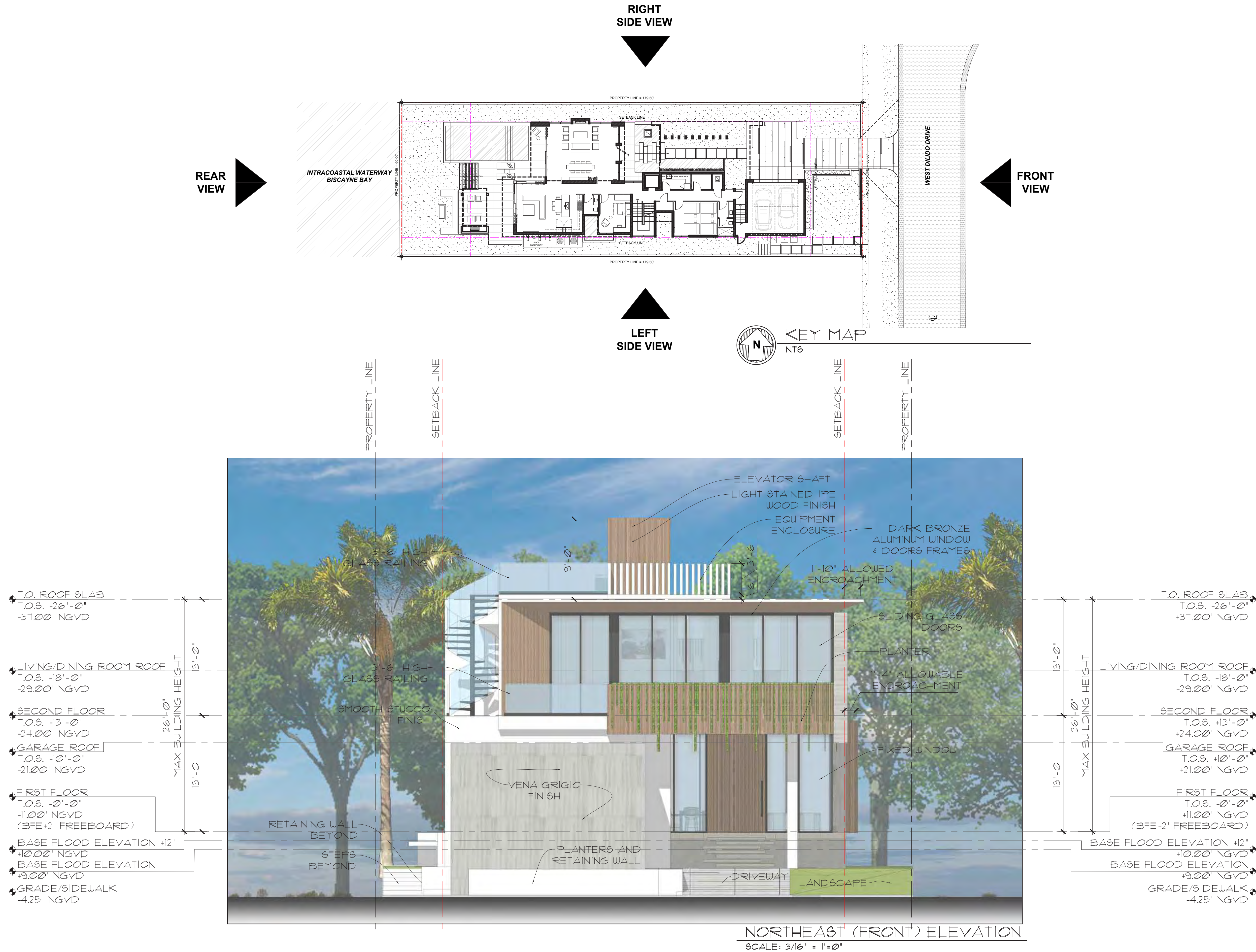
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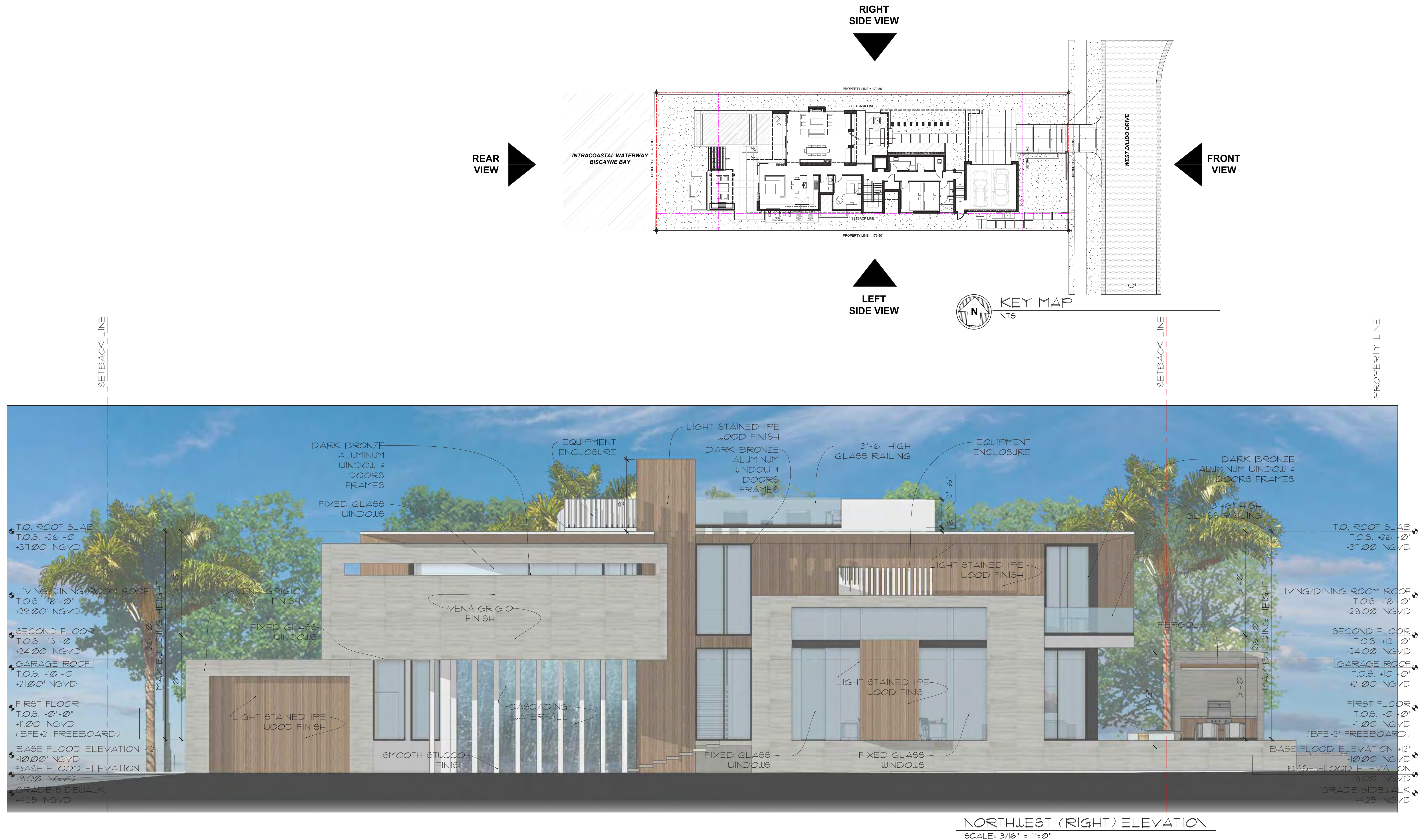
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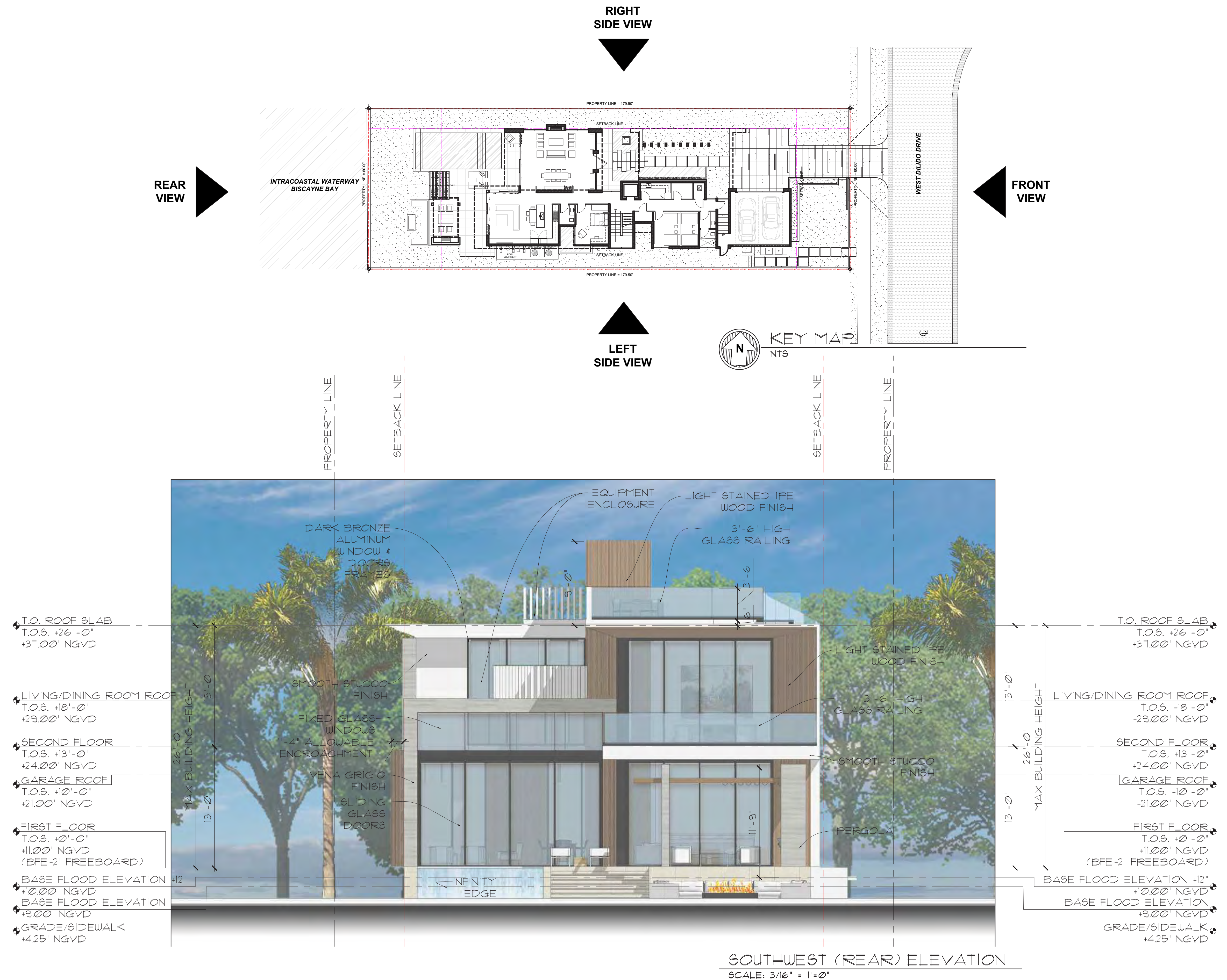
**A-3.4**



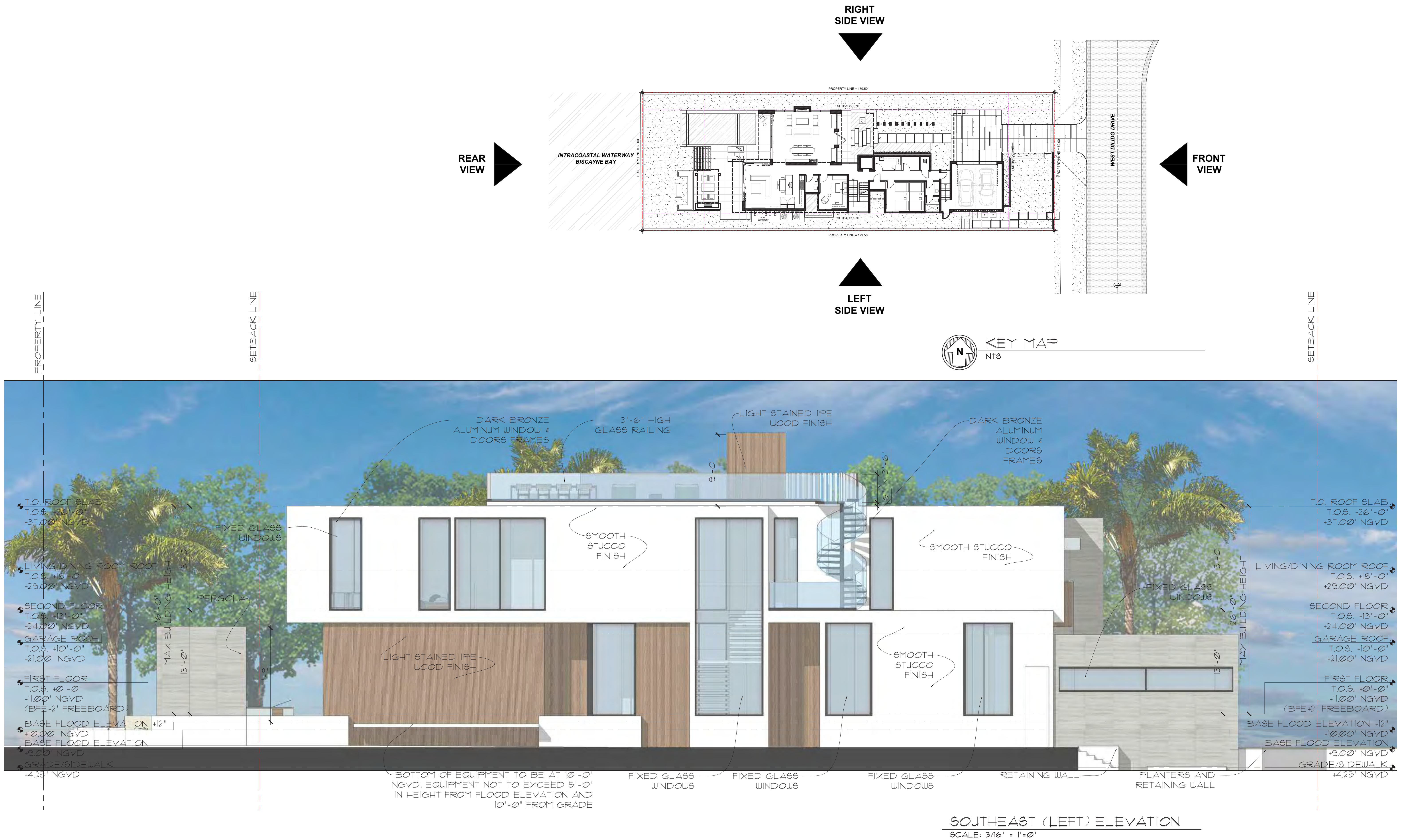




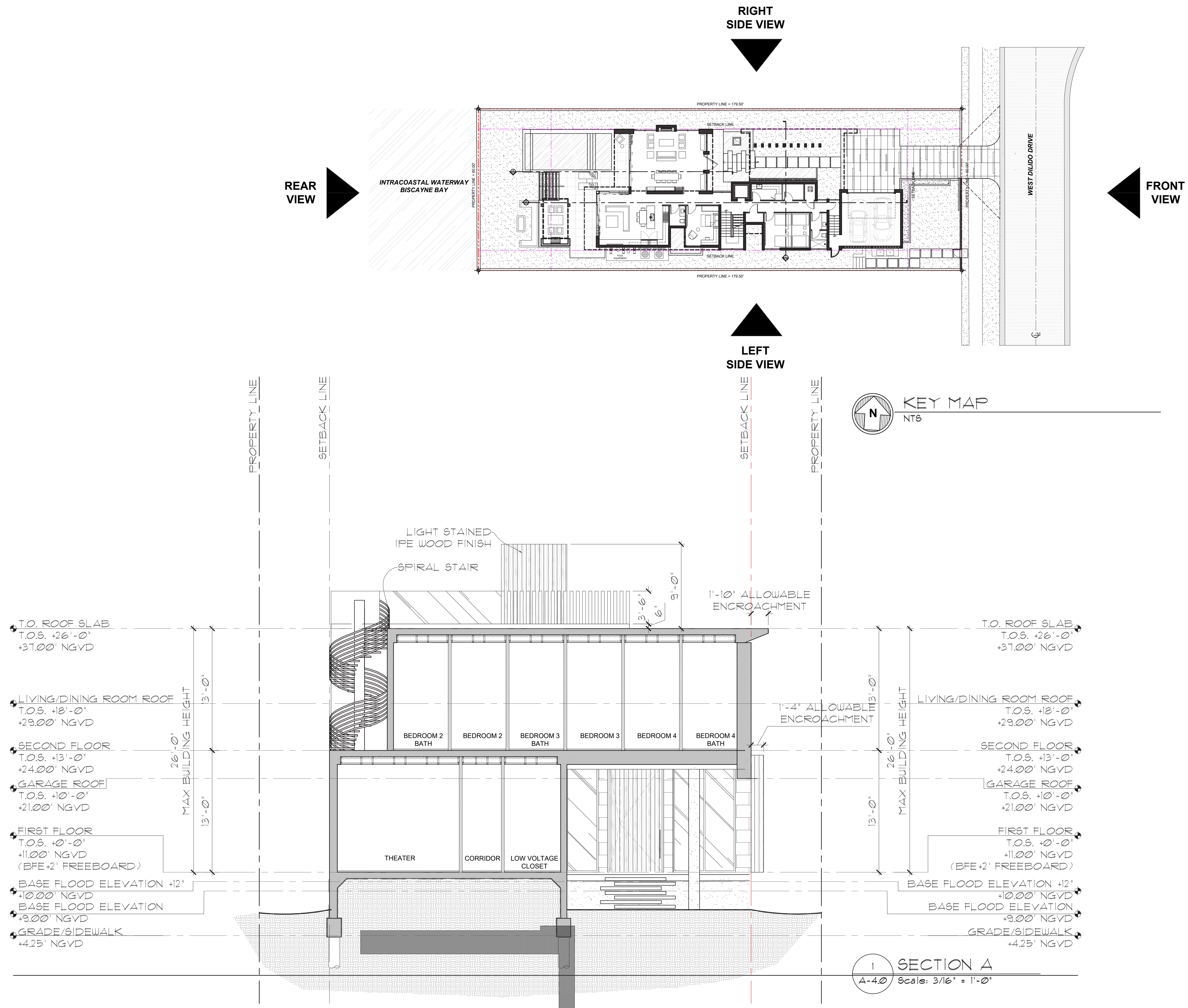












seal

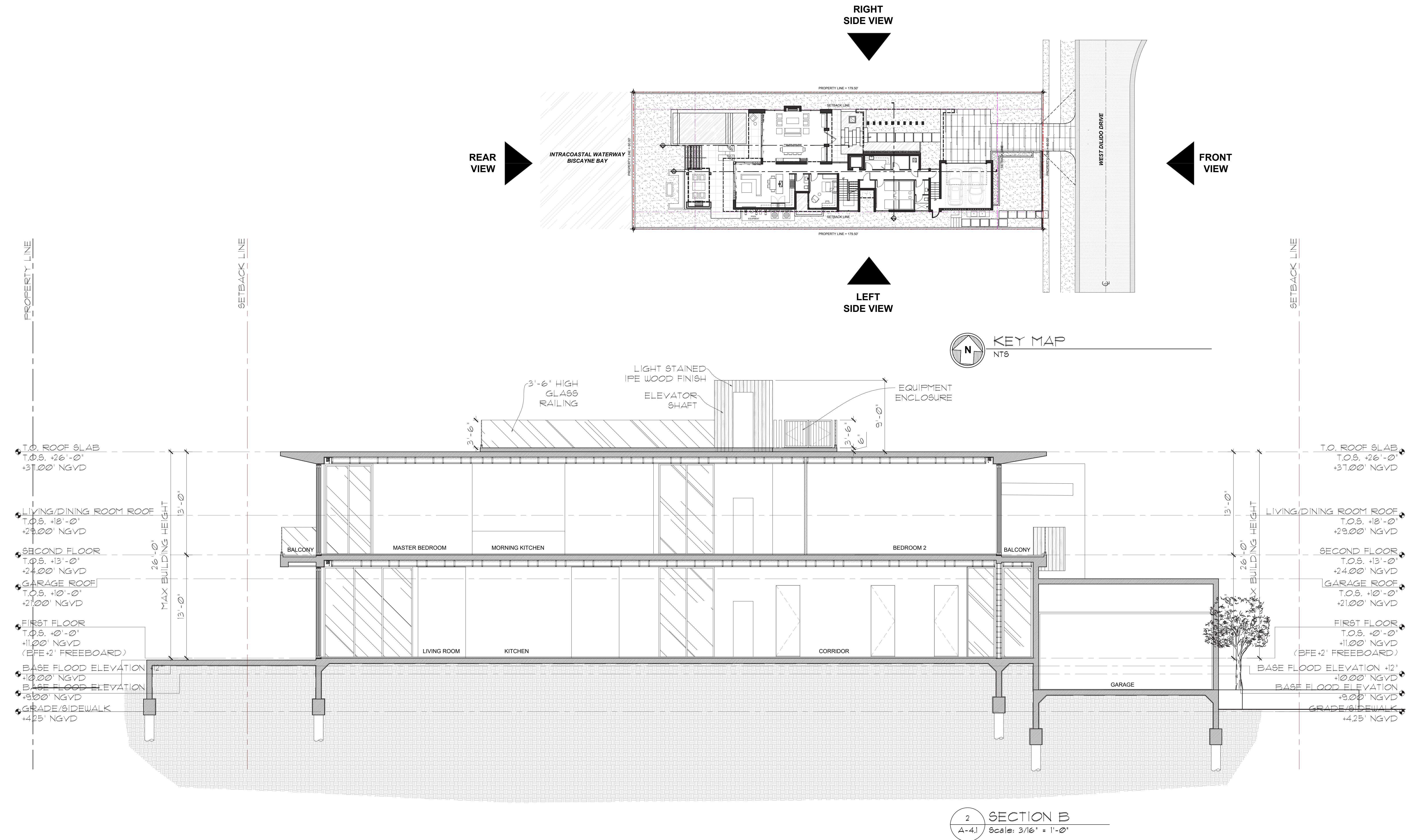
Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
**2061**

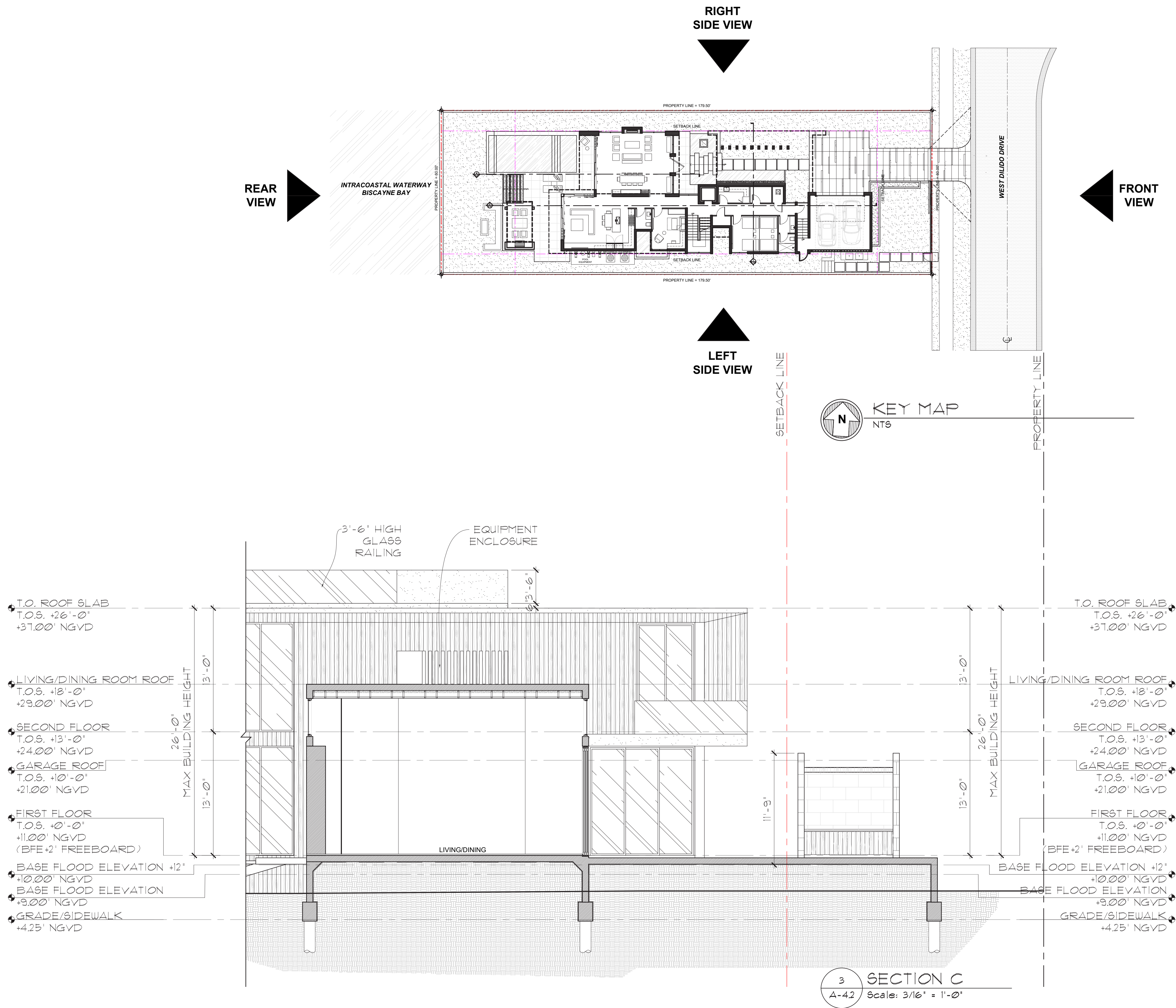
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revised:

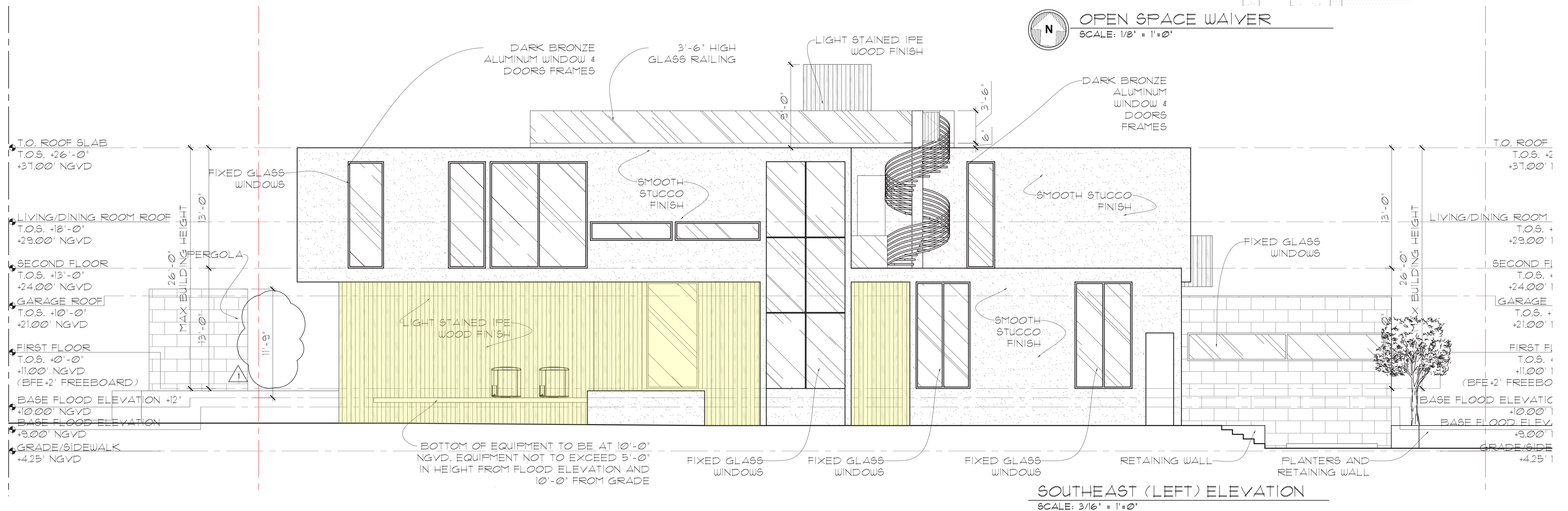
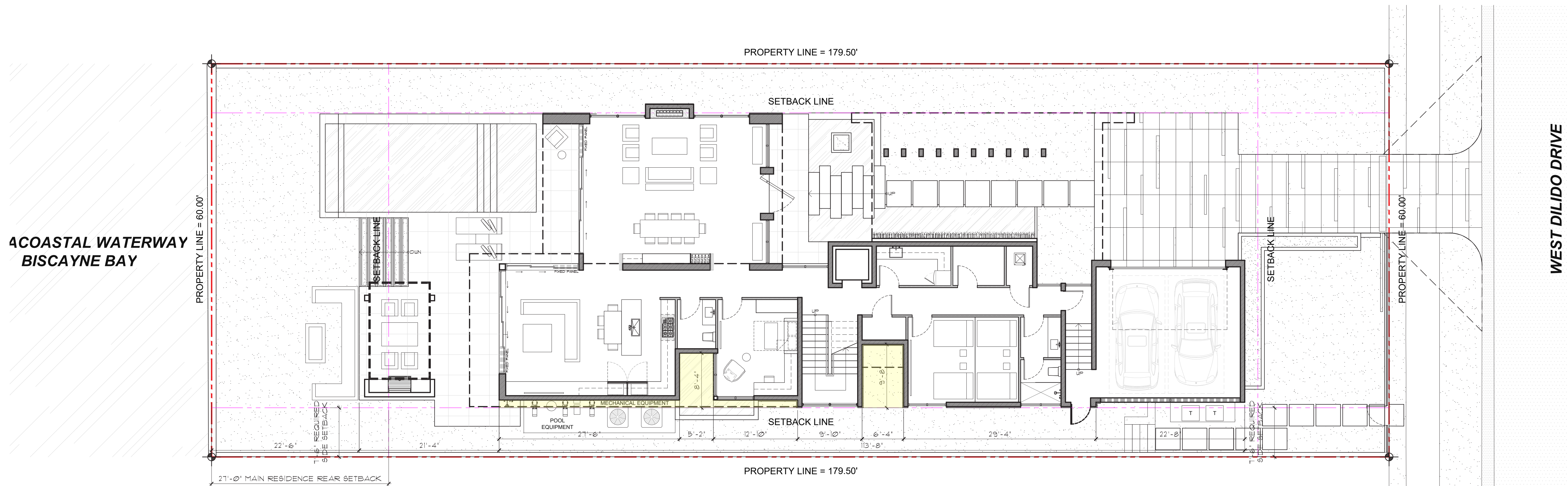




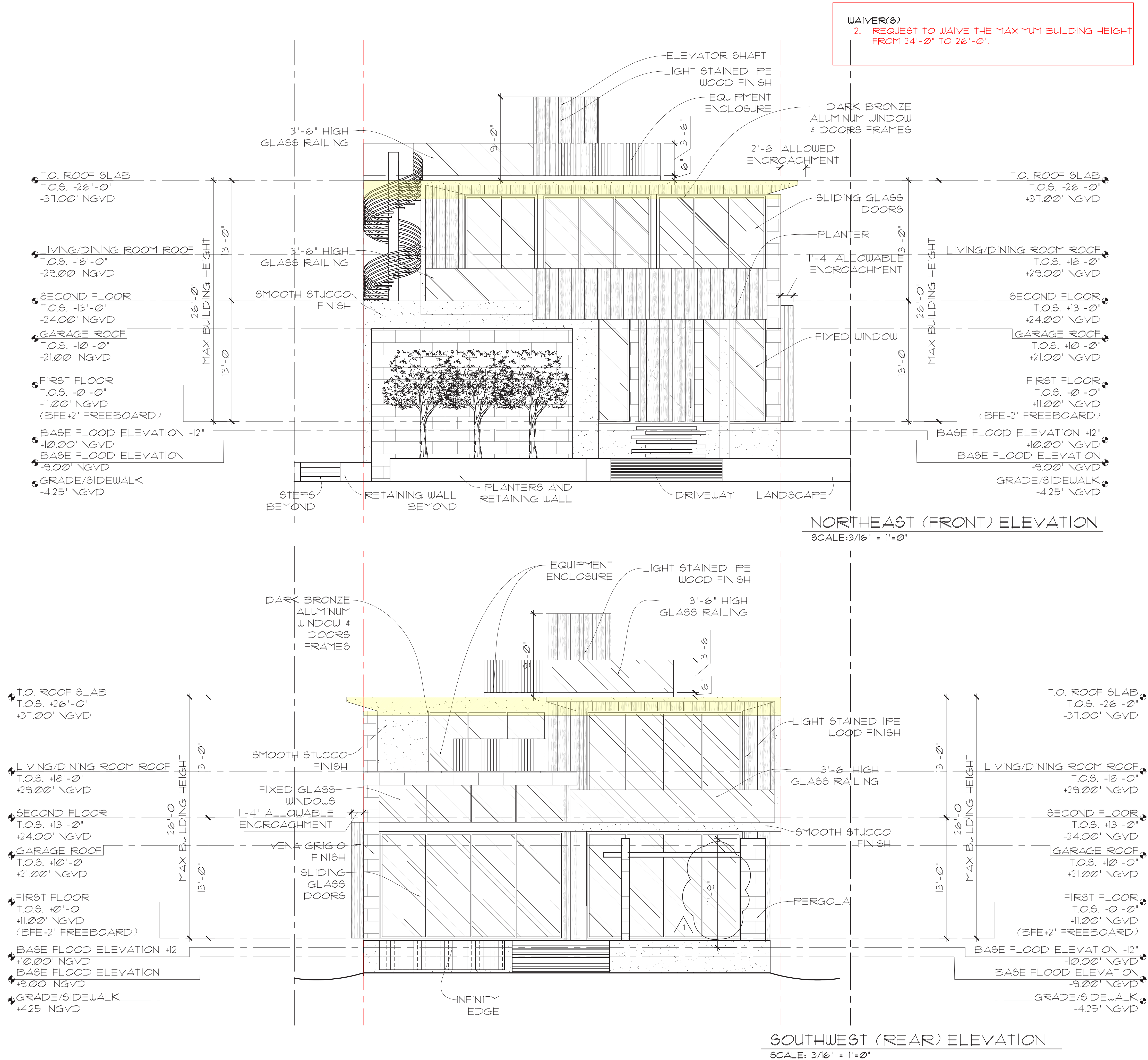






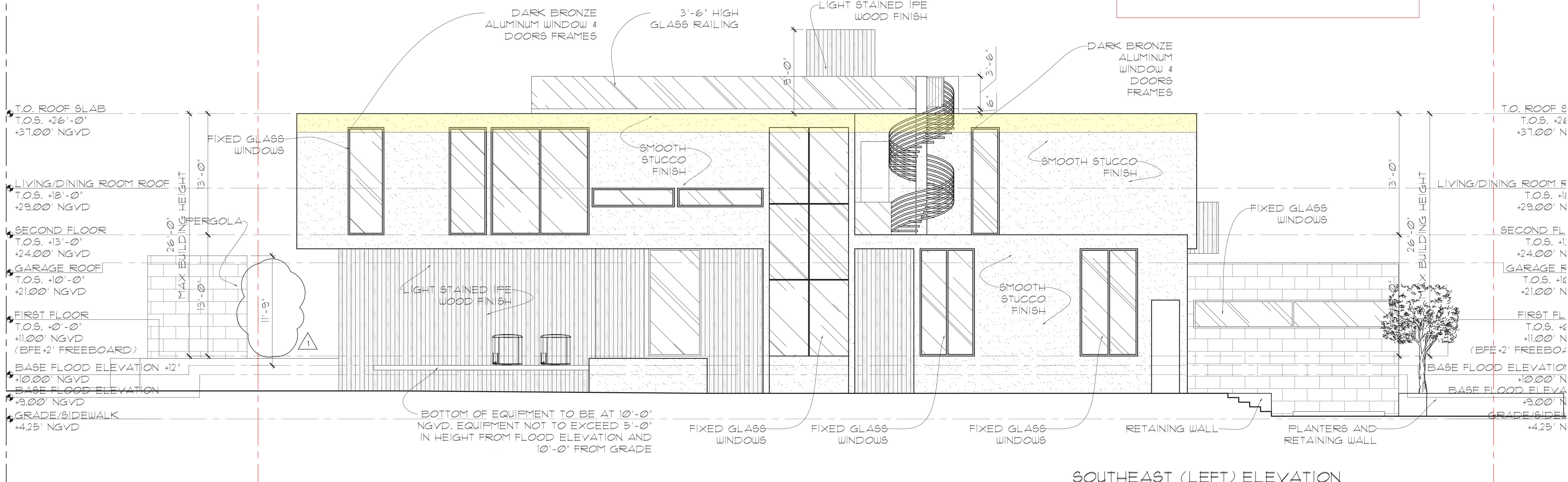






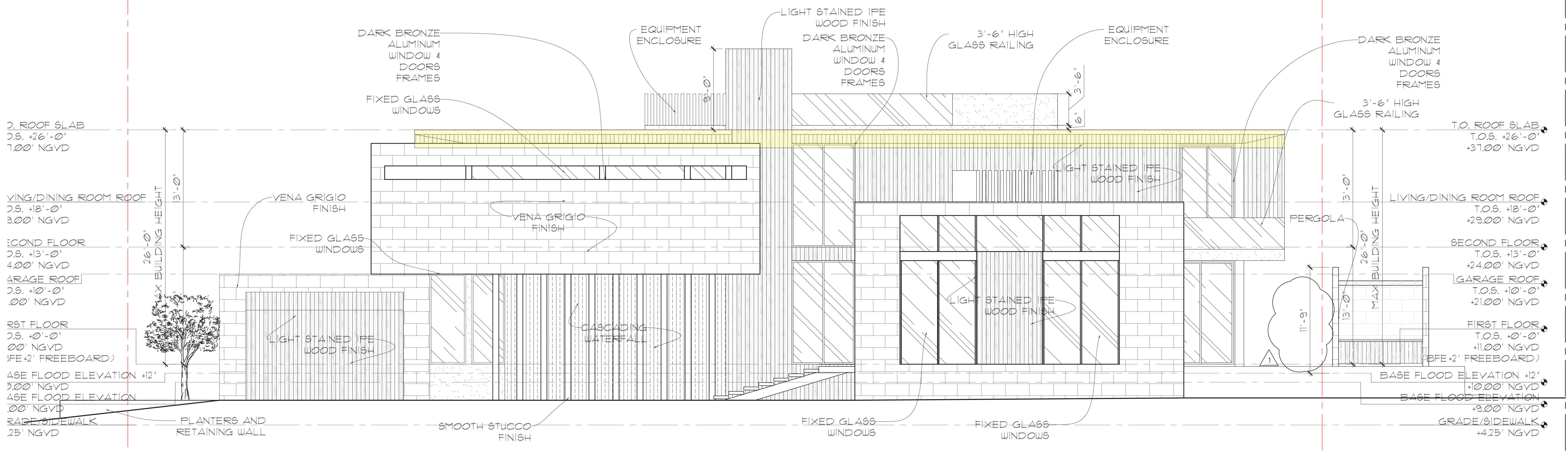


WAIVER(S)  
2. REQUEST TO WAIVE THE MAXIMUM BUILDING HEIGHT  
FROM 24'-0" TO 26'-0".



SOUTHEAST (LEFT) ELEVATION

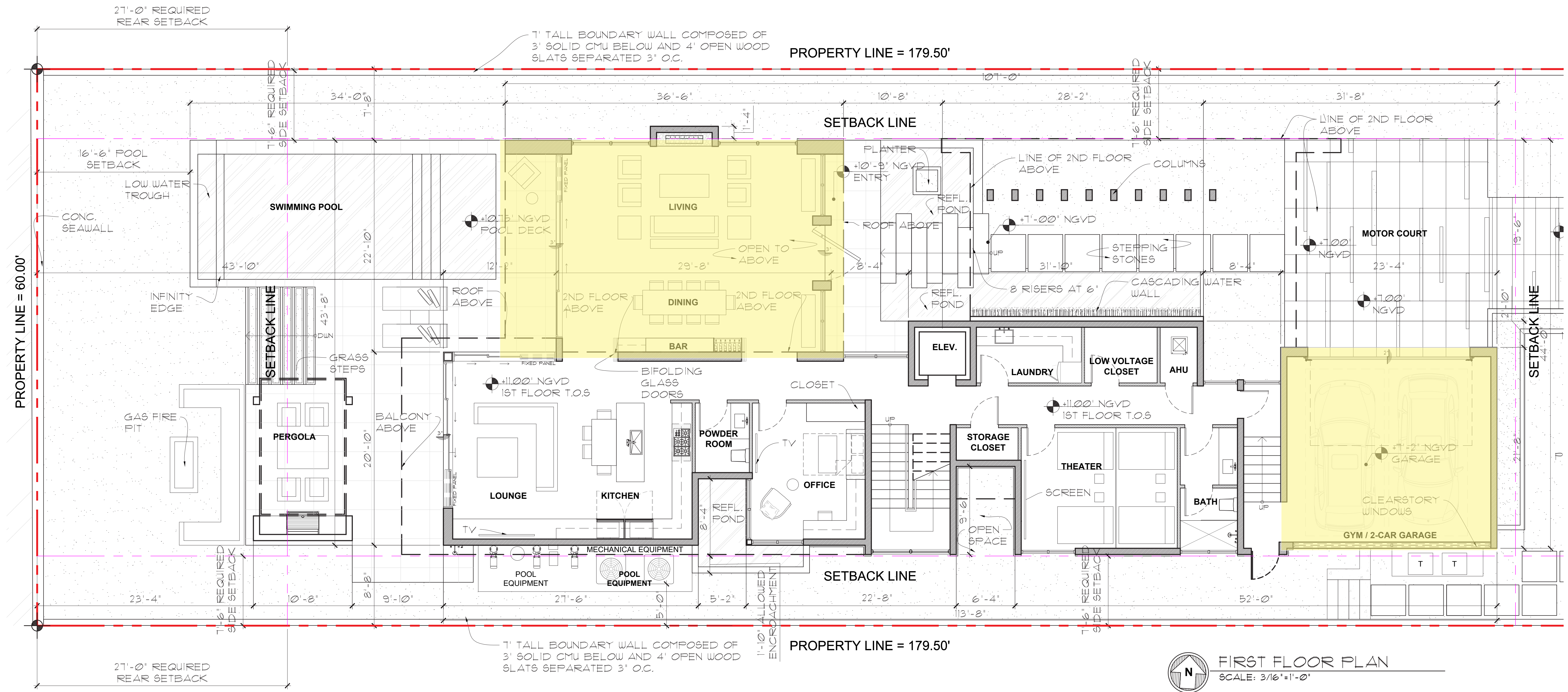
SCALE: 3/16" = 1'-0"



NORTHWEST (RIGHT) ELEVATION

SCALE: 3/16" = 1'-0"



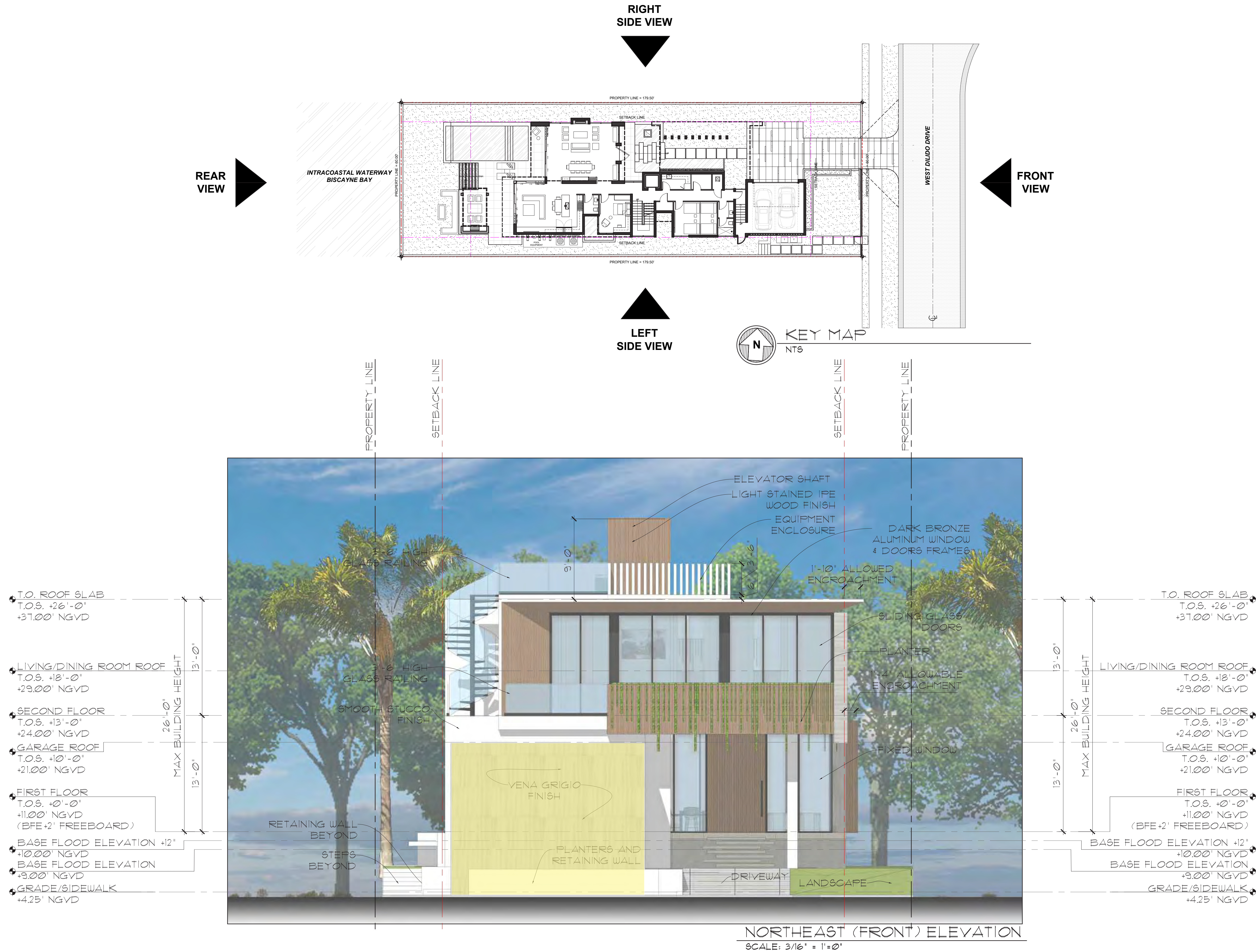


**FIRST FLOOR PLAN**  
SCALE: 3/16"=1'-0"

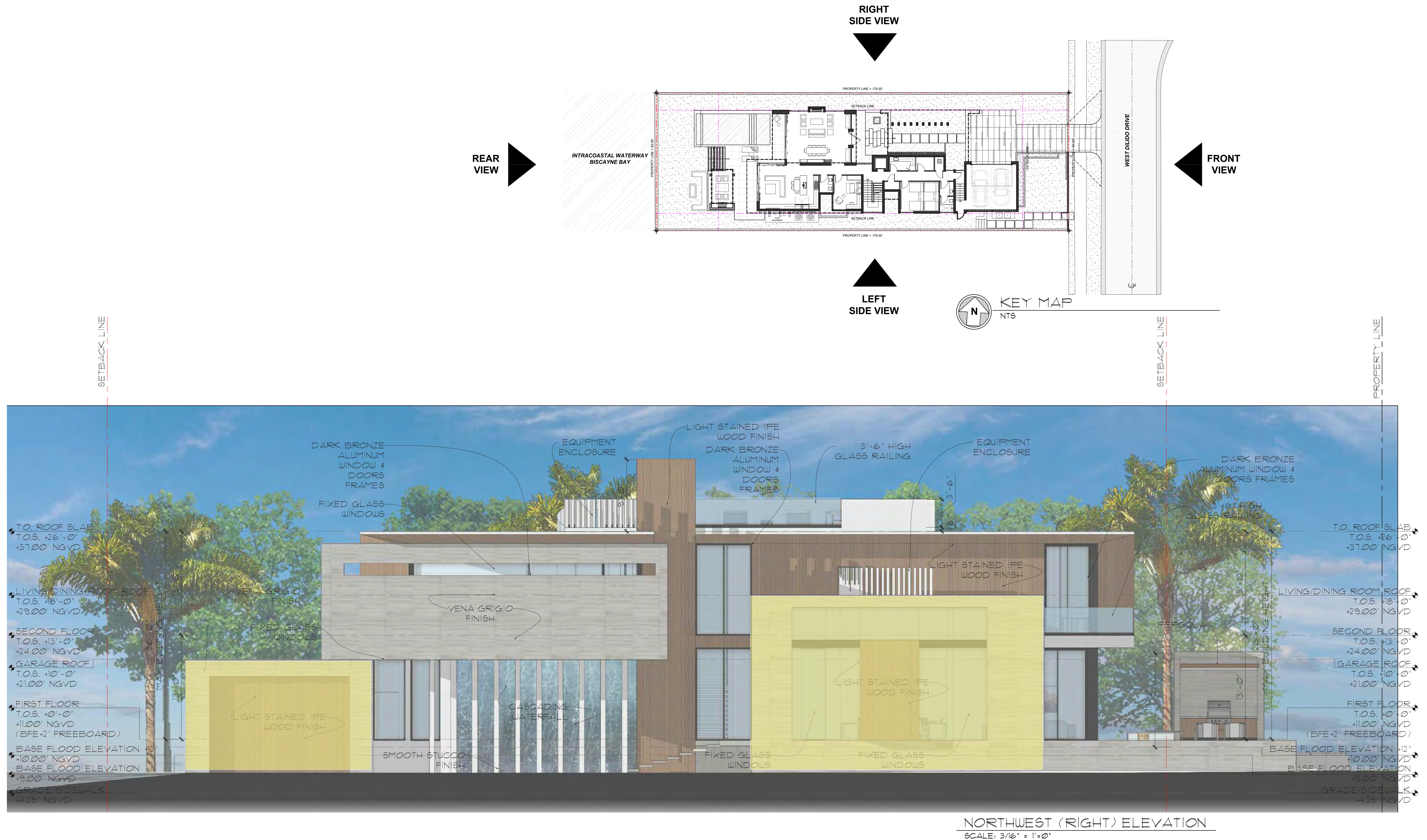
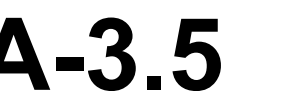




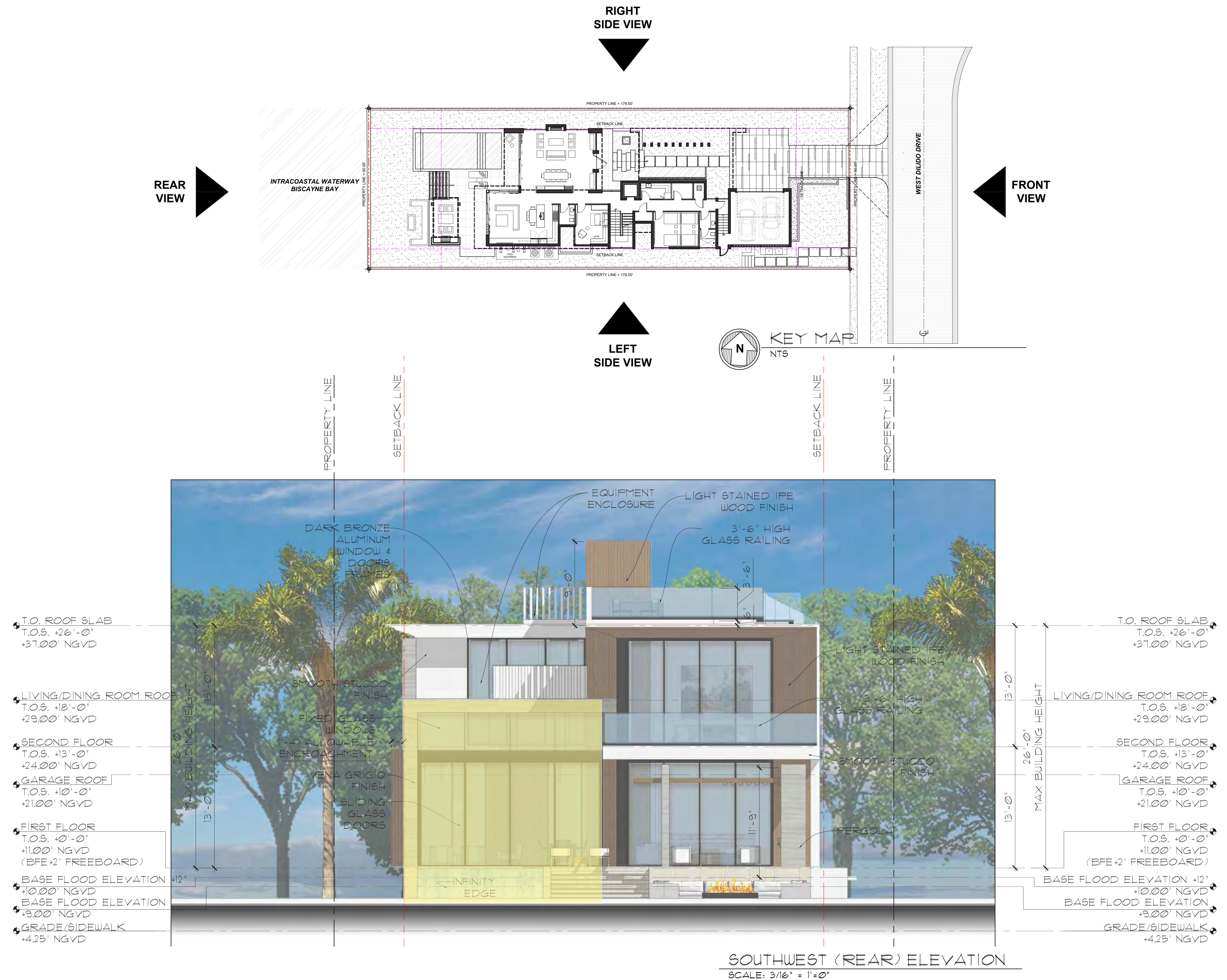
















Northeast Elevation (Front)  
Rendering





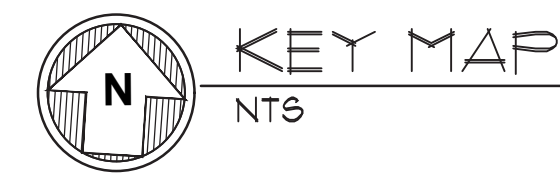
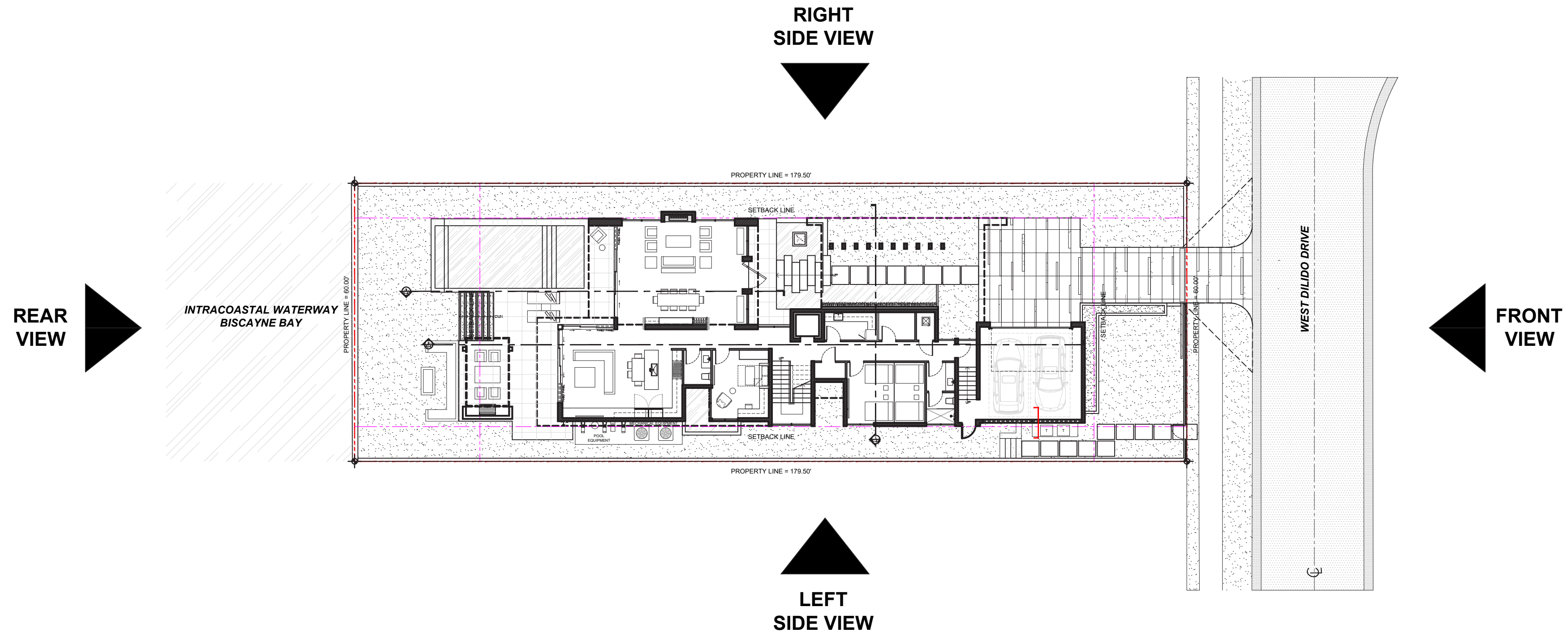
Northwest Elevation (Right)  
Rendering



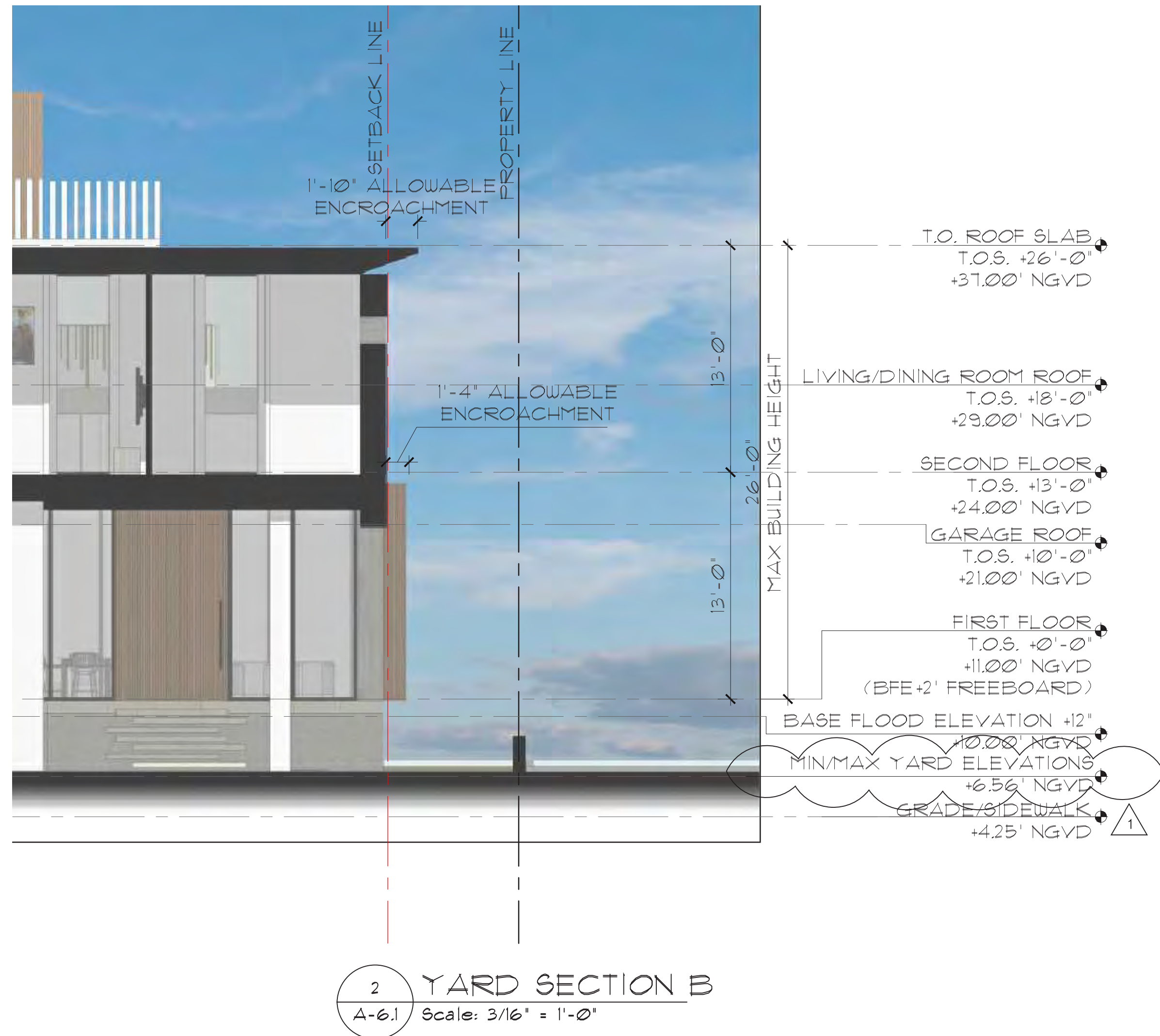
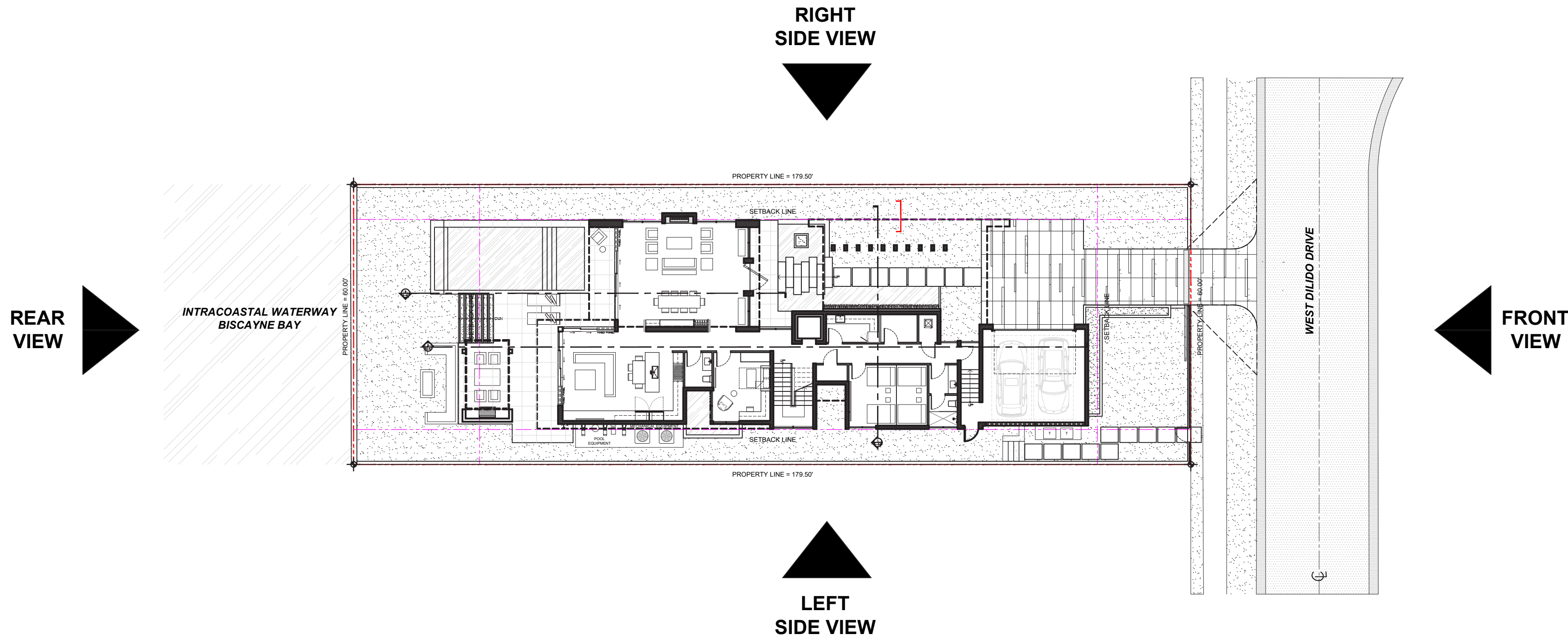


Southwest Elevation (Rear)  
Rendering

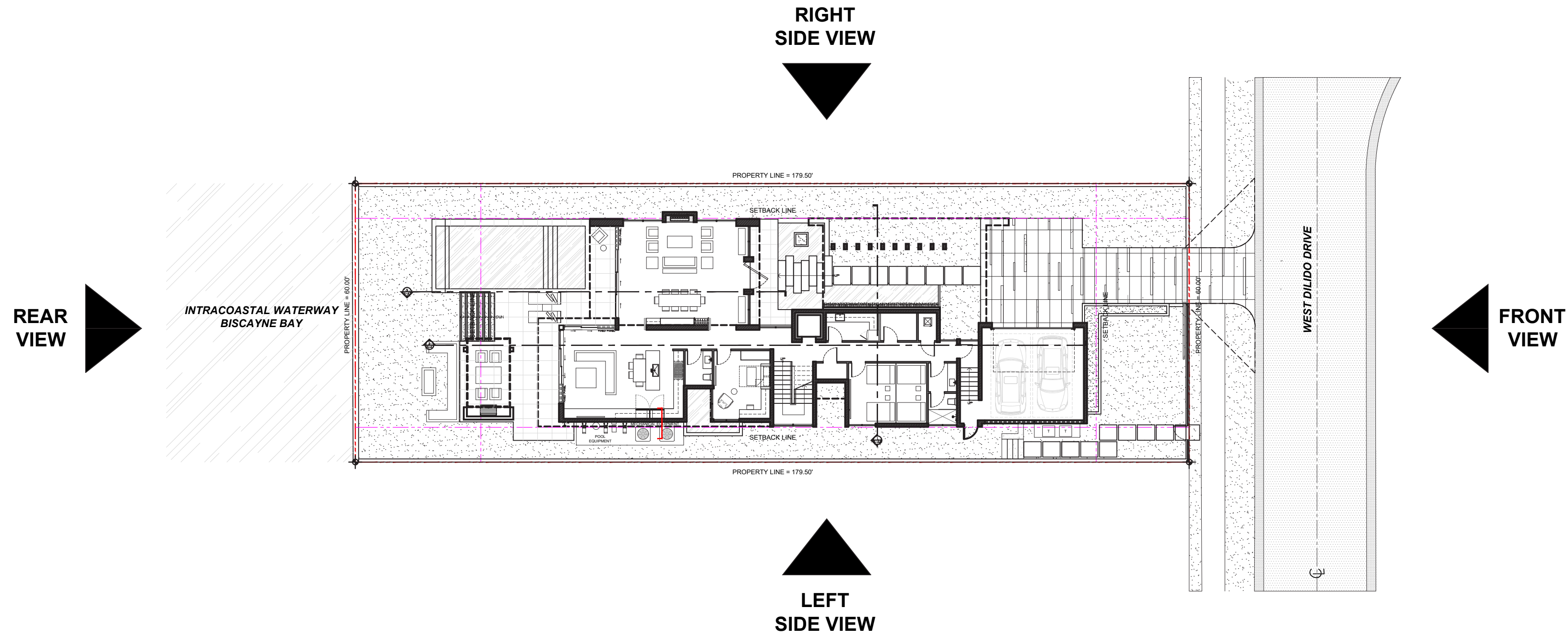












BOTTOM OF EQUIPMENT TO BE  
AT 10'-0" NGVD. EQUIPMENT NOT  
TO EXCEED 5'-0" IN HEIGHT  
FROM FLOOD ELEVATION AND  
10'-0" FROM GRADE

T.O. ROOF SLAB  
T.O.S. +26'-0"  
+37.00' NGVD

LIVING/DINING ROOM ROOF  
T.O.S. +18'-0"  
+29.00' NGVD

SECOND FLOOR  
T.O.S. +13'-0"  
+24.00' NGVD

GARAGE ROOF  
T.O.S. +10'-0"  
+21.00' NGVD

FIRST FLOOR  
T.O.S. +0'-0"  
+11.00' NGVD  
(BFE +2' FREEBOARD)

BASE FLOOD ELEVATION +12"  
+10.00' NGVD  
MIN/MAX YARD ELEVATIONS  
+6.56' NGVD  
GRADE/SIDEWALK  
+4.25' NGVD

26'-0"  
MAX BUILDING HEIGHT

13'-0"  
13'-0"

PROPERTY LINE

SETBACK LINE

3  
A-6.2 YARD SECTION C  
Scale: 3/16" = 1'-0"

seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
2061

date:  
01/18/2021

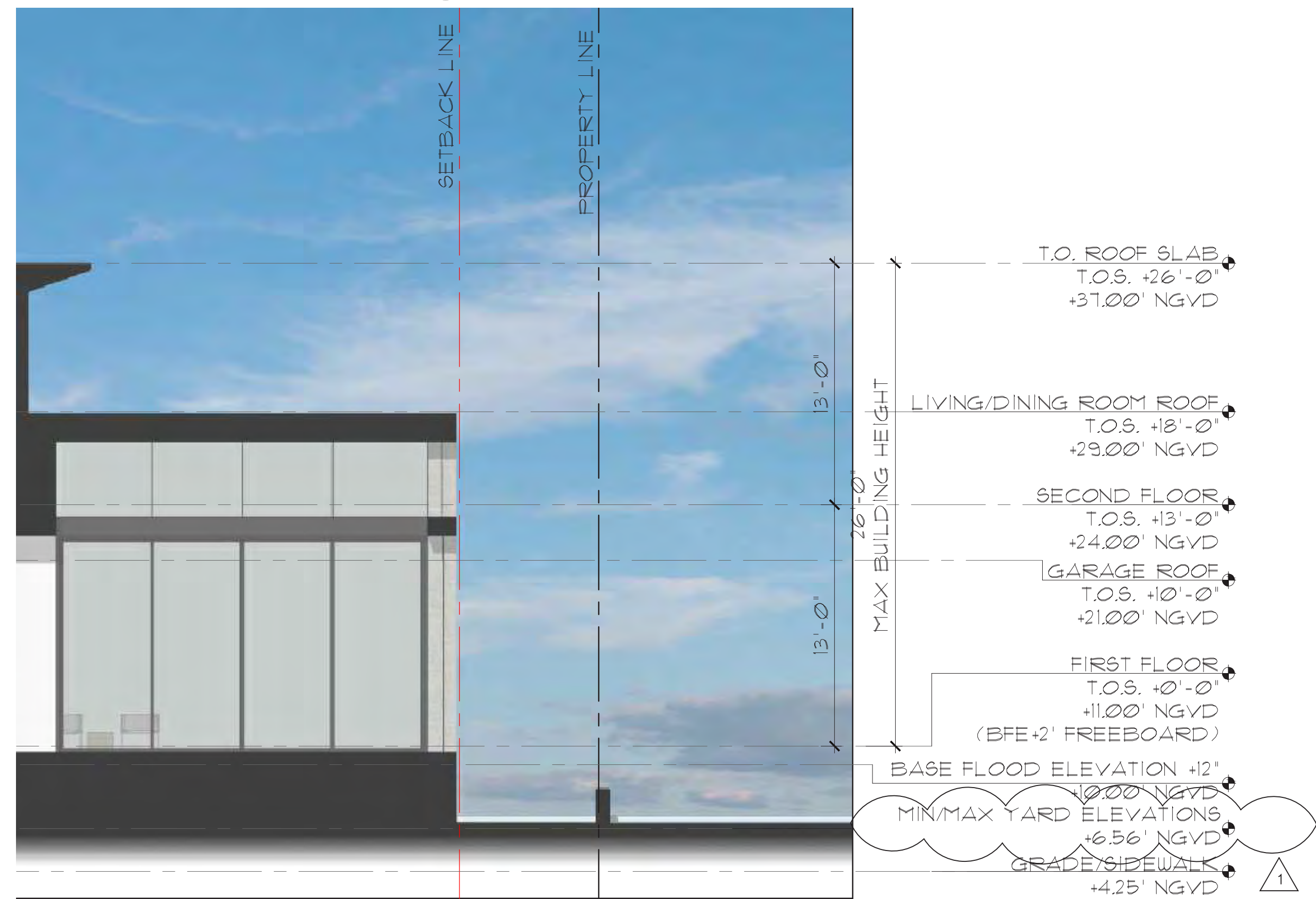
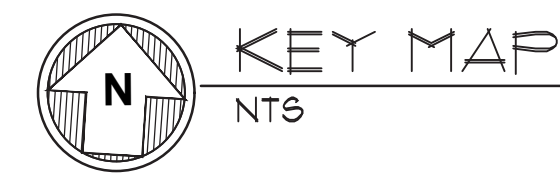
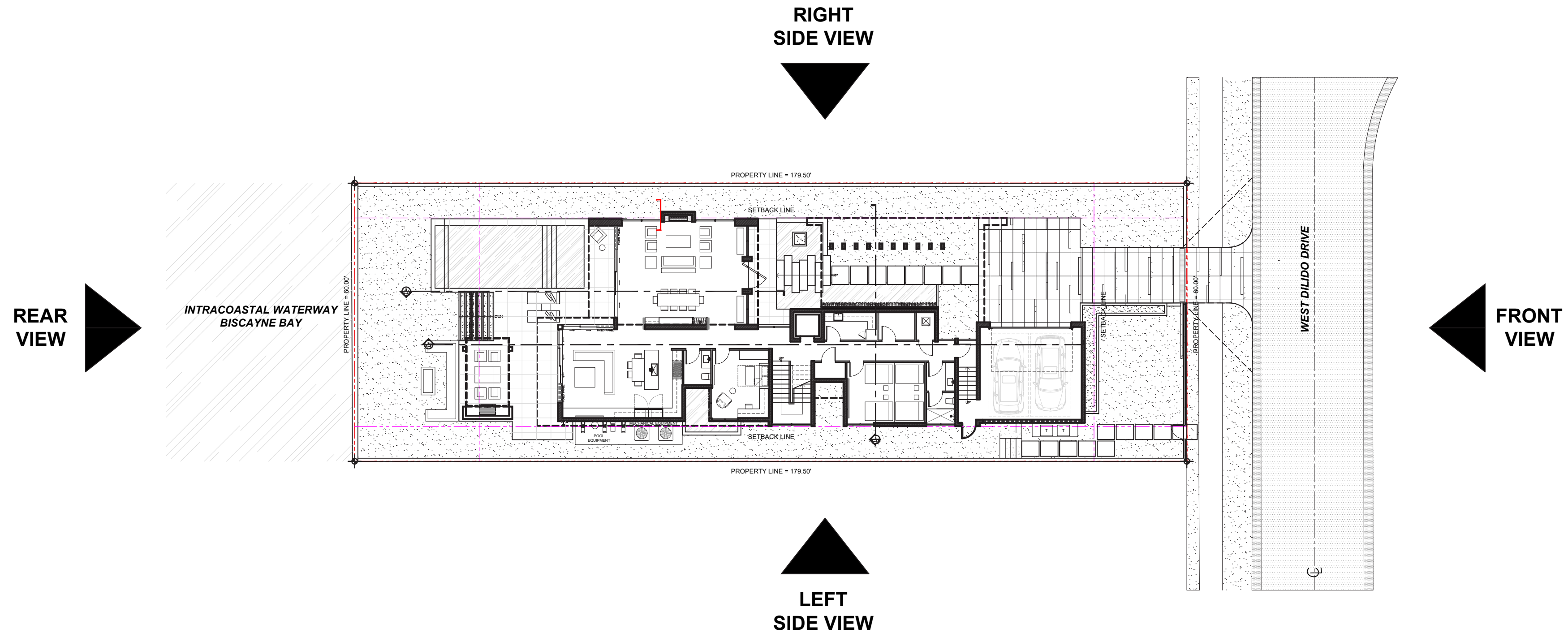
revised:

03/01/21  
DRB FIRST  
SUBMITTAL  
COMMENTS

sheet no.

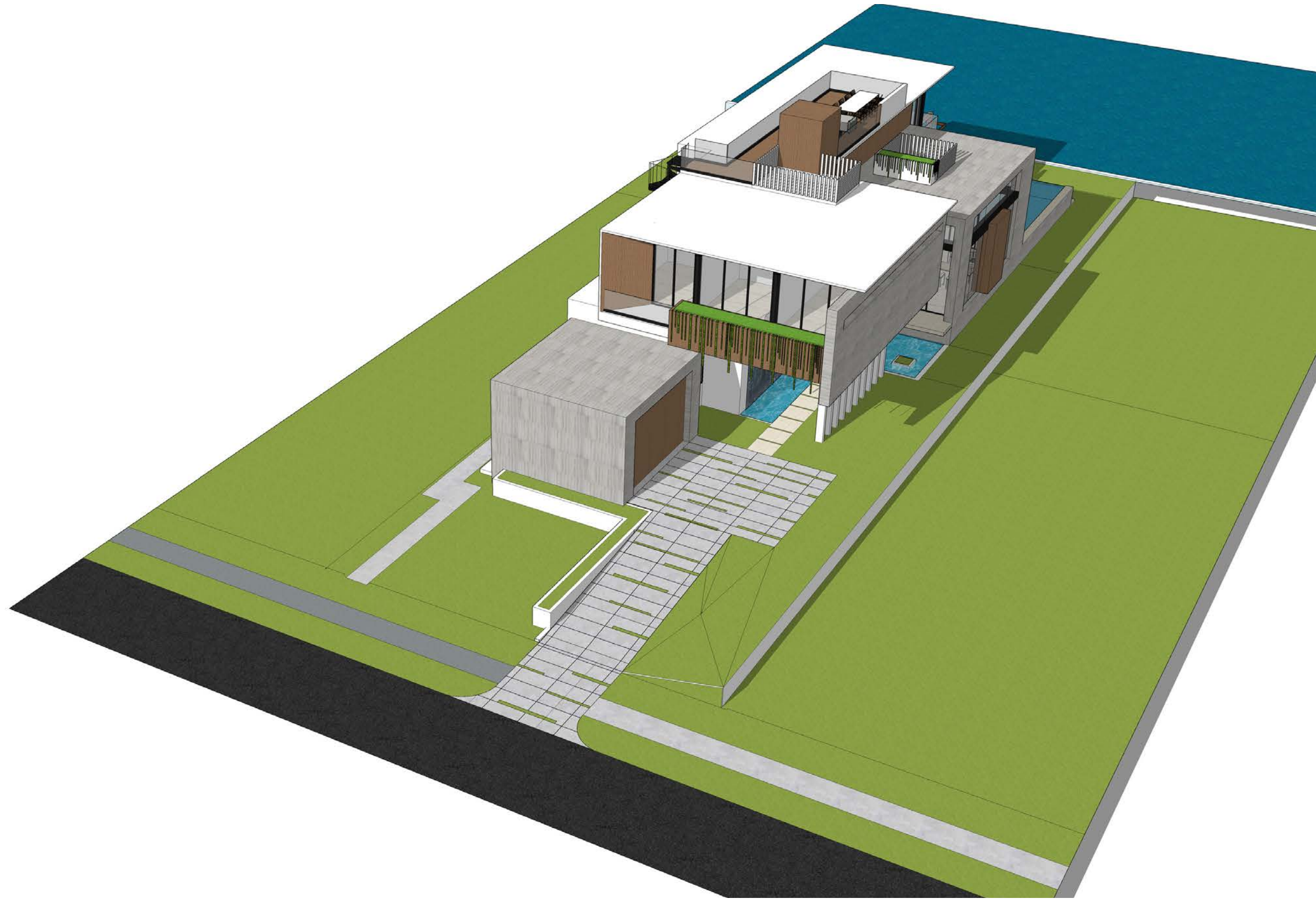
A-6.2





4 YARD SECTION D  
A-6.3 Scale: 3/16" = 1'-0"





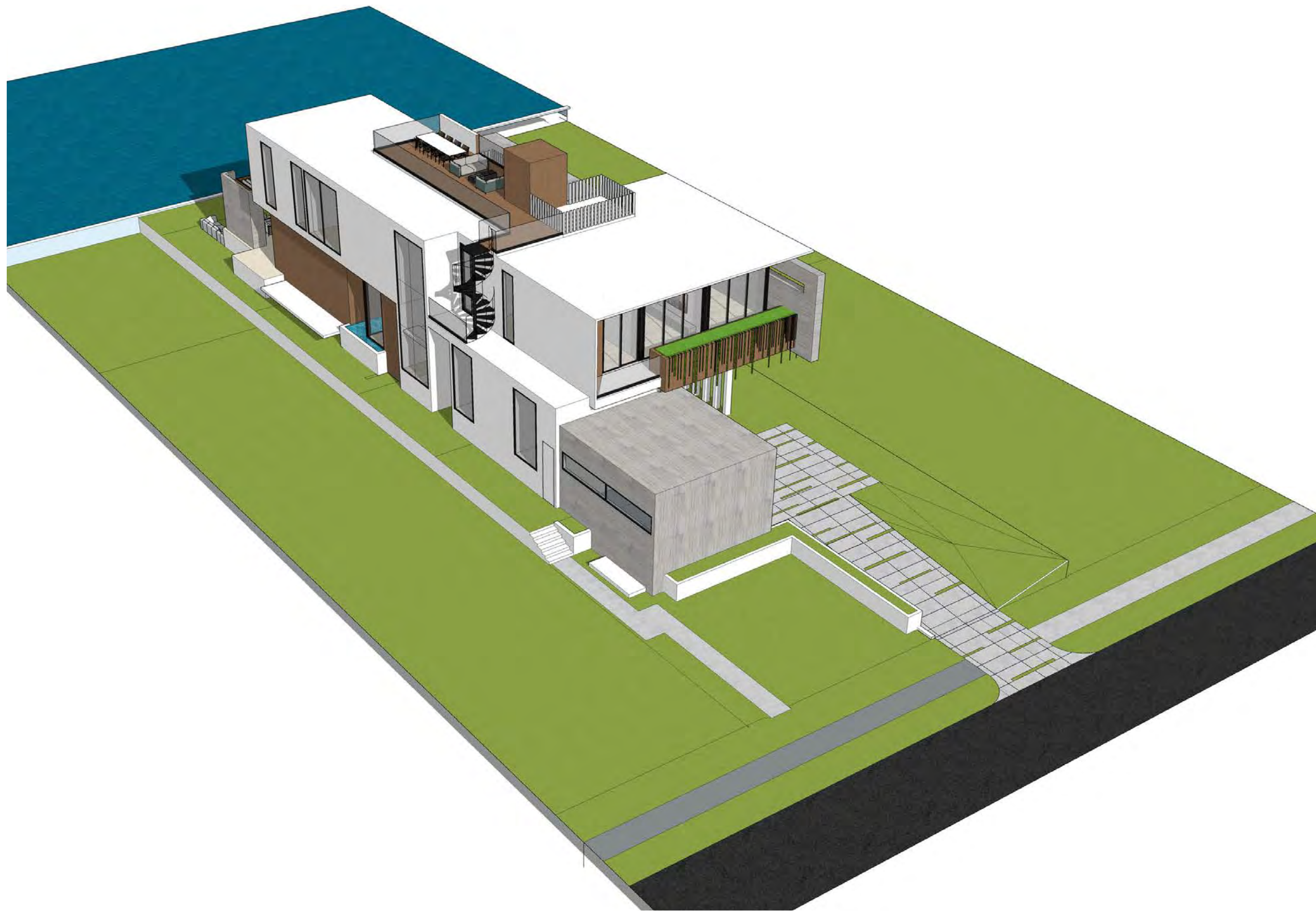
NORTH BIRD'S EYE LEVEL VIEW



EAST BIRD'S EYE LEVEL VIEW

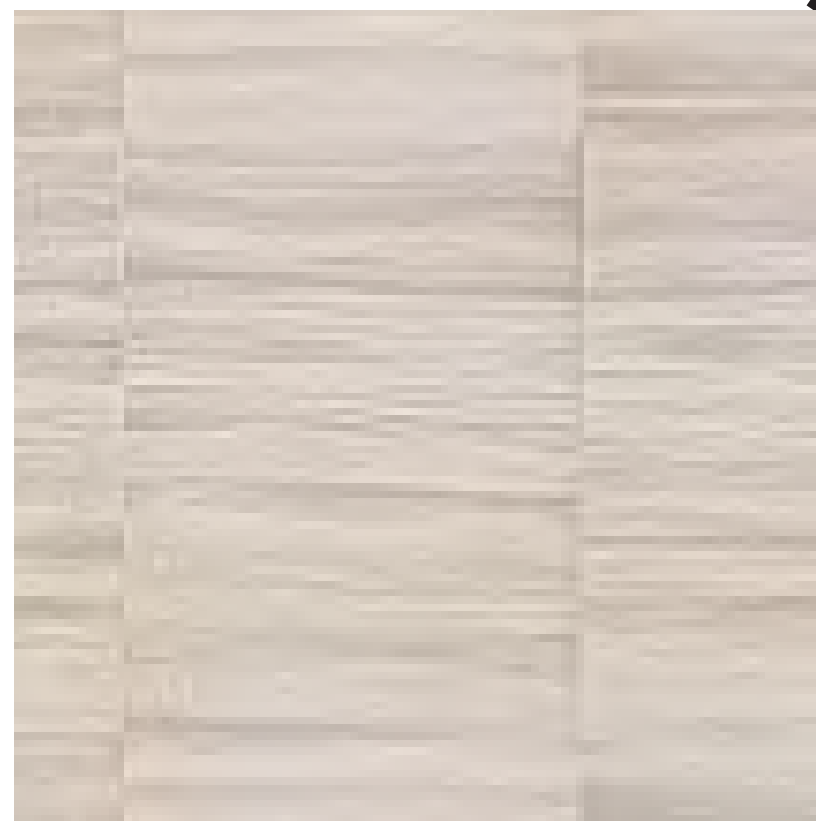


SOUTH BIRD'S EYE LEVEL VIEW



WEST BIRD'S EYE LEVEL VIEW

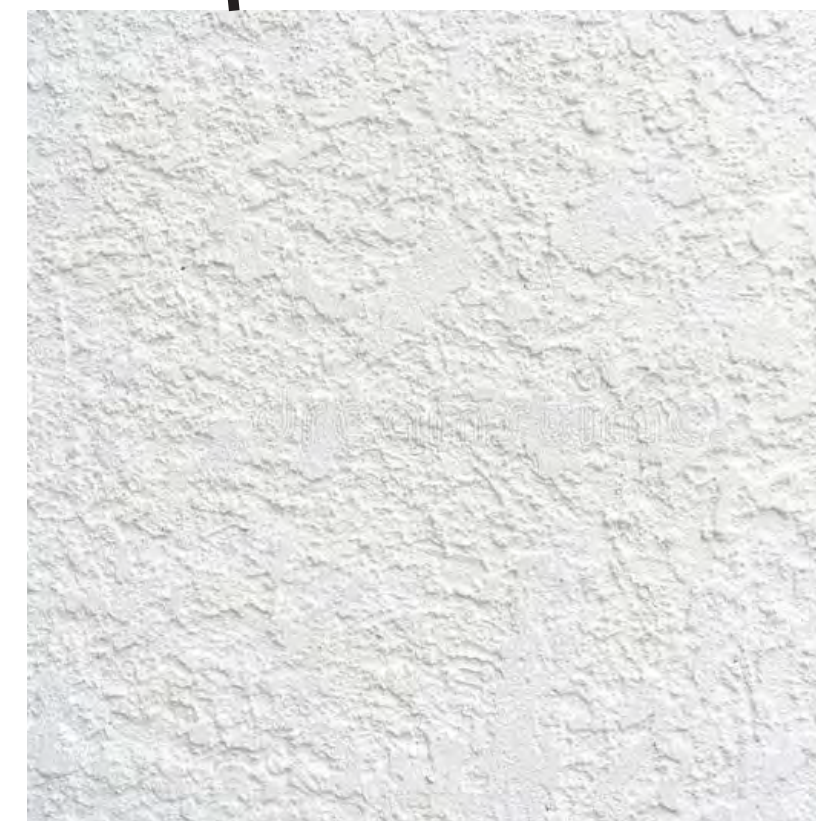




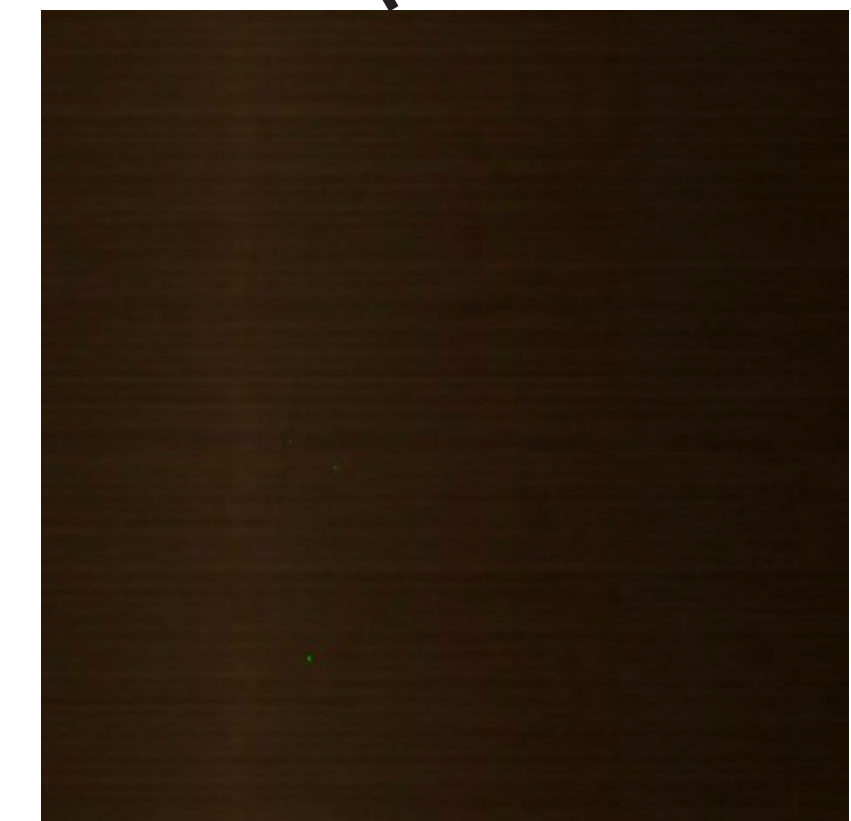
VENA GRIGIO FINISH



TARIMATEC WOOD CLADDING



SMOOTH STUCCO



DARK BRONZE ALUMINUM  
FINISH





Northeast Elevation (Front)  
Rendering





Northeast Elevation (Front)  
Rendering





Northwest Elevation (Right)  
Rendering





Southeast Elevation (Left)  
Rendering





Southwest Elevation (Rear)  
Rendering



## **Modified Conditions**

PROPERTY/FOLIO: 450 West Di Lido Drive 02-3232-011-0330

FILE NO: DRB21-0643

### **I. Design Review**

D. The project would be consistent with the criteria and requirements of Section 118- 251 and/ or Section 133-50(a) if the following conditions are met:

1. Revised elevation, site plan, and floor plan drawings for the proposed new home at 450 West Di Lido Drive shall be submitted, at a minimum, such drawings shall incorporate the following:

a. The proposed 2'-0" increase in height ~~shall not~~ be permitted as proposed; the maximum height of the two-story structure shall be ~~24'-0"~~ 26'-0" when measured from BFE + 2'-0" freeboard.

f. The protruding niche proposed along the first floor of the ~~south~~ north elevation, at the living room, is ~~not~~ an allowable encroachment into required yard, up to 25% not to exceed 6', whichever is less, and shall ~~not~~ be approved as proposed.





C.M.B. LANDSCAPE FINAL DRB SUBMITTAL - 03.08.21

NEW RESIDENCE | 450 W. DILIDO DR | MIAMI BEACH, FLORIDA

CLIENT / PROPERTY INFORMATION

PROPERTY ADDRESS  
450 W. DILIDO DRIVE  
MIAMI BEACH, FL 33139

EXISTING VEGETATION SUMMARY

The existing vegetation located on the property is composed mostly of palms and a few distinctive trees. The landscape architect is requesting to remove all the vegetation on site. Please note that the landscape architect intends to provide an improved landscape design that shall mitigate for the palm and tree loss by introducing new native trees to the site and meet all landscape requirements set forth by C.M.B. Chapter 126.

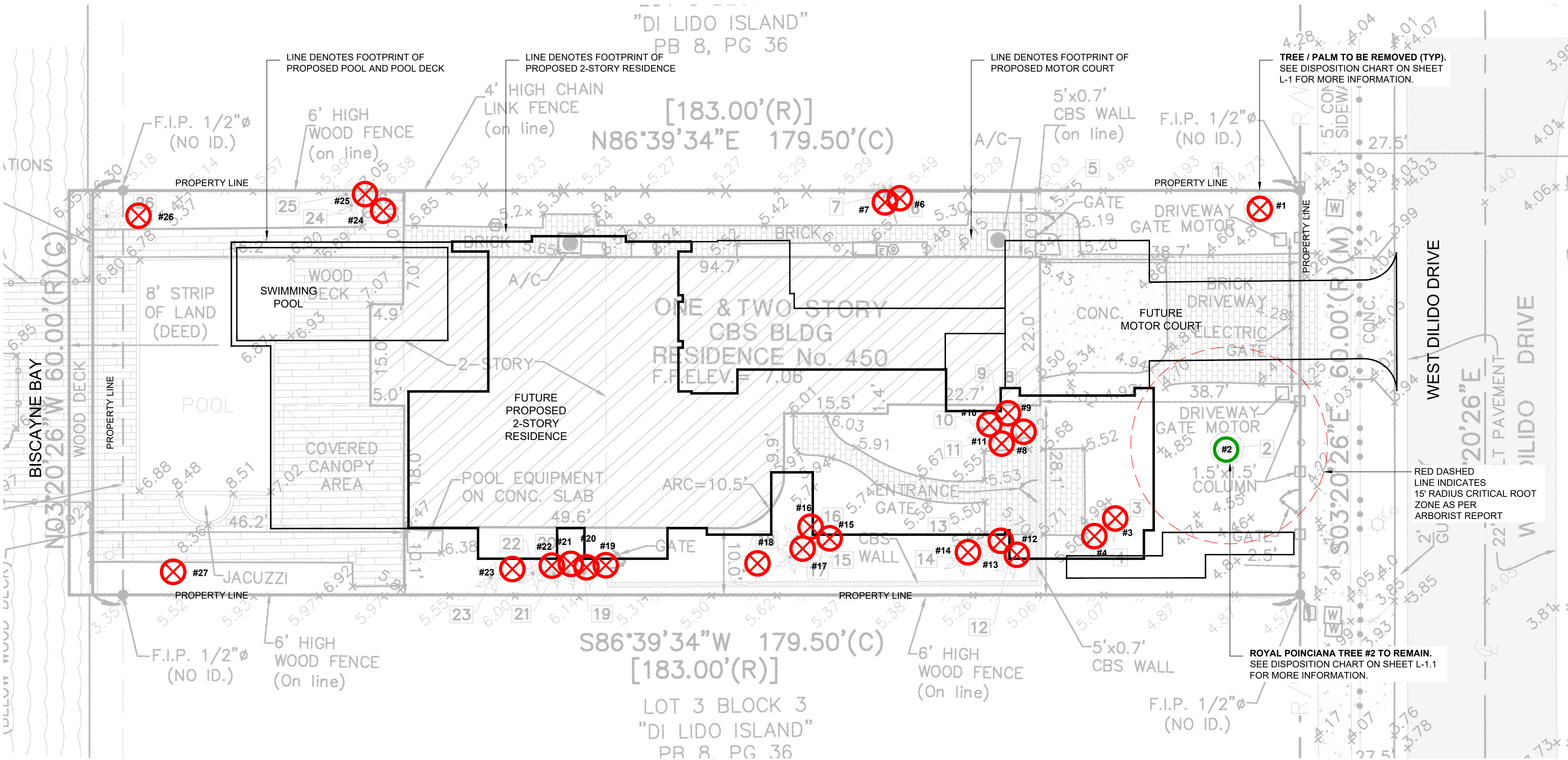
SCOPE OF WORK

- New landscape design to complement new Residence

INDEX OF SHEETS

- L-0.0 Landscape Cover + Sheet Index
- L-1.0 Existing Tree Survey + Disposition Plan
- L-1.1 Existing Tree Chart, Mitigation Summary, Notes + Details
- L-2.0 First Floor Landscape Plan
- L-2.1 Second Floor Landscape Plan
- L-3.0 Plant List, Landscape Notes + Details
- L-4.0 Schematic Grading Plan





C.M.B. CHAPTER 46, DIVISION 2 - TREE INVENTORY + DISPOSITION PLAN NOTES

1. THIS 'EXISTING TREE INVENTORY + DISPOSITION PLAN' HAS BEEN PREPARED IN ACCORDANCE WITH THE CITY OF MIAMI BEACH, CHAPTER 46 - ENVIRONMENT, DIVISION 2, TREE PRESERVATION and PROTECTION ORDINANCE.
2. EXISTING TREE, PALM, AND VEGETATION INFORMATION AS INDICATED HAS BEEN PREPARED AS AN OVERLAY ON THE SURVEY PREPARED BY HADONNE CORP. DATED 02.11.20
3. THE INFORMATION AS PRESENTED HEREIN HAS BEEN FIELD VERIFIED BY THE LANDSCAPE ARCHITECT ON 02.10.21
4. AN ARBORIST REPORT DATED 02.23.21 HAS BEEN PROVIDED BY ALEXIS ALVEY ISA CERTIFIED ARBORIST NY-5539B OF ALVEY TREE CONSULTING. PLEASE REFER TO ATTACHED REPORT FOR MORE INFORMATION.
5. MIAMI BEACH P+Z MUST APPROVE LANDSCAPE PLANS PRIOR TO REMOVING ANY TREES OR PALMS WITH A DBH BETWEEN 6" AND 12" INCHES. A WRITTEN TREE REMOVAL PERMIT IS REQUIRED FROM CITY OF MIAMI BEACH GREENSPACE MANAGEMENT / P.W FOR THE REMOVAL OF TREES / PALMS WITH A DBH GREATER THAN 12" INCHES OR IN THE R.O.W.
6. THE OWNER RESERVES THE RIGHT TO REMOVE ANY VEGETATION NOT LOCATED WITHIN THE CITY R.O.W. w/ a D.B.H. OF LESS THAN 6" WITHOUT OBTAINING A TREE REMOVAL PERMIT.
7. THERE ARE NO TREES or PALMS LOCATED ON THIS PROPERTY THAT WILL REQUIRE TEMPORARY IRRIGATION. ALL EXISTING TREES + PALMS ARE MATURE AND ARE CURRENTLY THRIVING WITHOUT SUPPLEMENTAL IRRIGATION WATER.

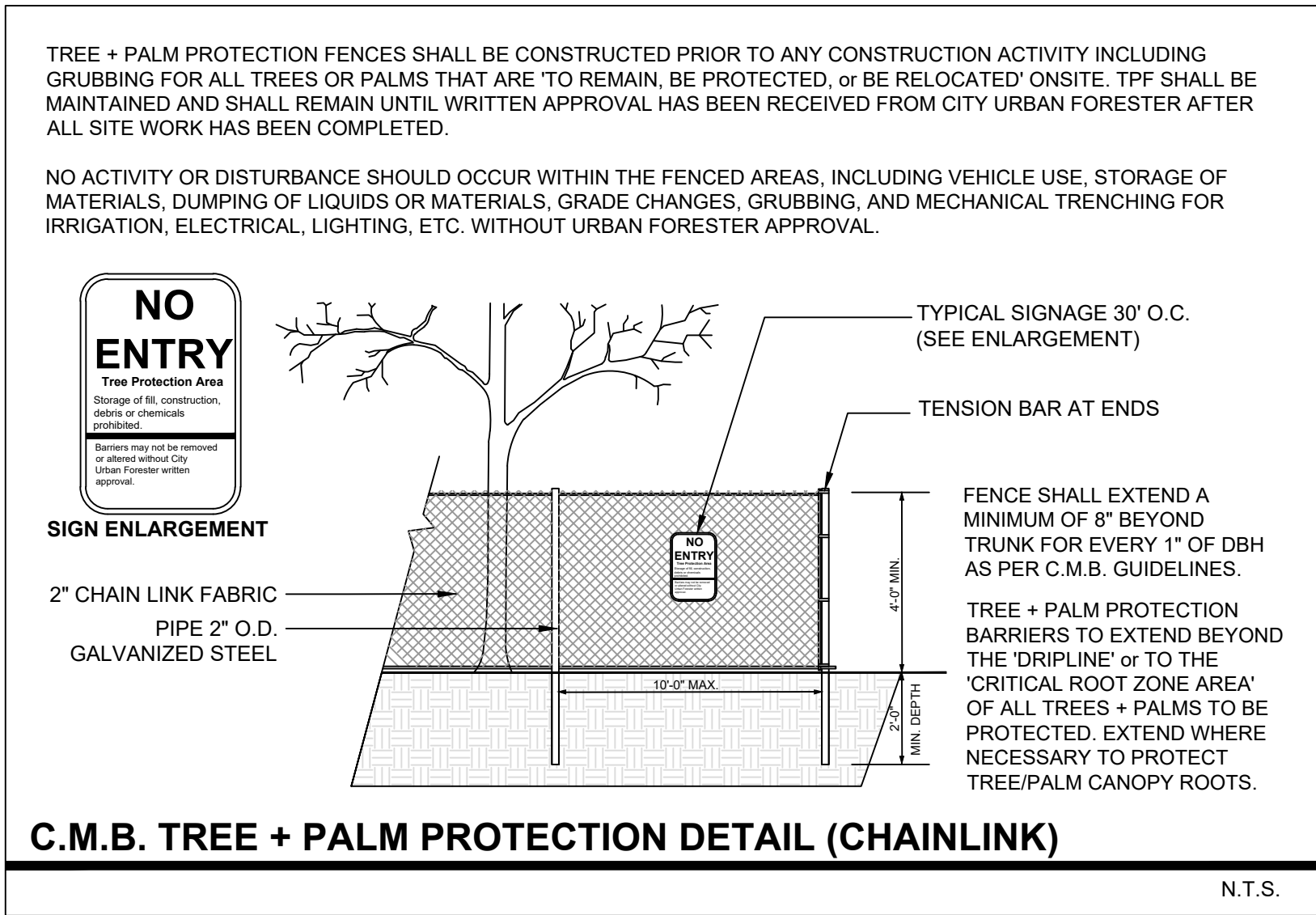
C.M.B. EXISTING TREE SURVEY LEGEND

- TREE or PALM TO BE REMOVED. SEE CHART L-1.1.
- TREE or PALM TO REMAIN. PRESERVE + PROTECT
- CRITICAL ROOT ZONE AS PER ARBORIST REPORT

EXISTING TREE SURVEY + DISPOSITION PLAN



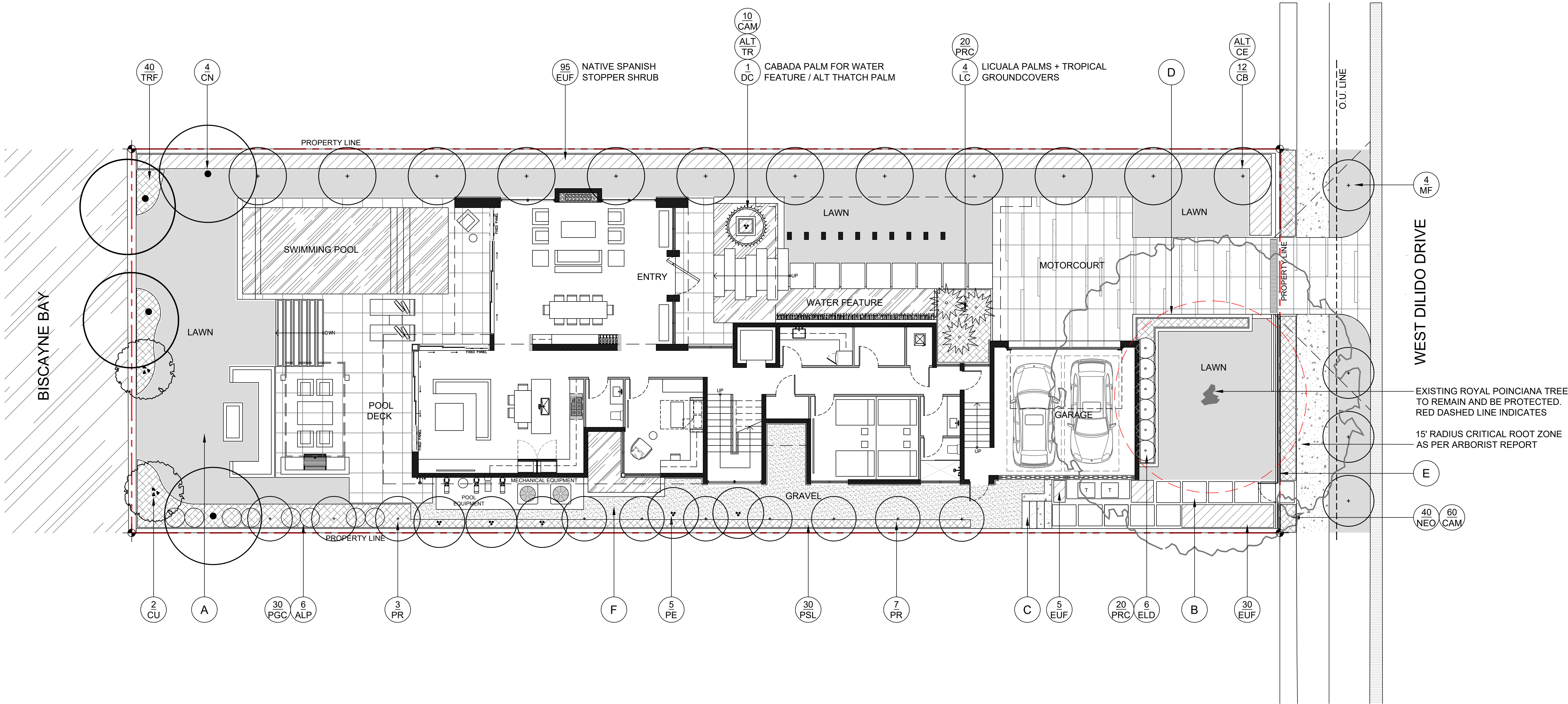




C.M.B. EXISTING TREE INVENTORY + DISPOSITION CHART - 450 W. DILIDO DRIVE									
NUMBER	COMMON NAME	BOTANICAL NAME	SPECIMEN	D.B.H. (IN)	HEIGHT (FT)	SPREAD (FT)	CONDITION	DISPOSITION	COMMENTS
#1	Umbrella Tree	Schefflera actinophylla	YES	35"	20'	20'	POOR	REMOVE	35" DBH IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#2	Royal Poinciana	Delonix regia	YES	30"	35'	55'	FAIR	REMAIN	N/A PRESERVE + PROTECT DURING CONSTRUCTION
#3	Queen Palm	Syagrus romanzoffiana	NO	11"	35'	15'	GOOD	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#4	Pygmy Date Palm (dbi)	Phoenix roebelenii	NO	4"	12'	8'	POOR	REMOVE	N/A SMALL PALM, NO MITIGATION REQUIRED
#5	Podocarpus	Podocarpus gracilior	NO	14"	30'	18'	GOOD	REMOVE	14" DBH IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#6	Corn Plant	Dracaena fragrans	NO	14"	25'	10'	POOR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#7	Weeping Fig	Ficus benjamina	NO	9"	25'	22'	GOOD	REMOVE	9" DBH IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#8	Chinese Fan Palm	Livistona chinensis	NO	8"	35'	12'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#9	Chinese Fan Palm	Livistona chinensis	NO	9"	30'	12'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#10	Chinese Fan Palm	Livistona chinensis	NO	9.5"	30'	12'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#11	Chinese Fan Palm	Livistona chinensis	NO	15.5"	40'	10'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#12	Chinese Fan Palm	Livistona chinensis	NO	9.5"	30'	12'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#13	Chinese Fan Palm	Livistona chinensis	NO	8.5"	30'	12'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#14	Royal Palm	Roystonea regia	NO	21"	50'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#15	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#16	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#17	Solitaire Palm	Ptychosperma elegans	NO	cluster	30'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#18	Strawberry Guava	Psidium cattleianum	NO	4.5"	20'	15"	FAIR	REMOVE	4" DBH IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#19	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#20	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#21	Traveler's Palm	Ravenala madagascariensis	NO	12"	25'	15"	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#22	Traveler's Palm	Ravenala madagascariensis	NO	8"	25'	10'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#23	Traveler's Palm	Ravenala madagascariensis	NO	9"	15'	0	DEAD	REMOVE	N/A DEAD PALM, NO MITIGATION REQUIRED
#24	Coconut Palm	Cocos nucifera	NO	12"	40'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#25	Coconut Palm	Cocos nucifera	NO	9.5"	35'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#26	Coconut Palm	Cocos nucifera	NO	10.5"	35'	15'	FAIR	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
#27	Coconut Palm	Cocos nucifera	NO	8"	23'	16"	GOOD	REMOVE	1 REP. TREE IN CONFLICT WITH SITE DESIGN. MITIGATION PROVIDED
TOTAL TREE DBH LOSS: 62" + THE REMOVAL OF (20) PALMS *									
TREE MITIGATION REQUIRED: (21) REPLACEMENT TREES @ 12HT x 2" DBH X 6' SPREAD									
PALM MITIGATION REQUIRED: (20) REPLACEMENT TREES @ 12HT x 2" DBH X 6' SPREAD									

CH. 46 TREE PRESERVATION + PROTECTION / TREE + PALM MITIGATION SUMMARY	
TOTAL TREE DBH LOSS: 62"	
REPLACEMENT TREES REQUIRED:	
(21) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (11) REPLACEMENT TREES REQUIRED @ 16' HEIGHT + 4" DBH + 8' SPREAD	
REPLACEMENT TREES PROVIDED: 22 REPLACEMENT TREES PROVIDED @ 12'HT + 2" DBH	
BREAKDOWN:	
- (11) BRAZILIAN BUEATYLEAF TREES @ 16' HEIGHT + 4" DBH + 8' SPREAD = 22 REPLACEMENT TREES	
TOTAL PALMS REMOVED: 20 PALMS	
REPLACEMENT TREES REQUIRED:	
(20) REPLACEMENT TREES REQUIRED @ 12' HEIGHT + 2" DBH + 6' SPREAD or (10) REPLACEMENT TREES REQUIRED @ 16' HT + 4" DBH + 8' SPREAD	
REPLACEMENT TREES PROVIDED: 20 REPLACEMENT TREES PROVIDED @ 12'HT + 2" DBH	
BREAKDOWN:	
- (1) BRAZILIAN BUEATYLEAF TREES @ 16' HEIGHT + 4" DBH + 8' SPREAD = 2 REPLACEMENT TREES	
- (2) NATIVE SEA GRAPE TREE @ 16' HEIGHT + 4" DBH + 8' SPREAD = 4 REPLACEMENT TREES	
- (4) NATIVE SIMPSONS STOPPER TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 4 REPLACEMENT TREES	
- (10) BAY RUM TREES @ 12' HEIGHT + 2" DBH + 6' SPREAD = 10 REPLACEMENT TREES	

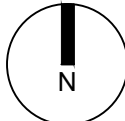




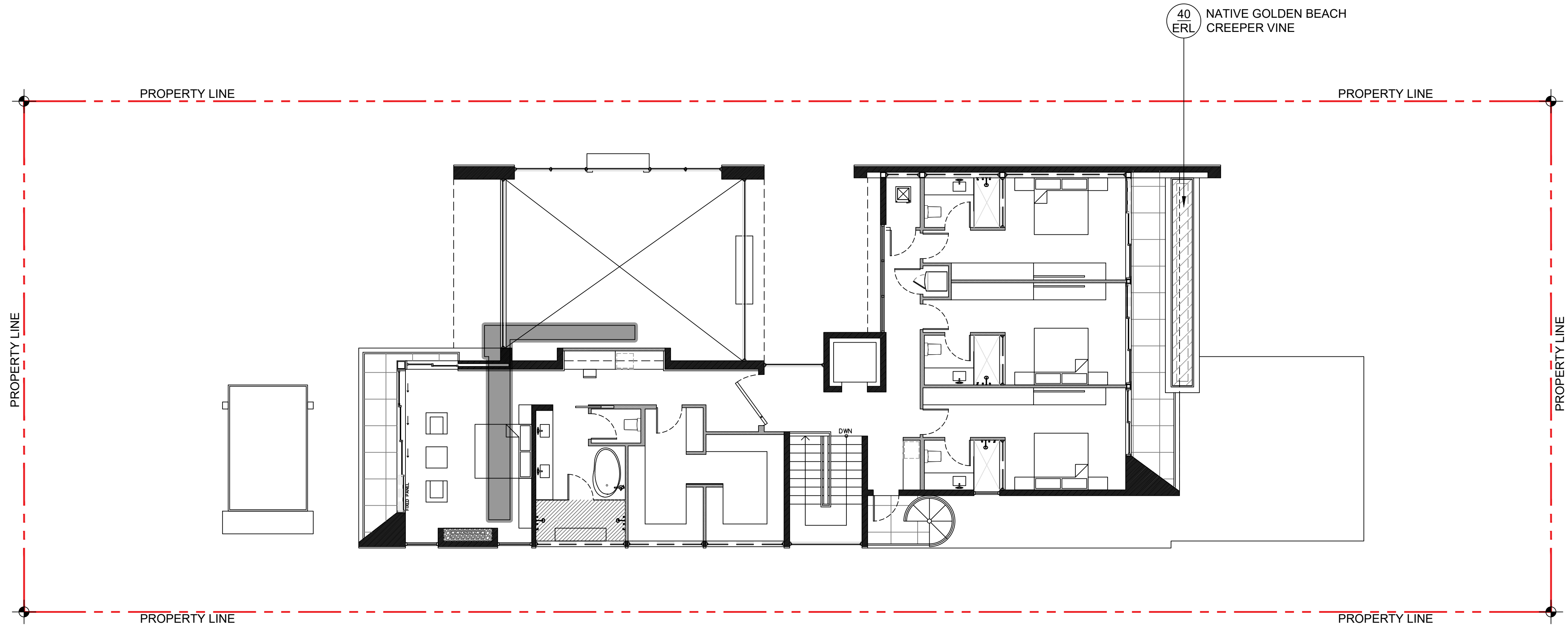
**LANDSCAPE PLAN LEGEND**

- (A) NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS
- (B) SAND SET STONE PAVERS
- (C) OOLITE RETAINING WALL + STEPS
- (D) OOLITE RETAINING WALL
- (E) CONTEMPORARY FENCE REFER TO ARCHITECTURE PLANS
- (F) 3/8" GREY DECOMPOSED GRANITE AGGREGATE OVER FILTER FABRIC

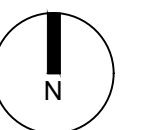
**FIRST FLOOR LANDSCAPE PLAN**







SECOND FLOOR LANDSCAPE PLAN



seal

CHRISTOPHER CAWLEY, RLA  
Florida License LA 5666786

comm no.  
2061

date:  
02/15/2021

revised:  
FINAL DRB 03.08.21

sheet no.

L-2.1

DANDEKAR RESIDENCE  
450 W DILDO DRIVE  
MIAMI BEACH, FLORIDA, 33139

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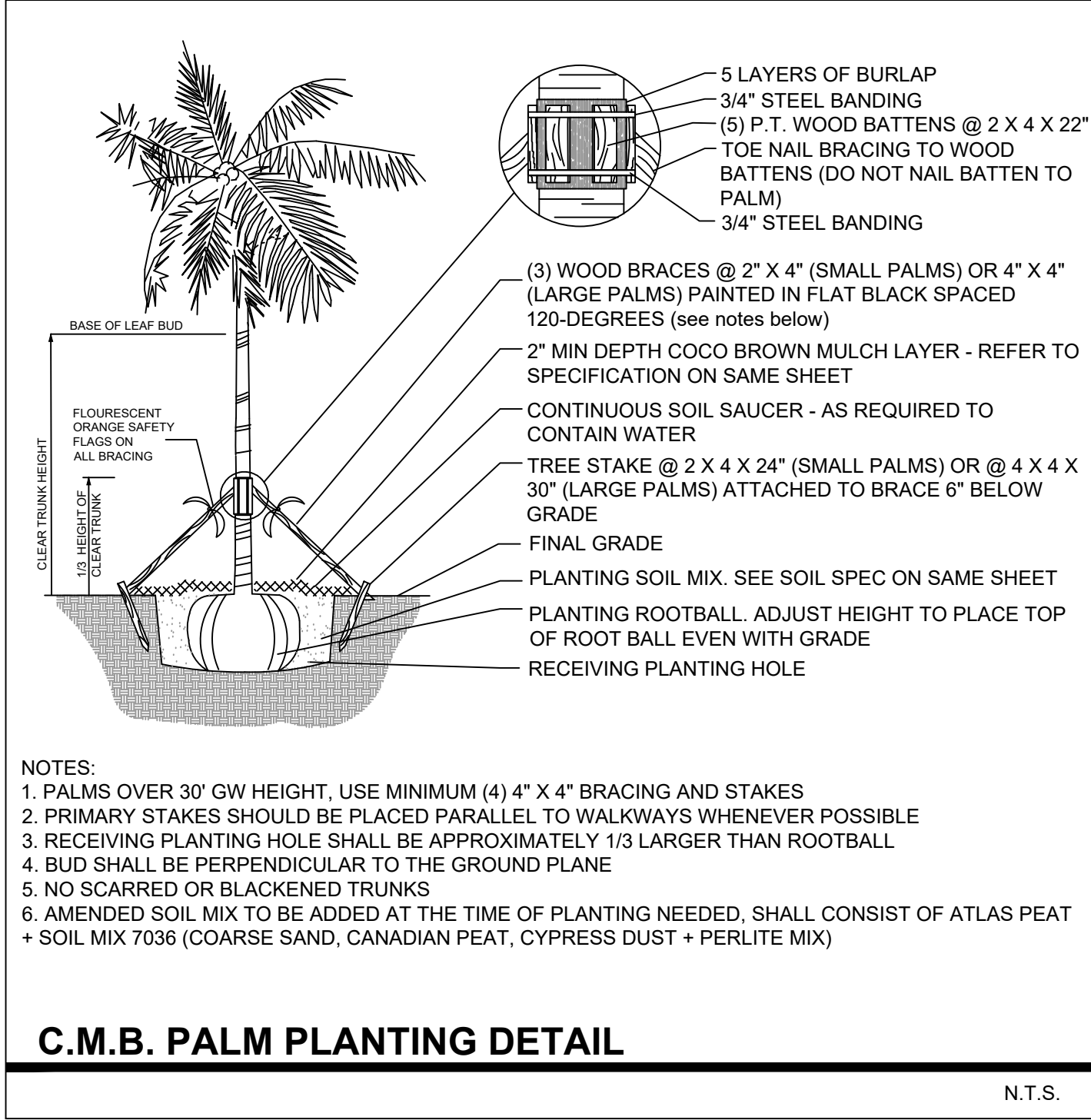
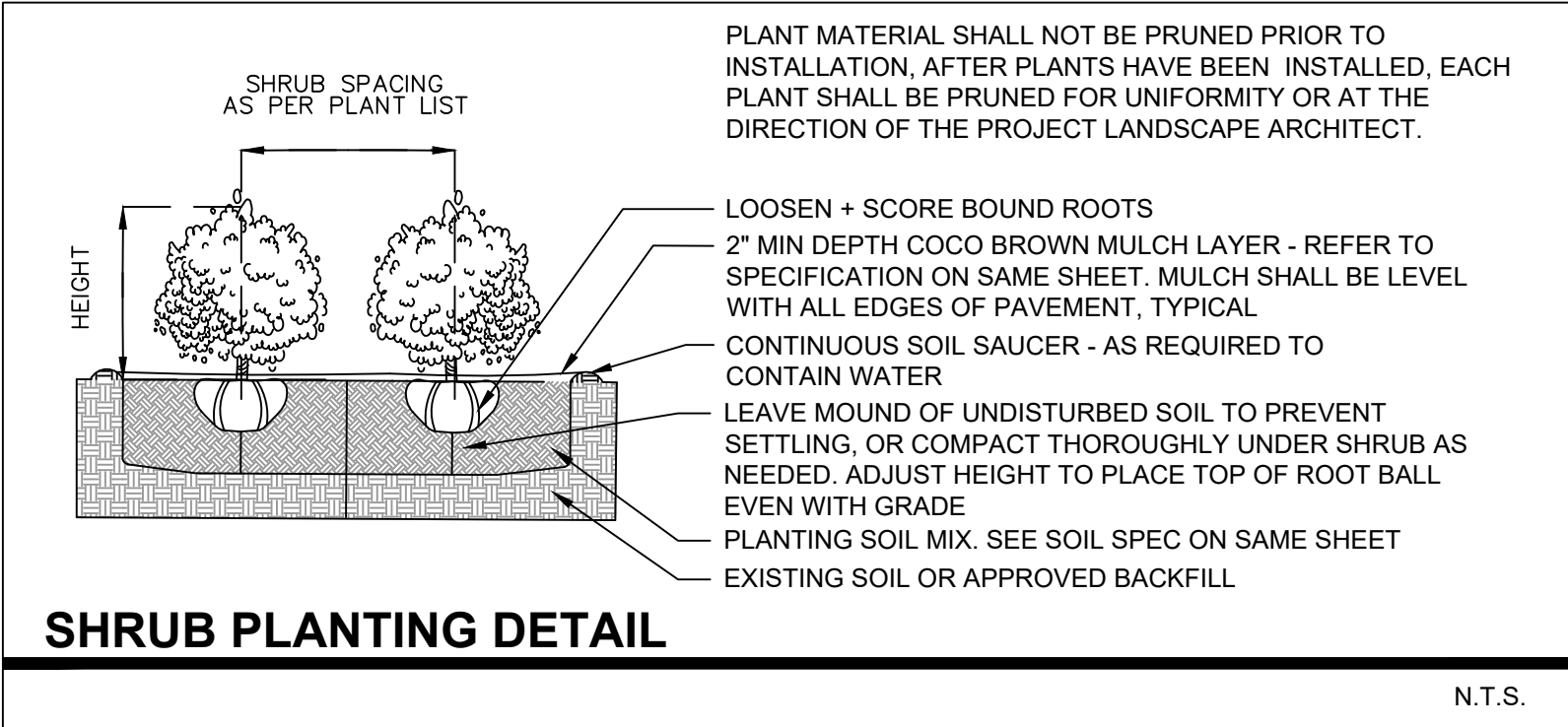
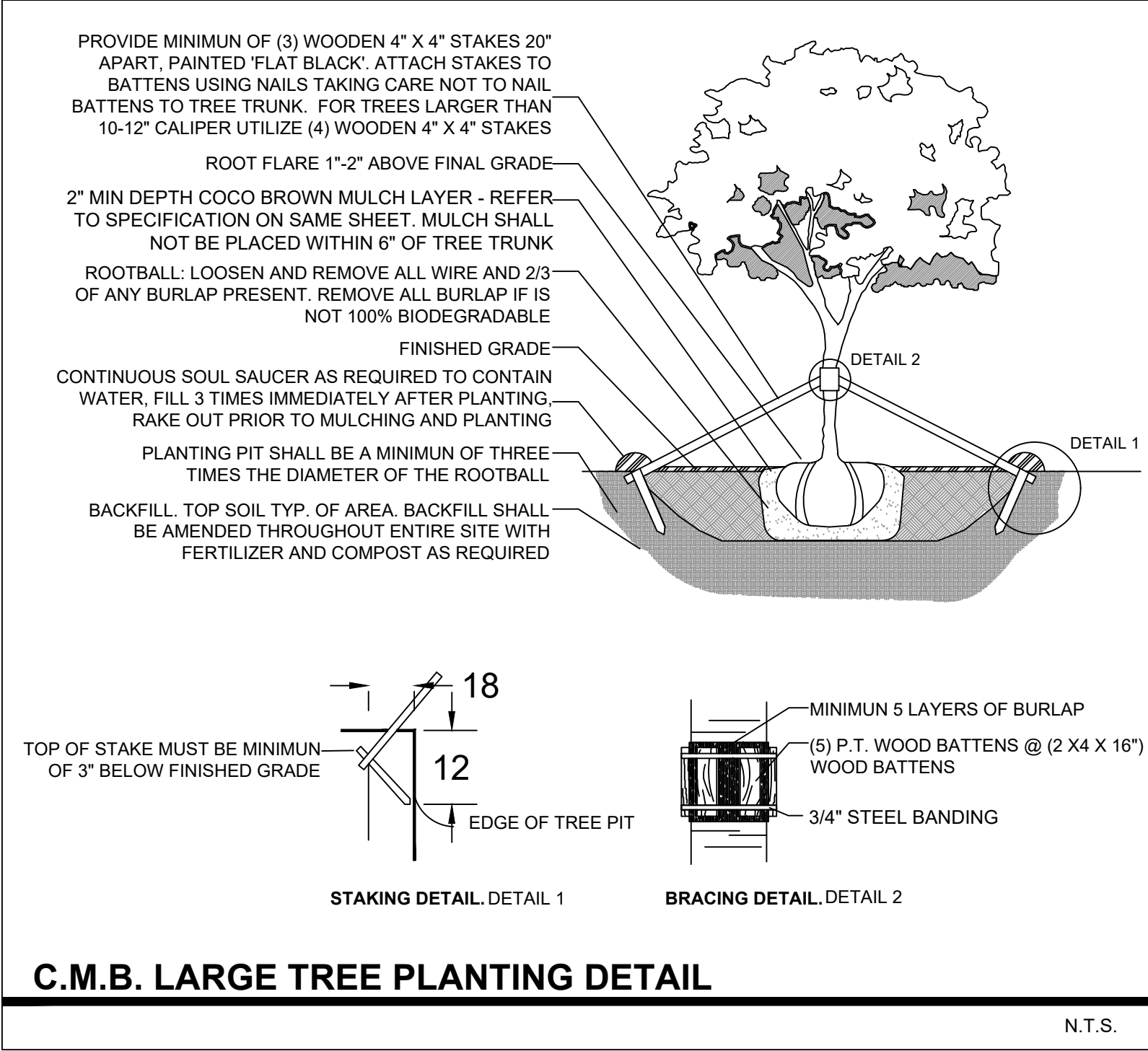
FINAL SUBMITTAL  
03/08/2021



LANDSCAPE NOTES

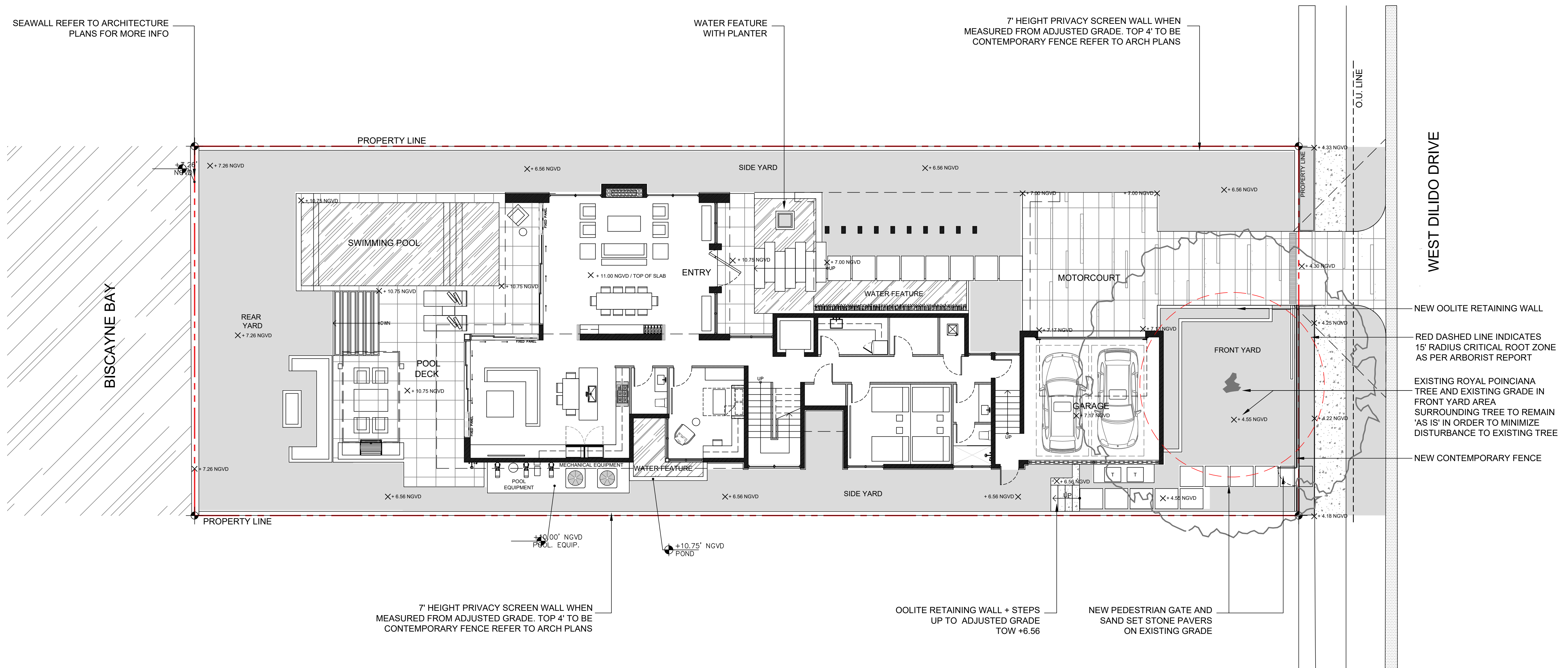
1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER.
2. CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF, AVOID, AND PROTECT ALL UTILITY LINES, BURIED CABLES, AND OTHER UTILITIES.
3. TREE, PALM, ACCENT AND BED LINES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ALL PLANTING SOIL SHALL BE 50:50 TOPSOIL:SAND MIX, FREE OF CLAY, STONES, ROCKS, OR OTHER FOREIGN MATTER. THIS SPECIFICATION INCLUDES ALL BACKFILL FOR BERMS AND OTHER LANDSCAPE AREAS.
- CARE SHALL BE TAKEN TO AVOID PLACEMENT OF CONSTRUCTION FILL, GRAVEL, AND OR DEBRIS OVER THE ROOTBALLS OF INSTALLED OR EXISTING TREES AND OR PALMS ON SITE.
- GROUNDCOVER PLANTING BEDS:  
6" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
- SHRUB AND HEDGE PLANTING AREAS:  
12" DEPTH PLANTING SOIL SPREAD IN PLACE- THROUGHOUT.
- TREES, PALMS, SPECIMEN PLANT MATERIAL LOCATIONS:  
REMOVE ALL LIMEROCK PRESENT TO A DEPTH OF AT LEAST 30"BEFORE PLACING NEW PLANTING SOIL. APPLY NEW CLEAN PLANTING SOIL IN PLANTING AREA AS REQUIRED
5. THE SITE CONTRACTOR SHALL BE RESPONSIBLE TO BRING ALL GRADES TO WITHIN 2" OF FINAL GRADES. THIS SHALL INCLUDE A 2" APPLICATION OF 50:50 TOPSOIL:SAND MIX FOR ALL LANDSCAPE AND AREAS TO BE SODDED.
6. THE LANDSCAPE CONTRACTOR SHALL CALCULATE AND SUBMIT AN ITEMIZED PRICE FOR THE 2" APPLICATION OF 50:50 MIX FOR ALL SOD AREAS AS A REFERENCE IN THE CASE THAT THERE WOULD BE A DISCREPANCY BETWEEN SITE AND LANDSCAPE CONTRACTORS AND NOTIFY THE SITE CONTRACTOR OR PROJECT SUPERINTENDENT AS TO THIS DISCREPANCY. IT WILL THEN BE DETERMINED WHICH PARTY WILL PROVIDE THIS 2" TOPSOIL:SAND APPLICATION AND SUBSEQUENT PAYMENT.OTHER PLANTING SOIL MIXES TO BE ADDED, I.E. FOR TREES, PALMS, SPECIMEN PLANTS, SHRUBS AND GROUNDCOVERS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND BE INCLUSIVE WITH THE LANDSCAPE BID.
7. ALL EXISTING TREE + PALM INFORMATION THAT HAS BEEN PROVIDED ON THIS PLAN FOLLOWS THE CITY OF MIAMI BEACH TREE PERMITTING GUIDELINES. ANY TREES or PALMS CONSIDERED INVASIVE OR THAT FALLS UNDER THE TREE PERMIT EXEMPTION / PROHIBITED SPECIES LIST 24-94 (4) MAY NOT BE SHOWN FOR CLARITY PURPOSES. ANY DISCREPANCIES IF NOTED UPON FURTHER FIELD INSPECTION SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.
8. IRRIGATION SHALL PROVIDE FOR A 100% COVERAGE WITH 50% OVERLAP MINIMUM AND BE PROVIDED BY A FULLY AUTOMATIC IRRIGATION SYSTEM W/ RAIN MOISTURE SENSOR ATTACHED TO CONTROLLER. ALL FLORIDA BUILDING CODE APPENDIX "I" IRRIGATION REQUIREMENTS SHALL BE STRICTLY ADHERED TO FOR INSTALLATION AND PREVAILING WATER MANAGEMENT DISTRICT RESTRICTIONS AND REGULATIONS SHALL BE IN COMPLIANCE FOR POST-INSTALLATION WATERING. SCHEDULES CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AND LEAVE PROVISIONS FOR ALL SLEEVING AND PIPE ROUTING. ALL UNDERGROUND UTILITIES TO BE LOCATED BY DIALING 811 AS REQUIRED BY LAW.
9. ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 2" WITH APPROVED NATURAL SHREDDED COCO BROWN MULCH MULCH FREE FROM WEEDS AND PESTS. NO 'NUGGETS', 'CYPRESS MULCH' OR 'RED DYED MULCH' TO BE ACCEPTED. KEEP MULCH 6" AWAY FROM TREE OR PALM TRUNKS AS PER INDUSTRY RECOMMENDATIONS.
10. ALL TREES, PALMS, SHRUBS AND GROUNDCOVERS, AND SOD / LAWN SHALL CARRY A ONE-YEAR WARRANTY FROM THE DATE OF FINAL ACCEPTANCE.
11. ALL TREES AND PALMS SHALL BE STAKED PER ACCEPTED STANDARDS BY THE FLORIDA NURSERYMEN & GROWERS LANDSCAPE ASSOCIATION (FNGLA) AND ANSI A-300 (PART 6)-2012 TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT STANDARD PRACTICES (PLANTING AND TRANSPLANTING). CONTRACTOR SHALL ENSURE THAT THE PLANS, DETAILS, SPECIFICATIONS AND NOTES HAVE BEEN ADHERED TO AND THAT THE LANDSCAPE AND IRRIGATION INSTALLATION IS COMPLIANT TO ALL ITEMS AS DIRECTED ON THE PLANS PRIOR TO SCHEDULING OF THE FINAL INSPECTION.
- CONTRACTOR SHALL REMOVE ALL STAKES, POLES, WELLINGTON TAPE AND OR BRACING MATERIALS FROM ALL PALMS, TREES AND SHRUBS WITHIN 1 YEAR OF INSTALLATION.
12. THE PLANT LIST IS INTENDED ONLY AS AN AID TO BIDDING. ANY DISCREPANCIES FOUND BETWEEN THE QUANTITIES ON THE PLAN AND PLANT LIST, THE QUANTITIES ON THE PLAN SHALL BE HELD VALID.
13. IF NECESSARY, CONTRACTOR SHALL PROVIDE A WATER TRUCK DURING PLANTING TO ENSURE PROPER WATERING-IN DURING INSTALLATION AND CONTRACTOR WILL BE RESPONSIBLE FOR CONTINUAL WATERING UNTIL FINAL ACCEPTANCE BY THE OWNER.
- A MINIMUM OF 6 MONTHS OF SUPPLEMENTAL HAND OR AUTOMATIC IRRIGATION SYSTEM WATERING SHALL BE REQUIRED TO AID IN NEW TREE OR PALM ESTABLISHMENT.
13. FERTILIZATION: ONE COMPLETE APPLICATION OF GRANULAR FERTILIZER SHALL BE APPLIED PRIOR TO FINAL ACCEPTANCE AND APPROVAL BY THE LANDSCAPE ARCHITECT. FERTILIZER SHALL BE SCOTTS AGRIFORM 20-10-5 PLANTING TABS OR APPROVED EQUAL AS RECOMMENDED BY LANDSCAPE CONTRACTOR
14. SHOULD ANY TREES OR PALMS BE DAMAGED THEY SHALL BE EVALUATED BY THE CITY URBAN FORESTER TO DETERMINE CORRECTIVE ACTIONS THAT MAY INCLUDE REMOVAL, CORRECTIVE PRUNING AND OR REPLACEMENT. ANY CORRECTIVE ACTION REQUIRED SHALL BE PERFORMED IN ACCORDANCE WITH A CITY OF MIAMI BEACH CODE, ANSI-A 300 PRUNING STANDARDS AND OR AN ISSUED ERM TREE PERMIT OR ENVIRONMENTAL PERMIT. ANY CORRECTIVE PRUNING REQUIRED SHALL BE PERFORMED BY AN ISA CERTIFIED ARBORIST OR ASCA CONSULTING ARBORIST AND THE CITY URBAN FORESTER SHALL BE CONSULTED.
15. ALL TREES + PALMS TO REMAIN OR BE RELOCATED ON SITE IN THE VICINITY OF CONSTRUCTION ACTIVITIES, SHALL BE PROTECTED THROUGH THE USE OF TREE PROTECTION BARRICADES INSTALLED AT THE TREE OR PALM DRIP LINE. A TREE PROTECTION FENCE SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING AND SHALL REMAIN IN PLACE UNTIL ON SITE CONSTRUCTION HAS BEEN COMPLETED.
17. MULCH SHALL NOT BE APPLIED WITHIN 6" OF ANY TREE OR PALM TRUNK THAT IS INSTALLED OR INCORPORATED INTO THE PROJECT. FOR ROW TREES + PALMS, ALL MULCH SHALL BE AMERIGROW PREMIUM PINEBARK BROWN- SHREDDED MULCH OR A CITY APPROVED ALTERNATIVE.

PLANT LIST - 450 W. DILIDO DRIVE					
KEY	QTY.	NATIVE	COMMON NAME	BOTANICAL NAME	HEIGHT, SPECIFICATION, & NOTES
TREES					
CB	12	NO	BRAZILIAN BUEATYLEAF	Calophyllum brasiliense	16' ht min, 8' spread min, 4" dbh, standard trunk
CE	ALT	YES	GREEN BUTTONWOOD	Conocarpus erectus	16' ht min, 8' spread min, 4" dbh, standard trunk
CU	2	YES	SEA GRAPE TREES	Coccoloba uvifera	14' ht min, 8' spread min, 4" dbh, multi trunk
EF	ALT	YES	SPANISH STOPPER TREE	Eugenia foetida	12' ht min, 6' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
PR	10	NO	BAYRUM TREE	Pimenta racemosa	12' ht min, 6' spread min, 2" dbh, standard trunk, equal to Treeworld Wholesale
MF	4	YES	SIMPSON STOPPER	Myrcianthes fragrans	12' ht min, 6' spread min, 2" dbh, 5' clear trunk, standard trunk, equal to Treeworld Wholesale
PALMS					
CN	4	NO	COCONUT PALM	Cocos nucifera 'Maypan'	8' gray wood, leaning, Florida Fancy
DC	1	NO	CABADA PALM	Dypsis cabadae	8' gray wood, leaning, Florida Fancy
LC	4	NO	LICUALA PALMS	Licuala grandis	2 - 3' overall height, Florida Fancy
PE	5	NO	ALEXANDER PALMS	Ptychosperma elegans	12'-13' ht clear trunk, 7-8' gray wood, double, #2 thin trunk
TR	ALT	YES	THATCH PALM	Thrinax radiata	5' height, Florida Fancy
SHRUBS					
ELD	6	NO	JAPANESE BLUEBERRY	Elaeocarpus decipiens	15 gallon, 4-5' height, 2" spread, 30" on center, matched
EUF	130	YES	SPANISH STOPPER SHRUB	Eugenia foetida	15 gallon, 5' height, 2' spread, 30" on center
PSL	30	YES	DWARF BAHAMA COFFEE	Psychotria ligustrifolia	7 gallon, 2' - 3' height, 30" spread
GROUNDCOVERS					
ALP	6	NO	TORCH GINGER	Alpinia purpurata	15 gallon, 5' on center, full
CAM	70	NO	CARISSA 'EMERALD BLANKET'	Carissa macrocarpa	3 gallon, 12" on center, full
ERL	40	NO	GOLDEN BEACH CREEPER	Ernodea littoralis	1 gallon, 12" on center, full
LIR	AS REQ	NO	LILYTURF	Liriope muscari	1 gallon, 12" on center, full
MOD	6	NO	SWISS CHEESE PLANT	Monstera deliciosa	3 gallon, 24" on center, full
NEO	40	NO	NEOMARICA	Neomarica caerulea 'Regina'	3 gallon, 24" on center, full
PGC	30	NO	PHILODENDRON 'GREEN CONGO'	Same	3 gallon, 18" on center, full
PRC	40	NO	PHILODENDRON 'ROJO CONGO'	Same	3 gallon, 18" on center, full
TRF	40	NO	DWARF FAKAHATCHEE	Tripsacum floridana	1 gallon, 12" spread, full
SOD, AGGREGATE & MULCH					
MLC	AMERIGROW 'PREMIUM PINEBARK BROWN' SHREDDED MULCH				
SOD	NATIVE SEA SHORE PASPALUM LAWN - OVER 2" TOPSOIL BED, SEE PLANTING SPECS				
DGA	3/8" DECOMPOSED GRANITE AGGREGATE OR STONE TO BE SELECTED, INSTALLED OVER FILTER FABRIC AND WEED BARRIER MATERIAL / OLIMAR, 2" MIN. DEPTH				



LANDSCAPE LEGEND			
MIAMI BEACH LANDSCAPE ORDINANCE CHAPTER 26 (RS1 - RS4 Single Family Home Residential )			
ZONING: RS3	LOT SIZE: 10,770 SF	ACRES: .25	STREET TREE REQUIREMENT AVERAGE STREET TREE SPACING 20' ON CENTER W. DILIDO : 60 LF / 20 = 3 STREET TREES REQUIRED / 4 STREET TREES PROVIDED (4 NATIVE SIMPSON STOPPER TREES PROVIDED)
TREES FRONT YARD - 2 TREES REQUIRED / 3 TREES PROVIDED REAR YARD -3 TREES REQUIRED / 3 TREES PROVIDED			SHRUBS 12 SHRUBS (OR VINES) REQUIRED FOR EACH REQUIRED LOT AND STREET TREE or 12 X (13) = 160 SHRUBS REQUIRED / 160 SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS + 30 NATIVE DWARF BAHAMA COFFEE + 6 JAPANESE BLUEBERRY SHRUBS PROVIDED)
TOTAL OF 5 TREES REQUIRED FOR LOTS UP TO 6,000 SF. 1 ADDITIONAL TREE IS REQUIRED FOR EACH ADDITIONAL 1,000 SF OF LOT AREA.			NATIVE SHRUBS 50% OF TOTAL SHRUBS REQUIRED MUST BE NATIVE or .50 X 156 = 78 NATIVE SHRUBS REQUIRED / 160 NATIVE SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS + 30 NATIVE DWARF BAHAMA COFFEE PROVIDED)
10,770 - 6,000 = 4,770 SF = 10 TOTAL TREES REQUIRED / 24 TREES PROVIDED. (2 NATIVE SEA GRAPE TREE + 10 BAYRUM TREES + 12 BRAZILIAN BUEATYLEAF TREES PROVIDED)			LARGE SHRUBS / SMALL TREES 10% OF TOTAL SHRUBS REQUIRED MUST BE LARGE SHRUBS OR SMALL TREES or .10 X 156 = 16 LARGE SHRUBS REQUIRED / 130 LARGE SHRUBS / SMALL TREES PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS PROVIDED)
DIVERSITY REQUIREMENT 6-10 REQUIRED TREES = 3 TREE SPECIES / 4 SPECIES PROVIDED			NATIVE LARGE SHRUBS / SMALL TREES 50% OF TOTAL LARGE SHRUBS REQUIRED MUST BE NATIVE or .50 X 16 = 8 NATIVE LARGE SHRUBS REQUIRED / 130 NATIVE LARGE SHRUBS PROVIDED (130 NATIVE SPANISH STOPPER SHRUBS PROVIDED)
NATIVE TREES 30% OF REQUIRED TREES OR .30 X 10 = 3 NATIVE TREES REQUIRED / 6 NATIVE TREES PROVIDED (2 NATIVE SEA GRAPE TREE + 4 NATIVE SIMPSON STOPPER TREES PROVIDED)			LAWN AREA 50% MAXIMUM OF LANDSCAPE AREA: NEW LAWN AREAS ARE LESS THAN 50% OF LANDSCAPE AREA
LOW MAINTENANCE TREES 50% OF REQUIRED TREES OR .50 X 10 = 5 LOW MAINTENANCE REQUIRED / 12 LM TREES PROVIDED (2 NATIVE SEA GRAPE TREE + 10 BAY RUM TREES PROVIDED)			IRRIGATION SYSTEM 100% COVERAGE PROVIDED PURSUANT TO CMB REQUIREMENTS SET IN CHAPTER 126

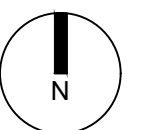




1/8" = 1'-0"



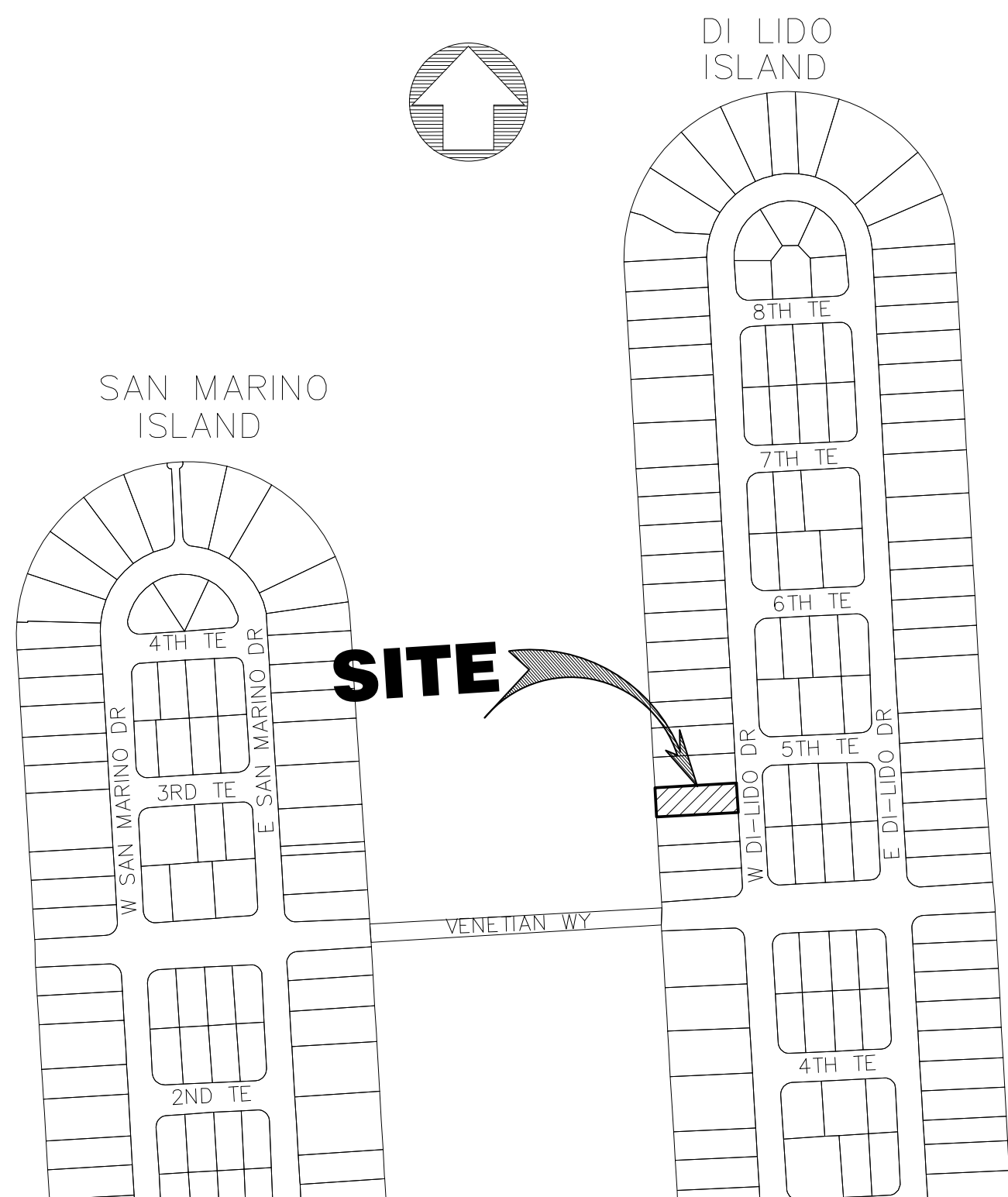
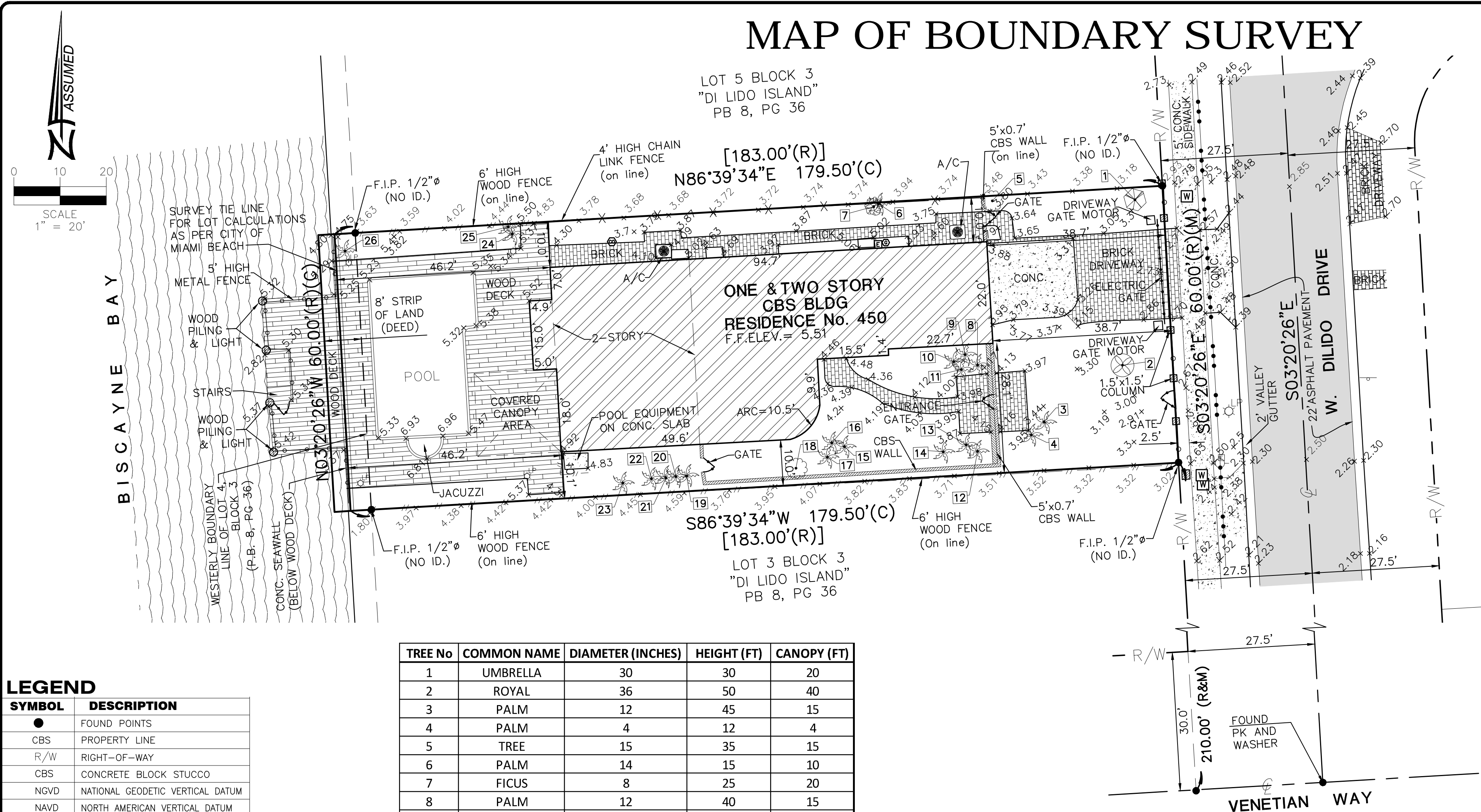
0' 8' 16' 24'





# MAP OF BOUNDARY SURVEY

SECTION 32 - TOWNSHIP 53 SOUTH - RANGE 42 EAST



## LEGEND

SYMBOL	DESCRIPTION
●	FOUND POINTS
CBS	PROPERTY LINE
R/W	RIGHT-OF-WAY
CBS	CONCRETE BLOCK STUCCO
NGVD	NATIONAL GEODETIC VERTICAL DATUM
NAVD	NORTH AMERICAN VERTICAL DATUM
PB	PLAT BOOK
PG	PAGE
F.N.D.	FOUND NAIL & DISK
EXISTING ELEVATION	EXISTING ELEVATION
F.F.ELEV.	FINISH FLOOR ELEVATION
F.I.P.	FOUND IRON PIPE
F.I.R.	FOUND IRON REBAR
(D)	DEED
(C)	CALCULATED DISTANCE
(M)	MEASURED DISTANCE
⊕	GAS VALVE
ⓔ	ELECTRIC UTILITY BOX
Ⓛ	LIGHT POLE
←	GUY ANCHOR
Ⓜ	WATER METER
Ⓥ	WATER VALVE
Ⓢ	SANITARY SEWER MANHOLE
Ⓢ	SANITARY SEWER CLEAN-OUT
Ⓢ	MANHOLE-UNKNOWN
Ⓢ	DRAINAGE MANHOLE
Ⓢ	SIGN
Ⓢ	WOOD UTILITY POLE
Ⓢ	TREE NUMBER
Ⓢ	CBS WALL
Ⓢ	WOOD FENCE
Ⓢ	IRON FENCE
Ⓢ	IRON ROLLING GATE
Ⓢ	IRON SWING GATE
Ⓢ	CHAIN-LINK FENCE
Ⓢ	CHAIN-LINK ROLLING GATE
Ⓢ	FENCE_OTHER
Ⓢ	TREE
Ⓢ	PINE TREE
Ⓢ	PALM TREE
Ⓢ	OVERHEAD UTILITY LINE
Ⓢ	BRICK
Ⓢ	BUILDING HATCH
Ⓢ	CONCRETE
Ⓢ	TILE
Ⓢ	ASPHALT PAVEMENT
Ⓢ	WOOD DECK

TREE No	COMMON NAME	DIAMETER (INCHES)	HEIGHT (FT)	CANOPY (FT)
1	UMBRELLA	30	30	20
2	ROYAL	36	50	40
3	PALM	12	45	15
4	PALM	4	12	4
5	TREE	15	35	15
6	PALM	14	15	10
7	FICUS	8	25	20
8	PALM	12	40	15
9	PALM	12	40	15
10	PALM	12	40	15
11	PALM	15	50	15
12	PALM	12	45	15
13	PALM	12	45	15
14	PALM	24	70	20
15	PALM	4	20	10
16	PALM	4	20	10
17	PALM	4	20	10
18	TREE	4	20	15
19	PALM	14	40	15
20	PALM	14	40	15
21	PALM	14	40	15
22	PALM	14	12	10
23	PALM	10	30	15
24	PALM	14	60	15
25	PALM	12	50	15
26	PALM	12	50	15

## SURVEYOR'S NOTES:

### SECTION 1) DATE OF FIELD SURVEY:

- The date of completion of the field work for the original Survey was on February 11, 2020.
- The date of completion of the Update Survey was on November 18, 2020.
- The date of completion of the Update Survey was on February 15, 2021.

### SECTION 2) LEGAL DESCRIPTION:

Lot 4, Block 3, of "PLAT DI LIDO", according to the Plat thereof recorded in Plat Book 8, Page 36, of the Public Records of Miami-Dade County, Florida, together with an 8 foot strip of land contiguous to the Westerly extension of said Lot 4, lying between the Westerly extension of the Northerly and Southerly boundary lines of said Lot 4, together with all common law and Statutory Riparian Rights.

Containing 10,770 Square Feet by calculation.

**Property Address and Tax Folio Number:**  
450 W Di Lido Drive, Miami Beach, Florida 33139  
Folio No. 02-3232-011-0330

### SECTION 3) ACCURACY:

The accuracy obtained by field measurement methods and office calculations of closed geometric figures meets and exceeds the Standards of Practice requirement for this Type of Survey as defined in Rule 5J-17.051, Florida Administrative Code.

Elevations of well identified features as depicted on the Survey Map were measured to an estimated vertical position accuracy of 1/100 of a foot on hard surfaces and 1/10 of a foot on ground surfaces.

Well identified features as depicted on the Survey Map were measured to an estimated horizontal position accuracy of 1/10 of a foot.

This Map of Survey is intended to be displayed at a scale of (1"=20') or smaller.

### SECTION 4) SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

(Warranty Deed, dated August 23rd, 2018, recorded in Official Records Book 31111, Page 4335, Miami-Dade County Records).

Bearings as shown hereon are based upon the Easterly Boundary Line with an assumed bearing of N03°20'26"W, said line to be considered a well established and monumented line.

This property is to be located in Flood Zone "AE" with a Base Flood Elevation being 9.0 Feet [7.45 feet (NAVD-88)] , as per Federal Emergency Management Agency (FEMA) Community Number 120651 (City of Miami Beach), Map Panel No. 12086C0316, Suffix L, Map Revised Date: September 11, 2009.

Legal Description was furnished by client.

Elevations as shown hereon are based on the North American Vertical Datum (NAVD-88).

The Benchmark (BM) used was a Miami-Dade County Benchmark.  
Name: D-170-R  
Elevation: 7.80 feet  
Datum: National Geodetic Vertical Datum of 1929 (NGVD-29)

The BM elevation was converted from NGVD-29 to NAVD-88 by reducing the Datum elevation difference of 1.55

BM D-170-R elevation= 7.80 (NGVD-29)  
-1.55  
= 6.25 (NAVD-88)

### SECTION 5) LIMITATIONS:

Since no other information were furnished other than that is cited in the Sources of Data, the Client is hereby advised that there may be legal restrictions on the Subject Property that are not shown on the Survey Map that may be found in the Public Records of Miami-Dade County.

The Surveyor makes no representation as to ownership or possession of the Subject Property by any entity or individual that may appear on the public records of this County.

No excavation or determination was made as to how the Subject Property is served by utilities.

No improvements were located, other than those shown. No underground foundations, improvements and/or utilities were located or shown hereon.

### SECTION 6) CLIENT INFORMATION:

This Boundary Survey was prepared at the request of and certified to:

ASHWIN DANDEKAR AND LALITA DANDEKAR  
CHARLES RATNER, P.A.  
CHICAGO TITLE INSURANCE COMPANY

### SECTION 7) SURVEYOR'S CERTIFICATE:

I hereby certify: That this "Boundary Survey" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "Boundary Survey" meets the intent of the applicable provisions of the "Standards of Practice for Land Surveying in the State of Florida", pursuant to Rule 5J-17.051 through 5J-17.052 of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

HADONNE CORP., a Florida Corporation  
Florida Certificate of Authorization Number LB7097

Raul Izquierdo  
2021.02.18 15:42:28 -05'00'

By: Raul Izquierdo, PSM  
For the Firm  
Registered Surveyor and Mapper LS6099  
State of Florida

NOTICE: Not valid without the original signature and seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.

REVISIONS			
1. UPDATE SURVEY & RECTIFICATION 11-18-2020	6.	7.	16.
2. UPDATE SURVEY 02-15-2021	7.	12.	17.
3.	8.	13.	18.
4.	9.	14.	19.
5.	10.	15.	20.

**HADONNE**  
1983 NW 88th Court, Suite 101 • Doral, FL 33172 • P: +1(305)266-1188 • F: +1(305)207-6845 • W: www.hadonne.com

LAND SURVEYOR AND MAPPERS  
3D LASER SCANNING  
UTILITY COORDINATION  
SUBSURFACE UTILITY ENGINEERING

**MAP OF BOUNDARY SURVEY**  
for  
**ASHWIN DANDEKAR AND LALITA DANDEKAR**  
of  
**450 W Di Lido Drive, Miami Beach, Florida 33139**

Field Book: FILE
DRAWN BY: MG
TECH BY: RI
QA/QC BY: JS

Job No.: <b>20009</b>
<b>1/1</b>



PROPOSED RESIDENCE

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	450 WEST DILIDO DRIVE, MIAMI BEACH, FL 33139			
		Legal Description: LOT 4 & 8ft STRIP CONTIG TO SAME, ON BAY BLK 3, OR 17732-0181 0797 1			
2	Folio number(s):	02-3232-011-0330			
3	Board and file numbers :				
4	Year built:	NOW	Zoning District:		RS-3
5	Based Flood Elevation:	AE 9.00	Grade value in NGVD:		4.25' NGVD
6	Adjusted grade (Flood+Grade/2):	6.60' NGVD	Free board:		9'+2' (11' N.G.V.D.)
7	Lot Area:	10,770 SF			
8	Lot width (AVG.):	60'	Lot Depth (AVG.):		179.50'
9	Max Lot Coverage SF and %:	3,231 SF (30%)	Proposed Lot Coverage SF and %:		3,230 SF (29.9%)
10	Existing Lot Coverage SF and %:	N/A	Lot coverage deducted (garage-storage) SF:		500 SF
11	Front Yard Open Space SF and %:	1,028 SF (57%)	Rear Yard Open Space SF and %:		1,266 SF (78.2%)
12	Max Unit Size SF and %:	5,385 SF (50%)	Proposed Unit Size SF and %:		5,002 (46.4%)
13	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:		2,536 SF
			Proposed Second Floor Unit Size:		2,414 SF
14			Proposed Roof Deck Unit Size:		52 SF
15					
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):		586 SF (24%)
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0" (28')		26'-0"	WAIVER REQUESTED
18	Setbacks:				
19	Front First level:	20'-0"		22'-0"	
20	Front Second level:	30'-0"		43'-8"	
21	Side 1:	7'-6"		7'-6"	
22	Side 2:	7'-6"		7'-6"	
23	Rear:	27'-0"		43'-10"	
24	Accessory Structure Side 1:	7'-6"		9'-2"	
25	Accessory Structure Side 2 :	7'-6"		33'-4"	
26	Accessory Structure Rear:	13'-6"		23'-4"	
27	Sum of Side yard :	15'-0"		15'-0"	
28	Located within a Local Historic District?		No		
29	Designated as an individual Historic Single Family Residence Site?		No		
30	Determined to be Architecturally Significant?		No		
Notes:					
ITEM #	New Construction Floodplain Management Data				
1	Flood Zone:	AE + 9'			
2	FIRM Map Number	12086C0316L			
3	Base Flood Elevation (BFE):	9.00' NGVD			
4	Proposed Flood Design Elevation:	11.00' NGVD			
5	Crown of Road Elevation:				
6	Classification of Structure:	Category II			
7	Building Use:	Single-Family Residence			
8	Lowest Elev. of Equip				
9	Lowest Adjacent Grade				
10	Highest Adjacent Grade				

seal

Ralph Choeff  
registered architect  
AR0009679  
AA26003009

comm no.  
2061

date:  
01/18/2021

revised: