



121 NORTH HIBISCUS DRIVE RESIDENCE

CABANA AND LANDSCAPE RE-SUBMITTAL

DRB PRESENTATION . MAY 4, 2021



VIEW FROM FRONT YARD

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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121 NORTH HIBISCUS DRIVE
MIAMI BEACH, FL



121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

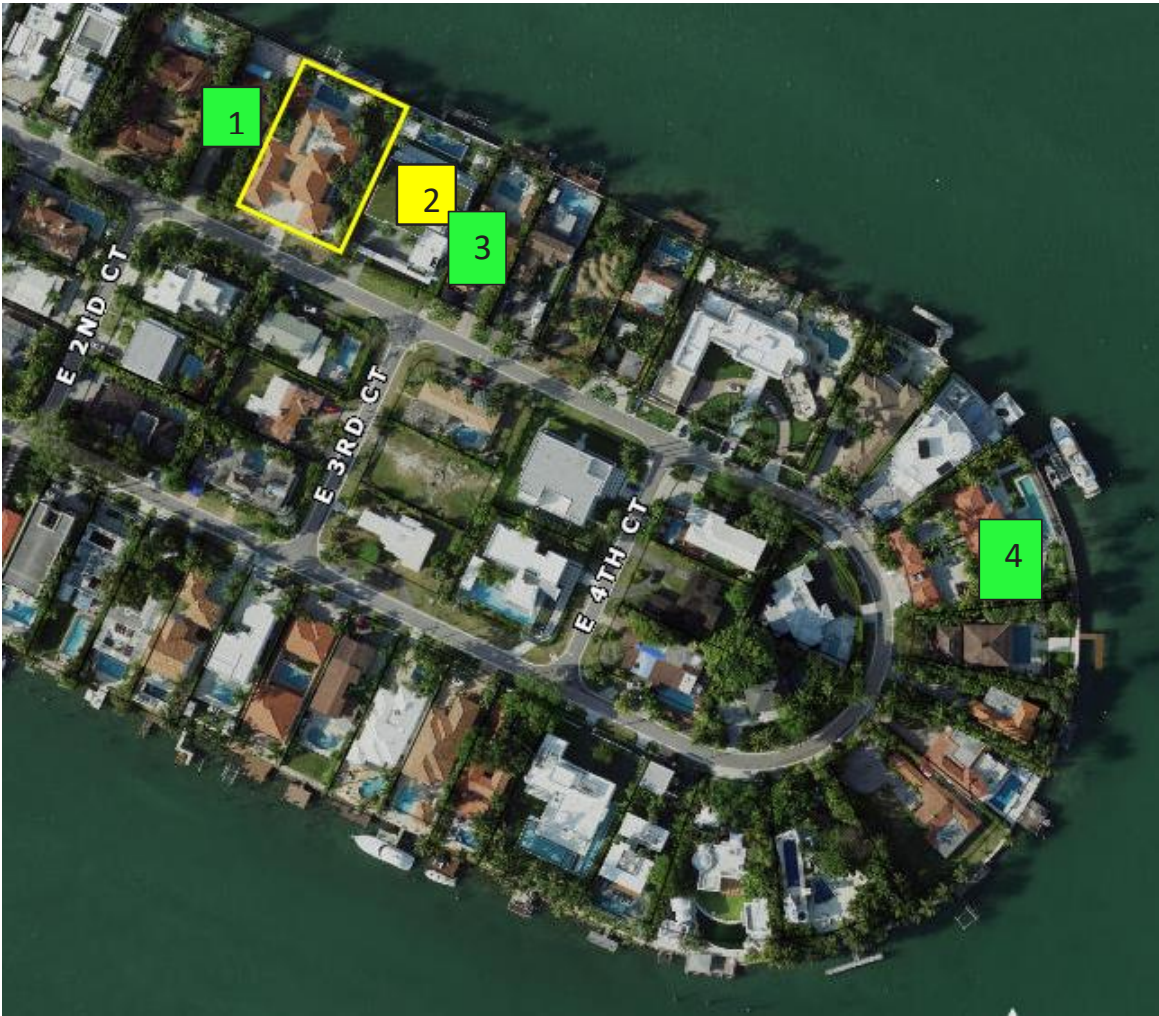


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SITE LOCATION



A-7



Neighbor provided Support Letter

Multiple Meetings to Address Concerns

No.	Property Address	Owner	
1.	131 N Hibiscus Dr	Roger A. Schultz	Support Letter
2.	101 N Hibiscus Dr.	V I Hibiscus 4445 LLC – Attn. Juan P Loumiet Esq.	
3.	91 N Hibiscus Dr.	Douglas Walker	Support Letter
4.	17 N Hibiscus Dr.	George Wallner	Support Letter

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NEIGHBORHOOD OUTREACH DIAGRAM

March 29, 2021

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139


Re: Single-Family Home at 121 N Hibiscus Drive, Miami Beach **DRB21-0637 Letter of Support**

Dear Board Members:

I am the owner of 131 N. Hibiscus Drive, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans and renderings for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,


Signature

Roger A Schutt
Print name

March 22, 2021

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: Single-Family Home at 121 N Hibiscus Drive, Miami Beach **DRB21-0637 Letter of Support**

Dear Board Members:

I am the owner of 17 N. Hibiscus Drive, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans and renderings for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,


Signature

George Wallner
Print name

03 24, 2021

Design Review Board Members
c/o Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

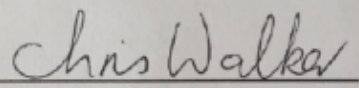
Re: Single-Family Home at 121 N Hibiscus Drive, Miami Beach **DRB21-0637 Letter of Support**

Dear Board Members:

I am the owner of 91 N HIBISCUS DR, Miami Beach, Florida, which is in close proximity or abutting the above-referenced property. I had a conversation with the applicant and reviewed plans and renderings for the proposed single-family residence. The home is beautifully-designed and will be a welcome addition to the neighborhood.

Based on the foregoing, I fully support the applicant's new home and ask the Design Review Board to grant the design review approval with all associated requests.

Sincerely,


Signature

D. CHRIS WALKER
Print name

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

TOUZET
STUDIO

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NEIGHBOR'S LETTERS OF SUPPORT

E-2

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



PRIOR SUBMITTAL
VIEW FROM BISCAYNE BAY

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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PROPOSED REVISION

VIEW FROM BISCAYNE BAY

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121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

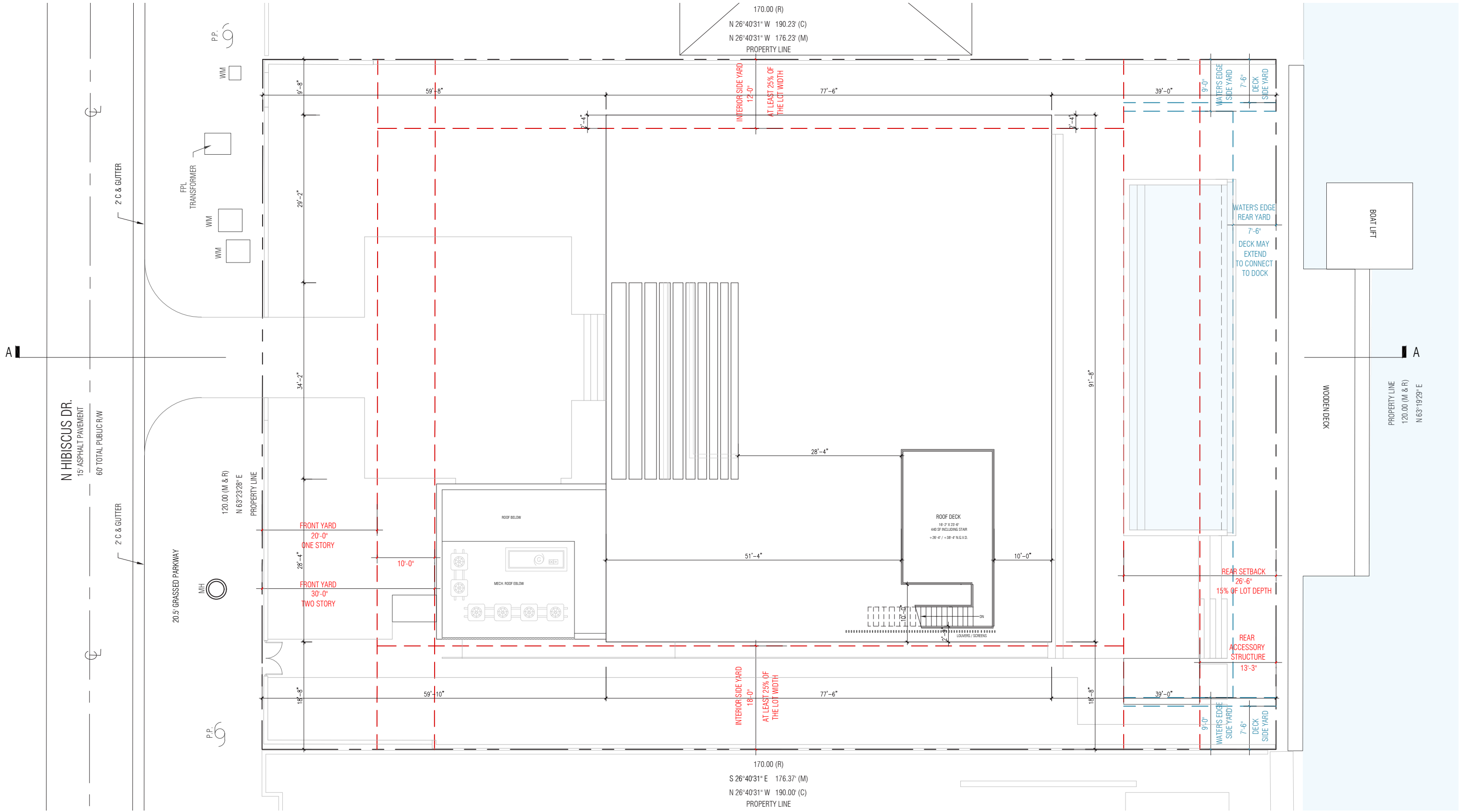


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PRIOR SUBMITTAL

ROOF FLOOR PLAN

SCALE: 1/16" = 1'-0"



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PROPOSED REVISION

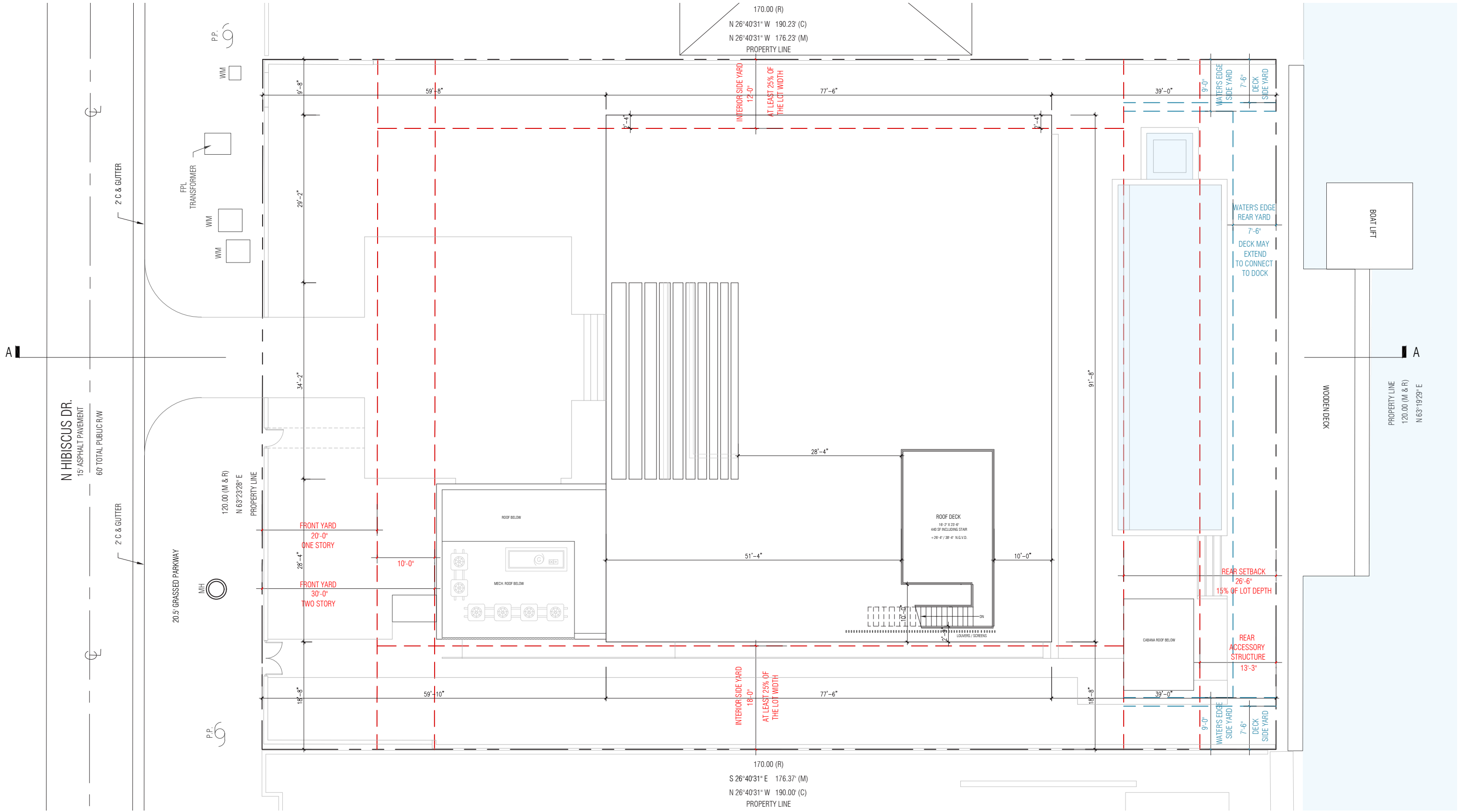
ROOF FLOOR PLAN

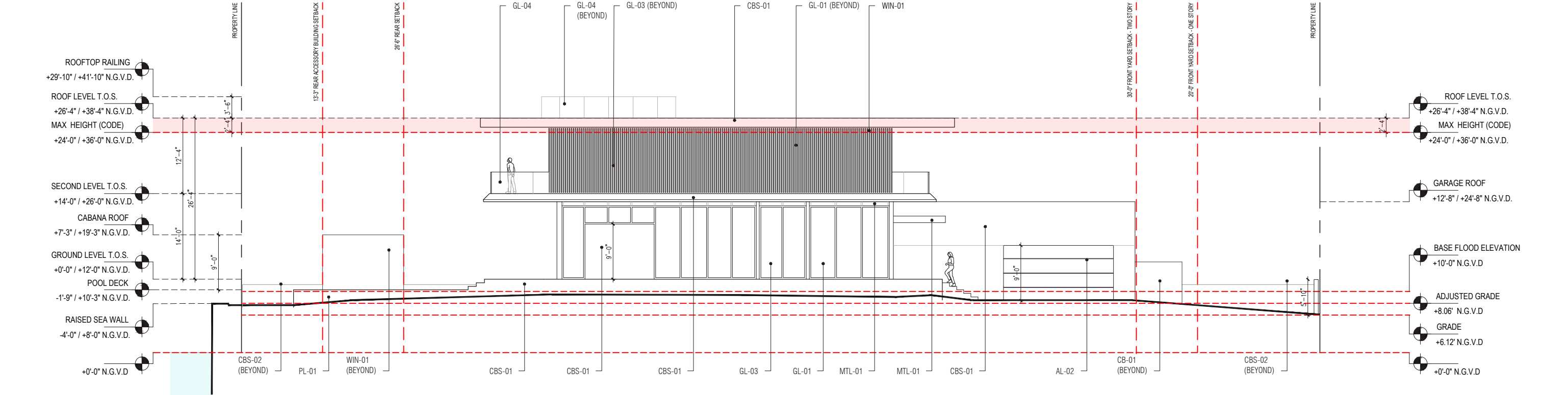
SCALE: 1/16" = 1'-0"



A-30.R

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021

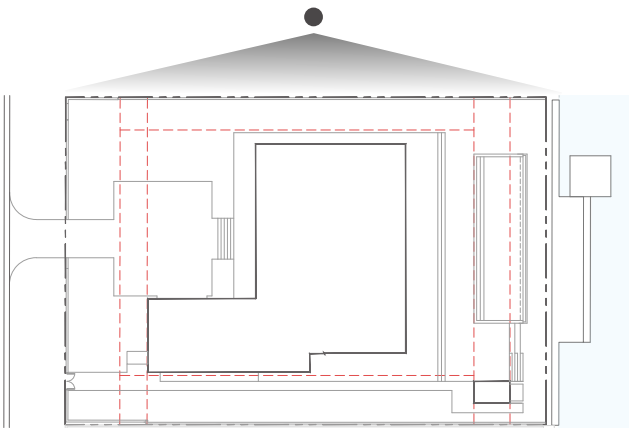




MATERIAL LEGEND

- AL-01 ROOF / TRELLIS MEMBERS TO BE FINISHED IN LIGHT GRAY KYNAR, OR EQUIV. FINISH
- AL-02 SPECIALTY GARAGE DOOR
- C-01 CAST-IN-PLACE ARCHITECTURAL CONCRETE
- CBS-01 EXTERIOR CEMENT PLASTER ON REINFORCED CONCRETE MASONRY WALL
SMOOTH FINISH AND PAINT - COLOR TBD
- CBS-02 EXTERIOR CEMENT PLASTER ON SITE RETAINING WALL
SMOOTH FINISH AND PAINT - COLOR TBD
- GL-01 IMPACT-RATED, LIGHT TINTED LAMINATED GLASS IN ALUMINUM WINDOW WALL SYSTEM,
SLIDING DOOR SYSTEM, AND FIXED SYSTEM - LIGHT KYNAR FINISH, TBD.
- GL-02 IMPACT-RATED, ALUMINUM OUTSWING ENTRANCE DOORS - FINISH TO MATCH GL-01

- GL-03 IMPACT-RATED, LIGHT TINTED CUSTOM FRIT OR FROSTED LAMINATED GLASS ON ALUMINUM FRAMING
SYSTEM - FINISH TO MATCH GL-01
- GL-04 TEMPERED GLASS GUARDRAIL SYSTEM WITH ALUMINUM RAIL SHOE, HEIGHT 42" A.F.F.
- MTL-01 BRAKE METAL OVER STEEL STRUCTURAL ELEMENTS - LIGHT KYNAR FINISH, TBD.
- PL-01 IN-GROUND POOL, PEBBLEFINA - CIELO BLUE OR EQUIVALENT FINISH
- PL-02 POOL TILE - INFINITY EDGE
- SST-01 STAINLESS STEEL JAKOB CABLE GUARDRAIL/HANDRAIL SYSTEM, HEIGHT 42" A.F.F.
- WIN-01 CUSTOM, FINISHED ALUMINUM "PERSIANAS" WITH TWO COAT KYNAR 500 FINISH TO MATCH GL-01



121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



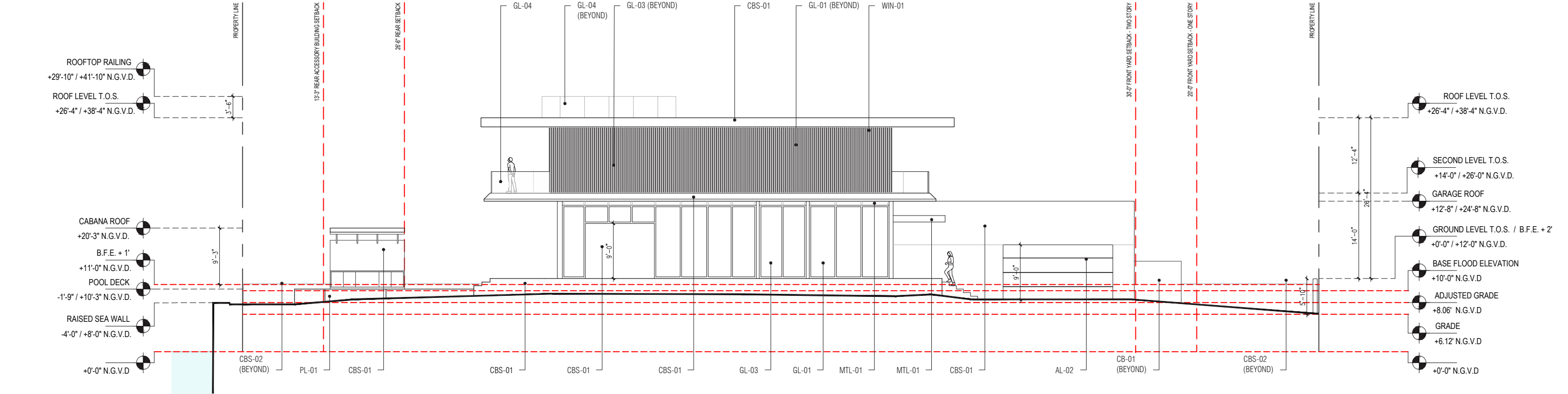
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PRIOR SUBMITTAL

WEST ELEVATION

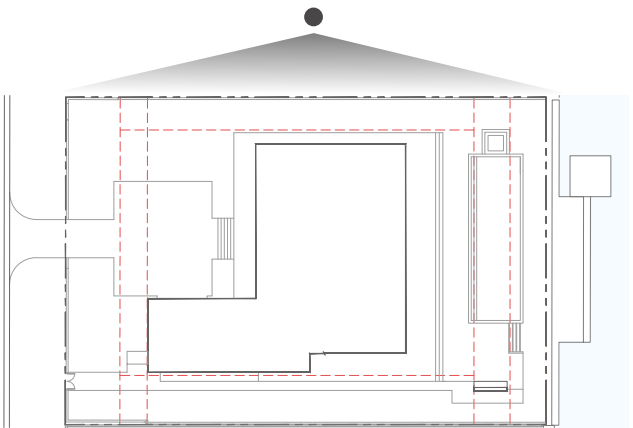
SCALE: 1/16" = 1'-0"





MATERIAL LEGEND

- | | | | |
|--------|--|--------|--|
| AL-01 | ROOF / TRELLIS MEMBERS TO BE FINISHED IN LIGHT GRAY KYNAR, OR EQUIV. FINISH | GL-03 | IMPACT-RATED, LIGHT TINTED CUSTOM FRIT OR FROSTED LAMINATED GLASS ON ALUMINUM FRAMING SYSTEM - FINISH TO MATCH GL-01 |
| AL-02 | SPECIALTY GARAGE DOOR | GL-04 | TEMPERED GLASS GUARDRAIL SYSTEM WITH ALUMINUM RAIL SHOE, HEIGHT 42" A.F.F. |
| C-01 | CAST-IN-PLACE ARCHITECTURAL CONCRETE | MTL-01 | BRAKE METAL OVER STEEL STRUCTURAL ELEMENTS - LIGHT KYNAR FINISH, TBD. |
| CBS-01 | EXTERIOR CEMENT PLASTER ON REINFORCED CONCRETE MASONRY WALL
SMOOTH FINISH AND PAINT - COLOR TBD | PL-01 | IN-GROUND POOL, PEBBLEFINA - CIELO BLUE OR EQUIVALENT FINISH |
| CBS-02 | EXTERIOR CEMENT PLASTER ON SITE RETAINING WALL
SMOOTH FINISH AND PAINT - COLOR TBD | PL-02 | POOL TILE - INFINITY EDGE |
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PROPOSED REVISION

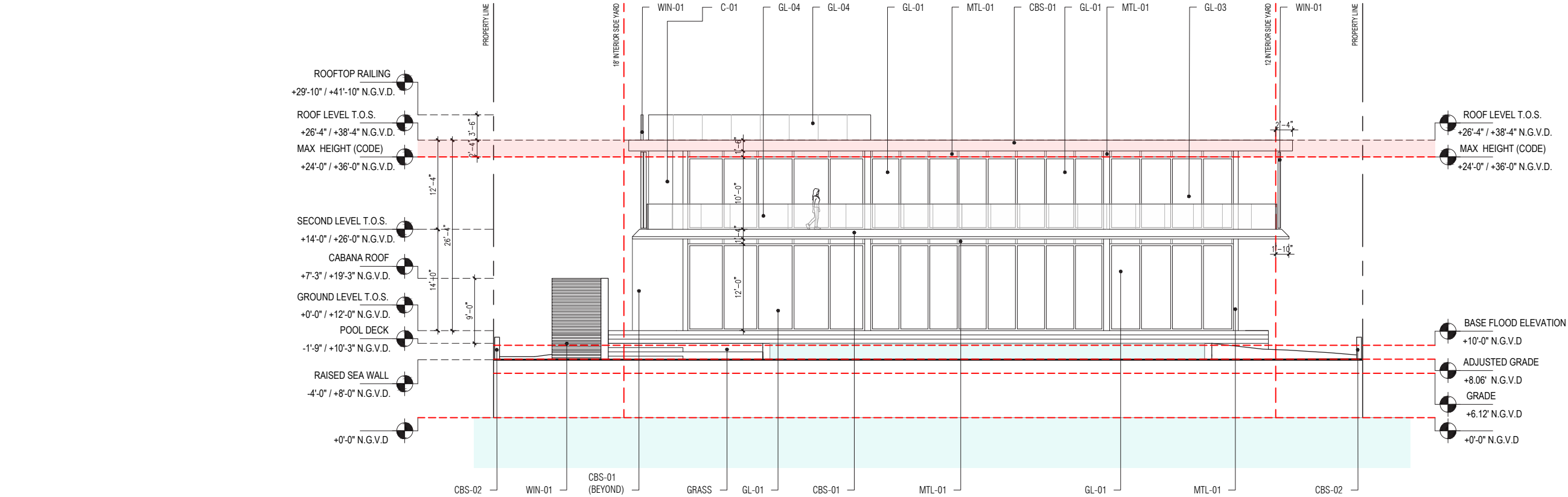
WEST ELEVATION

SCALE: 1/16" = 1'-0"



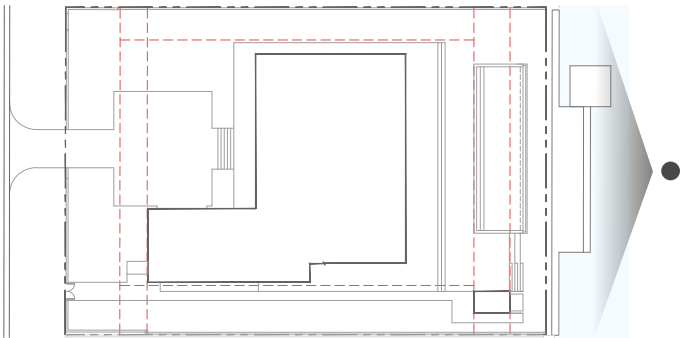
A-33.R

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



MATERIAL LEGEND

- | | | | |
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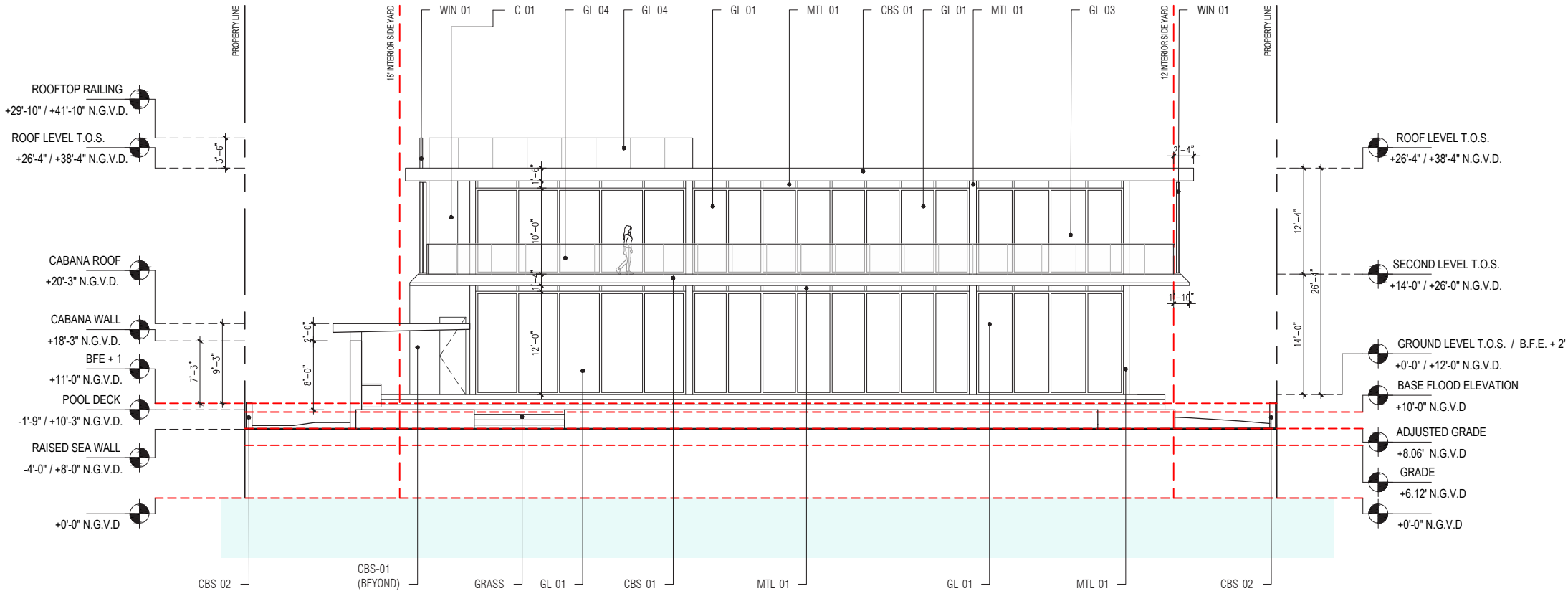
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PRIOR SUBMITTAL

NORTH ELEVATION

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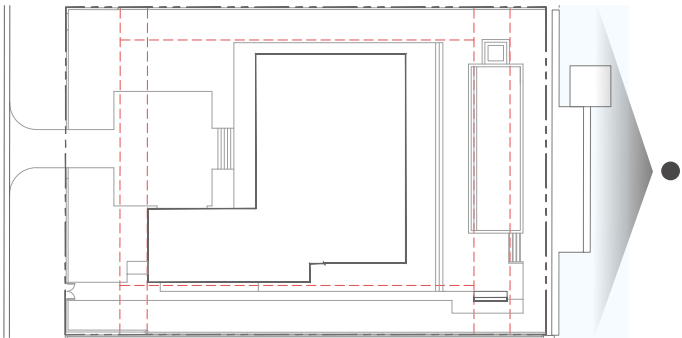




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PROPOSED REVISION

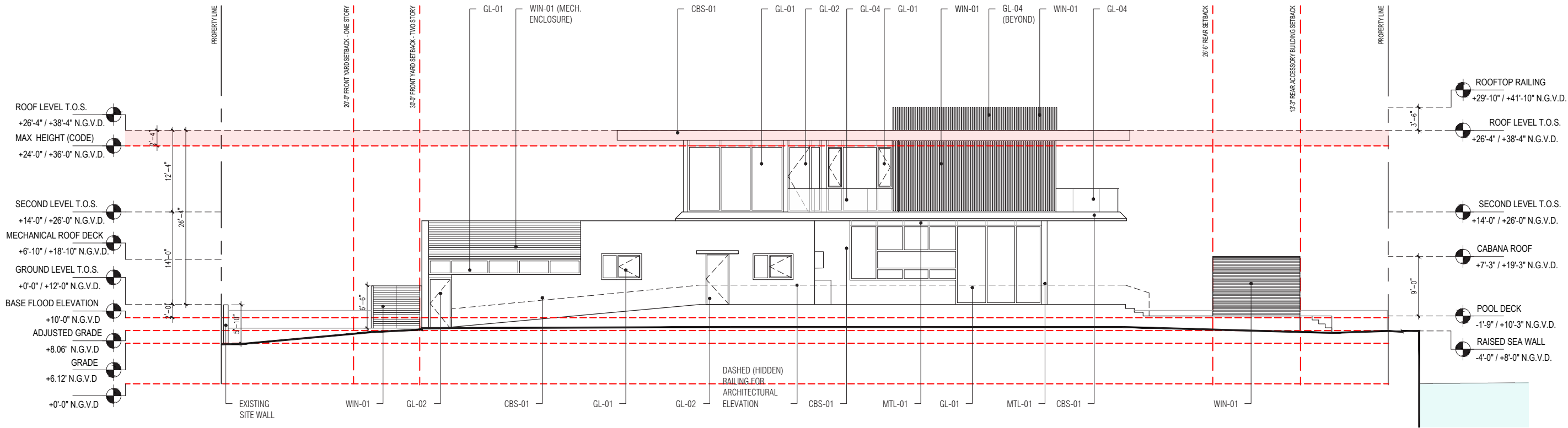
NORTH ELEVATION

SCALE: 1/16" = 1'-0"



A-34.R

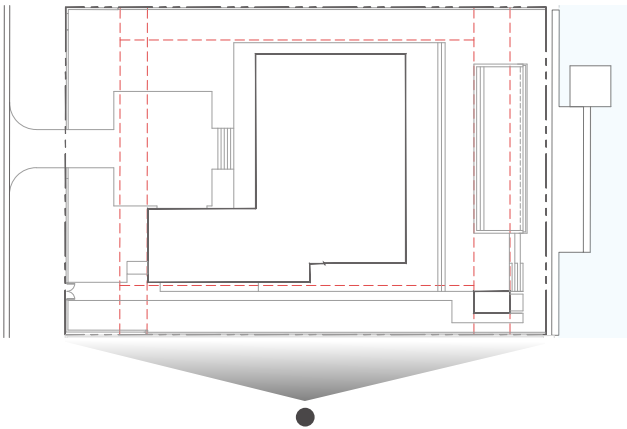
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PRIOR SUBMITTAL

EAST ELEVATION

SCALE: 1/16" = 1'-0"

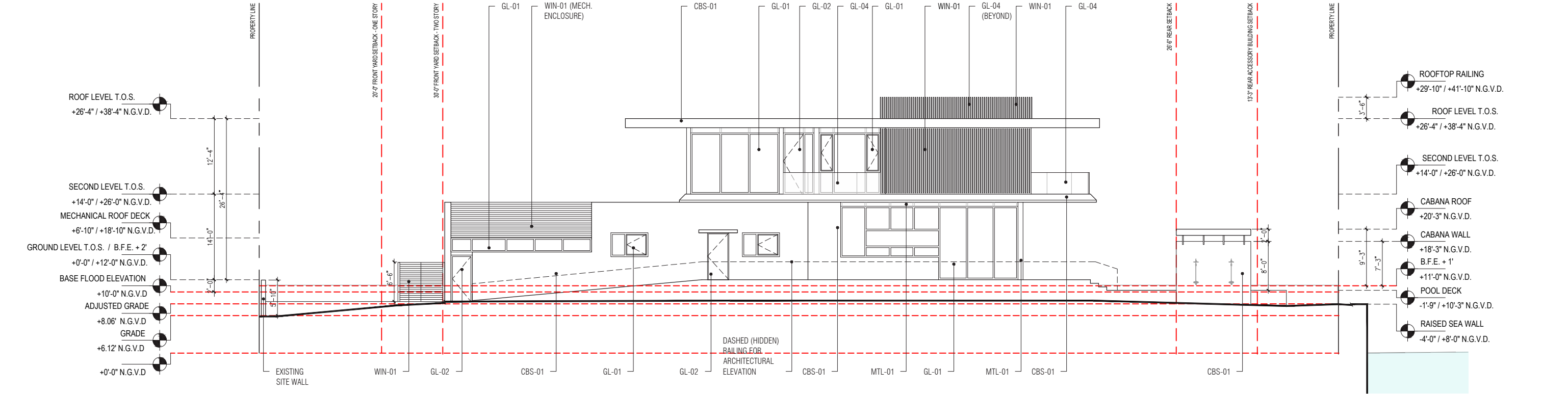


121 NORTH HIBISCUS DRIVE RESIDENCE

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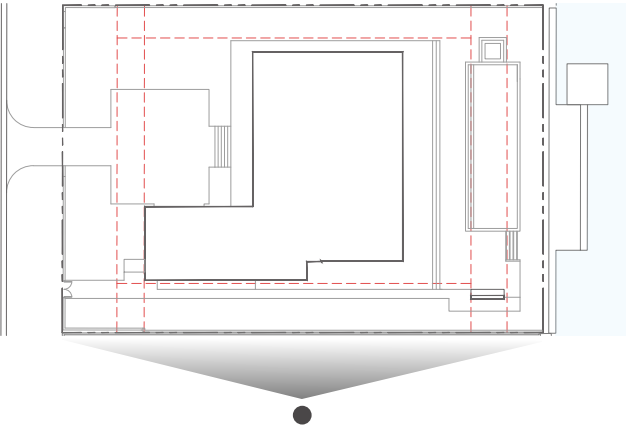
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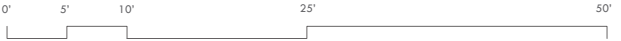
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PROPOSED REVISION

EAST ELEVATION

SCALE: 1/16" = 1'-0"



121 NORTH HIBISCUS DRIVE RESIDENCE

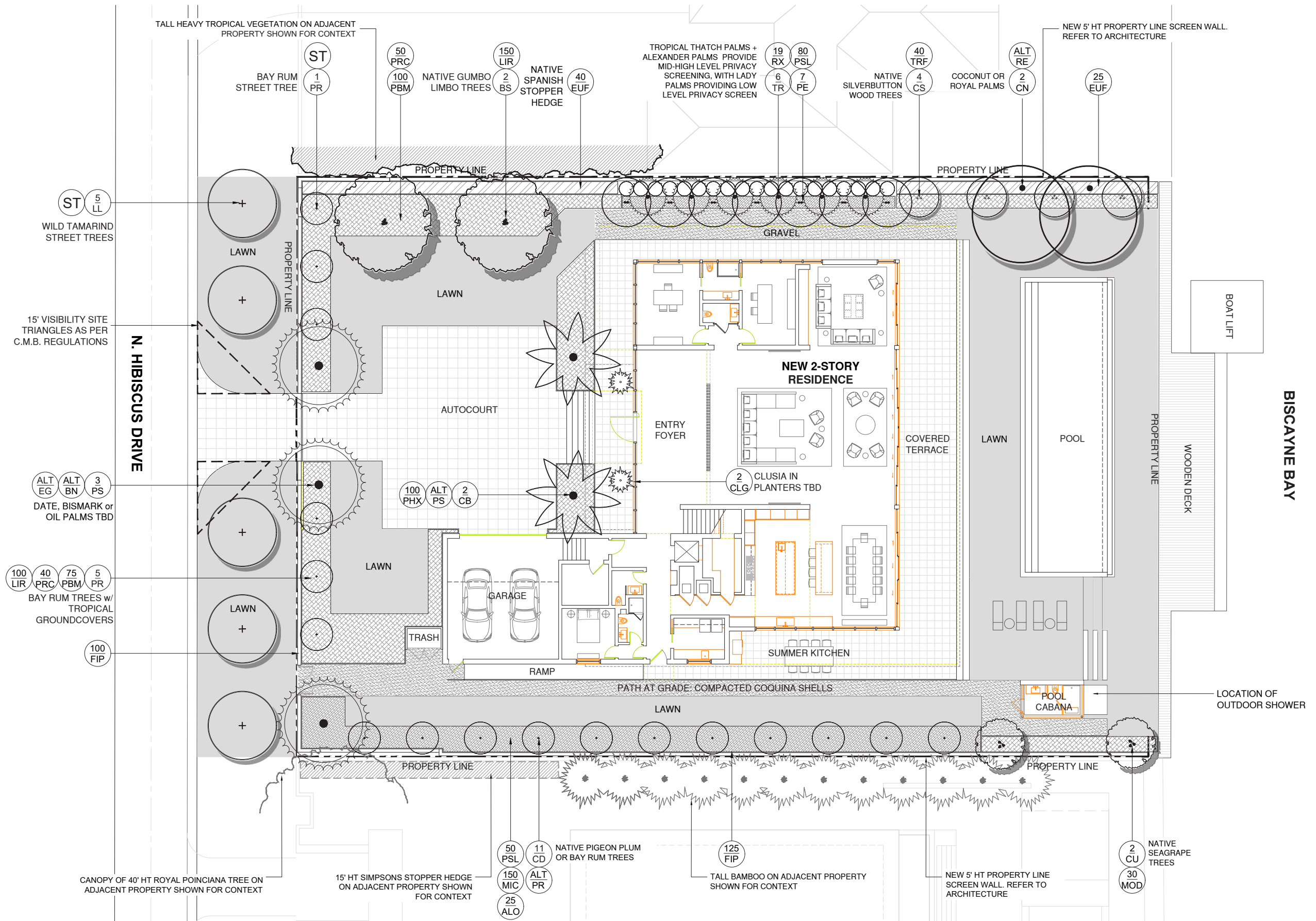
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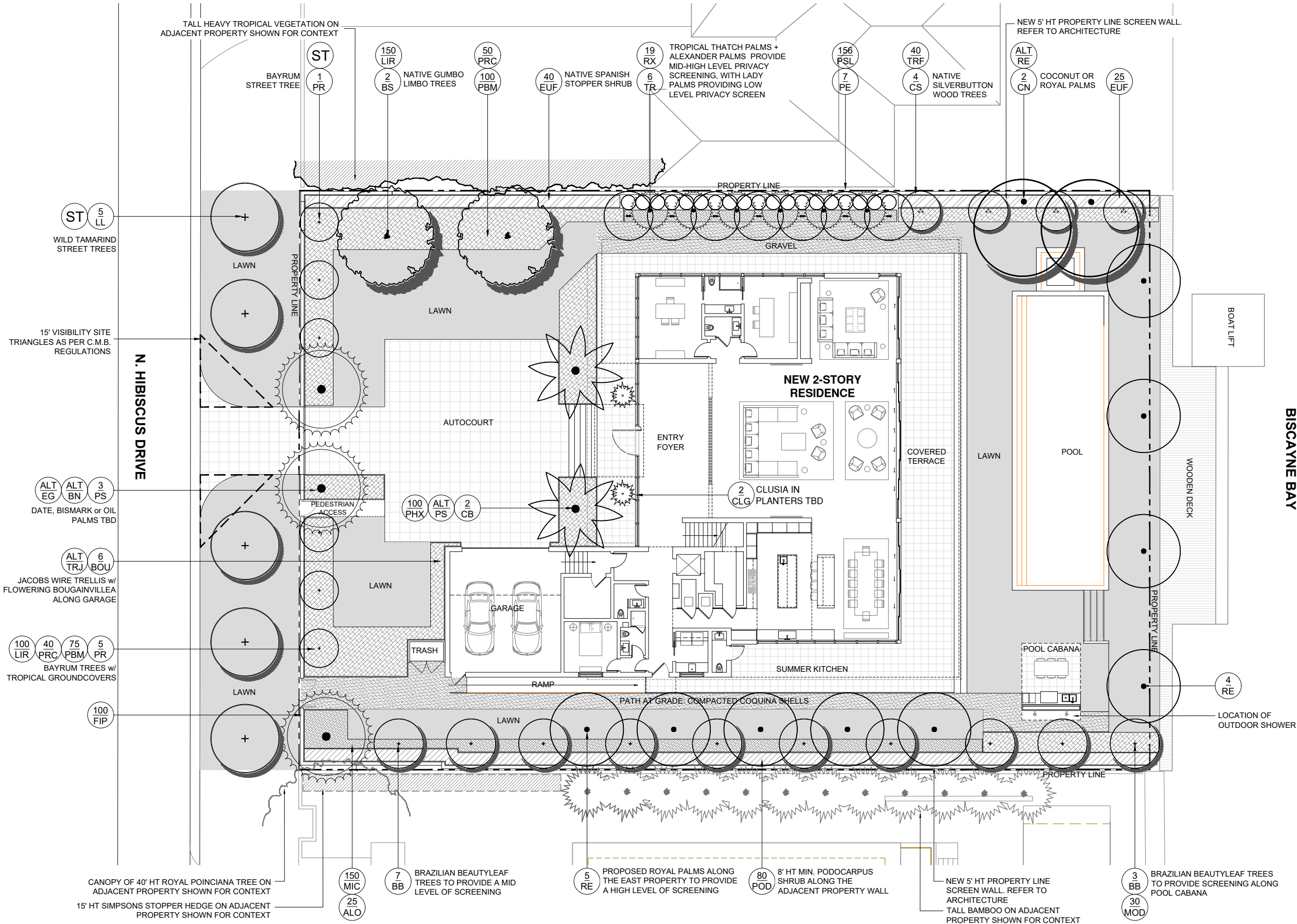
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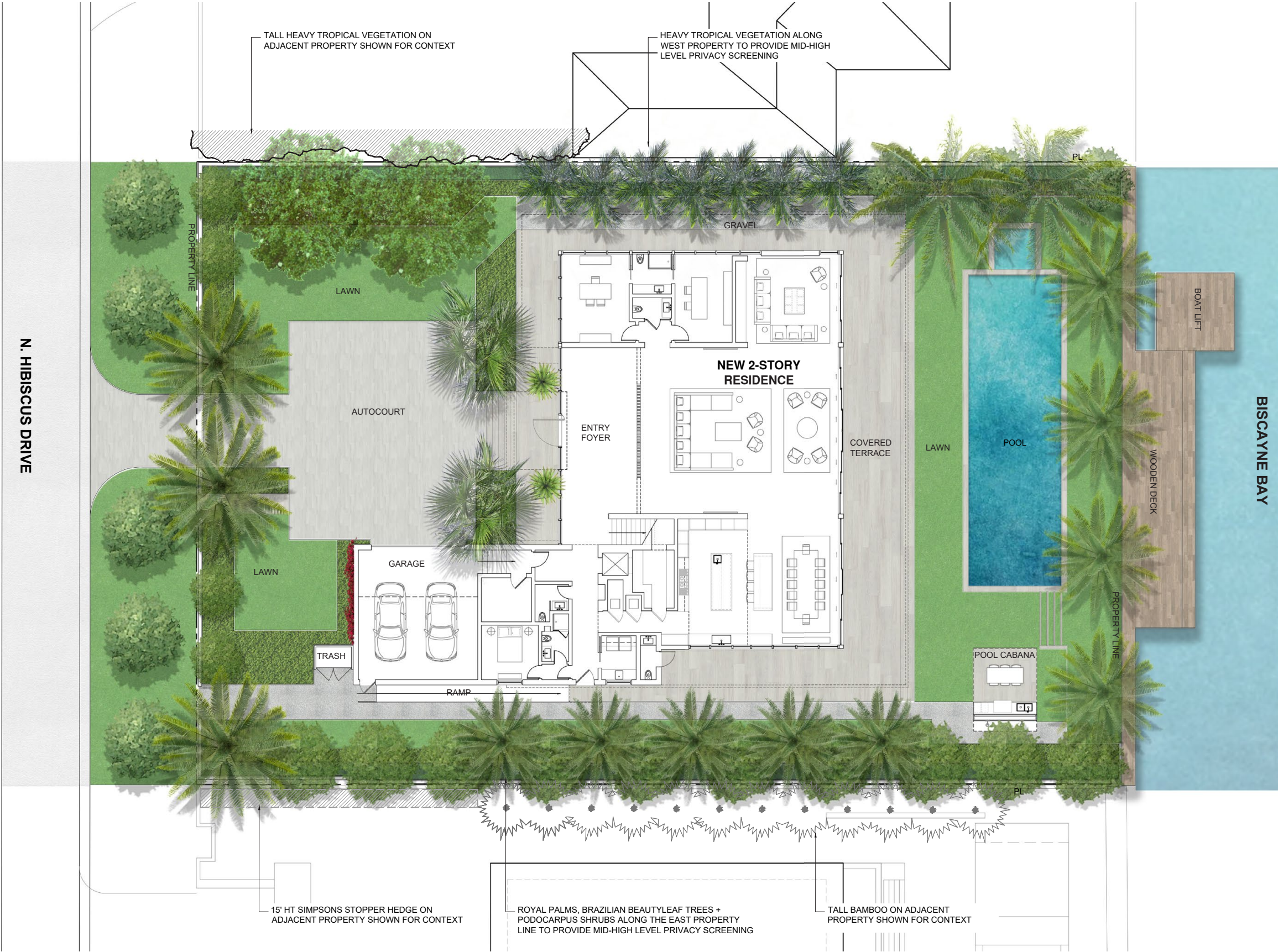
MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



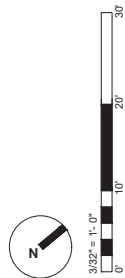
PRIOR SUBMITTAL

121 NORTH HIBISCUS
MIAMI BEACH, FL





121 NORTH HIBISCUS
MIAMI BEACH, FL



PROPOSED REVISION

L2.1



EAST ELEVATION RENDERING

1/8"=1'-0"

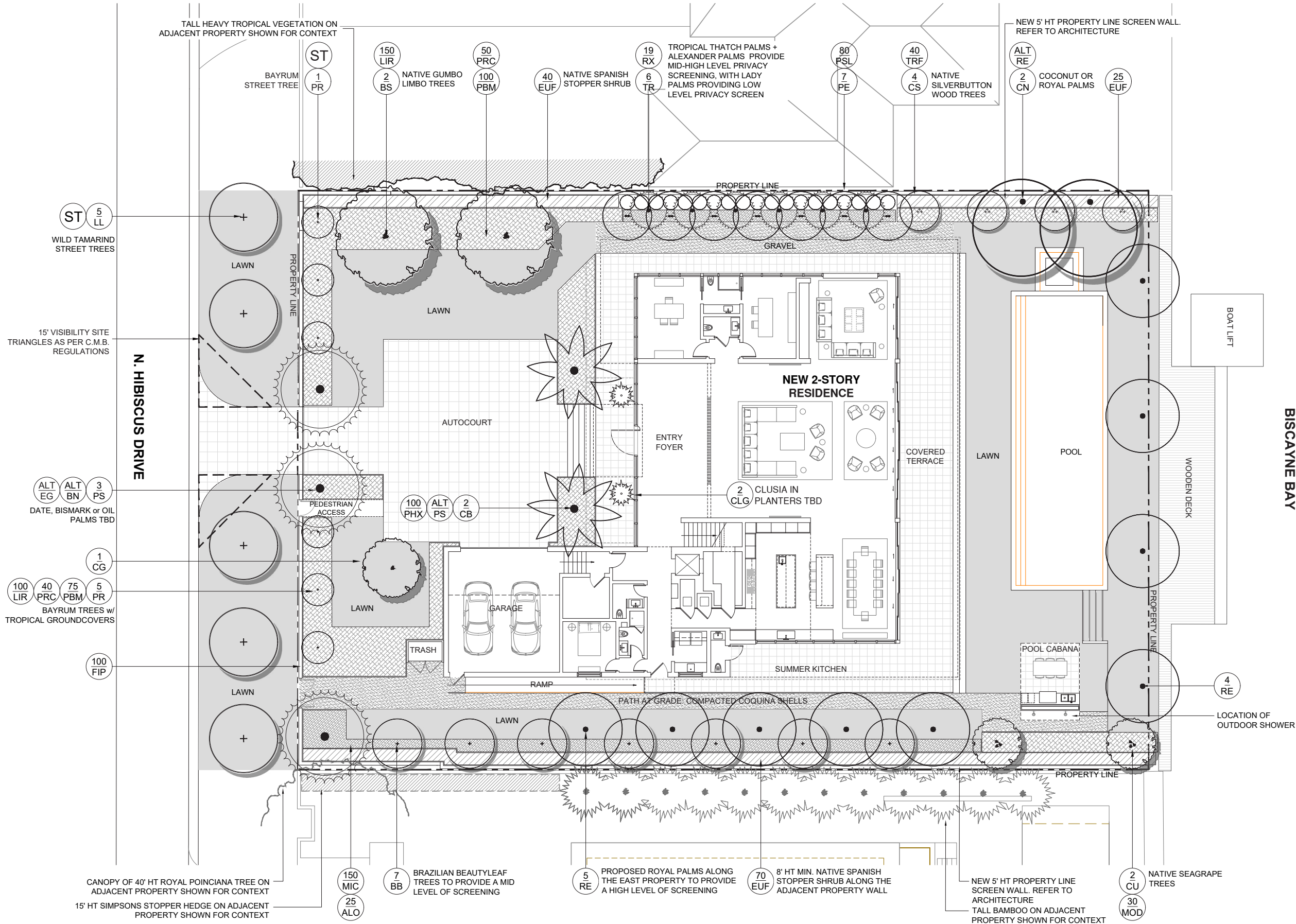
PROPOSED REVISION

L2.2

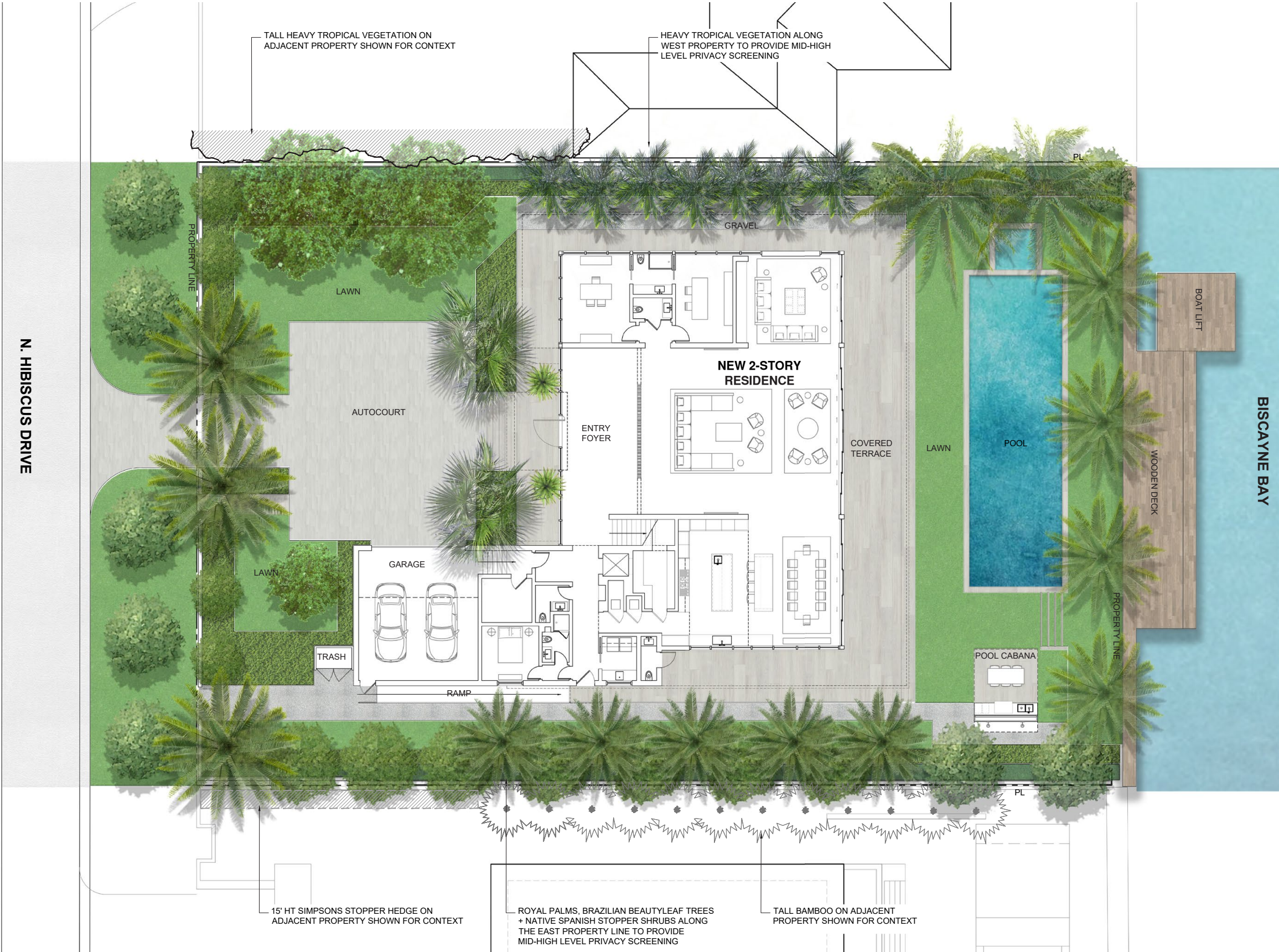
Proposed Modification of Conditions

2. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding plans shall be submitted to and approved by staff. The species, type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plans shall comply with Chapter 26-Landscape Requirements of the Miami Beach Code and shall incorporate the following:
 - a. The landscape design shall include 18' minimum height Brazilian Beautyleaf trees dispersed along the east side property line, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - b. The landscape design shall include an 8' minimum height ~~Spanish stopper~~ podocarpus hedge along the entire east side property line, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board
 - c. The proposed ~~two (2) large seagrape trees~~ three (3) 18' minimum height Brazilian Beautyleaf trees by the cabana are to remain in order to screen cabana from neighbor, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

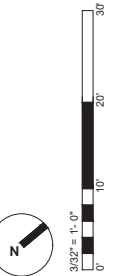
PROPOSED MODIFICATION OF CONDITIONS



PROPOSED REVISION

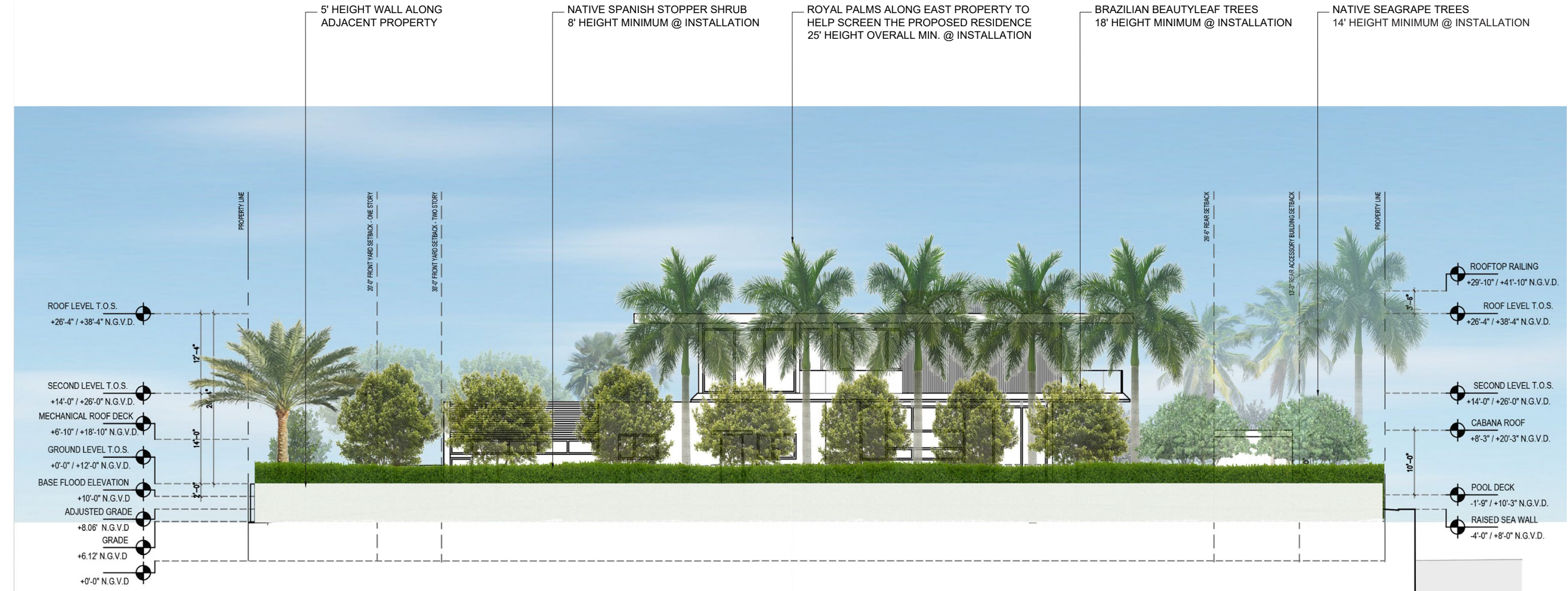


121 NORTH HIBISCUS
MIAMI BEACH, FL



PROPOSED REVISION

L2.1



EAST ELEVATION RENDERING

1/8"=1'-0"

PROPOSED REVISION

L2.2

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	121 North Hibiscus Drive, Miami Beach, FL 33139		
2	Folio number(s):	02-3232-006-0540		
3	Board and file numbers :	DRB21-0637		
4	Year built:	Original Structure : 1931 Substantial Additions : 1947, 1948, 1949, 1950, 1954 & 1958 Major Renovations : 1995	Zoning District:	RS-3
5	Base Flood Elevation:	10' N.G.V.D.	Grade value in NGVD:	6.12' N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	8.06' N.G.V.D.	Free board:	2'
7	Lot Area:	21,157 SF		
8	Lot width:	120' (M)	Lot Depth:	176.37' (M)
9	Max Lot Coverage SF and %:	6,347 SF - 30%	Proposed Lot Coverage SF and %:	6,200 SF / 29.3%
10	Existing Lot Coverage SF and %:	6,338 SF - 29.9% (w/o courtyard) / 6,850 SF - 32.3% *approx. based off survey	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	1,922 SF / 79.3%	Rear Yard Open Space SF and %:	2,302 / 72.3%
12	Max Unit Size SF and %:	10,578 SF / 50%	Proposed Unit Size SF and %:	8,886 SF / 42%
13	Existing First Floor Unit Size:	5,470 SF * approx. based off survey	Proposed First Floor Unit Size:	5,028 SF (Including Accessory Building)
14	Existing Second Floor Unit Size	5,470 SF * approx. based off survey		
15			Proposed Second Floor Unit Size SF and % :	3,858 SF
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	440 SF (Including Stair)

		Required	Existing	Proposed	Deficiencies
17	Height:	24' - Flat Roof		26'-4"	Height waiver of 2'-4"
18	Setbacks:				
19	Front First level:	20'-0"		22'-7"	
20	Front Second level:	30'-0"		69'-9"	
21	Side 1:	12'-0"		17'-2"	
22	Side 2 or (facing street):	18'-0"		19'-2"	
23	Rear:	26'-6" (15% of Lot Depth)		51'-6"	
	Accessory Structure Side 1:	7'-6"		7'-10"	
24	Accessory Structure Side 2 or (facing street) :	N/A			
25	Accessory Structure Rear:	13'-3" (Half of Rear Setback)		13'-4"	
26	Sum of Side yard :	30'-0" (At Least 25% of the Lot Width)		17'-2" + 19'-2" = 36'-4"	
27	Located within a Local Historic District?		No		
28	Designated as an individual Historic Single Family Residence Site?		No		
29	Determined to be Architecturally Significant?		No - As per DRB20-0630		

PRIOR SUBMITTAL
ZONING DATA SHEET

1 2 1 N O R T H H I B I S C U S D R I V E R E S I D E N C E

1 2 1 N O R T H H I B I S C U S D R I V E . M I A M I B E A C H . F L O R I D A



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SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	121 North Hibiscus Drive, Miami Beach, FL 33139		
2	Folio number(s):	02-3232-006-0540		
3	Board and file numbers :	DRB21-0637		
4	Year built:	Original Structure : 1931 Substantial Additions : 1947, 1948, 1949, 1950, 1954 & 1958 Major Renovations : 1995	Zoning District:	RS-3
5	Base Flood Elevation:	10' N.G.V.D.	Grade value in NGVD:	6.12' N.G.V.D.
6	Adjusted grade (Flood+Grade/2):	8.06' N.G.V.D.	Free board:	2'
7	Lot Area:	21,157 SF		
8	Lot width:	120' (M)	Lot Depth:	176.37' (M)
9	Max Lot Coverage SF and %:	6,347 SF - 30%	Proposed Lot Coverage SF and %:	6,204 SF / 29.3%
10	Existing Lot Coverage SF and %:	6,338 SF - 29.9% (w/o courtyard) / 6,850 SF - 32.3% *approx. based off survey	Lot coverage deducted (garage-storage) SF:	500 SF
11	Front Yard Open Space SF and %:	1,922 SF / 79.3%	Rear Yard Open Space SF and %:	2,236 SF / 70.3%
12	Max Unit Size SF and %:	10,578 SF / 50%	Proposed Unit Size SF and %:	8,781 SF / 41.5%
13	Existing First Floor Unit Size:	5,470 SF * approx. based off survey	Proposed First Floor Unit Size:	4,923 SF
14	Existing Second Floor Unit Size	5,470 SF * approx. based off survey		
15			Proposed Second Floor Unit Size SF and % :	3,858 SF
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	440 SF (Including Stair)

		Required	Existing	Proposed	Deficiencies
17	Height:	24' - Flat Roof		26'-4"	Height waiver of 2'-4" Approved by DRB on 4/6/21
18	Setbacks:				
19	Front First level:	20'-0"		22'-7"	
20	Front Second level:	30'-0"		69'-9"	
21	Side 1:	12'-0"		17'-2"	
22	Side 2 or (facing street):	18'-0"		19'-2"	
23	Rear:	26'-6" (15% of Lot Depth)		51'-6"	
	Accessory Structure Side 1:	7'-6"		12'-3"	
24	Accessory Structure Side 2 or (facing street) :	N/A			
25	Accessory Structure Rear:	13'-3" (Half of Rear Setback)		14'-4"	
26	Sum of Side yard :	30'-0" (At Least 25% of the Lot Width)		17'-2" + 19'-2" = 36'-4"	

27	Located within a Local Historic District?	No
28	Designated as an individual Historic Single Family Residence Site?	No
29	Determined to be Architecturally Significant?	No - As per DRB20-0630

PROPOSED REVISION

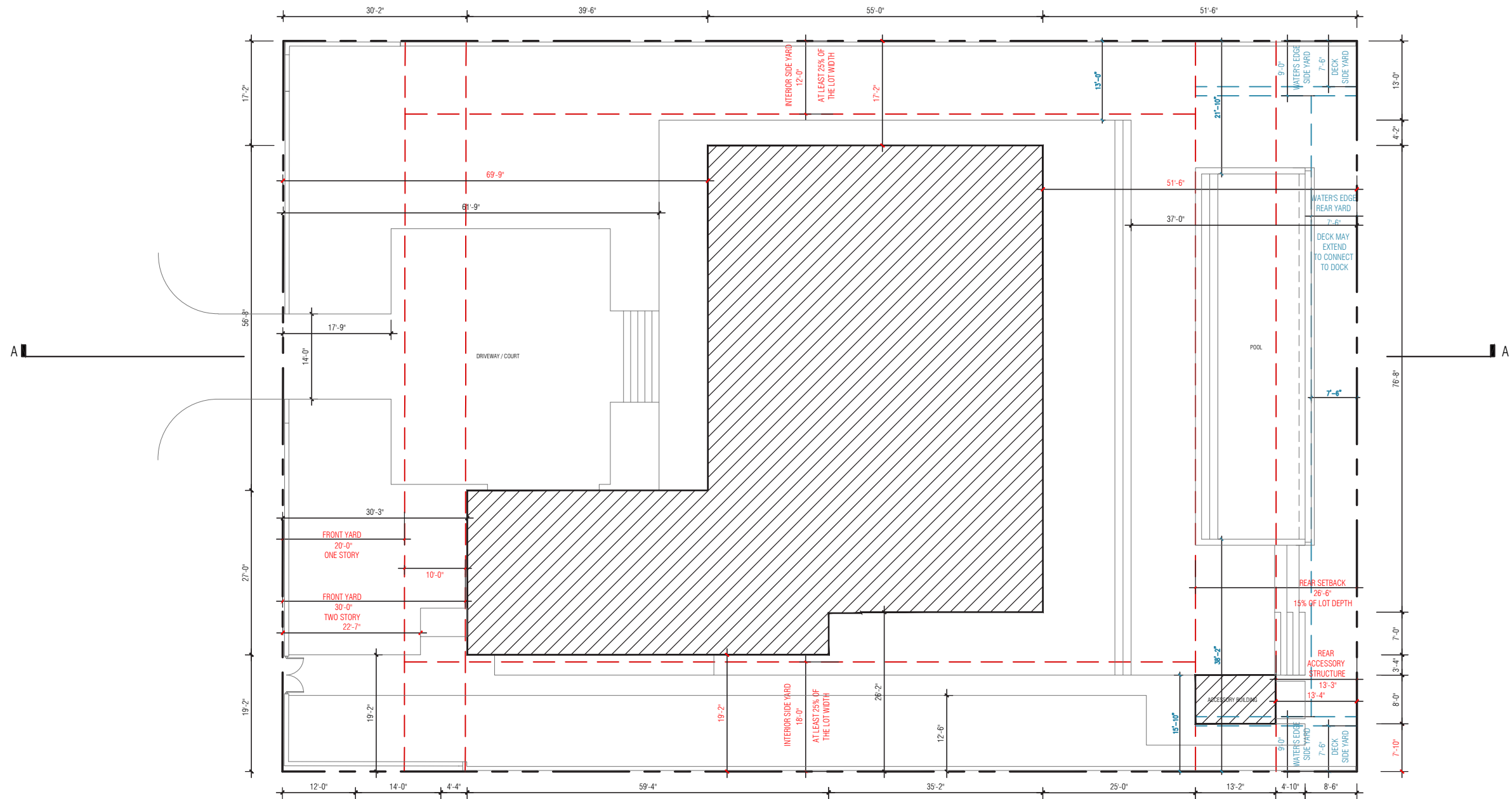
ZONING DATA SHEET

1 2 1 N O R T H H I B I S C U S D R I V E R E S I D E N C E

1 2 1 N O R T H H I B I S C U S D R I V E . M I A M I B E A C H . F L O R I D A



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REQUIRED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE	REAR ACCESSORY STRUCTURE	REQUIRED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR	DECK INTERIOR SIDE	
	20'-0"	30'-0"	12'-0"	18'-0"	26'-6"	7'-6"	13'-3"		9'-0"		7'-6"	7'-6"	
			AT LEAST 25% OF LOT WIDTH (120' LOT WIDTH (R))		15% OF LOT DEPTH (176.37' LOT DEPTH (R))		HALF OF REAR SETBACK						
PROPOSED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE	REAR ACCESSORY STRUCTURE	PROPOSED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR	DECK INTERIOR SIDE	
	22'-7"	69'-9"	17'-2"	19'-2"	51'-6"	7'-10"	13'-4"		21'-10"	38'-2"	7'-6"	13'-0"	15'-10"

PRIOR SUBMITTAL
SETBACK DIAGRAM - GROUND FLOOR

SCALE: 1" = 20'-0"

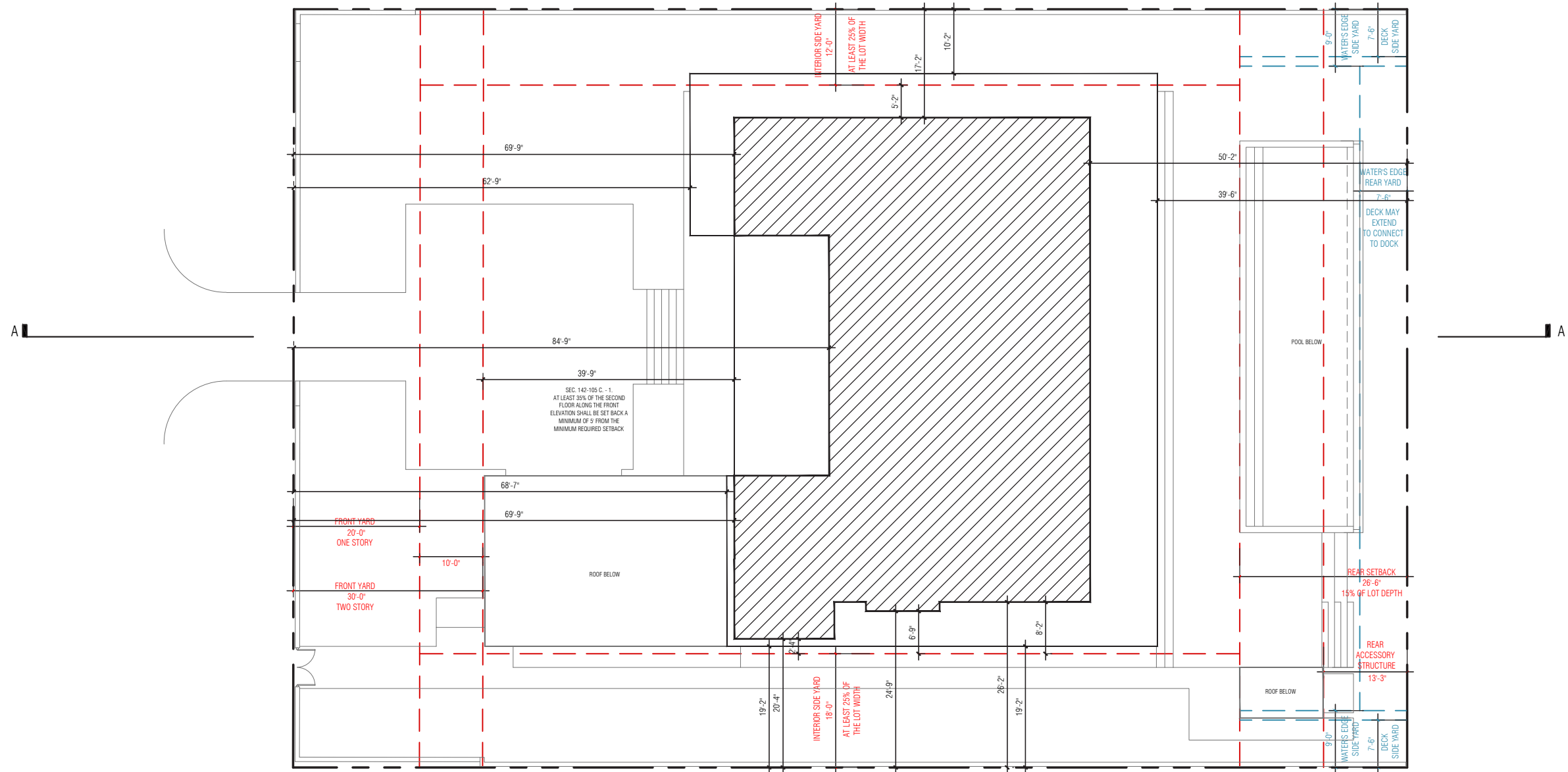


121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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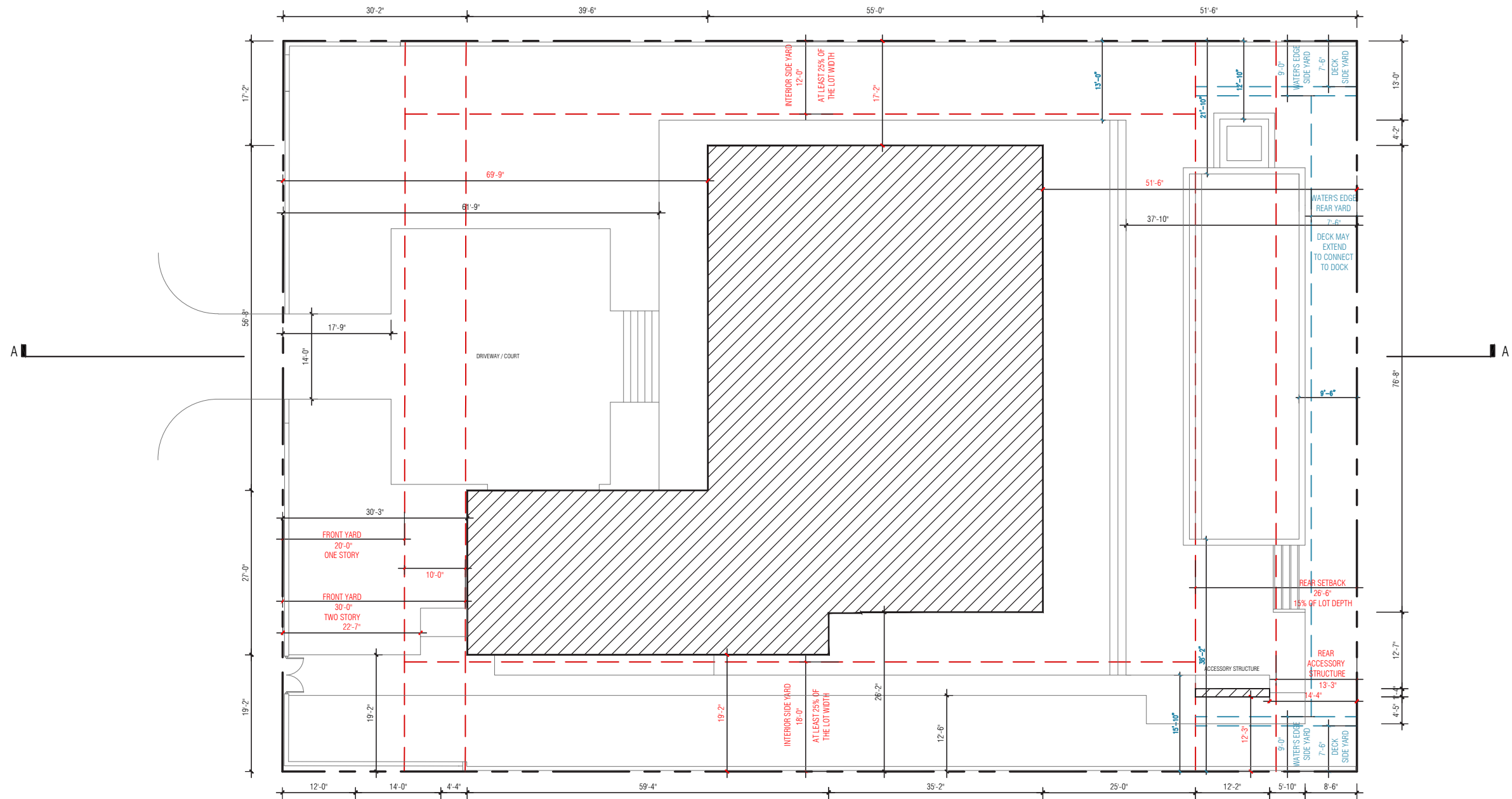
REQUIRED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE		REAR ACCESSORY STRUCTURE	REQUIRED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR	DECK INTERIOR SIDE	
	20'-0"	30'-0"	12'-0"	18'-0"	26'-6"	7'-6"	13'-3"	13'-3"		9'-0"		7'-6"	7'-6"	
			AT LEAST 25% OF LOT WIDTH (120' LOT WIDTH (R))		15% OF LOT DEPTH (176.37' LOT DEPTH (R))		HALF OF REAR SETBACK							
PROPOSED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE		REAR ACCESSORY STRUCTURE	PROPOSED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR	DECK INTERIOR SIDE	
	22'-7"	69'-9"	17'-2"	19'-2"	51'-6"	7'-10"	13'-4"	13'-4"		21'-10"	38'-2"	7'-6"	13'-0"	15'-10"





PRIOR SUBMITTAL
SETBACK DIAGRAM - SECOND FLOOR
SCALE: 1" = 20'-0"



121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



 REQUIRED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE		REAR ACCESSORY STRUCTURE	 REQUIRED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR		DECK INTERIOR SIDE	
	20'-0"	30'-0"	12'-0"	18'-0"	26'-6"	7'-6"		13'-3"		9'-0"	7'-6"		7'-6"		
	AT LEAST 25% OF LOT WIDTH (120' LOT WIDTH (R))														
	15% OF LOT DEPTH (176.37' LOT DEPTH (R))														
	HALF OF REAR SETBACK														
 PROPOSED ARCHITECTURE	FRONT ONE STORY	FRONT TWO STORY	INTERIOR SIDE		REAR	INTERIOR SIDE ACCESSORY STRUCTURE		REAR ACCESSORY STRUCTURE	 PROPOSED POOL AND DECK	WATER'S EDGE INTERIOR SIDE		WATER'S EDGE REAR		DECK INTERIOR SIDE	
	22'-7"	69'-9"	17'-2"	19'-2"	51'-6"	12'-3"		14'-4"		12'-10"	38'-2"	9'-6"	13'-0"	15'-10"	

PROPOSED REVISION

SETBACK DIAGRAM - GROUND FLOOR

SCALE: 1" = 20'-0"



121 NORTH HIBISCUS DRIVE RESIDENCE

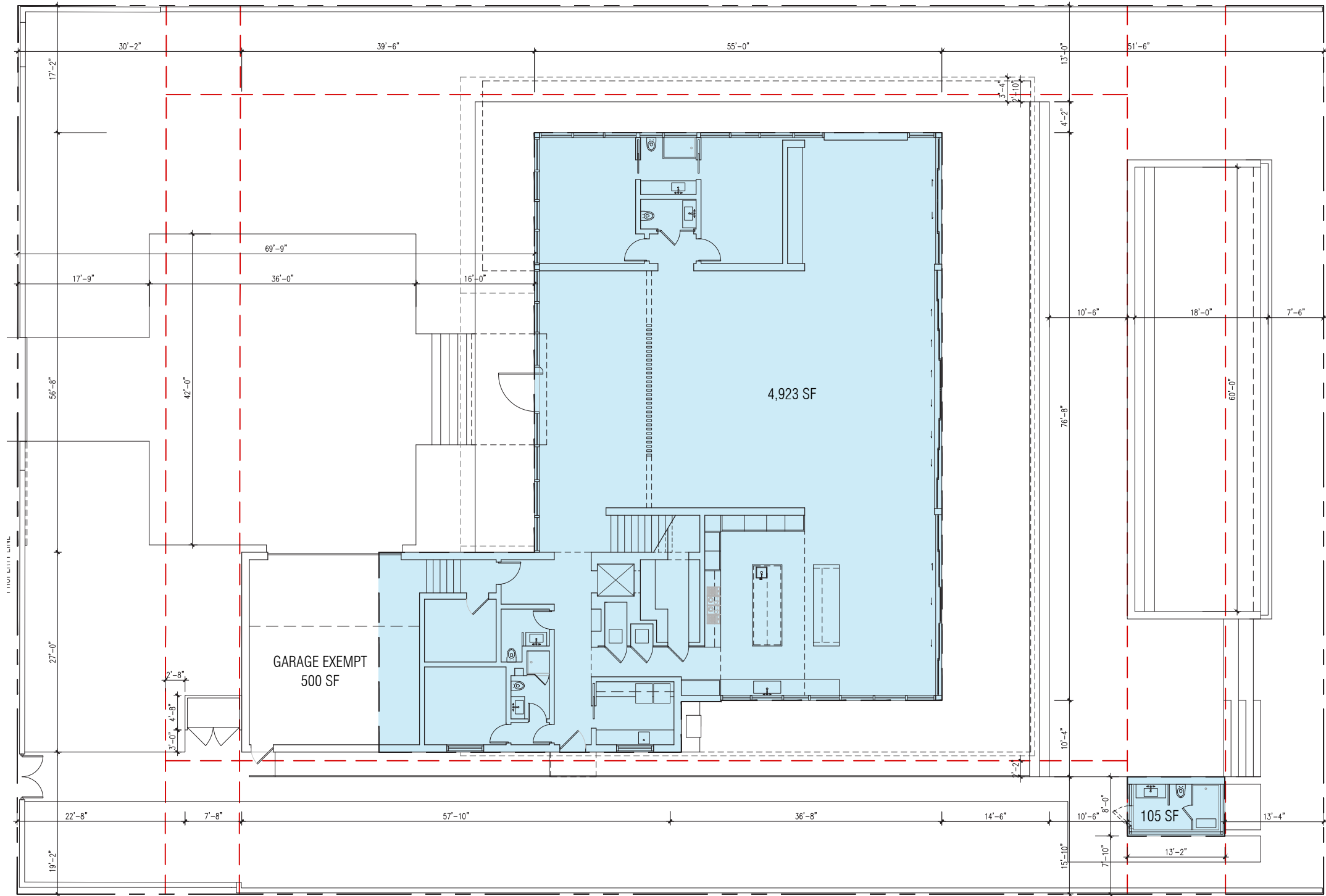
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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A-4.R

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



UNIT SIZE

ALLOWABLE UNIT SIZE	GROUND LEVEL	GROUND LEVEL ACCESSORY BUILDING	GROUND LEVEL GARAGE EXEMPT AREA	SECOND LEVEL	TOTAL UNIT SIZE
10,578 SF 50% OF NET LOT AREA (21,157 SF)	5,028 SF (INCL. ACCESSORY BUILDING)	105 SF	500 SF	3,858 SF	8,886 SF 42% OF LOT AREA (21,157 SF)

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

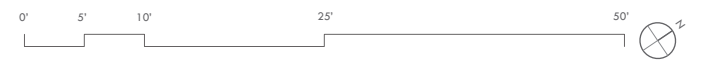


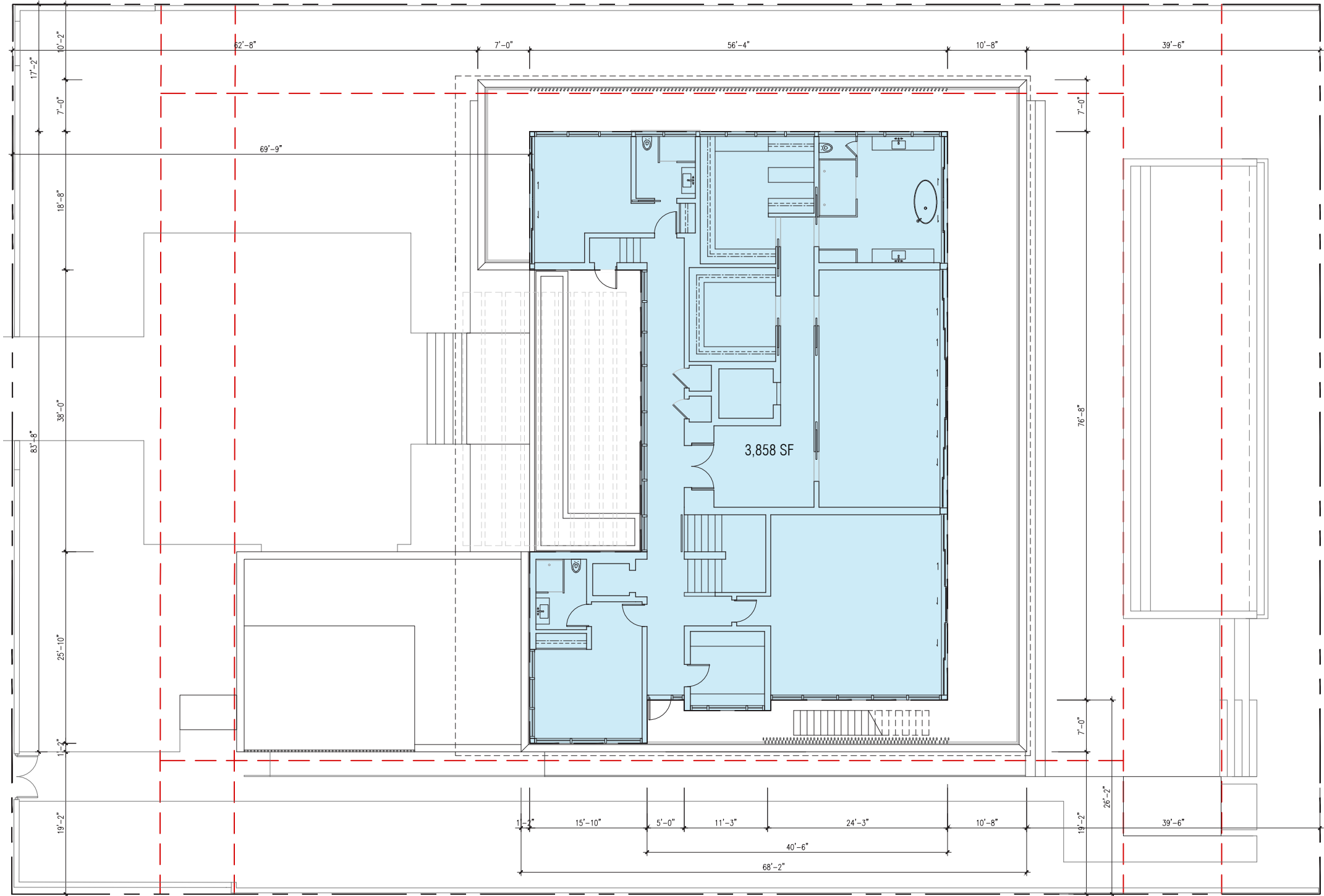
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PRIOR SUBMITTAL

PROPOSED DIAGRAMS - UNIT SIZE - GROUND LEVEL

SCALE: 1/16" = 1'-0"





UNIT SIZE



ALLOWABLE
UNIT SIZE

GROUND LEVEL

GROUND LEVEL
ACCESSORY BUILDING

GROUND LEVEL
GARAGE EXEMPT AREA

SECOND LEVEL

TOTAL UNIT SIZE

10,578 SF
50% OF NET LOT AREA (21,157 SF)

5,028 SF
(INCL. ACCESSORY BUILDING)

105 SF

500 SF

3,858 SF

8,886 SF
42% OF LOT AREA (21,157 SF)

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

**TOUZET
STUDIO**

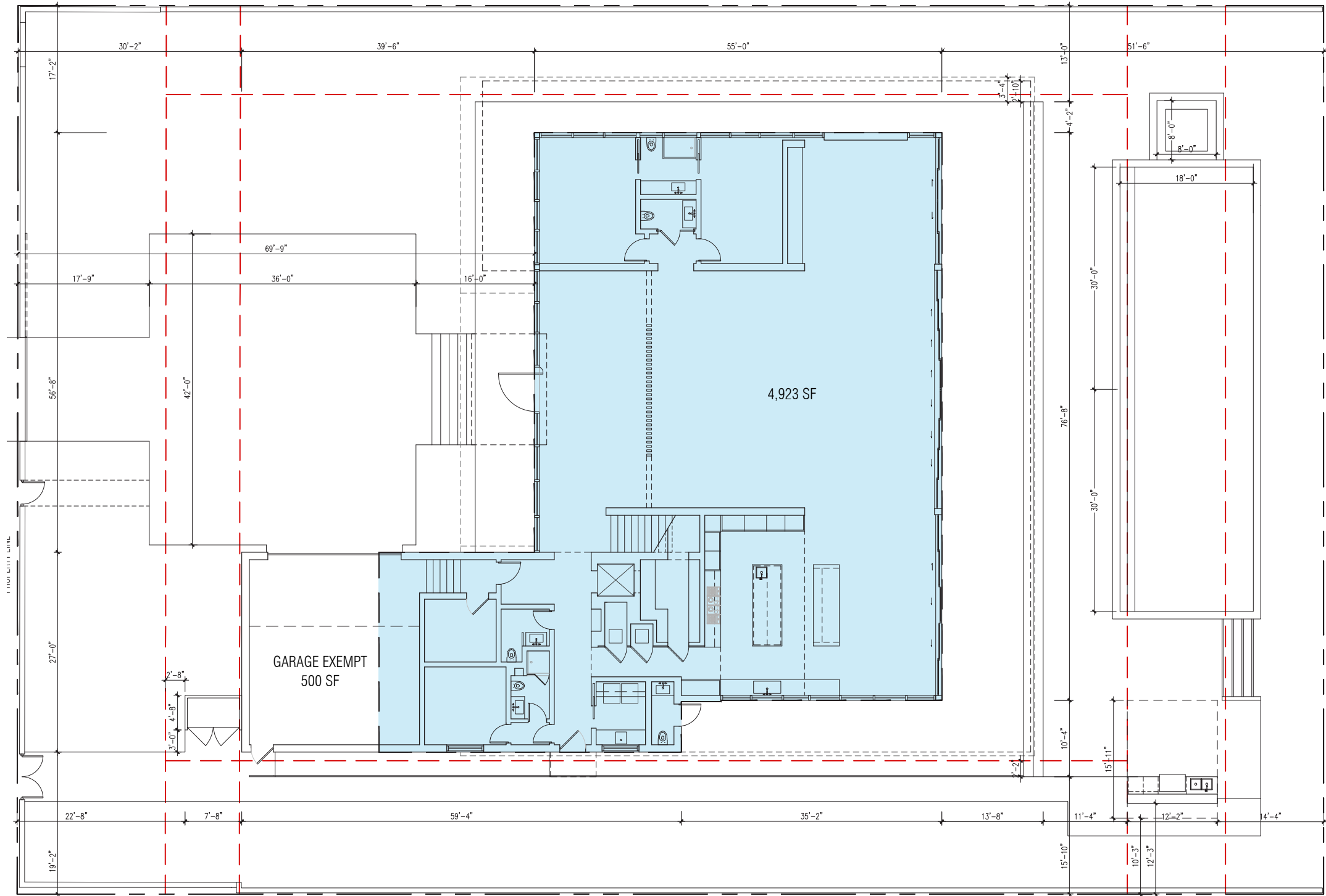
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PRIOR SUBMITTAL

PROPOSED DIAGRAMS - UNIT SIZE - SECOND LEVEL

SCALE: 1/16" = 1'-0"





UNIT SIZE

ALLOWABLE UNIT SIZE	GROUND LEVEL	GROUND LEVEL ACCESSORY BUILDING	GROUND LEVEL GARAGE EXEMPT AREA	SECOND LEVEL	TOTAL UNIT SIZE
10,578 SF 50% OF NET LOT AREA (21,157 SF)	4,923 SF (INCL. ACCESSORY BUILDING)	0 SF	500 SF	3,858 SF	8,781 SF 41.5% OF LOT AREA (21,157 SF)

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



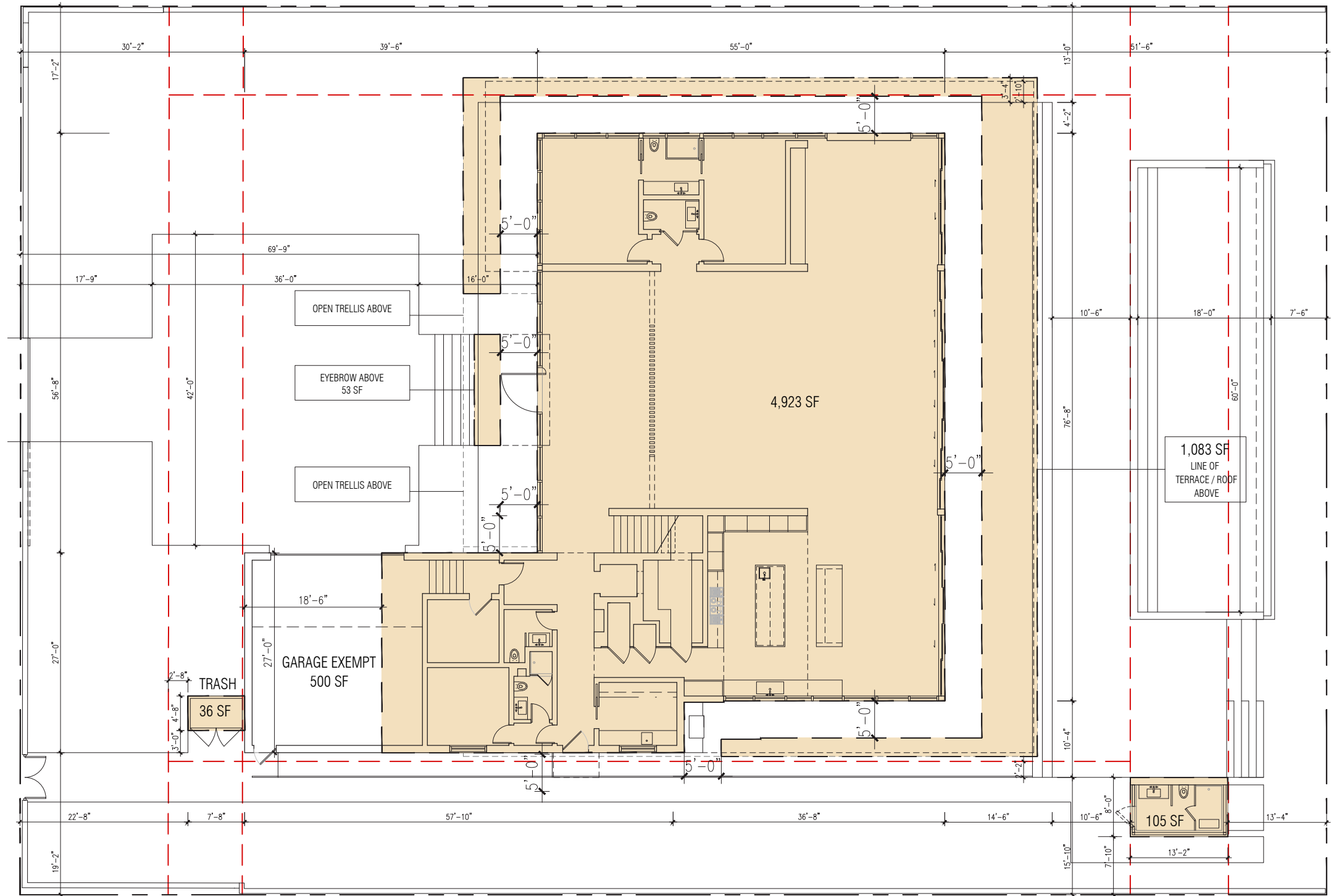
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PROPOSED REVISION

PROPOSED DIAGRAMS - UNIT SIZE - GROUND LEVEL

SCALE: 1/16" = 1'-0"





LOT COVERAGE			
RS-3	LOT AREA	MAX LOT COVERAGE ALLOWED	LOT COVERAGE PROVIDED
	21,157 SF	6,347 SF - 30%	6,200 SF - 29.3%

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

**TOUZET
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PRIOR SUBMITTAL

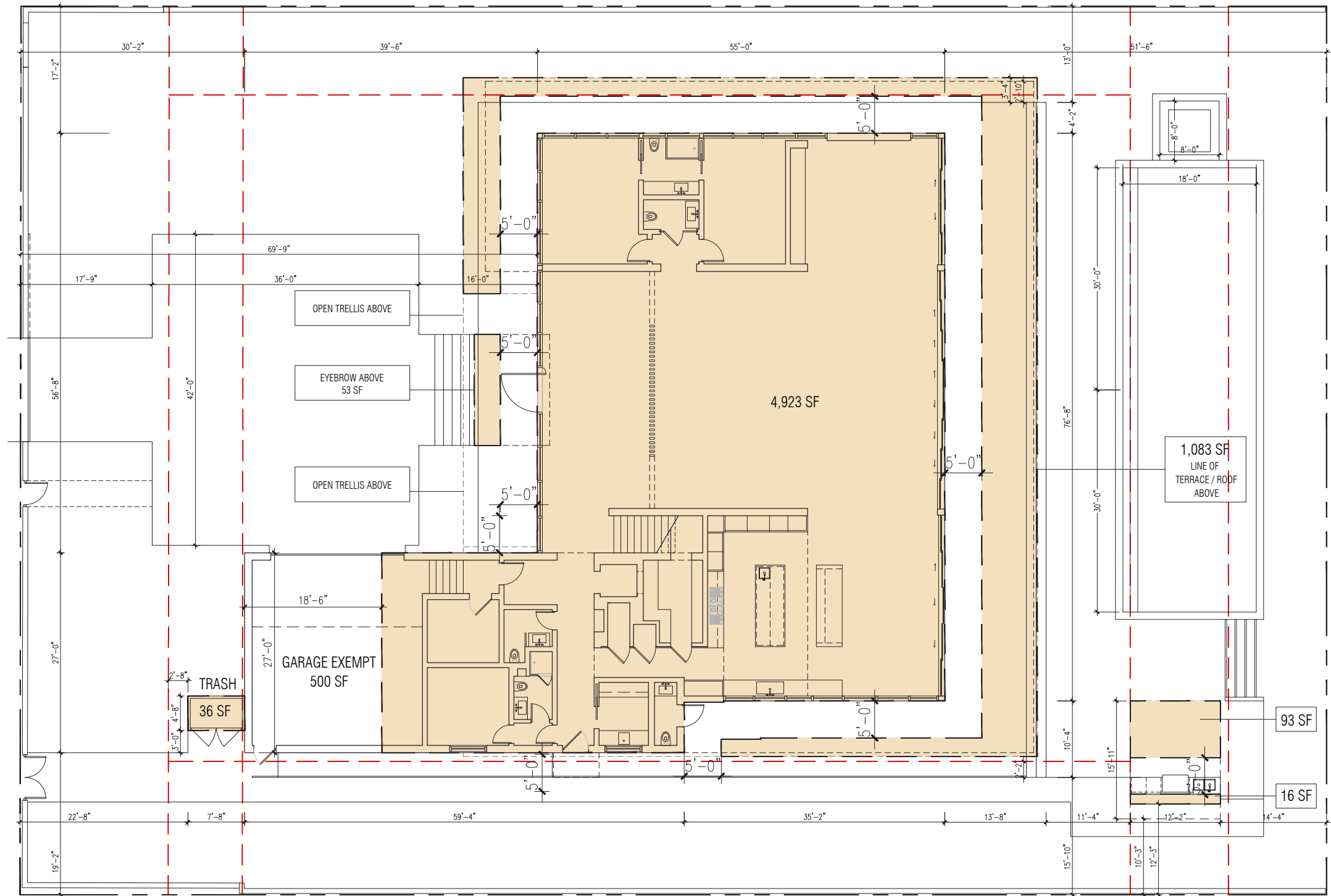
PROPOSED DIAGRAMS - LOT COVERAGE

SCALE: 1/16" = 1'-0"



A-25

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



LOT COVERAGE			
RS-3	LOT AREA	MAX LOT COVERAGE ALLOWED	LOT COVERAGE PROVIDED
	21,157 SF	6,347 SF - 30%	6,204 SF - 29.3%

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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PROPOSED REVISION

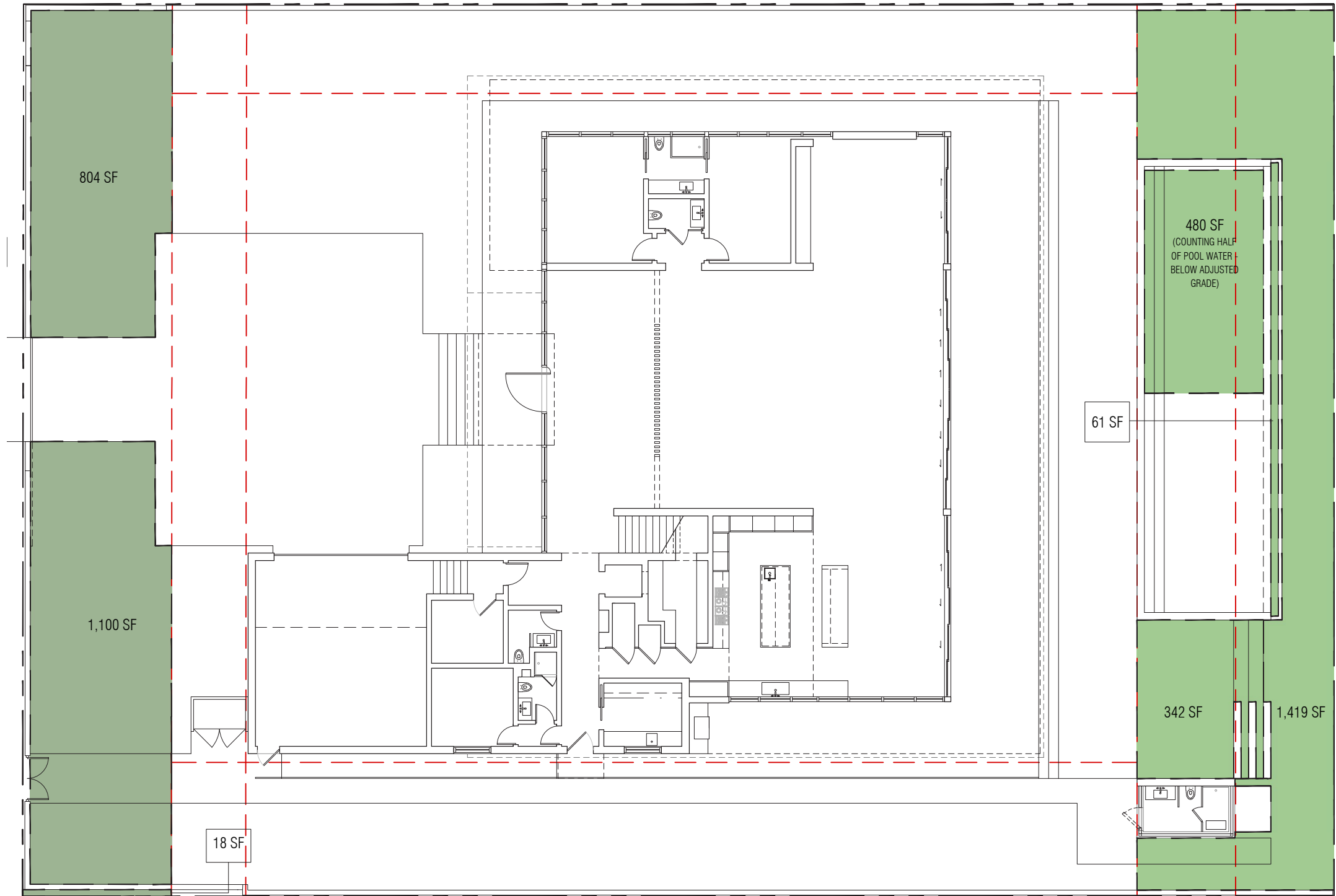
PROPOSED DIAGRAMS - LOT COVERAGE

SCALE: 1/16" = 1'-0"



A-25.R

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



OPEN SPACE		YARD AREA	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
RS-3				
<div></div>	FRONT	2,400 SF	1,200 SF - 50%	1,922 SF - 79.3%
<div></div>	REAR	3,180 SF	2,226 SF - 70%	2,302 SF - 72.3%

121 NORTH HIBISCUS DRIVE RESIDENCE

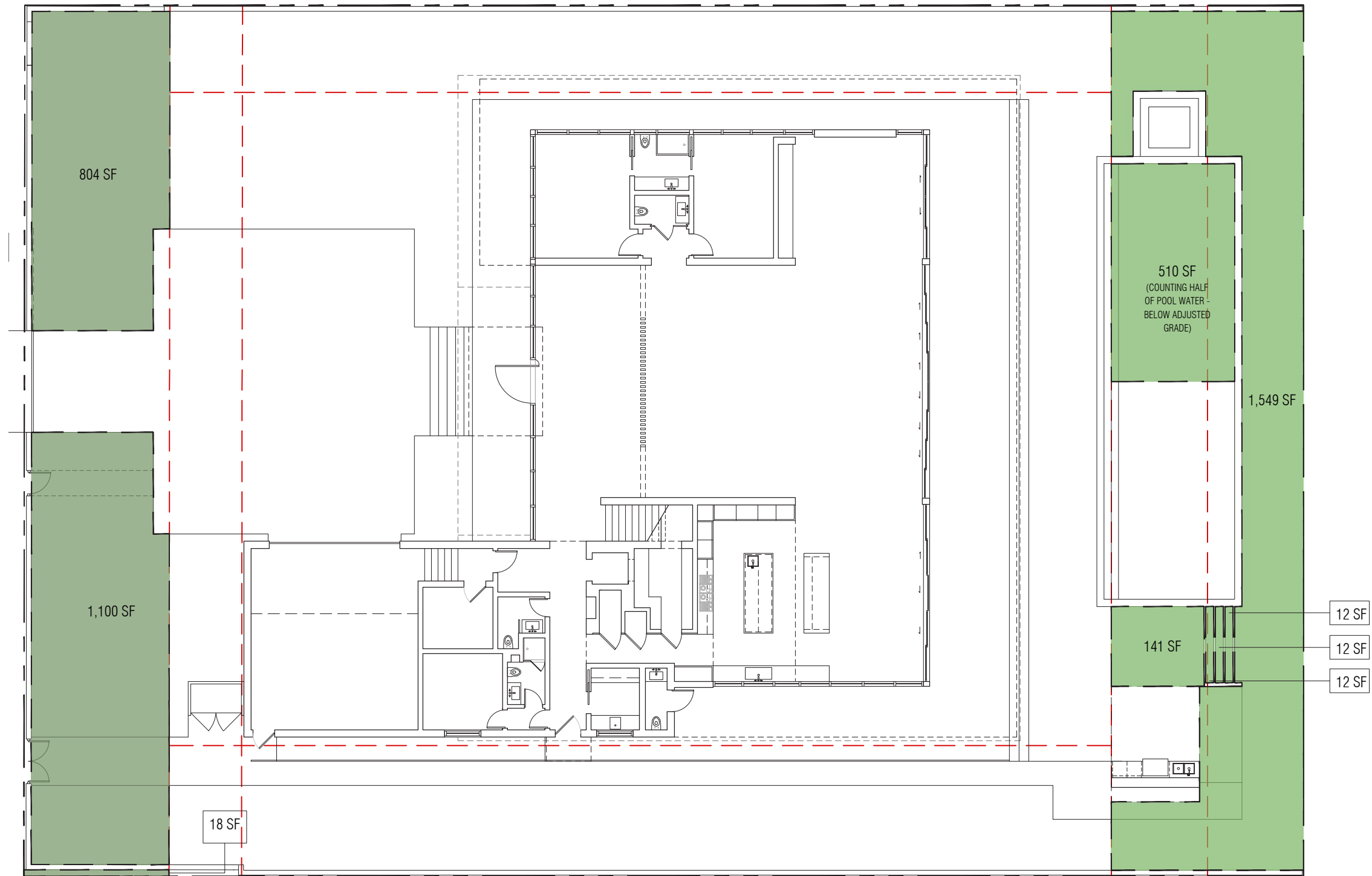
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

PRIOR SUBMITTAL

PROPOSED DIAGRAMS - OPEN SPACE

SCALE: 1/16" = 1'-0"





OPEN SPACE

RS-3	YARD AREA	OPEN SPACE REQUIRED	OPEN SPACE PROVIDED
FRONT	2,400 SF	1,200 SF - 50%	1,922 SF - 79.3%
REAR	3,180 SF	2,226 SF - 70%	2,236 SF - 70.3%

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

**TOUZET
STUDIO**

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PROPOSED REVISION

PROPOSED DIAGRAMS - OPEN SPACE

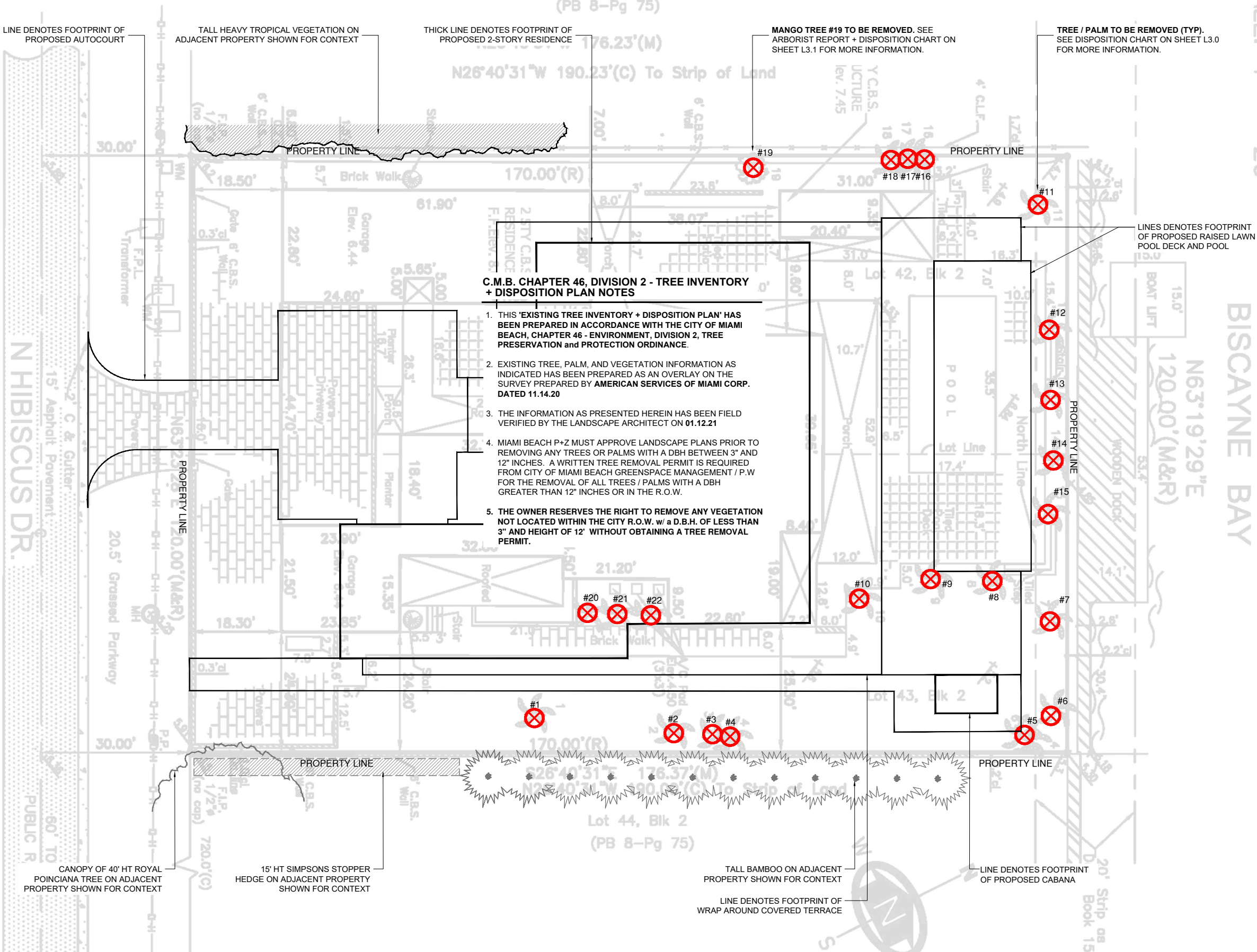
SCALE: 1/16" = 1'-0"



A-26.R

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021

CERTIFIED TO :
TODD GLASER



CHRISTOPHER
CAWLEY
LANDSCAPE
ARCHITECTURE

780 NE 69TH STREET
SUITE 200 MIAMI, FL 33138
O 786.536.2961 C 305.979.1585
CHRISTOPHERCAWLEY.COM
Florida Landscape Architecture
Business LLC 26000460

REVISION SCHEDULE

SHEET TITLE:

EXISTING TREE
SURVEY +
DISPOSITION PLAN

PROJECT INFO:

121 NORTH HIBISCUS
MIAMI BEACH, FL

CHRISTOPHER CAWLEY, RLA
Florida License LA 6666796

SCALE + NORTH ARROW:

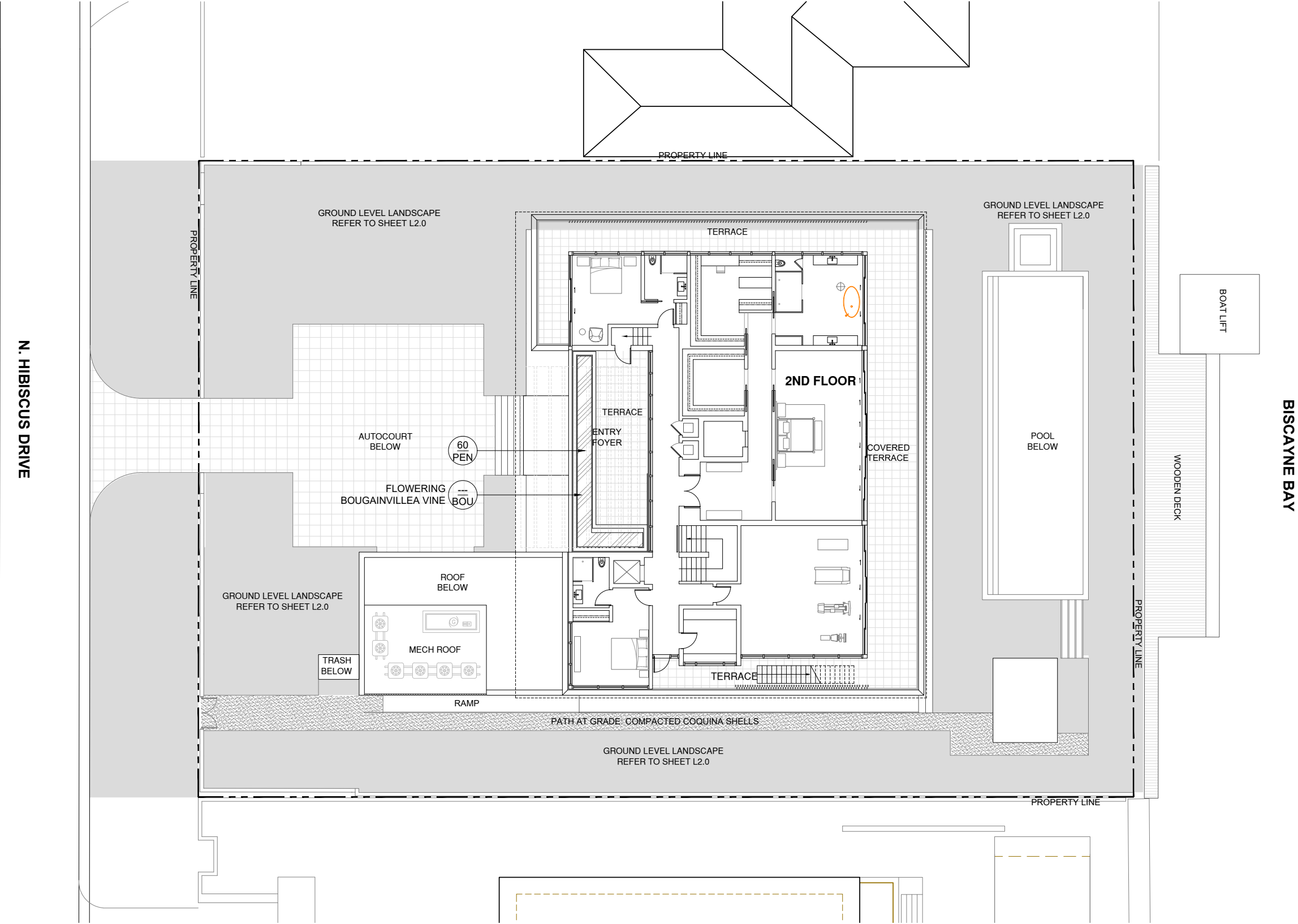


DATE:

JANUARY 19, 2021

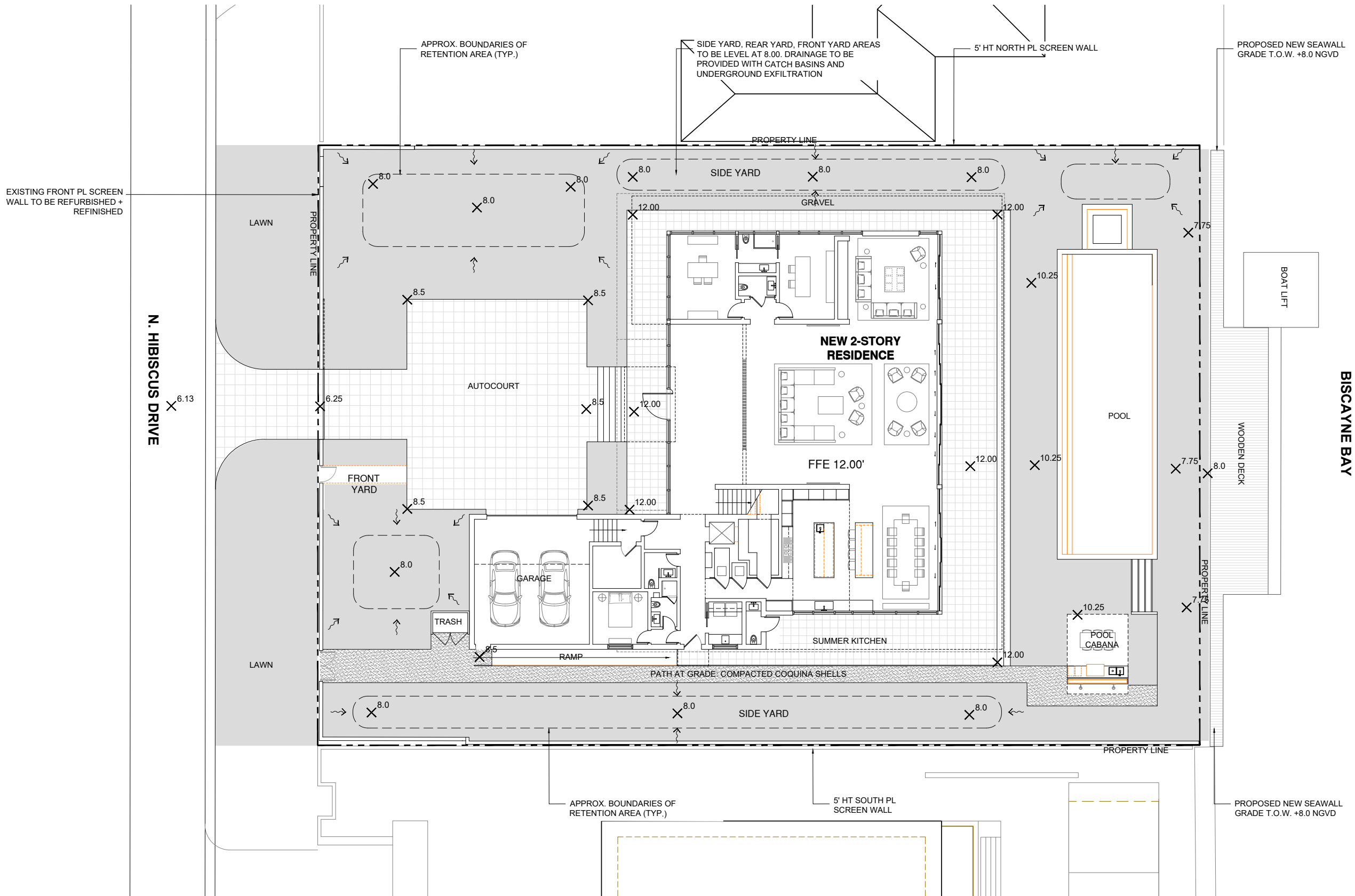
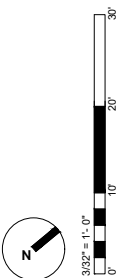
SHEET NO:

L1.0



121 NORTH HIBISCUS
MIAMI BEACH, FL



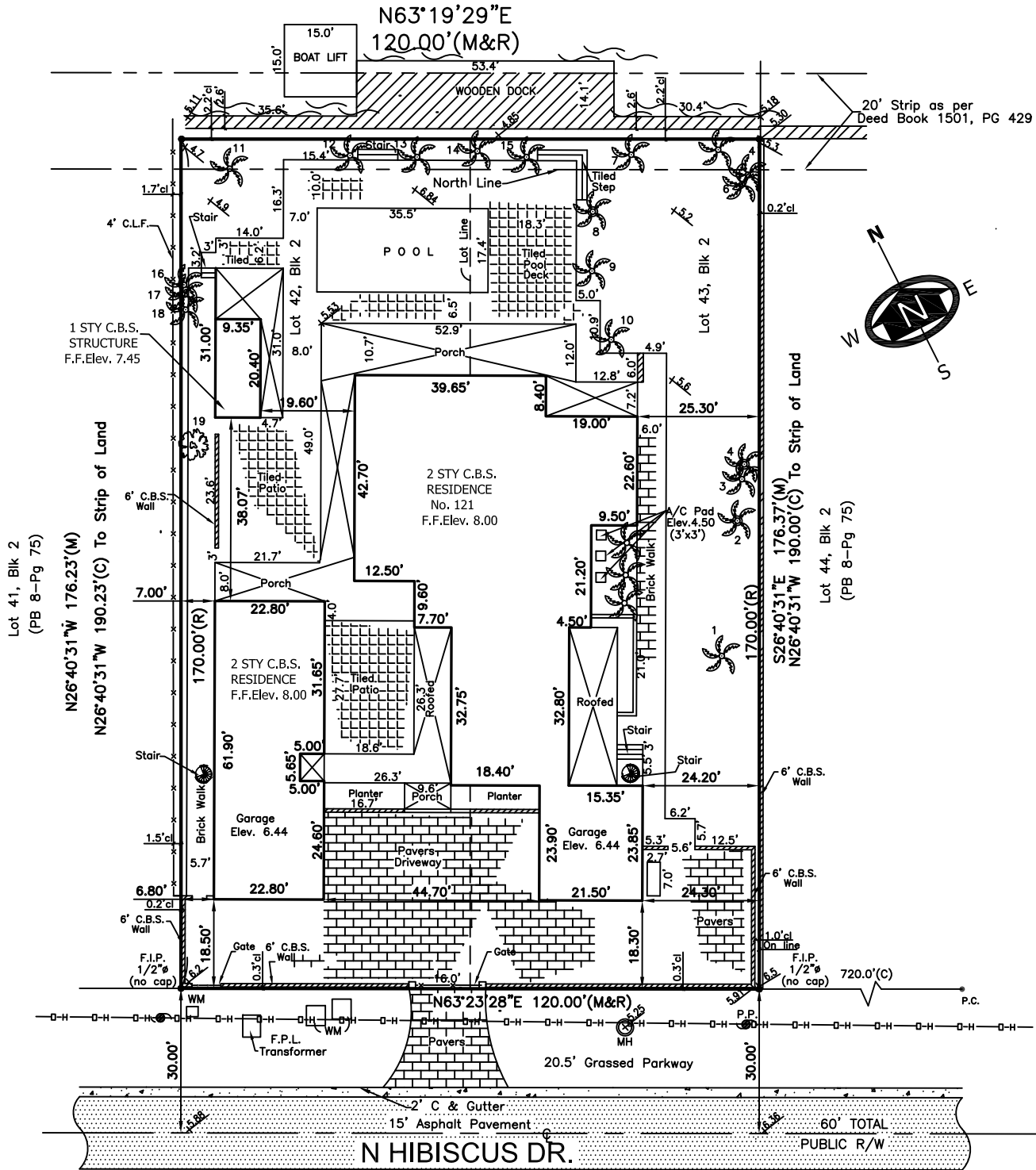


ALL FOLLOWING SHEETS PREVIOUSLY APPROVED
FOR REFERENCE ONLY

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 20'

BISCAYNE BAY

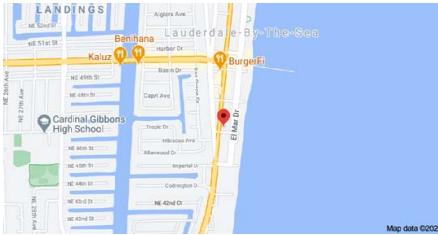


CERTIFIED TO:
TODD GLASER

No.	TREE NAME	BOTANICAL NAME	D.B.H.	HEIGHT	SPREAD
1-2	ROYAL PALM	ROYSTONIA ELATA	1.7'	50'	50'
3	ROYAL PALM	ROYSTONIA ELATA	2.0'	50'	50'
4	ROYAL PALM	ROYSTONIA ELATA	1.5'	50'	50'
5	ROYAL PALM	ROYSTONIA ELATA	0.5'	25'	8'
6-9	COCONUT	COCOS NUCIFERA	1.0'	30'	30'
10	COCONUT	COCOS NUCIFERA	1.8'	50'	50'
12-15	COCONUT	COCOS NUCIFERA	0.5'	25'	8'
16	ROYAL PALM	ROYSTONIA ELATA	1.3'	50'	50'
17	MANGO TREE	MANGIFERA INDICA	2.0'	50'	50'

LOCATION MAP

SCALE: NTS



SITE PICTURE



ABBREVIATION (IF ANY APPLIED)

A = CURVE	P/W = PARKWAY
A/C = AIR CONDITIONING UNIT	P.O.B. = POINT OF BEGINNING
ASPH. = ASPHALT	P.O.C. = POINT OF COMMENCEMENT
B.M. = BENCH MARK	P.C. = POINT OF CURVATURE
BL/CON = BLOCK CORNER	P.I. = POINT OF INTERSECTION
CH/C(C) = CALCULATED	P = PROPERTY LINE
CB = CATCH BASIN	P.P. = POWER POLE
C.B.S. = CONCRETE BLOCK STRUCTURE	P.R.M. = PERMANENT REFERENCE MONUMENT
CL = CLEAR	P.T. = POINT OF TANGENCY
CONC. = CONCRETE	RAD. = RADIAL
C.U.M.E. = DRAINAGE MANT. EASEMENT	REC. (R) = RECORDED
D = DIAMETER	RES. = RESIDENCES
EASMT. = EASEMENT	R/W = RIGHT OF WAY
ELEV. = ELEVATION	SEC. = SECTION
ENC. = ENCROACHMENT	S.D.H. = SET DRILL HOLE
F.D.H. = FOUND DRILL HOLE	S.H. = SET HOLE
F.H. = FIRE HYDRANT	S.H.D. = SET HOLE AND DISC
F.H.D. = FOUND HOLE AND DISC	S.P. = SET IRON PIPE
F.I.P. = FOUND IRON PIPE	S.R.S. = SET REBAR
F.S. = FOUND SPIKE	STY = STORY
L.P. = LIGHT POLE	SW. = SEWER
MEAS(N) = MEASURED	T.O.P. = TOP OF BANK
M = MANHOLE	U.E. = UTIL. EASEMENT
M = MONUMENT	W.P. = WOODEN POLE
N = NOT TO SCALE	E = SECTION LINE

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE	CATCH BASIN
STRUCTURE (BLDG.)	MANHOLE
CONCRETE BLOCK WALL	OVERHEAD ELECT.
METAL FENCE	POWER POLE
WOODEN FENCE	LIGHT POLE
CHAIN LINK FENCE	HANDICAP SPACE
WOOD DECK/DOCK	FIRE HYDRANT
ASPHALTED AREAS	EASEMENT LINE
CONCRETE	WATER VALVE
BRICKS OR PAVERS	TV-CABLE BOX
ROOFED AREAS	WM WATER METER
WATER (EDGE OF WATER)	CONC. LIGHT POLE

SITE ADDRESS: 121 N HIBISCUS DR, MIAMI BEACH, FL, 33139
JOB NUMBER: 20-1046
DATE OF SURVEY: NOVEMBER 14, 2020
FOLIO NUMBER: 02-3232-006-0540

ENCROACHMENTS AND OTHER POINTS OF INTEREST:

- THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
- THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AE (SEE NOTE 1)
- THERE NO PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL No. **120651-316L**, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 10.00 FEET** (NGVD)
- LAND AREA OF SUBJECT PROPERTY: **21,000 SF (+/-)** AS PER PUBLIC RECORDS/ **21,157 SF (+/-)** (CALCULATED)
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY **BENCH MARK No. D-175**, WITH AN ELEVATION OF **7.69 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.00°07'12"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF WEST PALM MIDWAY., AS SHOWN ON PLAT BOOK 8 AT PAGE 75 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY FLORIDA.

GENERAL SURVEYOR NOTES:

NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER 53-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

LOT 42 AND 43, BLOCK 2, HIBISCUS ISLAND, ACCORDING TO THE MAP OR PINT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 75, PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; ALSO ALL THAT PART OF 20 FT. STRIP OF LAND CONVEYED BY THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND TO THE BISCAYNE BAY ISLAND COMPANY BY DEED DATED SEPTEMBER 14, 1932, AND RECORDED IN DEED BOOK 1501, PAGE 479, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, WHICH LIES NORTHEASTERLY AND CONTIGUOUS TO THE NORTHEASTERLY BOUNDARY LINES OF LOTS 42 AND 43 OF BLOCK 2, OF HIBISCUS ISLAND, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, PAGE 75, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, AND BETWEEN THE NORTHWESTERLY LINE OF LOT 42 OF BLOCK 2 OF THE AFORESAID SUBDIVISION EXTENDED NORTHEASTERLY INTO BISCAYNE BAY AND THE SOUTHEASTERLY LINE OF LOT 43, BLOCK 2, OF THE AFORESAID SUBDIVISION EXTENDED NORTHEASTERLY INTO BISCAYNE BAY, TOGETHER WITH RIPARIAN AND/OR LITTORAL RIGHTS.

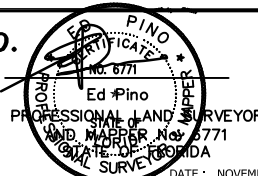
WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 53-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 472.027 FO THE FLORIDA STATUTES.



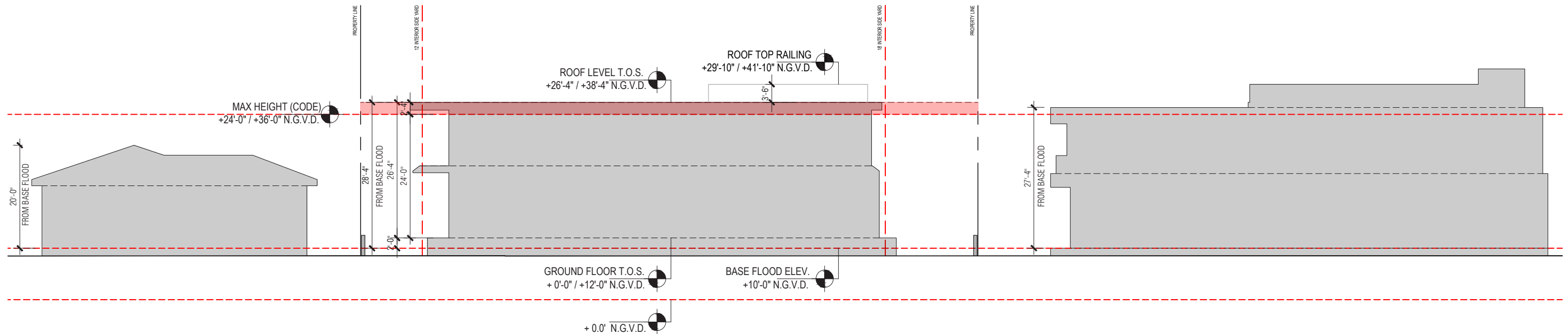
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NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER



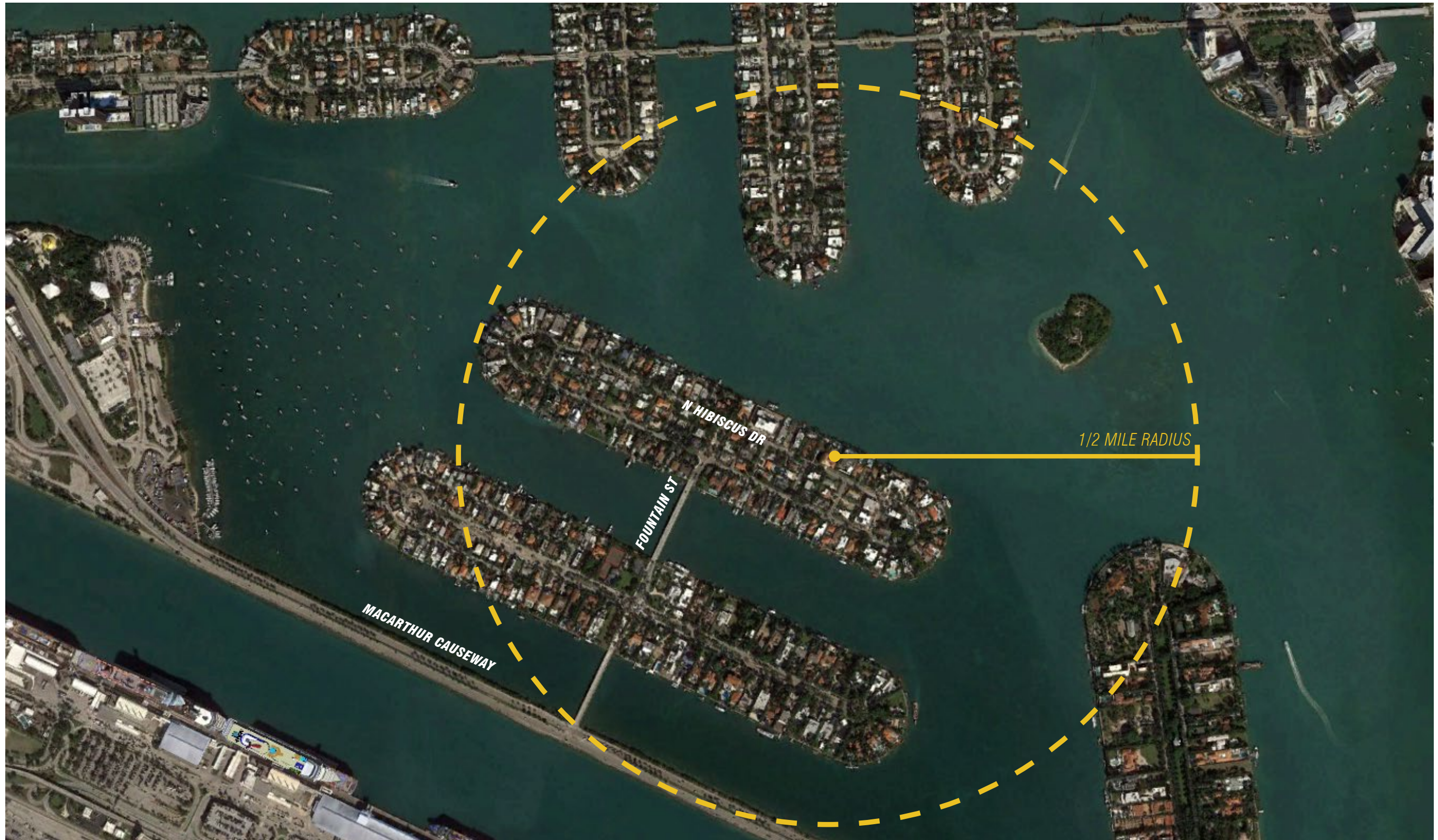
121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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CONTEXT LOCATION PLAN





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SITE LOCATION

A-9

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



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SITE LOCATION



A



B

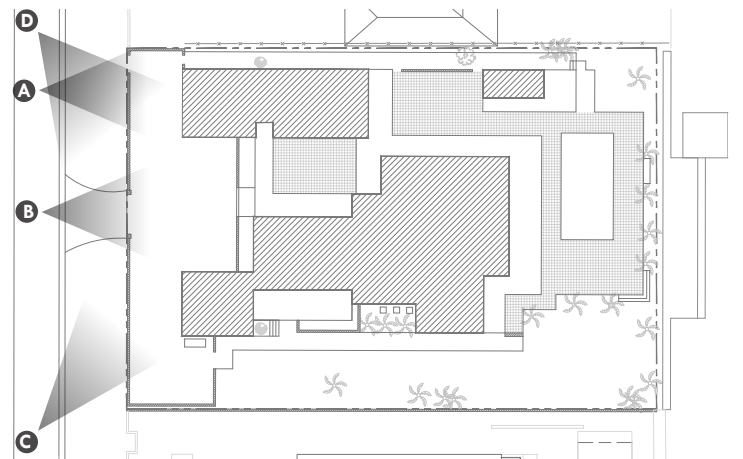


C



D

ALL SITE PHOTOS DATED JANUARY 16, 2021



SITE PHOTOS - EXISTING STRUCTURE - FRONT

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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A-11

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



A



B

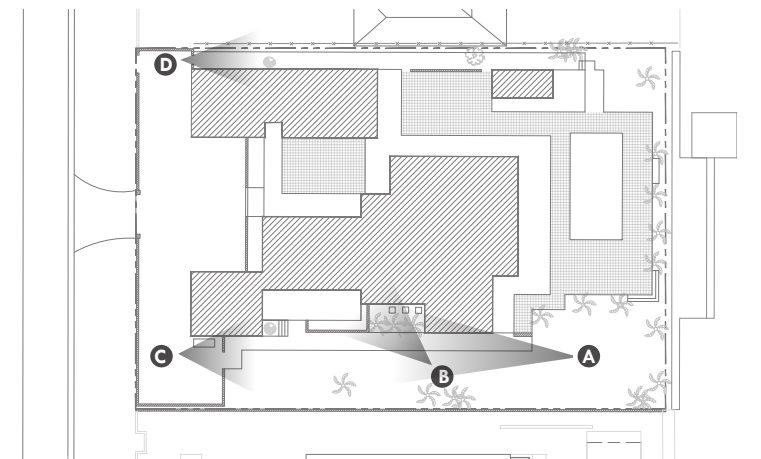


C



D

ALL SITE PHOTOS DATED JANUARY 16, 2021



SITE PHOTOS - EXISTING STRUCTURE - SIDE

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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A-12

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



A



B

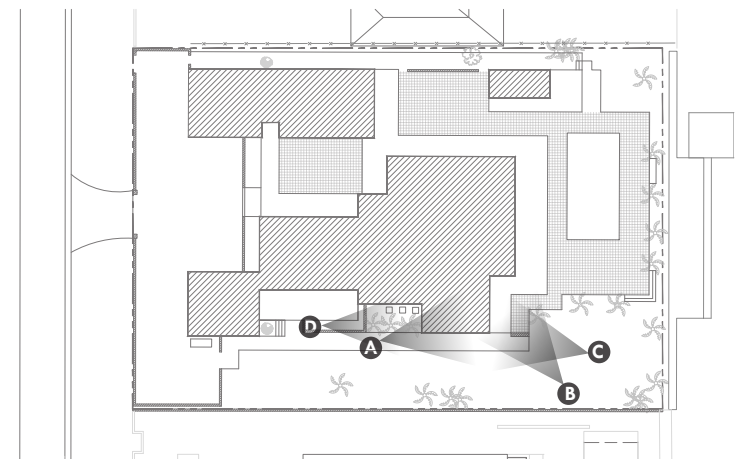


C



D

ALL SITE PHOTOS DATED JANUARY 16, 2021



SITE PHOTOS - EXISTING STRUCTURE - REAR

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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A-13

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



A



B

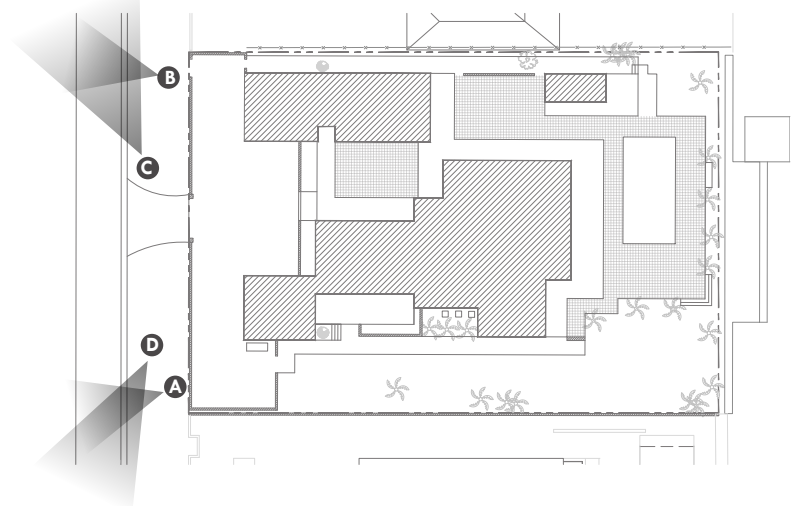


C



D

ALL SITE PHOTOS DATED JANUARY 16, 2021



SITE PHOTOS - SURROUNDING PROPERTY

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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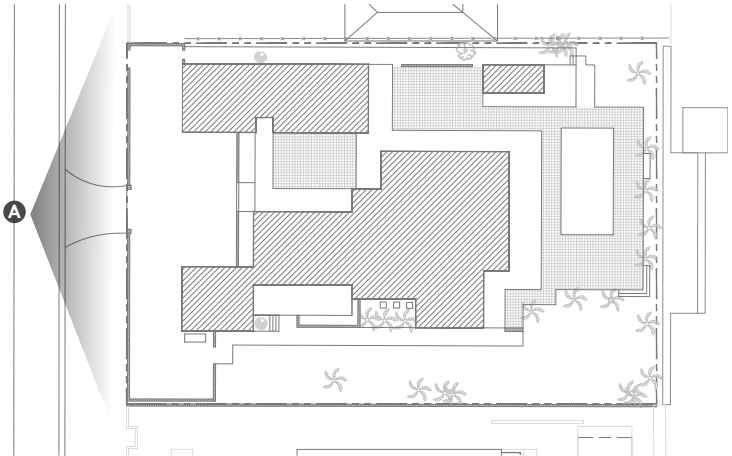
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A-14

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ALL SITE PHOTOS DATED JANUARY 16, 2021



EXISTING ELEVATION SOUTH

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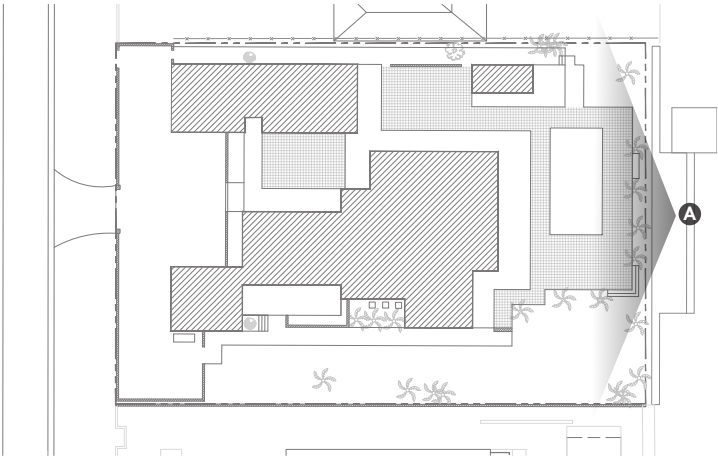
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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ALL SITE PHOTOS DATED JANUARY 16, 2021



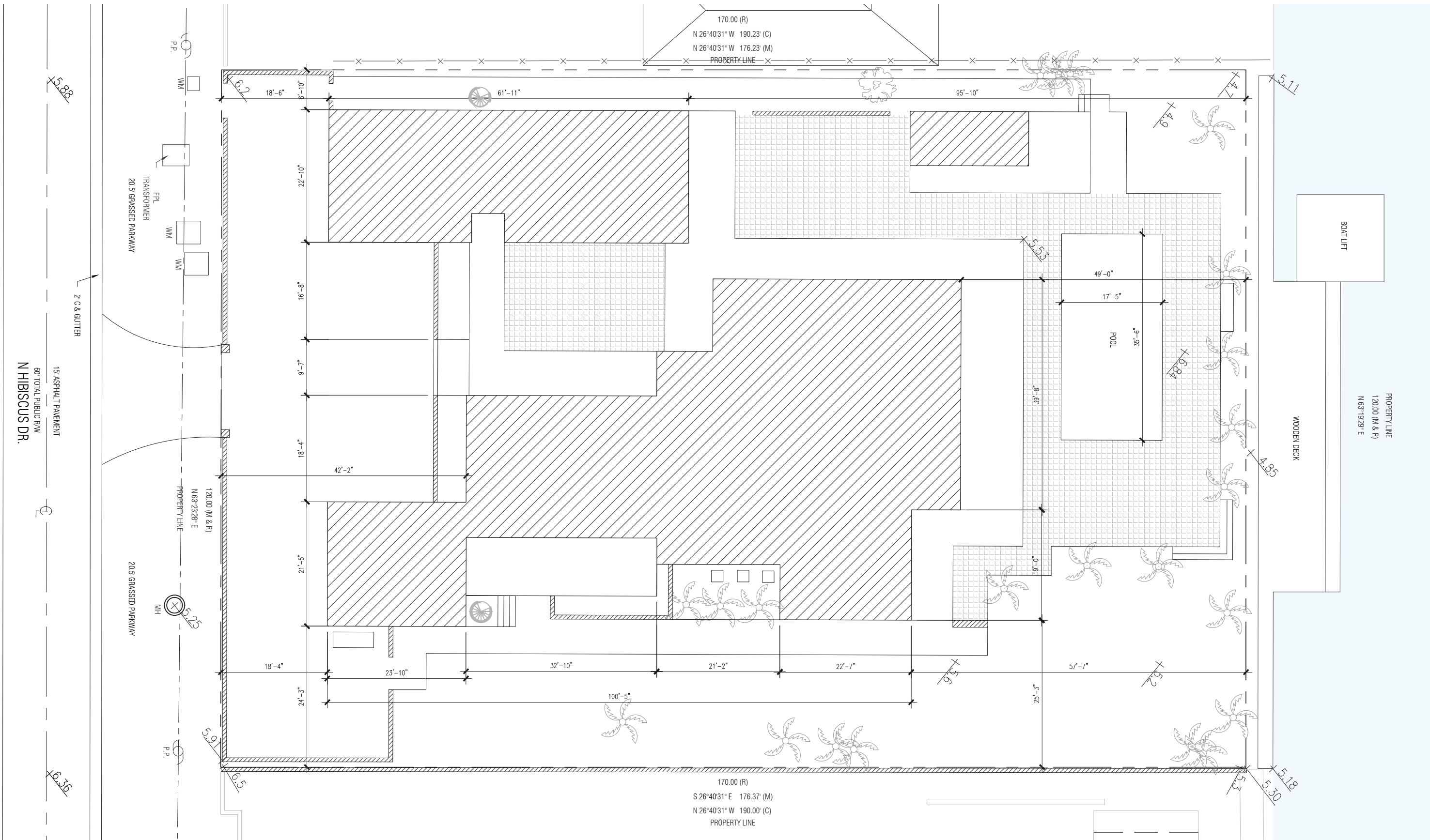
EXISTING ELEVATION NORTH

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EXISTING CONDITIONS PLAN

SCALE: 1/16" = 1'-0"



PROPERTY LINE

PROPERTY LINE



SOUTH ELEVATION

121 NORTH HIBISCUS DRIVE RESIDENCE

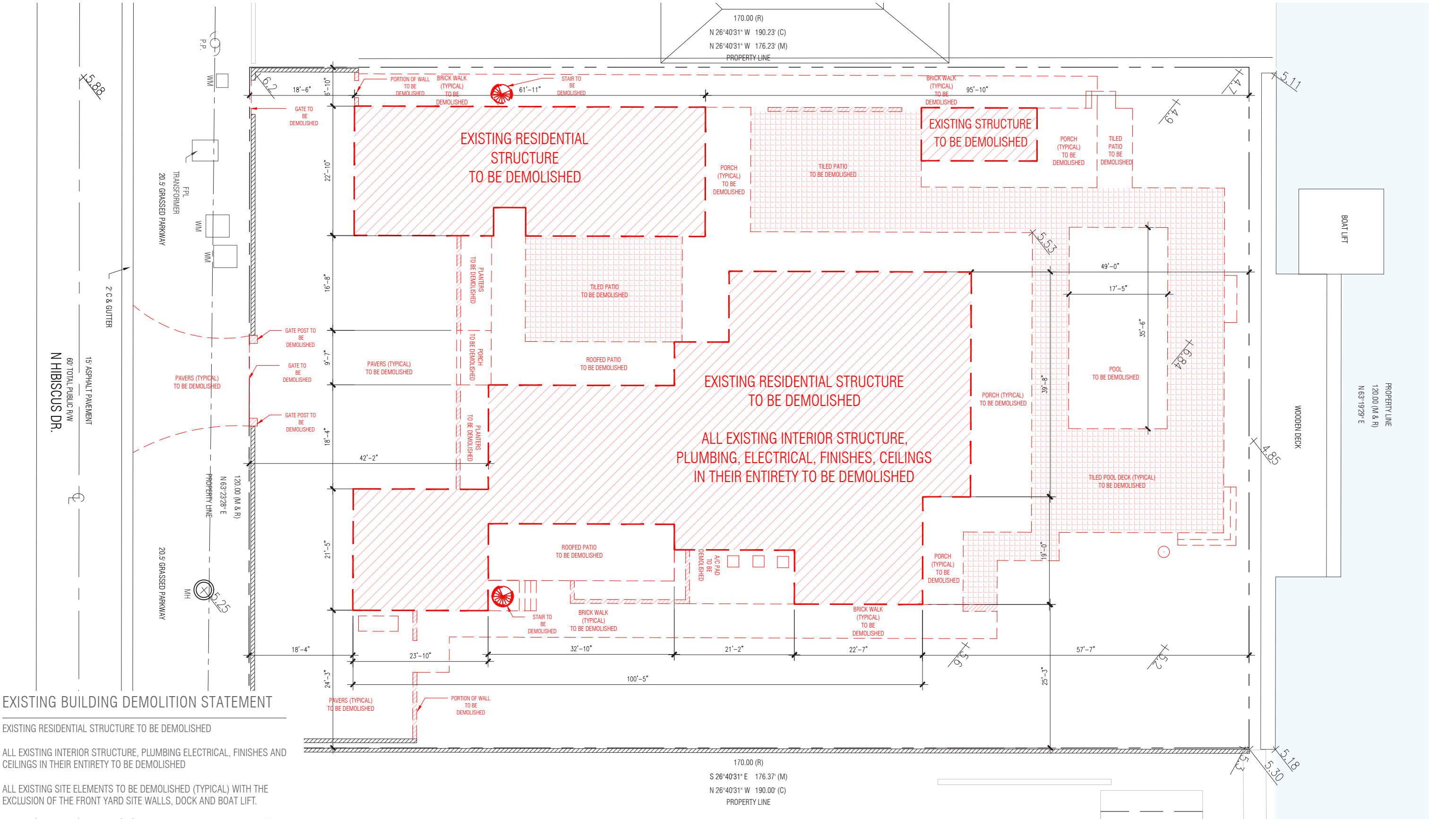
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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EXISTING CONDITIONS ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING BUILDING DEMOLITION STATEMENT

- EXISTING RESIDENTIAL STRUCTURE TO BE DEMOLISHED
- ALL EXISTING INTERIOR STRUCTURE, PLUMBING ELECTRICAL, FINISHES AND CEILINGS IN THEIR ENTIRETY TO BE DEMOLISHED
- ALL EXISTING SITE ELEMENTS TO BE DEMOLISHED (TYPICAL) WITH THE EXCLUSION OF THE FRONT YARD SITE WALLS, DOCK AND BOAT LIFT.

121 NORTH HIBISCUS DRIVE RESIDENCE
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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DEMOLITION PLAN
SCALE: 1/16" = 1'-0"
0' 5' 10' 25' 50'

PROPERTY LINE

PROPERTY LINE

EXISTING STRUCTURE
TO BE DEMOLISHED WITH THE
EXCLUSION OF THE FRONT YARD SITE
WALLS, DOCK AND BOAT LIFT.

EXISTING STRUCTURE
TO BE DEMOLISHED WITH THE
EXCLUSION OF THE FRONT YARD SITE
WALLS, DOCK AND BOAT LIFT.

SOUTH ELEVATION

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

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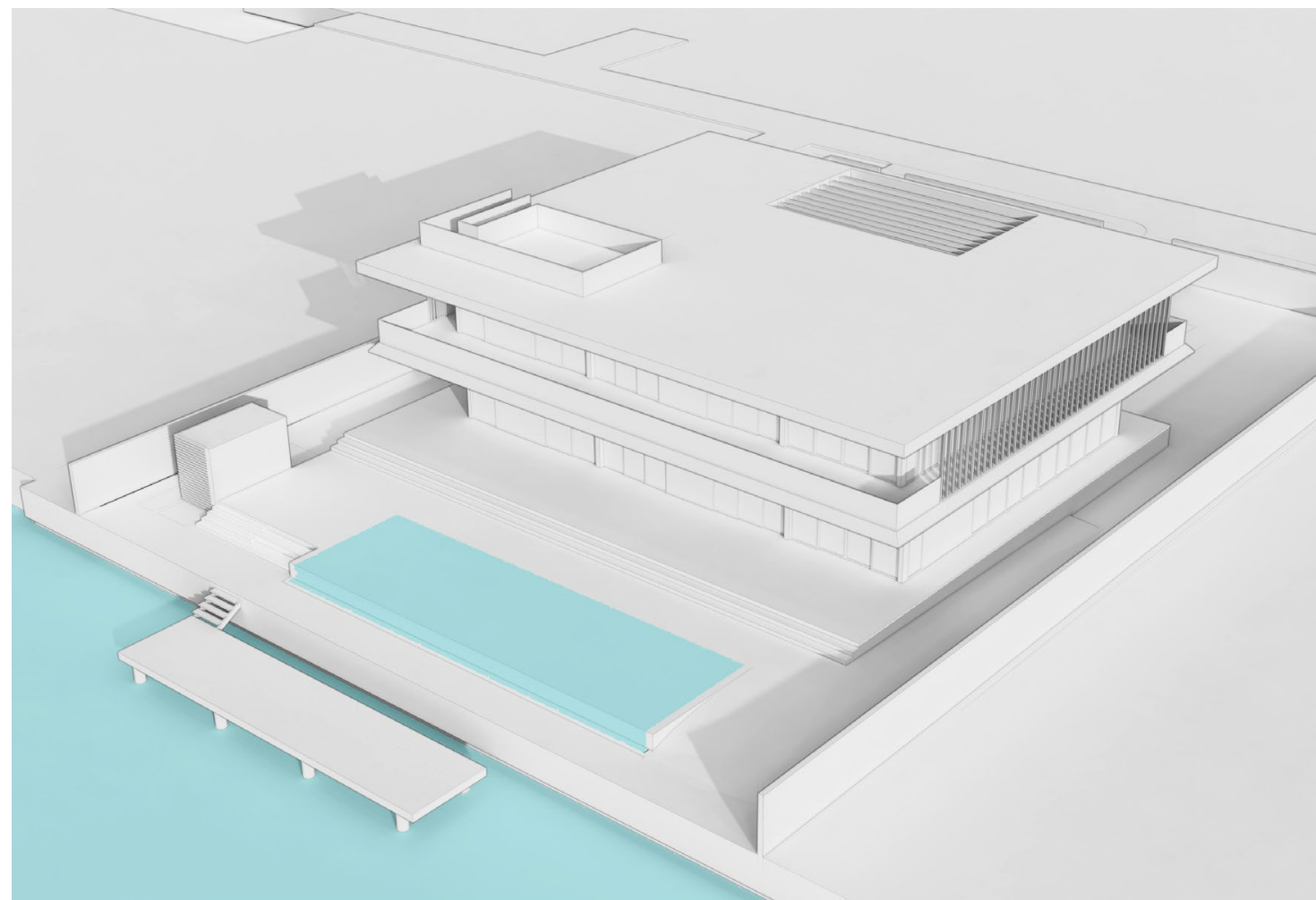
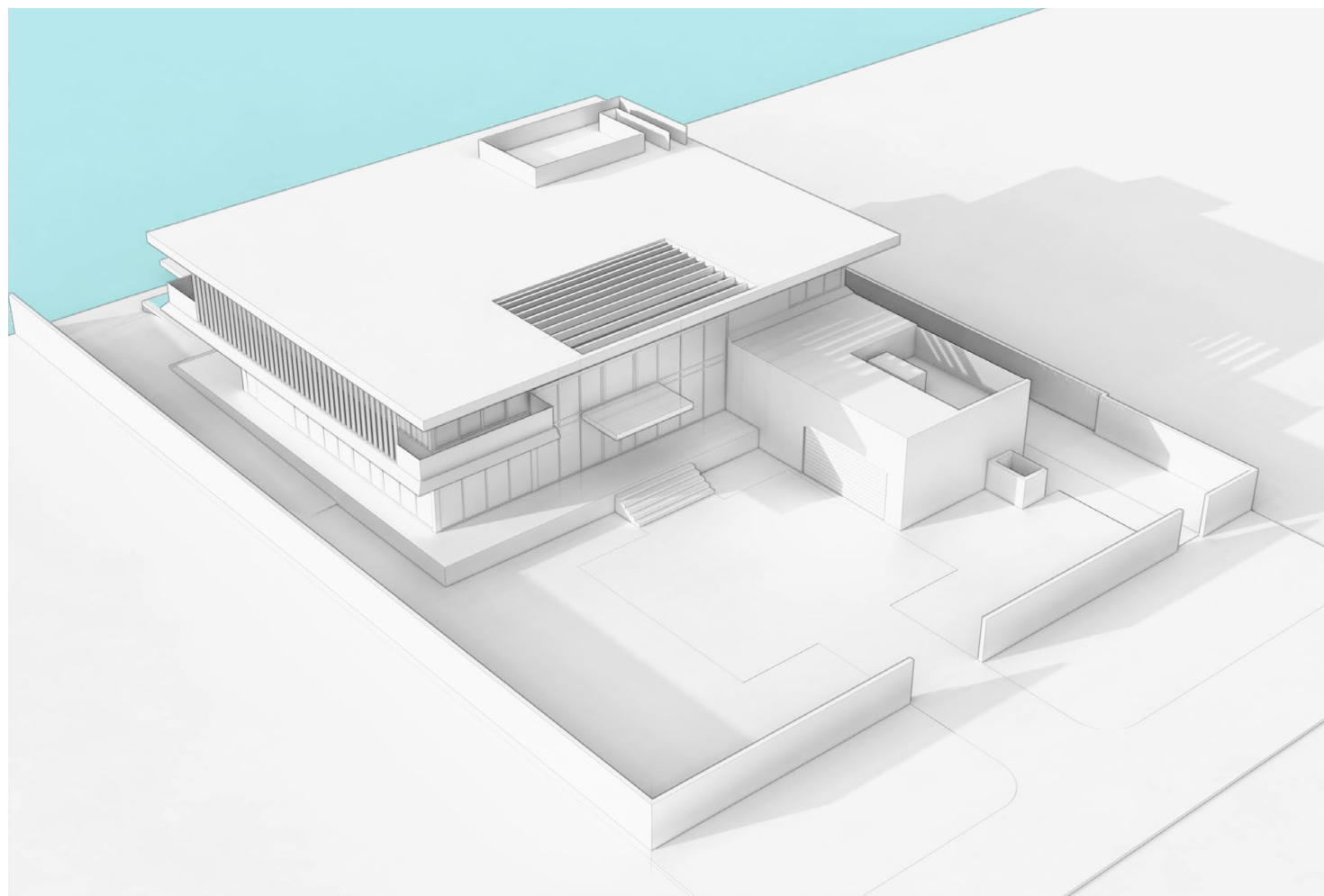
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DEMOLITION ELEVATION

SCALE: 1/8" = 1'-0"

A-20

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121 NORTH HIBISCUS DRIVE RESIDENCE

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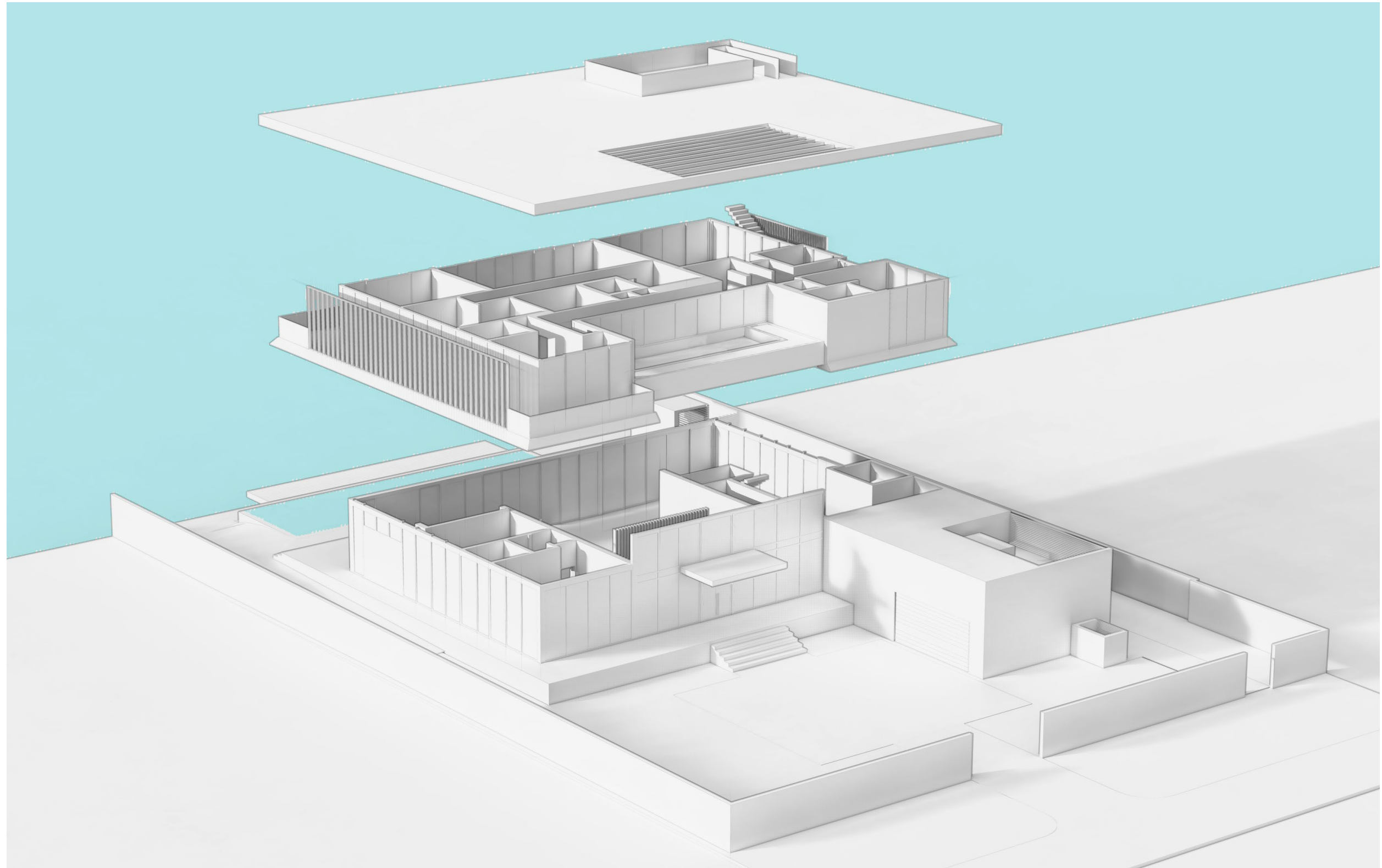
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PROPOSED AXONOMETRICS

A-21

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PROPOSED EXPLODED AXONOMETRICS

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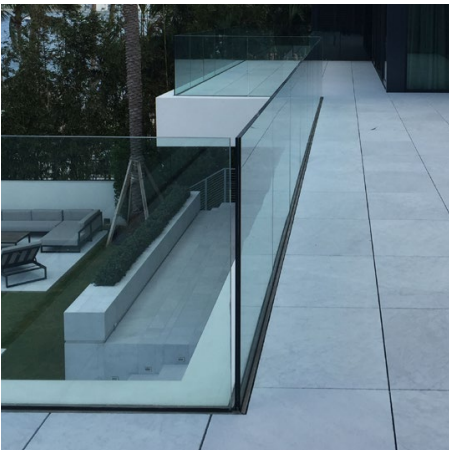
Profile view of a road with elevations 0', 5', 10', 25', and 50'. A north arrow is shown on the right.



WIN-01



AL-01



GL-04



CBS-01



GL-01

AL-01 ROOF / TRELLIS MEMBERS TO BE FINISHED IN LIGHT GRAY KYNAR, OR EQUIV. FINISH

AL-02 SPECIALTY GARAGE DOOR

C-01 CAST-IN-PLACE ARCHITECTURAL CONCRETE

CBS-01 EXTERIOR CEMENT PLASTER ON REINFORCED CONCRETE MASONRY WALL
SMOOTH FINISH AND PAINT - COLOR TBD

CBS-02 EXTERIOR CEMENT PLASTER ON SITE RETAINING WALL
SMOOTH FINISH AND PAINT - COLOR TBD

GL-01 IMPACT-RATED, LIGHT TINTED LAMINATED GLASS IN ALUMINUM WINDOW WALL SYSTEM,
SLIDING DOOR SYSTEM, AND FIXED SYSTEM - LIGHT KYNAR FINISH, TBD.

GL-02 IMPACT-RATED, ALUMINUM OUTSWING ENTRANCE DOORS - FINISH TO MATCH GL-01

GL-03 IMPACT-RATED, LIGHT TINTED CUSTOM FRIT OR FROSTED LAMINATED GLASS ON ALUMINUM FRAMING
SYSTEM - FINISH TO MATCH GL-01

GL-04 TEMPERED GLASS GUARDRAIL SYSTEM WITH ALUMINUM RAIL SHOE, HEIGHT 42" A.F.F.

MTL-01 BRAKE METAL OVER STEEL STRUCTURAL ELEMENTS - LIGHT KYNAR FINISH, TBD.

PL-01 IN-GROUND POOL, PEBBLEFINA - CIELO BLUE OR EQUIVALENT FINISH

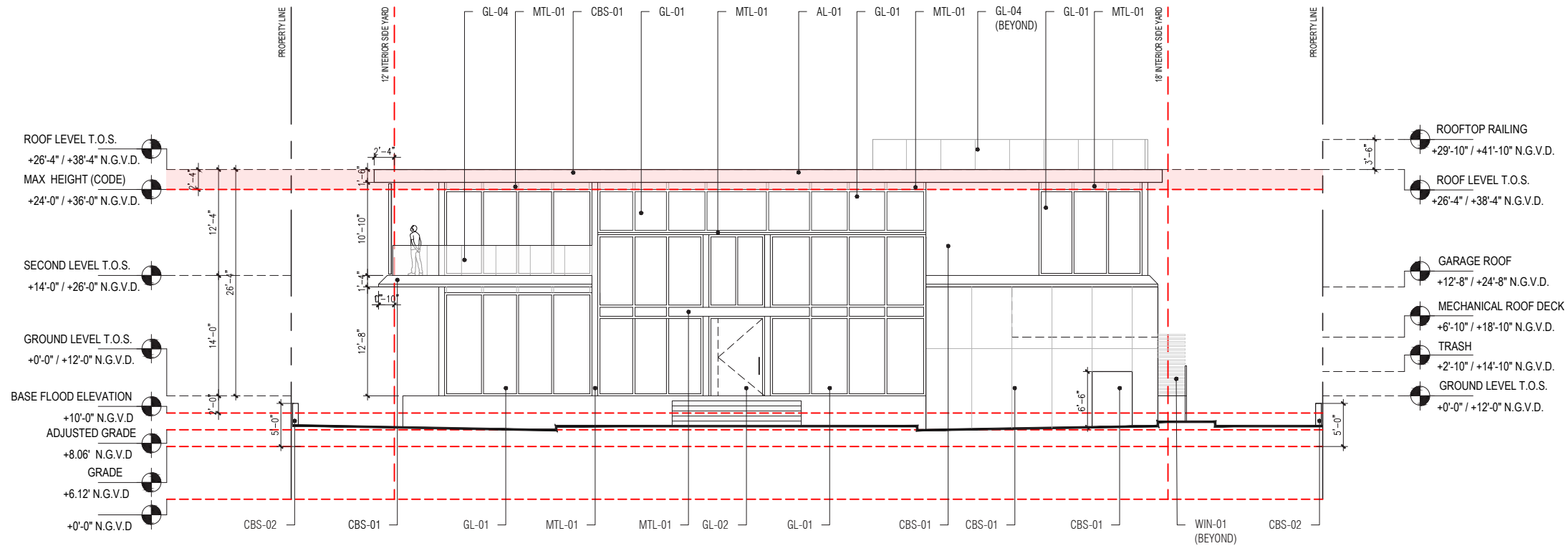
PL-02 POOL TILE - INFINITY EDGE

SST-01 STAINLESS STEEL JAKOB CABLE GUARDRAIL/HANDRAIL SYSTEM, HEIGHT 42" A.F.F.

WIN-01 CUSTOM, FINISHED ALUMINUM "PERSIANAS" WITH TWO COAT KYNAR 500 FINISH TO MATCH GL-01

121 NORTH HIBISCUS DRIVE RESIDENCE

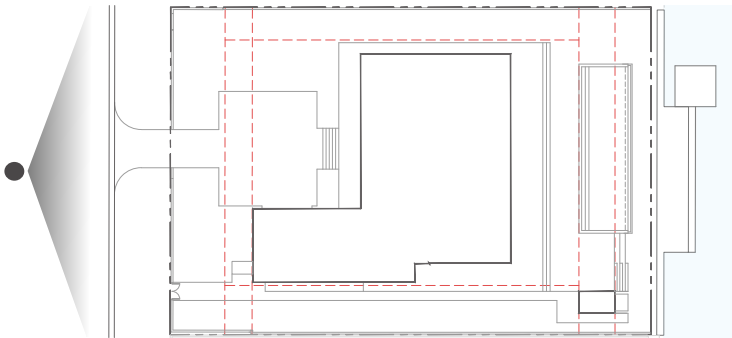
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



MATERIAL LEGEND

- AL-01 ROOF / TRELLIS MEMBERS TO BE FINISHED IN LIGHT GRAY KYNAR, OR EQUIV. FINISH
- AL-02 SPECIALTY GARAGE DOOR
- C-01 CAST-IN-PLACE ARCHITECTURAL CONCRETE
- CBS-01 EXTERIOR CEMENT PLASTER ON REINFORCED CONCRETE MASONRY WALL
SMOOTH FINISH AND PAINT - COLOR TBD
- CBS-02 EXTERIOR CEMENT PLASTER ON SITE RETAINING WALL
SMOOTH FINISH AND PAINT - COLOR TBD
- GL-01 IMPACT-RATED, LIGHT TINTED LAMINATED GLASS IN ALUMINUM WINDOW WALL SYSTEM,
SLIDING DOOR SYSTEM, AND FIXED SYSTEM - LIGHT KYNAR FINISH, TBD.
- GL-02 IMPACT-RATED, ALUMINUM OUTSWING ENTRANCE DOORS - FINISH TO MATCH GL-01

- GL-03 IMPACT-RATED, LIGHT TINTED CUSTOM FRIT OR FROSTED LAMINATED GLASS ON ALUMINUM FRAMING
SYSTEM - FINISH TO MATCH GL-01
- GL-04 TEMPERED GLASS GUARDRAIL SYSTEM WITH ALUMINUM RAIL SHOE, HEIGHT 42" A.F.F.
- MTL-01 BRAKE METAL OVER STEEL STRUCTURAL ELEMENTS - LIGHT KYNAR FINISH, TBD.
- PL-01 IN-GROUND POOL, PEBBLEFINA - CIELO BLUE OR EQUIVALENT FINISH
- PL-02 POOL TILE - INFINITY EDGE
- SST-01 STAINLESS STEEL JAKOB CABLE GUARDRAIL/HANDRAIL SYSTEM, HEIGHT 42" A.F.F.
- WIN-01 CUSTOM, FINISHED ALUMINUM "PERSIANAS" WITH TWO COAT KYNAR 500 FINISH TO MATCH GL-01



121 NORTH HIBISCUS DRIVE RESIDENCE

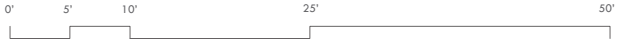
121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

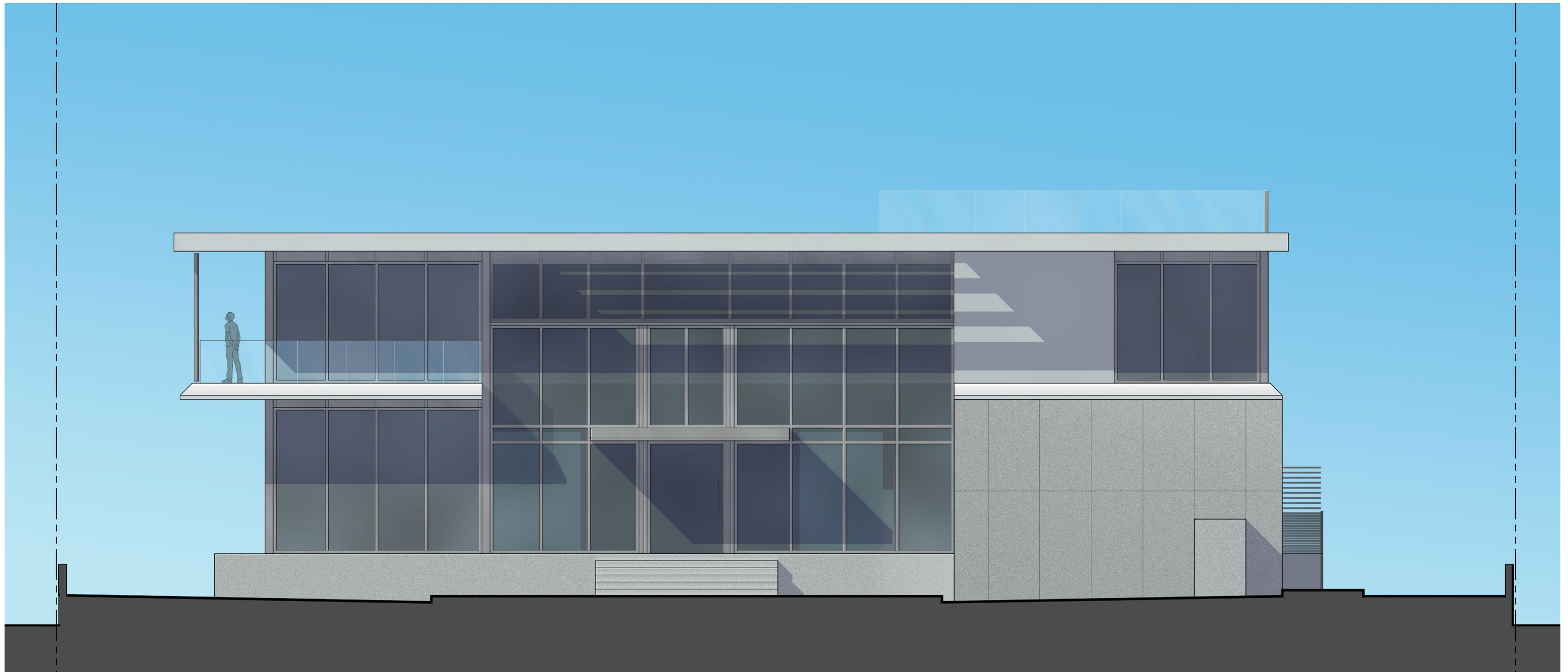
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SOUTH ELEVATION

SCALE: 1/16" = 1'-0"





121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



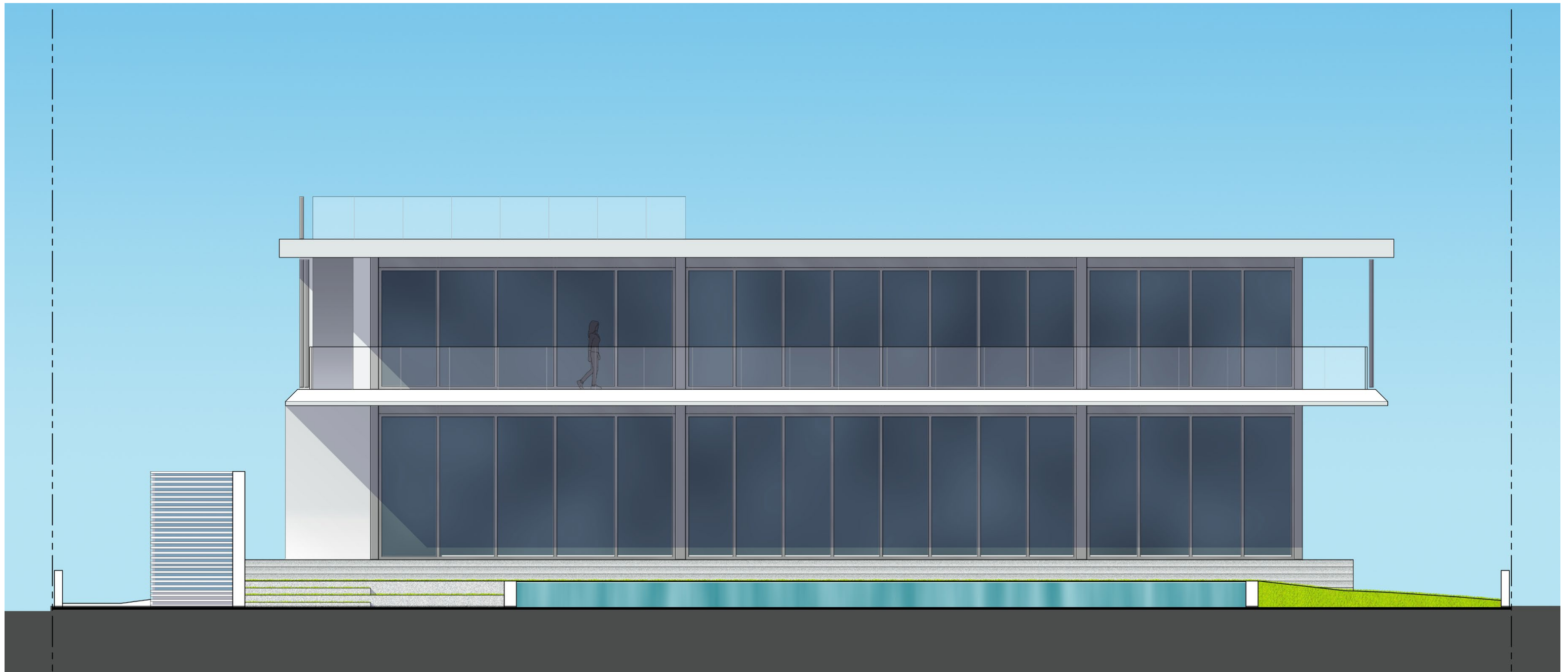
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SOUTH ELEVATION - RENDERED

SCALE: 1/8" = 1'-0"

A-32.1

MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



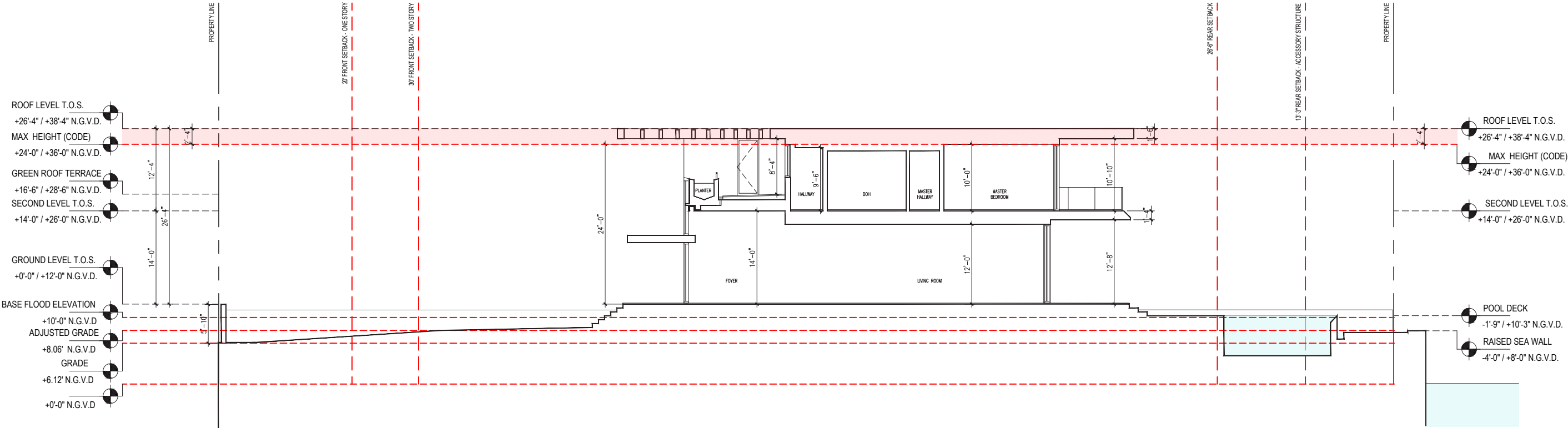
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NORTH ELEVATION - RENDERED

SCALE: 1/8" = 1'-0"

A-34.1

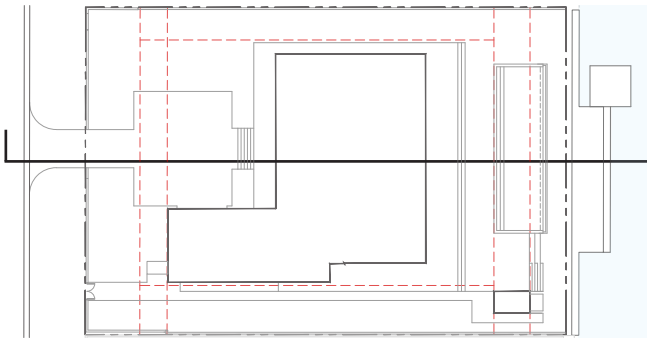
MIAMI BEACH . DRB PRESENTATION . 04 MAY 2021



MATERIAL LEGEND

- AL-01 ROOF / TRELLIS MEMBERS TO BE FINISHED IN LIGHT GRAY KYNAR, OR EQUIV. FINISH
- AL-02 SPECIALTY GARAGE DOOR
- C-01 CAST-IN-PLACE ARCHITECTURAL CONCRETE
- CBS-01 EXTERIOR CEMENT PLASTER ON REINFORCED CONCRETE MASONRY WALL
SMOOTH FINISH AND PAINT - COLOR TBD
- CBS-02 EXTERIOR CEMENT PLASTER ON SITE RETAINING WALL
SMOOTH FINISH AND PAINT - COLOR TBD
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SLIDING DOOR SYSTEM, AND FIXED SYSTEM - LIGHT KYNAR FINISH, TBD.
- GL-02 IMPACT-RATED, ALUMINUM OUTSWING ENTRANCE DOORS - FINISH TO MATCH GL-01

- GL-03 IMPACT-RATED, LIGHT TINTED CUSTOM FRIT OR FROSTED LAMINATED GLASS ON ALUMINUM FRAMING
SYSTEM - FINISH TO MATCH GL-01
- GL-04 TEMPERED GLASS GUARDRAIL SYSTEM WITH ALUMINUM RAIL SHOE, HEIGHT 42" A.F.F.
- MTL-01 BRAKE METAL OVER STEEL STRUCTURAL ELEMENTS - LIGHT KYNAR FINISH, TBD.
- PL-01 IN-GROUND POOL, PEBBLEFINA - CIELO BLUE OR EQUIVALENT FINISH
- PL-02 POOL TILE - INFINITY EDGE
- SST-01 STAINLESS STEEL JAKOB CABLE GUARDRAIL/HANDRAIL SYSTEM, HEIGHT 42" A.F.F.
- WIN-01 CUSTOM, FINISHED ALUMINUM "PERSIANAS" WITH TWO COAT KYNAR 500 FINISH TO MATCH GL-01



121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

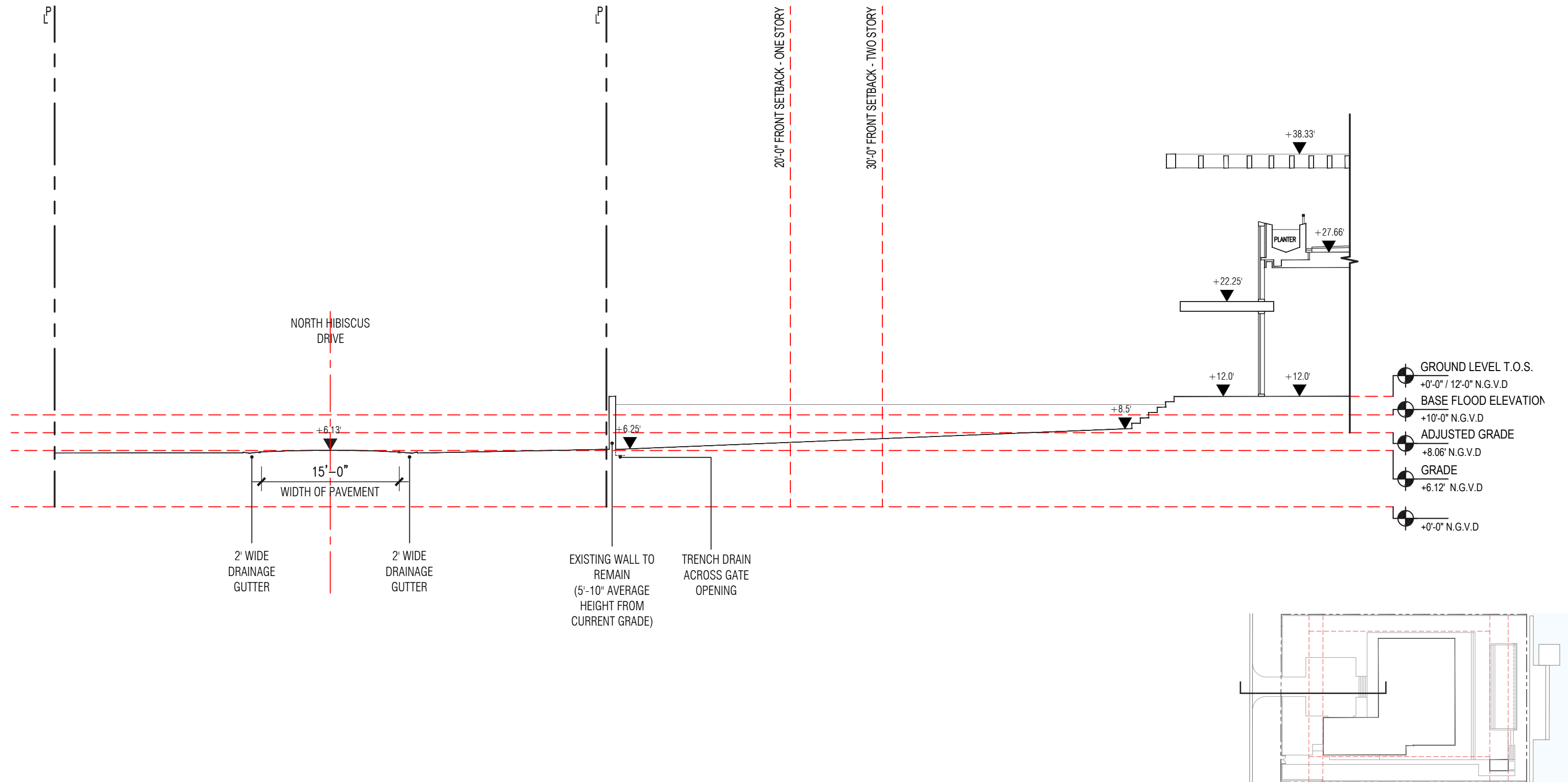


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SECTION - TRANSVERSE

SCALE: 1/16" = 1'-0"





121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

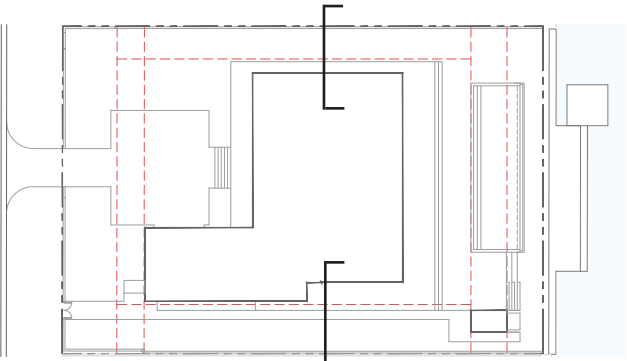
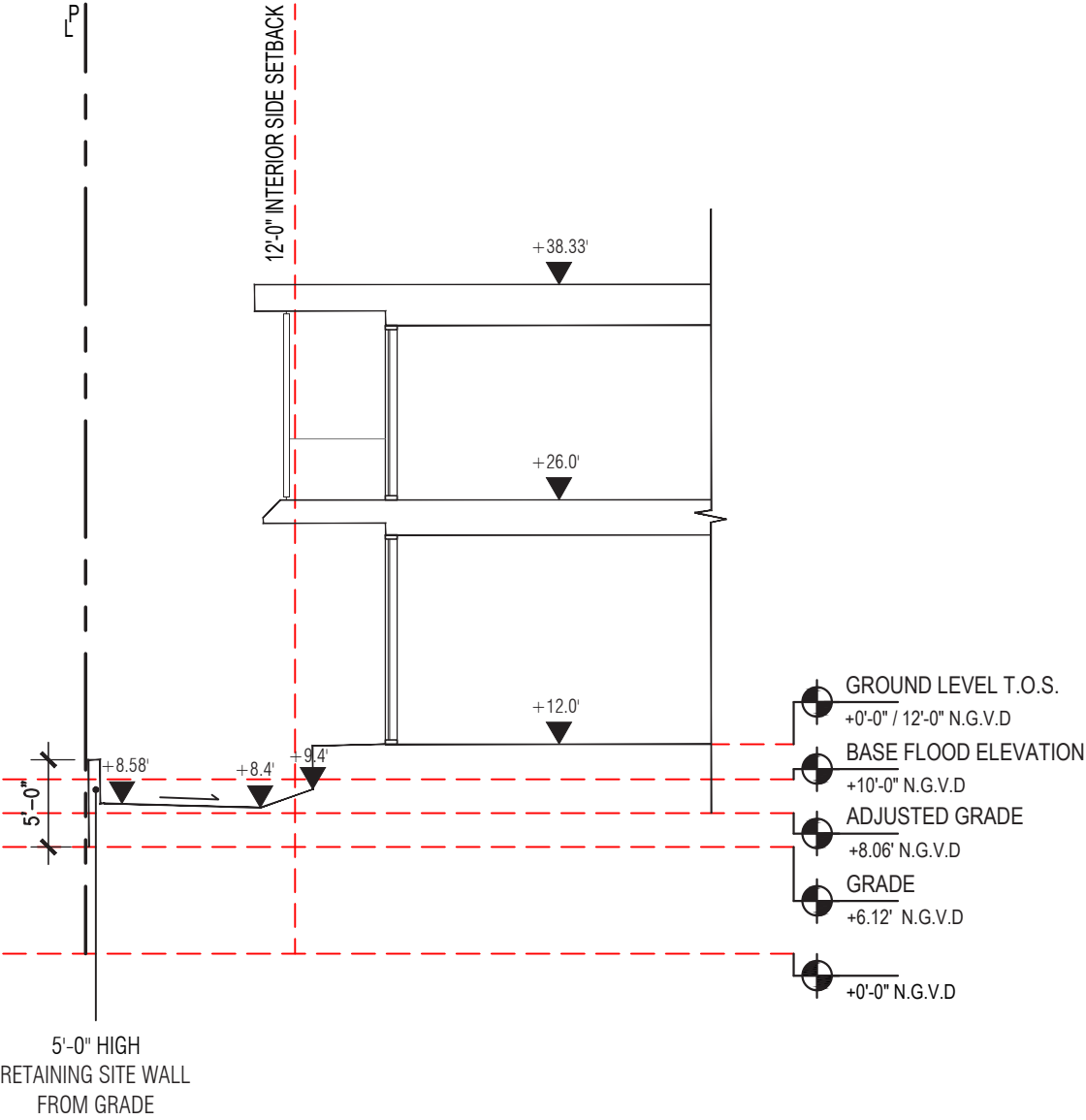
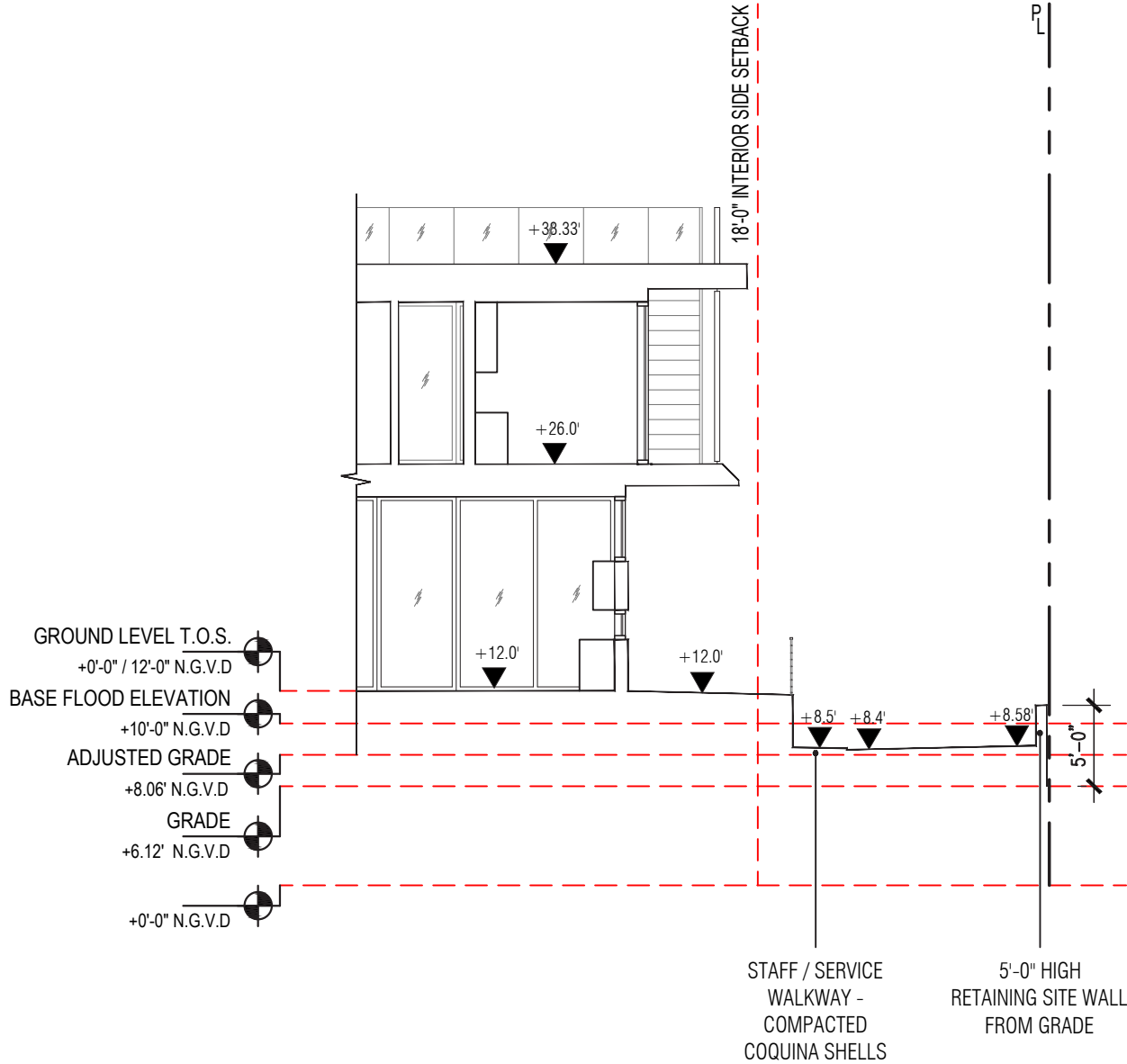


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YARD SECTION - FRONT

SCALE: 3/32" = 1'-0"





121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA

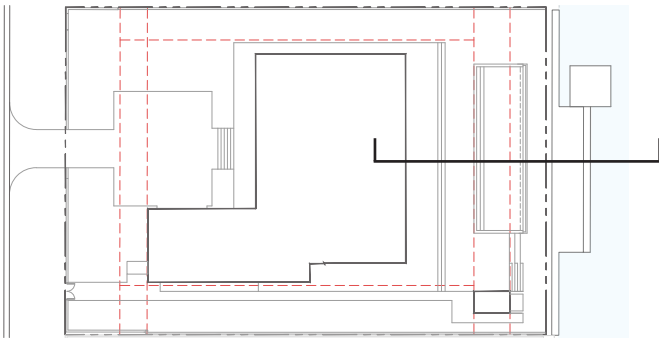
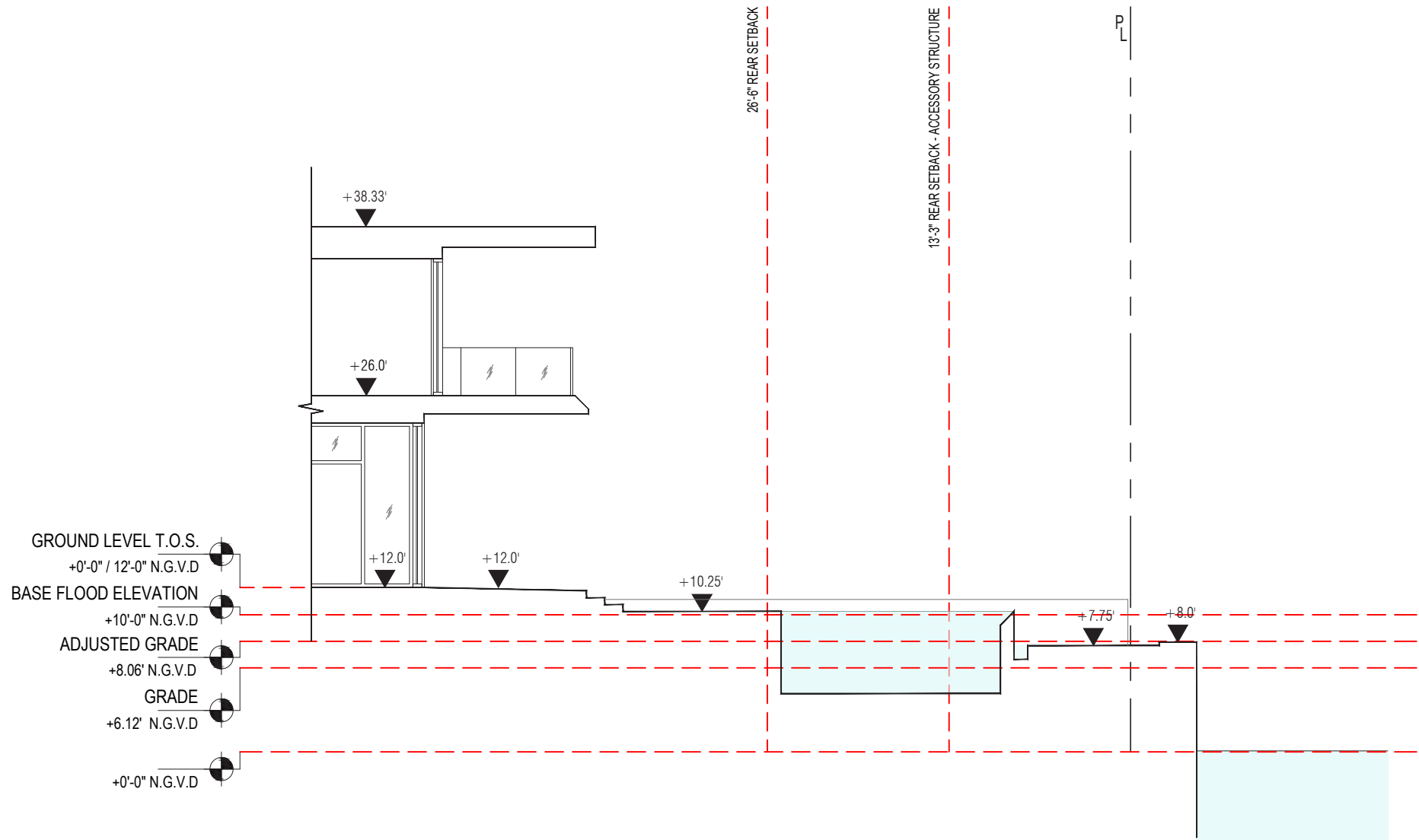


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YARD SECTION - SIDES

SCALE: 3/32" = 1'-0"





121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



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YARD SECTION - REAR
SCALE: 3/32" = 1'-0"





VIEW FROM NORTH HIBISCUS DRIVE

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA



VIEW FROM NORTH HIBISCUS DRIVE

121 NORTH HIBISCUS DRIVE RESIDENCE

121 NORTH HIBISCUS DRIVE . MIAMI BEACH . FLORIDA