



4747 RESIDENCE

4747 NORTH BAY ROAD, MIAMI BEACH, FLORIDA

DESIGN REVIEW BOARD DRB 21-0655

FINAL SUBMITTAL: APRIL 6TH, 2021



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Shane Ames
Digitally signed by
Shane Ames
Date:
2021.04.05
19:35:29
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Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
CV-0.0

PLOT DATE: 2021-04-05

ADDRESS: HISTORIC DEL-QU PARK, PROFESSIONAL DISTRICT, AND DISTRICTS, MIAMI BEACH, FLORIDA, 3344. PHONE: (305) 74 8444. FAX: (305) 74 8444.

NEW RESIDENCE AT:
4747 NORTH BAY ROAD

PRE-APPLICATION MEETING: FEBRUARY 11, 2019
FIRST CAP SUBMISSION: FEBRUARY 18, 2019
FINAL CAP SUBMITTAL: MARCH 11, 2019
DRB BOARD MEETING: MAY07, 2019

PRE-APPLICATION MEETING: FEBRUARY 24, 2021
FIRST CAP SUBMISSION: MARCH 15, 2021

CLIENT	ARCHITECT	STRUCTURAL ENGINEER	MEP ENGINEER	LANDSCAPING	CIVIL ENGINEER	CONSULTANTS
ANUP PATEL 4747 NORTH BAY ROAD MIAMI BEACH, FL 33140	AMES INTERNATIONAL ARCHITECTURE 203 DIXIE BLVD DELRAY BEACH, FL 33444 (561) 274-6444 AR12001	OPTIMUS STRUCTURAL DESIGN 7850 NW 146TH STREET, SUITE 305 MIAMI LAKES, FL 33016 (305) 512-5860 PE 61706	VIDAL & ASSOCIATES INC. 241 NW SOUTH RIVER DRIVE MIAMI, FL 33128 (305) 571-1860 PE 56204	CHRISTOPHER CAWLEY 780 NE 69TH STREET #1106 MIAMI, FL 33138 (305) 979-1585 LC 26000460	OCEAN ENGINEERING, INC. 333 NE 24TH STREET, SUITE 408 MIAMI, FL 33137 (786) 253-5252 PE 61747	SNS CONSTRUCTION INC. NE 10TH COURT ROAD MIAMI, FL 33179 (305) 467-4188

SCOPE OF WORK

- CONSTRUCTION OF A NEW 2 STORY STRUCTURE WITH POOL, POOL DECK, MOTOR COURT, COVERED PARKING & LANDSCAPING.
- REVIEW MODIFICATIONS TO THE GROUND FLOOR, 1ST FLOOR, 2ND FLOOR PLAN TO A PREVIOUSLY APPROVED "DRB" SET
- REVIEW THE ADDED ROOF DECK

• OCCUPANCY TYPE: RESIDENTIAL RS-4



DRAWING INDEX

NO.	SHEET NAME
CV-0.0	COVER SHEET
I-0.0	INDEX
EX-1.0	SURVEY
EX-2.0	LOCATION PLAN
EX-2.1	NEIGHBORHOOD ANALYSIS - CONTEXT
EX-2.2	NEIGHBORHOOD ANALYSIS - CONTEXT
A-0.0	PREVIOUS / PROPOSED ZONING DATA SHEET
A-1.0	PREVIOUS / PROPOSED BUILDING - SITE PLAN
A-1.1	PREVIOUS / PROPOSED BUILDING - GROUND FLOOR PLAN
A-1.2	PREVIOUS / PROPOSED BUILDING - FIRST FLOOR PLAN
A-1.3	PROPOSED BUILDING - SECOND FLOOR PLAN
A-1.4	PROPOSED BUILDING - ROOF PLAN
A-2.0	PREVIOUS / PROPOSED ZONING DIAGRAM - LOT COVERAGE
A-2.1	PREVIOUS / PROPOSED ZONING DIAGRAM - GROUND UNIT SIZE
A-2.2	PREVIOUS / PROPOSED ZONING DIAGRAM - FIRST UNIT SIZE
A-2.3	PREVIOUS / PROPOSED ZONING DIAGRAM - SECOND UNIT SIZE
A-2.4	PREVIOUS / PROPOSED ZONING DIAGRAM - ROOF UNIT SIZE
A-2.5	PREVIOUS / PROPOSED CALCULATIONS - FRONT AND REAR YARD
A-2.6	ZONING DIAGRAM - AXONOMETRIC
A-3.0	MATERIAL BOARD
A-3.1	RENDERED ELEVATIONS - FRONT
A-3.2	RENDERED ELEVATIONS - REAR
A-4.0	PROPOSED ELEVATIONS - FRONT (NORTH)
A-4.1	PROPOSED ELEVATIONS - REAR (SOUTH)
A-4.2	PREVIOUS ELEVATIONS - REAR (SOUTH)
A-4.3	PROPOSED ELEVATIONS - LEFT (EAST)
A-4.4	PROPOSED ELEVATIONS - RIGHT (WEST)
A-5.0	SECTIONS - TRANSVERSE A
A-5.1	SECTIONS - LONGITUDINAL B
A-5.2	PREVIOUS SECTION - TRANSVERSE
A-5.3	PREVIOUS SECTION - REAR YARD
A-6.0	PROPOSED - CMB YARD GRADE CALCULATIONS
A-6.1	PREVIOUS - CMB YARD GRADE CALCULATIONS
A-7.0	RENDERING - VIEW 1
A-7.1	RENDERING - VIEW 2



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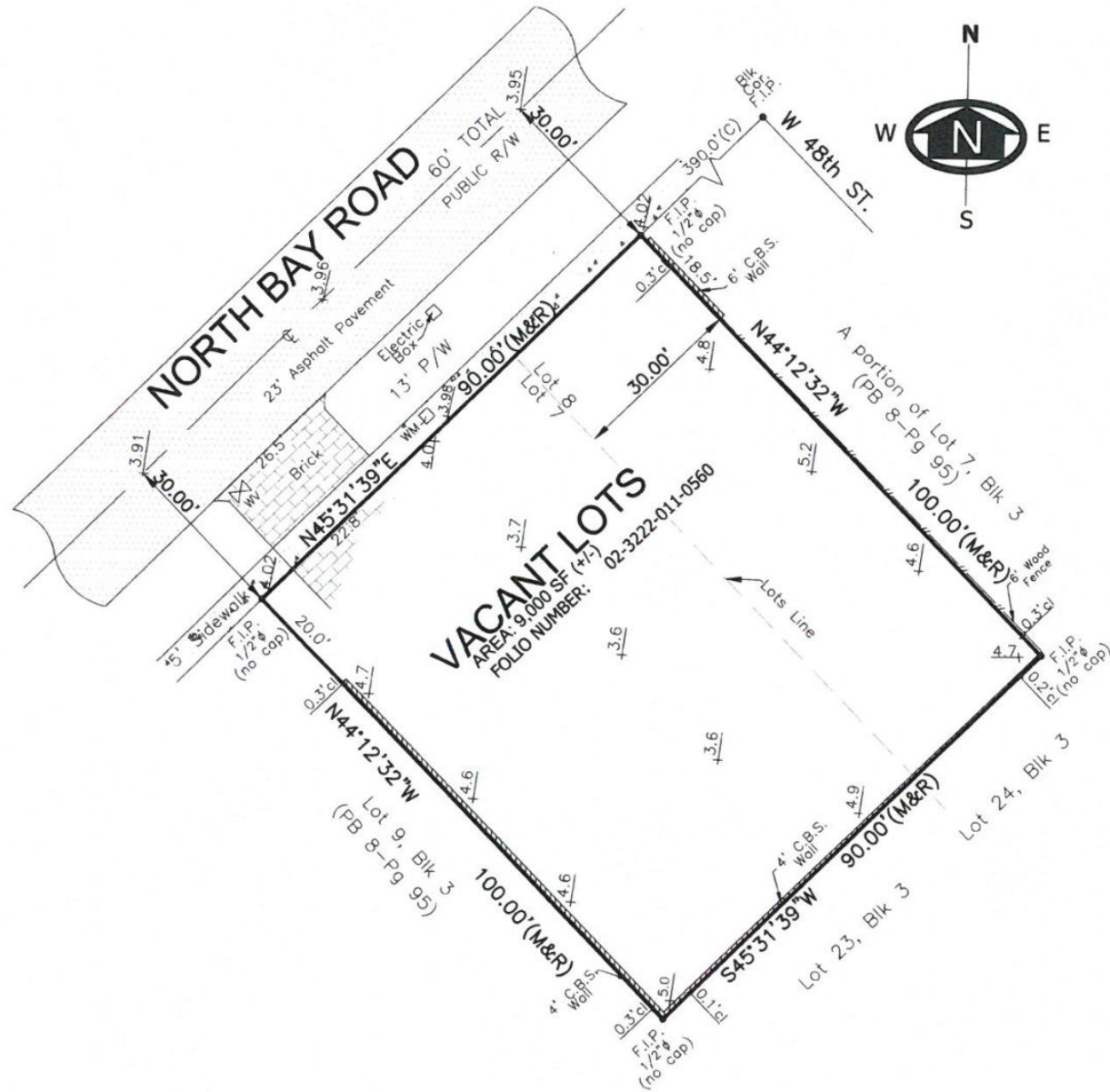
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I-0.0

PLOT DATE: 2021-04-05

01-13-2021 CHANGE OF ARCHITECT 02-15-2021 OWNER REVISIONS sheet no. I-0.0 PLOT DATE: 2021-04-05

SKETCH OF BOUNDARY SURVEY

SCALE: 1" = 25'



CERTIFIED TO :
ANUP PATEL AND SRADHA PATEL
SCOTT A. ELK, P.A.
CHICAGO TITLE INSURANCE COMPANY, MIAMI BEACH, FLORIDA.

ENCROACHMENTS AND OTHER POINTS OF INTEREST:
-THERE ARE NO VISIBLE ENCROACHMENT OF THE SUBJECT PROPERTY
-THE SUBJECT PROPERTY IS WITHIN A FLOOD ZONE AH (SEE NOTE 1)
-THERE NO PLATTED UTIL. EASEMENT ON THE SUBJECT PROPERTY

LOCATION MAP

SCALE: NTS



SITE PICTURE



ABBREVIATION (IF ANY APPLIED)

A = CURVE	P/W = PARKWAY
A.C. = AIR CONDITIONING UNIT	P.O.B. = POINT OF BEGINNING
ASPH. = ASPHALT	P.O.C. = POINT OF COMMENCEMENT
B.M. = BENCH MARK	P.C. = POINT OF CURVATURE
B/COR = BLOCK CORNER	P.I. = POINT OF INTERSECTION
CALC(C) = CALCULATED	P = PROPERTY LINE
CB = CATCH BASIN	P.P. = POWER POLE
C.B.S. = CONCRETE BLOCK STRUCTURE	P.R.M. = PERMANENT REFERENCE MONUMENT
CL = CLEAR	P.T. = POINT OF TANGENCY
CONC. = CONCRETE	RAD. = RADIAL
D.M.E. = DRAINAGE MAINT. EASEMENT	REC. (R) = RECORDED
Ø = DIAMETER	RES. = RESIDENCE
EASMT. = EASEMENT	R/W = RIGHT OF WAY
ELEV. = ELEVATION	SEC. = SECTION
ENC. = ENCROACHMENT	S.D/H = SET DRILL HOLE
F.D/H = FOUND DRILL HOLE	S.N/D = SET NAIL AND DISC
F.H. = FIRE HYDRANT	S.L.P. = SET IRON PIPE
F.N/D = FOUND NAIL AND DISC	S.R.B. = SET REBAR
F.I.P. = FOUND IRON PIPE	STY = STORY
F.S. = FOUND SPIRE	SWK. = SIDEWALK
L.P. = LIGHT POLE	T.O.P. = TOP OF BANK
MEAS(M) = MEASURED	U.E. = UTIL. EASEMENT
MH = MANHOLE	W.P. = WOODEN POLE
M = MONUMENT	W = SECTION LINE
M.L. = MONUMENT LINE	
NTS = NOT TO SCALE	

SURVEYOR'S LEGEND (IF ANY APPLIED)

BOUNDARY LINE	CATCH BASIN
STRUCTURE (BLDG.)	MANHOLE
CONCRETE BLOCK WALL	OVERHEAD ELECT.
METAL FENCE	POWER POLE
WOODEN FENCE	LIGHT POLE
CHAIN LINK FENCE	HANDICAP SPACE
WOOD DECK/DOCK	FIRE HYDRANT
ASPHALTED AREAS	EASEMENT LINE
CONCRETE	WATER VALVE
BRICKS OR PAVERS	TV-CABLE BOX
ROOFED AREAS	WM WATER METER
WATER (EDGE OF WATER)	CONC. LIGHT POLE

SITE ADDRESS: 4747 N. BAY ROAD MIAMI BEACH, FL. 33140

JOB NUMBER: 18-510

DATE OF SURVEY: MAY 8, 2018 / FEBRUARY 13, 2019(UPDATE) / OCT. 24, 2020 (UPDATE) / MARCH 12, 2021 (UPDATE)

FOLIO NUMBER: 02-3222-011-0560

JOB SPECIFIC SURVEYOR NOTES:

- THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN A FLOOD ZONE "AE" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NO. 120651-0309L, WITH AN EFFECTIVE DATE OF SEPTEMBER 11, 2009. **BASE FLOOD ELEVATION OF 8.00 FEET (NGVD)**
- LAND AREA OF SUBJECT PROPERTY: **9,000 SF (+/-)**
- ELEVATIONS ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM (NGVD) OF 1929, AS PER MIAMI DADE COUNTY BENCH MARK No. D-132-R, WITH AN ELEVATION OF **8.23 FEET**.
- BEARINGS SHOWN HEREON ARE BASED ON AN ASSUME MERIDIAN OF N.44°12'32"W., BEING THE RECORDED BEARING FOR THE CENTERLINE OF W. 48th ST., AS SHOWN ON PLAT BOOK 8 AT PAGE 95 OF THE PUBLIC RECORD OF MIAMI DADE COUNTY, FLORIDA.

GENERAL SURVEYOR NOTES:

THE SHOWN LEGAL DESCRIPTION USED TO PERFORM THIS BOUNDARY SURVEY WAS PROVIDED BY THE CLIENT.

SURVEY IS BASED ON RECORDED INFORMATION PROVIDED BY CLIENT. NO SPECIFIC SEARCH OF THE PUBLIC RECORD HAS BEEN MADE BY OUR OFFICE.

UNLESS OTHERWISE NOTED, AN EXAMINATION OF THE ABSTRACT OF TITLE WAS NOT DONE BY THE SIGNING SURVEYOR TO DETERMINE WHICH INSTRUMENTS, IF ANY ARE AFFECTING THE SUBJECT PROPERTY.

THIS SURVEY IS EXCLUSIVELY FOR THE USE OF THE PARTIES TO WHOM IT WAS CERTIFIED.

PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE THE EXPECTED USE OF LAND IS SUBURBAN, THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF SURVEY IS 1 FOOT IN 7,500 FEET. THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATIONS OF CLOSED GEOMETRIC FIGURES WAS FOUND TO EXCEED THIS REQUIREMENT.

THERE ARE NO VISIBLE, ABOVE GROUND ENCROACHMENTS (a) BY THE IMPROVEMENTS OF THE SUBJECT PROPERTY UPON ADJOINING PROPERTIES, STREETS OR ALLEYS, OR (b) BY THE IMPROVEMENTS OF THE ADJOINING PROPERTIES, STREETS OR ALLEYS UPON THE SUBJECT PROPERTY OTHER THAN THOSE SHOWN ON THIS BOUNDARY SURVEY.

THERE ARE NO VISIBLE EASEMENTS OR RIGHT-OF-WAY OF WHICH THE UNDERSIGNED HAS BEEN ADVISED OTHER THAN THOSE SHOWN ON THIS SURVEY.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE SHOWN GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. IN SOME CASES GRAPHIC REPRESENTATION HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE A PARTICULAR AREA WHERE DIMENSIONS SHALL HAVE PREFERENCE OVER GRAPHIC LOCATION.

THE ELEVATIONS (IF ANY) OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENT, CURBS, SIDEWALKS AND OTHER MANMADE STRUCTURES.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

ANY FEMA FLOOD ZONE INFORMATION PROVIDED ON THIS SURVEY IS FOR INFORMATIONAL PURPOSE ONLY AND IT WAS OBTAINED AT WWW.FEMA.COM.

IF YOU ARE READING THIS BOUNDARY SURVEY IN AN ELECTRONIC FORMAT, THE INFORMATION CONTAINED ON THIS DOCUMENT IS ONLY VALID IF THIS DOCUMENT IS ELECTRONICALLY SIGNED AS SPECIFIED IN CHAPTER CHAPTER 5J-17.062 (3) OF THE FLORIDA ADMINISTRATIVE CODE. IF THIS DOCUMENT IS IN PAPER FORMAT, IT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF THE PROFESSIONAL LAND SURVEYOR AND MAPPER OF RECORD.

LEGAL DESCRIPTION:

LOT 8, IN BLOCK 3, OF NAUTILUS SUBDIVISION OF THE MIAMI BEACH BAY SHORE CO., ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, AT PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; ALSO THAT PART OF LOT 7, IN BLOCK 3, OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 8, AT PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTHERLY LINE OF BAY ROAD AT THE POINT OF INTERSECTION WITH THE LINE DIVIDING LOTS 7 AND 8, OF BLOCK 3, OF NAUTILUS SUBDIVISION; THENCE NORTHEASTERLY ALONG THE SOUTHERLY LINE OF BAY ROAD A DISTANCE OF 30 FEET TO A POINT; THENCE SOUTHEASTERLY AT A RIGHT ANGLE TO THE SOUTHERLY LINE OF BAY ROAD A DISTANCE OF 100 FEET TO THE SOUTHEASTERLY LINE OF LOT 7, OF BLOCK 3, OF NAUTILUS SUBDIVISION; THENCE SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF LOT 7, OF BLOCK 3, OF NAUTILUS SUBDIVISION A DISTANCE OF 30 FEET TO A POINT; THENCE NORTHWESTERLY ALONG THE LINE DIVIDING LOTS 7 AND 8, OF BLOCK 3, OF NAUTILUS SUBDIVISION A DISTANCE OF 100 FEET TO THE POINT OF BEGINNING.

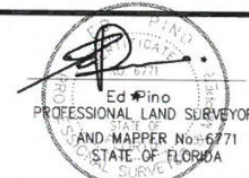
WE HEREBY CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHICAL SURVEY AND THE SURVEY MAP RESULTING THEREFROM WAS PERFORMED UNDER MY SUPERVISION AND/OR DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "BOUNDARY AND TOPOGRAPHICAL SURVEY" MEETS THE INTENT OF THE APPLICABLE PROVISIONS OF THE "STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING LAW, CHAPTER 492.027 FOR THE FLORIDA STATUTES.

American Services of Miami, Corp.
Consulting Engineers . Planners . Surveyors



3195 PONCE DE LEON BLVD, SUITE 200
CORAL GABLES, FL 33134
PHONE: (305)598-5101 FAX: (305)598-8627
ASOMIAMI.COM

LB 6683



DATE: MARCH 15, 2021



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MIAMI BEACH, FL 33140

seal

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sheet no.
EX-1.0

PLOT DATE: 2021-04-05

An aerial photograph of a residential neighborhood. A yellow diamond highlights a specific property located between N Bay Rd and W 48th St. The map shows various houses, some with swimming pools, and a network of streets. A white circle with the number 907 is positioned near the highlighted property. The streets are labeled: N BAY RD, W 48TH ST, and W 47TH CT. A north arrow is visible in the bottom right corner.



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Shane Ames
Date: 2021.04.08
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4 01-13-2021
CHANGE OF ARCHITECT

5 02-15-2021
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sheet no.
EX-2.0
PLOT DATE: 2021-04-05

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NEIGHBORHOOD ANALYSIS - CONTEXT



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

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2021.04.05
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sheet no.
EX-2.1

PLOT DATE: 2021 04 05

CONTRACT: 20-4989 INTERNATIONAL ARCHITECTURE AMES & ASSOCIATES, P.A. 1000 S. W. 10TH AVE. SUITE 1000 MIAMI BEACH, FLORIDA 33134 PHONE: (305) 644-8444 FAX: (305) 644-8444
ADDRESS: 1000 S. W. 10TH AVE. SUITE 1000 MIAMI BEACH, FLORIDA 33134 PHONE: (305) 644-8444 FAX: (305) 644-8444
LAW: AMES & ASSOCIATES, P.A. ARCHITECTS

NEIGHBORHOOD ANALYSIS - CONTEXT



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

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sheet no.
EX-2.2

PLOT DATE: 2021 04 05

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	4747 NORTH BAY ROAD MIAMI BEACH FL33140			
2	Folio number(s):	02-3222-011-0560			
3	Board and file numbers :				
4	Year built:	1926	Zoning District:	RS-4	
5	Based Flood Elevation:	+8.00' NGVD	Grade value in NGVD:	+4.00' NGVD	
6	Adjusted grade (Flood+Grade/2):	+6.00' NGVD	Free board:	+5.00'	
7	Lot Area:	9,000 SF			
8	Lot width:	90'-0"	Lot Depth:	100'-0"	
9	Max Lot Coverage SF and %:	2,700 SF	Proposed Lot Coverage SF and %:	2,155.51 SF (23.95%)	
10	Existing Lot Coverage SF and %:	2,997.32 SF (29.90%)	Lot coverage deducted (garage-storage) SF:	600 SF (NOT INCL)	
11	Front Yard Open Space SF and %:	1,063.10 SF SF (59.06%)	Rear Yard Open Space SF and %:	1,396.86 SF (77.60%)	
12	Max Unit Size SF and %:	4,500 SF (50%)	Proposed Unit Size SF and %:	3,983.52 SF(44.26%)	
13	Existing First Floor Unit Size:	TBD	Proposed First Floor Unit Size:	2,155.51 SF	
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A	
15		TBD	Proposed Second Floor Unit Size SF and % :	1,655.90 SF	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	TBD	24'-0"	N/A
18	Setbacks:				
19	Front First level:	20'-0"	19'-10.8"	30'-0"	N/A
20	Front Second level:	30'-0"	N/A	30'-0"	N/A
21	Side 1:	11'-3"	7'-4"	11'-3"	N/A
22	Side 2 or (facing street):	11'-3"	10'-0"	11'-3"	N/A
23	Rear:	20'-0"	14'-3.5"	22'-0"	N/A
	Accessory Structure Side 1:	N/A	N/A		N/A
24	Accessory Structure Side 2 or (facing street) :	N/A	N/A		N/A
25	Accessory Structure Rear:	N/A		N/A	N/A
26	Sum of Side yard :	22'-6"	17'-4"	22'-6"	0
27	Located within a Local Historic District?		no		
28	Designated as an individual Historic Single Family Residence Site?		no		
29	Determined to be Architecturally Significant?		no		
Notes:					
If not applicable write N/A					
All other data information should be presented like the above format					

PREVIOUS ZONING DATA

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	4747 NORTH BAY ROAD, MIAMI BEACH, FL-33140			
2	Folio number(s):	02-3222-011-0560			
3	Board and file numbers :				
4	Year built:	1926	Zoning District:	RS-4	
5	Based Flood Elevation:	.+8.00' NGVD	Grade value in NGVD:	.+4.00' NGVD	
6	Adjusted grade (Flood+Grade/2):	.+6.00' NGVD	Free board:	.+5.00' NGVD	
7	Lot Area:	9,000 SF			
8	Lot width:	90'-0"	Lot Depth:	100'-0"	
9	Max Lot Coverage SF and %:	2,700 SF	Proposed Lot Coverage SF and %:	2575 SF (28.61%)	
10	Existing Lot Coverage SF and %:	VACANT LOT	Lot coverage deducted (garage-storage) SF:	600 SF (NOT INCL)	
11	Front Yard Open Space SF and %:	1,132 (62.8%)	Rear Yard Open Space SF and %:	1,542 SF (85.6%)	
12	Max Unit Size SF and %:	4,500(50%)	Proposed Unit Size SF and %:	4463 SF(49.58%)	
13	Existing First Floor Unit Size:		Proposed First Floor Unit Size:	2575 SF (28.61%)	
14	Existing Second Floor Unit Size		Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home require DRB Approval)	N/A	
15			Proposed Second Floor Unit Size SF and % :	1805 SF	
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	442 SF (24%)	
		Required	Existing	Proposed	Deficiencies
17	Height:	24'-0"	N/A	24'-0"	N/A
18	Setbacks:				N/A
19	Front First level:	20'-0"	N/A	30'-0"	N/A
20	Front Second level:	30'-0"	N/A	30'-0"	N/A
21	Side 1:	11'-3"	N/A	11'-3"	N/A
22	Side 2 or (facing street):	11'-3"	N/A	11'-3"	N/A
23	Rear:	20'-0"	N/A	22'-0"	N/A
24	Accessory Structure Side 1:	N/A	N/A	N/A	N/A
	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
25	Accessory Structure Rear:	N/A	N/A	N/A	N/A
26	Sum of Side yard :	22'-6"	N/A	22'-6"	N/A
27	Located within a Local Historic District?		NO		
28	Designated as an individual Historic Single Family Residence Site?		NO		
29	Determined to be Architecturally Significant?		NO		
Notes:					
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PROPOSED ZONING DATA



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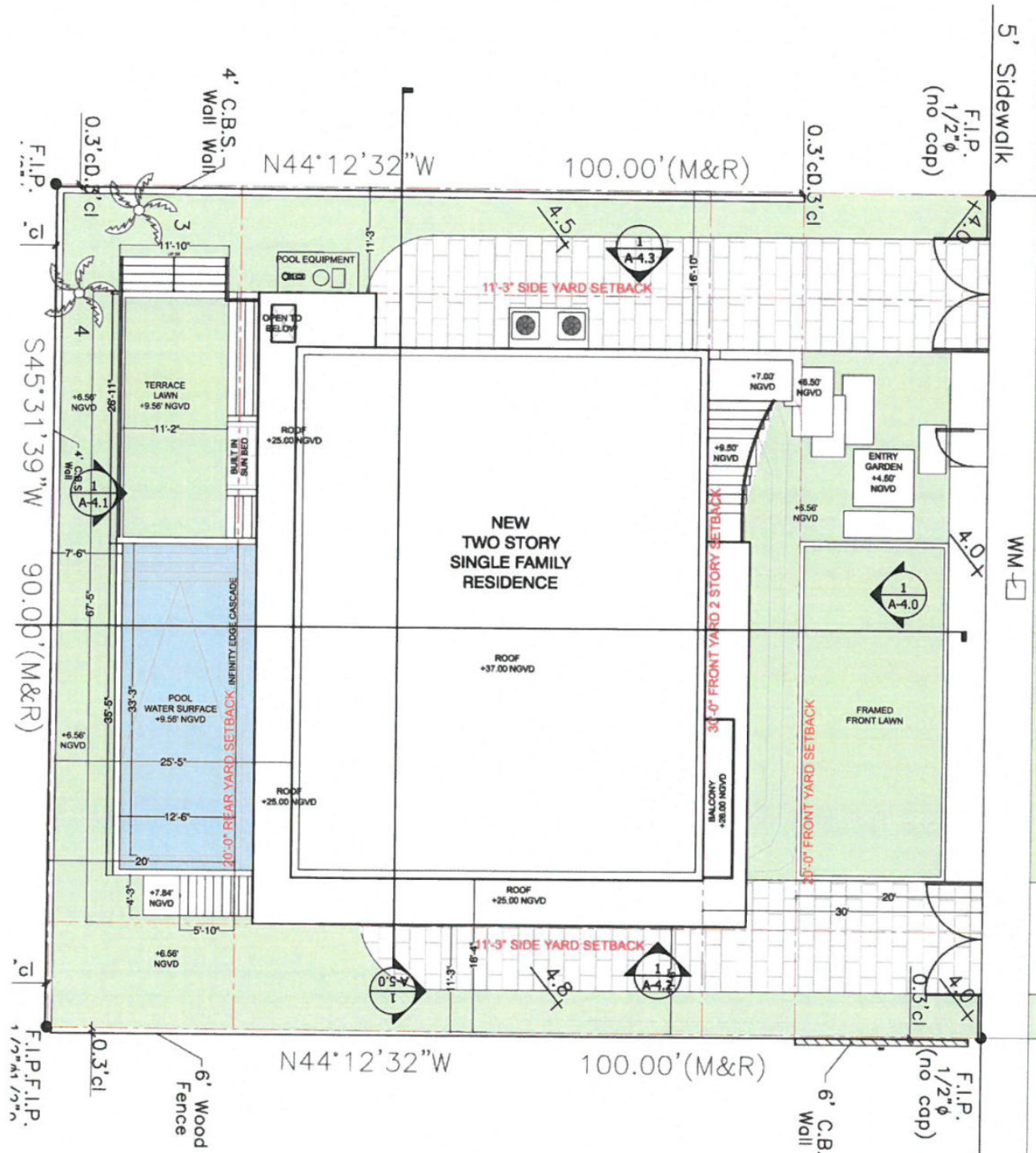
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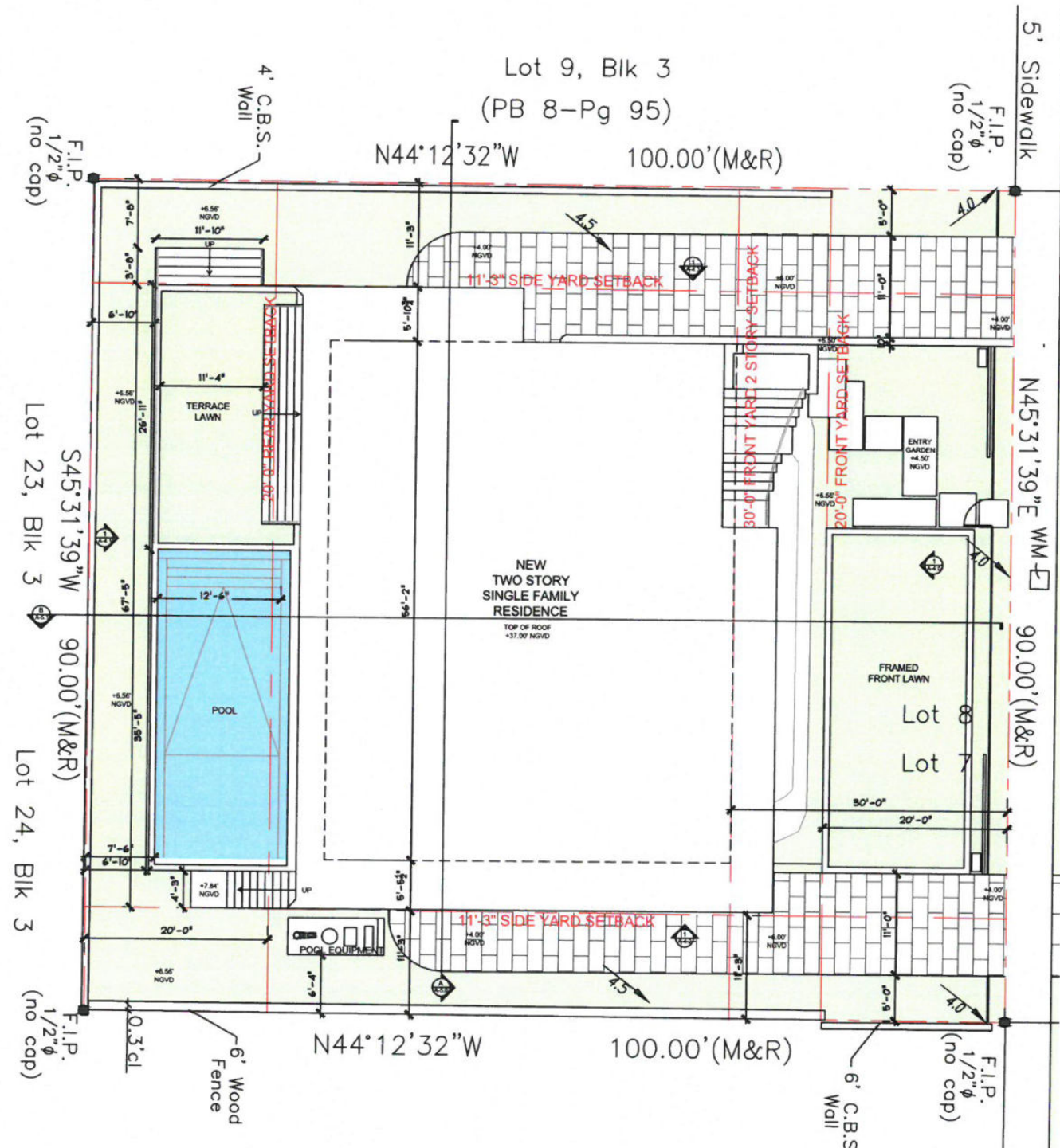
sheet no.
A-0.0
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THIS IS A PRELIMINARY ARCHITECTURAL DRAWING. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS. THE ARCHITECT'S OFFICE IS NOT RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS.

- NOTES:
- FRONT GATE IS SHIFTED OVER TO ALLOW FOR VEHICULAR SLIDING GATE ACCESS.
 - 1' OF GREEN IS PROVIDED FROM THE WALL OF THE HOUSE TO PREVENT WALL TO VEHICLE COLLISION.
 - REAR YARD, SUN BED IS REMOVED AND STAIRS ARE EXTENDED.
 - POOL EQUIPMENT IS MIRRORED TO THE OPPOSITE SIDE OF THE HOUSE.
 - ADDITION OF WALKWAY ON 2ND FLOOR, SW CORNER.



PREVIOUS SITE FLOOR PLAN
SCALE: 1/16" = 1'-0"



PROPOSED SITE FLOOR PLAN
SCALE: 1/16" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

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02-15-2021
OWNER REVISIONS

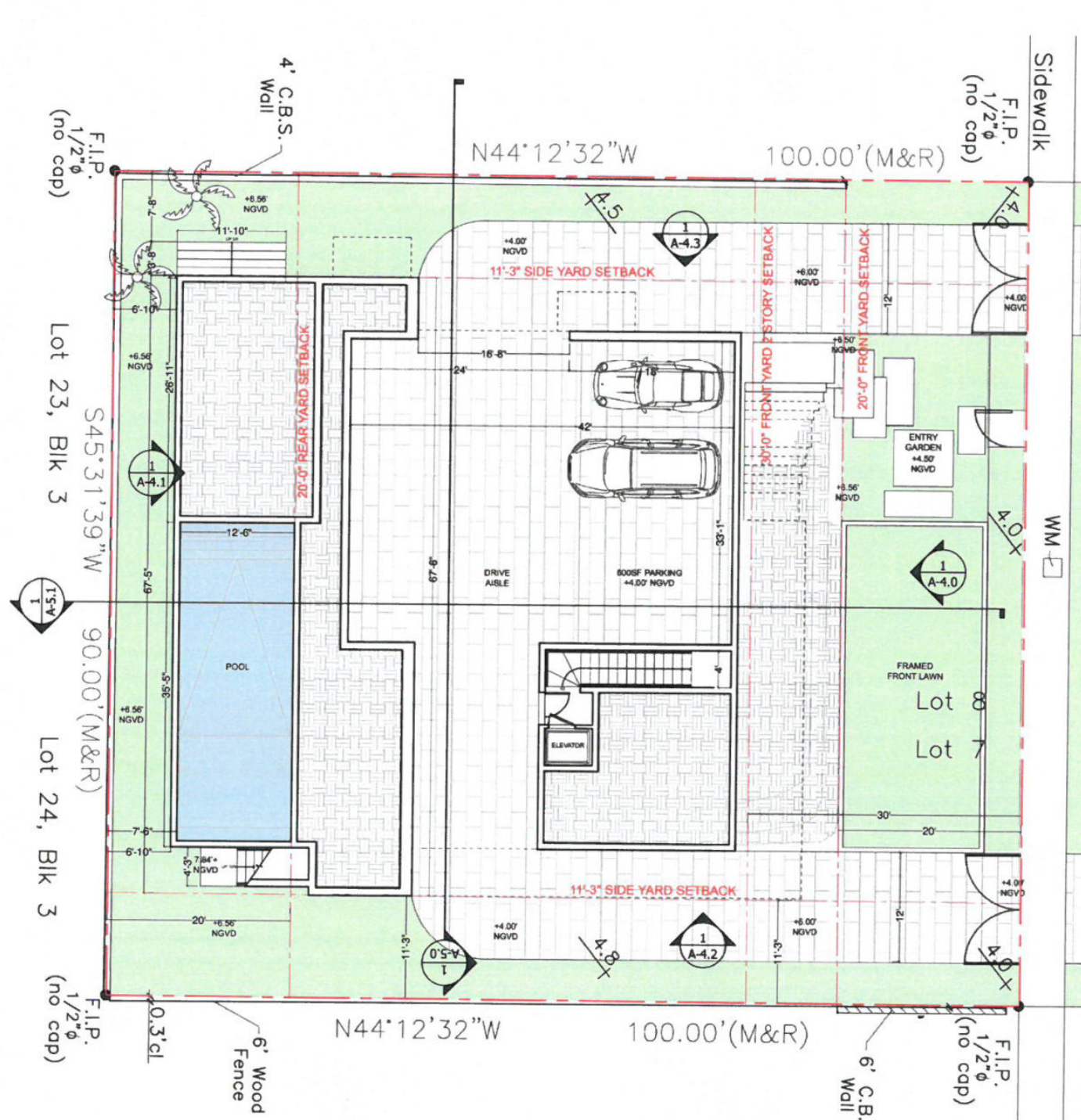
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A-1.0

PLOT DATE: 2021-04-05

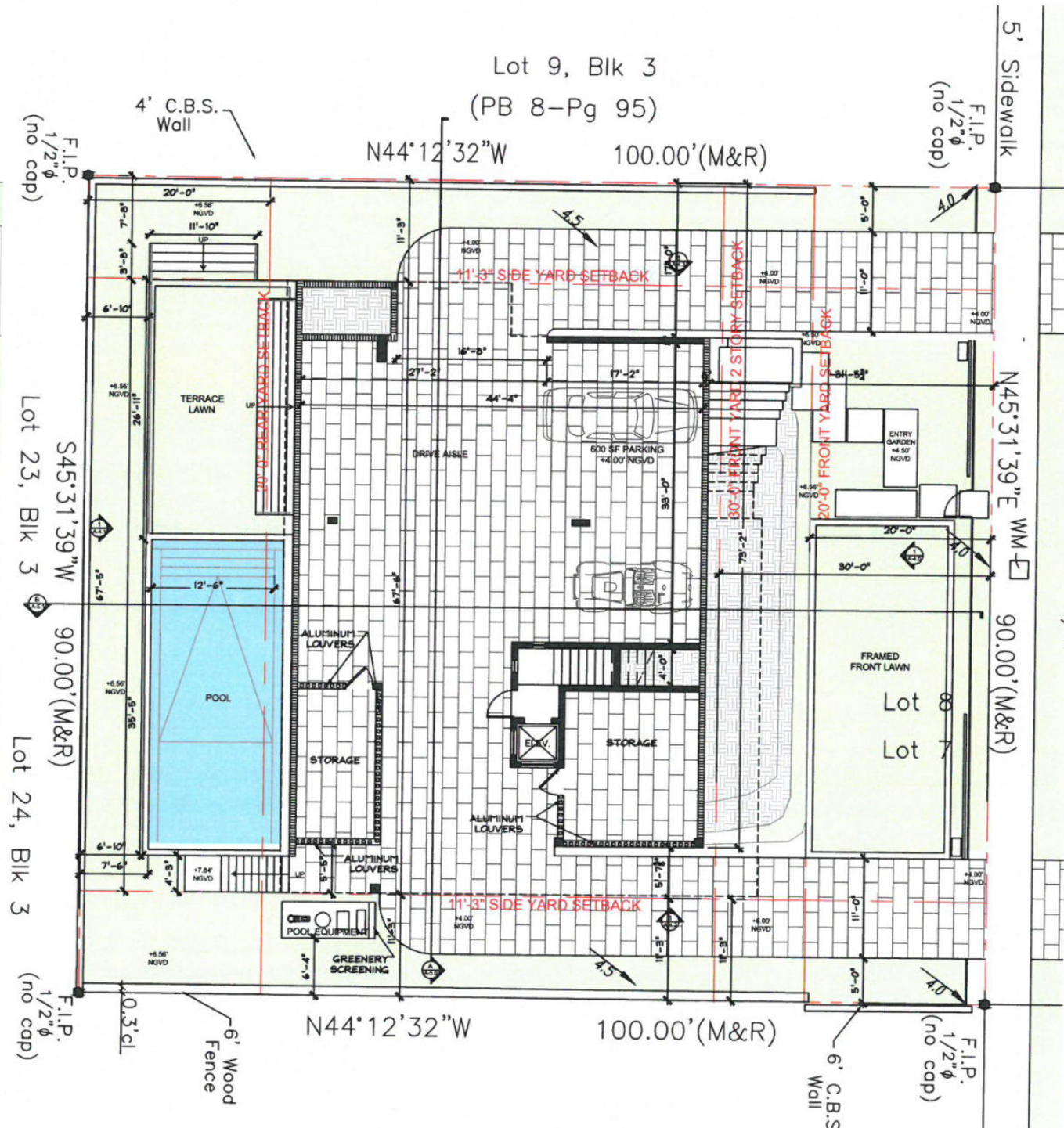
ADDRESS: 4747 NORTH BAY ROAD, MIAMI BEACH, FLORIDA, 33140. PHONE: 305.764.4444. FAX: 305.764.4444. EMAIL: SHANE@AMESARCHITECTURE.COM

NOTES:

- 142-105 (d) THE USE OF THE UNDERSTORY IS SHALL BE FOR NON-HABITABLE PURPOSES, AND GIVEN THAT THE AREA MAY BE SUBJECT TO FLOODING.
- DRIVE AISLE REAR WALL FLUSH WITH POOL.
- NON-ENCLOSED STORAGE SPACES PROVIDED BY ELEVATOR AND POOL STAIRS, OPEN ON 50% WITH USE OF LOUVERS.
- 1' OF GREEN IS PROVIDED FROM THE WALL OF THE HOUSE TO PREVENT WALL TO VEHICLE COLLISION.
- ENTRY GATE MOVED OVER TO INCORPORATE SLIDING GATE ACCESS FOR VEHICLES.



PREVIOUS GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



PROPOSED GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

Shane Ames
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Shane Ames
Date: 2021.04.05
20:32:51 -0400

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comm no.
1810
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01-13-2021
CHANGE OF ARCHITECT
02-15-2021
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sheet no.
A-1.1
PLOT DATE: 2021-04-05

01-13-2021 CHANGE OF ARCHITECT
02-15-2021 OWNER REVISIONS
sheet no. A-1.1
PLOT DATE: 2021-04-05

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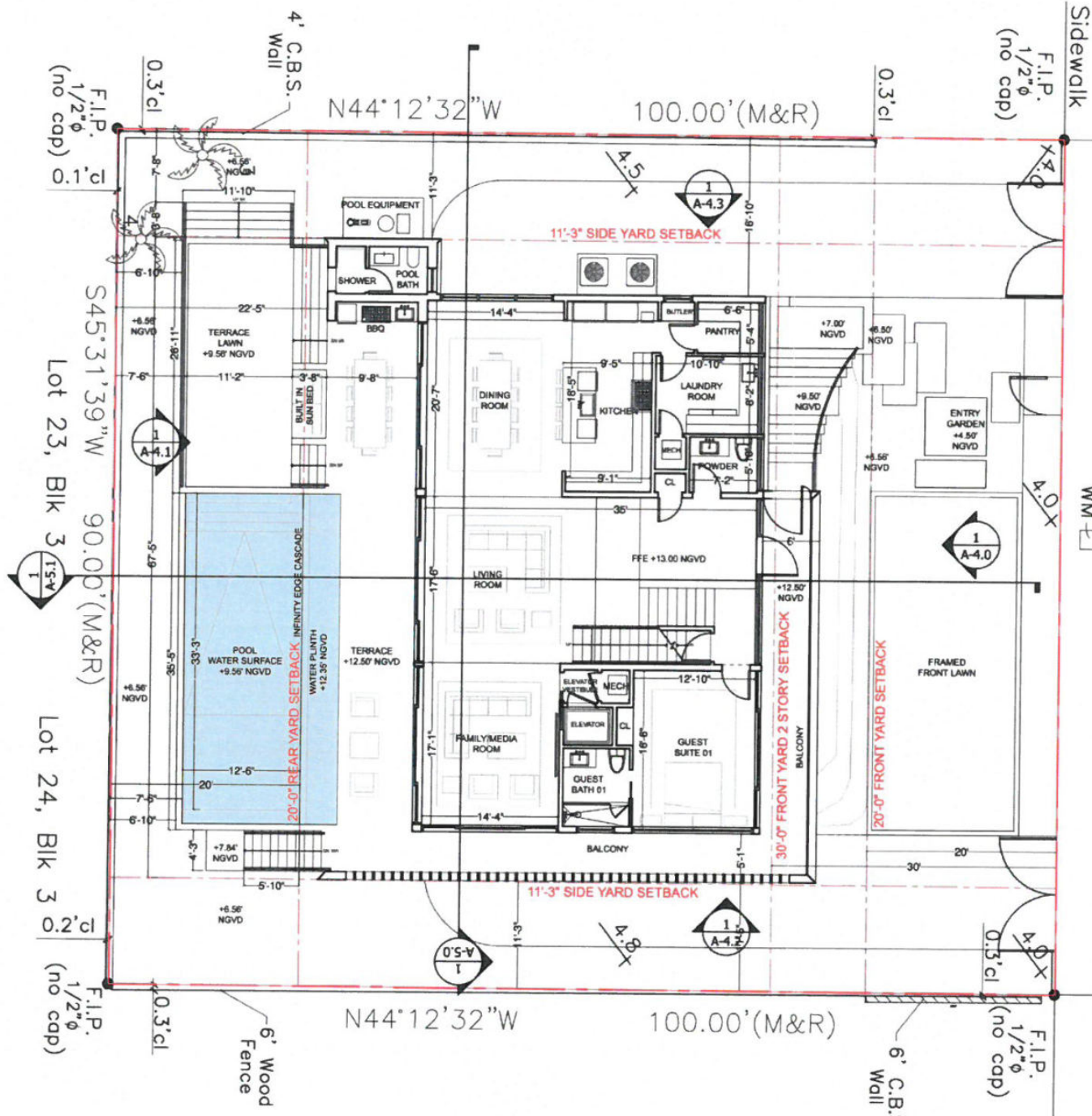
- EXTENDED WALLS/GLASS TO EDGE OF SETBACK TO MAXIMIZE SF, BY FAMILY ROOM, BAR, AND GUEST SUITE.
- RE-ORGANIZE POWDER ROOM, MECHANICAL, LAUNDRY ROOM, AND POOL BATH.
- ADDED A WINE ROOM BESIDE DINING ROOM.
- A/C EQUIPMENT RELOCATED TO ROOF.
- SUN BED REMOVED AND STAIRS EXTENDED.



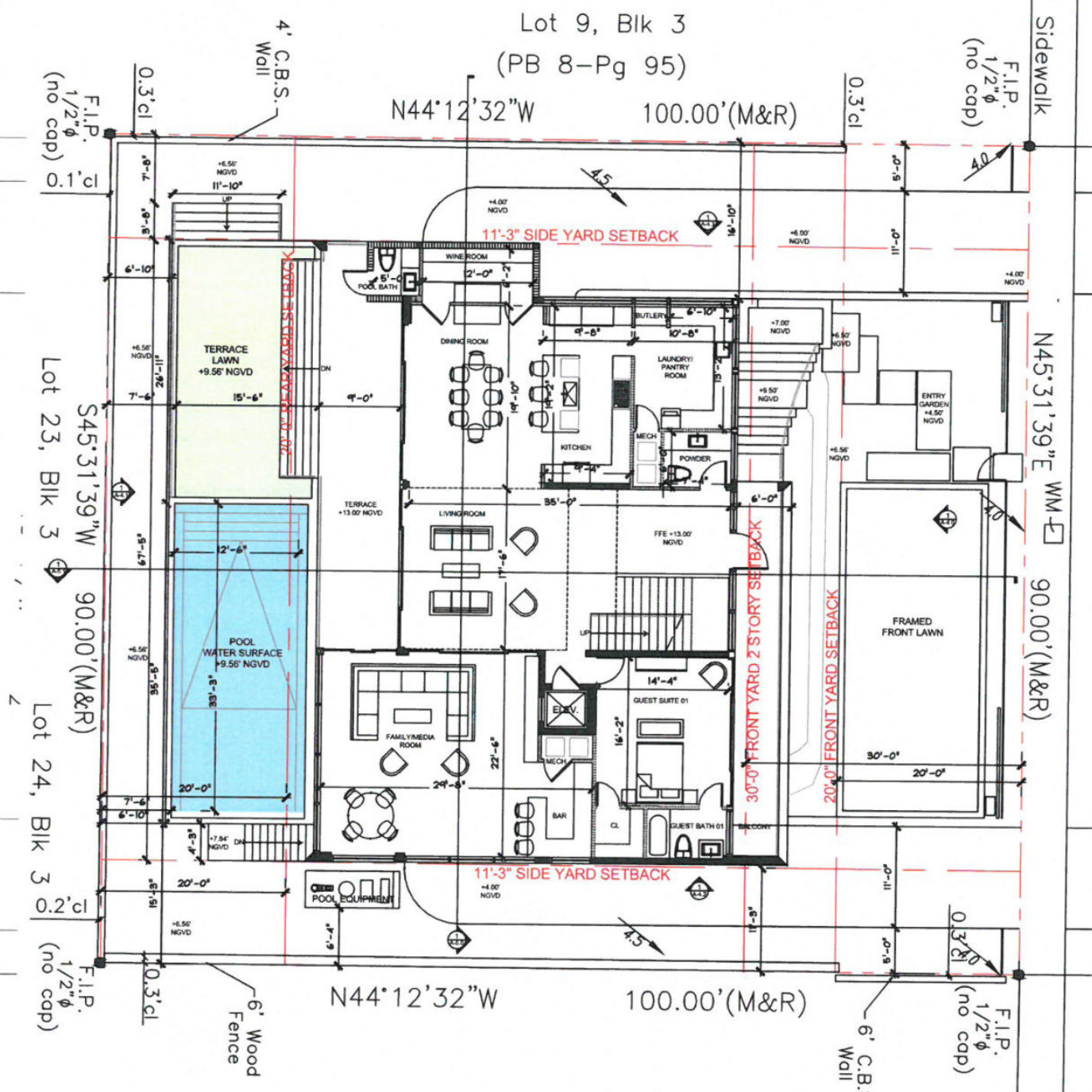
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sheet no. A-1.2
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Job no. 20-4989
comm no. 1810
date: 02-15-2021
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2032:51-04:00'
seal
Shane Ames
ADDRESS - HETEROGENEOUS PAPER, PROFESSIONAL DISTRICT, 800 SOUTH MIAMI AVENUE, MIAMI, FLORIDA, 33134, PHONE: (305) 544-1111, FAX: (305) 544-1112

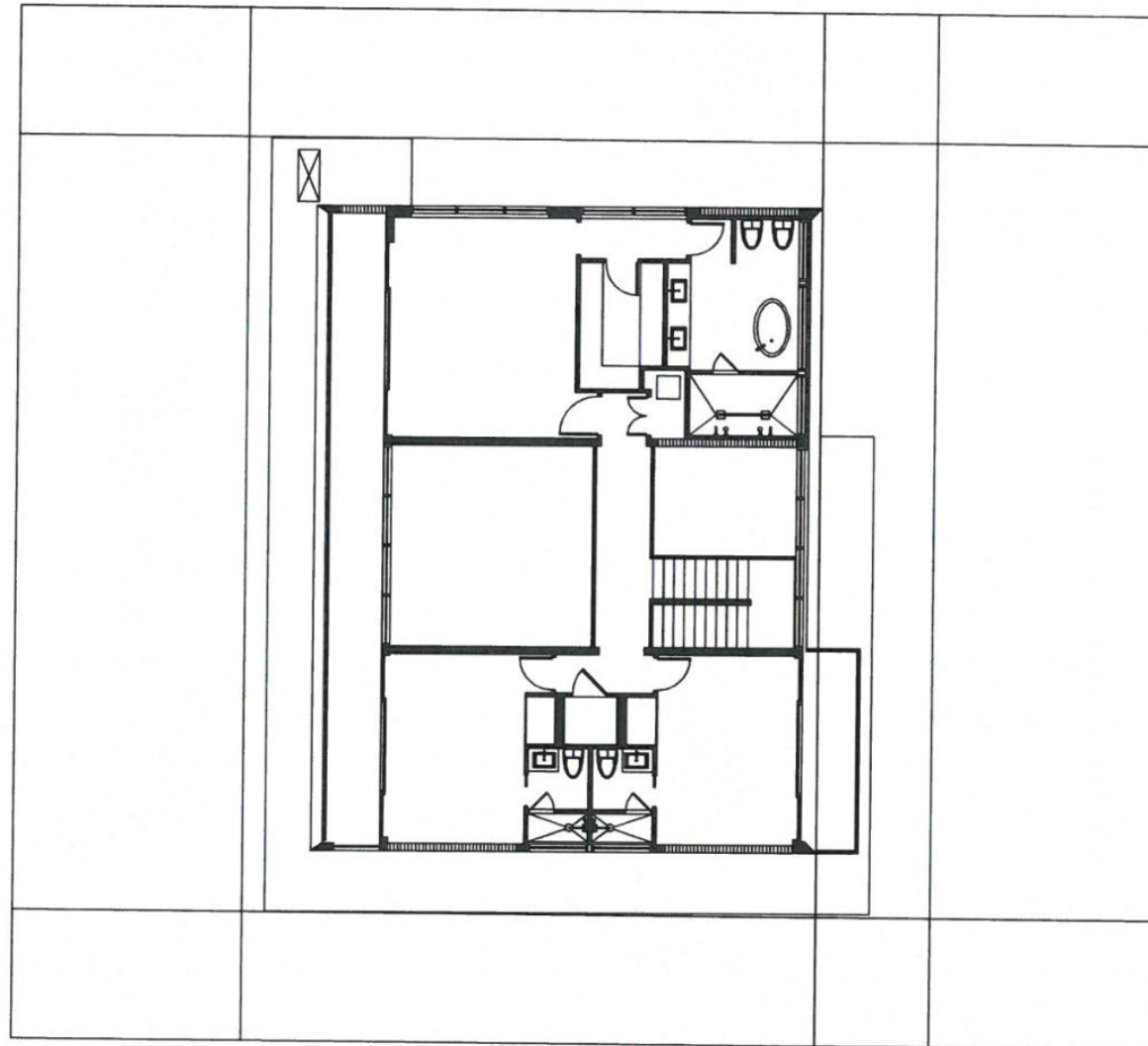


PREVIOUS FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

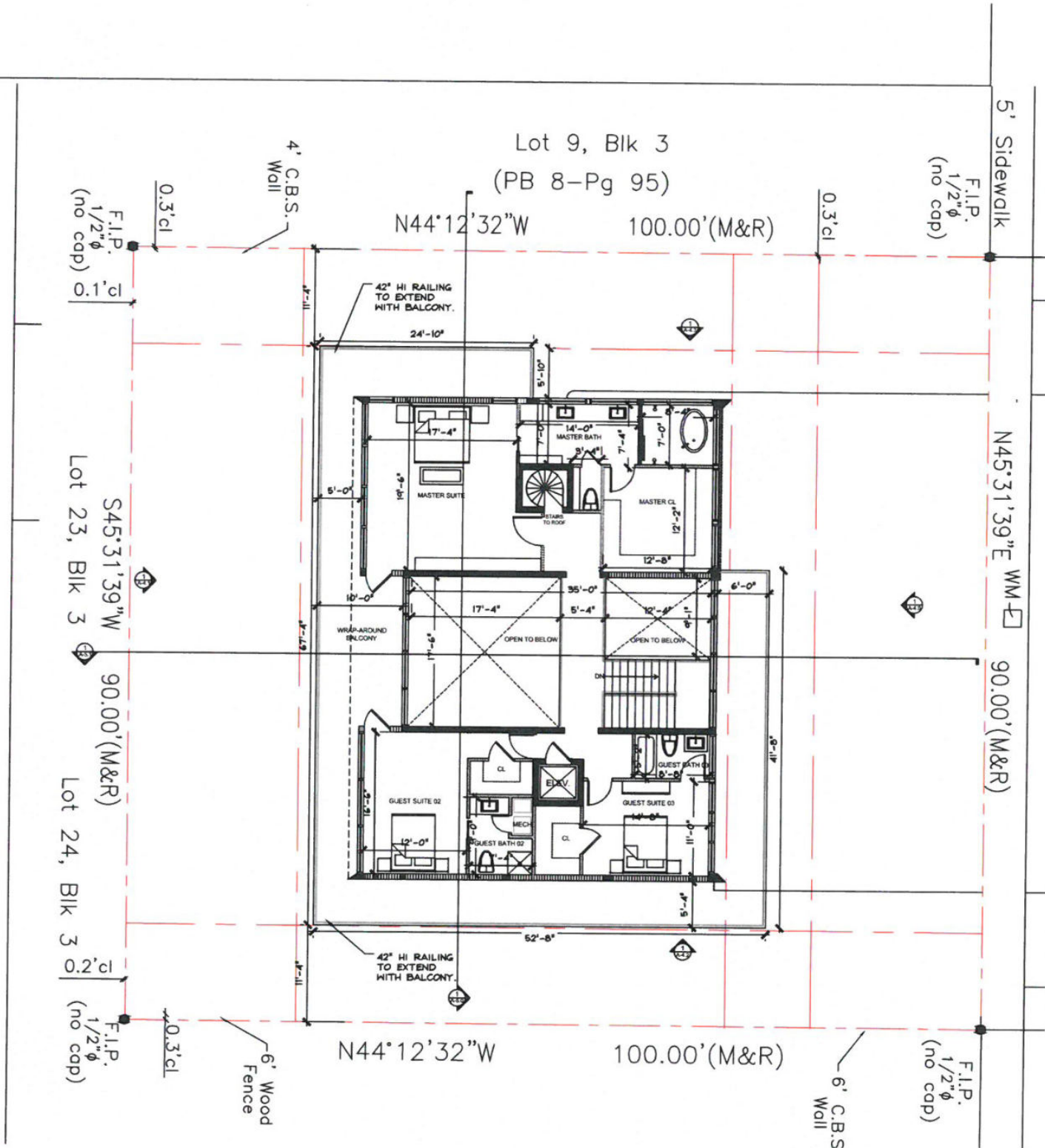


PROPOSED FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

- NOTES:
- EXTENDED MASTER SUITE AND GUEST SUITE 02.
 - REDESIGN FLOOR PLAN



PREVIOUS SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



PROPOSED SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



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Date: 2021-04-05 20:24:59 -04'00'

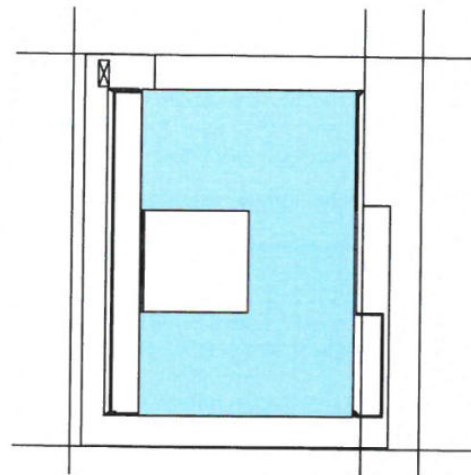
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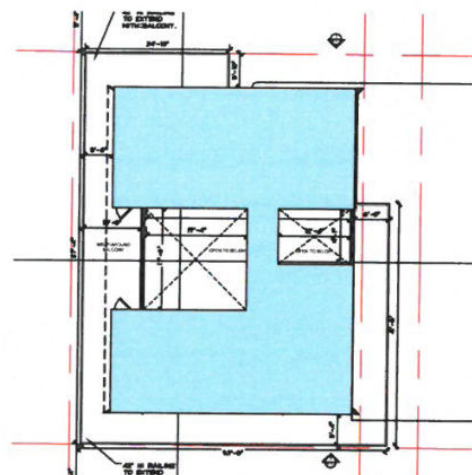
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A-1.3

PLOT DATE: 2021-04-05

ADDRESS: HETTINGER BLVD. & PALM BEACH PROFESSIONAL DISTRICT, 800 DICKINSON AVE. MIAMI BEACH, FLORIDA, 33139. PHONE: 305.576.8444. FAX: 305.576.8444. EMAIL: SHANE@AMESARCHITECTURE.COM



PREVIOUS SECOND PLAN
SCALE: 1/32" = 1'-0"

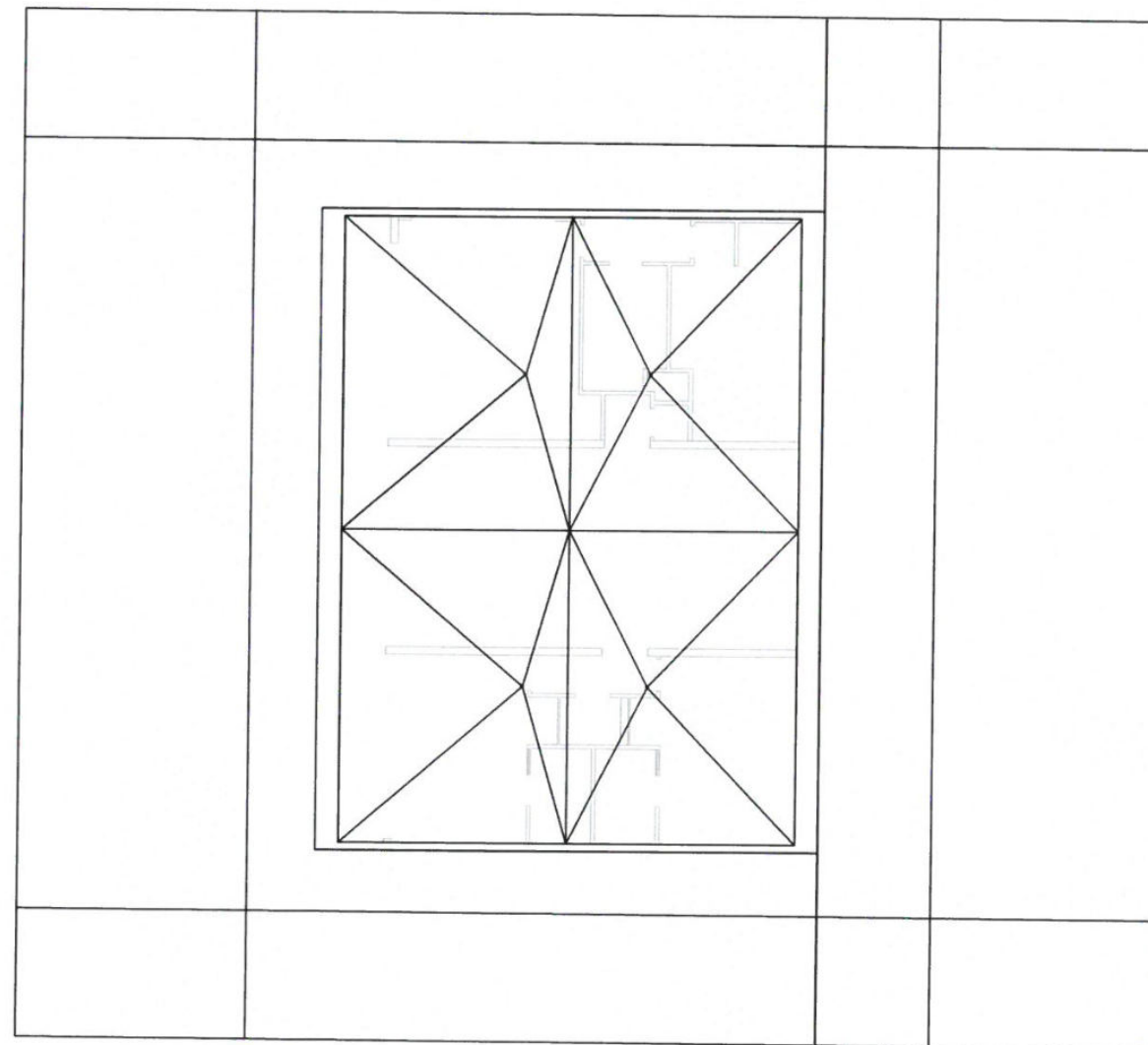


PROPOSED SECOND PLAN
SCALE: 1/32" = 1'-0"

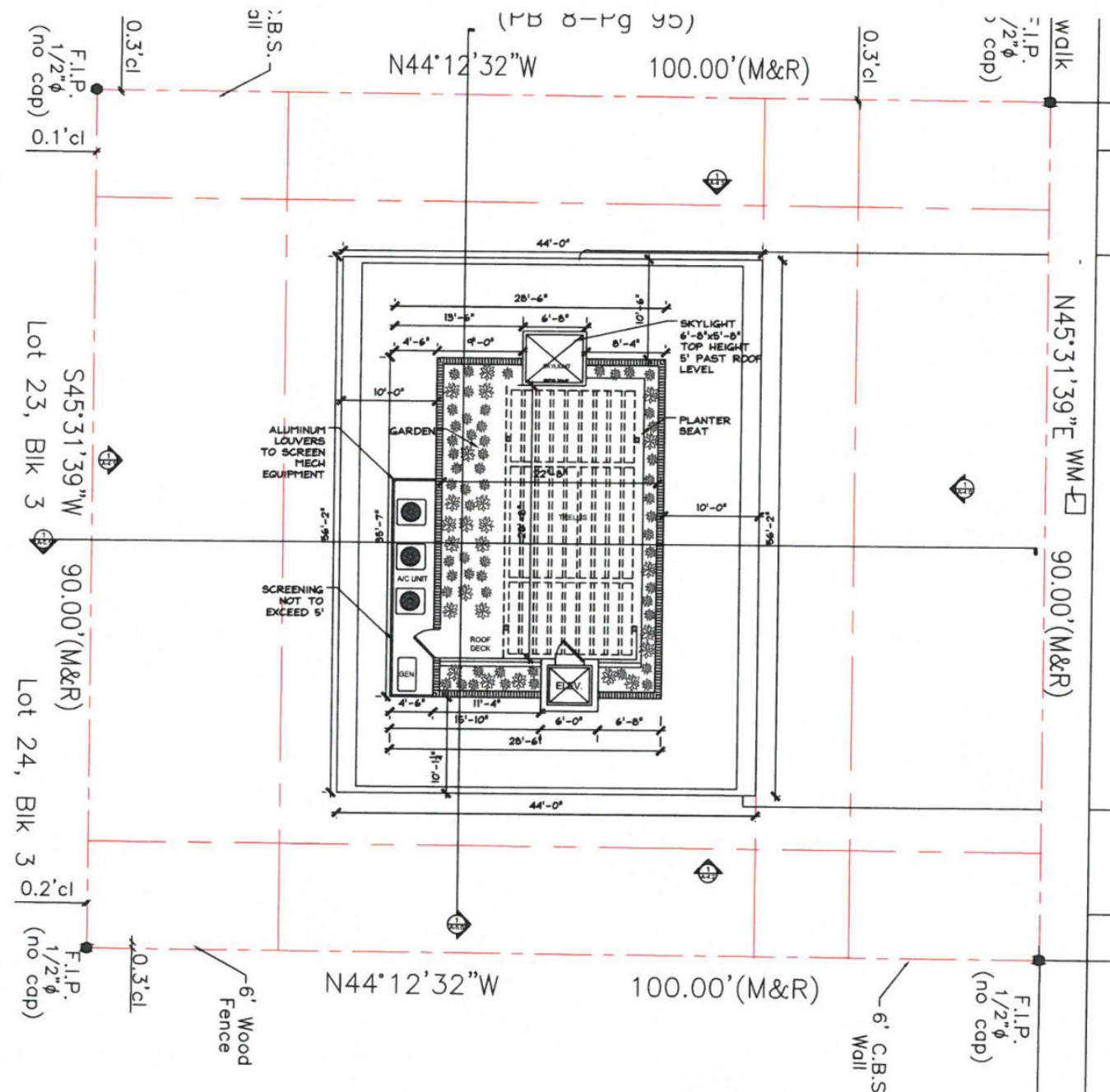
TOTAL ROOF AREA= 2,471 SF
ROOF DECK AREA= 442 SF
TOTAL ROOF ENCLOSED
AREA= 442 SF
ROOF DECK MAX
1805 x 25%= 451.25 SF
ROOF STRUCTURE
1805 x 20%= 361 SF

NOTES:

- MECHANICAL EQUIPMENT RELOCATED. NO SETBACK NEEDED FOR EQUIPMENT.
- ALUMINUM SCREENING FOR MECHANICAL EQUIPMENT NOT TO EXCEED 5'.
- SKYLIGHT EXCEED ROOF HEIGHT OF 5'.



PREVIOUS ROOF FLOOR PLAN
SCALE: 1/16" = 1'-0"



PROPOSED ROOF FLOOR PLAN
SCALE: 1/16" = 1'-0"



NEW RESIDENCE
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MIAMI BEACH, FL 33140

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20:34:52
-04'00'

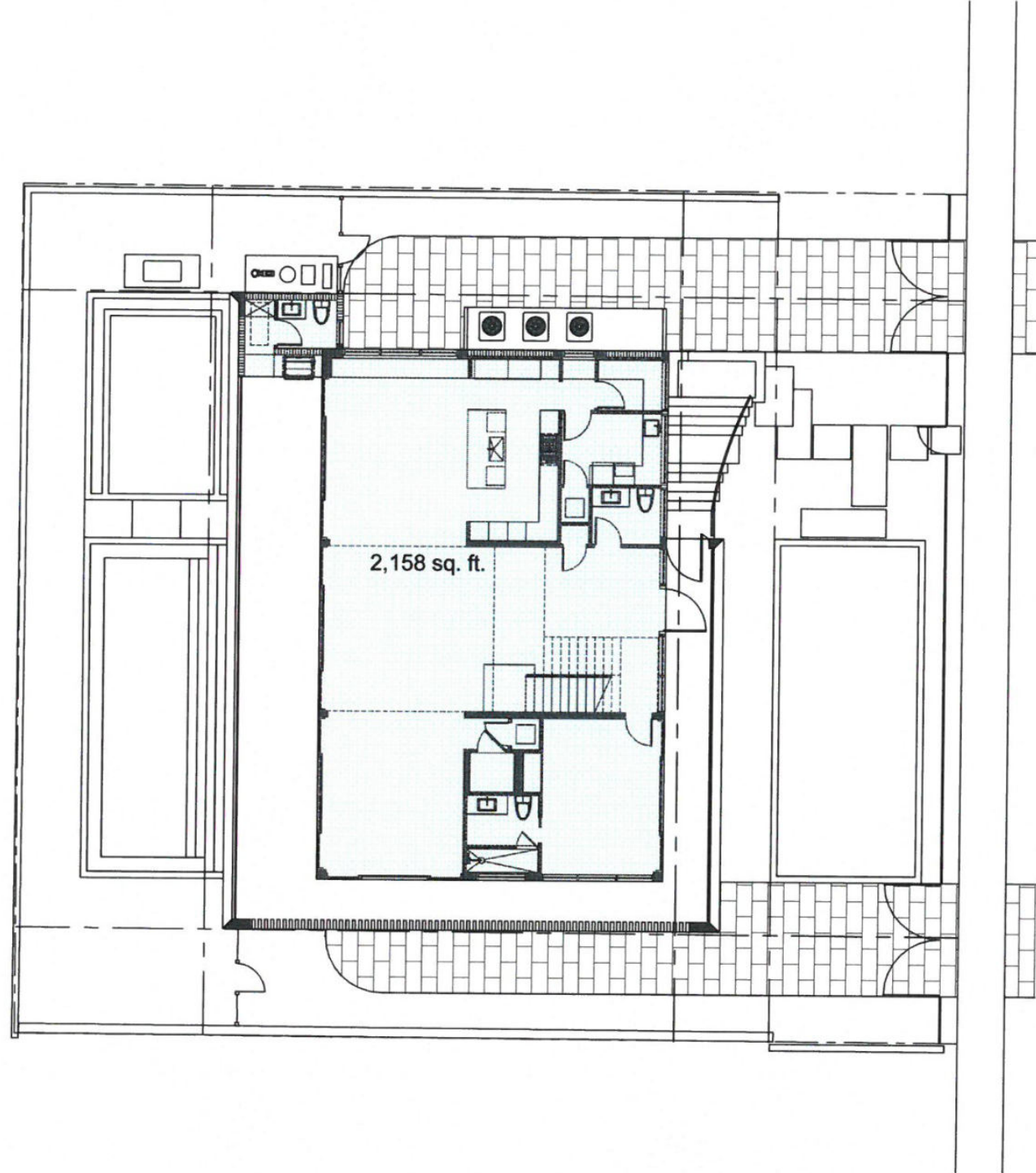
Job no.
20-4989
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1810
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02-15-2021
REVISIONS

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02-15-2021
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A-1.4

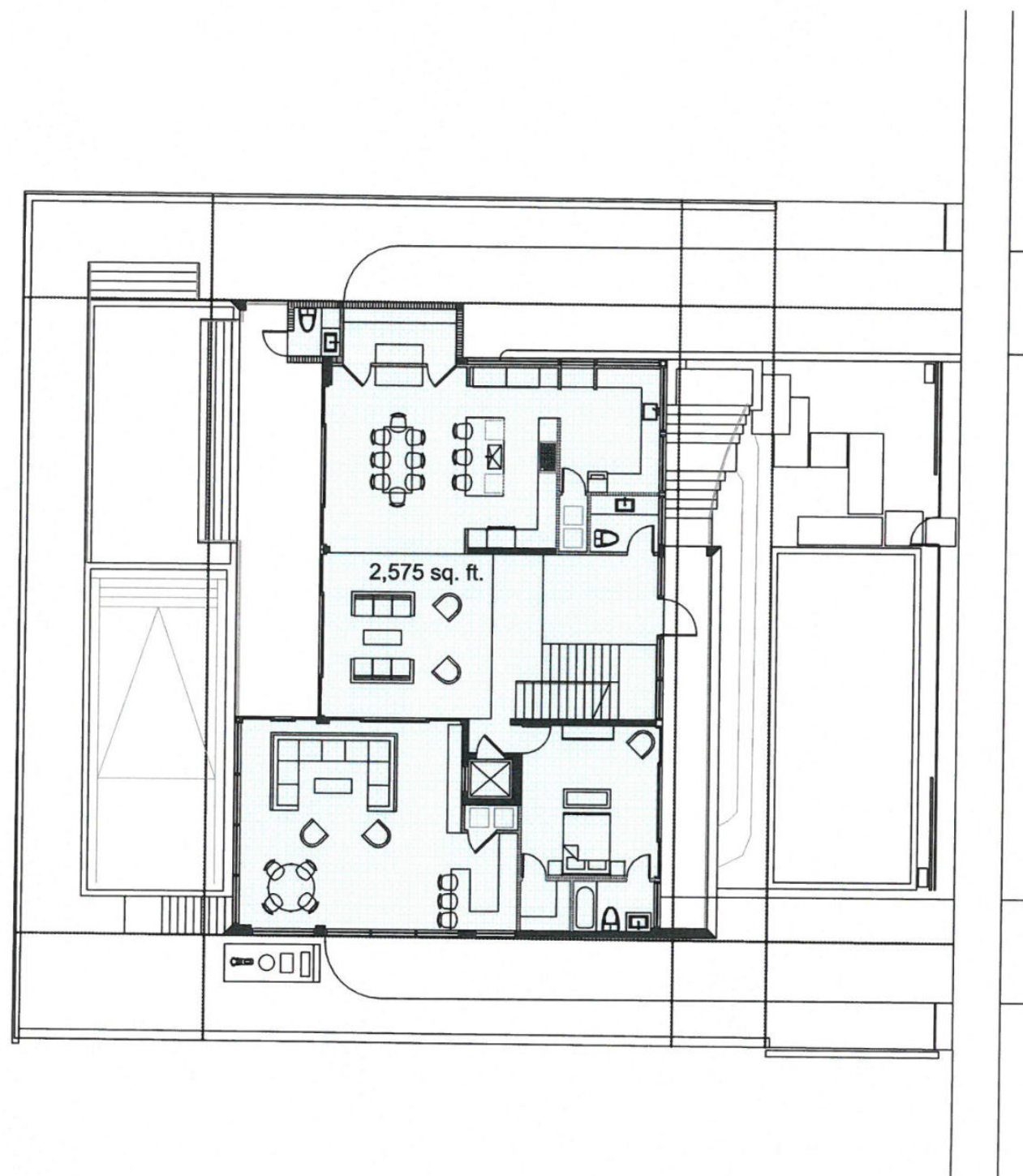
PLOT DATE: 2021-04-05

ADDRESS: 4747 NORTH BAY ROAD, MIAMI BEACH, FLORIDA, 33140, PHONE: (305) 754-0444, FAX: (305) 754-0444



PREVIOUS LOT COVERAGE
SCALE: 1/16" = 1'-0"

ALLOWABLE UNIT SIZE	GROUND FLOOR UNIT SIZE	FIRST FLOOR UNIT SIZE	SECOND FLOOR UNIT SIZE	TOTAL UNIT SIZE
4,500 SF 50% OF LOT AREA (9,000 SF)	83 SF	2,575 SF	1,805 SF	4,463 SF (49.58%)
LOT AREA	PREVIOUS LOT COVERAGE	PROPOSED LOT COVERAGE		
9,000 SF	2,158 SF	2,575 SF		



PROPOSED LOT COVERAGE
SCALE: 1/16" = 1'-0"



NEW RESIDENCE
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-04'00'

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02-15-2021
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PLOT DATE: 2021-04-05

ADDRESS: HISTORIC DEL-ALA PARK, PROFESSIONAL DISTRICT, 808 DEL-ALA PARK, MIAMI BEACH, FLORIDA, 33444, PHONE: (305) 674-8444, FAX: (305) 674-8444



5

seal

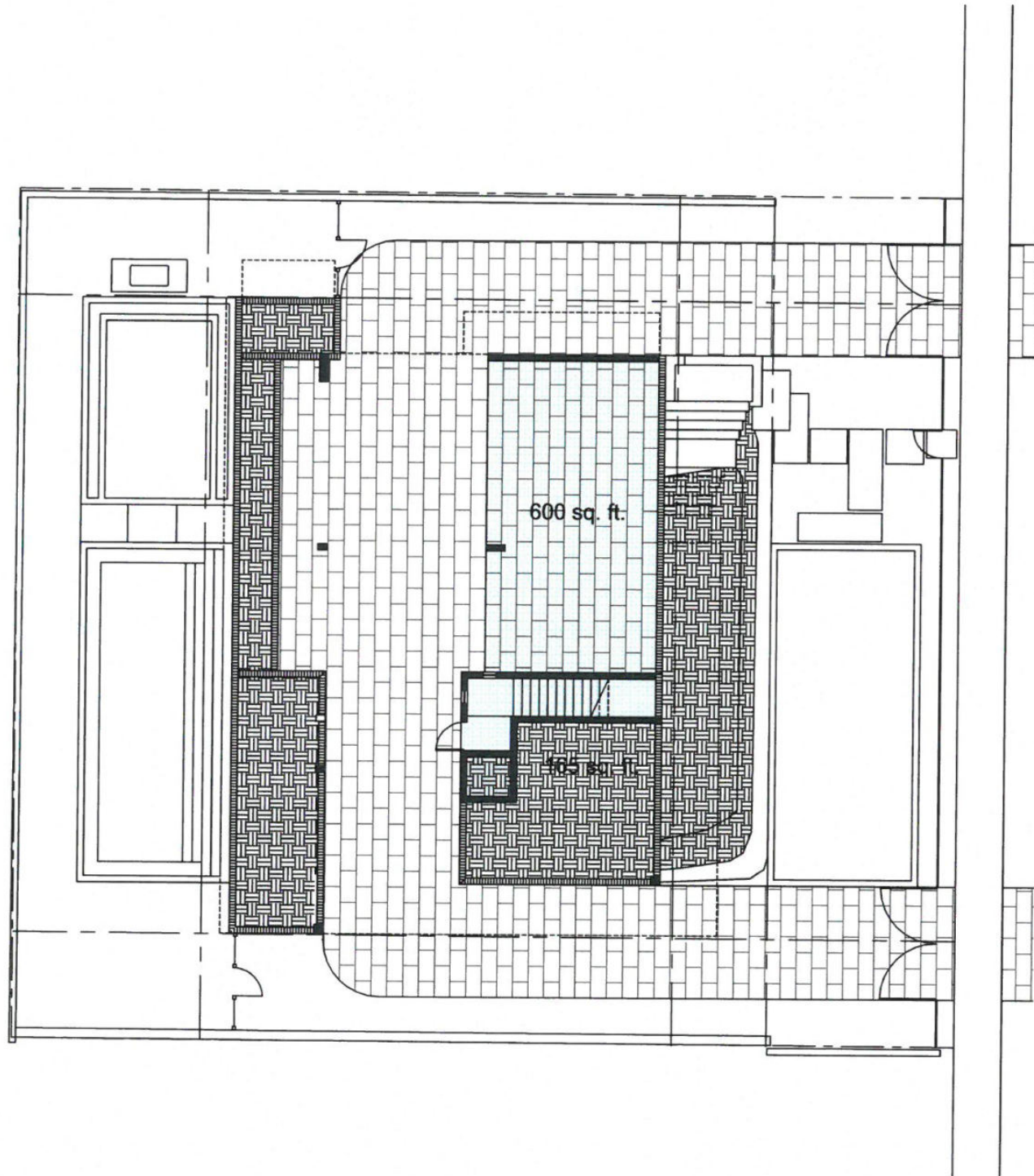
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20-4989
comm no.
1810
date:
02-15-2021
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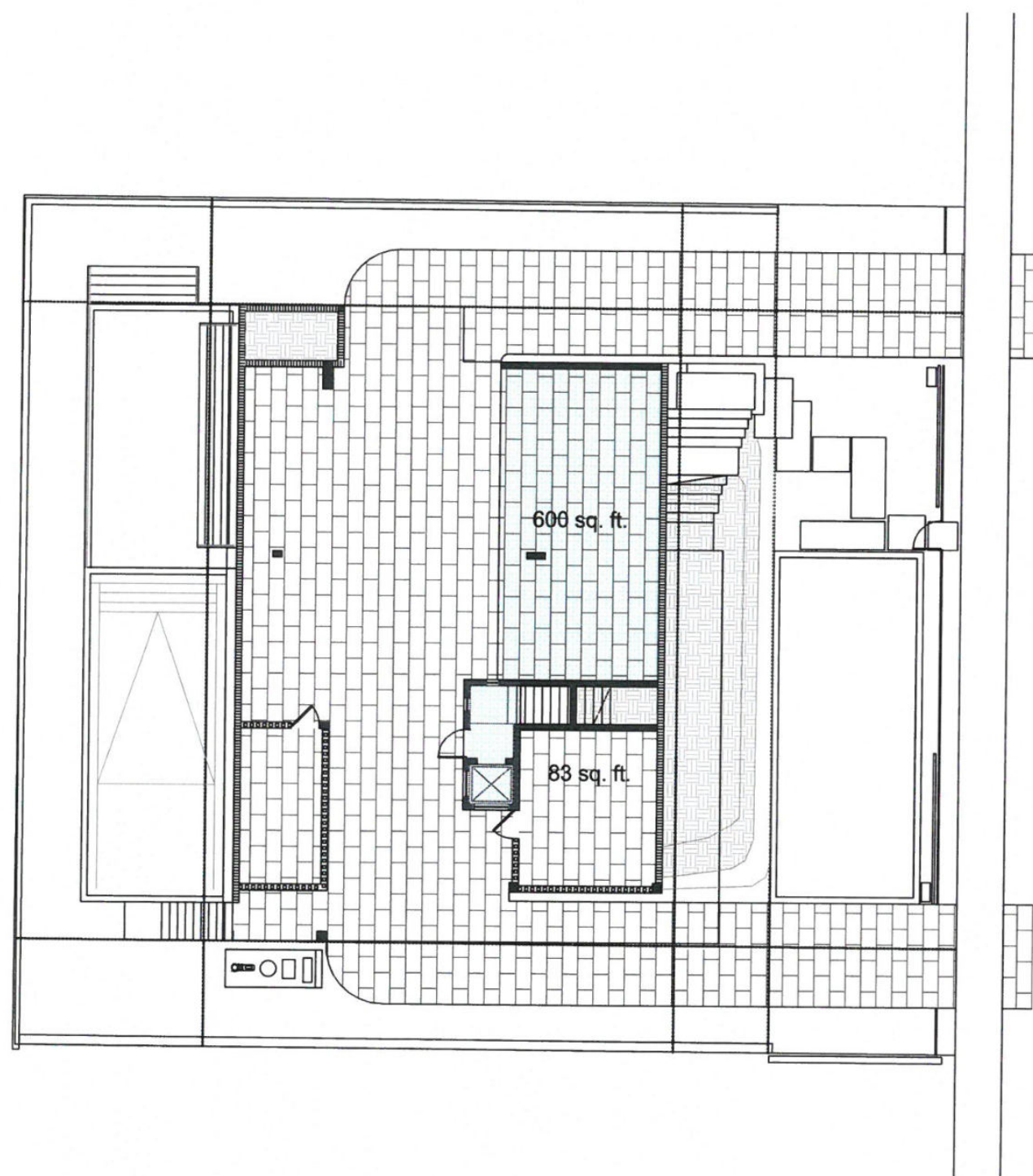
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sheet no.
A-2.1
PLOT DATE: 2021-04-05

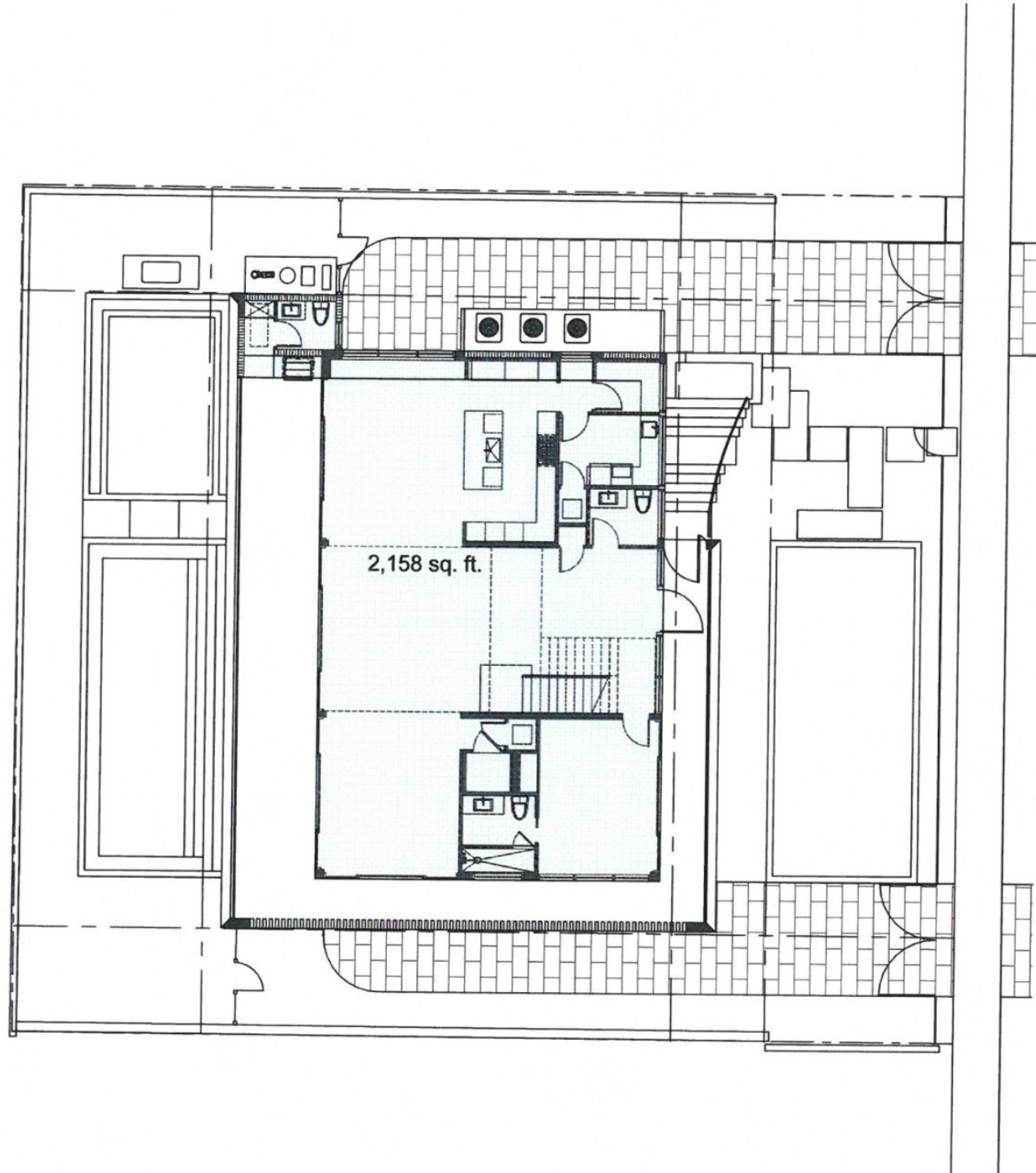


 PREVIOUS GROUND UNIT SIZE
SCALE: 1/16" = 1'-0"

ALLOWABLE UNIT SIZE	GROUND FLOOR UNIT SIZE	FIRST FLOOR UNIT SIZE	SECOND FLOOR UNIT SIZE	TOTAL UNIT SIZE
4,500 SF 50% OF LOT AREA (9,000 SF)	83 SF	2,575 SF	1,805 SF	4,463 SF (49.58%)
LOT AREA	PREVIOUS LOT COVERAGE	PROPOSED LOT COVERAGE		
9,000 SF	2,158 SF	2,575 SF		

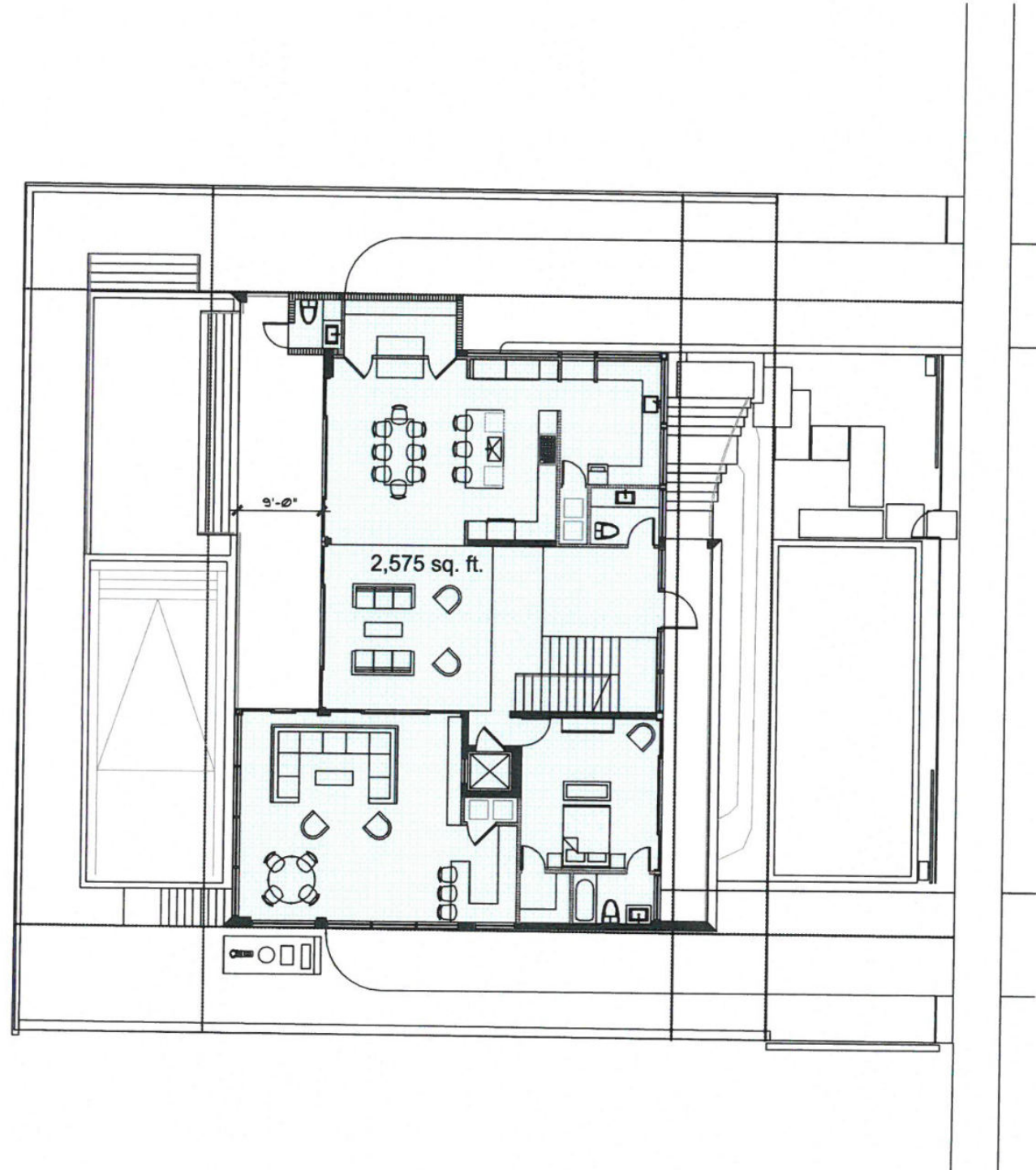


PROPOSED GROUND UNIT SIZE
SCALE: 1/16" = 1'-0"



PREVIOUS FIRST UNIT SIZE
SCALE: 1/16" = 1'-0"

ALLOWABLE UNIT SIZE	GROUND FLOOR UNIT SIZE	FIRST FLOOR UNIT SIZE	SECOND FLOOR UNIT SIZE	TOTAL UNIT SIZE
4,500 SF 50% OF LOT AREA (9,000 SF)	83 SF	2,575 SF	1,805 SF	4,463 SF (49.58%)
LOT AREA	PREVIOUS LOT COVERAGE	PROPOSED LOT COVERAGE		
9,000 SF	2,158 SF	2,575 SF		



PROPOSED FIRST UNIT SIZE
SCALE: 1/16" = 1'-0"



NEW RESIDENCE
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MIAMI BEACH, FL 33140

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Shane Ames
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2021.04.05
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-04'00'

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20-4989
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1810
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02-15-2021
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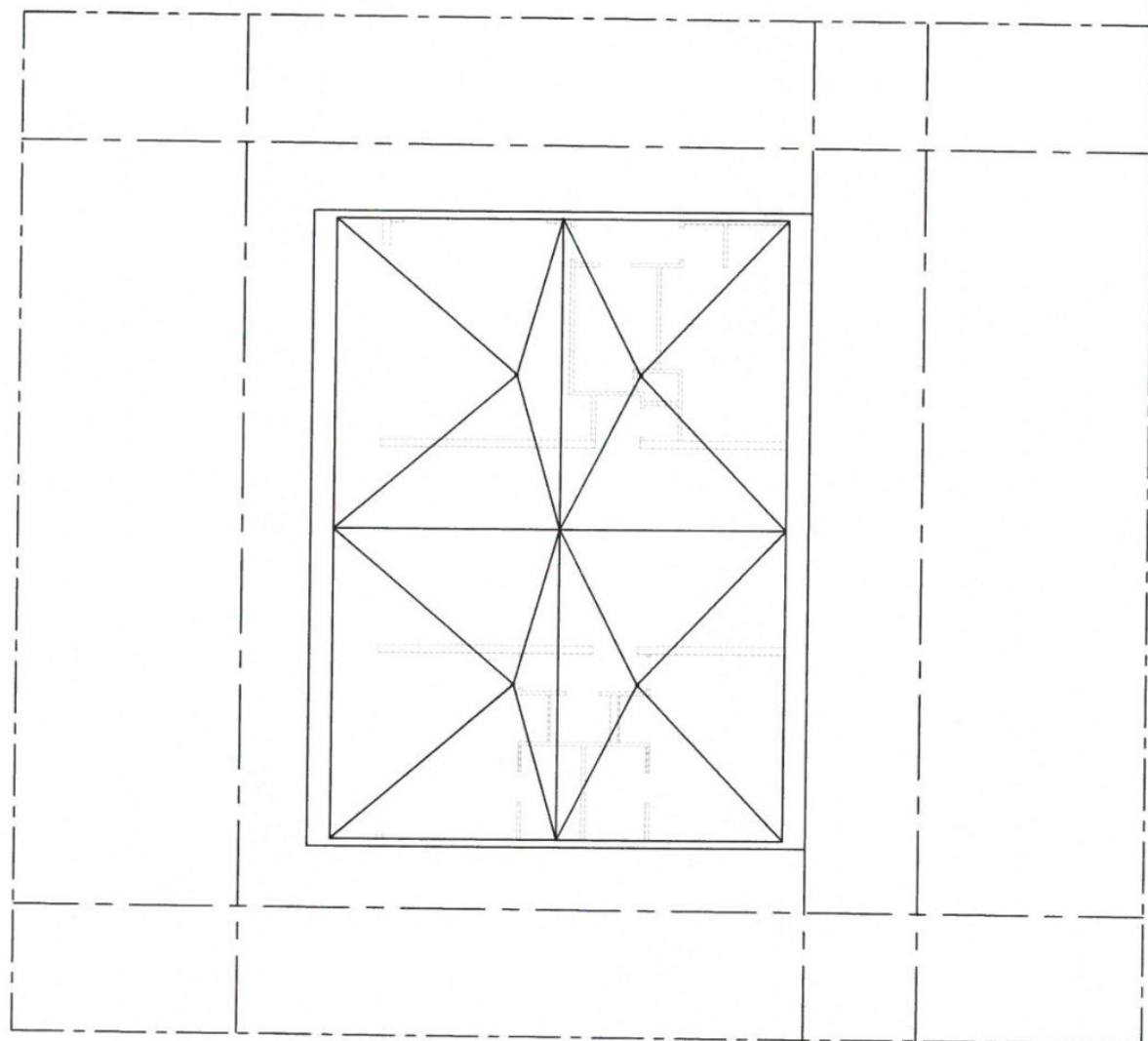
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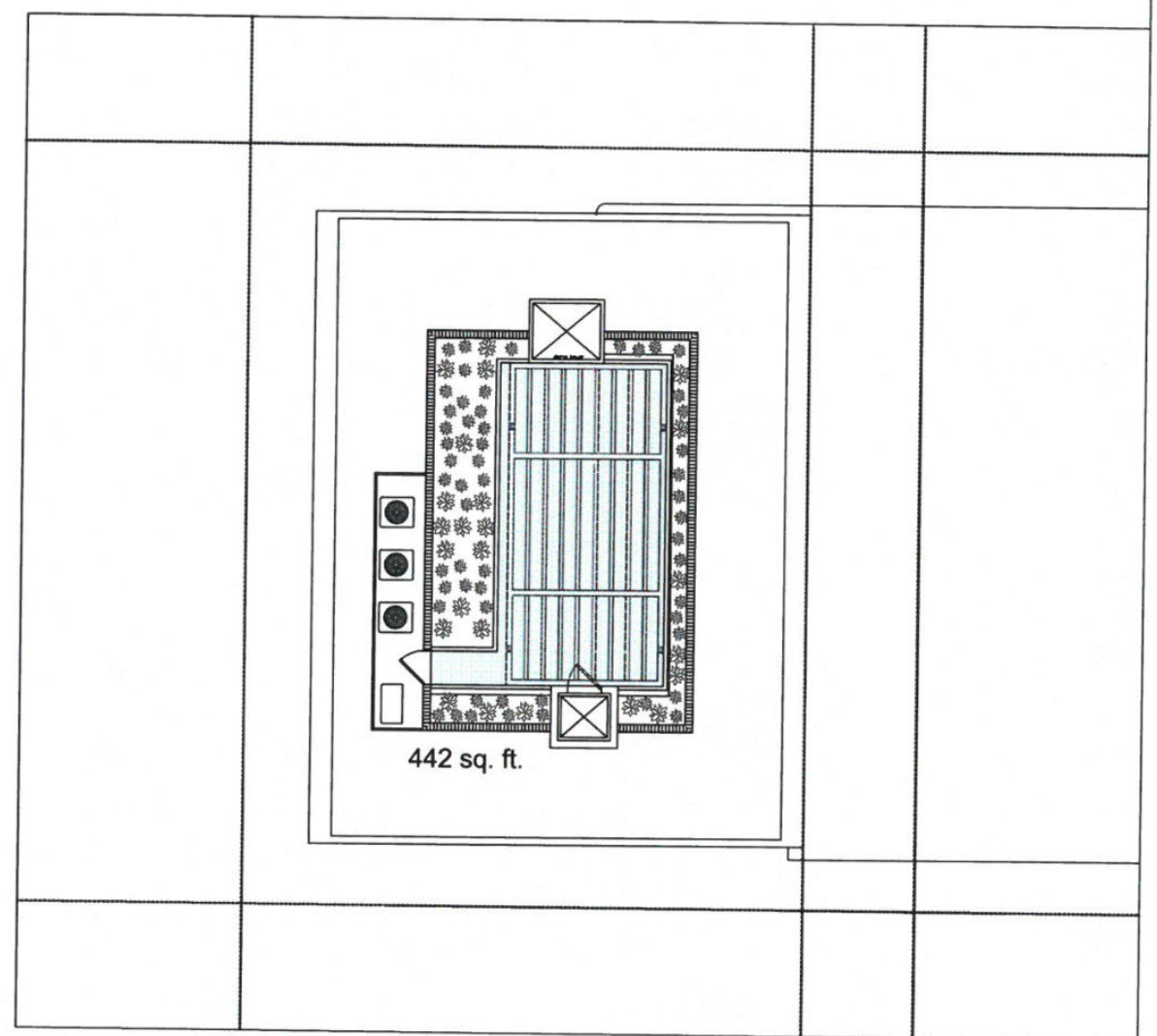
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PREVIOUS ROOF UNIT SIZE
SCALE: 1/16" = 1'-0"

ALLOWABLE UNIT SIZE	GROUND FLOOR UNIT SIZE	FIRST FLOOR UNIT SIZE	SECOND FLOOR UNIT SIZE	TOTAL UNIT SIZE
4,500 SF 50% OF LOT AREA (9,000 SF)	83 SF	2,575 SF	1,805 SF	4,463 SF (49.58%)
LOT AREA	PREVIOUS LOT COVERAGE	PROPOSED LOT COVERAGE		
9,000 SF	2,158 SF	2,575 SF		

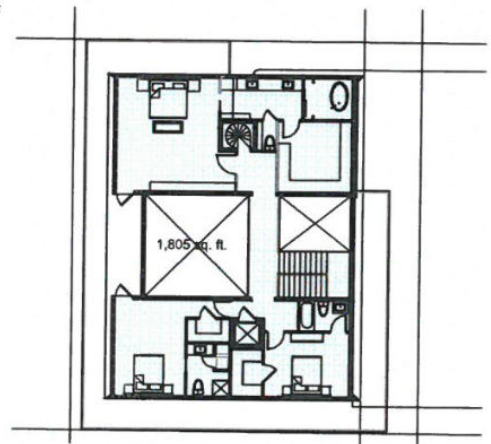


TOTAL ROOF AREA=2,471 SF
ROOF DECK AREA= 442 SF

TOTAL ROOF ENCLOSED
AREA= 442 SF

ROOF DECK MAX
1805 x 25%= 451.25 SF

ROOF STRUCTURE
1805 x 20%= 361 SF



PROPOSED ROOF UNIT SIZE
SCALE: 1/16" = 1'-0"



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MIAMI BEACH, FL 33140

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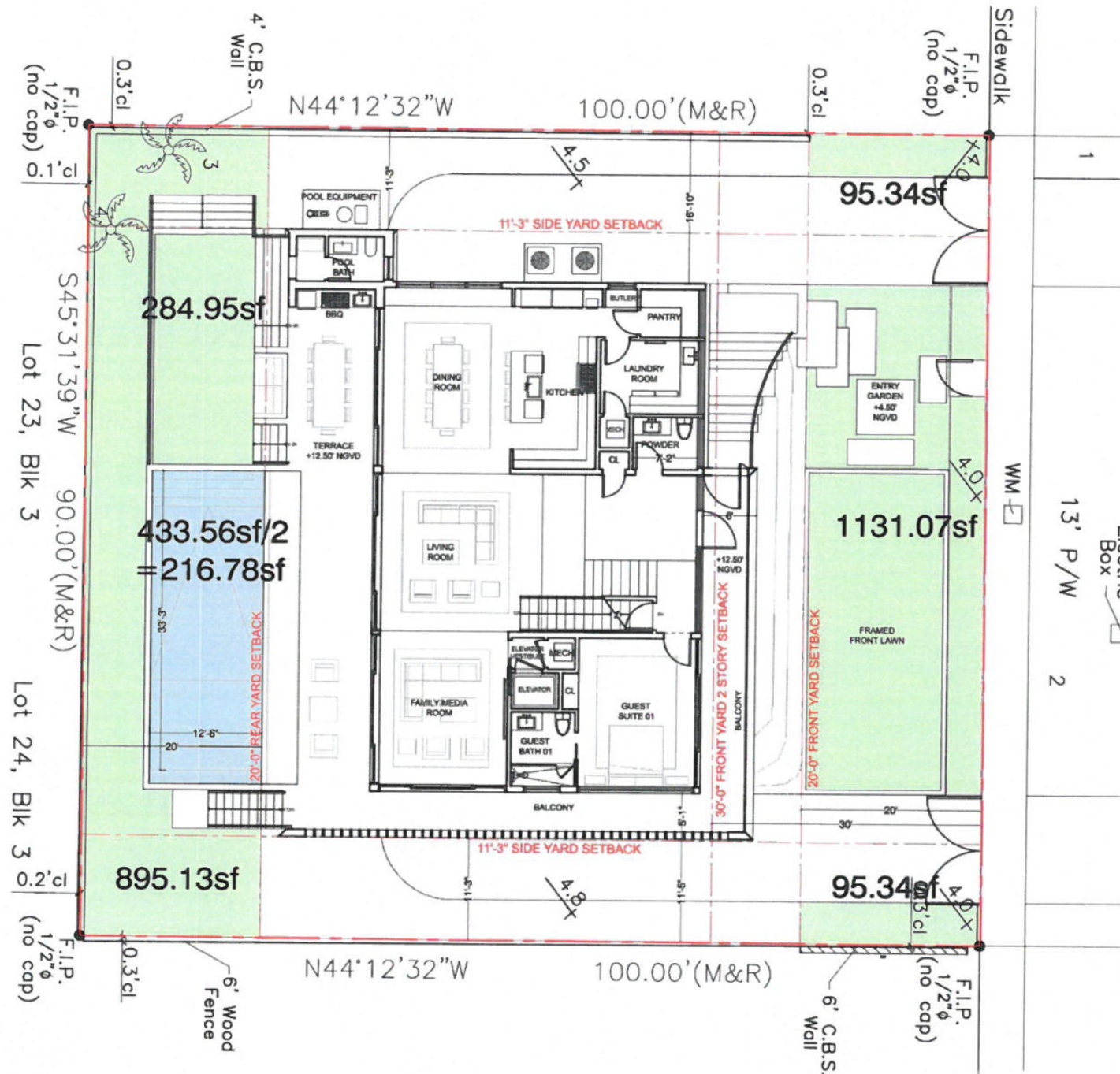
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02-15-2021
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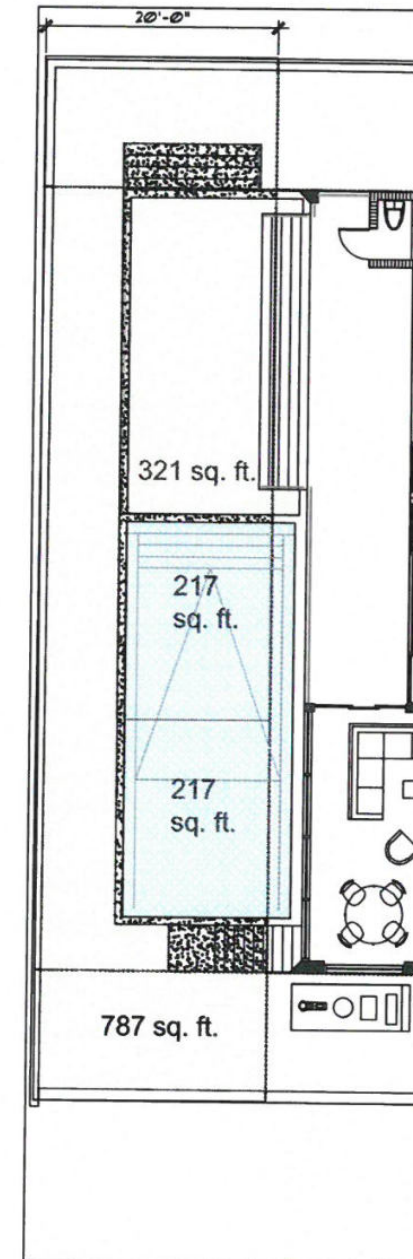
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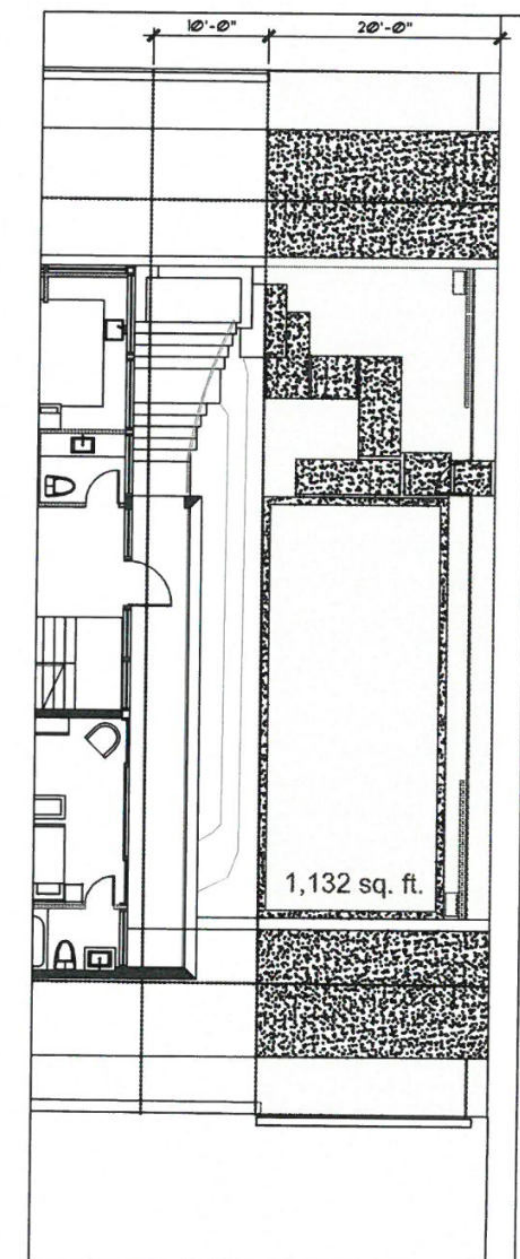
ADDRESS : HISTORIC DEL-SEA PARK, PROFESSIONAL DISTRICT, 800 DEL-SEA PARK, MIAMI BEACH, FLORIDA, 33444, PHONE : 305.274.8444, FAX : 305.274.8444
LAW : A40000007 ANDREU & ANDREU



PREVIOUS CALCULATIONS
SCALE: 1/16" = 1'-0"



PROPOSED REAR CALCULATIONS
SCALE: 1/16" = 1'-0"



PROPOSED FRONT CALCULATIONS
SCALE: 1/16" = 1'-0"

LOT COVERAGE LEGEND:

	RESIDENCE (BUILDING LOT COVERAGE)		DRIVEWAY / WALKS / POOL DECK
	COVERED TERRACES (BUILDING LOT COVERAGE)		LANDSCAPING
	POOL		



NEW RESIDENCE
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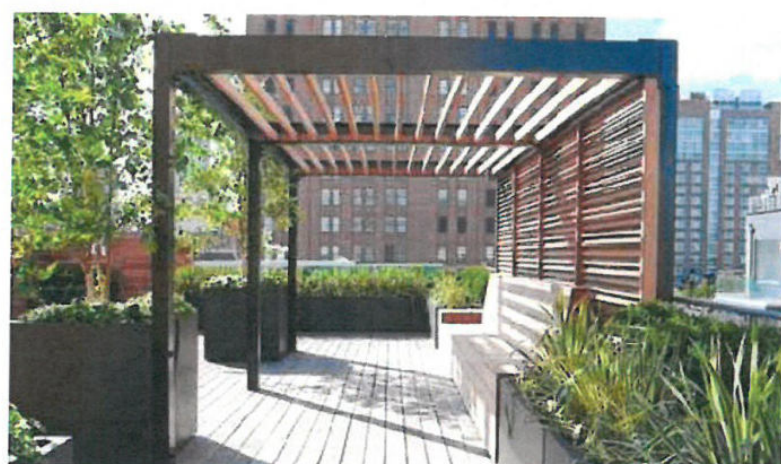
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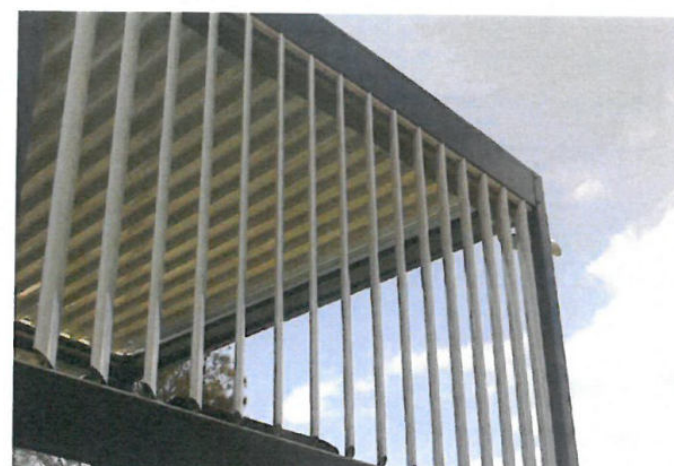
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A-2.5

PLOT DATE: 2021-04-05

ADDRESS: 1187000 DEL-DA PARK, PROFESSIONAL DISTRICT, 300 S.W. 15TH AVENUE, MIAMI BEACH, FLORIDA 33134 PHONE: 305.674.8444 FAX: 305.674.8444



A



B



C



D



E



F

- A. ROOF / ALUMINUM TRELLIS MEMBERS TO BE FINISHED IN A LIGHT WOOD TONE.
- B. ALUMINUM LOUVERS
- C. TEMPERED GLASS GUARDRAIL WITH ALUMINUM RAIL
- D. IMPACT-RATED LIGHT TINTED LAMINATED GLASS ON DARK ALUMINUM FRAMING SYSTEM.
- E. EXTERIOR SMOOTH STUCCO FINISH ON MASONRY WALL
- F. CORAL STONE

MATERIAL BOARD



NEW RESIDENCE
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20:26:10
-04'00'

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FRONT ELEVATION



NEW RESIDENCE
4747 NORTH BAY ROAD
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seal
 Digitally signed by
 Shane Ames
 Date: 2021.04.05
 20:25:40
 04'00"

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20-4989
 comm no.
1810
 date:
 02-15-2021
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- △ 01-13-2021
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- △ 02-15-2021
OWNER REVISIONS

sheet no.
A-3.1

PLOT DATE: 2021-04-05

CONTRACT & PERMIT INFORMATION: ARCHITECTURE ADDRESS: 4747 NORTH BAY ROAD, MIAMI BEACH, FL 33140. PHONE: (305) 664-4444. FAX: (305) 664-4444. EMAIL: SHANE@AMESARCHITECTURE.COM. THE ARCHITECT'S DESIGN IS THE PROPERTY OF AMES INTERNATIONAL ARCHITECTURE AND SHALL BE USED BY THE CLIENT FOR THE PROJECT ONLY. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE ARCHITECT'S DESIGN IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF AMES INTERNATIONAL ARCHITECTURE.

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REAR ELEVATION



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Date:
2021.04.05
20:25:25
-04'00'

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20-4989
comm no.
1810

date:
02-15-2021
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APPLICABLE CODE NOTE:

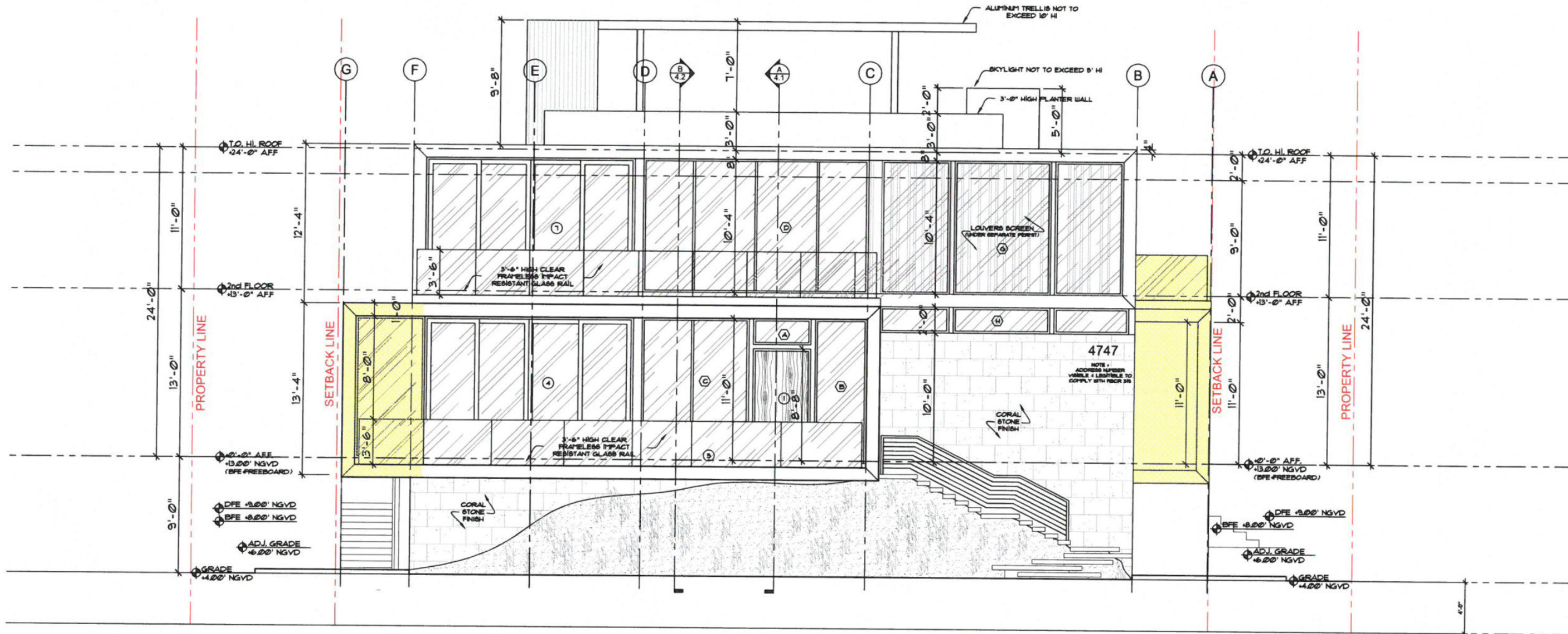
APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

GENERAL NOTE:

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

NOTES:

- ADDITION OF WINE ROOM.
- 1ST FLOOR EXTENDED OUT TO SETBACK LINE.
- SKYLIGHT PROTRUDE 5' PAST T.O. ROOF.
- ADDITION OF TRELLIS FOR ROOF DECK.
- NEW WINDOW ON GUEST SUITE BATHROOM N.E. SIDE.

**NORTH (FRONT) ELEVATION**

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
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Shane Ames
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Shane Ames
Date:
2021.04.05
19:28:49
-04'00'

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20-4989
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date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-4.0

PLOT DATE: 2021-04-05

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APPLICABLE CODE NOTE:

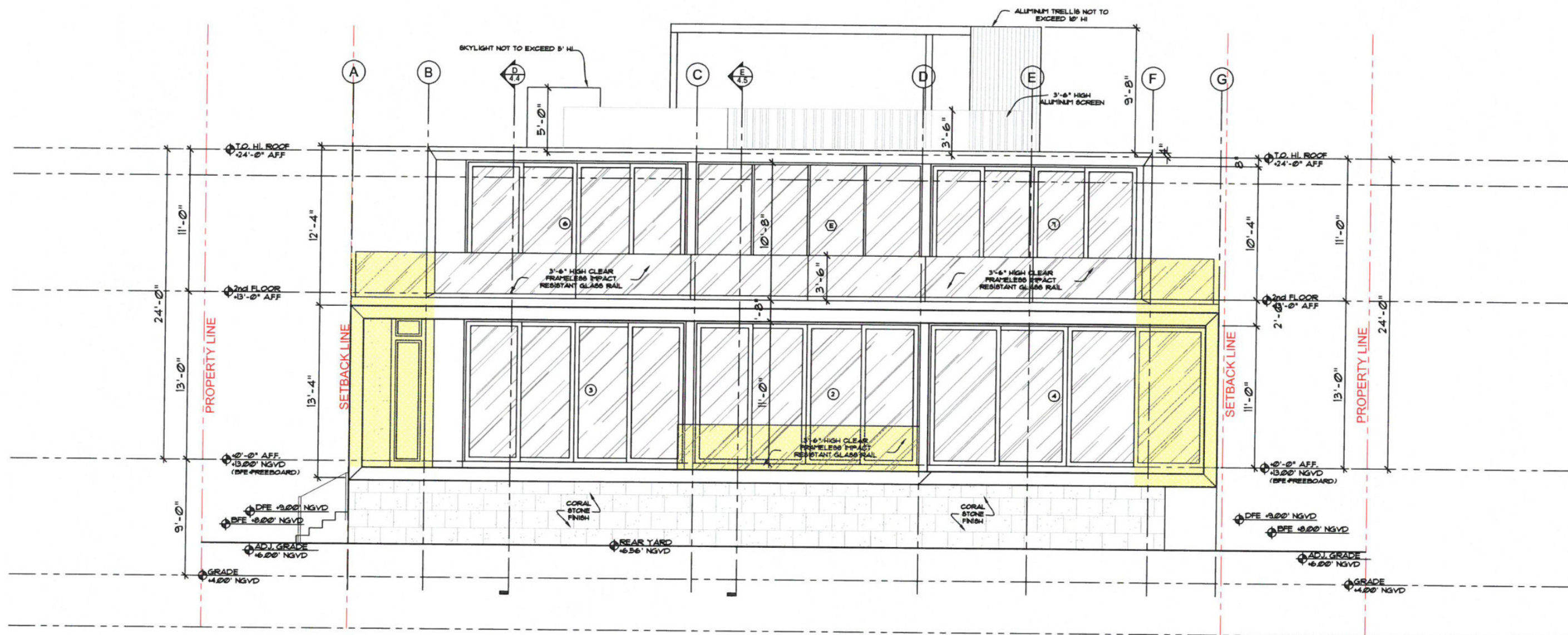
APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

GENERAL NOTE:

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

NOTES:

- RELOCATION OF A/C EQUIPMENT TO ROOF.
- 1ST FLOOR EXTENDED OUT TO SETBACK LINE.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF BALCONY.



SOUTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Shane
Digitally signed by
Shane Ames
Date:
2021.04.05
19:28:27
-04'00'

Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-4.1

PLOT DATE: 2021-04-05

ADDRESS: 4747 NORTH BAY ROAD, MIAMI BEACH, FL 33140. PHONE: (305) 754-8444. FAX: (305) 754-8444. EMAIL: info@amesintl.com



PREVIOUS SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Shane Ames
Digitally signed by Shane Ames
Date: 2021.04.06 20:18:19 -04'00'

Job no.
20-4989
comm no.
1810
date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-4.2

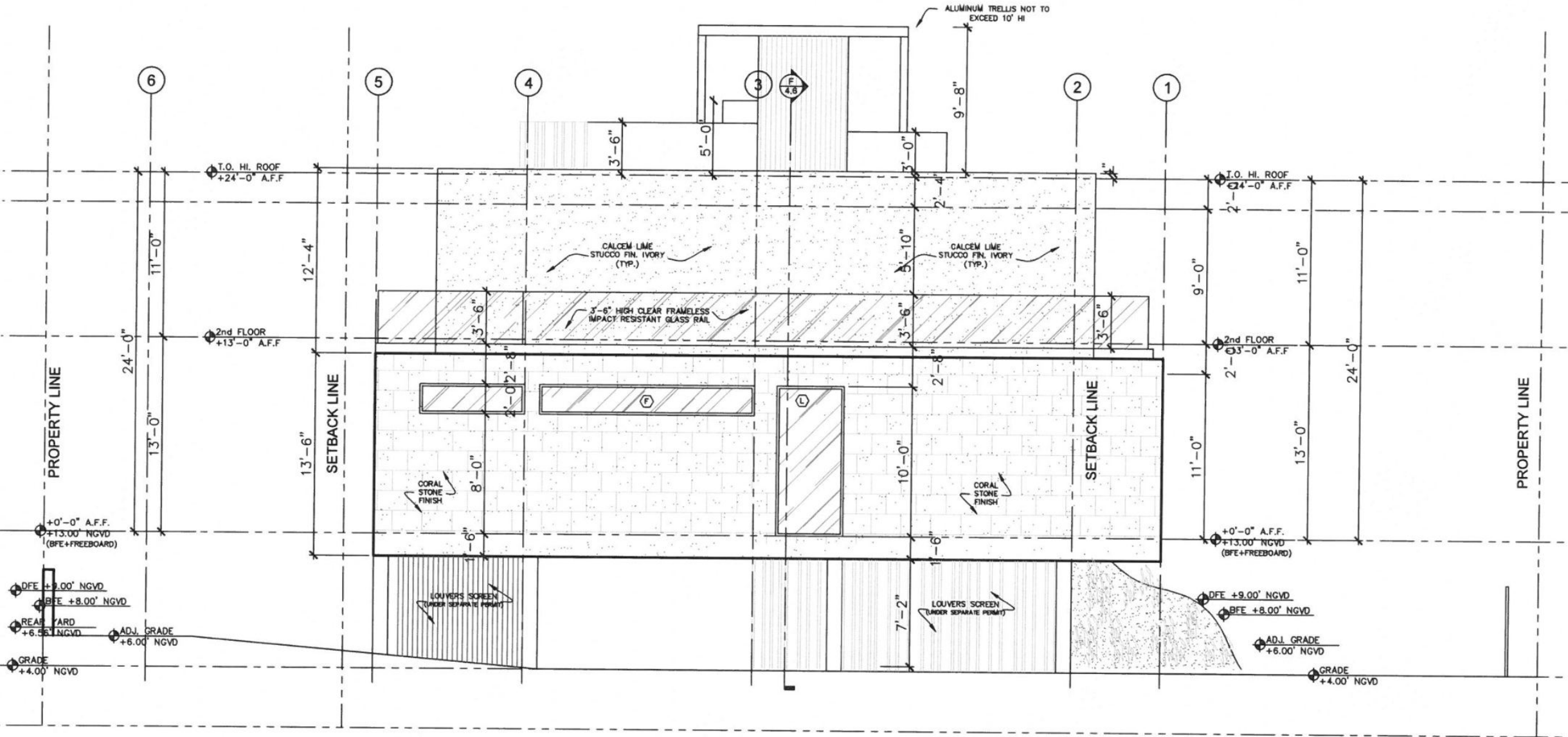
PLOT DATE: 2021-04-05

ADDRESS: HISTORIC DEL-SEA PARK PROFESSIONAL DISTRICT, 800 EISENBERG BLVD, MIAMI BEACH, FLORIDA, 33444 PHONE: 305.574.8444 FAX: 305.574.6444

APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL — ALL
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ANY LOUVER, SCREENS AND OPENING SHALL
NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW
OF FLOOD WATERS INTO OR OUT OF THE
ENCLOSED AREA

- FAMILY ROOM AND GUEST SUITE 1 EXTENDED TO
SETBACK LINE.
- ADDITION OF CLERESTORY WINDOWS FAMILY ROOM.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF
BALCONY.



EAST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

Shane Ames
Digitally signed by
Shane Ames
Date: 2021.04.06
20:19:34
-04'00'

Job no.
20-4989
comm no.
1810
date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

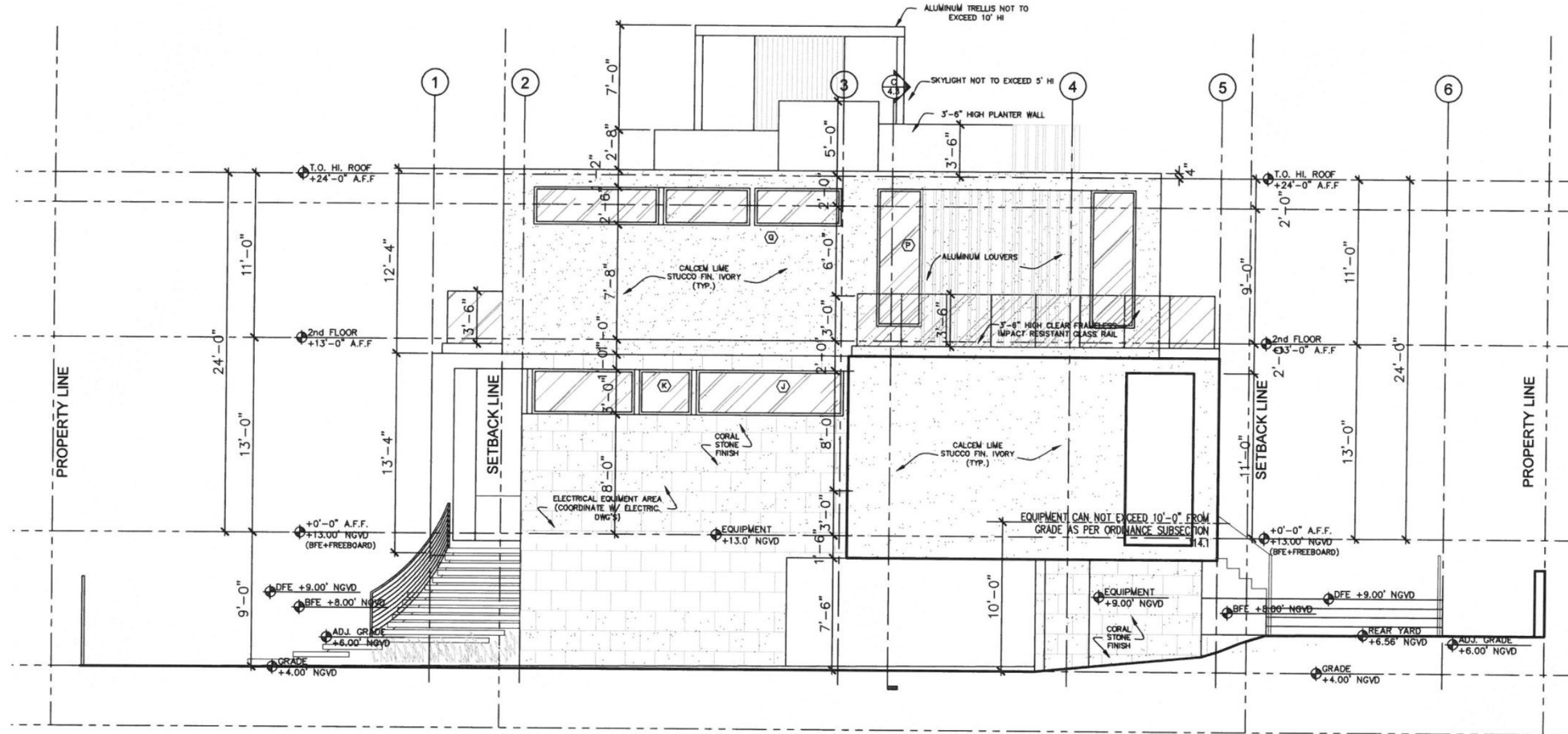
sheet no.
A-4.3
PLOT DATE: 2021-04-05

CONTRACT NO. 20-4989, ARCHITECTURE BY SHANE AMES, 4747 NORTH BAY ROAD, MIAMI BEACH, FL 33140. PROJECT NO. 20-4989, COMM. NO. 1810. DATE: 02-15-2021. REVISIONS: 01-13-2021, CHANGE OF ARCHITECT; 02-15-2021, OWNER REVISIONS. SHEET NO. A-4.3. PLOT DATE: 2021-04-05.

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ANY LOUVER, SCREENS AND OPENING SHALL
NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW
OF FLOOD WATERS INTO OR OUT OF THE
ENCLOSED AREA

- SKYLIGHT PROTRUDE 5' PAST T.O. ROOF.
- CLERESTORY WINDOWS FOR MASTER BATH.
- EXTENSION OF MASTER BEDROOM.
- 2ND FLOOR HANDRAIL MOVED TO EDGE OF BALCONY.



WEST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

Shane Ames
Digitally signed by
Shane Ames
Date: 2021.04.06
20:21:10 -04'00'

Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

- 01-13-2021
CHANGE OF ARCHITECT
- 02-15-2021
OWNER REVISIONS

sheet no.
A-4.4

PLOT DATE: 2021-04-05

DATE: 02-15-2021
PROJECT: NEW RESIDENCE
SHEET: A-4.4
DRAWN BY: SHANE AMES
CHECKED BY: SHANE AMES
APPROVED BY: SHANE AMES
DATE: 02-15-2021
PROJECT: NEW RESIDENCE
SHEET: A-4.4
DRAWN BY: SHANE AMES
CHECKED BY: SHANE AMES
APPROVED BY: SHANE AMES

ADDRESS: HISTORIC DEL-SEA PARK, PROFESSIONAL DISTRICT, 308 DEER BURNING ROAD, MIAMI BEACH, FLORIDA, 33444. PHONE: (305) 674-8444. FAX: (305) 674-8444.

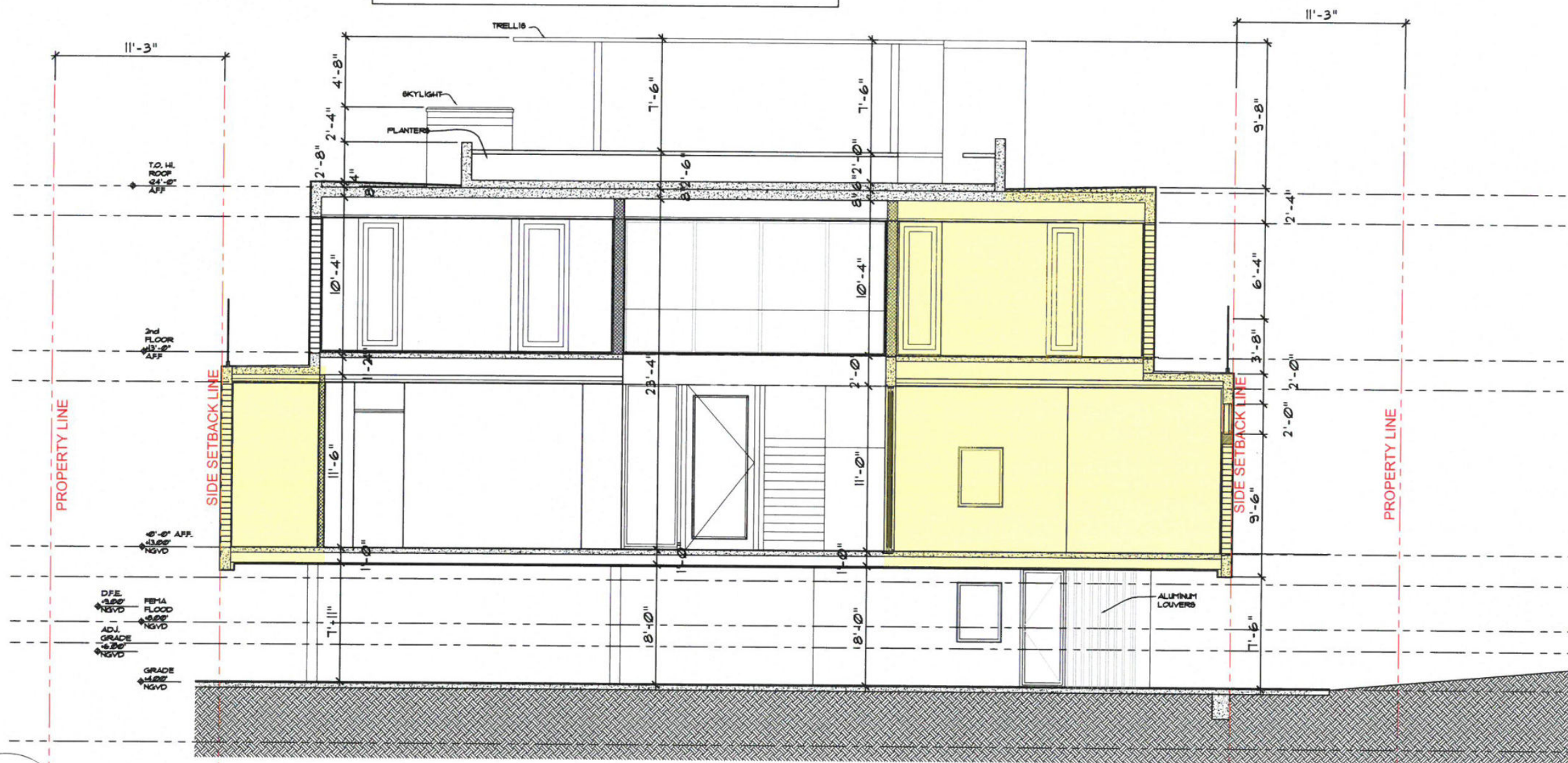
SEE SHEET A-03 FOR ADDITIONAL NOTES
SEE SHEET A-00 FOR PROJECT DATA
SEE SHEET A-5.0 FOR DOOR & WINDOW SCHEDULES
SEE SHEET A-5.1 FOR ADDITIONAL DETAILS

APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL
PLANS AND CALCULATIONS HAVE BEEN PREPARED
IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

ALL ELECTRICAL, MECHANICAL, & PLUMBING
EQUIPMENT SERVING THE BUILDING SHALL BE
INSTALLED ABOVE DESIGN FLOOD ELEVATION
(+9.00").

ALL CONSTRUCTION & FINISH MATERIALS BELOW
DESIGN FLOOD ELEVATION ARE TO BE FLOOD
RESISTANT.



A

SECTION

SCALE: 1/8" = 1'-0"



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NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
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Shane Ames
Date: 2021.04.05
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-04'00'

Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT

02-15-2021
OWNER REVISIONS

sheet no.
A-5.0

PLOT DATE: 2021-04-05

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APPROVED - LASTED RM. 9-1-87

PROJECT

26 : A4003N07 ABOLIS# : AB00H000

NOTES:

SEE SHEET A-03 FOR ADDITIONAL NOTES
SEE SHEET A-00 FOR PROJECT DATA
SEE SHEET A-50 FOR DOOR & WINDOW SCHEDULES
SEE SHEET A-51 FOR ADDITIONAL DETAILS

GENERAL NOTE:

ANY LOUVER, SCREENS AND OPENING SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA

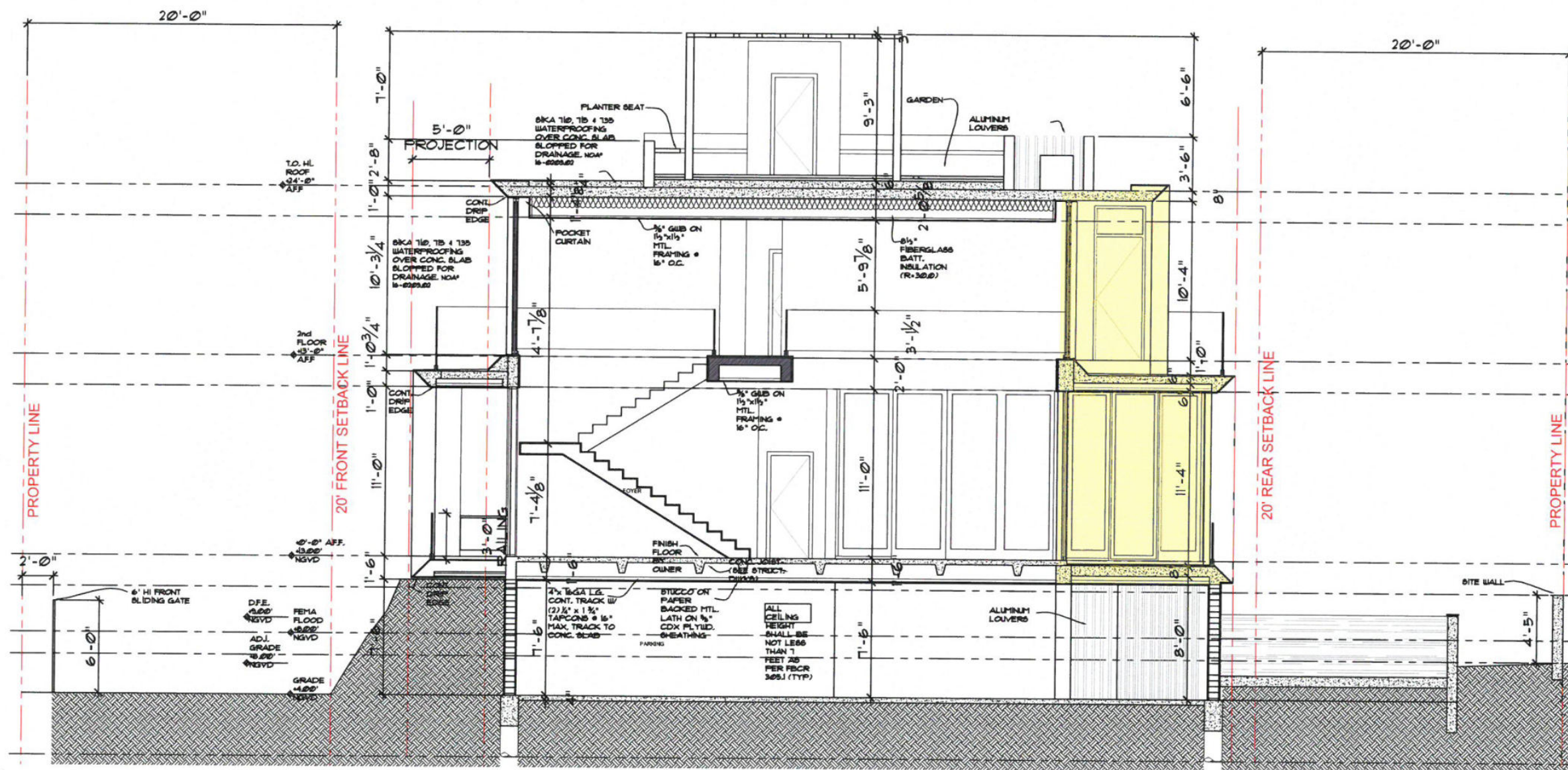
APPLICABLE CODE NOTE:

APPLICABLE CODE: F.B.C. 2017 RESIDENTIAL - ALL PLANS AND CALCULATIONS HAVE BEEN PREPARED IN COMPLIANCE WITH F.B.C. 2017 RESIDENTIAL

BELOW FLOOD NOTE:

ALL ELECTRICAL, MECHANICAL, & PLUMBING EQUIPMENT SERVICING THE BUILDING SHALL BE INSTALLED ABOVE DESIGN FLOOD ELEVATION (+9.00").

ALL CONSTRUCTION & FINISH MATERIALS BELOW DESIGN FLOOD ELEVATION ARE TO BE FLOOD RESISTANT.



B

SECTION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

Shane Ames
Digitally signed by
Shane Ames
Date:
2021.04.01
19:31:48
-04'00'

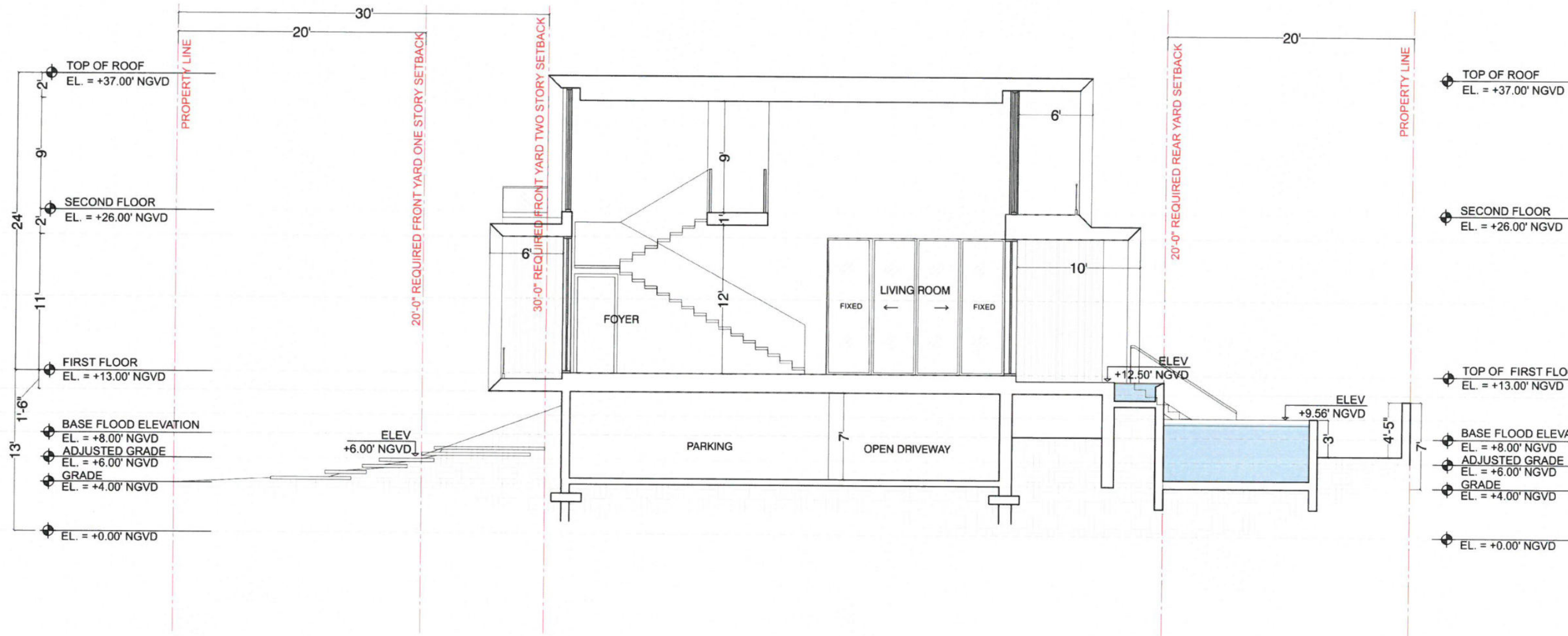
Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-5.1

PLOT DATE: 2021-04-05



PREVIOUS SECTION

SCALE: 1/8" = 1'-0"



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Shane Ames
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Date: 2021.04.05 20:31:01 -04'00'

Job no.
20-4989
comm no.
1810

date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-16-2021
OWNER REVISIONS

sheet no.
A-5.2

PLOT DATE: 2021-04-05

AMERICAN INSTITUTE OF ARCHITECTS - MEMBERSHIP NO. 123456789 - ADDRESS - 1234567890 - PHONE - 1234567890 - FAX - 1234567890

SCALE: 1/8" = 1'-0"



**NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140**

seal

Shane Ames

Digitally signed by Shane Ames

Date: 2021.04.05 20:30:27 -0400

Job no.
20-4989
comm no.
1810
date:
02-15-2021
REVISIONS

4	01-13-2021	CHANGE OF ARCHITECT
8	02-15-2021	OWNER REVISIONS

sheet no.
A-5.3

PLOT DATE: 2021-04-05

es

CALCULATION OF MINIMUM AND MAXIMUM YARDS

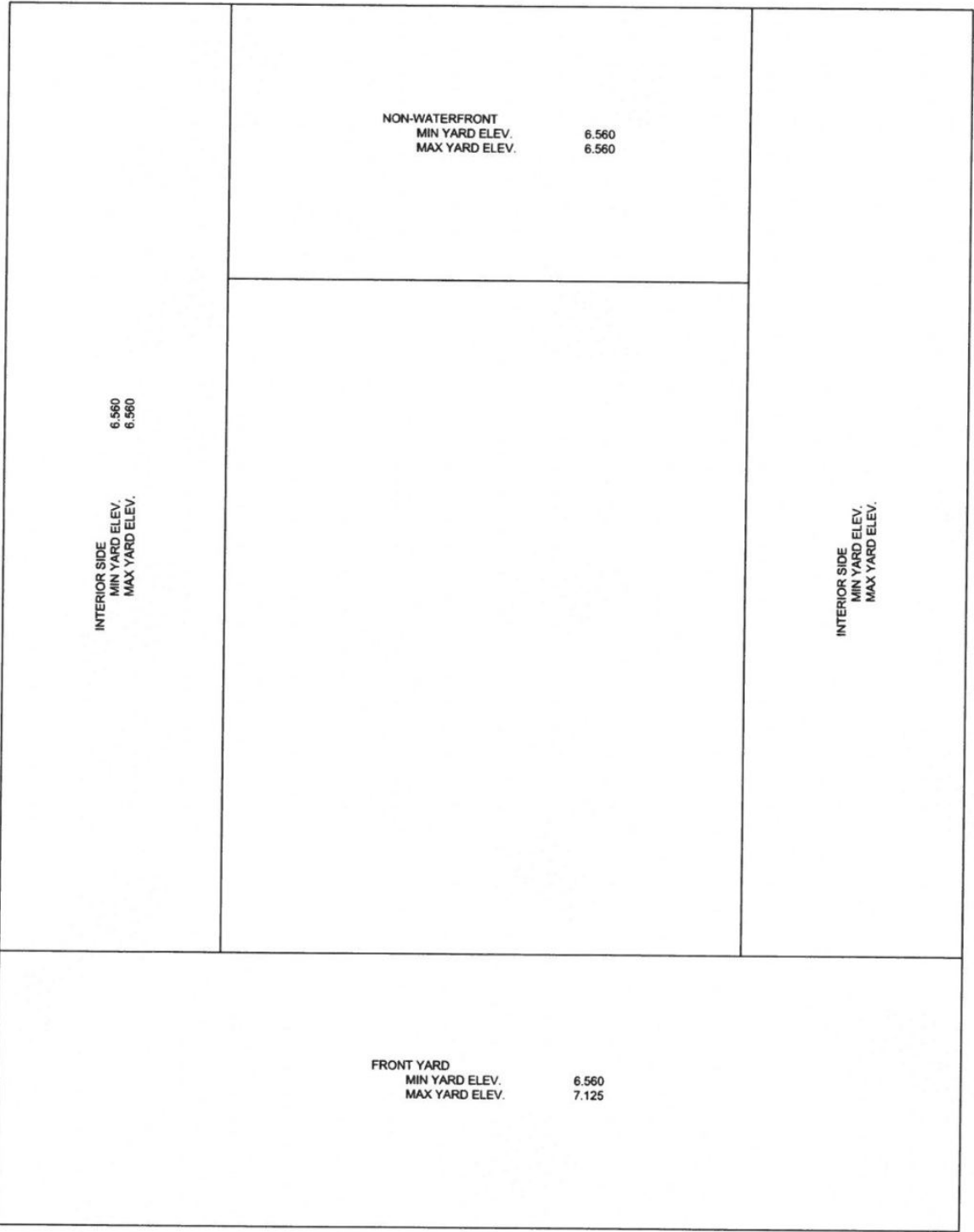
PROPERTY CONDITIONS	
WATERFRONT LOT (YES/NO)	NO
CORNER PROPERTY (YES/NO)	NO
SEWALK (YES/NO)	YES
SIDEWALK ELEVATION AT THE CENTERLINE OF THE FRONT OF THE PROPERTY	4.000
CROWN OF ROAD AT CENTER OF PROPERTY (IF NO SIDEWALK EXISTS OR IS PROPOSED)	
FLOOD ELEVATION	8.000
FREEBOARD (PROVIDED)	5.000

INTERIOR SIDEYARD CONDITIONS	MAX YARD ELEV.	INDICATE YES ONLY FOR THE CONDITION THAT APPLIES
DEFAULT CONDITION UNLESS ONE OF THE BELOW APPLIES MAXIMUM YARD ELEVATION	6.560	YES
IS THE AVERAGE GRADE OF THE ADJACENT LOT ALONG THE ABUTTING SIDE YARD EQUAL OR GREATER THAN ADJUSTED GRADE?	8.500	
IS THE ABUTTING PROPERTY VACANT?	8.500	
IS THEIR A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES, FOR A HIGHER ELEVATION, NOT TO EXCEED FLOOD ELEVATION?	8.000	

REAR YARD CONDITIONS	MAX YARD ELEV.	INDICATE YES ONLY FOR THE CONDITION THAT APPLIES
DEFAULT CONDITION UNLESS ONE OF THE BELOW APPLIES MAXIMUM YARD ELEVATION	6.560	YES
IS THE AVERAGE GRADE OF THE ADJACENT LOT ALONG THE ABUTTING SIDE YARD EQUAL OR GREATER THAN ADJUSTED GRADE?	8.500	
IS THE ABUTTING PROPERTY VACANT?	8.500	
IS THEIR A JOINT AGREEMENT BETWEEN ABUTTING PROPERTIES, FOR A HIGHER ELEVATION, NOT TO EXCEED FLOOD ELEVATION?	8.000	

RESULTS	
GRADE	4
ADJUSTED GRADE	6
30" ABOVE GRADE	6.5
FUTURE CROWN OF ROAD	5.25
FUTURE ADJUSTED GRADE	7.125
MINIMUM FREEBOARD ELEV.	9.000
MAXIMUM FREEBOARD ELEV.	13.000
MINIMUM YARD ELEVATION	6.56
MIN. GARAGE ELEVATION (FOR A DETACHED OR ATTACHED GARAGE, NOT UNDER THE HOUSE)	6
MINIMUM GARAGE CEILING ELEVATION	17.000

RESULTS	
FRONT YARD	
MIN YARD ELEV.	6.560
MAX YARD ELEV.	7.125
INTERIOR SIDE	
MIN YARD ELEV.	6.560
MAX YARD ELEV.	6.560
INTERIOR SIDE	
MIN YARD ELEV.	6.560
MAX YARD ELEV.	6.560
NON-WATERFRONT	
MIN YARD ELEV.	6.560
MAX YARD ELEV.	6.560



CMB YARD GRADE CALCULATIONS



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MIAMI BEACH, FL 33140

seal
Shane Ames
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Shane Ames
Date: 2021.04.05
20:47:57
-04'00"

Job no.
20-4989
comm no.
1810
date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-6.0

PLOT DATE: 2021-04-05

Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS

Waterfront Lot (Yes/No)	NO
Corner property (Yes/No)	NO
Sidewalk (yes/no)	YES
Sidewalk elevation at the centerline of the front of the property	4.000
Crown of road at center of property (if no sidewalk exists or is proposed)	
Flood Elevation	8.000
Freeboard (provided)	5.000

INTERIOR SIDEYARD CONDITIONS

Indicate yes only for the condition that applies

	Default Conditon unless one of the below applies	Max. Yard Elevation
Yes	Maximum Yard Elevation	6.560
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.500
	Is the abutting property vacant?	8.500
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

REAR YARD CONDITIONS

Indicate yes only for the condition that applies

	Default Conditon unless one of the below applies	Max. Yard Elevation
Yes	Maximum Yard Elevation	6.560
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.500
	Is the abutting property vacant?	8.500
	Is their a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

RESULTS

Grade	4
Adjusted Grade	6
30" above Grade	6.5
Future Crown of Road	5.25
Future Adjusted Grade	7.125
Minimum Freeboard Elev.	9.000
Maximum Freeboard Elev.	13.000
Minimum Yard Elevation	6.56
Min. Garage elevation (for a detached or attached garage, not under the house)	6
Minimum garage ceiling elevation	17.000

Front Yard	
Min Yard Elevation	6.560
Max Yard Elevation	7.125
Interior Side	
Min Yard Elevation	6.560
Max Yard Elevation	6.560
Interior Side	
Min Yard Elevation	6.560
Max yard Elevation	6.560
Non-Waterfront	
Min Yard Elevation	6.560
Max Yard Elevation	6.560

Interior Side Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 6.560	Non-Waterfront Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 6.560	Interior Side Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 6.560
	Front Yard Minimum Yard Elevation: 6.560 Maximum Yard Elevation: 7.125	

CMB YARD GRADE CALCULATIONS



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4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

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Date:
2021.04.05
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-04'00"

Job no.
20-4989
comm no.
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date:
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REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-6.1

PLOT DATE: 2021-04-05

ADDRESS: 1107000 DEL-SEA PARK, PROFESSIONAL DISTRICT, 300 SOUTH MIAMI AVENUE, MIAMI BEACH, FLORIDA, 33134, PHONE: 305.557.8444, FAX: 305.557.8444



FRONT VIEW



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Shane Ames
Digitally signed by Shane Ames
Date: 2021.04.05 20:42:48 -04'00'

Job no.
20-4989
comm no.
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date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-7.0

PLOT DATE: 2021-04-05

AMERICAN SOCIETY OF PROFESSIONAL ARCHITECTS - FLORIDA CHAPTER, 1000 BAYVIEW BLVD., SUITE 1000, MIAMI BEACH, FL 33139, PHONE: (305) 644-8444, FAX: (305) 644-8445



REAR VIEW



NEW RESIDENCE
4747 NORTH BAY ROAD
MIAMI BEACH, FL 33140

seal
Digitally signed by
Shane Ames
Date: 2021.04.05
20:43:11
-04'00'

Job no.
20-4989
comm no.
1810
date:
02-15-2021
REVISIONS

01-13-2021
CHANGE OF ARCHITECT
02-15-2021
OWNER REVISIONS

sheet no.
A-7.1

PLOT DATE: 2021-04-05

CONTRACTOR: J. J. JONES & ASSOCIATES, INC. 11111 N. MIAMI AVE., SUITE 100, MIAMI, FL 33131. PHONE: (305) 555-1111. FAX: (305) 555-1111. EMAIL: JJJONES@JJJONES.COM. WEBSITE: WWW.JJJONES.COM. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE THE DESIGN AND CONSTRUCTION DOCUMENTS FOR THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE CONSTRUCTION OF THE PROJECT. THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT.

ADDRESS: 4747 NORTH BAY ROAD, MIAMI BEACH, FLORIDA 33140. PHONE: (305) 555-1111. FAX: (305) 555-1111. EMAIL: JJJONES@JJJONES.COM. WEBSITE: WWW.JJJONES.COM.