

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET					
ITEM #	Project Information				
1	Address:	1688 Meridian Avenue			
2	Board and file numbers :				
3	Folio number(s):				
4	Year constructed:	1961	Zoning District:	CD-3	
5	Based Flood Elevation:	8'-0" NGVD	Grade value in NGVD:	3.95'	
6	Adjusted grade (Flood+Grade/2):	9.98' NGVD	Lot Area:	11,205 sf	
7	Lot width:	75'	Lot Depth:	150.3'	
8	Minimum Unit Size	N/A	Average Unit Size	N/A	
9	Existing use:	Commercial	Proposed use:	Commercial	
	Zoning Information / Calculations	Maximum	Existing	Proposed	Deficiencies
10	Height	80'	105'	105' EX. TO REMAIN	
11	Number of Stories	7	10	10 EX. TO REMAIN	
12	FAR	25,211	99,805 sf	99,805 sf	
13	Gross square footage	n/a	99,805 sf	99,805 sf	
14	Square Footage by use	N/A	Commercial 96,955 SF	Commercial 96,955 SF	
15	Number of units Residential	N/A	N/A	N/A	
16	Number of units Hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	
	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
19	Front Setback:	N/A	N/A	N/A	
20	Side Setback:	N/A	N/A	N/A	
21	Side Setback:	N/A	N/A	N/A	
22	Side Setback facing street:	N/A	N/A	N/A	
23	Rear Setback:	N/A	N/A	N/A	
	At Grade Parking:				
24	Front Setback:	5'-0"	N/A	N/A	
25	Side Setback:	5'-0"	N/A	N/A	
26	Side Setback:	5'-0"	N/A	N/A	
27	Side Setback facing street:	5'-0"	N/A	N/A	
28	Rear Setback:	N/A	N/A	N/A	
	Pedestal:				
29	Front Setback:	0'	10'-6"	10'-6" EX. TO REMAIN	
30	Side Setback:	0'	0'	0' EX. TO REMAIN	
31	Side Setback:	N/A	N/A	N/A	
32	Side Setback facing street:	0'	0'	0' EX. TO REMAIN	
33	Rear Setback:	5'-0"	6'-1"	6'-1" EX. TO REMAIN	
	Tower:				
34	Front Setback:	0'	0'	0' EX. TO REMAIN	
35	Side Setback:	5'-0"	6'-1"	6'-1" EX. TO REMAIN	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side Setback:	N/A	N/A	N/A	
37	Side Setback facing street:	0'	0'	0' TO REMAIN	
38	Rear Setback:	5'-0"	6'-1"	6'-1" EX. TO REMAIN	

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district 2	0	0	0	
40	Total # of parking spaces	0	0	0	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	0	0	0	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	N/A	N/A	N/A	
44	Parking Space configuration (45o, 60o, 90o, Parallel)	N/A	N/A	N/A	
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	N/A	N/A	N/A	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection areas	N/A	N/A	N/A	
50	Bicycle parking, location and Number of racks	0	0	0	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use				
52	Number of seats located outside on private property	N/A	0	24	
53	Number of seats inside	N/A	0	83	
54	Total number of seats	N/A	0	107	
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	REFER TO G-200	REFER TO G-200	
56	Total occupant content	N/A	REFER TO G-200	REFER TO G-200	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	REFER TO G-200	REFER TO G-200	

58	Proposed hours of operation	11:30AM- 11:00PM
59	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	N/A
60	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	No
61	Is this a contributing building?	N/A
62	Located within a Local Historic District?	No
Additional data or information must be presented in the format outlined in this section		

SCOPE OF TENANT WORK

- Interior Tenant Improvement
- Change of Use (Business to Assembly)
- Partial Removal of Existing Mezzanine Slab
- New Commerical Kitchen & Associated Equipment
- New HVAC System
- New Grease Trap
- New tenant signage facing Meridian Ave & 17th street

ADDITIONAL NOTES

Sec. 130-31. - Parking districts established.
Site is located in City of Miami Beach parking lot district no. 2.
Restaurants within the city's parking district no.2 are not required to provide parking.

Scale

04/05/2021

Project #

20009

ZONING DATA

G-001



1

DRB - SITE PLAN

3/64" = 1'-0"

PROJECT ZONING DATA

1688 Meridian Ave Miami Beach, FL 33139

SITE DESCRIPTION

FOLIO NO.	02-3234-007-0600
FLOOD ZONE	AE
BASE FLOOD ELEVATION	8.00 NGVD
LEGAL DESCRIPTION	LOTS 8 AND THE NORTH 1/2 OF LOT 7, BLOCK 36, of AMENDED PLAT OF GOLF COURSE SUBDIVISION OF THE ALTO BEACH REALTY COMPANY, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 6 AT PAGE 26 OF PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

GENERAL

ZONING DISTRICT:	CD-3 Commercial
LOT WIDTH	75'-0"
LOT DEPTH	150'-0"
LOT AREA:	11,250 SF
MIN. BUILDING AREA	N/A
PROPOSED BUILDING AREA	2,795 SF (Interior Renovation)

SETBACK REQUIREMENTS

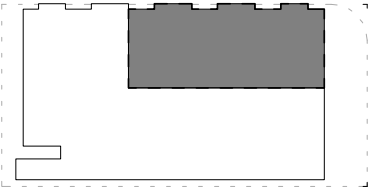
	REQUIRED	PROVIDED
REAR:	Existing to Remain	Existing to Remain
SIDE INTERIOR:	Existing to Remain	Existing to Remain
FRONT:	Existing to Remain	Existing to Remain

ALLOWABLE PROJECTIONS

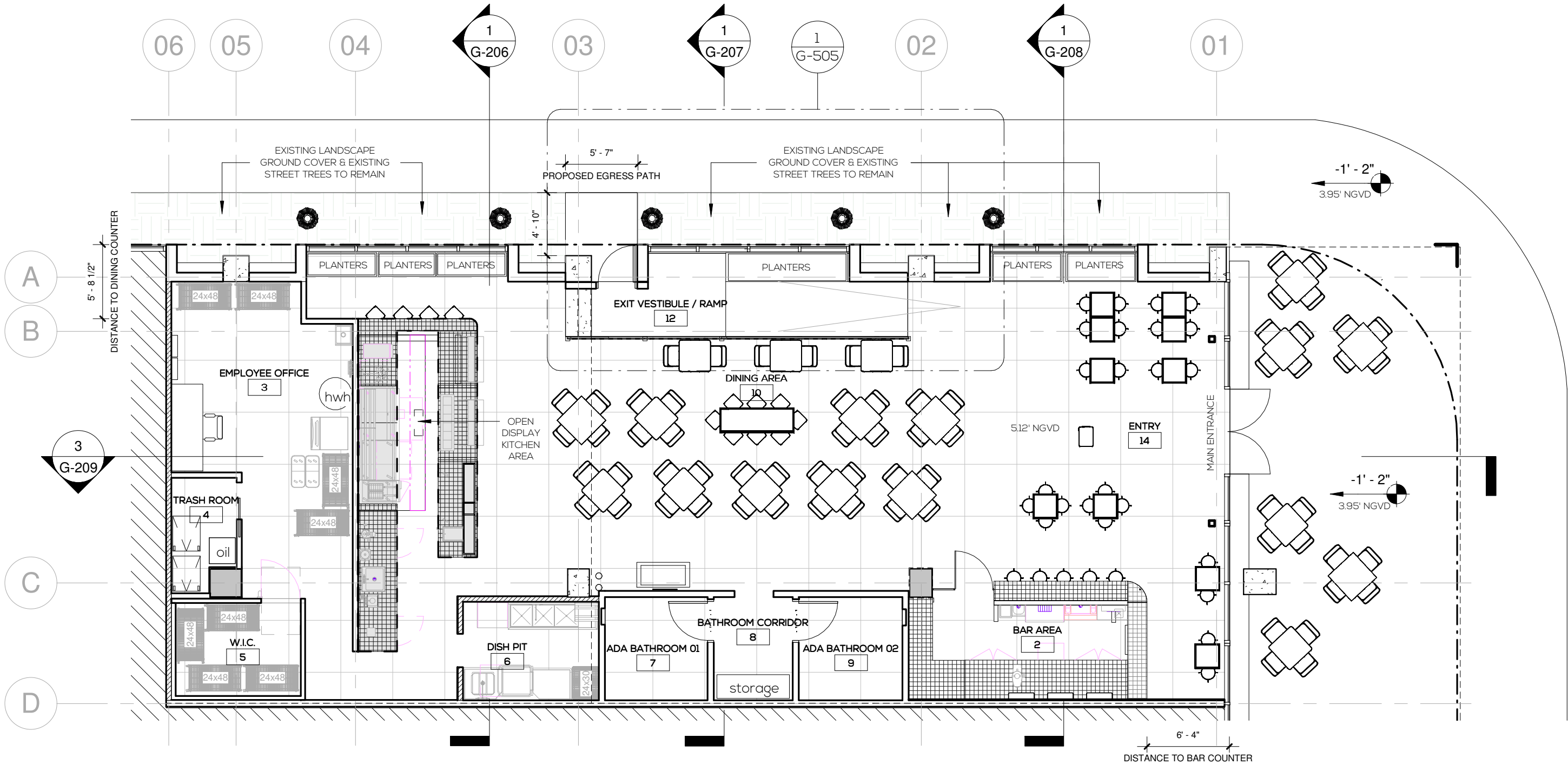
	ALLOWABLE	PROVIDED
FRONT:	Existing to Remain	Existing to Remain
SIDE YARD:	Existing to Remain	Existing to Remain
REAR:	Existing to Remain	Existing to Remain

JEFFERSON AVE

17TH STREET



MERIDIAN AVE



1 DRB - GROUND FLOOR PLAN
1/8" = 1'-0"

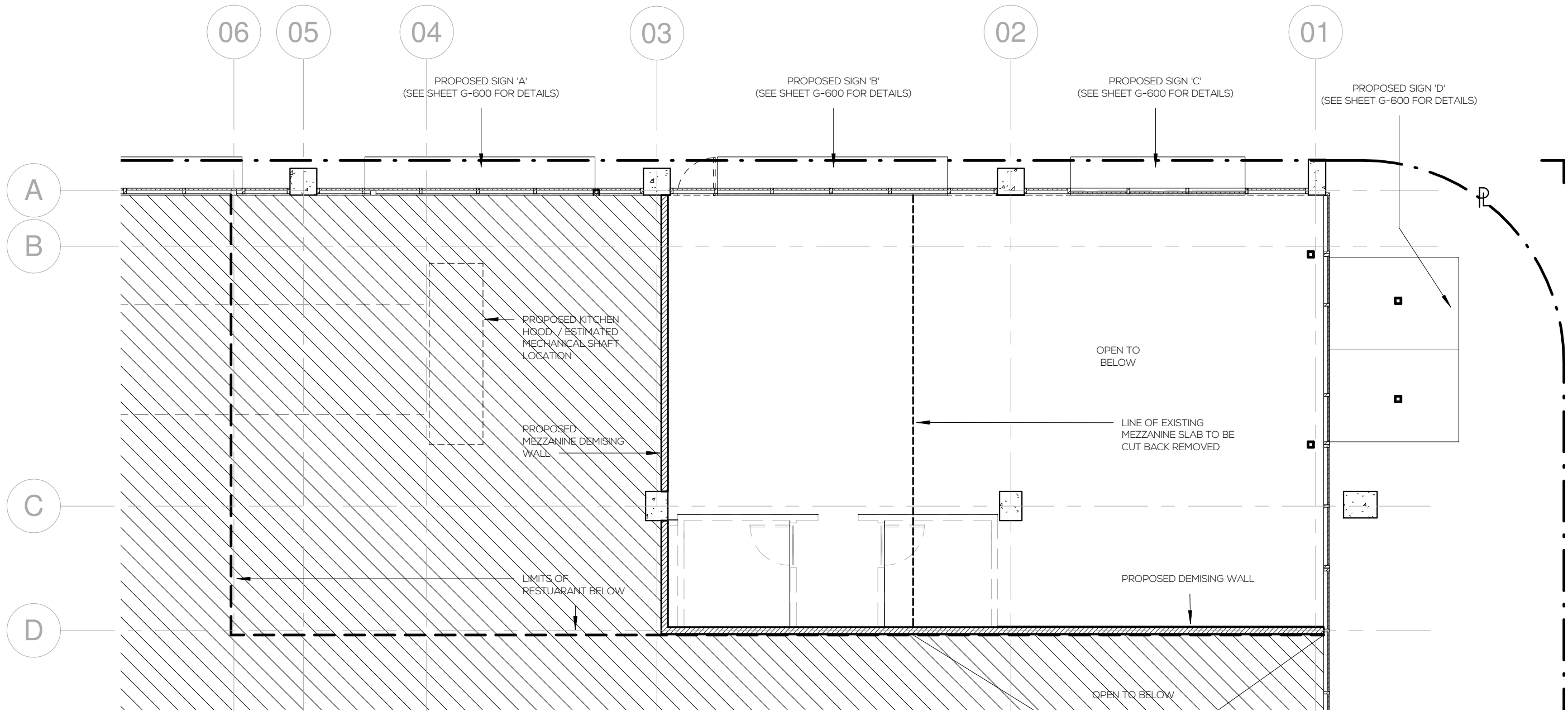
OCCUPANCY LOAD PER F.B.C. 1004.12		
OCCUPANCY DESCRIPTION	OCCUPANTS	ACTUAL SEATS
INDOOR DINING	53	83
BACK OF HOUSE	6	0
OUTDOOR SEATING	17	24
TOTAL OCCUPANT LOAD		126
ACTUAL SEATS		107

JEFFERSON AVE

17TH STREET

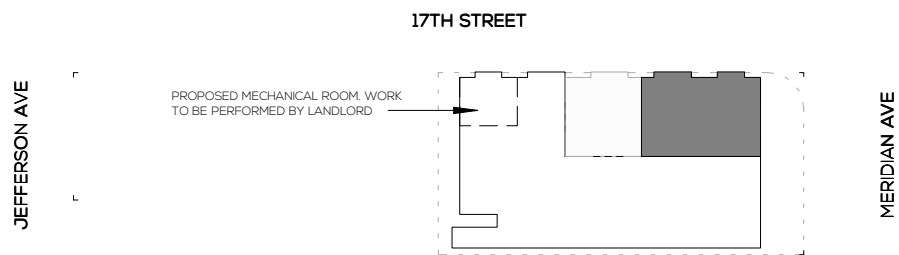
MERIDIAN AVE





1

Proposed Second Floor Plan
1/8" = 1'-0"



KoDA

7500 NE 4TH CT. SUITE
#100Miami, FL 33138
info@kodamiami.com
305.359.3669

TACOMBI RESTAURANT
1688 MERIDIAN AVE. MIAMI BEACH, FL 33139

DRB21-0651 - FINAL SUBMITTAL

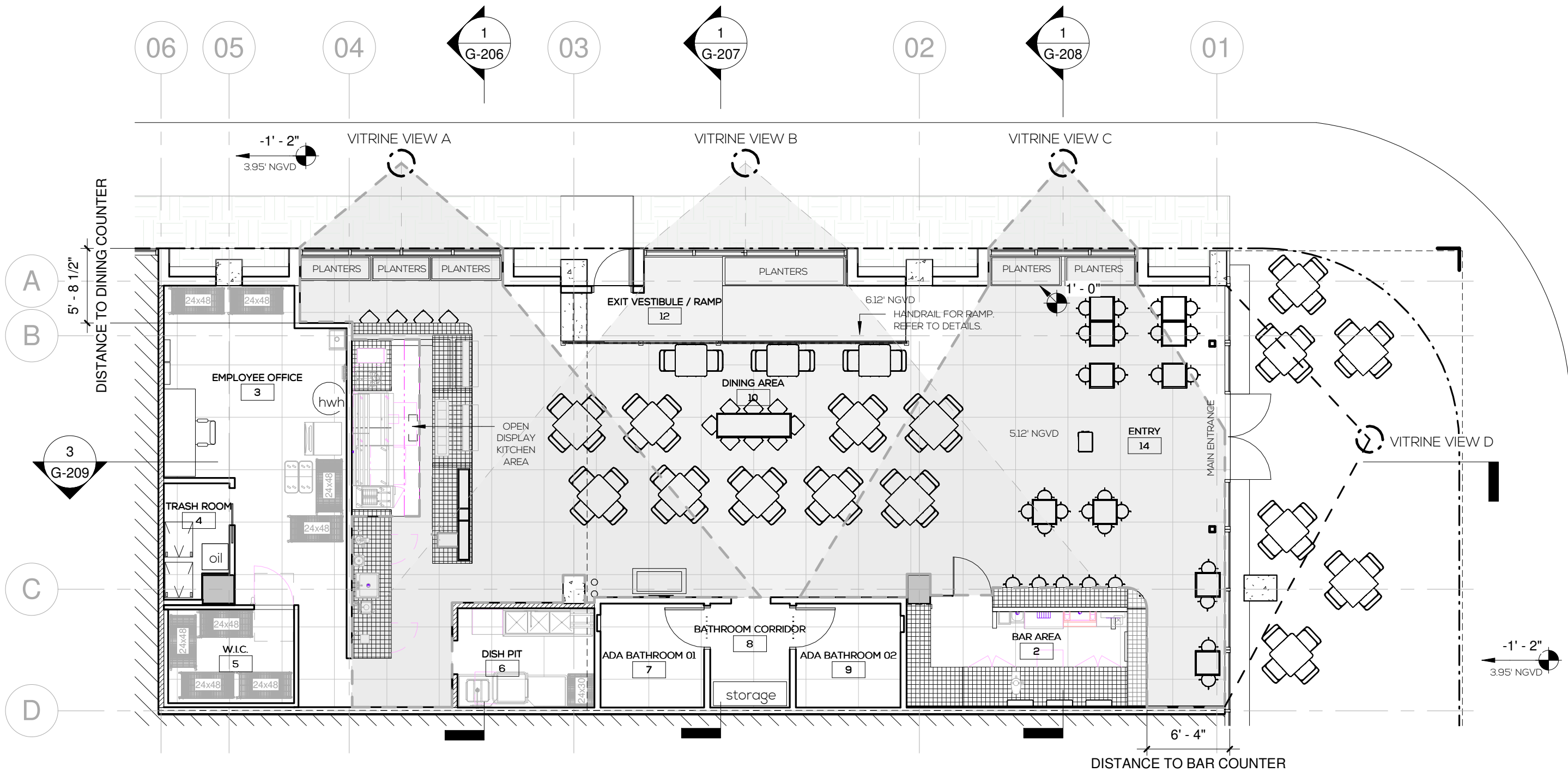
ScaleAs indicated

04/05/2021

Project #20009

2ND FLOOR
PLAN

G-201

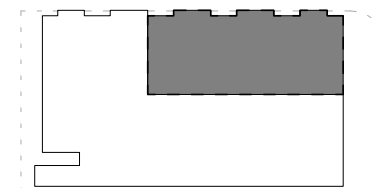


1 DRB - GROUND FLOOR PLAN - View Diagram
1/8" = 1'-0"

JEFFERSON AVE

17TH STREET

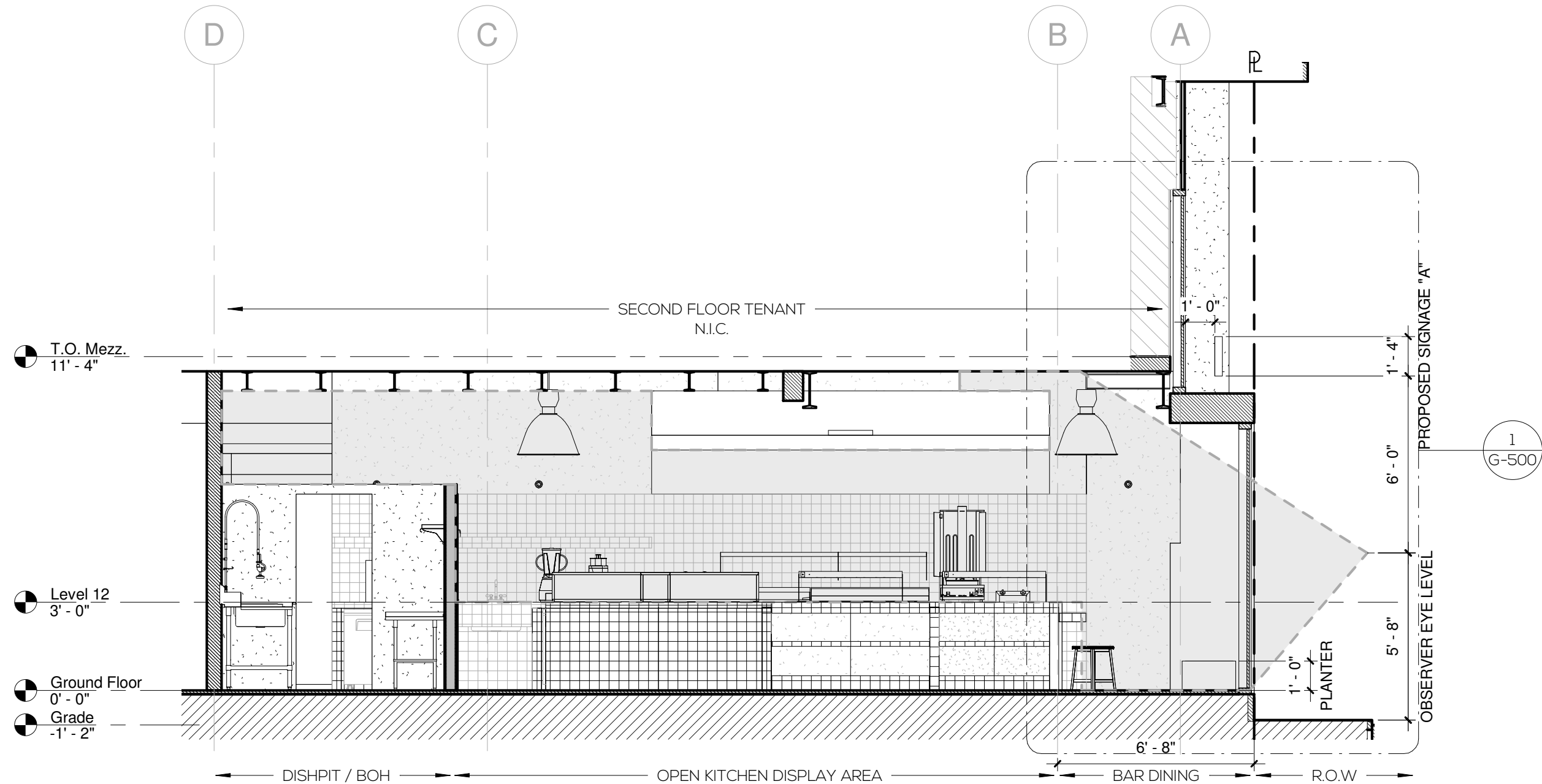
MERIDIAN AVE



Scale	As indicated
04/05/2021	
Project #	20009

VITRINE VIEW
DIAGRAM

G-205

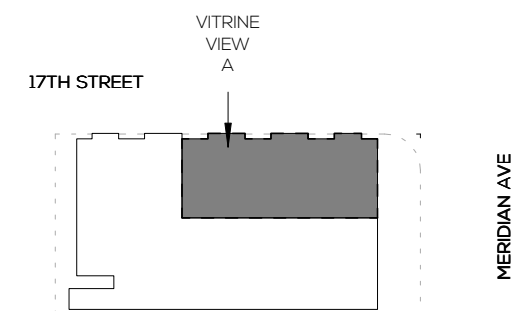


1

Vitrine Section 01

1/4" = 1'-0"

JEFFERSON AVE



Scale As indicated

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Project # 20009

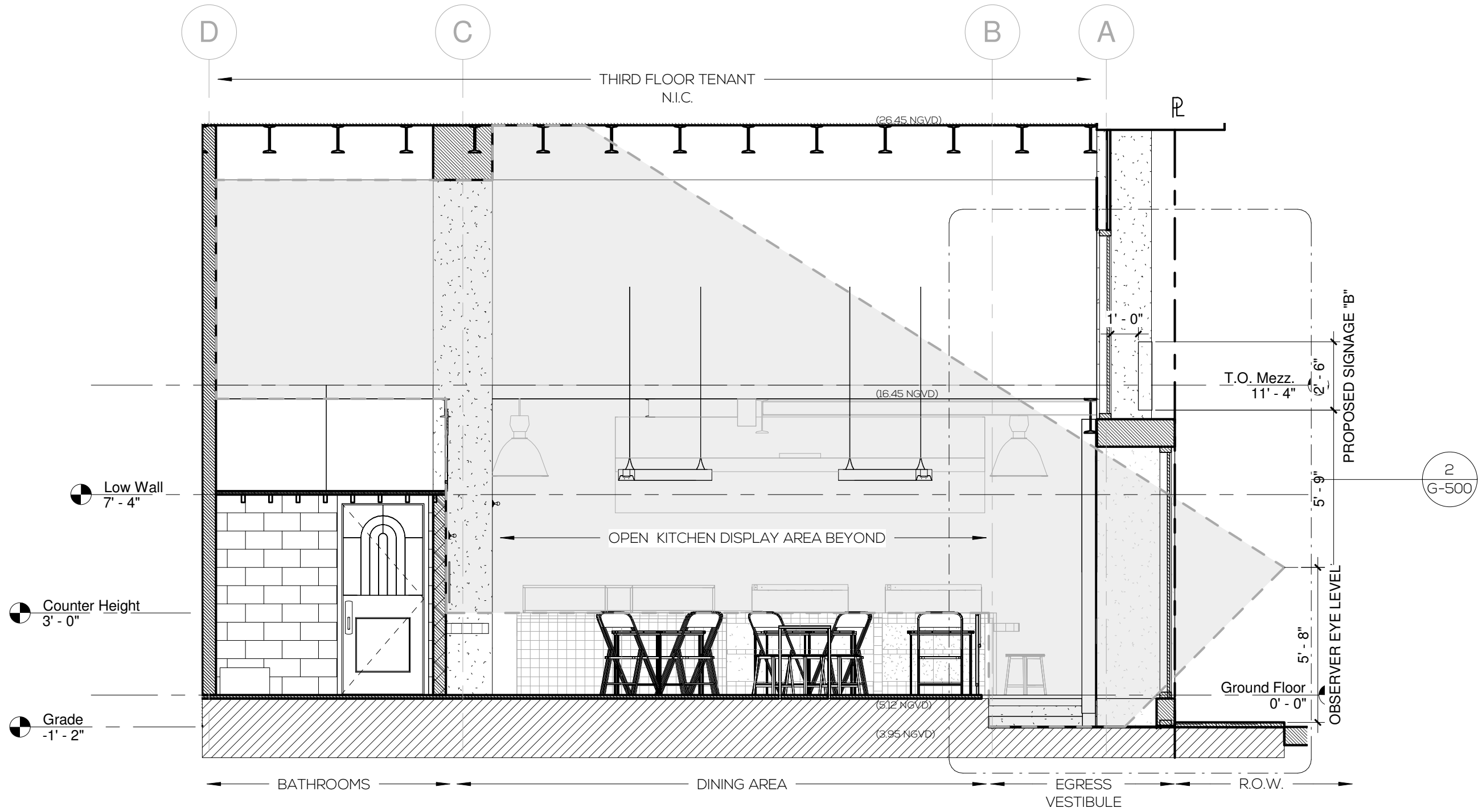
VITRINE VIEW
A - SECTION

G-206

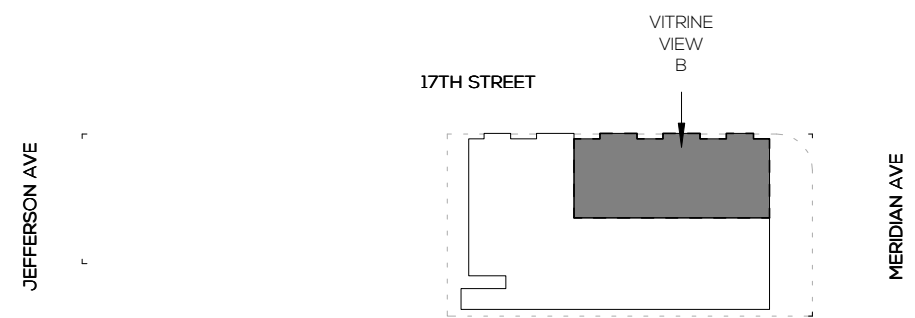
Scale	As indicated
04/05/2021	
Project #	20009

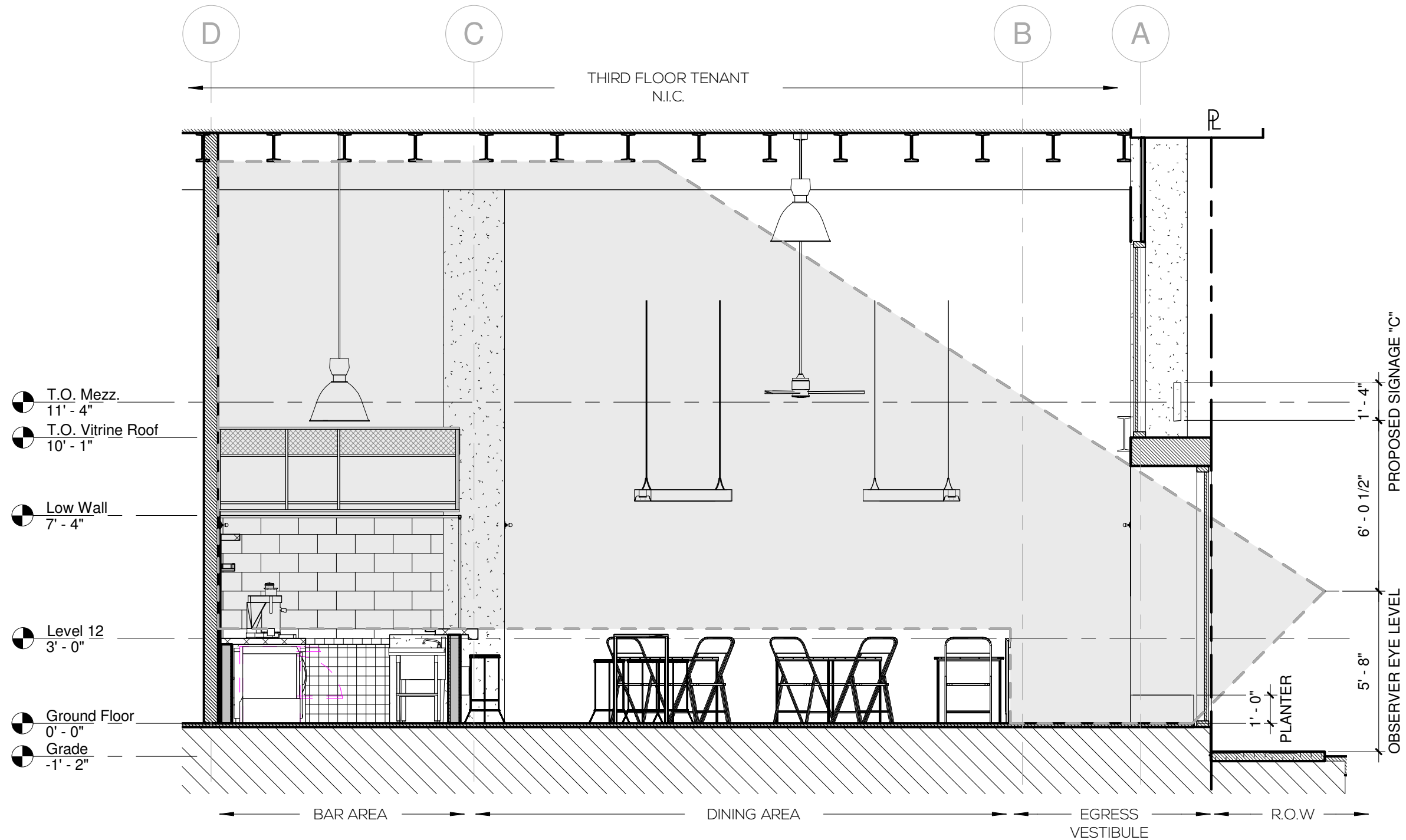
VITRINE VIEW
B - SECTION

G-207



1 Vitrine Section 02
1/4" = 1'-0"





1

Vitrine Section 03

1/4" = 1'-0"

JEFFERSON AVE

17TH STREET

VITRINE
VIEW
C

MERIDIAN AVE

Scale As indicated

04/05/2021

Project # 20009

VITRINE VIEW
C - SECTION

G-208

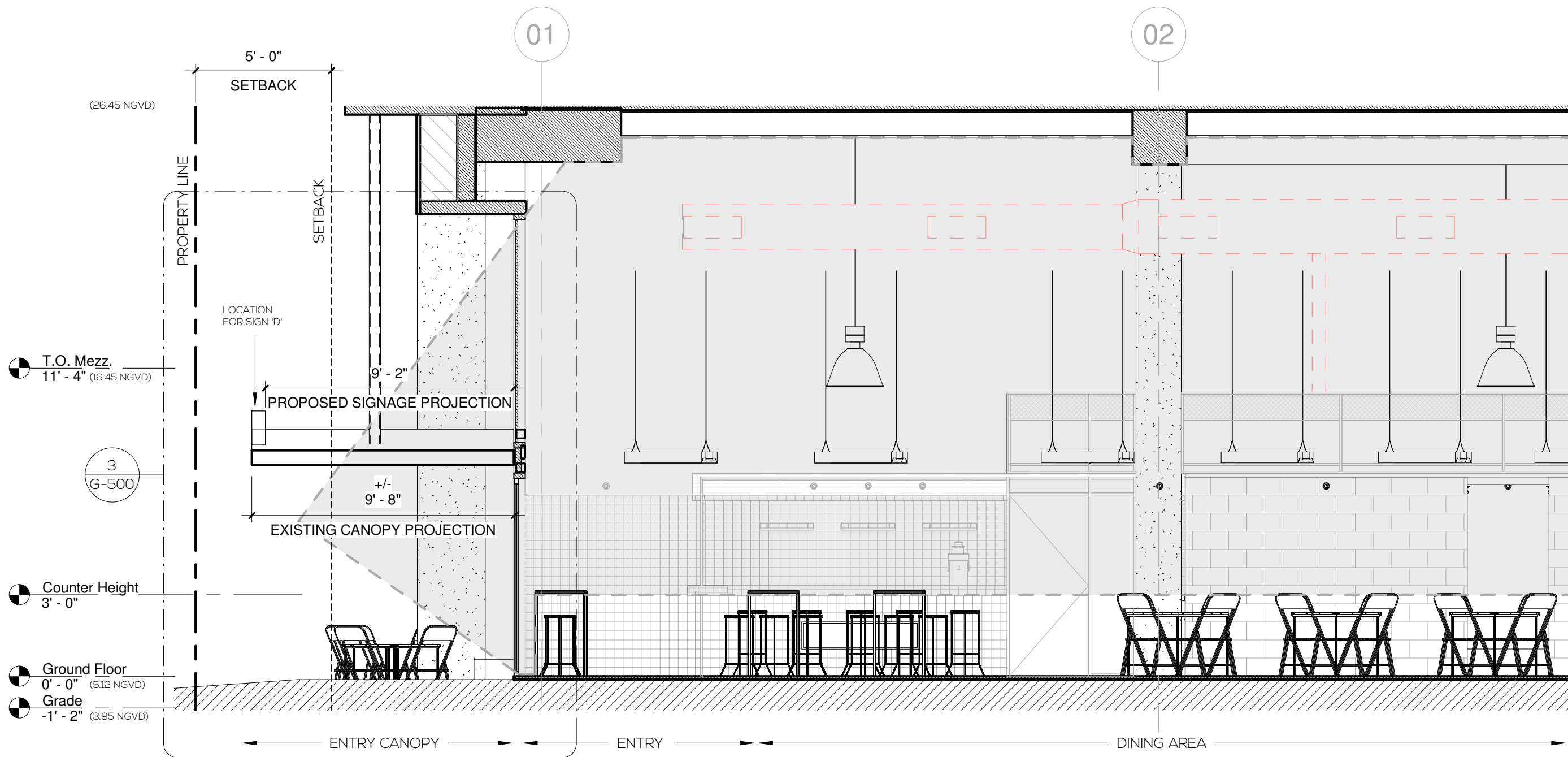
TACOMBI RESTAURANT

1688 MERIDIAN AVE. MIAMI BEACH, FL 33139

DRB21-0651 - FINAL SUBMITTAL

KODA

7500 NE 4TH CT. SUITE
#100Miami, FL 33138
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305.359.3669



3

Canopy Section
1/4" = 1'-0"

Scale

As indicated

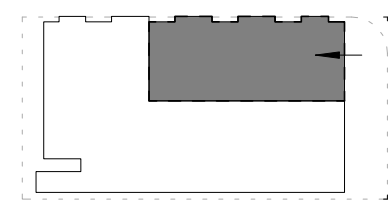
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JEFFERSON AVE

17TH STREET



MERIDIAN AVE

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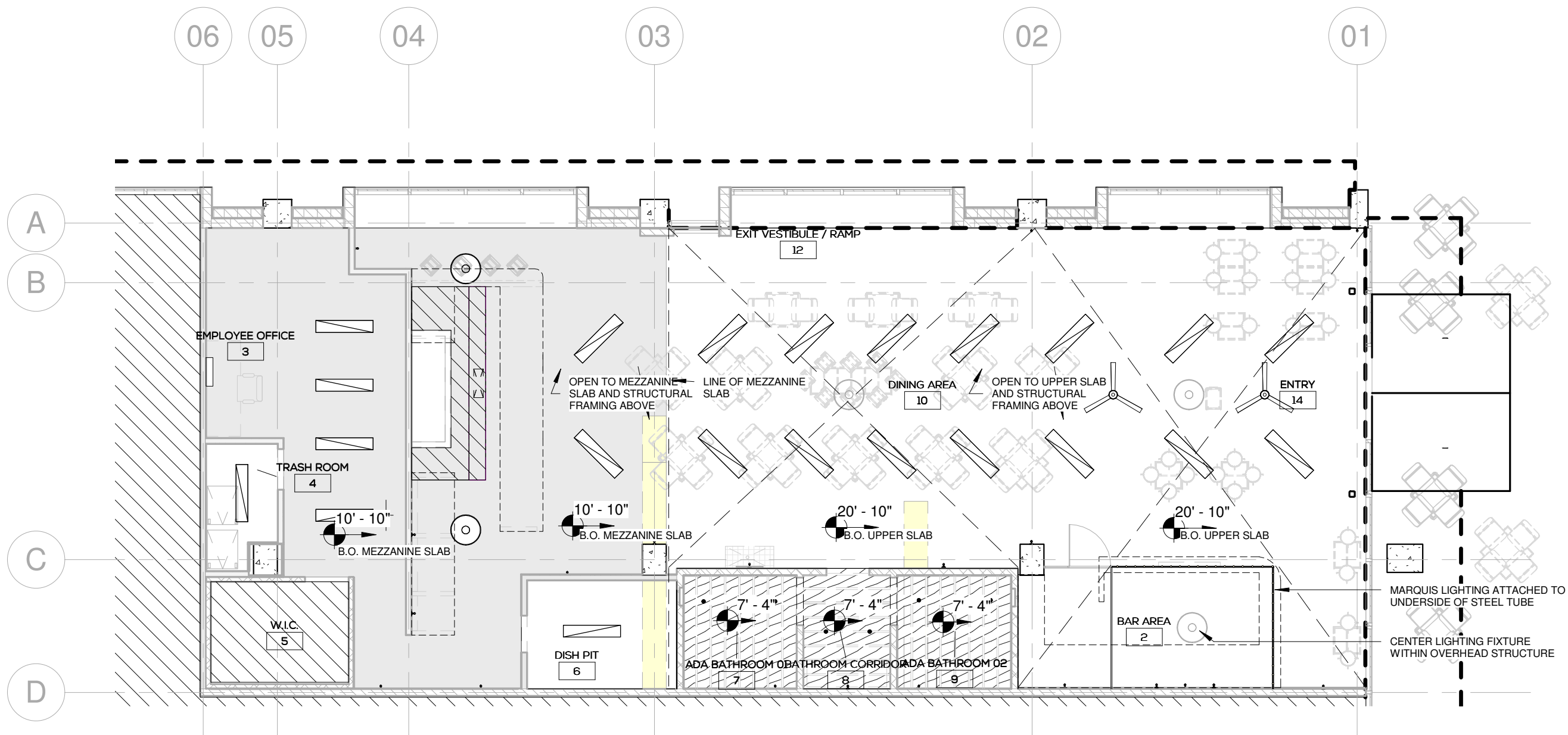
TACOMBI RESTAURANT

1688 MERIDIAN AVE. MIAMI BEACH, FL 33139

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VIEW D -
SECTION

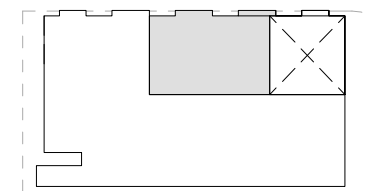
G-209



1 GROUND FLOOR RCP (DRB)
1/8" = 1'-0"

17TH STREET

JEFFERSON AVE

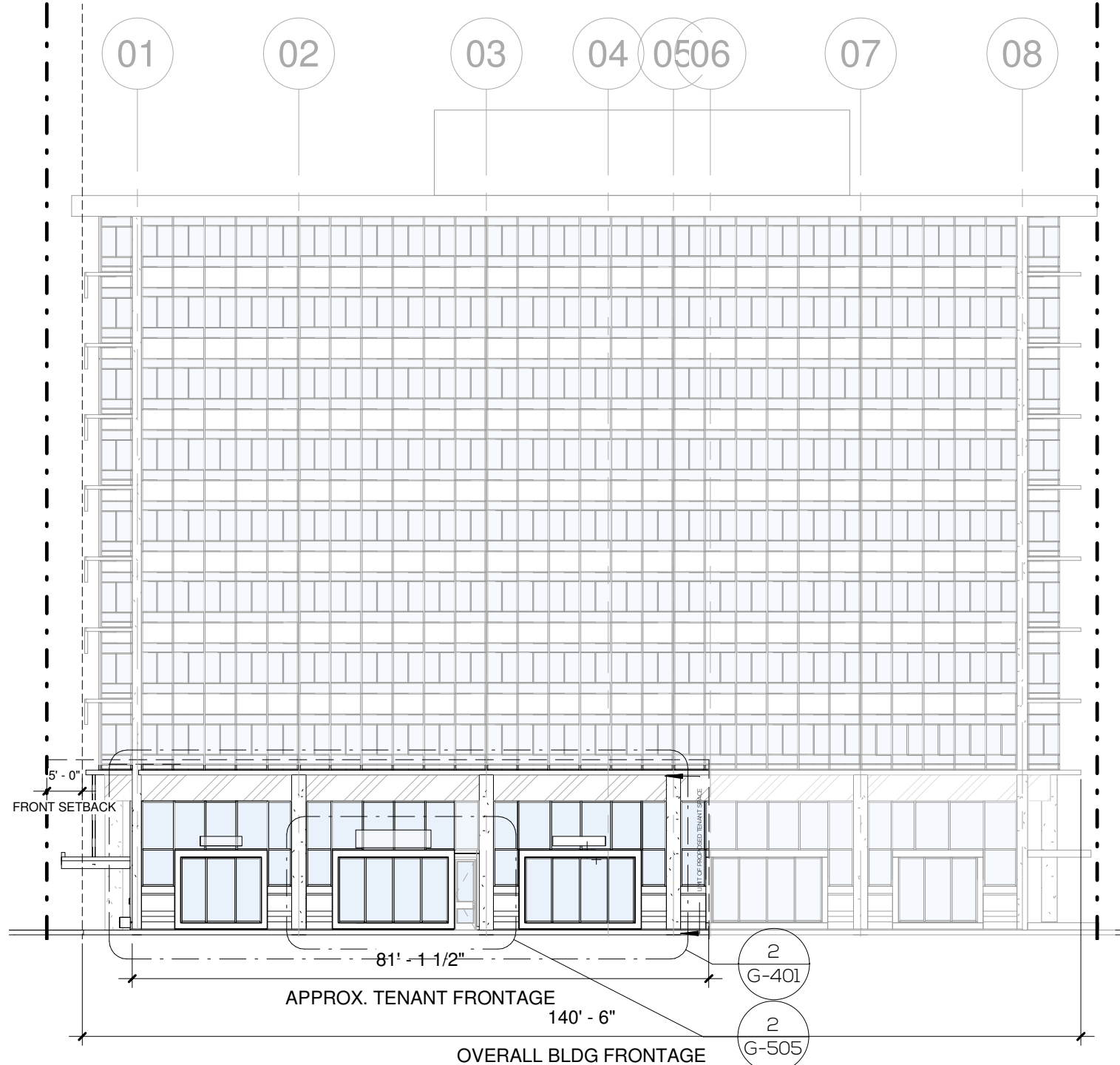
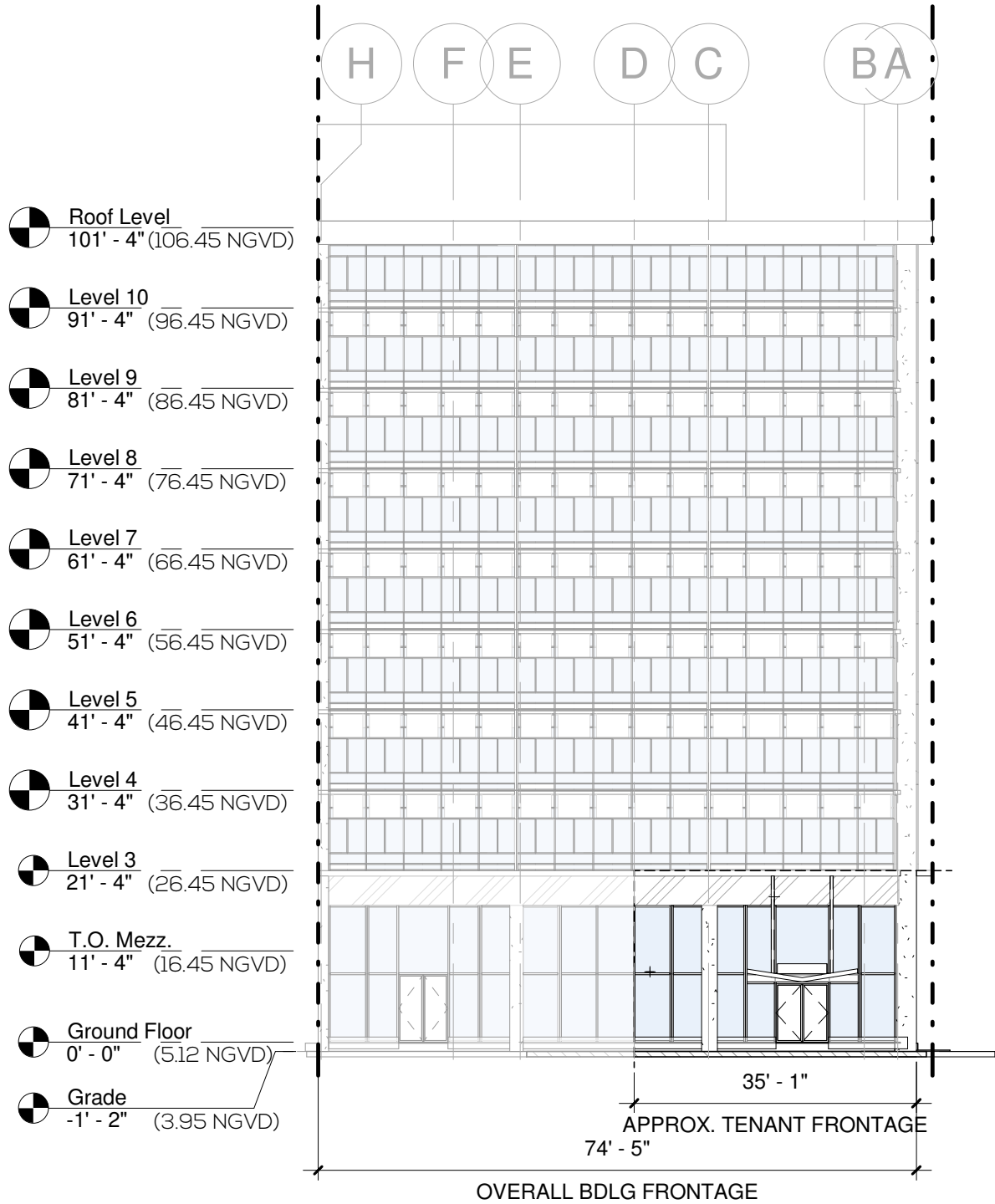


MERIDIAN AVE

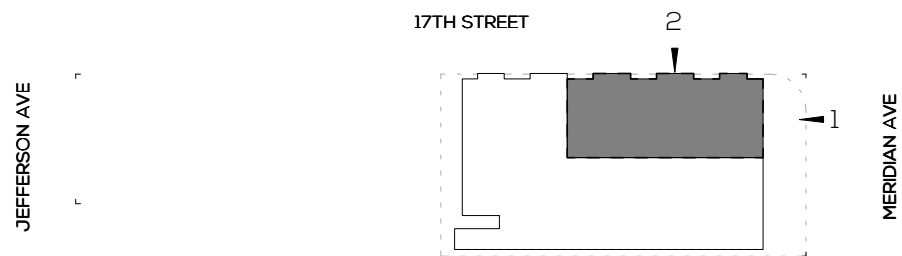
Scale	As indicated
04/05/2021	
Project #	20009

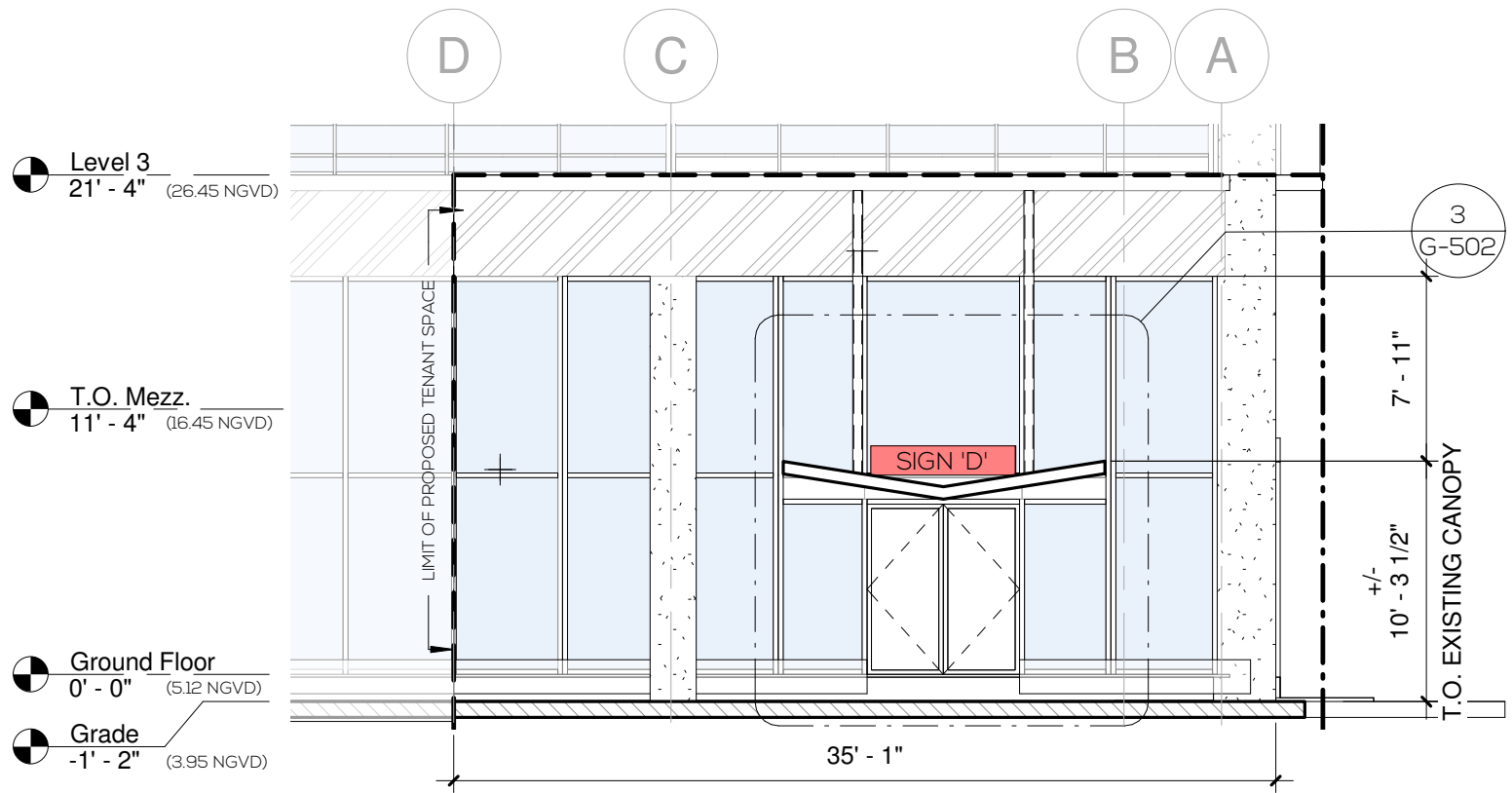
GROUND
FLOOR
REFLECTED
CEILING PLAN

G-300



1	MERIDIAN AVE ELEVATION (Overall) 1" = 20'-0"
2	17TH STREET ELEVATION (Overall) 1" = 20'-0"





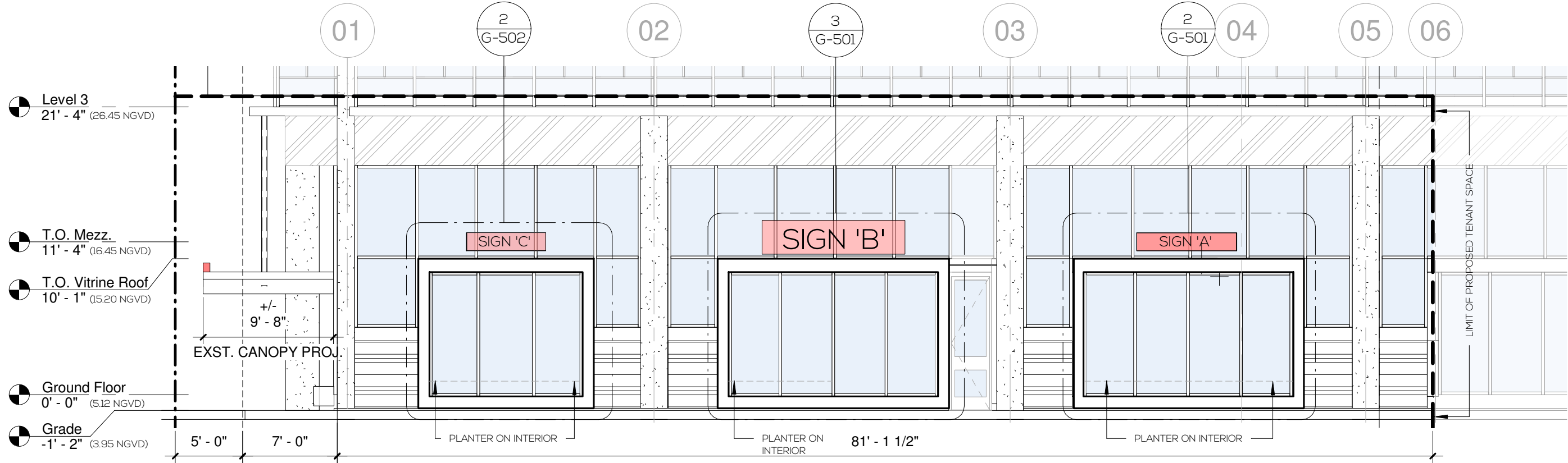
17TH STREET

MERIDIAN AVE

WALL SIGN STANDARDS FOR DISTRICT CD-3	
MAXIMUM SIGN AREA (.75 OF LINEAR FRONTAGE)	SIGN AREA PROVIDED
81.125' x .75 = 60.84 SQ FT.	9.90+ 26.46+ 7.96 = 44.32 SQ FT.

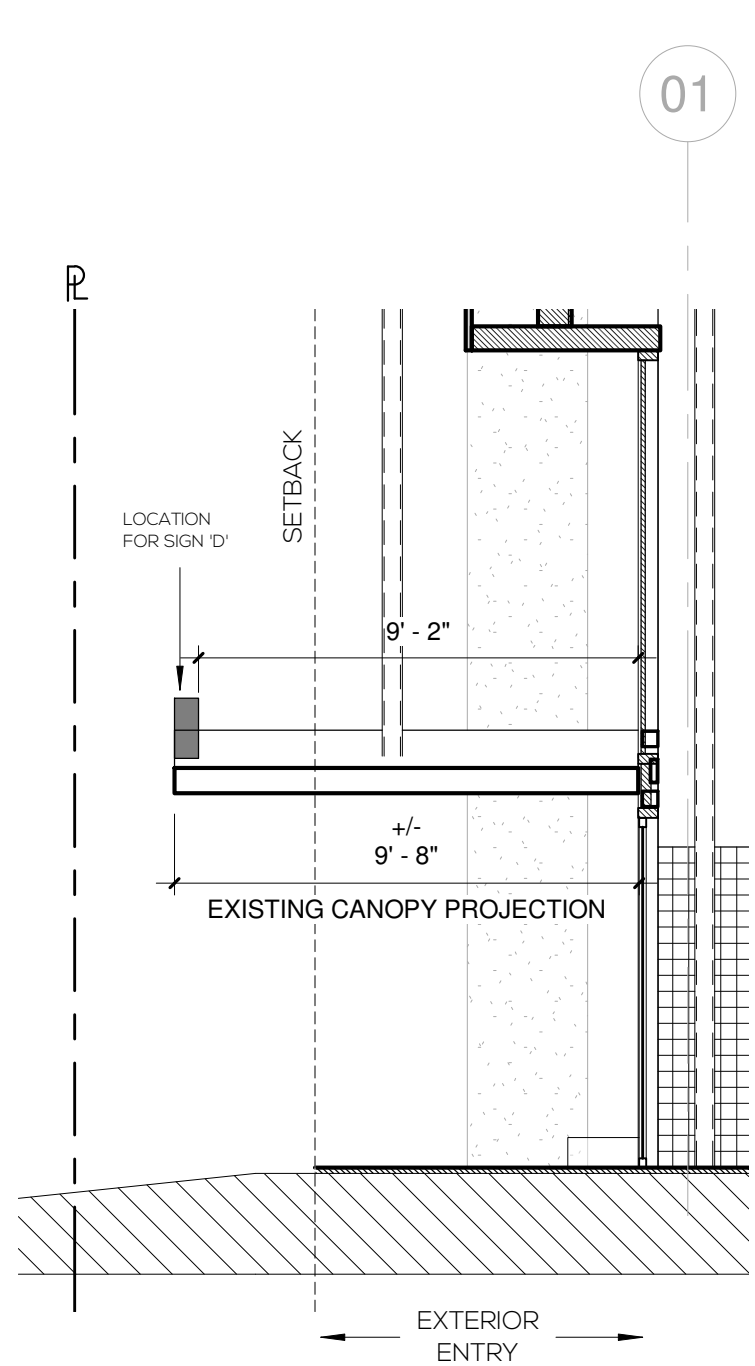
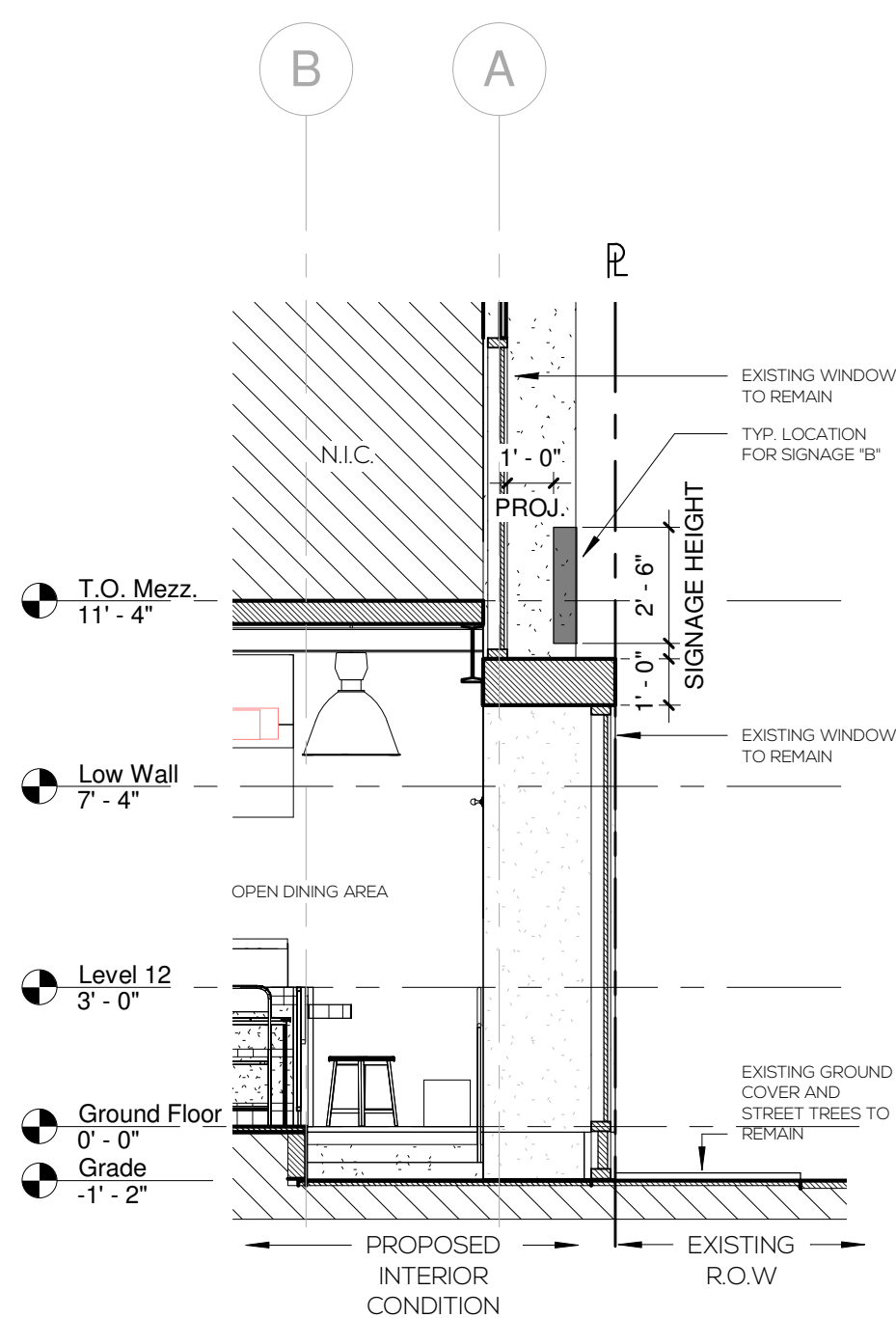
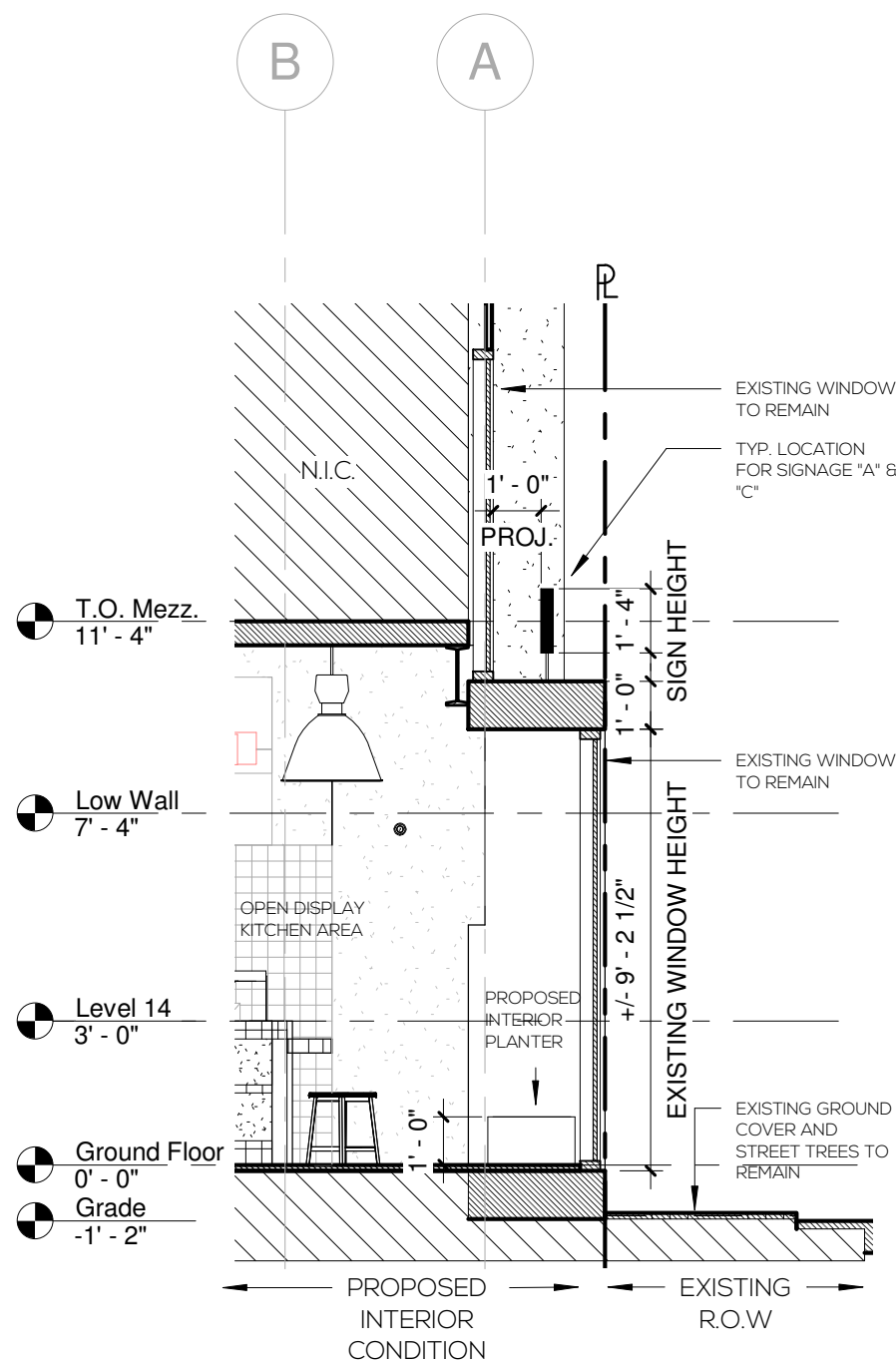
PROJECTING SIGN STANDARDS FOR DISTRICT CD-3	
MAXIMUM SIGN AREA	SIGN AREA PROVIDED
15 SQ FT.	7.73 SQ FT.

1 MERIDIAN AVE ELEVATION (Enlarged)
1/8" = 1'-0"



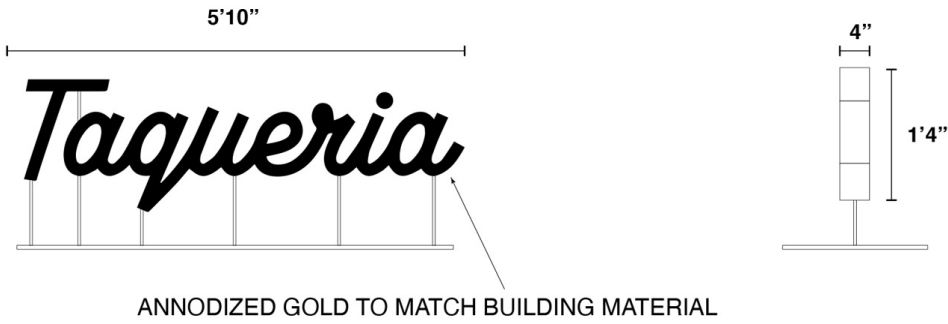
2 17TH STREET ELEVATION (Enlarged)
1/8" = 1'-0"

Scale	As indicated
Project #	20009

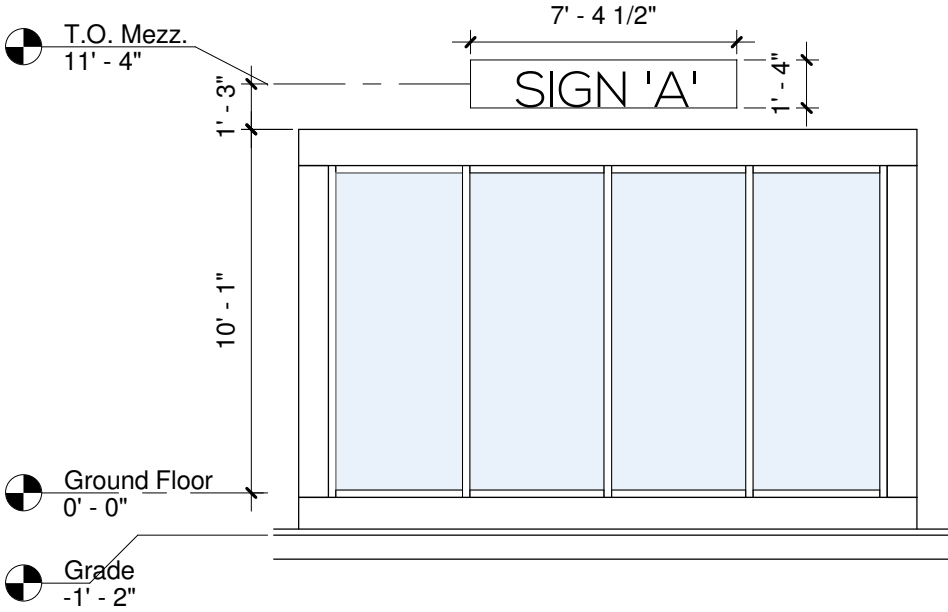


1	VITRINE SECTION - TYP. FOR SIGNAGE "A" & "C"	2	VITRINE SECTION - TYP. FOR SIGNAGE "B"	3	VITRINE SECTION - TYP. FOR SIGNAGE "D"
	1/4" = 1'-0"		1/4" = 1'-0"		1/4" = 1'-0"
SIGN A Designation: 'Wall' Sign Height: 1'-4" Width: 7'-5" Depth: 0'-4" Approx. SQFT: 10.10 sf Projection from Wall: Max 0'-12" Material: Anodized Gold/Brass Letters Matching Building Spec		SIGN B Designation: 'Wall' Sign Height: 2'-6" Width: 10'-7" Depth: 0'-6" Approx. SQFT: 26.46 sf Projection from Wall: Max 0'-12" Material: Anodized Gold/Brass Letters Matching Building Spec		SIGN D Designation: 'Projecting' Sign Height: 1'-3" Width: 6'-2 " Depth: 0'-4" Approx. SQFT: 7.73 sf Projection from Wall: 9'-8 1/2" Material: Anodized Gold / Brass Formed Letters Matching Building Specification	

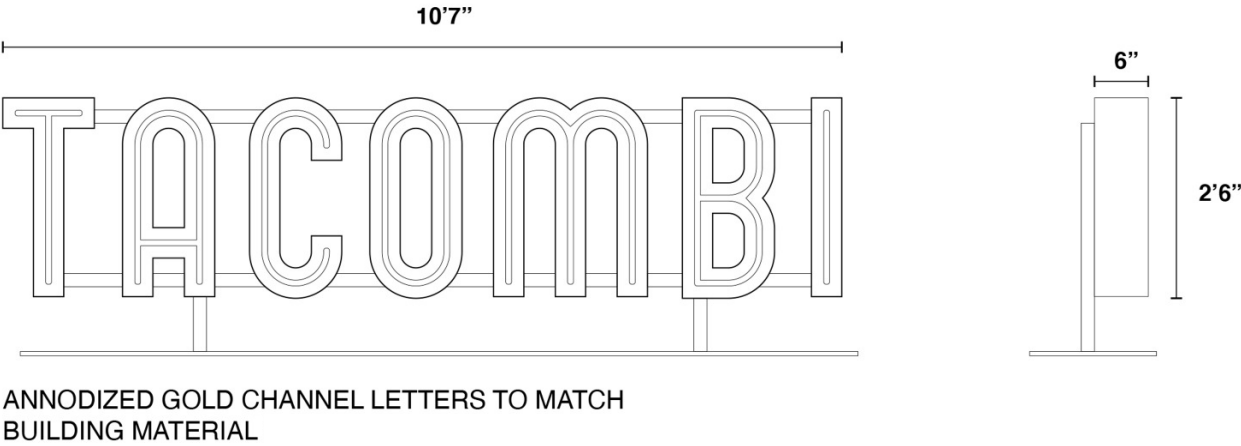
SIGN A
Designation: 'Wall' Sign
Height: 1'-4"
Width: 7'-5"
Depth: 0'-4"
Approx. SQFT: 10.10 sf
Projection from Wall: Max 0'-12"
Material: Anodized Gold/Brass Letters Matching Building Spec
Illumination: None



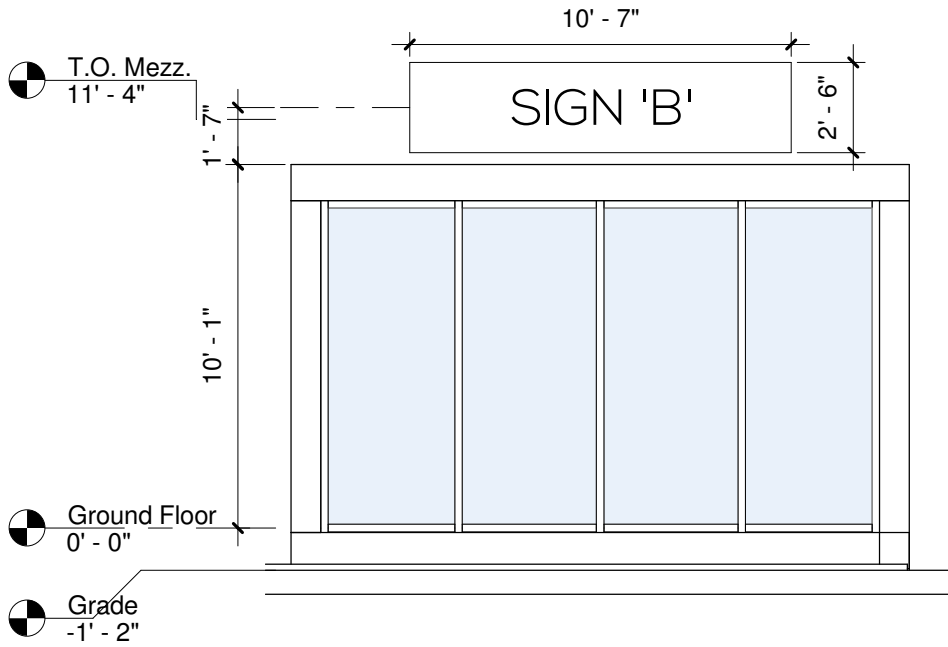
Example of signage style



SIGN B
Designation: 'Wall' Sign
Height: 2'-6"
Width: 10'-7"
Depth: 0'-6"
Approx. SQFT: 26.46 sf
Projection from Wall: Max 0'-12"
Material: Anodized Gold/Brass Letters
Illumination: None



Example of signage style



Scale	As indicated
Project #	20009
04/05/2021	

SIGNAGE
DETAILS

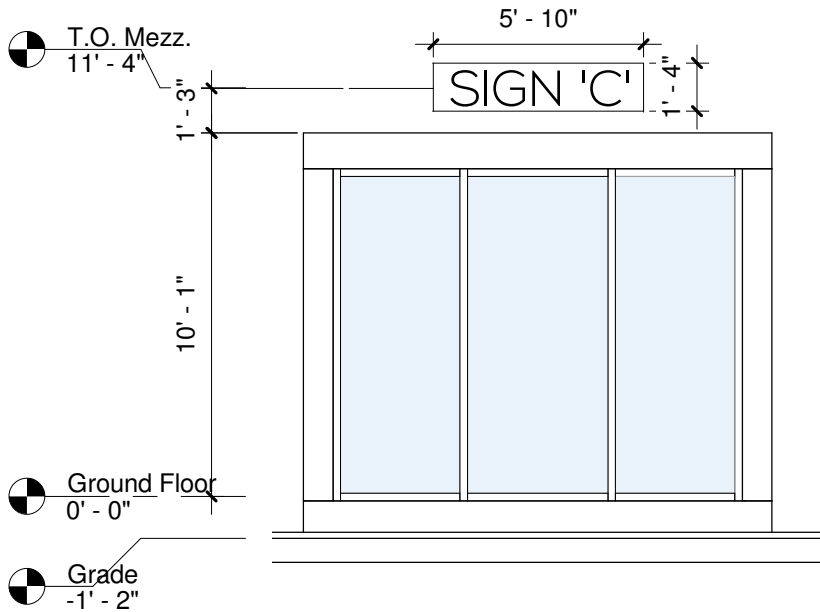
G-501

SIGN C

LightingDesignation: 'Wall' Sign
Height: 1'-4 "
Width: 5'-10 "
Depth: 4"
Approx. SQFT: 7.16 sf
Projection from Wall: Max 0'-12"
Material: Anodized Gold/Brass Letters Matching Building
Spec
Illumination: None



Example of signage style



SIGN D

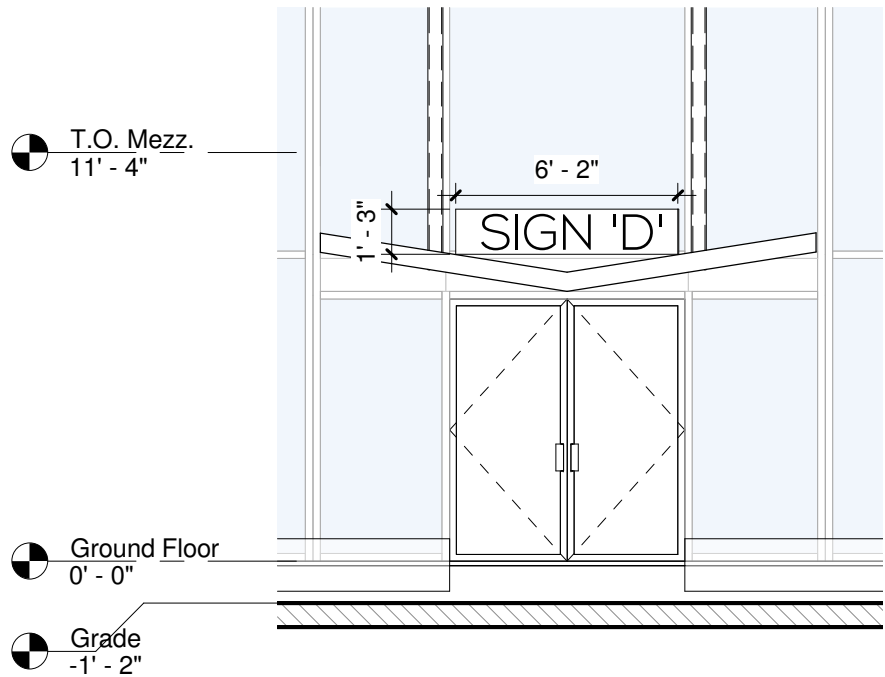
Designation: 'Projecting' Sign
Height: 1'-3"
Width: 6'-2 "
Depth: 0'-4"
Approx. SQFT: 7.73 sf
Projection from Wall: 9'-8 1/2"
Material: Anodized Gold / Brass Formed Letters Matching Building Specification



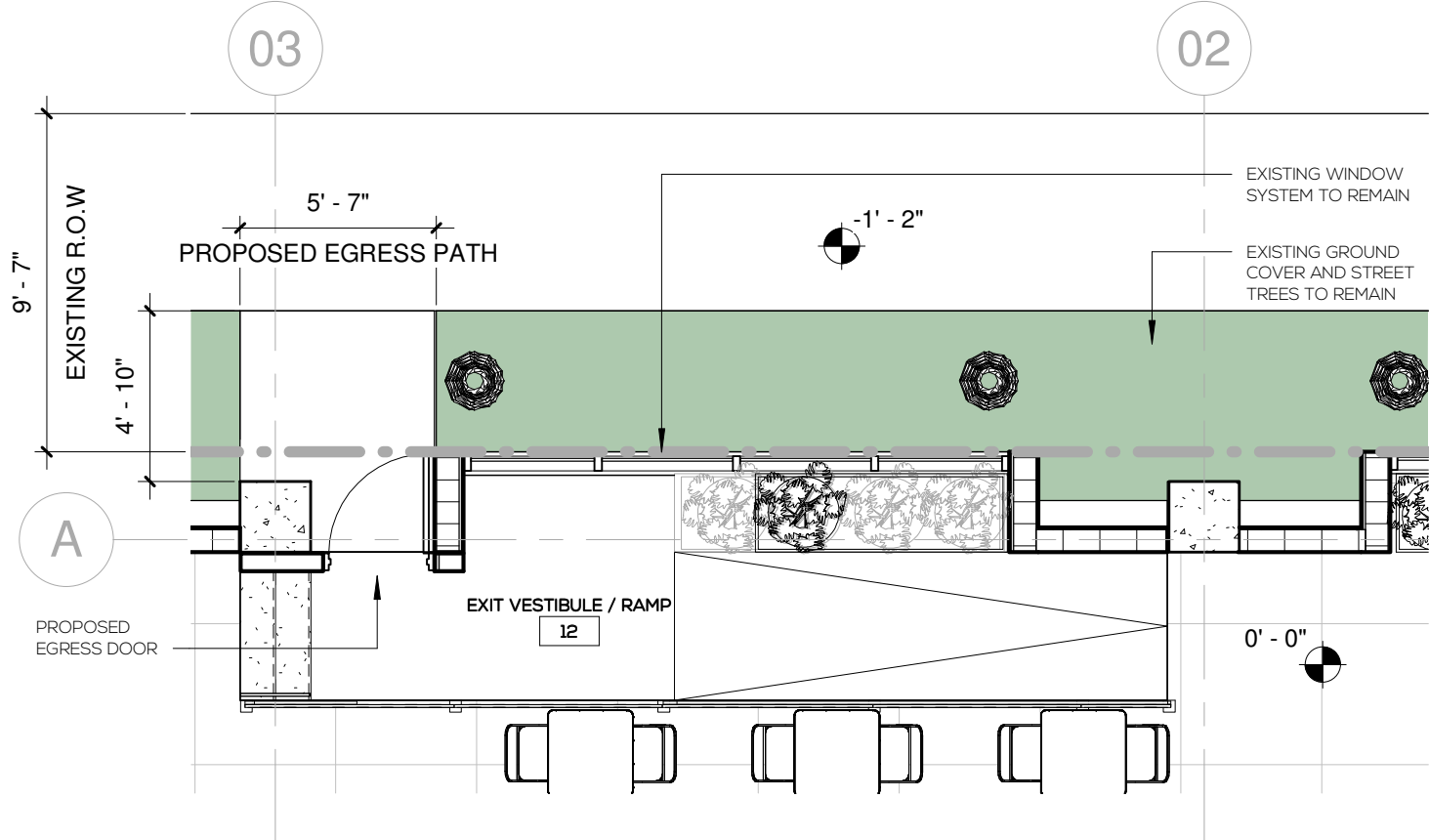
MERIDIAN ENTRANCE



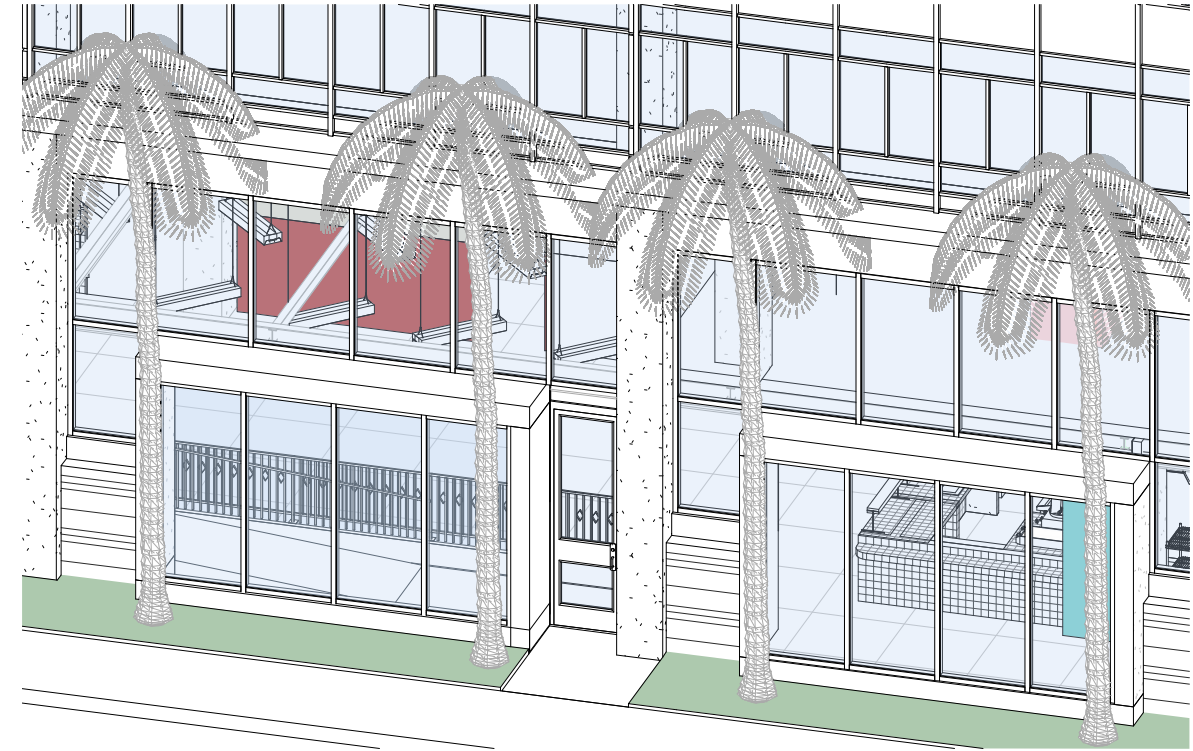
Example of signage style



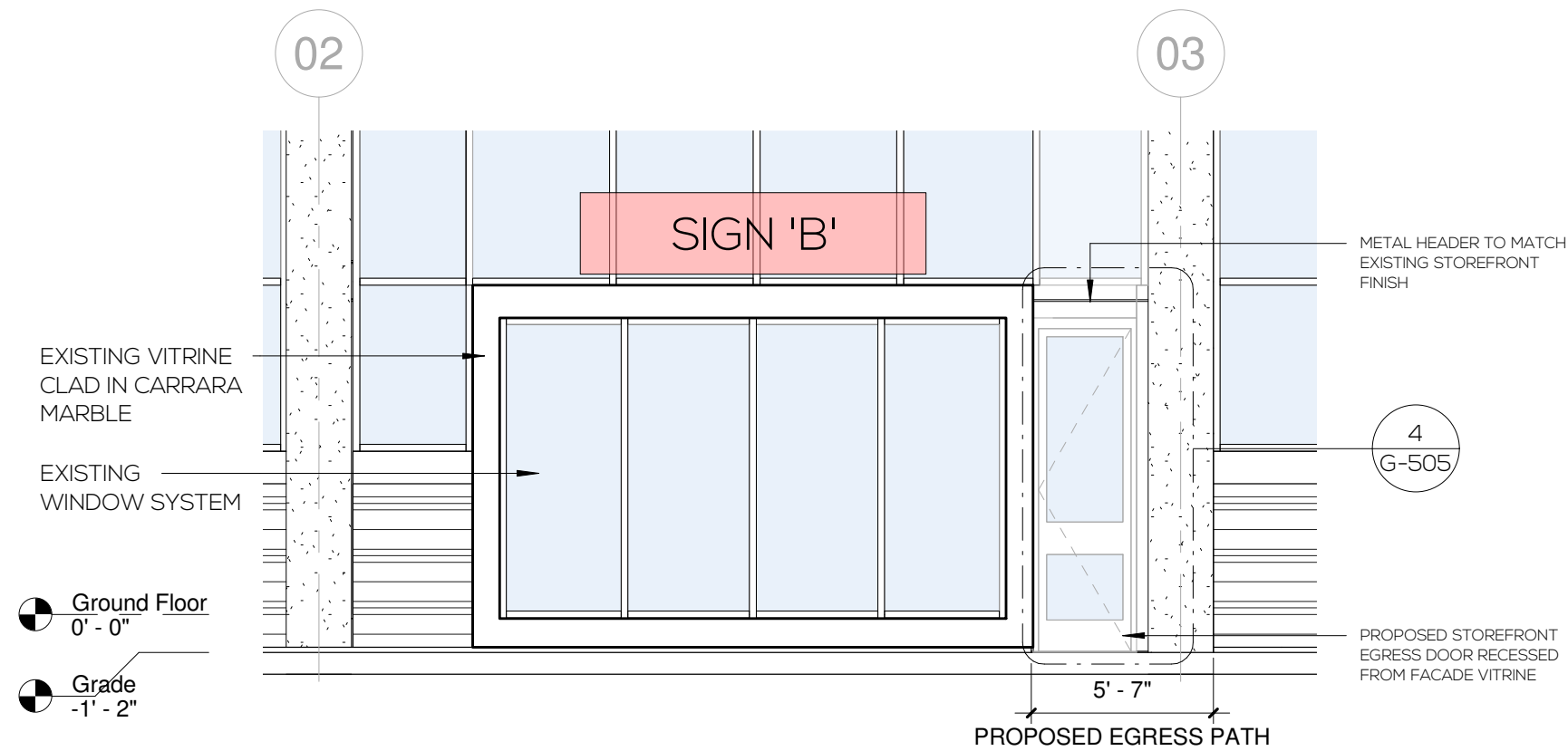
Scale	As indicated
04/05/2021	
Project #	20009



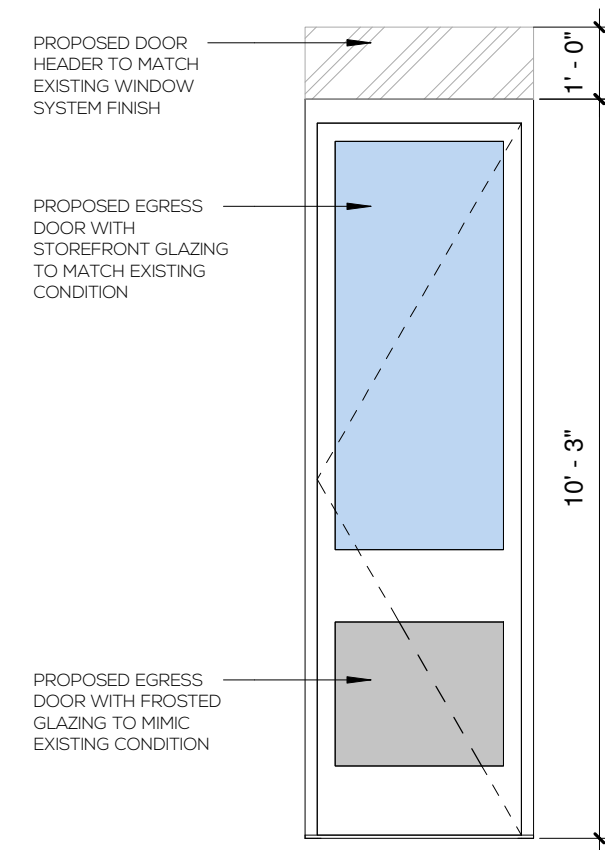
1 PROPOSED EGRESS DOOR - PLAN
3/16" = 1'-0"



3 PROPOSED EGRESS DOOR



2 PROPOSED EGRESS DOOR - ELEV.
3/16" = 1'-0"



4 PROPOSED EGRESS DOOR - ELEV. - Callout 1
3/8" = 1'-0"



EXISTING CONDITIONS ALONG 17th STREET



EXISTING CONDITIONS ALONG 17th STREET

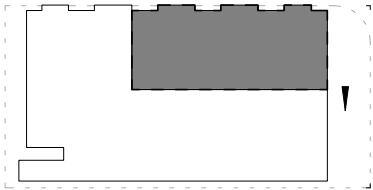


EXISTING CONDITIONS ALONG INTERIOR

DESCRIPTION:
Per code the newly proposed assembly space (for purposes of a restaurant) will require (2) dedicated means of egress. The proposed project seeks to form a new means of egress along the pedestrian adjacent to 17th Street. The minor facade improvement would involve modifying an existing storefront window to include the appropriate means of egress to meet Fire/Life Safety Standards.

JEFFERSON AVE

17TH STREET



MERIDIAN AVE

KODA
7500 NE 4TH CT. SUITE
#100Miami, FL 33138
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TACOMBI RESTAURANT
1688 MERIDIAN AVE. MIAMI BEACH, FL 33139

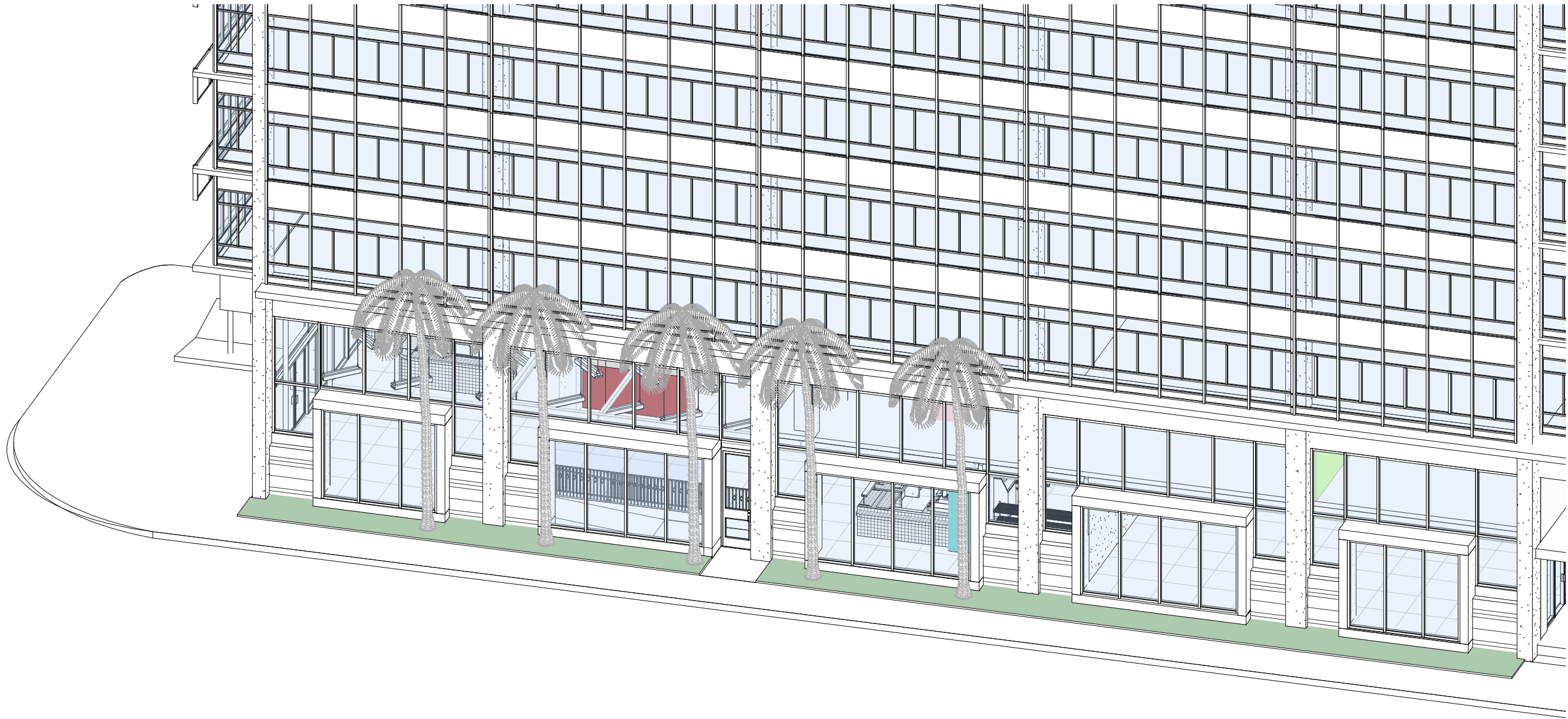
DRB21-0651 - FINAL SUBMITTAL

Scale 1" = 80'-0"

04/05/2021

Project # 20009

PROPOSED
FACADE
IMPROVEMENT/
EGRESS
DOOR
G-506

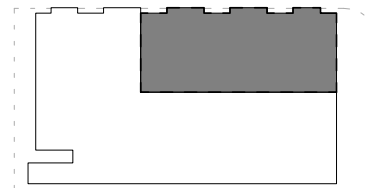


1

EXTERIOR - AXONOMETRIC VIEW

JEFFERSON AVE

17TH STREET



MERIDIAN AVE

Scale 1" = 80'-0"

04/05/2021

Project # 20009

3D VIEWS

G-700

TACOMBI RESTAURANT
1688 MERIDIAN AVE. MIAMI BEACH, FL 33139

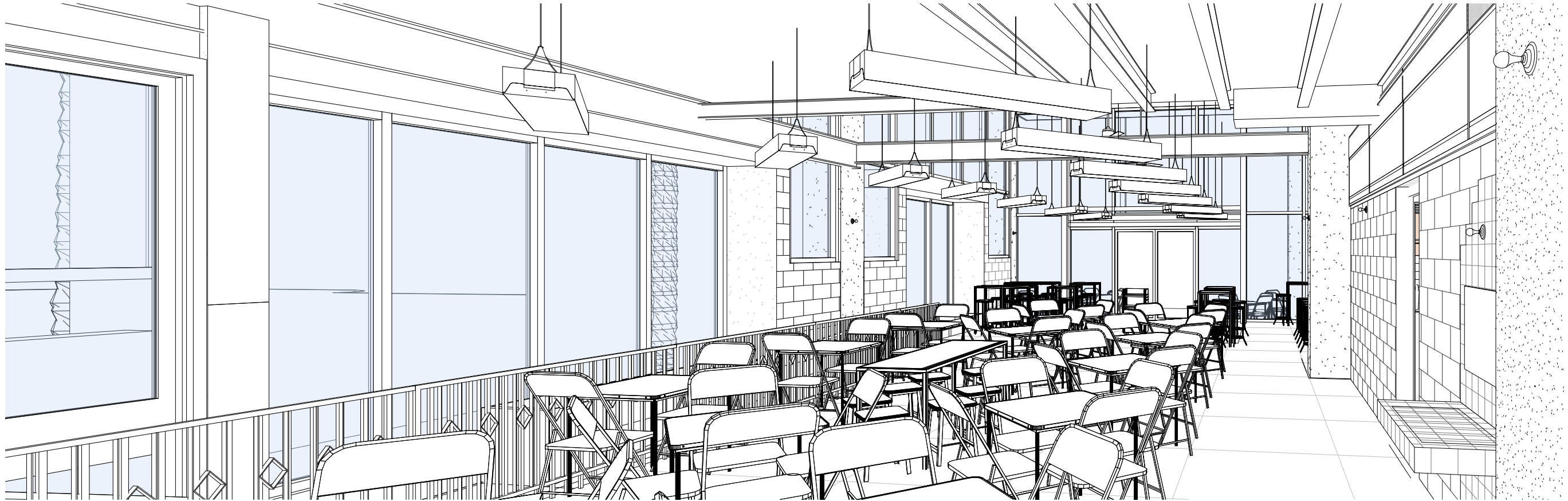
DRB21-0651 - FINAL SUBMITTAL

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#100Miami, FL 33138
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1

3D View - Exterior Street Corner



2

3D View - Interior Dining Area

Scale

04/05/2021

Project #

20009

3D VIEWS

G-701