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FINAL SUBMITTAL 03-08-2021
APPLICATION HPB ORDER No. 21-0451

REVISION TO:
HPB ORDER No. 7490

PROPOSED SCOPE UNDER THIS REVISION:

- BASEMENT LEVELS BELOW HISTORIC VERSAILLES STRUCTURE
- SHORING AND SEQUENCING OF CONSTRUCTION

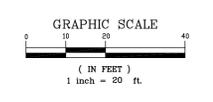
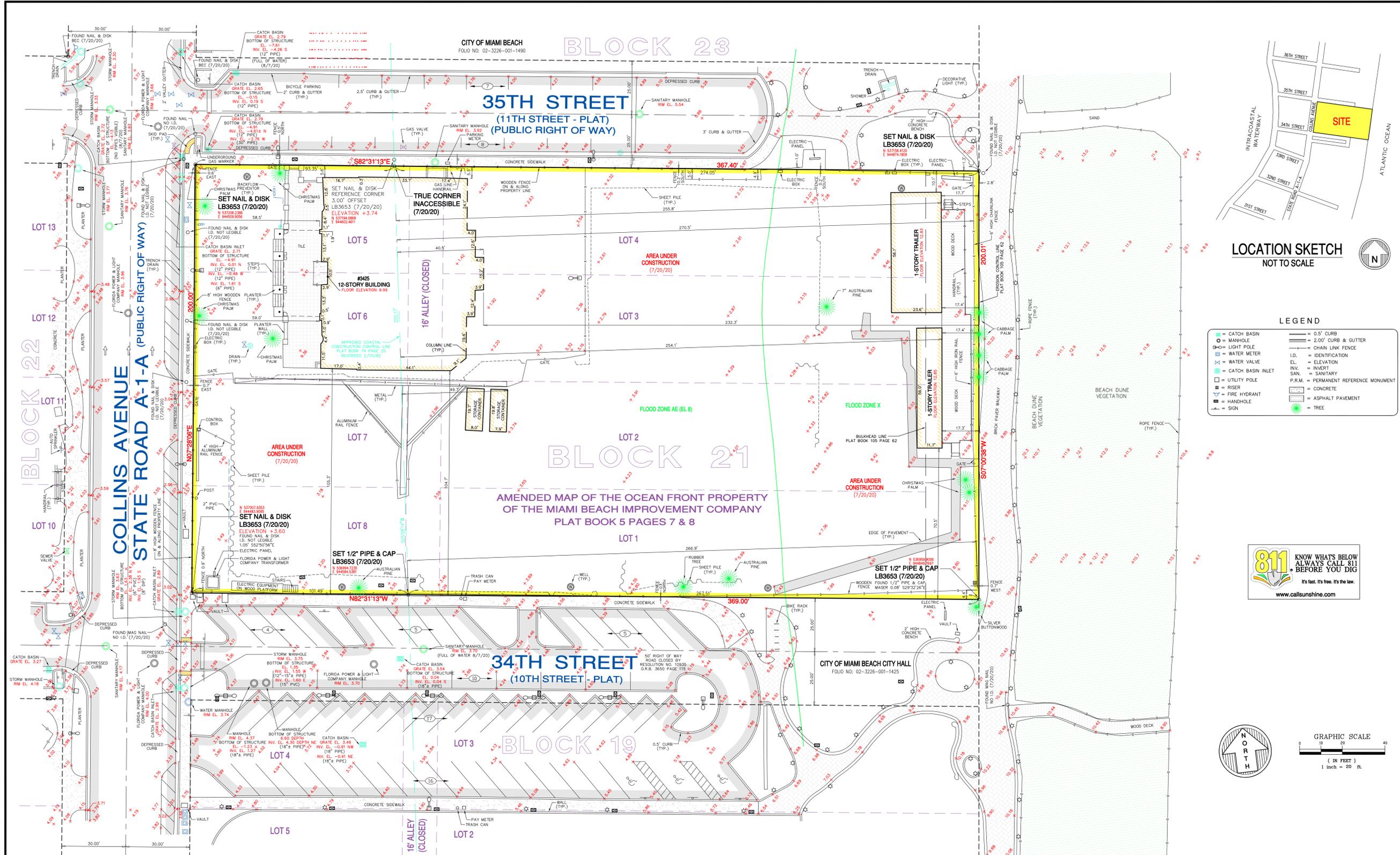
AMAN

AMAN HOTEL & RESIDENCES

3425 COLLINS AVE.
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
MAY 11, 2021

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of this document
Date: 2021.03.05
11:44:05-0500



LEGAL DESCRIPTION:

Lots 1 through 8 and the 16 foot alley, Block 21, AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, according to the plat thereof, as recorded in Plat Book 5 at Pages 7 and 8, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were NOT abstracted for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 07°28'06" E for the East right of way line of Collins Avenue, and evidenced by (2) set nail & disk.

SURVEYOR'S NOTES: (continued)

- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. 8-313, Elevation +4.33 and located by US C&G brass disk on top of concrete ramp directly over a catch basin at 36th Street (81.7' South of South curb) and Collins Avenue (57.8' East of East curb).
- Lands shown hereon are located within an area having a Zone Designation X and AE (L 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 12086C0336L, for Community No. 120651, dated September 11, 2009, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 73,640 square feet, or 1.691 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.

SURVEYOR'S NOTES: (continued)

- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry, a certified Arborist or a professional in that field.
- The State Plane Coordinates shown hereon are relative to the North American Datum of 1983 (NAD83), using Real Time Kinematic (RTK) Equipment and real-time adjustment software connected through Florida Department of Transportation (FDOT) to the Florida Permanent reference Network (FPRN).
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.
- Pursuant to Florida State Statutes in Chapter 161.141, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Tax Folio No. 02-3226-001-1440

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on July 20, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on July 20, 2020.

Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below

FORTIN, LEAVY, SKILES, INC., LB3653
 Digitally signed by Daniel C Fortin
 DN: c=US, o=Unaffiliated, ou=AD14100000017402A28F4200042958, cn=Daniel C Fortin
 Date: 2020.11.08 12:19:31 -0500

PROPERTY OWNER: 3425 COLLINS LLC

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No.	Revision Description
2	200837 SHOW DUNE LOCATION
1	200862 TREE SURVEY (10/2/20)-SH
	O.N.

FORTIN, LEAVY, SKILES, INC.
 CONSULTING ENGINEERS, SURVEYORS & MAPPERS
 FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 00006653
 180 Northeast 168th Street / North Miami Beach, Florida 33162
 Phone 305-653-4493 / Fax 305-651-7132 / Email fls@flsurvey.com

BOUNDARY & TOPOGRAPHIC SURVEY
 AMAN - 3425 COLLINS AVENUE
 CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	7/20/20
Scale	1"=20'
Drawn By	MAP
CAD No.	200450
Plotted	11/6/20 12:07a
Ref. Dwg.	
Field Book	566/49-51 RLL
Job No.	200450
Dwg. No.	2020-071-NGVD
Sheet	1 of 1

NOT FOR CONSTRUCTION

ZONING DATA

SITE ADDRESS

3425 COLLINS AVENUE, MIAMI BEACH, FL. 33140

SITE DATA

ZONING DESIGNATION: RM-3 (RESIDENTIAL MULTIFAMILY, HIGH INTENSITY)
 FLOOD ZONE: "AE" (ELEV. 8 NGVD29)
 "X" (FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0336 L COMMUNITY NUMBER 120635, MIAMI-DADE COUNTY UNINCORPORATED AREAS. EFFECTIVE DATE SEPTEMBER 11, 2009
 BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA

BUILDING HEIGHT: 250'-0" ABOVE BFE + 5'-0" FREEBOARD 13'-0" N.G.V.D.
 ESTABLISHED BFE: 8'-0"
 PROPOSED: 220'-4" NEW BUILDING (233'-4" N.G.V.D.)
 EXISTING TOWER: 161'-0" T.O. ROOF SLAB N.G.V.D.
 EXISTING TOWER: 200'-0" T.O. CUPOLA N.G.V.D.

PROPOSED NEW TOWER: 23 RESIDENTIAL UNITS
 EXISTING TOWER: 56 HOTEL GUESTROOMS

OVERLAY AREAS

DUNE PRESERVATION OVERLAY: RECREATIONAL AND OPEN SPACE WEST OF THE EROSION CONTROL LINE (ECL) EAST OF THE BULKHEAD LINE

REQUIRED: 80%
 TOTAL AREA: 5,073 SF
 IMPERVIOUS AREA: 6.18%
 MAX.PER CODE: 20%
 PERVIOUS AREA: 93.82%

MINIMUM YARDS
 BULKHEAD LINE 0 FT
 SIDE PROPERTY LINE 15 FT
 MUNICIPAL PARK 15 FT
 STREET END 15 FT
 ROW 15 FT
 EROSION CONTROL LINE 10-15 FT STRUCTURES W/ FIN. FLR. ELEV. 3 FT OR LESS ABOVE T.O. DUNE
 ADD 1 FT FOR EVERY FOOT INCREASE IN FIN. FLR. ELEV.
 MAX 2.5 FT ABOVE DUNE

FINISHED FLOOR ELEVATION ONE STORY OR 12 FT
 MAX. BUILDING HEIGHT ZERO
 MAX. DENSITY NO PARKING REQUIREMENT

OCEANFRONT OVERLAY: WEST OF BULKHEAD LINE

SETBACKS
 REAR 50 FT FRONT BULKHEAD LINE - DWELLING CONSTRUCTION AT GRADE AND SUBTERRANEAN LEVELS
 SIDE LOT LINE 15 FT
 BULKHEAD LINE 10 FT

MAX HEIGHT 30 FT ABOVE GRADE
 FINISHED FLOOR ELEVATION 2.5 FT ABOVE T.O. DUNE
 FAR 0.5 OF SETBACK AREA
 LOT COVERAGE 50 % OF REQUIRED REAR YARD SETBACK OPEN TO SKY
 VIEW CORRIDOR 50 % OF REQUIRED REAR YARD SETBACK OPEN APART FROM LANDSCAPE FROM E.C.L. TO REAR SETBACK LINE

RM-3 OVERLAY ZONE: TOTAL AREA: 58,680 SF

LOT AREA

AREA PARCEL 1 : 68,736 S.F. (1.5780 ACRES)
 AREA PARCEL 2 : 5,076 S.F. (0.1165 ACRES)
 73,812 S.F (1.6945 ACRES)

MAX F.A.R.

3.0 X 73,812 S.F. = 221,436 S.F.

MAX LOT WIDTH

REQUIRED 50 FT
 EXCEEDS CRITERIA AT 200 FT

MIN. LOT AREA

REQUIRED 7000 S.F. - EXCEEDS CRITERIA AT 73,812 SF

MINIMUM UNIT SIZE

NEW CONSTRUCTION 800 SF - MEETS CRITERIA
 HISTORIC TOWER AVERAGE UNIT SIZE=1897 SF
 NEW TOWER AVERAGE UNIT SIZE= 2450 SF

MAXBUILDING HEIGHT

OCEANFRONT LOTS 200 FT
 HISTORIC TOWER = 200 FT TO T.O. ROOF SLAB + MECHANICAL ROOF
 NEW TOWER= 233'-3" FT (NGVD) TO TOP OF OUTDOOR KITCHEN COUNTER

MAX NUMBER OF STORIES

OCEANFRONT LOTS 22 STORIES - MEETS CRITERIA
 HISTORIC TOWER - 10 GUESTROOM LEVELS + ROOF TOP REST.+LOBBY+ MEZZ + BASEMENT
 NEW TOWER - 13 RESIDENTIAL LEVELS + LOBBY + MEZZANINE + 3 LEVELS OF BASEMENT

NEW CONSTRUCTION ADDITIONAL REGULATIONS

ALL FLOORS OF A BUILDING CONTAINING PARKING SPACES SHALL INCORPORATE RESIDENTIAL OR COMMERCIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY.

SETBACK REQUIREMENTS

	FRONT (WEST-COLLINS AVE.)			NORTH - SIDE FACING A STREET SOUTH - SIDE INTERIOR			REAR (EAST- BEACH)		
	REQUIRED	PROVIDED	PROVIDED	REQUIRED	PROVIDED (N)	PROVIDED (S)	REQUIRED	PROVIDED	PROVIDED
SUB TERRANEAN	15'-0"	HIST. TOWER 41'-9"	NEW TOWER 20'-0"	0'-0"	0'-0"	0'-0"	46'-0" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE
PEDESTAL	20'-0" up to 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	41'-9"	106'-8"	0'-0"	0'-0" AT NORTH SIDE	8" AT SOUTH SIDE	50'-0" FROM BULKHEAD LINE	95'-0" FROM BULKHEAD LINE	52'-0" FROM BULKHEAD LINE
TOWER	20'-0" + 1 ft per 1ft increase in height above 50 ft to a max of 50 ft 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	59'-6"	93'-4"	0'-0"	5'-8" AT NORTH SIDE	1'-6" AT SOUTH SIDE	75'-0" FROM BULKHEAD LINE	198'-4" FROM BULKHEAD LINE	FROM BULKHEAD LINE 103'-4" (AT NORTH PROPERTY LINE) 104'-11" (AT SOUTH PROPERTY LINE)

PARKING DATA

SEE REVISED PARKING AND LOADING CALCULATIONS PAGE A-002

DESIGNATED HISTORIC BUILDING
 NO OFF-STREET PARKING IS REQUIRED FOR MAIN OR ACCESSORY USES ASSOCIATED WITH AN INDIVIDUALLY DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING:
 DEVELOPMENTS WITH MORE THAN 20 UNITS 10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS
 8.5' X 18' MULTI- FAMILY RESIDENTIAL BUILDING 8.5 FT X 16 FT -100 % VALET ONLY GOVERNED BY A RESTRICTIVE COVENANT TANDEM MAXIMUM STACKING OF 2 PARKING AISLE MIN. 22 FT

TANDEM PARKING
 MAY BE UTILIZED FOR SELF- PARKING IN MULTI FAMILY RESIDENTIAL BUILDINGS WITH RESTRICTIVE COVENANT LIMITING USE OF EACH TANDEM PARKING SPACE TO THE SAME UNIT OWNER.

aisle DRIVES
 TWO WAY TRAFFIC 22 FT WIDE
 ONE WAY TRAFFIC 11 FT WIDE
 DRIVEWAY ENTRANCE AND ENTRY CURB CUT-MIN. 12 FT
 DRIVE COLUMNS FOR 90 DEGREES LAYOUT SET BACK 1'-6" MEASURED FROM EDGE OF THE REQUIRED INTERIOR DRIVE TO THE FACE OF THE COLUMN

OFF-STREET LOADING
 RESIDENTIAL BUILDING OVER 36 UNITS BUT LESS THAN 50 UNITS: 1 SPACE
 OVER 50 UNITS BUT NOT MORE THAN 100 UNITS: 2 SPACES
 DESIGN STANDARD-WITHIN THE SAME LOT LOGICALLY AND CONVENIENTLY LOCATED FOR BULK PICK UPS AND DELIVERIES SCALED FOR EXPECTED DELIVERIES 10 X 20 FT

F.A.R. HISTORIC HOTEL	
LEVEL	Area (sf)
GRADE LEVEL	266
GROUND LEVEL	10,555
LEVEL 2	1,398
LEVEL 3	6,513
LEVEL 4	4,009
LEVEL 5	6,513
LEVEL 6	6,513
LEVEL 7	6,513
LEVEL 8	6,513
LEVEL 9	6,513
LEVEL 10	6,513
LEVEL 11	6,513
LEVEL 12	6,513
LEVEL 14	5,047
79,892 sq ft	

F.A.R. RESIDENTIAL BUILDING	
LEVEL	Area (sf)
GRADE LEVEL	176
GROUND LEVEL	3,655
LEVEL 2	2,446
LEVEL 3	10,751
LEVEL 4	10,751
LEVEL 5	10,747
LEVEL 6	10,751
LEVEL 7	10,751
LEVEL 8	10,751
LEVEL 9	10,751
LEVEL 10	10,751
LEVEL 11	10,751
LEVEL 12	10,751
LEVEL 14	8,620
LEVEL 15	8,620
LEVEL 16	8,620
ROOF LEVEL	677
140,320 sq ft	

TOTAL F.A.R. PROPOSED = **220,241 S.F.**

MAX. F.A.R. ALLOWED: 3 X 73,812 S.F. = **221,436 S.F.**

EXCLUDED AREAS PER PROPOSED MODIFICATIONS TO FAR EXCEPTIONS UNDER PROCESS OF APPROVAL AND ADOPTION

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AMAN HOTEL AND RESIDENCES

3425 COLLINS AVE. MIAMI, FL 33140

Project

Owner Information
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 (305) 573-1158

Revisions

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Luis O. Revuelta
 AR-0007972

HPB - MAY 11, 2021

Date
 03-08-2021
 Scale
 AS SHOWN
 Project No.
 1933
 Sheet Name
 DATA

Sheet No.

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3425 COLLINS AVE - Miami Beach

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

PARKING Spaces Requirement - Parking District 1

Residential Apartment building on lots wider than 50 feet:						Required	Proposed
1.50 parking spaces per unit for units between 550 and 999 square feet	0 units	1.50 spaces per unit				0.00	
1.75 parking spaces per unit for units between 1,000 and 1,200 square feet	0 units	1.75 spaces per unit				0.00	
2.00 parking spaces per unit for units above 1,200 square feet	23 units	2.00 spaces per unit				46.00	
10% additional parking spaces for visitors						5	
sub total						51	68
Retail / Spa						Required	Proposed
1.0 parking spaces per 400 square feet	17,000 SF	16,580 SF	41.45			41.45	42
less 7.5 square feet per Unit (56 rooms)	420 SF						
sub total						41	42
Restaurant Kitchen Bar Roof Top Hotel						Required	Proposed
1.0 parking spaces per 4 seats	Historic Restaurant (Seating Area)	2,422 SF	2,422 SF	161 occupants	Grandfathered	0	
	Historic Patisserie	1,263 SF	1,263 SF	84 occupants	Grandfathered	0	
	New Restaurant/Bar Terrace seating	2,270 SF	0 SF	151 occupants	1 space every 4 seats	38	
minus 1.0 seat for every 2 Guestrooms	56 guestrooms	Discounted Seats - Accessory Hotel Use	28		discounted	28	
sub total						10	10
Hotel						Required	Proposed
0.5 parking spaces for every Hotel Room	New floor area for hotel rooms, associated with retaining, preserving and restoring a building or structure that is classified as "contributing"			Not Required . Hotel guestrooms grandfathered. No additional area		0	0
1.0 parking spaces for every Hotel Room	Other (e.g., new construction or substantial demolition of contributing building)			0 rooms		0	0
sub total						0	0
Meeting Rooms						Required	Proposed
1.0 parking spaces per 60 square feet of floor area without seating	Meeting Room Usable Space			0 SF	1 per 60 sf	0	
less 15 square feet per Unit (accessory to hotel)	56 guestrooms	15 SF	840 SF	1 per 60 sf	discounted	0	
sub total						0	0
Restaurant Kitchen Bar at levels 1 and 3						Required	Proposed
1.0 parking spaces per 4 seats	Restaurant Seating Area Level 1	4,337 SF	All uses proposed are within footprint of contributing historic structure and therefore have no required parking.			0	0
	Restaurant Seating Area Level 2	2,044 SF				0	0
	Kitchen	430 SF				0	0
	Bar	414 SF				0	0
minus 1.0 seat for every 2 Guestrooms	Guestrooms	56 / 2 = 31 Seats			n/a	n/a	
sub total						0	0
TOTAL PARKING						102	120
ELECTRIC VEHICLES CHARGING STATIONS						2.4	4

Loading Spaces Requirement

Residential			Required	Proposed
Less than 36 Units - No loading is required	No. of Units	23	0	0
Retail			Required	Proposed
Over 20,000 but not over 40,000: three spaces	Retail/Spa/Restaurant aggregate area	22,955 SF	3	3
Existing Hotel			Required	Proposed
Over 50 units but no more than 100 units* Two spaces	No of rooms existing construction	56	0	0
			Existing structure - no increase in FAR	
New Construction Hotel			Required	Proposed
Over 50 units but no more than 100 units* Two spaces	No of rooms new construction	0	0	0
TOTAL			3	3

Bicycle Spaces Requirement

Residential			Required	Proposed
Short term: 4 per project or 1 per 10 units	No. of Units	23	3	3
Long term: 1 per unit			23	23
Hotel - Existing + New			Required	Proposed
Short term: 2 per hotel or 1 per 10 rooms	No. of Rooms	56	6	6
Long term: 1 per 10% of Employees	No. of employees estimated	112	12	12
Retail			Required	Proposed
Short term: 1 per business, 4 per project or 1 per 10,000 square feet	Area	22,955 SF	3	3
Long term: 1 per 10 percent of employees; or 2 per 5,000 square feet and under; 3 per 5,001—20,000 square feet; 6 for 20,001—50,000 square feet; 10 for 50,000 square feet and over			6	6
TOTAL short term bicycle parking			12	12
TOTAL long term bicycle parking			41	41

PARKING DATA

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Owner Information
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Revisions

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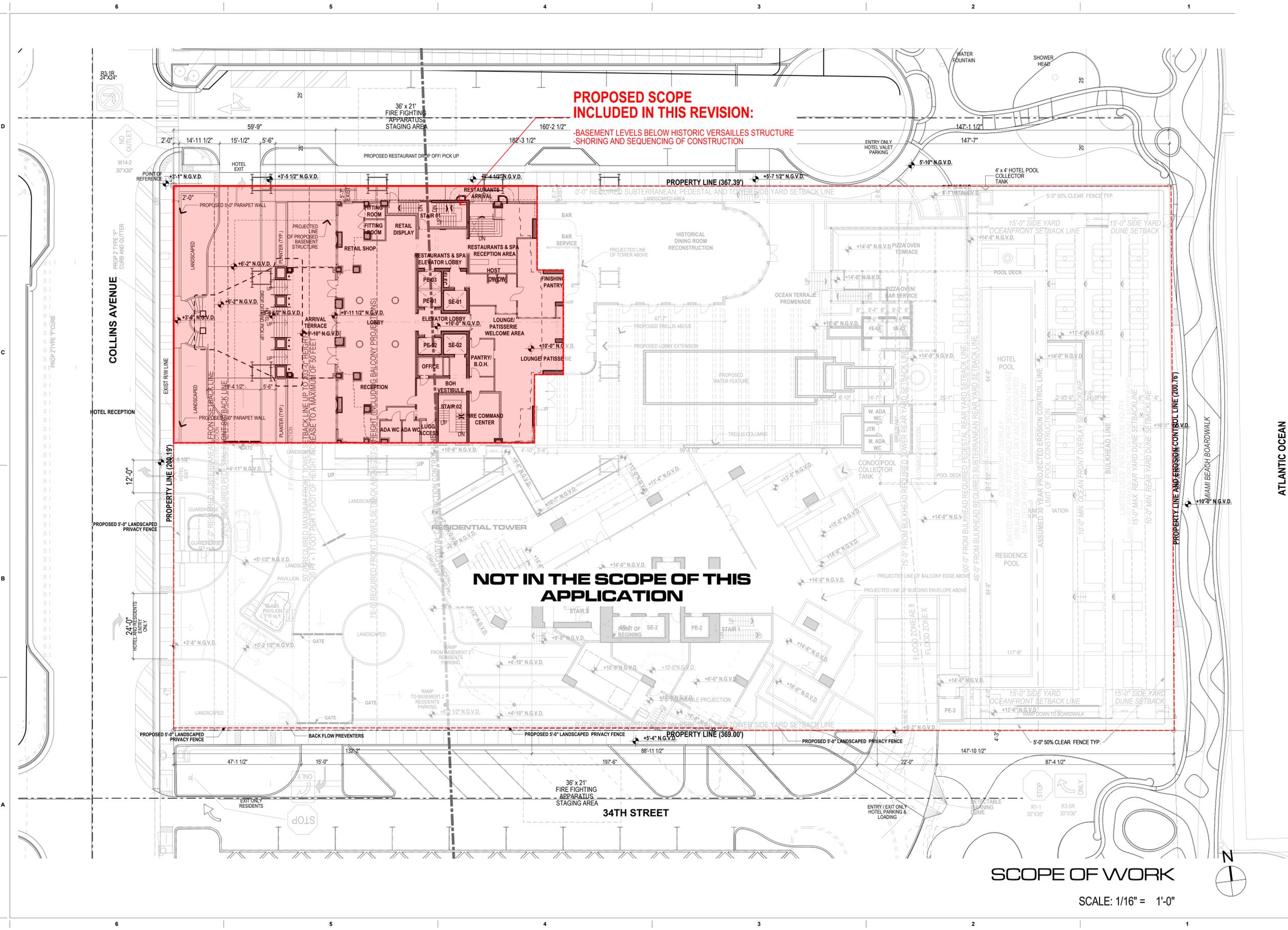
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 PARKING DATA
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A-002

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PROPOSED SCOPE INCLUDED IN THIS REVISION:

-BASEMENT LEVELS BELOW HISTORIC VERSAILLES STRUCTURE
-SHORING AND SEQUENCING OF CONSTRUCTION

NOT IN THE SCOPE OF THIS APPLICATION

SCOPE OF WORK

SCALE: 1/16" = 1'-0"

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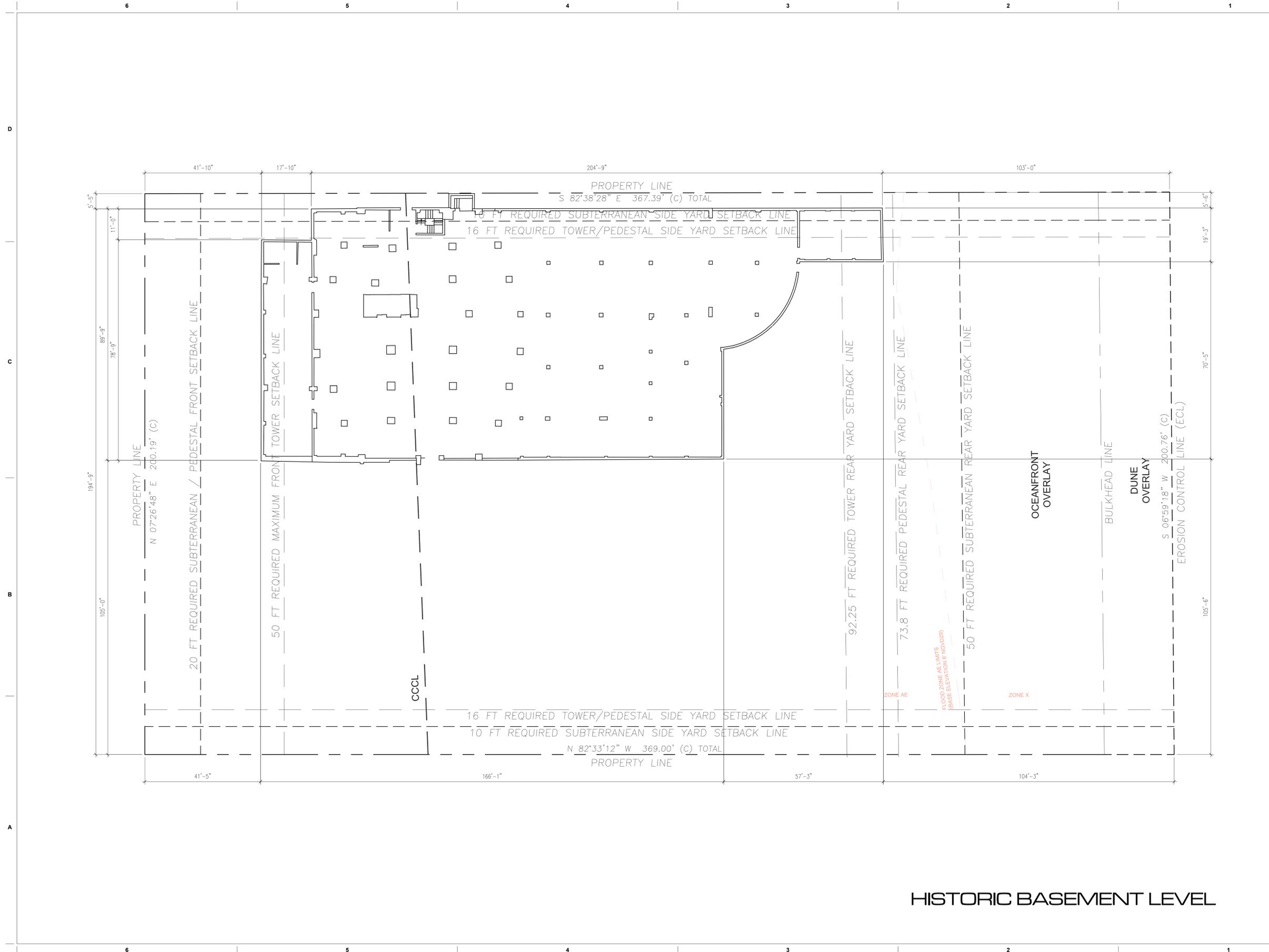
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Date
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Scale
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1933

Sheet Name
SCOPE OF WORK
Sheet No.
A-004

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HISTORIC BASEMENT LEVEL

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A-009

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PREVIOUSLY APPROVED - HPB ORDER: 7490

DEMOLITION GENERAL NOTES

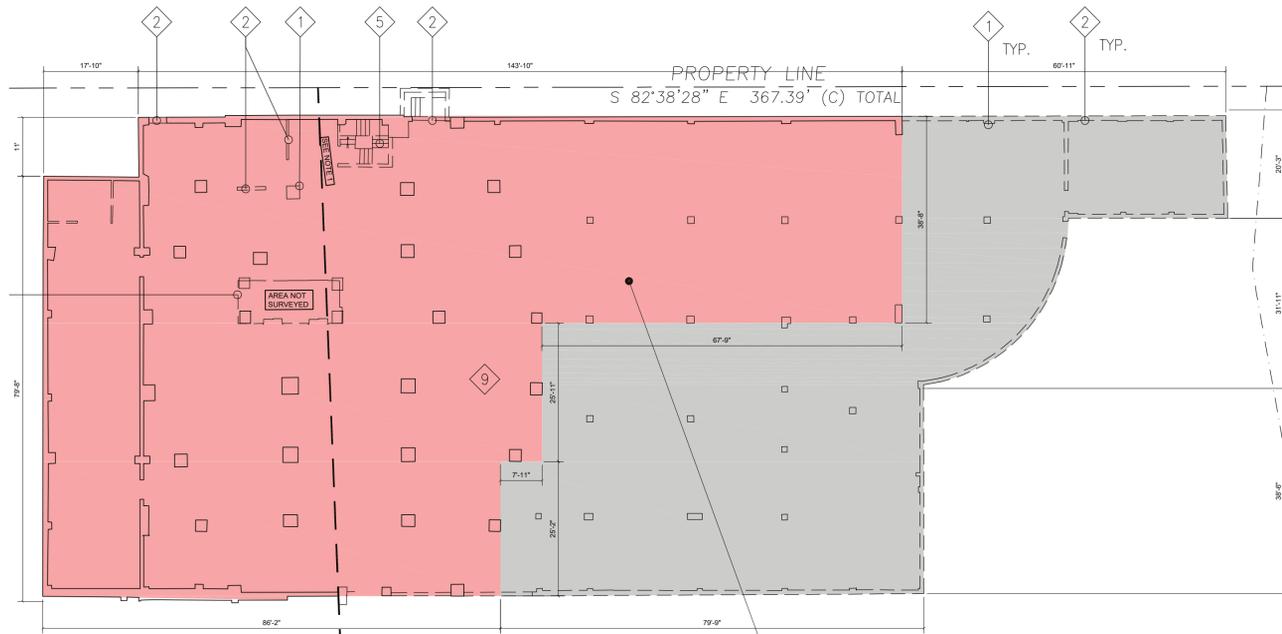
- SELECTIVE INTERIOR AND EXTERIOR DEMOLITION WORK FOR REPAIRS. ALTERATION LEVEL XXX AND CHANGE OF OCCUPANCY.
- REFER TO HISTORIC PRESERVATION BOARD APPROVAL.
DATE: NOVEMBER 18, 2014
FILE NO.: 7490
CFN: 2015009804 BOOK 29481 PAGE 1042
- REFER TO BOARD OF ADJUSTMENT APPROVAL.
DATE: FEBRUARY 6, 2015
FILE NO.: 3750
CFN: 20150098727 BOOK 29502 PAGE 1302
- EXTENT OF SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS.
 - TYPES OF SELECTIVE DEMOLITION WORK. DEMOLITION REQUIRES THE SELECTIVE REMOVAL AND SUBSEQUENT OFF-SITE DISPOSAL OF THE FOLLOWING PORTIONS OF PARTITIONS AS INDICATED ON DRAWINGS. REMOVAL OF DOORS AND FRAMES INDICATED "REMOVE". REMOVAL OF PLUMBING FIXTURES INDICATED "REMOVE". RELATED WORK SPECIFIED ELSEWHERE.
 - CONDITION OF STRUCTURES. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
 - PARTIAL DEMOLITION AND REMOVAL. ITEMS INDICATED TO BE REMOVED BUT OF SALVAGE VALUE TO CONTRACTOR MAY BE REMOVED FROM STRUCTURE AS WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.
 - STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
 - PROTECTIONS. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED PORTIONS OF BUILDING.
 - ERECT TEMPORARY COVERED PASSAGEWAYS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
 - PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
 - PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY.
 - CONSTRUCT TEMPORARY INSULATED SOLID DUST PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOISY OR EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. EQUIP PARTITIONS WITH DUST PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
 - SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF BUILDING DEMOLITION REQUIRED.
 - REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY THE OWNER. OWNER DOES NOT GUARANTEE THAT EXISTING CONDITIONS ARE THE SAME OF THOSE INDICATED IN THE PROJECT RECORD DOCUMENTS.
 - INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED AND SALVAGED.
 - WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE. BOTH NATURE AND EXTENT OF CONFLICT. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN ACCURATE DETAIL. PENDING RECEIPT OF DIRECTIVE FROM OWNER'S REPRESENTATIVE REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
 - THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA FOR THE DESIGN OF ALL GRAVITY AND LATERAL SHORING REQUIRED, AS INDICATED ON THE DEMO PLANS/DETAILS, AS WELL AS ANY ADDITIONAL SHORING OR BRACING ELEMENTS RELATED TO THE CONTRACTOR'S MEANS AND METHODS TO SAFELY CONDUCT THE DEMOLITION IN THE CONTRACT DOCUMENTS.
 - VERIFY THAT HAZARDOUS MATERIALS HAVE BEEN REMEDIATED BEFORE PROCEEDING WITH BUILDING DEMOLITION OPERATIONS.
 - DISPOSAL OF DEMOLISHED MATERIALS. REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS. RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE.
 - IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
 - BURNING OFF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
 - CLEAN-UP AND REPAIR. UPON COMPLETION OF DEMOLITION WORK, REMOVE TOOLS, EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
 - REMOVE ALL NON LOAD BEARING GLAZING ASSEMBLIES.
 - REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL LOAD BEARING MULLIONS IN GLAZING ASSEMBLIES. STRUCTURAL MULLIONS TO REMAIN IN THESE LOCATIONS.
 - ALL DEMOLITION WORK SHALL COMPLY WITH THE CURRENT FLORIDA FIRE PREVENTION CODE FPPC 2014 (5TH EDITION) 2012 NFPA-101 THE LIFE SAFETY CODE (2012 EDITION WITH FLORIDA AMENDMENTS)
 - REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED. RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT CONSTRUCTION OR SURFACES SOLED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
 - THE CONTRACTOR SHALL INVESTIGATE AND VERIFY OR HAVE VERIFIED THE LOCATION OF UTILITIES BEFORE STARTING WORK. HE SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES WILL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE IN ORDER THAT HE MAY VERIFY THE ELEVATION AND LOCATION OF EXISTING CONDITIONS.
 - IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY, UTILITY COMPANIES AND ENGINEER 48 HOURS PRIOR TO ANY WORK AT SITE. WATER MAIN TIE-INS REQUIRING WATER SERVICE TO BE SHUT OFF WILL BE MADE DURING TIMES SPECIFIED BY MIAMI BEACH CITY UTILITIES.
 - CONTACT TECO-PEOPLES GAS COMPANY FOR ALL WORK TO BE PERFORMED ON UTILITY GAS LINES.
 - UTILITIES ON PLAN ARE BASED ON SURVEY AND VISUAL INSPECTION. CONTRACTOR SHALL FIELD VERIFY THIS INFORMATION, AND INFORM THE ENGINEER OF ANY DISCREPANCY OR UNPRESSED CONDITION THAT MAY APPEAR BEFORE COMMENCEMENT.
 - REFER TO STRUCTURAL DEMOLITION DRAWINGS FOR RELATED WORK.
 - DEMOLITION SHALL INCLUDE THE REMOVAL OF ALL EXISTING STRUCTURES AND FOUNDATIONS WITHIN THE LIMITS OF THE PROPERTY LINES AS DELINEATED ON PLANS.
 - ALL UTILITIES INCLUDING WATER, SEWER, ELECTRIC, GAS, AND DRAINAGE SHALL BE CUT AND PLUGGED AND REMOVED ENTIRELY FROM WITHIN THE PROPERTY LINES AS DELINEATED ON PLANS.
 - PROPER COORDINATION WITH P & I SHALL OCCUR PRIOR TO THE DECOMMISSIONING OF THE UNDERGROUND ELECTRIC VAULT.
 - REFER TO PLANS & ELEVATIONS.

DEMOLITION NOTES

- REMOVE EXISTING CONCRETE COLUMNS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- PARTIALLY REMOVE EXISTING MASONRY WALL. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK. IF STRUCTURAL ENGINEER DETERMINES WALL IS LOAD BEARING, PROVIDE SHORING.
- REMOVE EXISTING DOOR.
- REMOVE EXISTING FENESTRATION - GLASS WINDOW & STOREFRONT.
- REMOVE EXISTING STAIR. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE EXISTING ELEVATOR HOIST WAY WALL ENCLOSURE, ELEVATOR CAB, DOORS, AND ALL ASSOCIATED HOISTING EQUIPMENT. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE CANOPY & SUPPORTING STRUCTURE IN ITS ENTIRETY.
- REMOVE EXISTING PLANTERS.
- PARTIALLY REMOVE EXISTING CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE EXISTING CONCRETE WALKS AND LANDSCAPING.
- REMOVE EXISTING CONCRETE DRIVE.
- REMOVE EXISTING ROOFING SYSTEMS DOWN TO STRUCTURAL SUBSTRATE.
- REMOVE EXISTING GREEN CLADDING TO EXPOSE CONCEALED PIPE COLLARNS.
- REMOVE STONE VENEER. RETAIN SAMPLE FOR REPLACEMENT WITH MATCHING ORIGINAL MATERIAL.
- REMOVE FRAMED EYEBROWS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE EXISTING METAL OR CONCRETE GUARDRAIL SYSTEM.
- REMOVE DOOR AND FRAME TO EXISTING FPL VAULT. VAULT TO BE ABANDONED AFTER CONSTRUCTION.
- REMOVE EXISTING MASONRY VENT SCREEN.
- REMOVE EXISTING MASONRY BALUSTRADE.
- REMOVE EXISTING PIPE COLUMNS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE EXISTING ROOF STRUCTURE. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
- REMOVE EXISTING STRUCTURAL FRAME OF ORANGERY ON EAST SOUTH WALLS & ROOF ONLY. REFER TO STRUCTURAL DRAWINGS.
- STRUCTURAL FRAME OF ORANGERY NORTH FACADE TO REMAIN. MASONRY WALL AND ASSEMBLY TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS.
- REMOVE EXISTING GATE, FENCE OR PERIMETER WALL.
- REMOVE EXISTING CONCRETE CURB.
- REMOVE EXISTING CONCRETE RAMP.
- EXISTING WINDOW OPENING TO BE ENLARGED BY REMOVAL OF SILL TO SLAB LEVEL. TYPICAL ON NORTH & SOUTH ENDS OF CENTER BAY OF EAST FACADE ONLY.
- REMOVE EXISTING BEAMS. SEE STRUCTURAL DWGS.
- REMOVE EXISTING MECHANICAL VENTS & LOUVERS.
- REMOVE EXISTING SIGN PILLAR. RETAIN FOR FUTURE REFERENCE.
- REMOVE EXISTING TOWER ROOF METAL ACCESS STAIRS.

ELECTRICAL DEMOLITION GENERAL NOTES

- ALL ELECTRICAL HAS BEEN REMOVED UNDER SEPARATE PERMIT. IN THE EVENT OF MISCELLANEOUS ELECTRICAL WORK PLEASE SEE NOTES BELOW.
- PRIOR TO COMMENCING WORK, CONTRACTOR SHALL DISCONNECT POWER IN THE DEMOLITION AREA INCLUDING POWER FOR THE LOW-VOLTAGE SYSTEMS SUCH AS FIRE ALARM, CONTROL WIRING, ETC.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING DEMOLITION WORK. CONTRACTOR SHALL VERIFY IN FIELD ROUTING OF ALL EXISTING FEEDERS PRIOR TO DEMOLITION.
- CONTRACTOR SHALL PROVIDE TEMPORARY POWER DURING DEMOLITION WORK AND CONSTRUCTION SCOPE OF WORK.
- ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE COORDINATED WITH OTHER TRADES.
- THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE PROTECTION OF PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISCONNECTION OF UTILITY SERVICES.



DEMOLITION LEGEND

- LIMITS OF NEW DEMOLITION
- EXISTING WALLS TO BE DEMOLISHED
- LIMITS OF APPROVED DEMOLITION

THE ARCHITECT'S DEMOLITION PLAN SHALL BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERING DOCUMENTS BY:
DESIMONE CONSULTING ENGINEERS & ASSOCIATES, L.P.
800 BRICKELL AVE. MIAMI FLORIDA 33131
305 441 0755

PREVIOUSLY APPROVED DEMOLITION - BASEMENT LEVEL

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RESIDENCES**

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(305) 573-1158

Revisions

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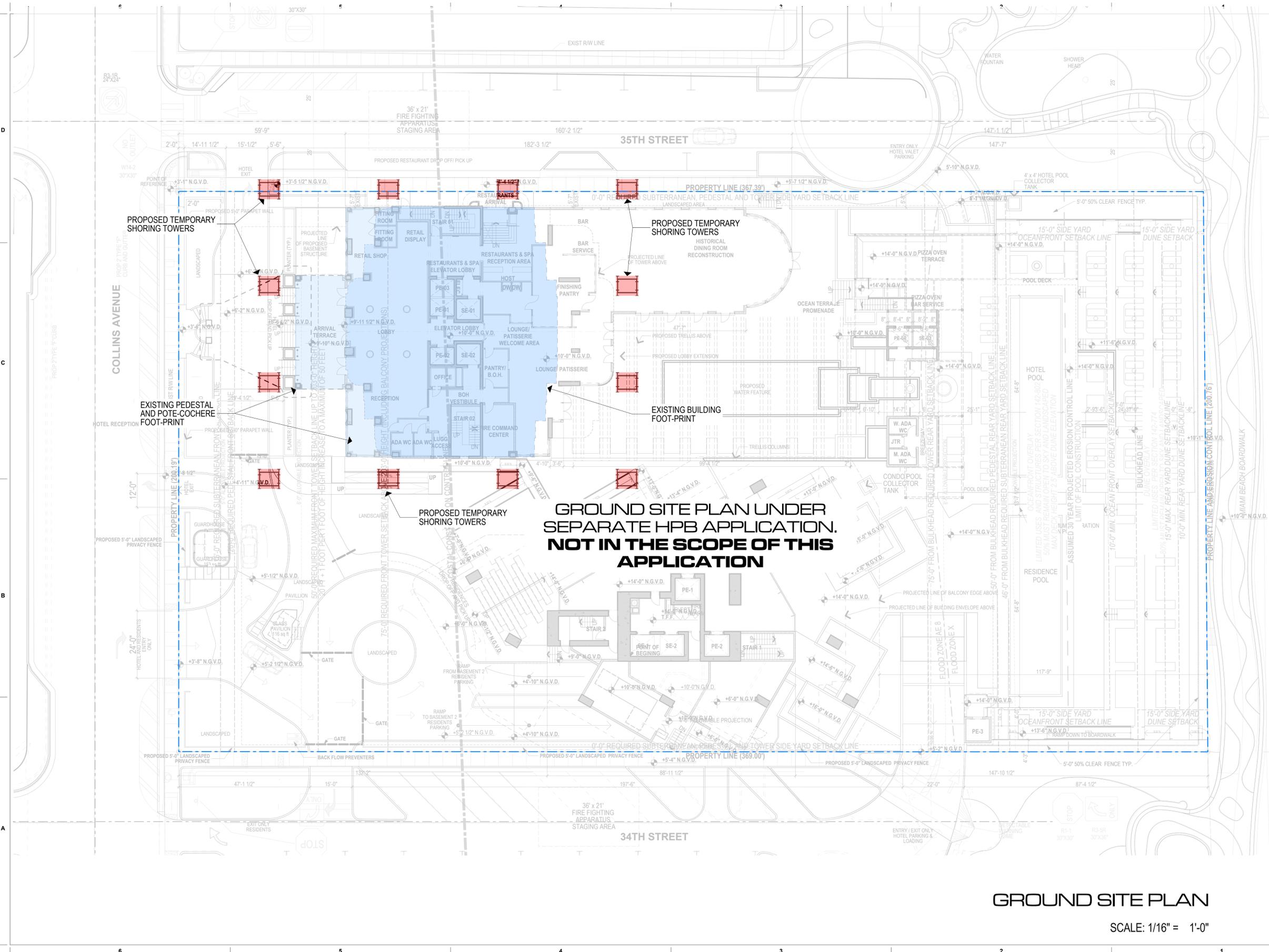
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**GROUND SITE PLAN UNDER
 SEPARATE HPB APPLICATION.
 NOT IN THE SCOPE OF THIS
 APPLICATION**

GROUND SITE PLAN

SCALE: 1/16" = 1'-0"

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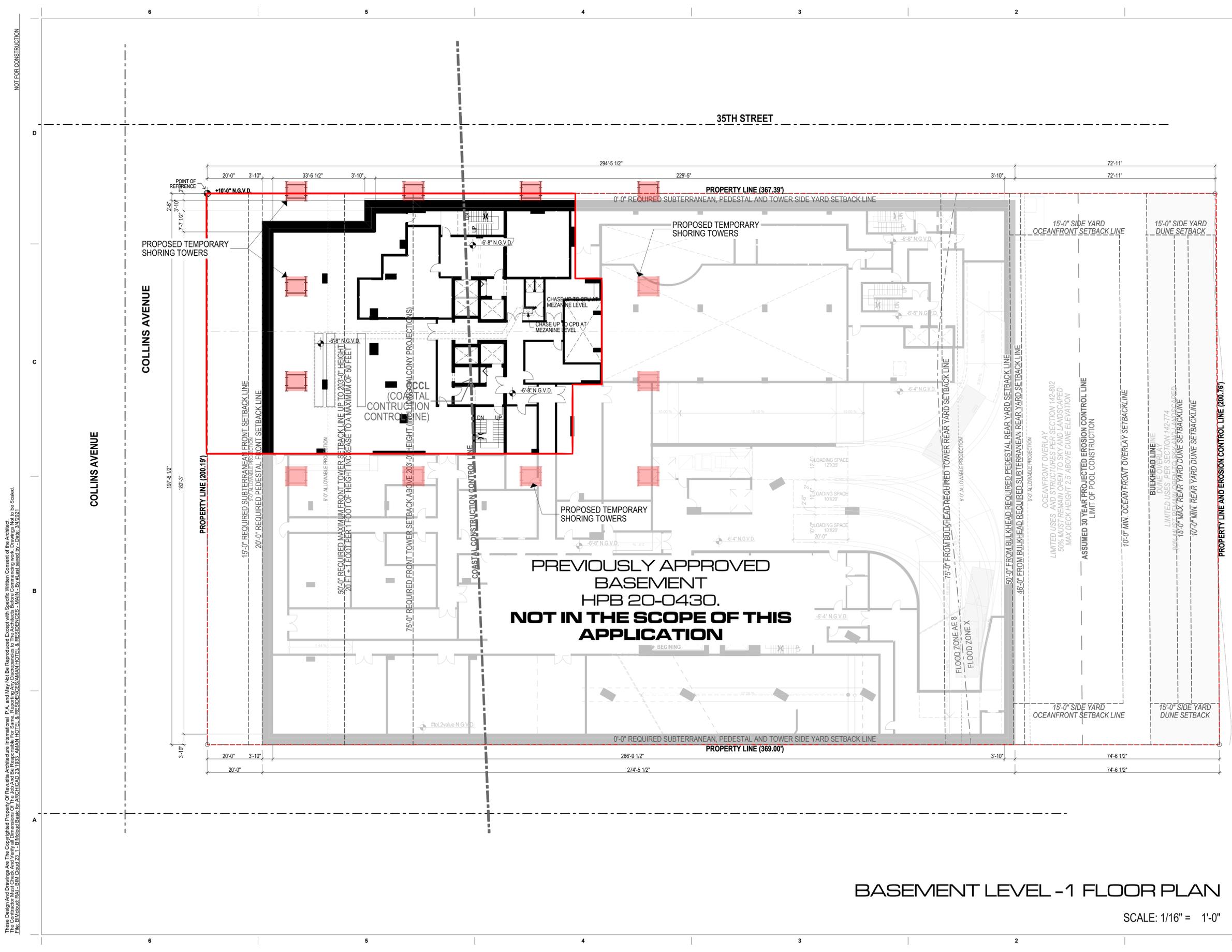


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BASEMENT LEVEL -1 FLOOR PLAN

SCALE: 1/16" = 1'-0"

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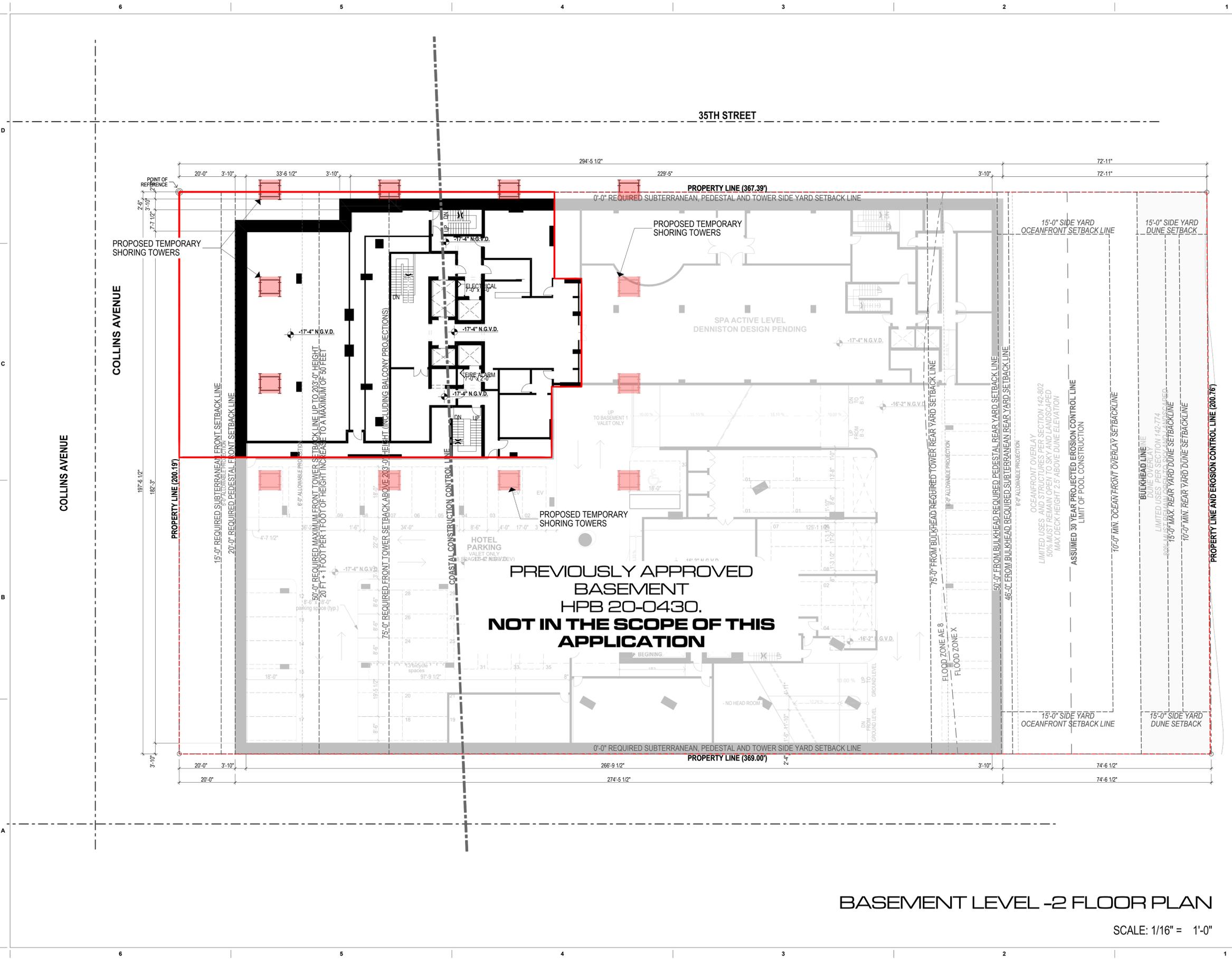
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BASEMENT LEVEL -2 FLOOR PLAN

SCALE: 1/16" = 1'-0"

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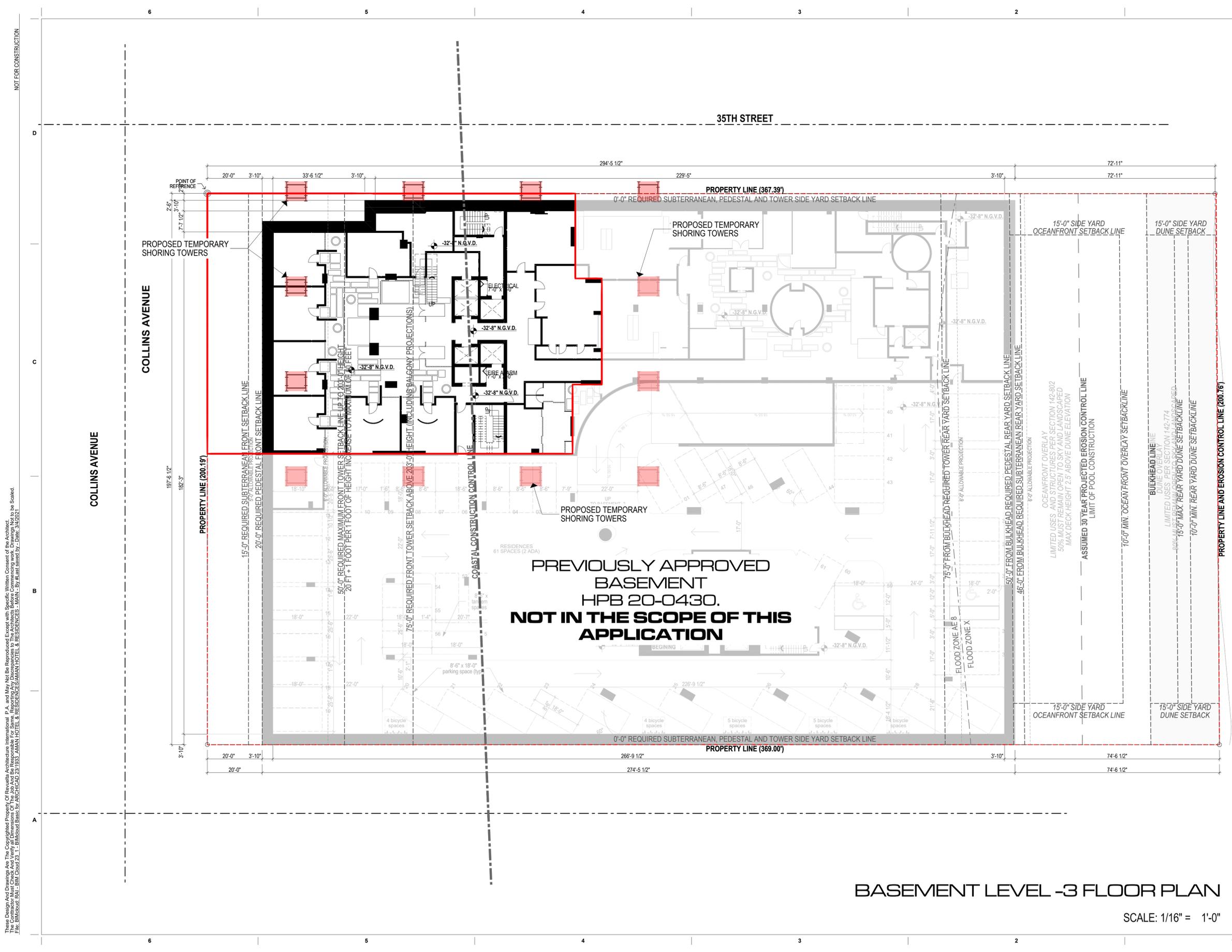
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 PLAN
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BASEMENT LEVEL -3 FLOOR PLAN
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