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FINAL SUBMITTAL 03-08-2021
APPLICATION HPB ORDER No. 21-0451

REVISION TO:
HPB ORDER No. 7490

PROPOSED SCOPE UNDER THIS REVISION:

- BASEMENT LEVELS BELOW HISTORIC VERSAILLES STUCTURE
- SHORING AND SEQUENCING OF CONSTRUCTION

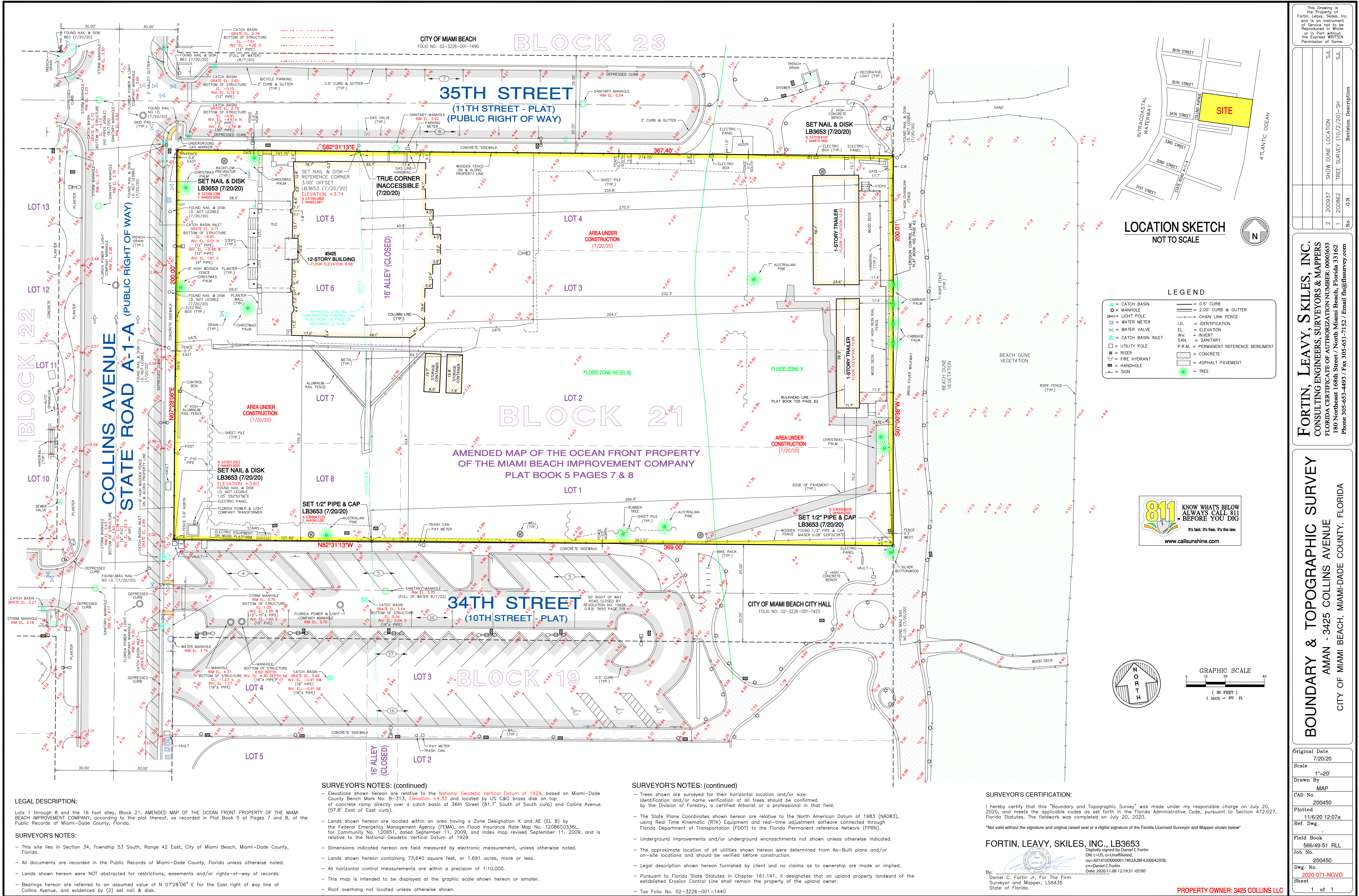


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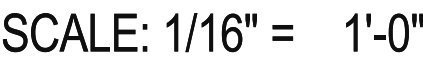
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Sheet Name
LOCATION MAP

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CURRENT CONDITION
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PHOTOS - CURRENT CONDITION - EXTERIOR

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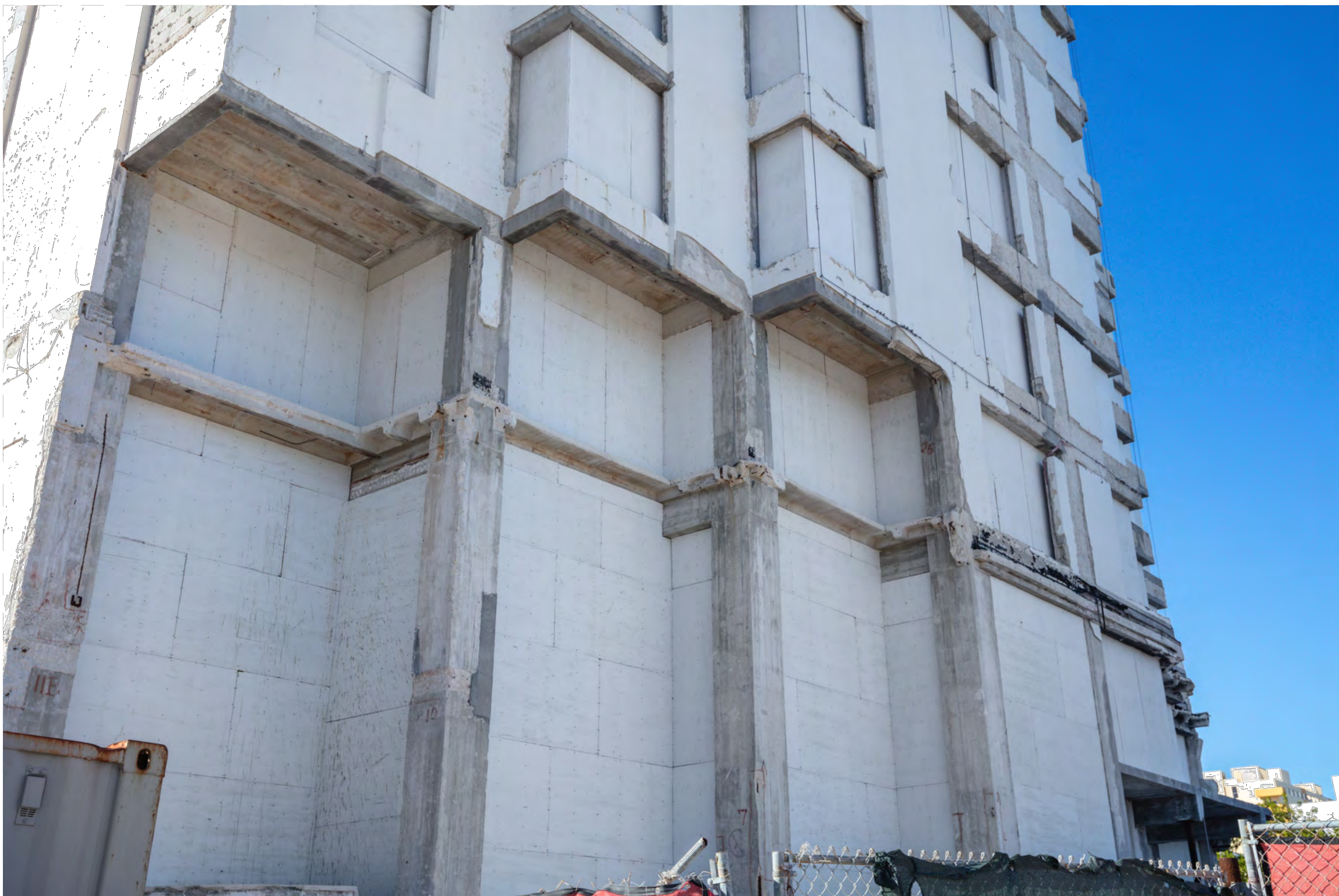
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PHOTOGRAPHS

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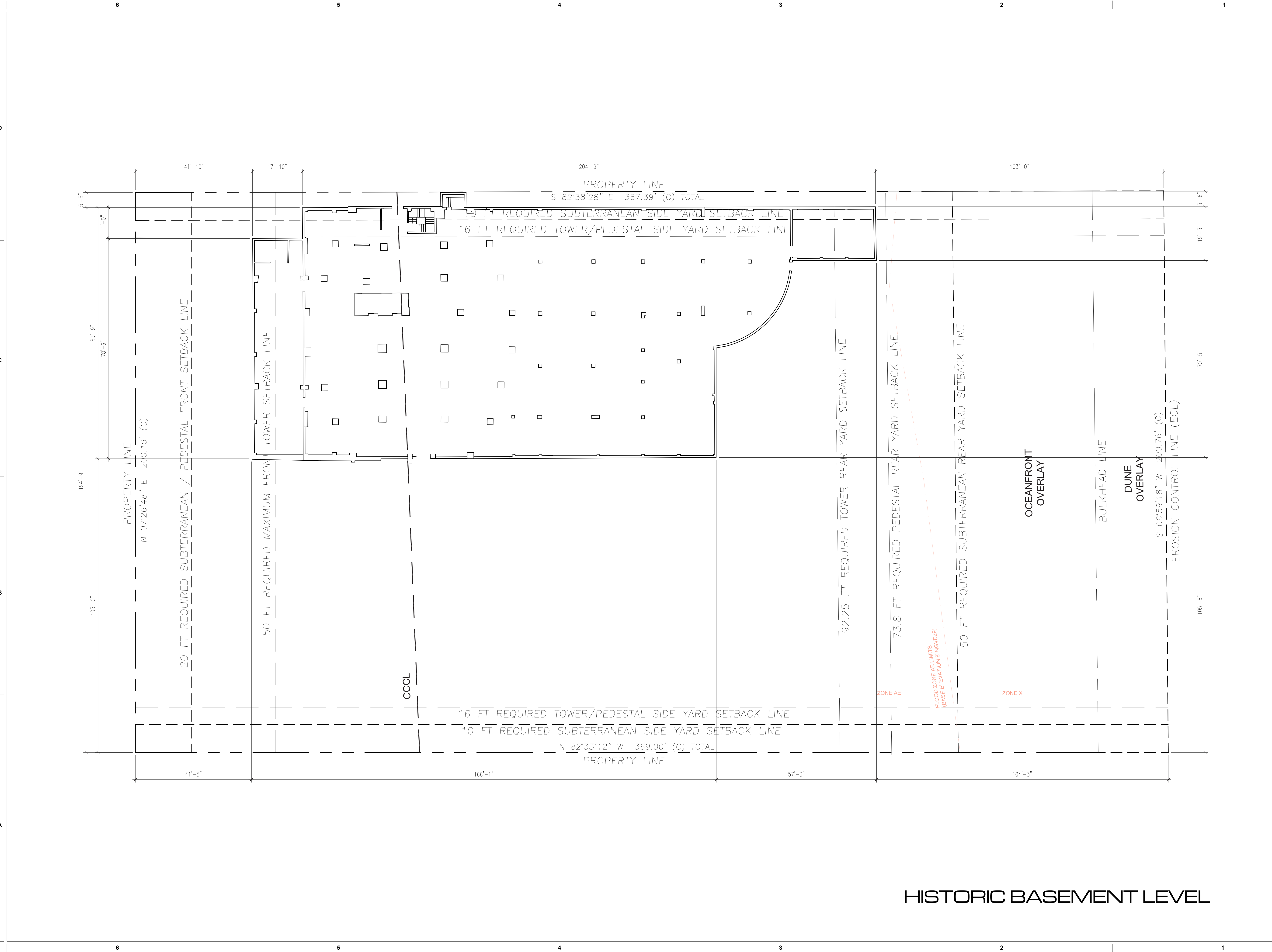
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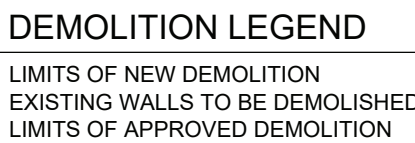
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Sheet Name
HISTORIC BASEMENT LEVEL

Sheet No.

A-009

PREVIOUSLY APPROVED DEMOLITION - BASEMENT LEVEL



THE ARCHITECT'S DEMOLITION PLAN SHALL BE READ IN
CONJUNCTION WITH THE STRUCTURAL ENGINEERING
DOCUMENTS BY:
DESIMONE CONSULTING ENGINEERS & ASSOCIATES
800 BRICKELL AVE. MIAMI FLORIDA 33131
305 441 0755

SELECTIVE INTERIOR AND EXTERIOR DEMOLITION WORK FOR REPAIRS,
ALTERATION LEVEL XXX AND CHANGE OF OCCUPANCY.

REFER TO HISTORIC PRESERVATION BOARD APPROVAL
DATE: NOVEMBER 18, 2014
FILE NO: 7490
CFN: 20150058084 BOOK 29481 PAGE 1042

REFER TO BOARD OF ADJUSTMENT APPROVAL
DATE: FEBRUARY 6, 2015
FILE NO: 3750
CFN: 20150098727 BOOK 29502 PAGE 1302

1. DURING SELECTIVE DEMOLITION WORK IS INDICATED ON DRAWINGS.
2. TYPES OF SELECTIVE DEMOLITION WORK: DEMOLITION REQUIRED FOR THE SELECTIVE REMOVAL AND SUBSEQUENT OFFSITE DISPOSAL OF THE FOLLOWING:
 - a. EXISTING WALLS AND PARTIAL WALLS TO BE REMOVED FROM DOORS AND FRAMES INCLUDING "REMOVE"
 - b. REMOVAL OF PLUMBING AND ELECTRICAL MATERIALSRELATED WORK SPECIFIED ELSEWHERE:
3. CONDITION OF STRUCTURES: OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
4. PARTIAL DEMOLITION AND REMOVE: ITEMS INDICATED TO BE REMOVED BUT NOT FULLY DEMOLISHED. THESE ITEMS ARE TO BE REMOVED AS PART OF THE WORK PROGRESSES. TRANSPORT SALVAGED ITEMS FROM SITE AS THEY ARE REMOVED.
5. STORAGE OR SAVE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED.
6. PROTECTIONS: PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PREVENT ACCESS TO THE PROJECT AREA IN GENERAL. PROTECT FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
7. PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC TO AND FROM OCCUPIED AREAS.
8. ERECT TEMPORARY COVERED PASSAGeways AS REQUIRED BY AUTHORITIES HAVING JURISDICTION PROTECT FROM DAMAGE EXISTING FINISH WORK TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
9. PROTECT FROM DAMAGE EXISTING FINISH WORK THAT IS TO REMAIN IN PLACE AND BECOMES EXPOSED DURING DEMOLITION OPERATIONS.
10. PROTECT FLOORS WITH SUITABLE COVERINGS WHEN NECESSARY.
11. CONSTRUCT TEMPORARY INSULATED SOIL DUST PROOF PARTITIONS WHERE REQUIRED TO SEPARATE AREAS WHERE NOisy OR EXTENSIVE DIRT OR DEBRIS MAY BE RELEASED INTO ADJACENT AREAS WITH DUST PROOF DOORS AND SECURITY LOCKS IF REQUIRED.
12. SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO BE DEMOLISHED.
13. REVIEW PROJECT RECORD DOCUMENTS OF EXISTING CONSTRUCTION PROVIDED BY PROJECT OWNER, OBTAIN OWNER GUARANTEES THAT EXISTING CONDITIONS ARE THE SAME OF THOSE INDICATED IN THE PROJECT RECORD DOCUMENTATION.
14. INVENTORY AND RECORD THE CONDITION OF TERMS TO BE REMOVED AND SALVAGED.
15. WHEN UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS WHICH CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE DISCOVERED, STOP WORK IMMEDIATELY, NOTIFY ARCHITECT AND REPORT IN WRITTEN FORM. SUBMIT REPORT TO OWNER'S REPRESENTATIVE IN WRITTEN FORM. REPAIR OR REPLACE AS REQUIRED. REPAIR OR REPLACE AS REQUIRED. REPRESENTATIVE REARRANGE SELECTIVE DEMOLITION SCHEDULE AS NECESSARY TO CONTINUE OVERALL JOB PROGRESS WITHOUT DELAY.
16. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER LICENSED IN FLORIDA TO DESIGN AND DESIGN ALL GRAVITY AND LATERAL SHORING REQUIRED AS INDICATED ON THE DEMO PLAN/SCHEDULES, AS WELL AS ANY SPECIALTY CRANE LIFTING CAPABILITY. WRITE AND SIGN ALL DEMO ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPLOSIVES TO ORDER THAT IT MAY VERIFY THE ELEVATION AND LOCATION OF EXISTING CONDITIONS.
17. BURNING OFF REMOVED MATERIALS IS NOT PERMITTED ON PROJECT SITE.
18. CLEANUP AND REPAIR UPON COMPLETION OF DEMOLITION WORK. REMOVE TYPICAL EQUIPMENT AND DEMOLISHED MATERIALS FROM SITE. REMOVE PROTECTIONS AND LEAVE INTERIOR AREAS BROOM CLEAN.
19. REMOVE ALL NON LEAD BEARING GLAZING ASSEMBLIES.
20. REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL LOAD BEARING MULLIONS IN GLAZING ASSEMBLIES. STRUCTURAL MULLIONS TO REMAIN IN PLACE.
21. ALL DEMO WORK MUST COMPLY WITH THE CURRENT FLORIDA FIRE PREVENTION CODE FPFC 2014 (8TH EDITION) 2012 NFPA-101 THE LIFE SAFETY CODE 2012 AND WITH ALL APPLICABLE LOCAL ORDINANCES.
22. RETURN DEMO REMOVED PERMITS IN EXCESS OF THAT REQUIRED. RETURN PERMITS TO THE ISSUING AGENCY. RETURN ALL ALLOCATION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. REPAIR ADJACENT EXISTING SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK.
23. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY OR HAVE VERIFIED THE LOCATION OF UTILITIES BEFORE STARTING WORK. HE SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES THAT WILL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE IN ORDER THAT HE MAY VERIFY THE ELEVATION AND LOCATION OF EXISTING CONDITIONS.
24. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY, COUNTY AND COMMUNITY ENGINEER 48 HOURS PRIOR TO ANY WORK AT THE SITE. AFTER THE CITY, COUNTY AND COMMUNITY ENGINEER HAS BEEN NOTIFIED THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITIES TO BE MAINTAINED.

1	REMOVE EXISTING CONCRETE COLUMNS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
2	PARTIALLY REMOVE EXISTING MASONRY WALL. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK. IF STRUCTURAL ENGINEER DETERMINES WALL IS LOAD BEARING, PROVIDE SHORING.
3	REMOVE EXISTING DOOR.
4	REMOVE EXISTING PENETRATION - GLASS WINDOW & STOREFRONT.
5	REMOVE EXISTING STAIR. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
6	REMOVE EXISTING ELEVATOR HOIST WAY WALL ENCLOSURE, ELEVATOR CAB, AND HOISTWAY GUIDE RAIL AND COUNTERWEIGHT EQUIPMENT. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
7	REMOVE CANOPY & SUPPORTING STRUCTURE IN ITS ENTIRETY
8	REMOVE EXISTING PLANTERS.
9	PARTIALLY REMOVE EXISTING CONCRETE SLAB. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
10	REMOVE EXISTING CONCRETE WALKS AND LANDSCAPING.
11	REMOVE EXISTING CONCRETE DRIVE.
12	REMOVE EXISTING ROOFING SYSTEMS DOWN TO STRUCTURAL SUBSTRATE.
13	REMOVE EXISTING GREEN GLAZING TO EXPOSE CONCEALED PIPE COLUMNS
14	REMOVE STONE VENEER. RETAIN SAMPLE FOR REPLACEMENT WITH MATCHING ORIGINAL MATERIAL.
15	REMOVE FRAMED EYEBROWS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
16	REMOVE EXISTING METAL OR CONCRETE GROUND SYSTEM.
17	REMOVE DOOR AND FRAME TO EXISTING FLAT VAULT; VAULT TO BE ABANDONED AFTER CONSTRUCTION.
18	REMOVE EXISTING MASONRY VENT SCREEN.
19	REMOVE EXISTING MASONRY BALUSTRADE.
20	REMOVE EXISTING PIPE COLLARS. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
21	REMOVE EXISTING ROOF STRUCTURE. REFER TO STRUCTURAL DRAWINGS TO COORDINATE WORK.
22	REMOVE EXISTING STRUCTURAL FRAME OF ORANGERY ON EAST, SOUTH WALLS & ROOF ONLY. REFER TO STRUCTURAL DRAWINGS.
23	STRUCTURAL FRAME OF ORANGERY NORTH FACADE TO REMAIN. MASONRY WALL AND ROOF TO BE REMOVED. REFER TO STRUCTURAL DRAWINGS.
24	REMOVE EXISTING GATE, FENCE OR PERIMETER WALL.
25	REMOVE EXISTING CONCRETE CURB.
26	REMOVE EXISTING CONCRETE RAMP.
27	EXISTING WINDOW OPENING TO BE ENLARGED BY REMOVAL OF SILL TO SLAB LEVEL. TYPICAL ON NORTH & SOUTH ENDS OF CENTER BAY OF EAST FACADE ONLY.
28	REMOVE EXISTING BEAMS. SEE STRUCTURAL DWGS.
29	REMOVE EXISTING MECHANICAL VENTS & LOUVERS.
30	REMOVE EXISTING SIGN & PILLAR. RETAIN FOR FUTURE REFERENCE.
31	REMOVE EXISTING TOWER ROOF METAL ACCESS STAIRS.

1. ALL ELECTRICAL HAS BEEN REMOVED UNDER SEPARATE PERMIT. IN THE EVENT OF MISCELLANEOUS ELECTRICAL WORK PLEASE SEE NOTES BELOW.
2. PRIOR TO COMMENCING WORK, CONTRACTOR SHALL DISCONNECT POWER IN THE DEMOLITION AREA INCLUDING POWER FOR THE LOW-VOLTAGE SYSTEMS SUCH AS FIRE ALARM, ELEVATOR, ETC.
3. CONTRACTOR SHALL EXERCISE EXTREME CAUTION DURING DEMOLITION WORK. CONTRACTOR SHALL VERIFY IF ROUTING OF ALL EXISTING FEEDERS PRIOR TO DEMOLITION.
4. CONTRACTOR SHALL PROVIDE TEMPORARY POWER DURING DEMOLITION WORK AND CONSTRUCTION SCOPES OF WORK.
5. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE COORDINATED WITH OTHER TRADES.
6. THE DEMOLITION PROCEDURES SHALL PROVIDE FOR SAFE CONDUCT OF THE WORK. CONTRACTOR PERSONNEL, CAREFUL REMOVAL AND DISPOSITION OF MATERIALS SPECIFIED TO BE SALVAGED, PROTECTION OF PROPERTY TO REMAIN UNDISTURBED, COORDINATION WITH OTHER WORK IN PROGRESS, AND TIMELY DISSECTION OF

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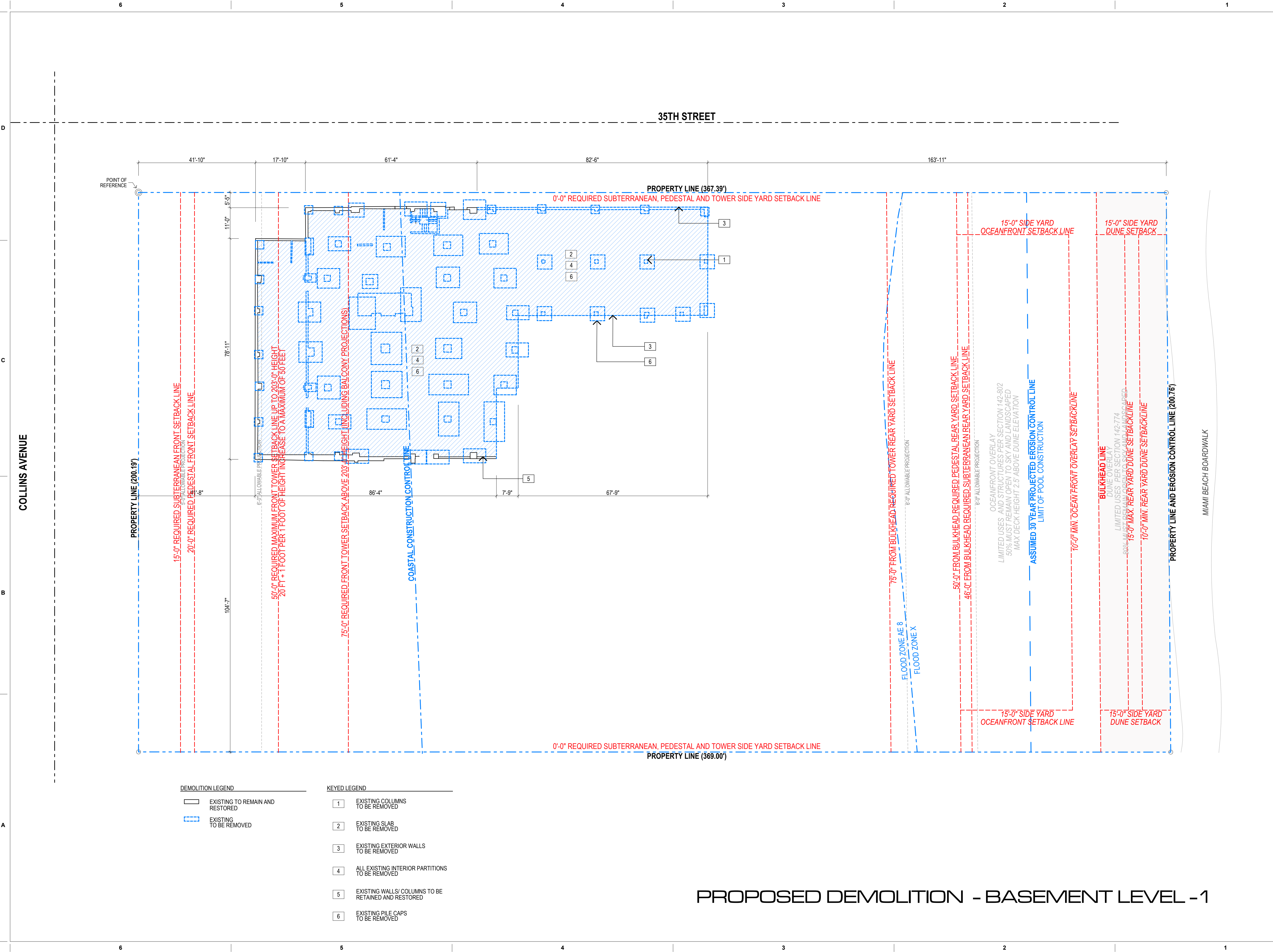
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DEMOLITION - BASEMENT

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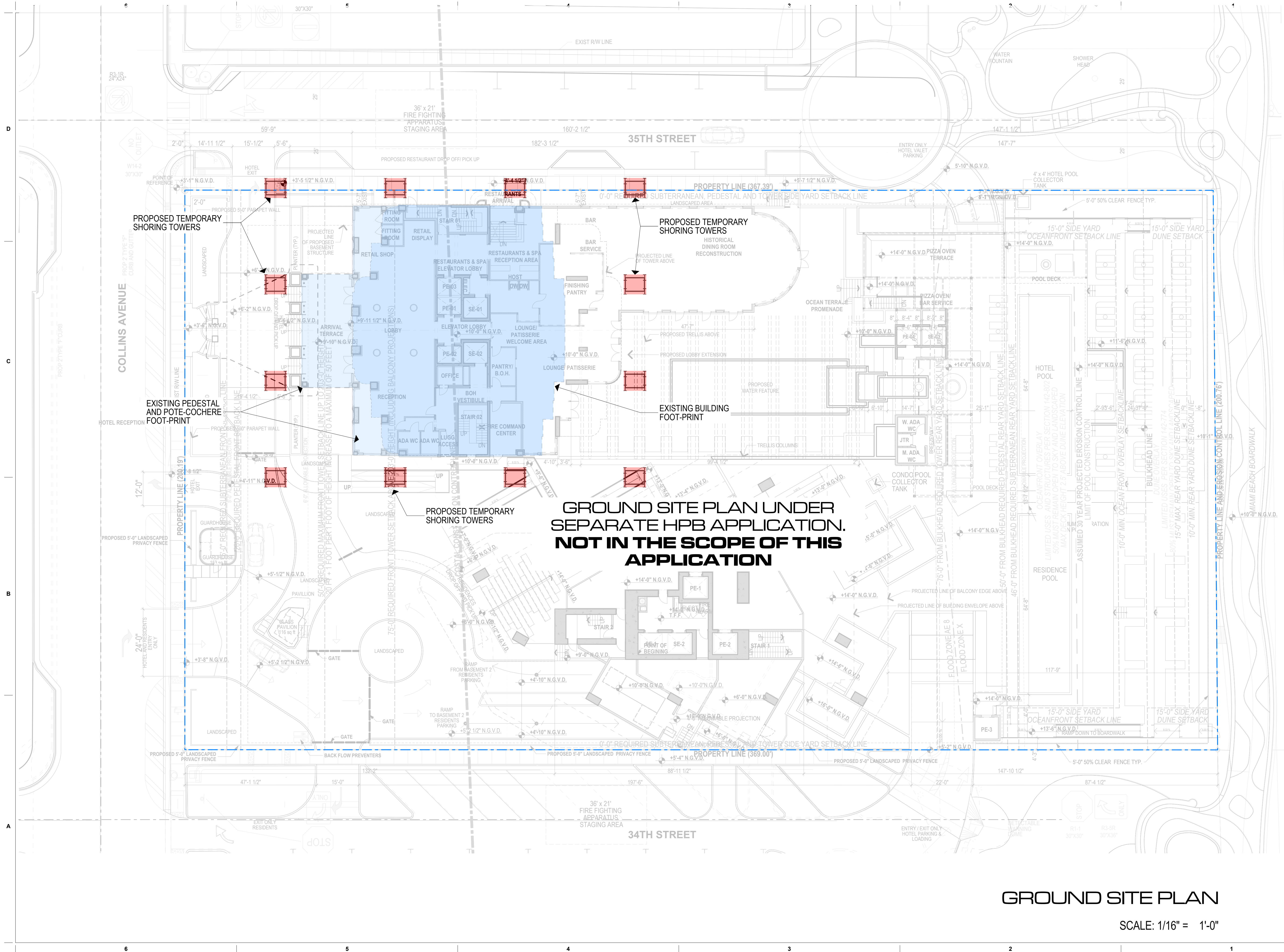


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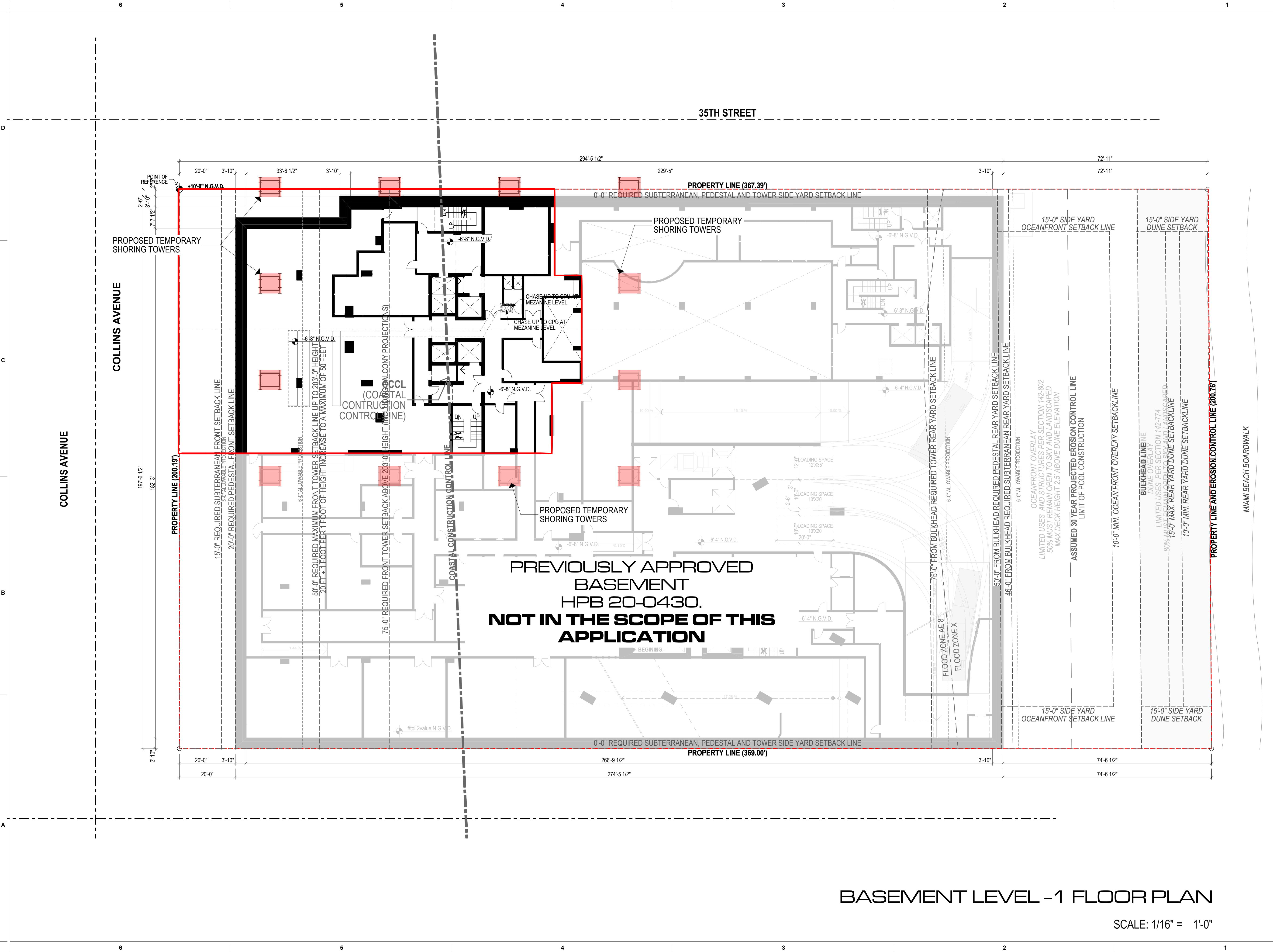
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PROPOSED DEMOLITION -
BASEMENT LEVEL -1
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BASEMENT LEVEL -1 FLOOR PLAN

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Sheet Name

BASEMENT LEVEL -1 FLOOR

PLAN

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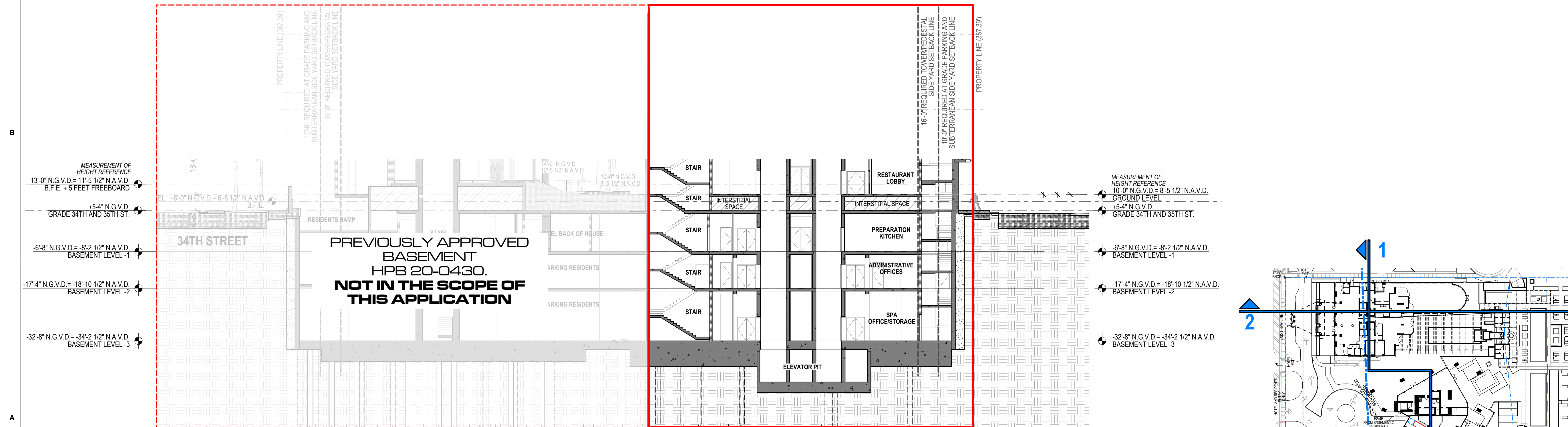
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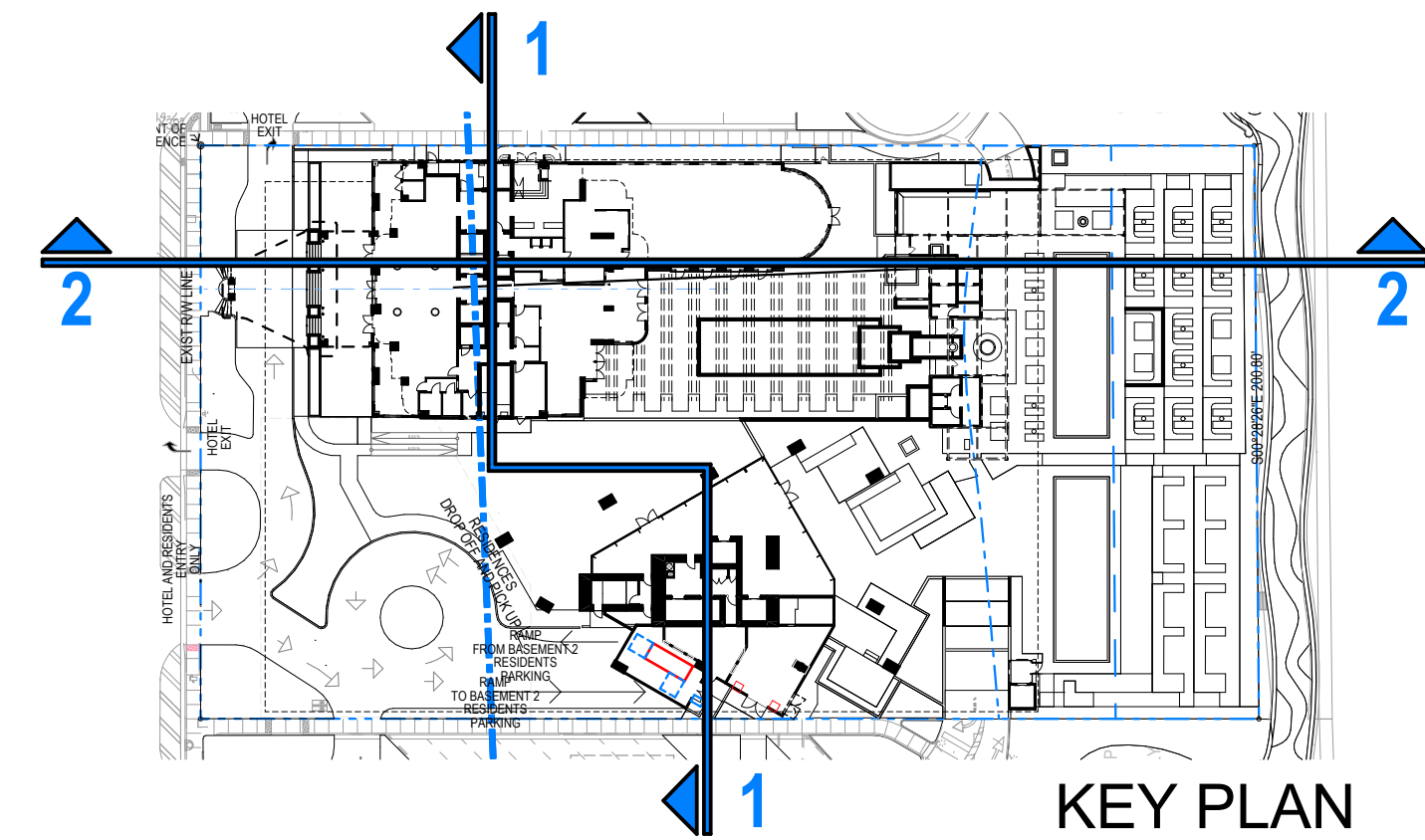
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1 PARTIAL TRANSVERSAL SECTION SOUTH/NORTH LOOKING WEST
SCALE: 1/16" = 1'-0" 0 8' 16' 32'



KEY PLAN

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