

420 LINCOLN ROAD STE 600 | MIAMI BEACH, FL 33139

T.786.246.4857 | F.786.768.2537 |
WWW.URBANROBOTASSOCIATES.COM

URBAN ROBOT ASSOCIATES

SOUTHGATE TOWERS

910 WEST AVE :: MIAMI BEACH, FL 33139

SHEET INDEX:

G-01	COVER SHEET	01/25/21
G-01	SURVEY	01/25/21
G-02	SURVEY	01/25/21
G-03	SURVEY	01/25/21
G-04	ZONING INFORMATION	01/25/21
G-05	CONTEXT LOCATION PLAN	01/25/21
G-06A	SITE PLAN A	01/25/21
G-06B	SITE PLAN B	01/25/21
G-07	RETAIL SIGNAGE PLAN	01/25/21
G-08	PHOTOGRAPHS OF EXISTING CONDITIONS	01/25/21
G-09	CONTEXT PHOTOGRAPHS	01/25/21
G-10	CONTEXT PHOTOGRAPHS	01/25/21
G-11	CONTEXT PHOTOGRAPHS	01/25/21
G-12	CONTEXT PHOTOGRAPHS	01/25/21
A-01	ENTRY SIGN PLAN	01/25/21
A-02	EXISTING SIGN	01/25/21
A-03	PROPOSED ENTRY SIGN ELEVATION	01/25/21
A-03a	PROPOSED ENTRY SIGN DETAILS	01/25/21
A-04	NORTH ELEVATION	01/25/21
A-05	RETAIL SIGNAGE	01/25/21
A-05a	RETAIL SIGNAGE DETAILS	01/25/21
A-06	NORTH ELEVATION - GREENWALL	01/25/21
A-07	NORTH ELEVATION - WATERFRONT RESTAURANT	01/25/21
A-08	DEMOLITION PLAN	01/25/21
A-09	WATERFRONT RESTAURANT FLOOR PLAN	01/25/21
A-10	WATERFRONT RESTAURANT RCP	01/25/21
A-11	WATERFRONT RESTAURANT ELEVATIONS	01/25/21
A-12	WATERFRONT RESTAURANT ELEVATIONS	01/25/21
A-14	SECTION 10th STREET	01/25/21
A-15	SECTION BAYWALK	01/25/21
L-01	LANDSCAPE PLAN	01/25/21
L-0X	LIGHTING PLAN	01/25/21
L-02	PLANTING PALETTE	01/25/21
L-03	HARDSCAPE PLAN	01/25/21
L-05	RENDERINGS	01/25/21

SCOPE OF WORK :

- ENTRY SIGNAGE
- RETAIL SIGNAGE
- FACADE IMPROVEMENTS, GREEN WALL

REVISIONS

No.	DESCRIPTION	DATE
-----	-------------	------

SUBMITTAL:

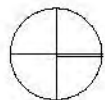
FINAL SUBMITTAL

DATE:

JANUARY 25, 2021

COVER SHEET

G-01



SCALE: 1" = 500'



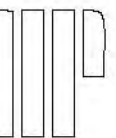
CONTEXT LOCATION PLAN

G-05

910 WEST AVENUE | SGT
DRB

01/25/21

URBAN ROBOT © 2021





1. ENTRY SIGN. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



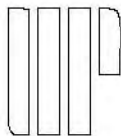
2. RETAIL SIGNAGE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

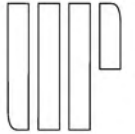
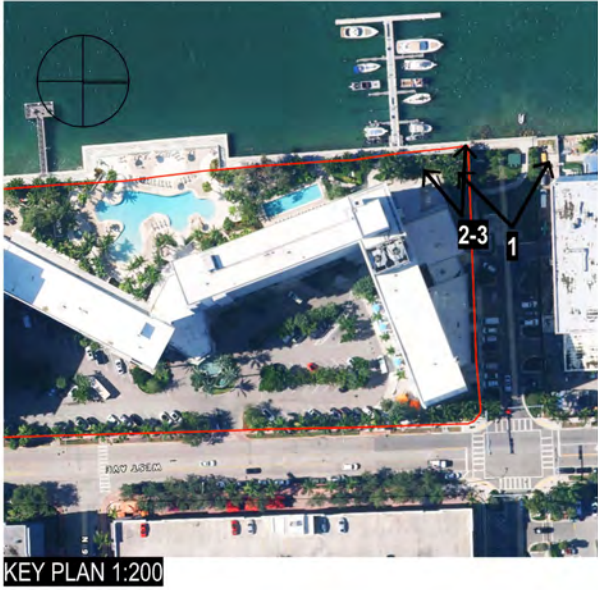


3. WATERFRONT RESTAURANT . PHOTOGRAPH TAKEN ON JULY 8TH, 2020



4. WATERFRONT RESTAURANT. PHOTOGRAPH TAKEN ON JULY 8TH, 2020







1. WEST AVE AND 10TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



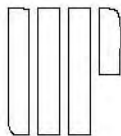
2. RETAIL ACROSS WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



3. WEST AVE AND 9TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



4. EAST FACADE ALONG WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

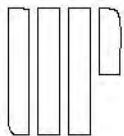


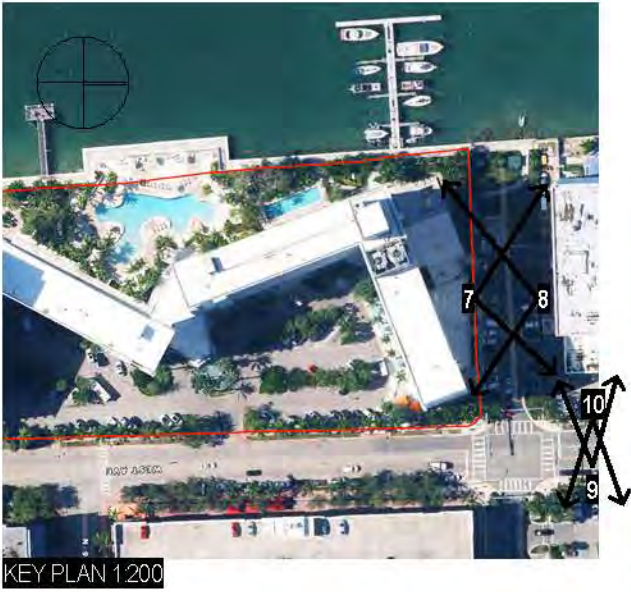


5. PARK AT 10TH STREET END LOOKING EAST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



6. PARK AT 10TH STREET END LOOKING WEST. PHOTOGRAPH TAKEN ON JULY 8TH, 2020





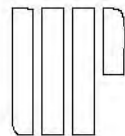
7. NEIGHBOR ACROSS 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020

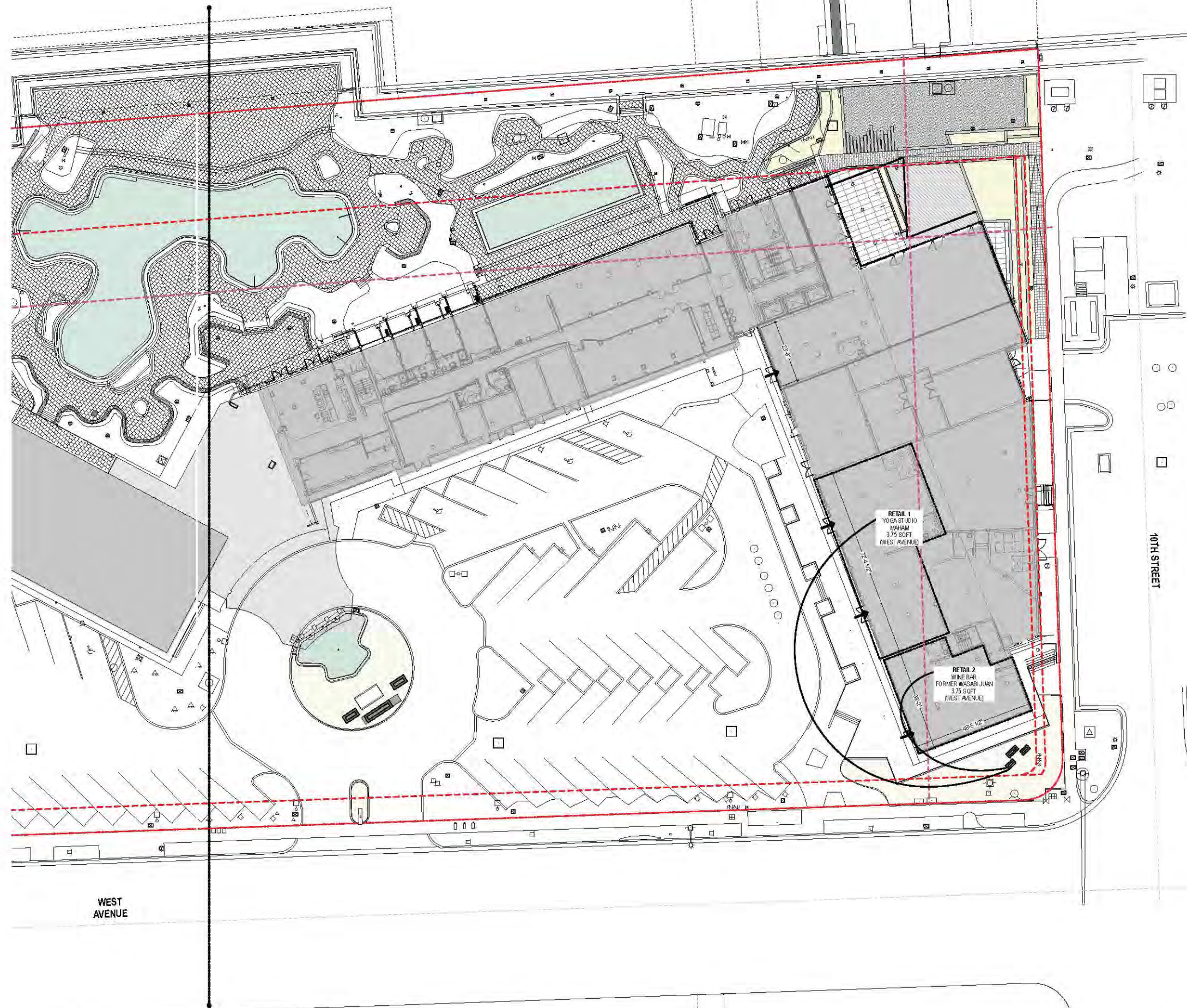
8. NORTH FACADE ALONG 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



9. NEIGHBOR ACROSS 10TH ST ALONG WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

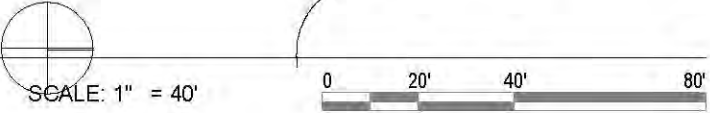
10. WHOLEFOODS ACROSS WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

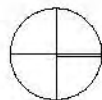
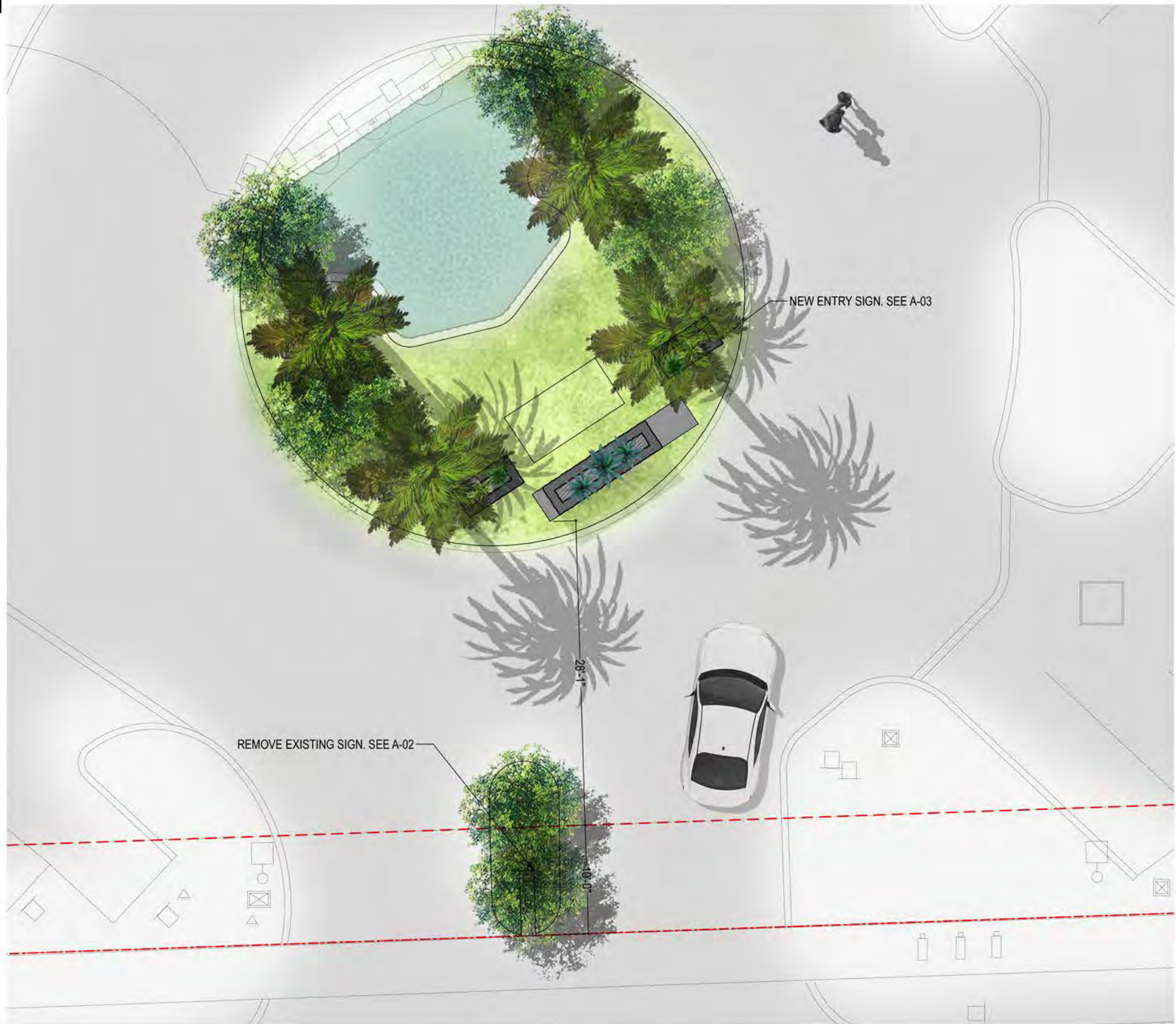


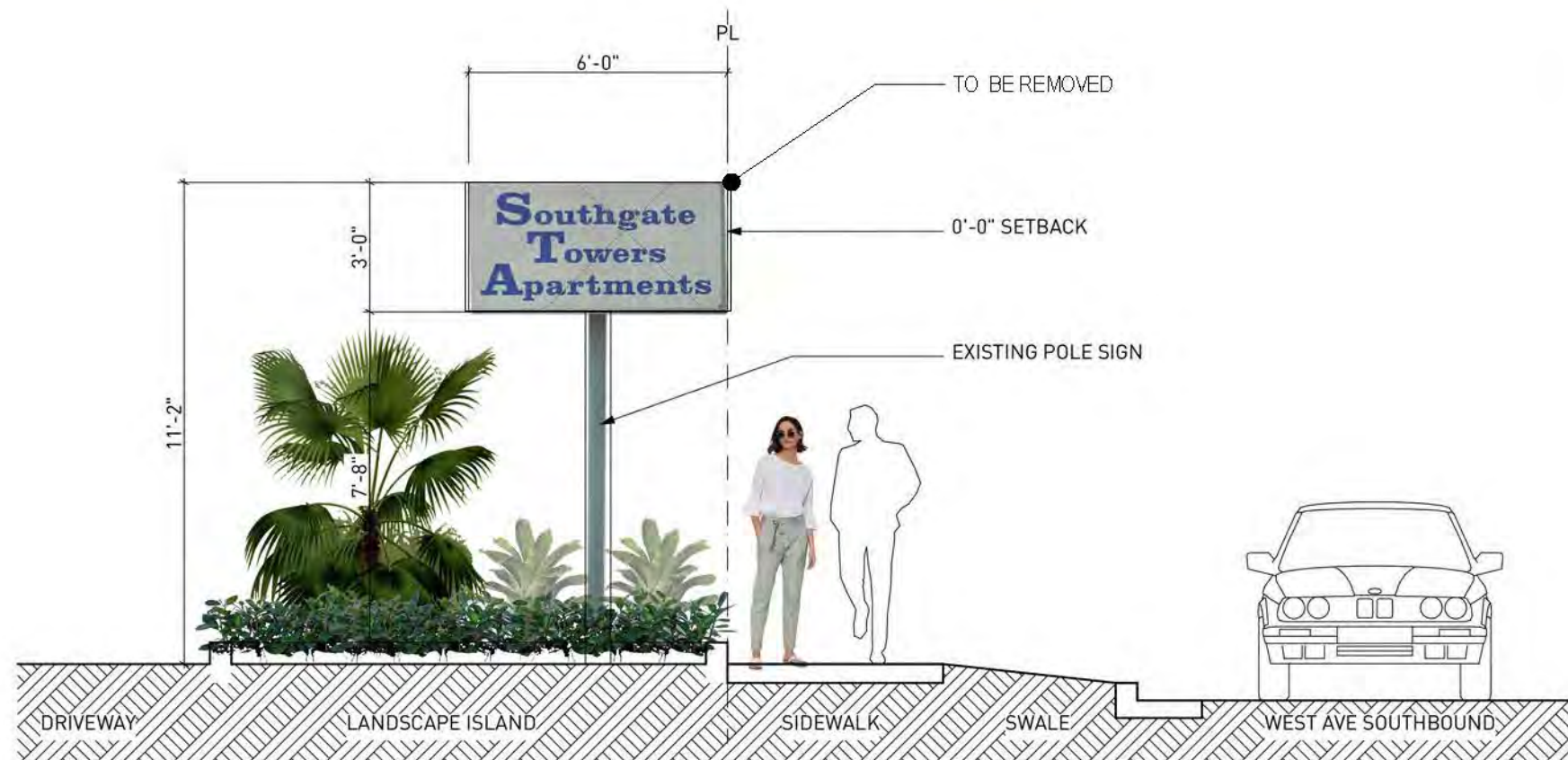
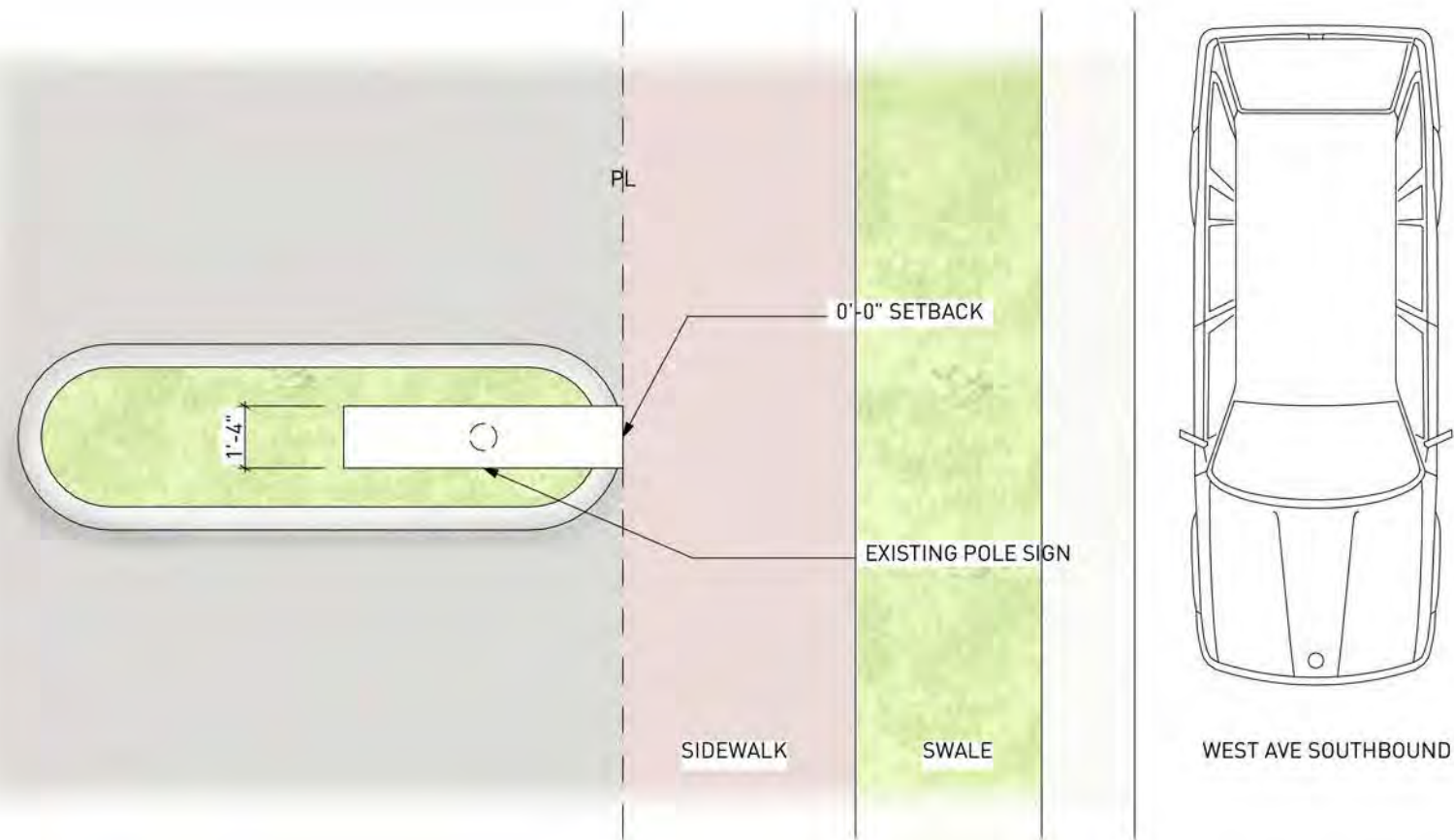


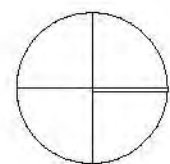
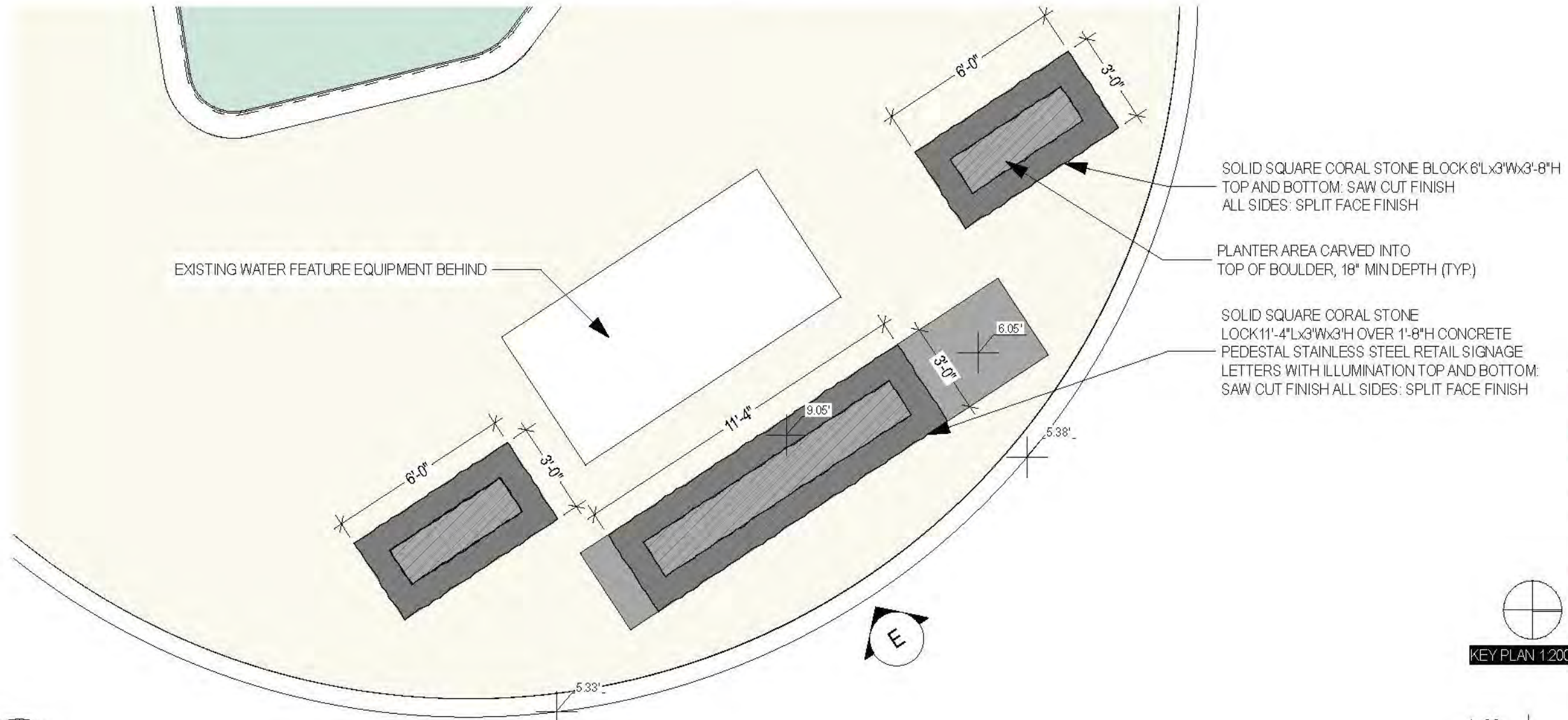
DETACHED SIGN - DESIGN STANDARDS			
	EXISTING	REQUIRED	PROVIDED
ZONING DISTRICT			
ENTRY SIGN	RM-3	-	-
RETAIL SIGN	RM-3	-	-
RESTAURANT SIGN	RM-3	-	-
MAXIMUM AREA			
EXISTING SIGN	18 SF	15 SF	-
ENTRY SIGN	-	15 SF	15 SF
RETAIL SIGN	-	15 SF	7.5 SF
RESTAURANT SIGN	-	15 SF	-
MAXIMUM QUANTITY PER FRONTAGE			
WEST AVENUE			
DETACHED SIGNS (SECTION 94-9)			
EXISTING SIGN		1*	1 @ 15 SF
ENTRY SIGN			
10TH STREET			
DETACHED SIGNS (SECTION 94-9)			
RETAIL SIGN		1*	1 @ 15 SF
RESTAURANT SIGN			
<small>* MAXIMUM SIGNAGE PER FRONTAGE (SECTION 94-9) DOES NOT EXCEED 10% OF FRONTAGE</small>			
HEIGHT RESTRICTIONS			
ENTRY SIGN	11'-2"	5 FT*	4'-8"
RETAIL SIGN	-	5 FT*	3'-8"
RESTAURANT SIGN	-	5 FT*	-
SETBACKS			
ENTRY SIGN			
FRONT SETBACK	0'-0"	10'-0"	±40'-0"
INTERIOR SIDE YARD	-	7'-6"	±370'-0"
SIDE YARD FACING STREET	-	10'-0"	±250'-0"
PERIMETER WALL SIGN	-	0'-0"	±219'-0"
RETAIL SIGN			
FRONT SETBACK	TBD	10'-0"	±11'-11"
INTERIOR SIDE YARD	-	7'-6"	±622'-0"
SIDE YARD FACING STREET	TBD	10'-0"	±11'-3"
PERIMETER WALL SIGN	-	0'-0"	±268'-5"
RESTAURANT SIGN			
FRONT SETBACK	-	10'-0"	-
INTERIOR SIDE YARD	-	7'-6"	-
SIDE YARD FACING STREET	-	10'-0"	-
PERIMETER WALL SIGN	-	0'-0"	-

RETAIL ACCESS



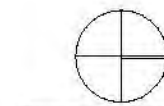
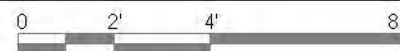




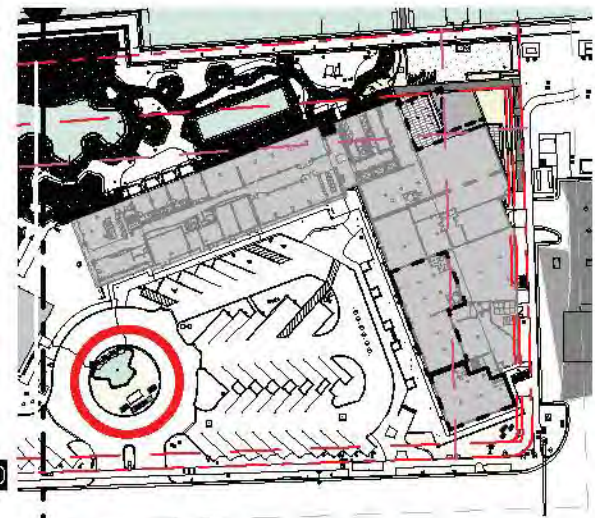


ENTRY SIGNAGE

SCALE: 1/4" = 1'-0"



KEY PLAN 1:200



A-03

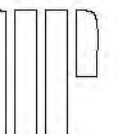
910 WEST AVENUE | SGT

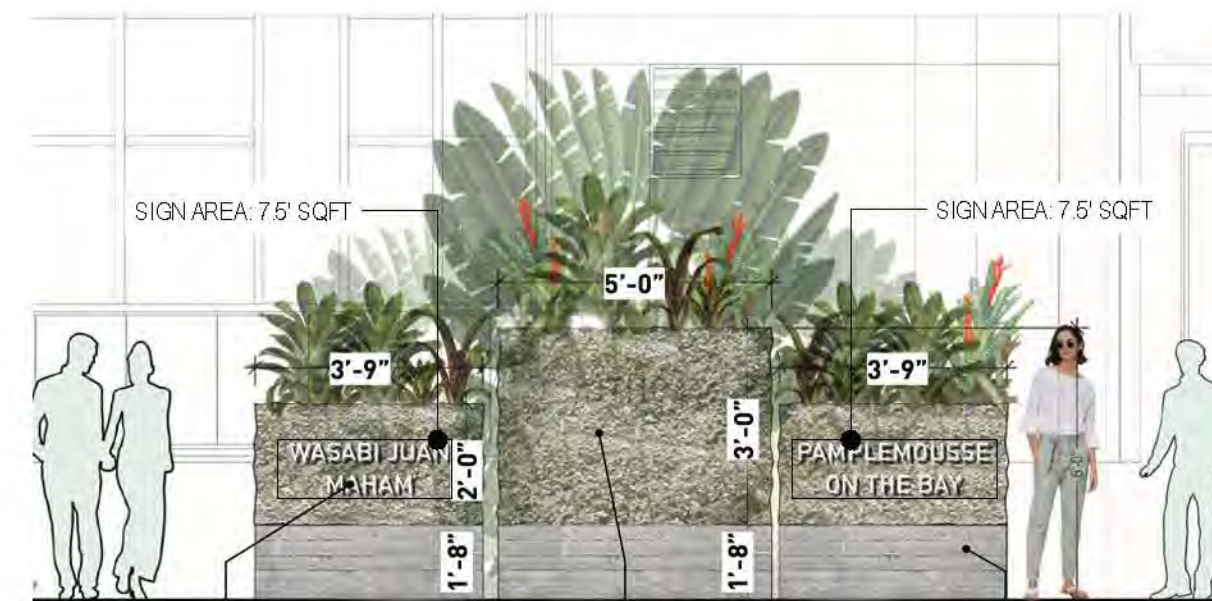
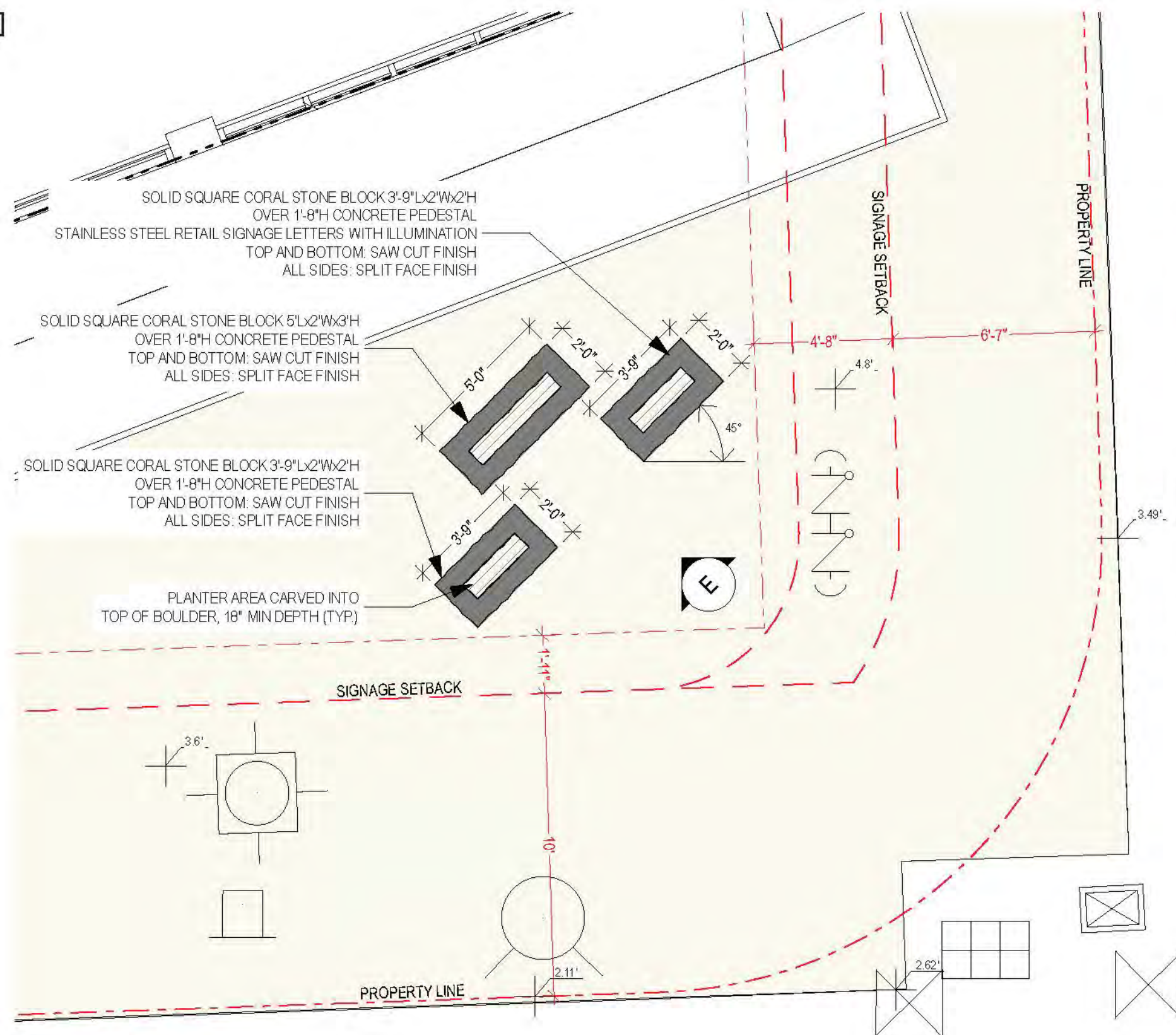
DRB

PROPOSED ENTRY SIGN ELEVATION

10/12/20

URBAN ROBOT © 2020





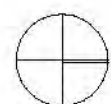
STEEL LETTERS WITH LIGHTING



00LITE BLOCK

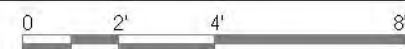


BOARDFORMED CONCRETE



RETAIL SIGNAGE

SCALE: 1/4" = 1'-0"



A-05

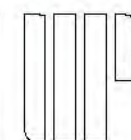
910 WEST AVENUE | SGT

D R B

RETAIL SIGNAGE

10/12/20

URBAN ROBOT © 2020

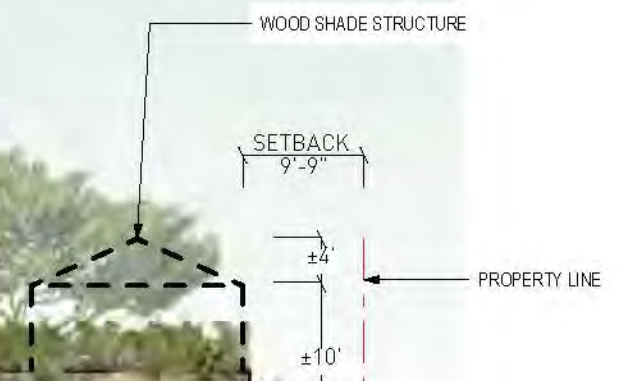




EXISTING ELEVATION



PROPOSED ELEVATION



KEY PLAN 1:200

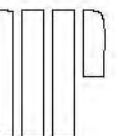
A-07

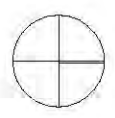
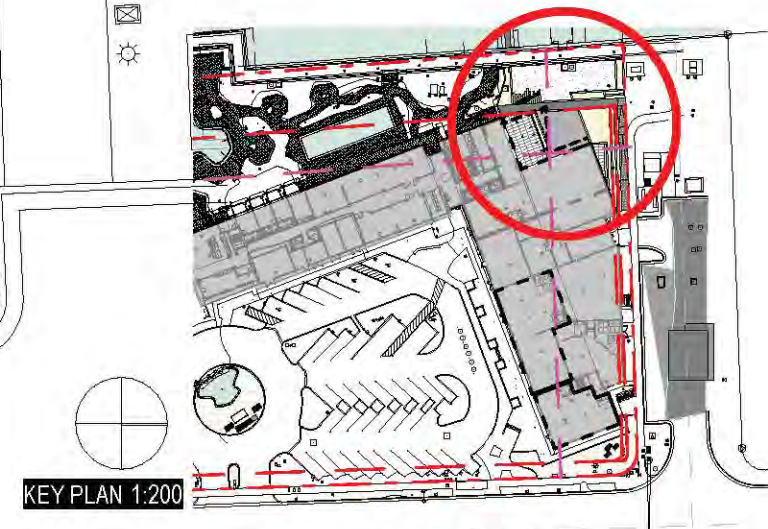
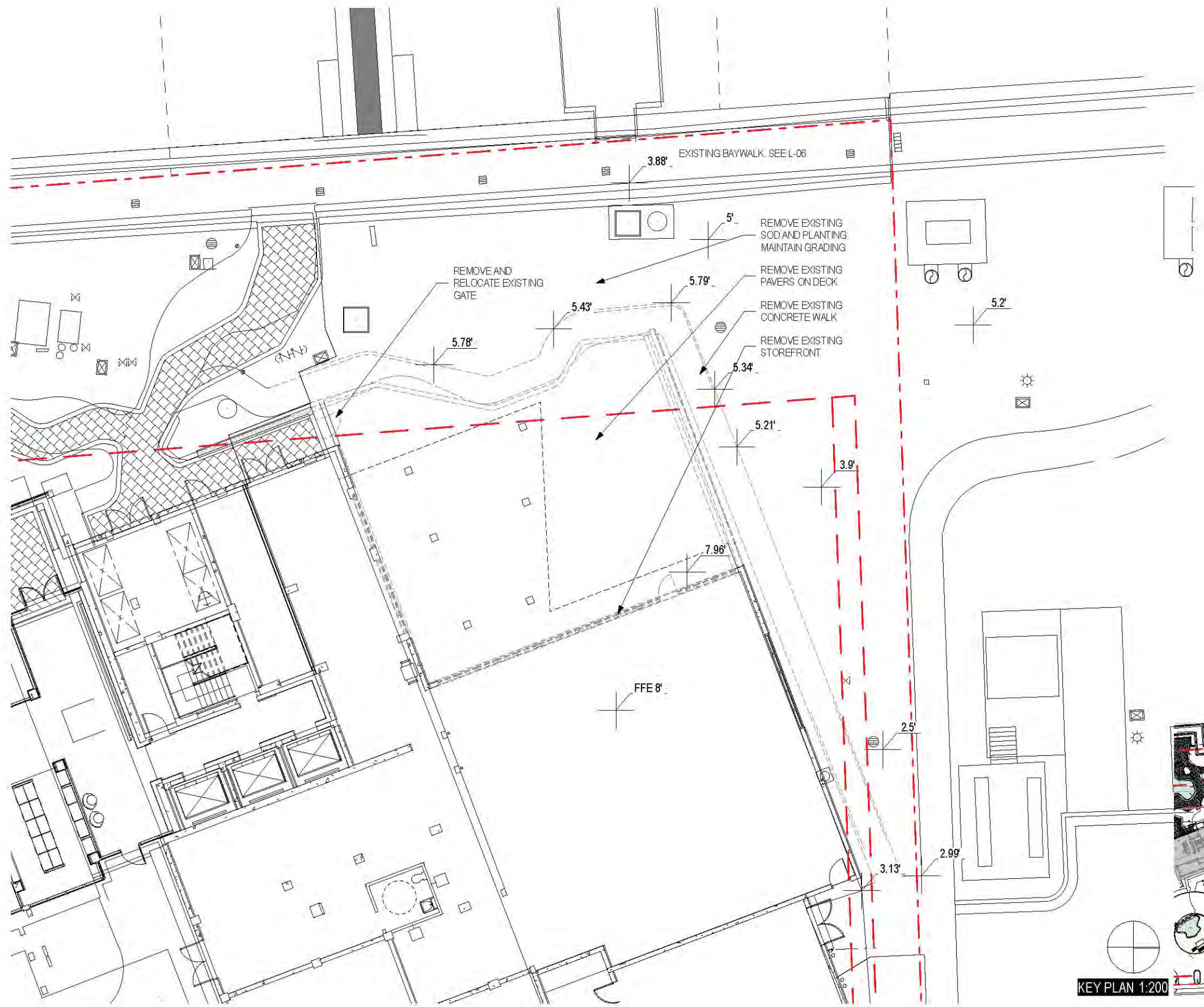
910 WEST AVENUE | SGT
DRB

NORTH ELEVATION - WATERFRONT RESTAURANT

01/25/21

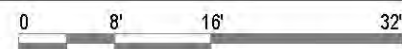
URBAN ROBOT © 2021





DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



A-08

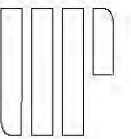
910 WEST AVENUE | SGT

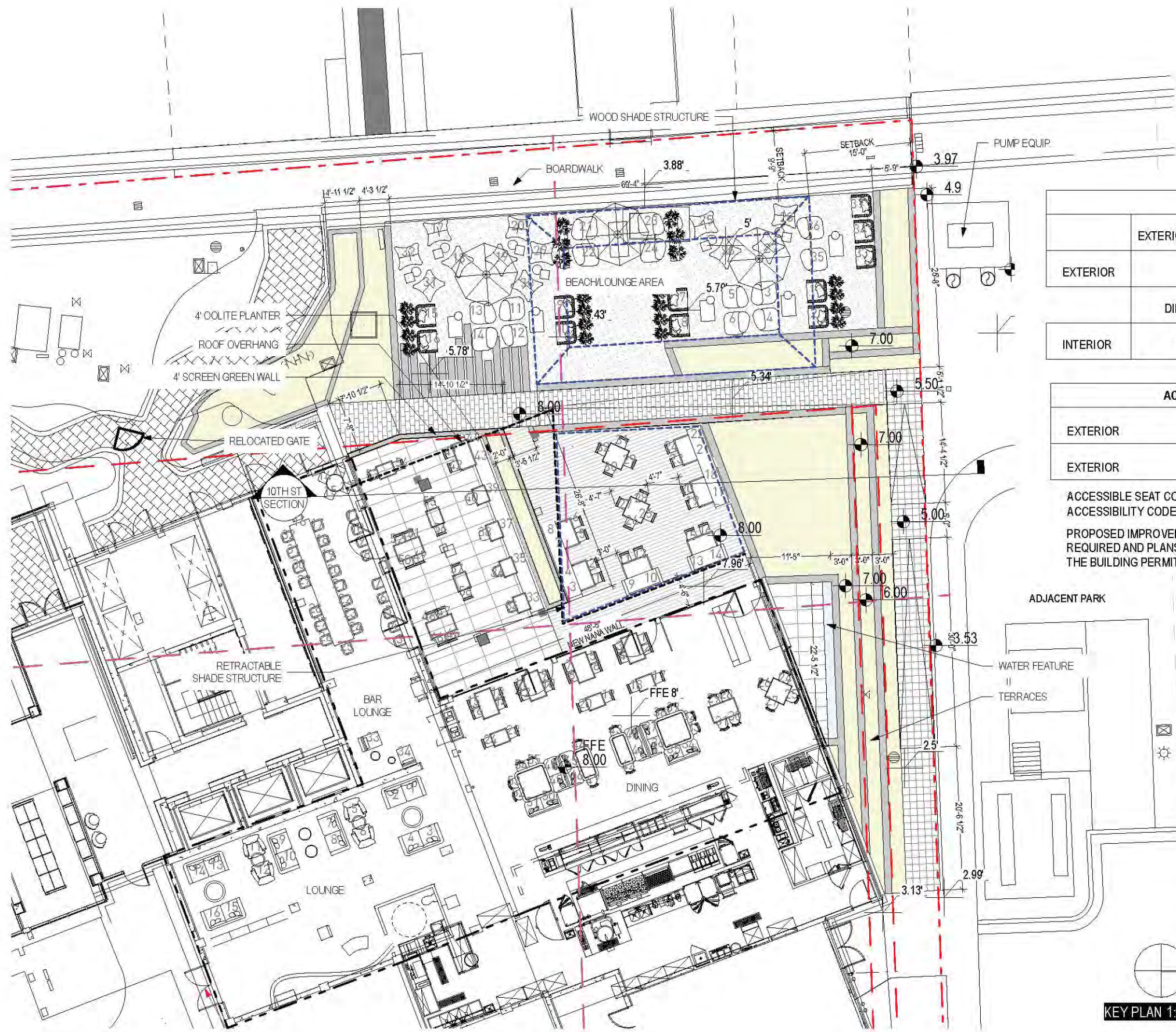
DRB

DEMOLITION PLAN

01/25/21

URBAN ROBOT © 2021



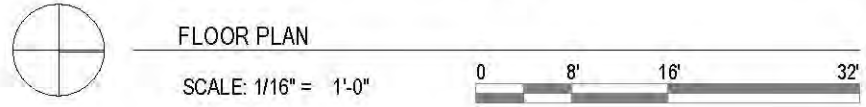


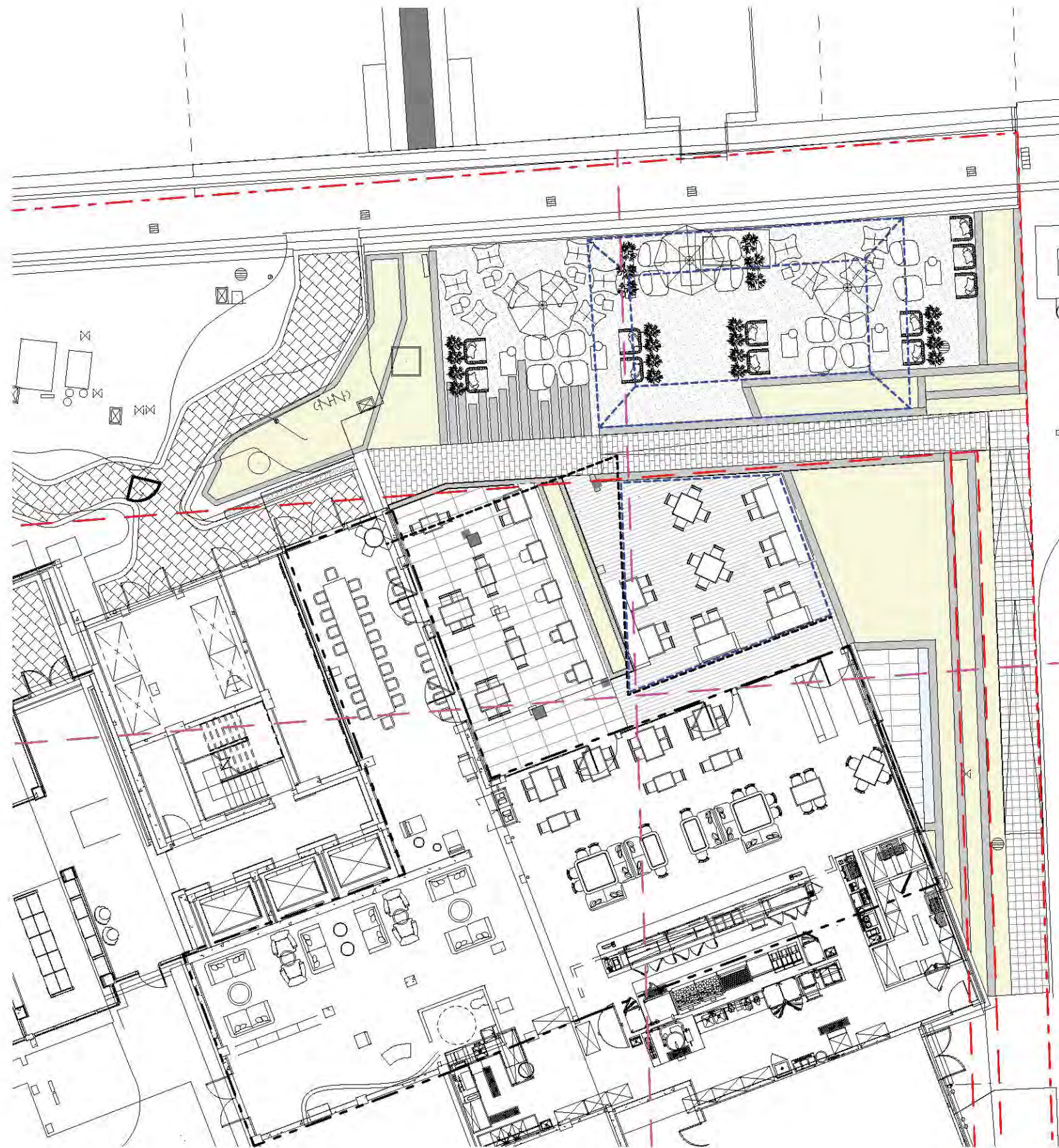
SEAT COUNT				
	EXTERIOR DECK	BEACH LOUNGE	EXTERIOR BAR	TOTAL SEATS
EXTERIOR	58 60	37 15	-	95 75
	DINING	LOUNGE	BAR LOUNGE	
INTERIOR	55	16	34	105

ACCESSIBLE SEAT COUNT	
EXTERIOR	75 4 95 x .05 = 5 ACCESSIBLE SEATS
EXTERIOR	105 x .05 = 6 ACCESSIBLE SEATS

ACCESSIBLE SEAT COUNT CALCULATED PER FLORIDA ACCESSIBILITY CODE (5TH ED.), SECTION 226.1

PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED AND PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.



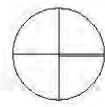


SEAT COUNT				
	EXTERIOR DECK	BEACH LOUNGE	EXTERIOR BAR	TOTAL SEATS
EXTERIOR	58 60	37 15	-	95 75
	DINING	LOUNGE	BAR LOUNGE	
INTERIOR	55	16	34	105

ACCESSIBLE SEAT COUNT	
EXTERIOR	75 4 95 x .05 = 5 ACCESSIBLE SEATS
EXTERIOR	105 x .05 = 6 ACCESSIBLE SEATS

ACCESSIBLE SEAT COUNT CALCULATED PER FLORIDA
ACCESSIBILITY CODE (5TH ED.), SECTION 226.1

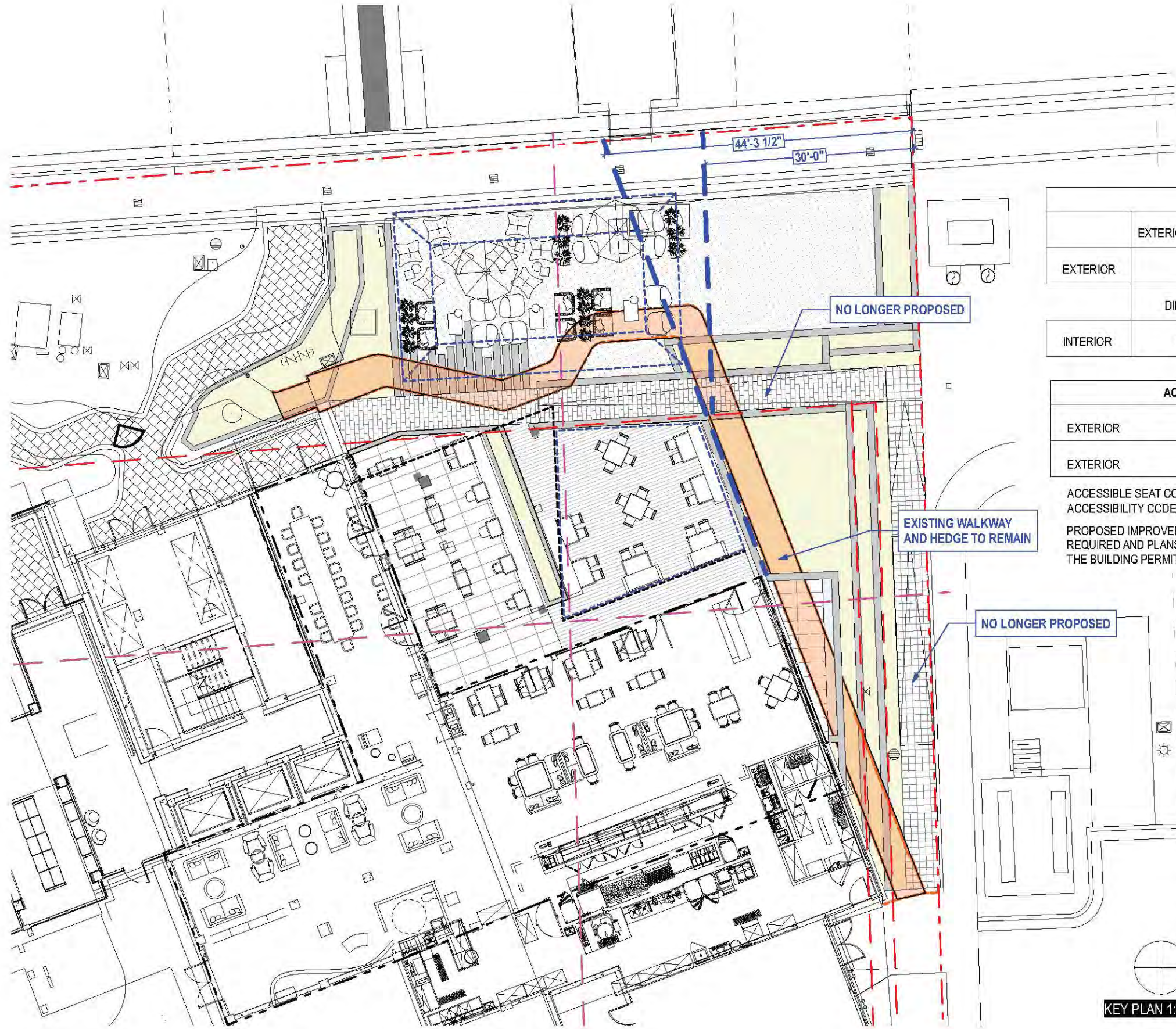
PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE
REQUIRED AND PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF
THE BUILDING PERMIT.



FLOOR PLAN

SCALE: 1/16" = 1'-0"

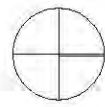
0 8' 16' 32'



SEAT COUNT				
	EXTERIOR DECK	BEACH LOUNGE	EXTERIOR BAR	TOTAL SEATS
EXTERIOR	58 60	37 15	-	95 75
	DINING	LOUNGE	BAR LOUNGE	
INTERIOR	55	16	34	105

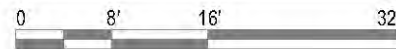
ACCESSIBLE SEAT COUNT	
EXTERIOR	75 4 95 x .05 = 5 ACCESSIBLE SEATS
EXTERIOR	105 x .05 = 6 ACCESSIBLE SEATS

ACCESSIBLE SEAT COUNT CALCULATED PER FLORIDA
ACCESSIBILITY CODE (5TH ED.), SECTION 226.1
PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE
REQUIRED AND PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF
THE BUILDING PERMIT.



FLOOR PLAN

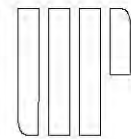
SCALE: 1/16" = 1'-0"



A-09b

910 WEST AVENUE | SGT

DRB





VIEW OF RESTAURANT LOOKING WEST FROM MARINA

L-05

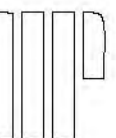
910 WEST AVENUE | SGT

DRB

RENDERINGS

01/25/21

URBAN ROBOT © 2021



MODIFIED CONDITIONS

I. Design Review

C. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with the Sea Level Rise Criteria 7 in Section 133-50(a) of the Miami Beach Code.

1. All prior conditions pursuant to Design Review Board Orders File No. 22945, dated March 5, 2103 and August 6, 2013, remain in full force and effect, unless modified herein.
2. Revised elevation, site plan and floor plan drawings for the proposed mixed-use development at 910 West Avenue shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:

a. The artificial 'green' wall on the north elevation shall **NOT** be approved as proposed. ~~Artificial greenery shall not be permitted. The incorporation of living greenery may be permitted,~~ in a manner to be reviewed and approved by staff.

b. The new landscaping along the north side of the property shall be approved as proposed.

c. The new hardscape along the north side of the property **shall not** be approved as proposed. [Agreed, with clarification that this describes the new walkway and ramp.]

d. The new beach/lounge area **shall not be** approved as proposed; however, seating may be permitted setback a minimum of 30' from the north property line and without any permanent covering.

e. The proposed sliding glazing system **shall not** be permitted as proposed. The proposed openings may be enlarged and installed with floor to ceiling fixed glass system with a maximum of two double door swing door openings, in a manner to be reviewed and approved by staff.

f. The proposed retractable covered shade structure shall be approved. The final design and detailing for the new retractable awning proposed on the terrace shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The fabric material for the awning shall be canvas or sailcloth or like material, and the color shall be a solid neutral hue and match any proposed table umbrella fabric, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

MODIFIED CONDITIONS

- g. The proposed wood structure shall not be approved.
- ~~h. The 10th Street ramped walkway shall be for emergency egress only and a sign noting 'emergency egress only' shall be posted on or near the exit gate onto 10th Street, in a manner to be reviewed and approved by staff. [Note: Applicant withdrawing the proposed walkway and ramp along 10th Street and will keep the existing access walkway along the edge of the building as is.]~~
- ~~i. Signing shall be incorporated at the 10th Street access point into the site which notes access to any restaurant space located on the north side of the site shall be accessed from West Avenue. [Note: Applicant withdrawing proposed walkway and ramp along 10th Street and not creating any new access from 10th Street.]~~
- j. The final details of all new exterior surface finishes and materials, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- k. The final design and details of all new exterior and interior lighting shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. ~~Exterior~~ New exterior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding area. No new florescent or intensive 'white' lighting (or similar intensive lighting) visible from the adjacent public rights or way or adjacent properties shall be permitted.
- l. Any future kitchen ventilation or mechanical venting shall be chased through the interior of the building to the roof. No exhaust ducts or vents shall be permitted on any building elevations.
- m. The final design details and pattern of the hardscape and exterior walkways shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- n. Any new exterior ground floor exterior handrails and support posts shall incorporate a flat profile. The final design details, dimensions, material and color of all new exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff consistent with the Design Review Criteria and/or the directions from the Board.
- o. All building signage shall require a separate permit. A uniform sign plan for the new building shall be required. Such sign plan shall be consistent in materials, method of illumination and sign location, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

MODIFIED CONDITIONS

- p. Final details of all proposed new storefront systems and associated details shall be provided for all new ground floor elevations on the project site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- q. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
- r. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

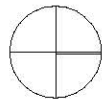
APPENDIX



Tree Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	BS	1	Bursera simaruba 'Red Trunk Belize'	Gumbo Limbo Red Trunk
	CN	13	Cocos nucifera	Coconut
	CU	3	Coccoloba uvifera	Sea Grape
	SP	6	Sabal Palmetto	Cabbage Palm

Shrub Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	Ab	3	Agave 'Blue Flame'	Agave 'Blue Flame'
	Cih	8	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum
	Pv	1	Pyrostegia venusta	Flame vine
	Src	6	Serenoa repens 'Cinerea'	Silver Saw Palmetto
	Ya	8	Yucca aloifolia	Aloe Yucca
	Zp	12	Zamia pumila	Coontie

Groundcover Schedule				
Symbol	ID	QTY	Botanical Name	Common Name
	Td		Tripsacum dactyloides	Fakahatchee Grass
	hd		Helianthus debilis	Dune sunflower
	hl		Emodea littoralis	Golden creeper
	mc		Spartina patens	Pink muhlygrass



PLANTING PLAN

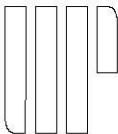
SCALE: 1/16" = 1'-0"



L-01

910 WEST AVENUE | SGT

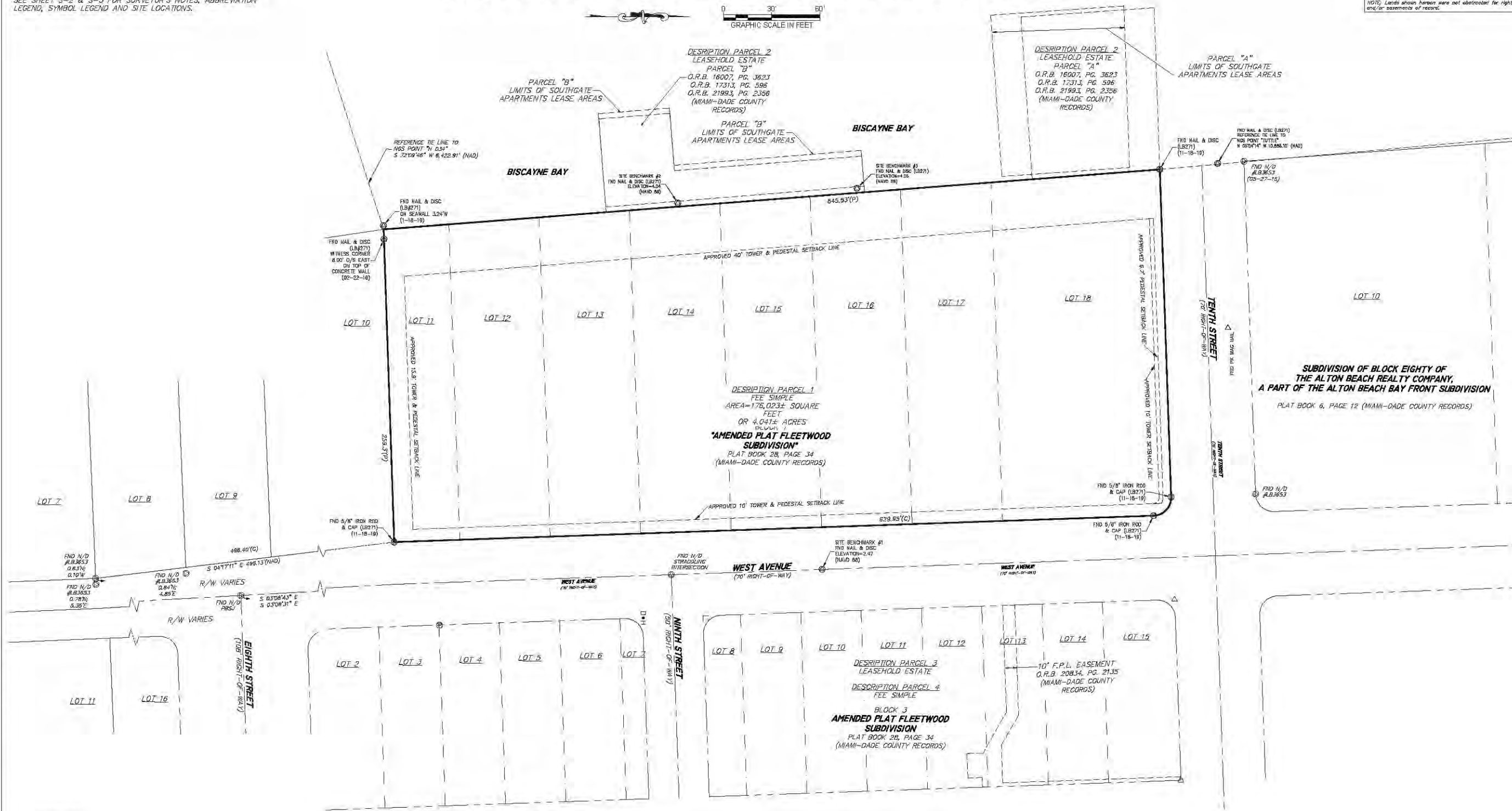
DRB



0 30 60
GRAPHIC SCALE IN FEET

NOTE: The undersigned and GRAVEN THOMPSON & ASSOCIATES, Inc. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and the instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.

NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.



PARCEL 1: (FEE SIMPLE)

LOTS 11, 12, 13, 14, 15, 16, 17 AND 18, IN BLOCK 1, AMENDED PLAT OF FLEETWOOD SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, AT PAGE 34, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PARCEL 2: (LEASEHOLD)

LEASEHOLD ESTATE AS CREATED BY THAT CERTAIN SOVEREIGNTY SUBMERGED LANDS LEASE RECORDED AUGUST 5, 1993, IN OFFICIAL RECORDS BOOK 18007, PAGE 3623, AS AMENDED BY RENEWAL OF SOVEREIGNTY SUBMERGED LANDS LEASE DATED JUNE 24, 1996, RECORDED AUGUST 13, 1996 IN OFFICIAL RECORDS BOOK 17314, PAGE 396, BETWEEN THE UNITED STATES OF AMERICA, BY THE DEPARTMENT OF THE INTERIOR, AND SOLE TRUSTEES OF THE TRUST, AS FURTHER AMENDED BY SOVEREIGN SUBMERGED LANDS LEASE RENEWAL AND MODIFICATION TO REFLECT CHANGE IN UPLAND OWNERSHIP RECORDED MARCH 4, 2004 IN OFFICIAL RECORDS BOOK 21933, PAGE 2356, PUBLIC RECORDS OF MIAMI - DADE COUNTY, FLORIDA, DEMISING FOR A TERM OF YEARS THE FOLLOWING DESCRIBED SOVEREIGN SUBMERGED LANDS IN BISCAYNE BAY:

PARCEL A: LEGAL DESCRIPTION OF A MARINA LEASE AREA IN BISCAYNE BAY IN SECTION 4, TOWNSHIP 54 SOUTH, RANGE 28 EAST, MIAMI-DADE COUNTY, FLORIDA; SAID MARINA AREA'S EASTERLY BOUNDARY BEING CONTIGUOUS WITH AND WESTERLY OF THE WATER FACE OF A CONCRETE BULKHEAD LOCATED ON THE EASTERLY SHORE OF BISCAYNE BAY, ON THE WESTERLY BOUNDARY OF LOT 1A, BLOCK 1, AMENDED PLAT OF FLEETMOOD SUBDIVISION, RECORDED IN PLAT BOOK 28, PAGE 34 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA; SAID MARINA AREA DESCRIBED AS FOLLOWS:

BEGIN (P.O.B.) AT THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF THE ABOVE REFERENCED LOT 18 WITH THE WATER FACE OF A CONCRETE BULKHEAD ON THE EASTERLY SHORE OF BISCAYNE BAY; ON THE WESTERLY LINE OF SAID LOT 18, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING (P.O.B.) OF THE WESTERLY LINE OF SAID LOT 18; THENCE S 89°45'00" E, 176.58 FEET TO THE POINT OF BEGINNING (P.O.B.) OF THE SOUTHERLY LINE OF SAID LOT 18; THENCE S 89°45'00" E, 176.58 FEET TO THE POINT OF BEGINNING (P.O.B.) OF THE SOUTHERLY LINE OF SAID LOT 18 INTO BISCAYNE BAY, A DISTANCE OF 134.08 FEET, THENCE RUN SOUTH 219°10' EAST A DISTANCE OF 110.63 FEET IN BISCAYNE BAY; THENCE RUN NORTH 00°45'00" EAST IN BISCAYNE BAY, A DISTANCE OF 130.00 FEET TO THE POINT OF INTERSECTION OF THE NORTHERLY LINE OF SAID LOT 18 WITH THE WATER FACE OF SAID BULKHEAD, ALONG THE WESTERLY LINE OF SAID LOT 18, A DISTANCE OF 130.00 FEET TO THE POINT OF BEGINNING (P.O.B.) OF THE WESTERLY LINE OF SAID LOT 18; THENCE RUN NORTH 00°45'00" EAST IN BISCAYNE BAY, A DISTANCE OF 106.00 FEET TO THE POINT OF BEGINNING (P.O.B.).

PARCEL 79: LEGAL DESCRIPTION OF A PROPOSED MARINA LEASE AREA (IN BISCAYNE BAY) SECTION 4, TOWNSHIP 55 SOUTH, RANGE 42 EAST, MIAMI-DADE COUNTY, FLORIDA, SAID MARINA AREA DESCRIBED AS FOLLOWS: BEGIN AT THE CONJUNCTION WITH AND WESTERLY WATER FACE OF A CONCRETE BULKHEAD ON THE WESTERLY SHORE OF BISCAYNE BAY ON THE WESTERLY LINE OF BLOCK 1, AMENDED PLAT OF FLEETWORTH SUBDIVISION, RECORDED IN PLAT BOOK 28, AT PAGE 34, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID MARINA AREA DESCRIBED AS FOLLOWS:

COMMENCE (P.O.C.) AT THE POINT OF INTERSECTION OF THE SOUTHERLY LINE OF LOT 18, BLOCK 1354TH OF THE LAST MENTIONED SUBDIVISION WITH THE WATER FACE OF THE ABOVE REFERENCED CONCRETE BULKHEAD ON THE EASTERLY SHORE OF BISCAIENE BAY, A DISTANCE OF 156.60 FEET WEST ALONG THE WATER FACE OF SAID BULKHEAD, ALONG THE SOUTHERLY LINE OF SAID BULKHEAD, ALONG THE EASTERLY SHORE OF BISCAIENE BAY, A DISTANCE OF 241.70 FEET TO THE POINT OF BEGINNING (P.O.B.) OF THE MARINA AREA, SAID P.O.B. BEING 1259.64 FEET SOUTH AND 439.68 FEET WEST OF THE NORTHEAST CORNER OF SECTION 4, TOWNSHIP 54 SOUTH, RANGE 42 EAST, THENCE RUN SOUTH 89°05'30" WEST INTO BISCAIENE BAY, A DISTANCE OF 77.62 FEET; THENCE RUN NORTH 45°34'30" WEST IN BISCAIENE BAY, A DISTANCE OF 59.10 FEET; THENCE RUN NORTH 89°05'30" EAST IN BISCAIENE BAY, A DISTANCE OF 43.82 FEET; THENCE RUN NORTH 45°34'30" WEST IN BISCAIENE BAY, A DISTANCE OF 155.60 FEET; THENCE RUN NORTH 89°05'30" EAST, A DISTANCE OF 30.00 FEET TO THE WATER FACE OF THE SAID CONCRETE BULKHEAD; THENCE RUN SOUTH 45°34'30" EAST ALONG THE WATER FACE OF SAID BULKHEAD, ALONG THE WESTERLY LINE OF BLOCK 18, ALONG THE EASTERLY SHORE OF BISCAIENE BAY, A DISTANCE OF 214.70 FEET TO THE POINT OF BEGINNING (P.O.B.).

SUBJECT TO THE TERMS AND CONDITIONS CONTAINED IN SAID INSTRUMENT

PARCEL 3: (LEASEHOLD)

LEASEHOLD ESTATE AS CREATED BY THAT CERTAIN LEASE BY AND BETWEEN GUMENICK FAMILY INVESTMENTS NO. 2, LTD., A FLORIDA LIMITED PARTNERSHIP, AND SOUTHGATE SECURITIES DATED MAY 30, 2003, A MEMORANDUM OF WHICH WAS RECORDED JUNE 11, 2003 IN OFFICIAL RECORDS BOOK 21323, PAGE 4915 AND AMENDED IN THAT CERTAIN MEMORANDUM OF LEASE DATED FEBRUARY 1, 2004 AND RECORDED MARCH 1, 2004 IN OFFICIAL RECORDS BOOK 32090, PAGE 185, PUBLIC RECORDS OF MIAMI DADE COUNTY, FLORIDA, DEMISING FOR A TERM OF YEARS THE FOLLOWING DESCRIBED LANDS:

LOTS 8, 9, 10, 11, 12, 13, 14, AND 15, OF BLOCK 3, OF FLEETWOOD SUBDIVISION

PUBLIC RECORDS OF NIA

LOTS 6, 9, 10, 11, 12, 13, 14, AND 15, OF BLOCK 3, OF FLEETWOOD SUBDIVISION AMENDED, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, AT PAGE 34, OF THE

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN CHAPTER 50-17, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND FORESTRY, SENIORS BOARD OF PROFESSIONAL SURVEYORS AND SURVEYS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.022, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION IN NOVEMBER 2019.

LAST DATE OF FIELD WORK: AUGUST 26, 2021

CRAVEN THOMPSON & ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION NO. LB27

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER 56-17, FLORIDA ADMINISTRATIVE CODE.

Digitally signed by
Richard D. Pryce
Date: 2020.08.31
12:58:20 -0400'

RICHARD D. PRYCE - FOR THE FIRM
PROFESSIONAL SURVEYOR & MAPPER NO. 4038
STATE OF FLORIDA

DATE:	03/09/16	DATE:	
SCALE:	1"=40'	SCALE:	
DRAWN BY:	T.S.	DRAWN BY:	
CHECKED BY:	R.Y.	CHECKED BY:	
FIELD BOOK:	2391	FIELD BOOK:	
PAGE(3):	1-68	PAGE(3):	

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS



SOUTHGATE TOWERS
900 & 910 WEST AVENUE MIAMI BEACH, FLORIDA

PREPARED FOR:
Gumenik Properties

BOUNDARY INFORMATION

PROJECT NO.
07-0088-001-11

S-1

SHEET 1 OF 3

BOUNDARY & TOPOGRAPHIC SURVEY



NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.

NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

[illegible]

GRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3545 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL. (954) 735-6100
FAX (954) 735-6108
FLORIDA LICENSED ENGINEERING, SURVEYING AND MAPPING BUSINESS NO. 271
FLORIDA LICENSED PROFESSIONAL ARCHITECTURAL BUSINESS NO. 00047417

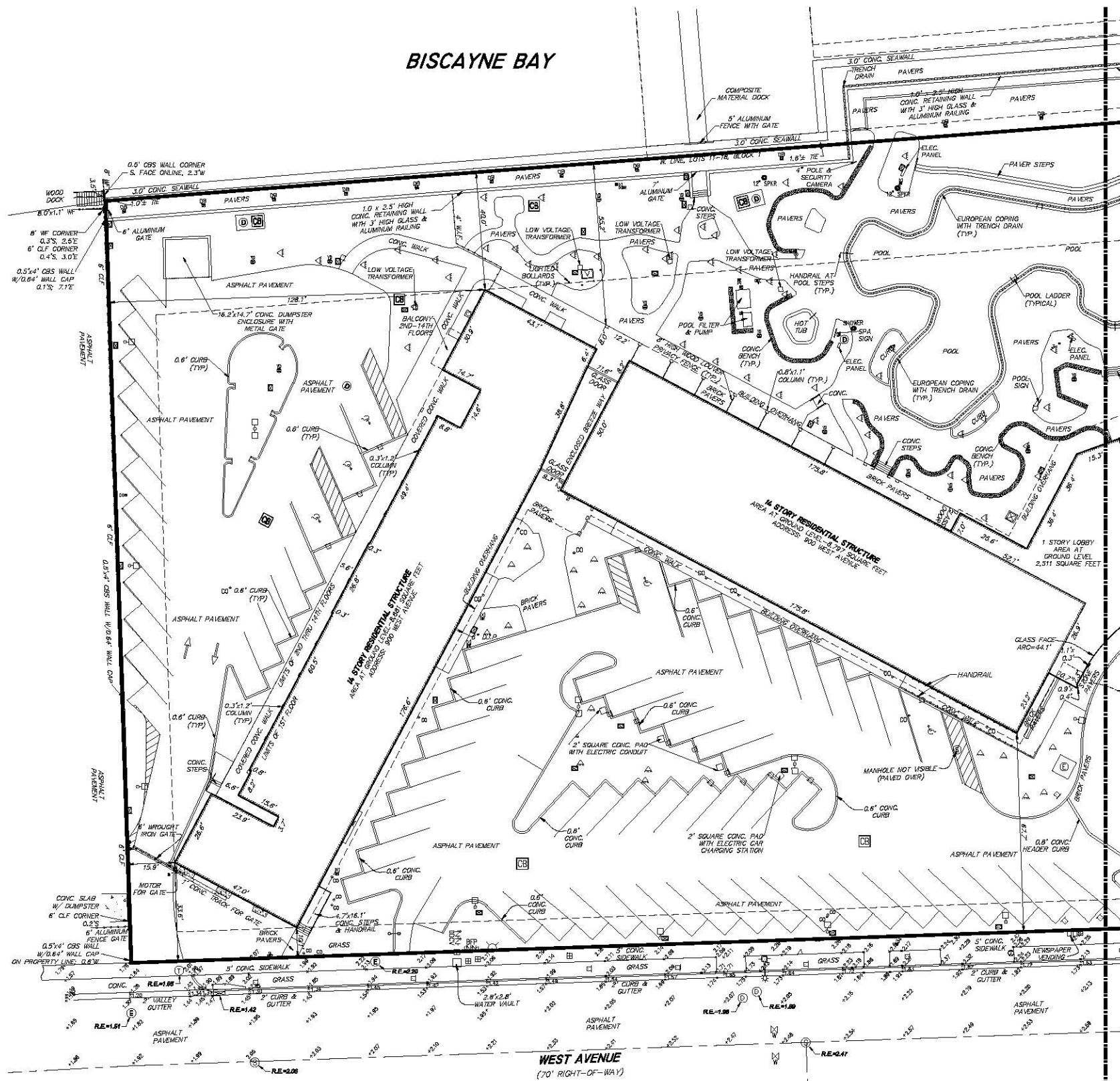
SHOW ROOMS ARE THE PROPERTY OF GRAVEN • THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF GRAVEN • THOMPSON & ASSOCIATES, INC. GRAVEN • THOMPSON & ASSOCIATES, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.



NATIONAL
BUREAU OF
ECONOMIC
RESEARCH

<p>SOUTHGATE TOWERS</p> <p>900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA</p>
<p>PREPARED FOR:</p> <p>Gumenik Properties</p>
<p>SITE LOCATIONS</p>

PROJECT NO. 07-0088-001-11	
S-2	
SHEET 2 OF 3	



ABBREVIATION LEGEND

FND	FOUND
F.O.P.B.	FIBER OPTIC PULL BOX
LB	LICENSE BUSINESS
	CALCULATED INFORMATION
(M)	MEASURED INFORMATION
(P)	PLAT INFORMATION
PBSU	POST, BUCKLEY SCHUH & JORNINGAN
O/S	OFFSET
L/P	IRON PIPE
	NAIL & DISC
(NAD)	NORTH AMERICAN DATUM
(NAD 88)	NORTH AMERICAN DATUM OF 1988
NGS	NATIONAL GEOGRAPHIC SURVEY
O.R.B.	ORIGINAL RECORDS BOOK
PG	PAGE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
F.P.W.	FLORIDA POWER & LIGHT COMPANY
CONC	CONCRETE
(TYP)	TYPICAL
R.E.	RIM ELEVATION
CBS	CONCRETE BLOCK WALL
CU/LF	CHAIN LINK FENCE
ELEC	ELECTRIC
W.I.F.	WROUGHT-IRON FENCE

SYMBOL LEGEND

BFP P	BACK FLOW PREVENTOR
BOLLARD	
CATV	CATV PEDESTAL
CB	CATCH BASIN
CD	CURB INLET
CL	DECORATIVE LIGHT POLE
DDCV P, R, L	DOUBLE DETECTOR CHECK VALVE
EO	ELECTRICAL OUTLET
EP	ELECTRICAL PULL BOX
EM	ELECTRICAL MANHOLE
ES	GAS METER
ES	GAS MANHOLE
ES	GAS VALVE
ES	
ES	HANDICAP PARKING SPACE
ES	
ES	HOSE BIBB (SPIGOT)
ES	IRRIGATION CONTROL VALVE
ES	MONITORING WELL
ES	
ES	PARKING LIGHT SINGLE
ES	PARKING LIGHT DOUBLE
ES	PEDESTRIAN SIGNAL
ES	SANITARY MANHOLE
ES	SIAMESE VALVE
ES	SIGN
ES	
ES	SPOT-FLOOD LIGHT
ES	SANITARY SEWER CLEAN OUT
ES	STORM MANHOLE
ES	TRAFFIC PULL BOX
ES	TRASH CAN
ES	UNKNOWN MANHOLE
ES	WATER METER
ES	WATER VALVE
ES	WATER VAULT
ES	
ES	YARD DRAIN
DBB	NYLOPLAST 10" DRAIN BASIN
ES	TELEPHONE MANHOLE
ES	
ES	HARD SURFACE ELEVATION
ES	SOFT SURFACE ELEVATION

GPS CONTROL SURVEY NOTE:

THE HORIZONTAL CONTROL SURVEY DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE) AND WAS OBTAINED BY UTILIZING "TRIMBLE RB GNSSOVER, AS OPERATED BY CRAVEN THOMPSON AND ASSOCIATES AND A "TRIMBLE NETRS" REAL TIME KINEMATICS GPS BASE REFERENCE STATION "MIAMI 6 (MIAMI)", AS OPERATED BY FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STATE-WIDE PERMANENT REFERENCE NETWORK.

THE GPS DATA HAS BEEN PROCESSED AND SITE CALIBRATED USING A LEAST SQUARE ADJUSTMENT IS BASED ON A HORIZONTAL BEST FIT MODEL USING TRIMBLE BUSINESS CENTER TO THE FOLLOWING CONTROL POINTS

NATIONAL GEODETTIC SURVEY "H 034 (PID AC3514)*" North: 524,167.130 East: 932,073.860 Corps of Engineers Brass Disc in Concrete Stamped "MH-18 1963"	NATIONAL GEODETTIC SURVEY "TUTTLE (PID AC3580)*" North: 537,624.140 East: 937,177.840 Brass Disc in Concrete Stamped "Tuttle 1971"
--	---

THIS SITE CALIBRATION IS BASED ON A HORIZONTAL ADJUSTMENT SCALE VALUE OF 1.0000018522, A ROTATION ANGLE OF -0.0002° AND A MAXIMUM HORIZONTAL RESIDUAL ERROR OF 0.099+/- AND MEETS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK CLASSIFICATION, AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6.003(3)(B)15.8.II., F.A.C.)

SURVEYOR'S NOTES:

1) THE BEARINGS SHOWN HEREON ARE ON BASED ON NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE), (SEE GPS CONTROL SURVEY NOTE ABOVE)

2) THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT AND APPEARS IN A COMMITMENT TO TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, POLICY NUMBER 308682.

3) THIS SURVEY MEETS AND EXCEEDS VERTICAL AND HORIZONTAL ACCURACY REQUIREMENTS AS DEFINED IN CHAPTER (5-17, F.A.C.).

4) THE PURPOSE OF THIS SURVEY IS TO SHOW THE SITE IMPROVEMENTS AND THEIR RELATIONSHIP TO THE BOUNDARY LINES AS THEY EXISTED ON THE DATE OF THE SURVEY.

5) THE TOTAL PARCEL 1 DESCRIPTION TOTALS 176,023 SQUARE FEET OR 4.041 ACRES MORE OR LESS.

6) THE LIMITS OF THE BOUNDARY FOR FEE SIMPLE PARCEL 4 DESCRIBED HEREON WAS NOT DETERMINED OR THE SITE IMPROVEMENTS LOCATED PER THE CLIENTS REQUEST.

7) THE TOPOGRAPHICAL LOCATIONS SHOWN HEREON WERE OBTAINED USING A "LEICA TC-700 SERIES" TOTAL STATION AND "SOLICOR" SURVEYING DATA SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.

8) BUILDING TIERS ARE PERPENDICULAR TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIERS AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.

9) UTILITIES LIMITED TO THE FOLLOWING: UNDERGROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED. NO EXCAVATION WAS PERFORMED BY CRAVEN THOMPSON AND ASSOCIATES, INC. TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR DETERMINATION OF CRITICAL DESIGN LOCATIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN SHOWN HEREON MAY EXIST.

10) ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN PERMISSION OF THE SIGNING PARTY. ANY SUCH CHANGES TO THE EXISTING 3 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.

11) THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF GUMENIK PROPERTIES FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFORESAIDMENTIONED CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR SHOWN HEREON SHALL BE CONSIDERED TO HAVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.

12) SHEET 5-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER. SHEETS 5-2 AND 5-3 OF THIS MAP ARE INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE NOT INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER.

13) ALL DATA ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA UNLESS OTHERWISE NOTED.

14) FLOOD ELEVATION INFORMATION: A) COMMUNITY NUMBER -126051; B) DATE OF FIRM INDEX-SEPTEMBER 11, 2008;

15) DATE OF FIRM MAP-SEPTEMBER 11, 2009; C) FIRM ZONE-A; E) BASE FLOOD ELEVATION-B; F) PANEL NUMBER-0319;

16) SUFFICIENT.

17) THE LIMITS SHOWN HEREON FOR PARCELS "A" & "B", SOUTGATE APARTMENTS LEASE AREAS WAS FURNISHED TO THIS OFFICE BY JOHN GUTTMAN, CONSULTING ENGINEER & SCIENCES, INC. THE SKETCH & DESCRIPTION WAS PREPARED BY SCHWENKE-SHEKSON & ASSOCIATES, INC., ORDER NO. 201764, DATED 08-27-2013, LAST REVISED APRIL 7, 2016, ORDER NO. 201764.

18) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD88) AND REFERENCED TO THE FOLLOWING BENCHMARK, NATIONAL GEODETIC SURVEY BENCHMARK NO. W.238, A BRASS DISK NORTH SET ON THE TOP OF THE NORTH END OF EAST CONCRETE ABUTMENT OF THE MCARTHUR CAUSWAY BRIDGE, 80% WEST OF THE INTERSECTION OF THE PRIVATE DRIVE AND ELEVATION CONVERSION FOR THE BENCHMARK FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVOD88) TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) IS +1.54 FEET.

SEE SHEET S-2 FOR SURVEYOR'S NOTES & REMAINDER OF SITE LOCATIONS.

BOUNDARY & TOPOGRAPHIC SURVEY



NOTE: The undersigned and GRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to assessments, right-of-way, set back lines, reservations, agreements and other similar matters, and this information is not intended to reflect set forth such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.

NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

DATE:	03/09/16
SCALE:	1"=40'
DRAWN BY:	T.S.
CHECKED BY:	R.Y.
FIELD BOOK:	2281
PAGE(S):	1-68

[illegible]

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
FAX: (954) 739-6408
FLORIDA LICENSED ENGINEERING, SURVEYING & PLANNING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000014

SHAW-WALKER, INC., UNIVERSITY OF FLORIDA • LANDSCAPE ARCHITECTS • 1000 N.W. 1ST STREET, SUITE 100 • FORT LAUDERDALE, FLORIDA 33304 • PHONE: (954) 575-1100 • FAX: (954) 575-1101 • E-MAIL: SHAW@SHAW-WALKER.COM



MINISTERIO DE EDUCACIÓN, CULTURA Y DEPORTE
INSTITUTO VENEZOLANO DE INVESTIGACIÓN EDUCATIVA

<p>SOUTHGATE TOWERS</p> <p>900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA</p>
<p>PREPARED FOR:</p> <p>Gumenik Properties</p>
<p>SITE LOCATIONS</p>

PROJECT NO. 07-0088-001-11






































S-3

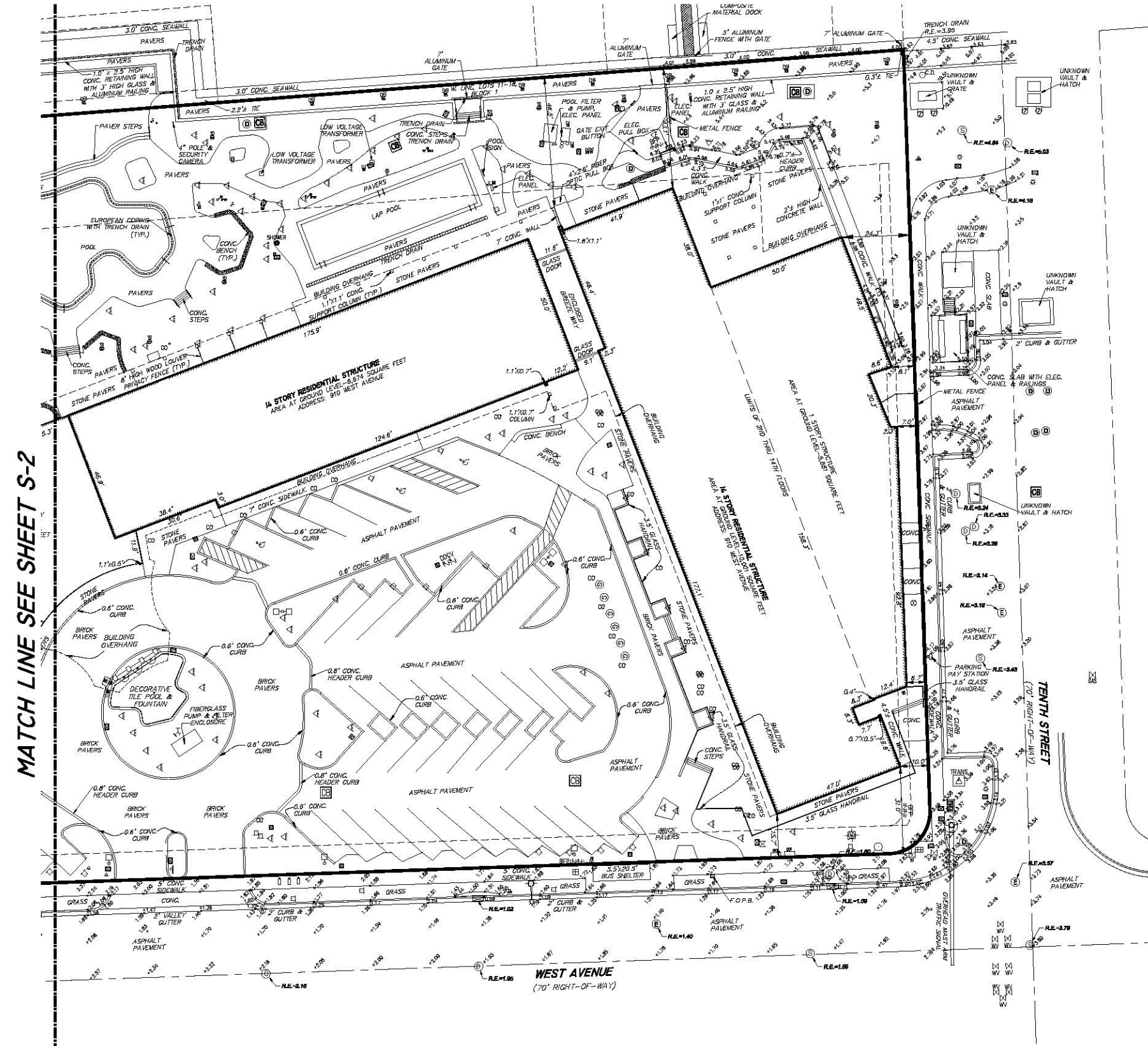
SHEET **3** OF **3**

ABBREVIATION LEGEND

FND	FOUND
F.O.P.B.	FIBER OPTIC PULL BOX
LB	LICENSE BUSINESS
(G)	CALCULATED INFORMATION
(M)	MEASURED INFORMATION
(P)	PLAT INFORMATION
PBSJ.	POST, BUCKLEY SCHUM & JERNIGAN
O/S	OFFSET
N/D	IRON PIPE
(NAD)	NAIL & DISC
(NAVD 88)	NORTH AMERICAN DATUM
NGS	NORTH AMERICAN VERITUM DATUM OF 1988
NGS	NATIONAL GEODETIC SURVEY
O.C.B.R.	OFFICIAL RECORDS BOOK
PC	PAGE
RCF	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
CONC.	FLEXIBLE POWER & LIGHT COMPANY
(TYP.)	CONCRETE
R.E.	TYPICAL
CBS	RM ELEVATION
ELEC.	CONCRETE BLOCK WALL
W.F.	CHAIN LINK FENCE
	ELECTRIC
	WROUGHT-IRON FENCE

SYMBOL LEGEND

	BACK FLOW PREVENTOR
	BOLLARD
	CATH VALVE
	CATCH BASIN
	CURB INLET
	DECORATIVE LIGHT POLE
	DOUBLE DETECTOR CHECK VALVE
	ELECTRICAL OUTLET
	ELECTRICAL PULL BOX
	ELECTRICAL MANHOLE
	GAS METER
	GAS MANHOLE
	HANDICAP
	HANDICAP PARKING SPACE
	HOSE BIBB (SPIGOT)
	IRRIGATION CONTROL VALVE
	MONITORING WELL
	PARKING LIGHT SINGLE
	PARKING LIGHT DOUBLE
	PEDESTRIAN SIGNAL
	SANITARY MANHOLE
	SIAMESE VALVE
	SIGN
	SPOT-FLOOD LIGHT
	SANITARY SEWER CLEAN OUT
	STORM MANHOLE
	TRAFFIC PULL BOX
	TRASH CAN
	UNKNOWN MANHOLE
	WATER METER
	WATER VALVE
	WATER VAULT
	YARD DRAIN
	NY/PLAST 10" DRAIN BASIN
	TELEPHONE MANHOLE
	HARD SURFACE ELEVATION
	SOFT SURFACE ELEVATION



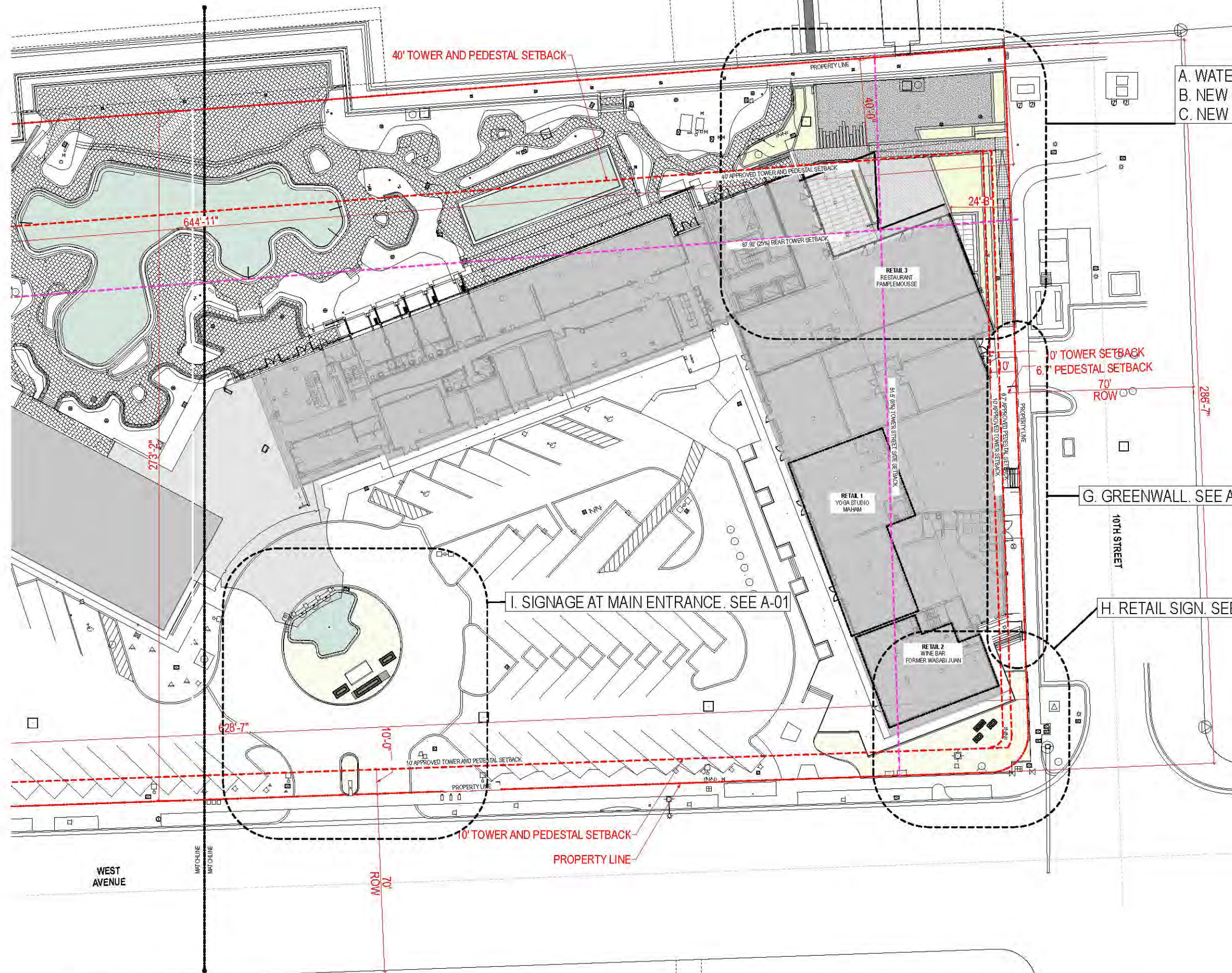
MATCH LINE SEE SHEET S-2

ITEM #	ZONING INFORMATION				
1	Address	900-910 West Ave., Miami Beach, FL 33129			
2	Board and file numbers				
3	Folio number(s)				
4	Year constructed	2016	Zoning district	RM-3	
5	Based Flood Elevation		Grade value in NGVD	VARIES	
6	Adjusted grade (Flood+Grade/2)		Lot area		
7	Lot width		Lot depth		
8	Minimum unite size		Average unite size	N/A	
9	Existing use		Proposed use		
		Maximum	Existing	Proposed	Deficiencies
10	Height				
11	Number of Stories		14	N/A	
12	FAR		N/A	N/A	
13	Gross square footage		N/A	N/A	
14	Square footage by use	N/A	N/A	N/A	
15	Number of units residential	N/A	N/A	N/A	
16	Number of units hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	
	Setback	Required	Existing	Proposed	Deficiencies
	Subterranean				
19	Front setback			N/A	
20	Side setback			N/A	
21	Side setback			N/A	
22	Side setback facing street			N/A	
23	Rear Setback			N/A	
	At grade parking				
24	Front setback			N/A	
25	Side setback			N/A	
26	Side setback			N/A	
27	Side setback facing street			N/A	
28	Rear setback			N/A	
	Pedestal				
29	Front setback			N/A	
30	Side setback			N/A	
31	Side setback			N/A	
32	Side setback facing street			N/A	
33	Rear Setback			N/A	
	Tower				
34	Front setback			N/A	
35	Side setback			N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side setback			N/A	
37	Side setback facing street			N/A	
38	Rear setback			N/A	
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district			N/A	
40	Total # of parking spaces			N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking space dimensions			N/A	
44	Parking space configuration (45°, 60°, 90°, Parallel)			N/A	
45	ADA spaces			N/A	
46	Tandem spaces			N/A	
47	Drive aisle width			N/A	
48	Valet drop off and pick-up			N/A	
49	Loading zones and trash collection areas			N/A	
50	Racks			N/A	
	Restaurants, Cafes Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use			N/A	
52	Total # of seats			N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
54	Total occupent content			N/A	
55	Occupant content per venue			N/A	
	(Provide a separate chart for a breakdown calculation)			N/A	
56	Is this a contributing building?			N/A	
57	Located within a local historic district?			N/A	

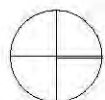
Notes:
If not applicable write N/A
All other data information may be required and presented like the above format

SOUTHGATE TOWERS MIAMI BEACH				
		EXISTING	REQUIRED	PROVIDED
ZONING DISTRICT				
RM-3		RM-3	-	-
FAR		N/A	N/A	N/A
HEIGHT		N/A	N/A	N/A
PARKING + LOADING		N/A	N/A	N/A
SETBACKS				
AT-GRADE PARKING		N/A	N/A	N/A
TOWER		N/A	N/A	N/A
PEDESTAL				
FRONT		10' - 0"	20' - 0"	*10' - 0"
SIDE, INTERIOR		15' - 11"	51'-7" (51.6')	*15' - 11" (15.9')
SIDE, FACING A STREET		6' - 8"	51'-7" (51.6')	*6' - 8" (6.7')
REAR		40' - 0"	27' - 4" (27.3')	*40' - 0"
*EXISTING TO REMAIN				

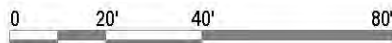


A. WATERFRONT RESTAURANT. SEE A-09
B. NEW OPERABLE DOORS AT STOREFRONT
C. NEW WATER FEATURE.

I. SIGNAGE AT MAIN ENTRANCE. SEE A-01



SCALE: 1" = 40'



G-06A

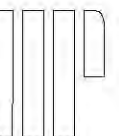
910 WEST AVENUE | SGT

DRB

SITE PLAN A

01/25/21

URBAN ROBOT © 2021



15.9' TOWER AND PEDESTAL SETBACK

259'-4"

51.3' TOWER STREET SIDE SETBACK

16.9' APPROVED TOWER AND PEDESTAL SETBACK

644'-11"

273'-2"

628'-7"

10'-0"

70' ROW

WEST AVENUE

MATCHLINE
MATCHLINE

G-06B

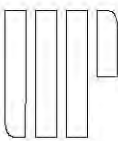
910 WEST AVENUE | SGT

DRB

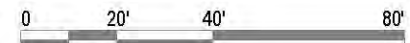
SITE PLAN B

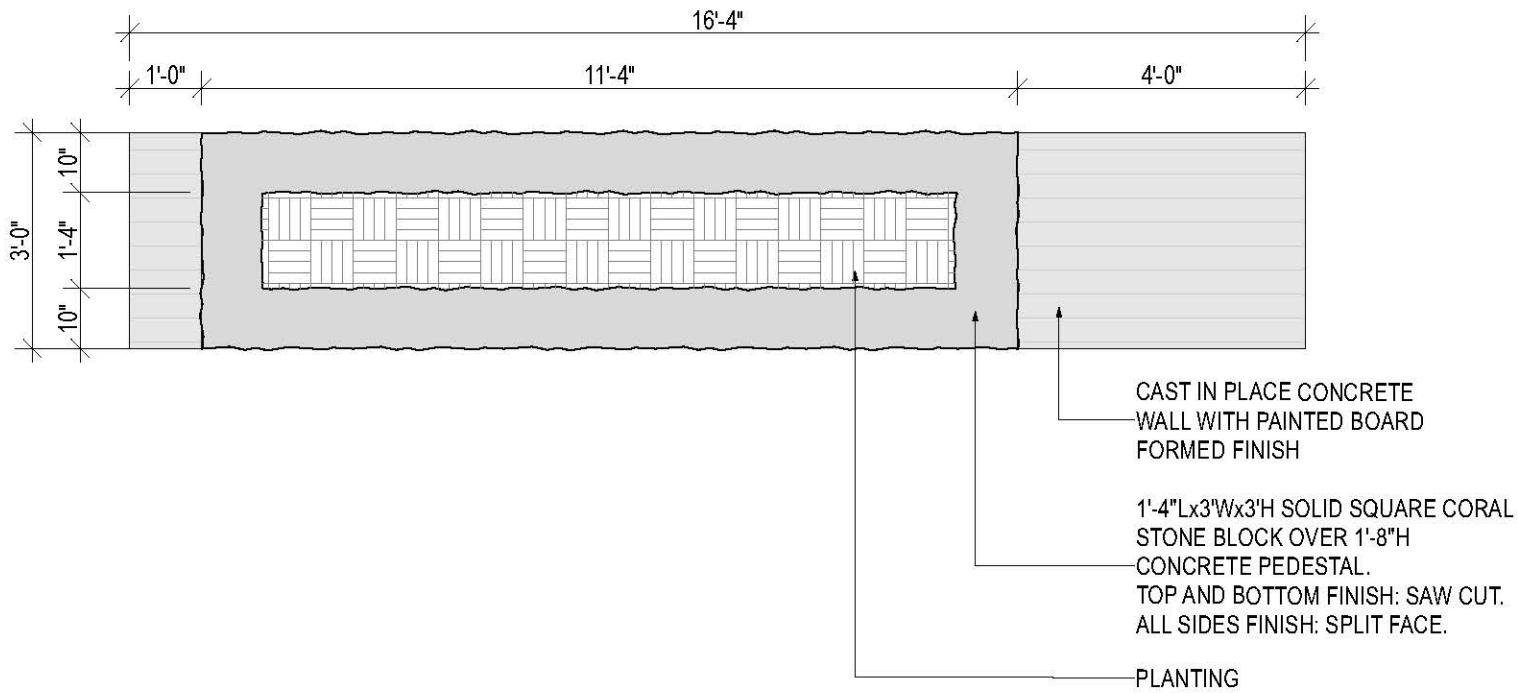
01/25/21

URBAN ROBOT © 2021

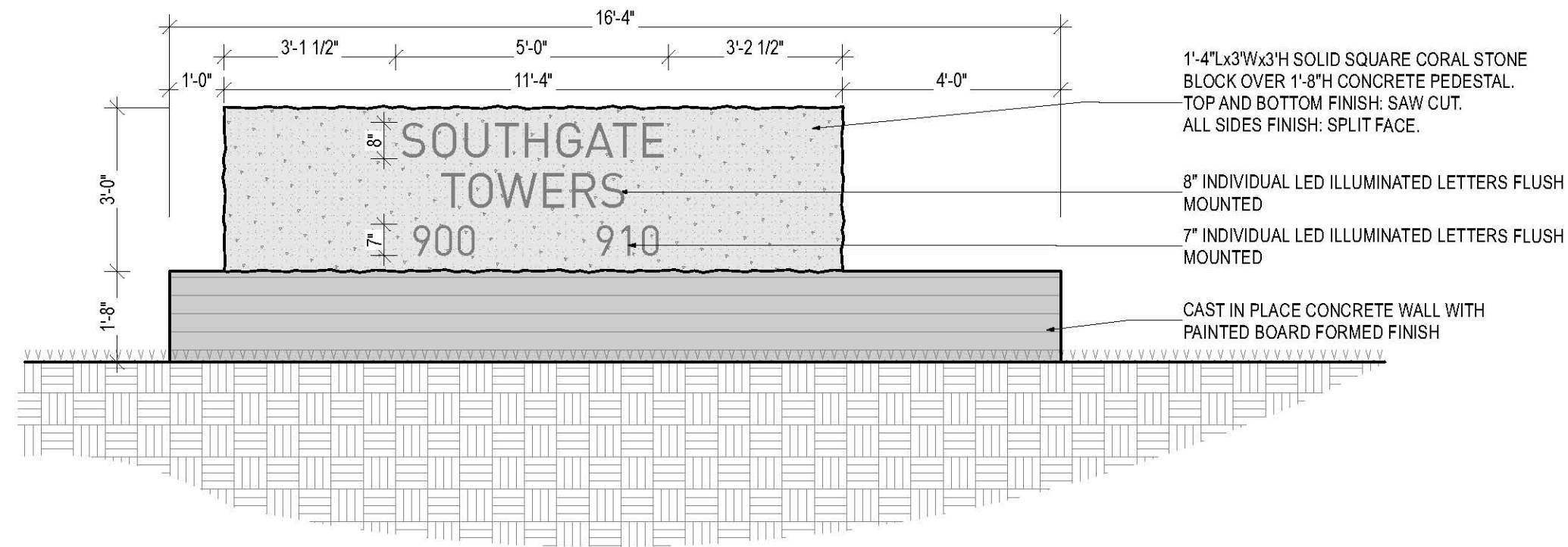


SCALE: 1" = 40'

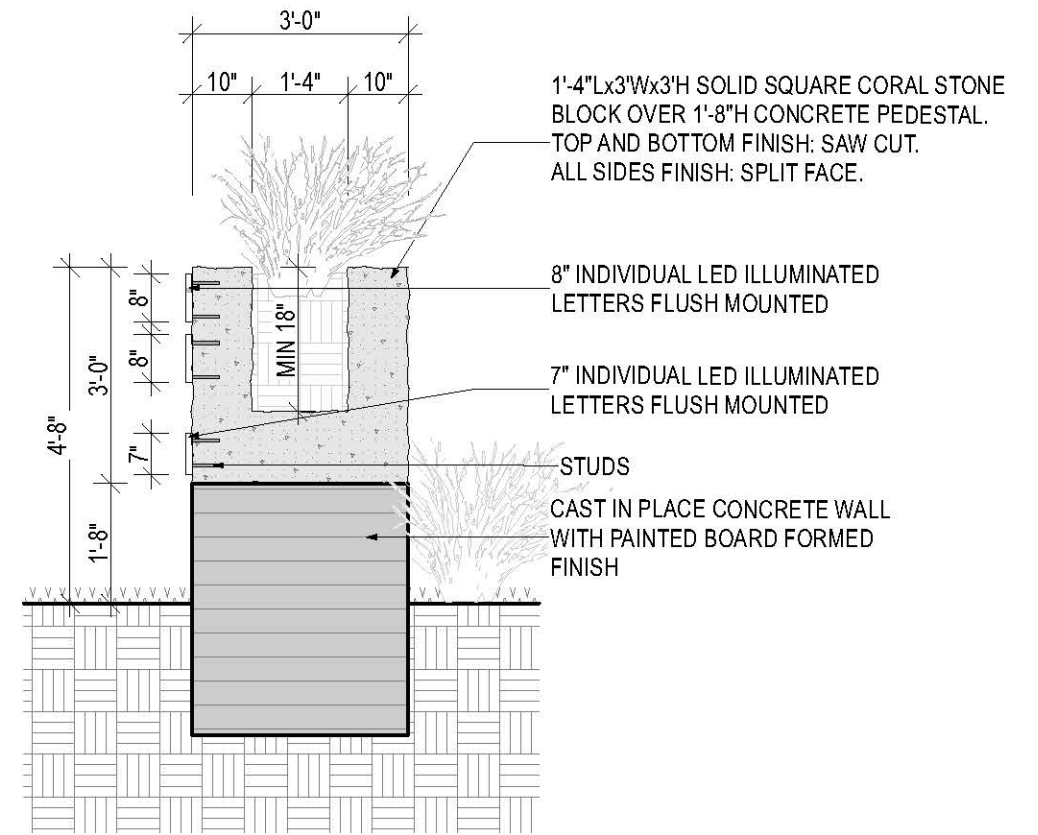




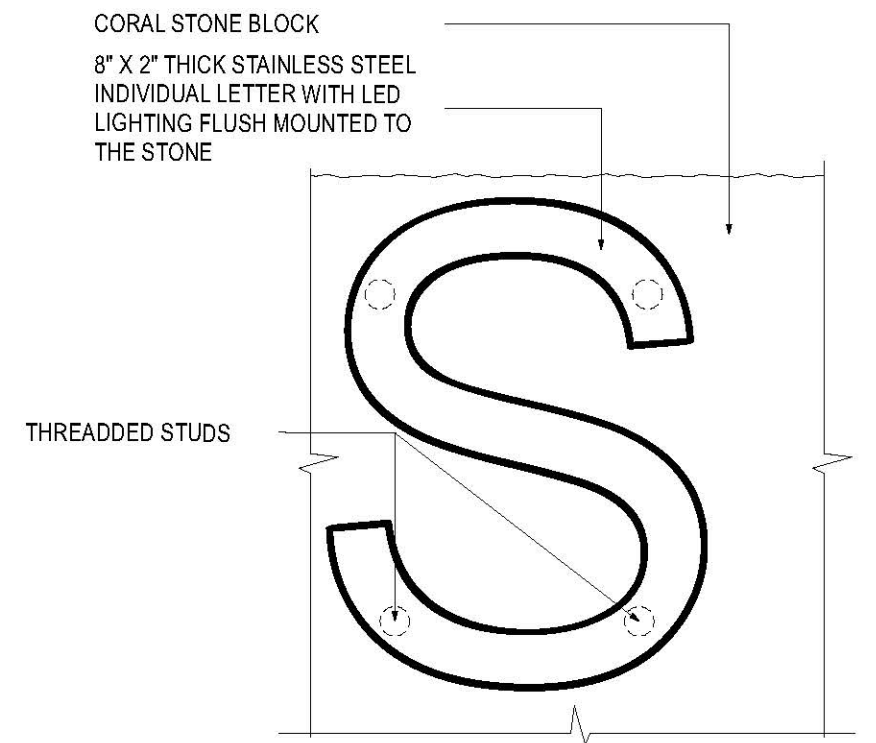
PLAN



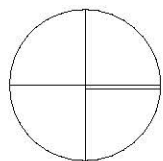
ELEVATION



SECTION



ENLARGEMENT



ENTRY SIGNAGE DETAILS

SCALE: 3/8" = 1'-0"



A-03a

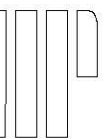
910 WEST AVENUE | SGT

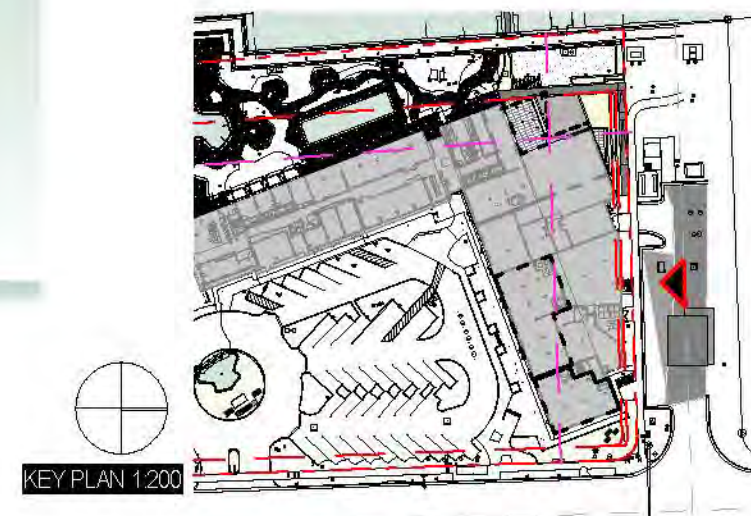
DRB

PROPOSED ENTRY SIGN DETAILS

10/12/20

URBAN ROBOT © 2020





SCALE: 1/32" = 1'-0"



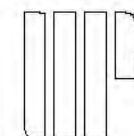
NORTH ELEVATION

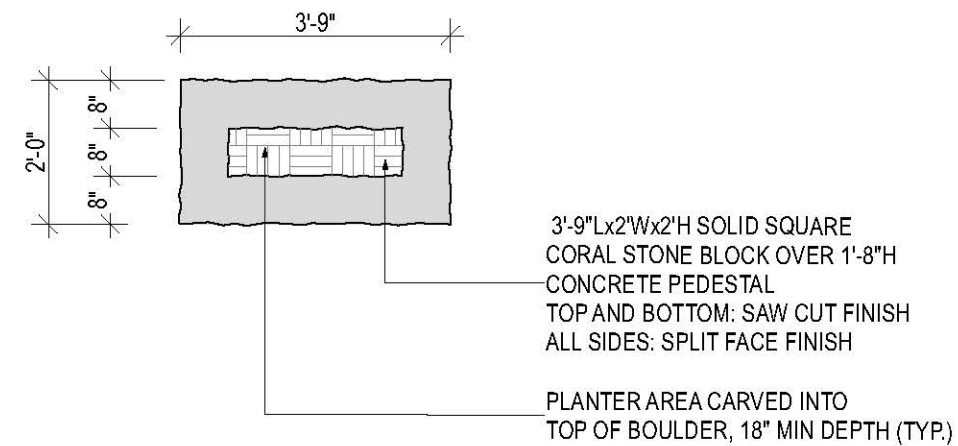
A-04

910 WEST AVENUE | SGT
DRB

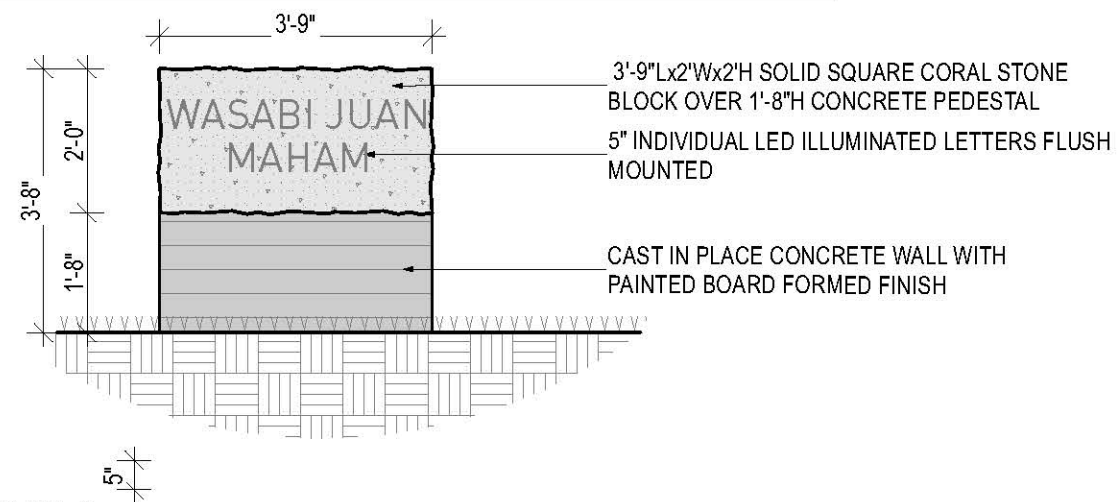
01/25/21

URBAN ROBOT © 2021

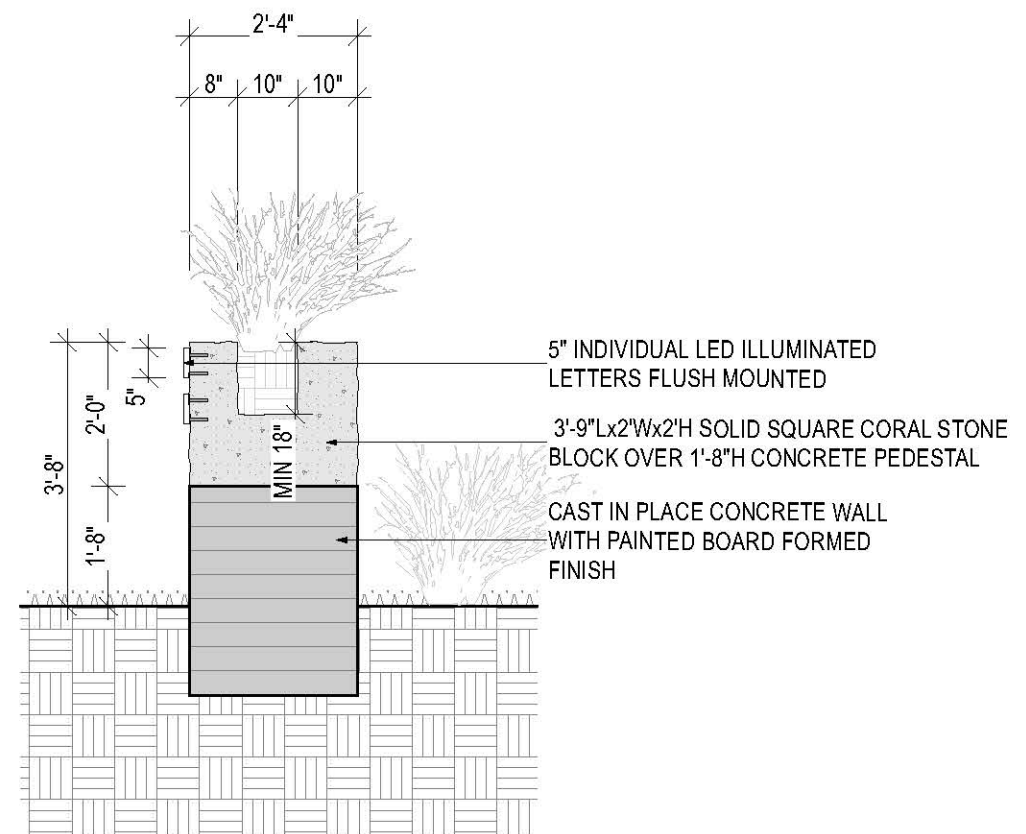




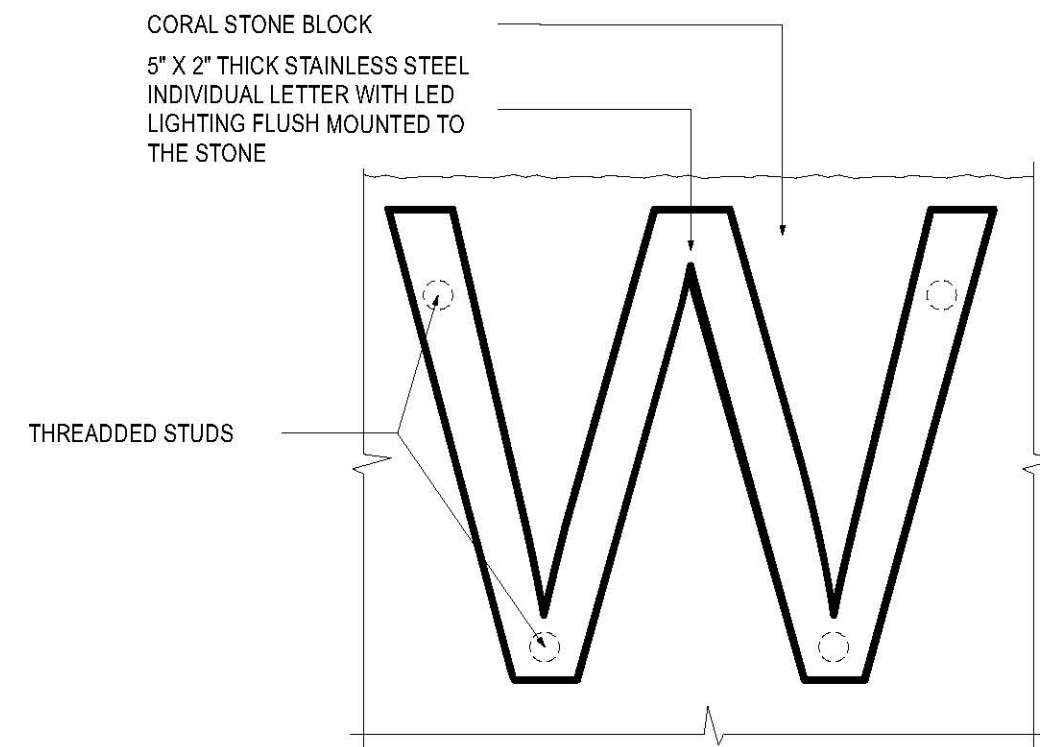
PLAN



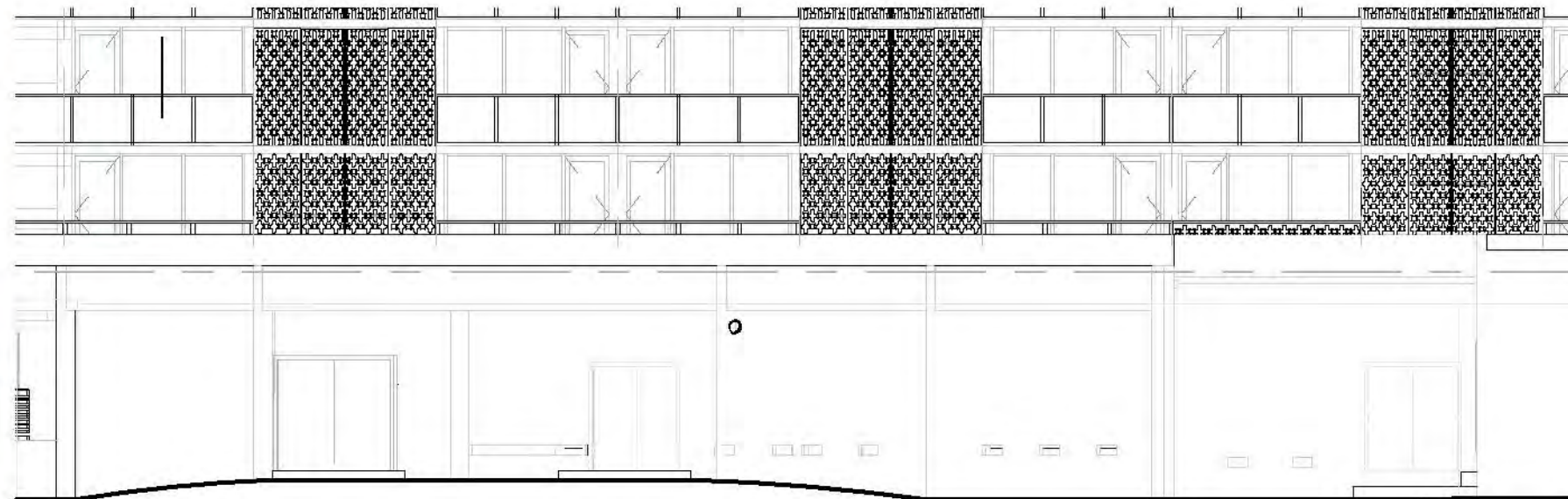
ELEVATION A



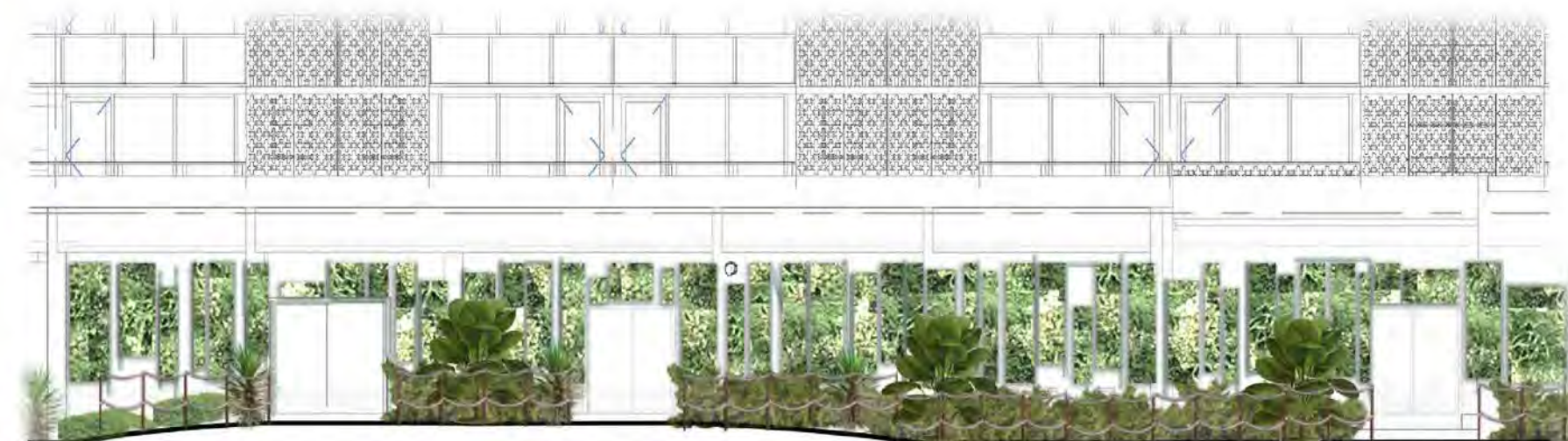
SECTION



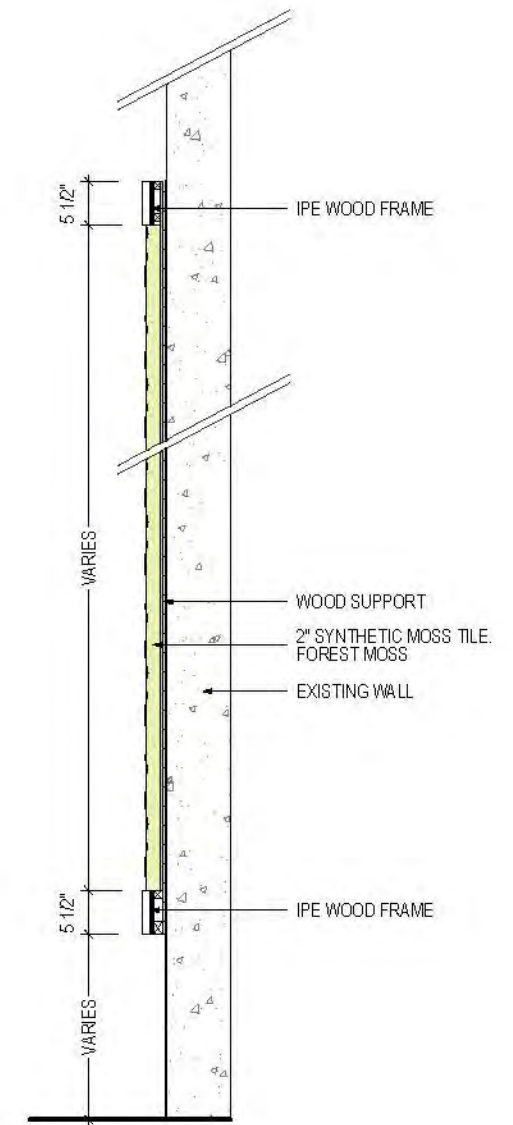
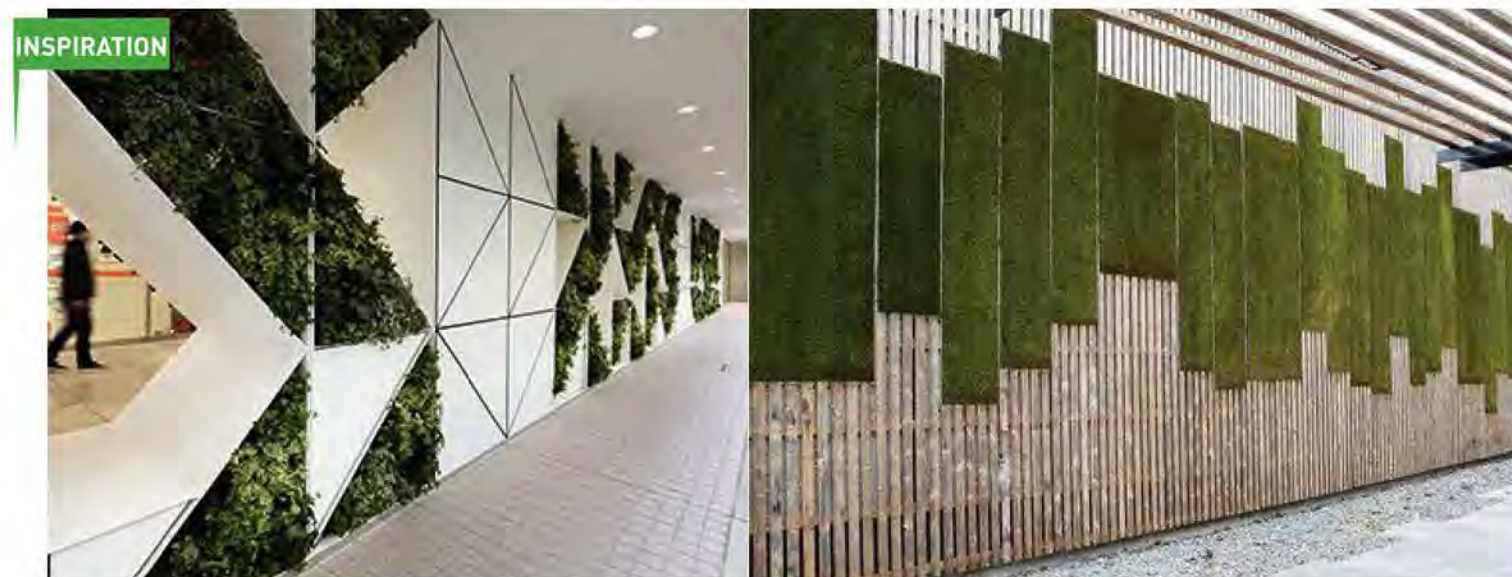
ENLARGEMENT



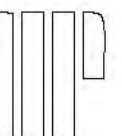
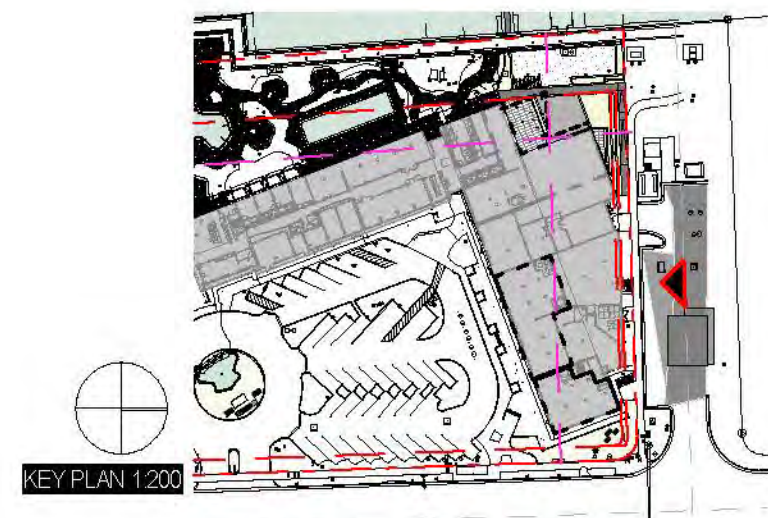
EXISTING ELEVATION

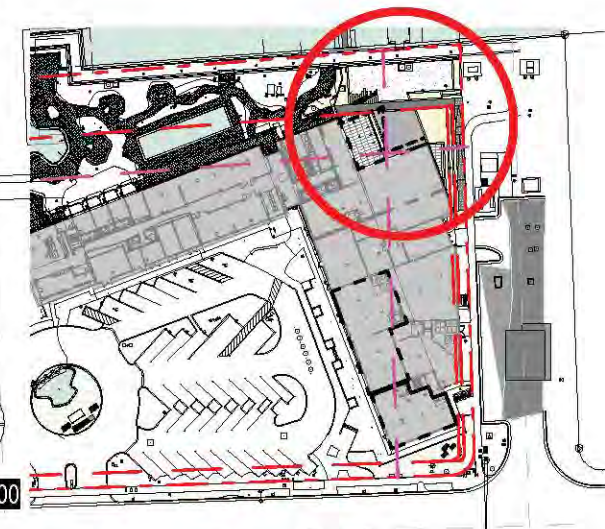
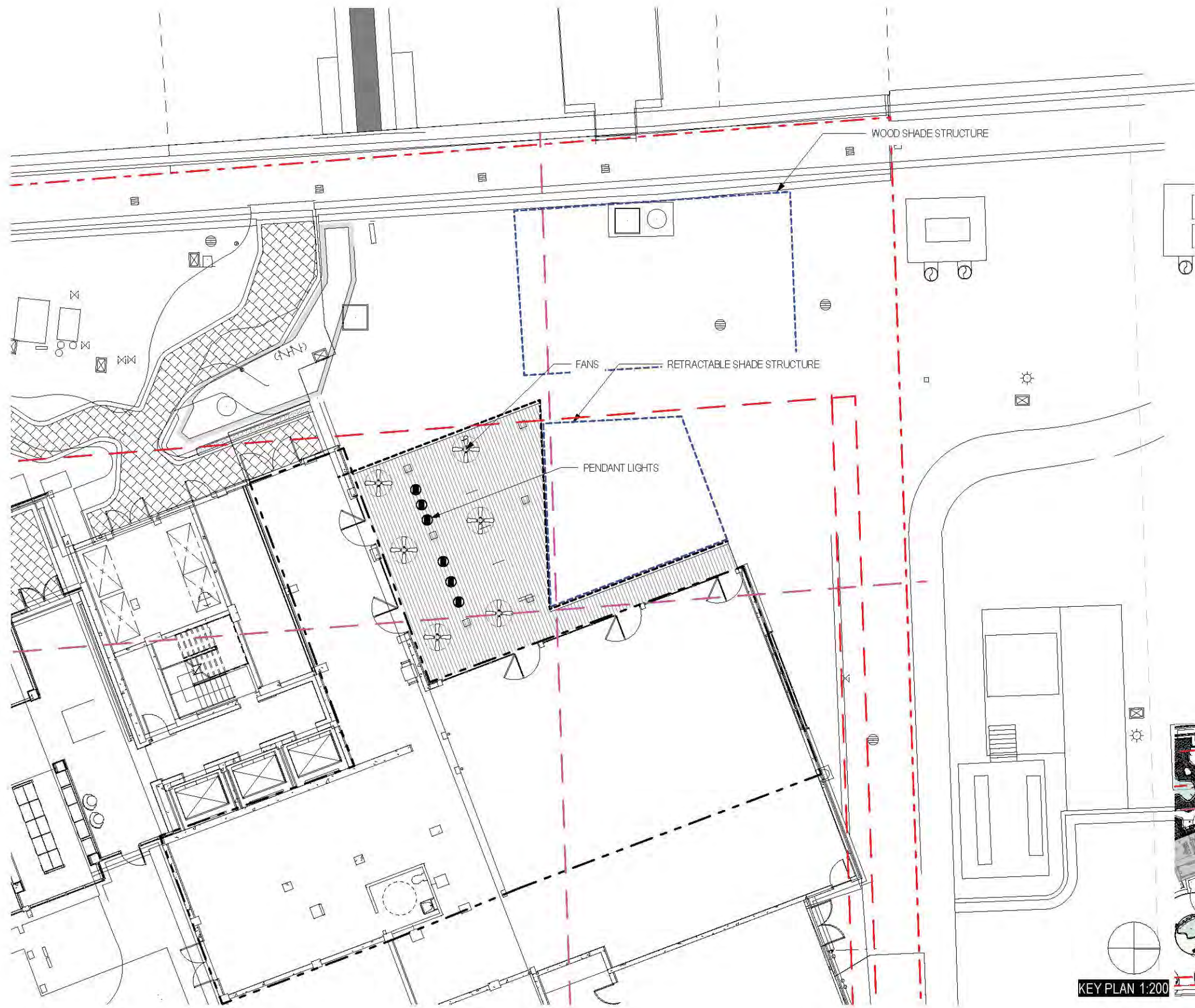


PROPOSED ELEVATION

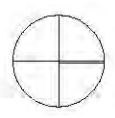


GREEN WALL DETAIL



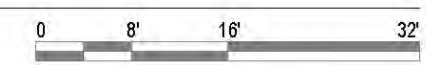


KEY PLAN 1:200



RCP

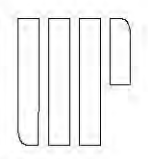
SCALE: 1/16" = 1'-0"

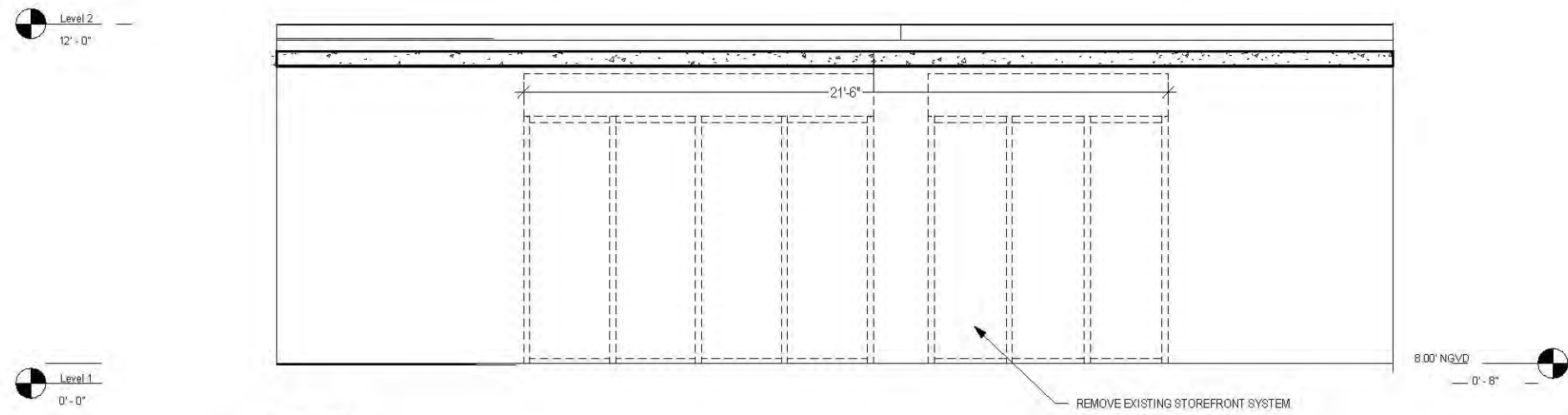


A-10

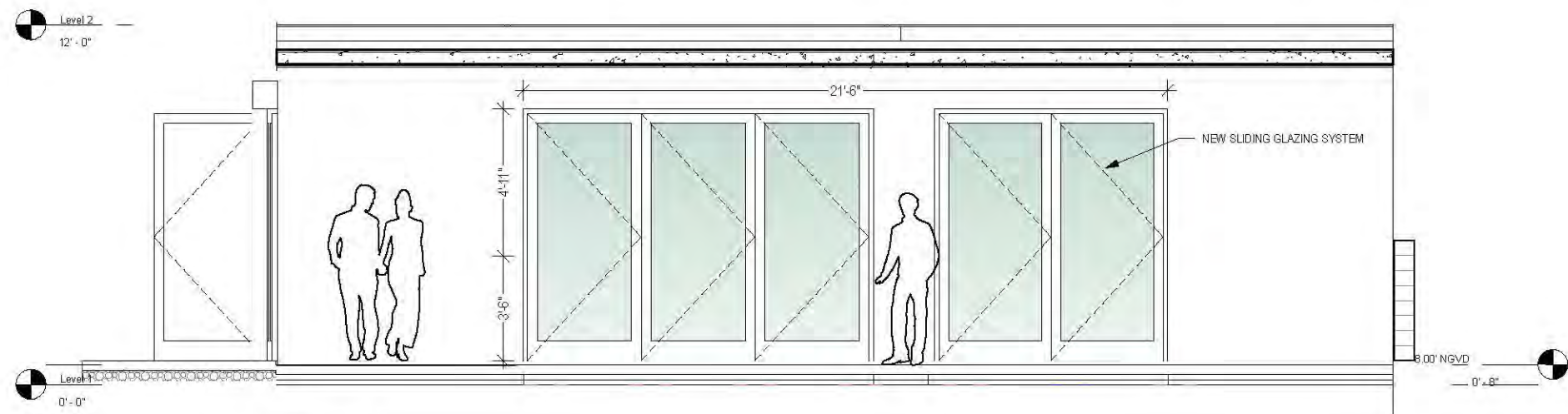
910 WEST AVENUE | SGT

DRB





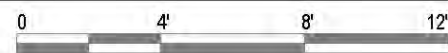
EXISTING



PROPOSED

WEST ELEVATION

SCALE: 3/16" = 1'-0"



A-11

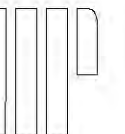
910 WEST AVENUE | SGT

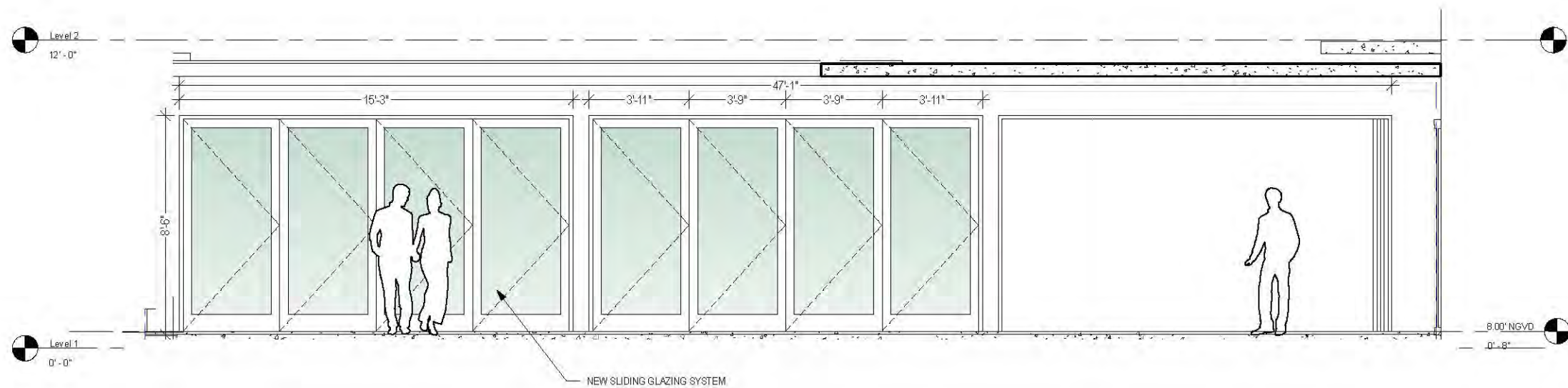
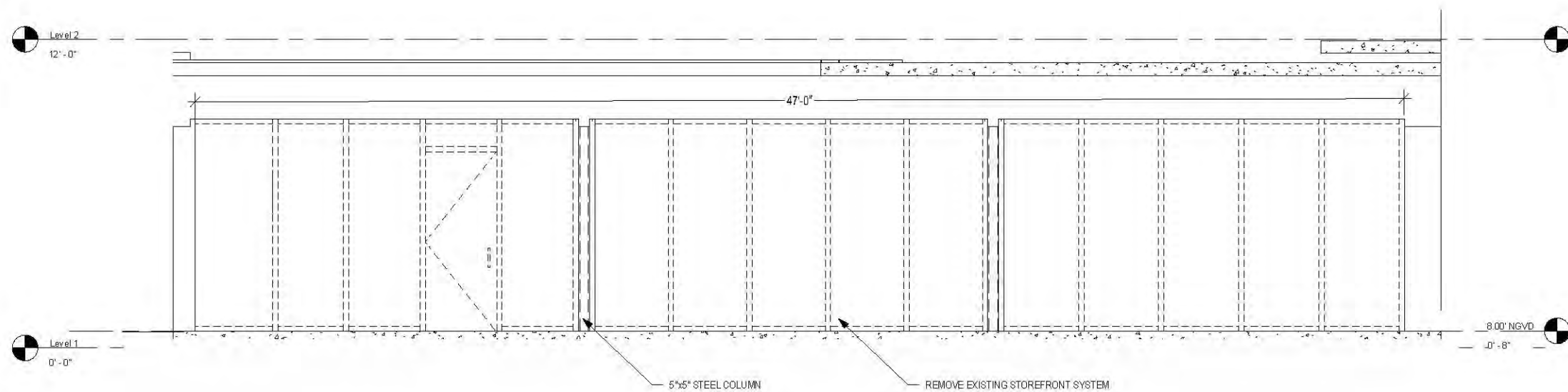
DRB

WATERFRONT RESTAURANT ELEVATIONS

01/25/21

URBAN ROBOT © 2021





WEST ELEVATION

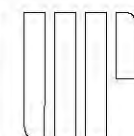
SCALE: 3/16" = 1'-0"

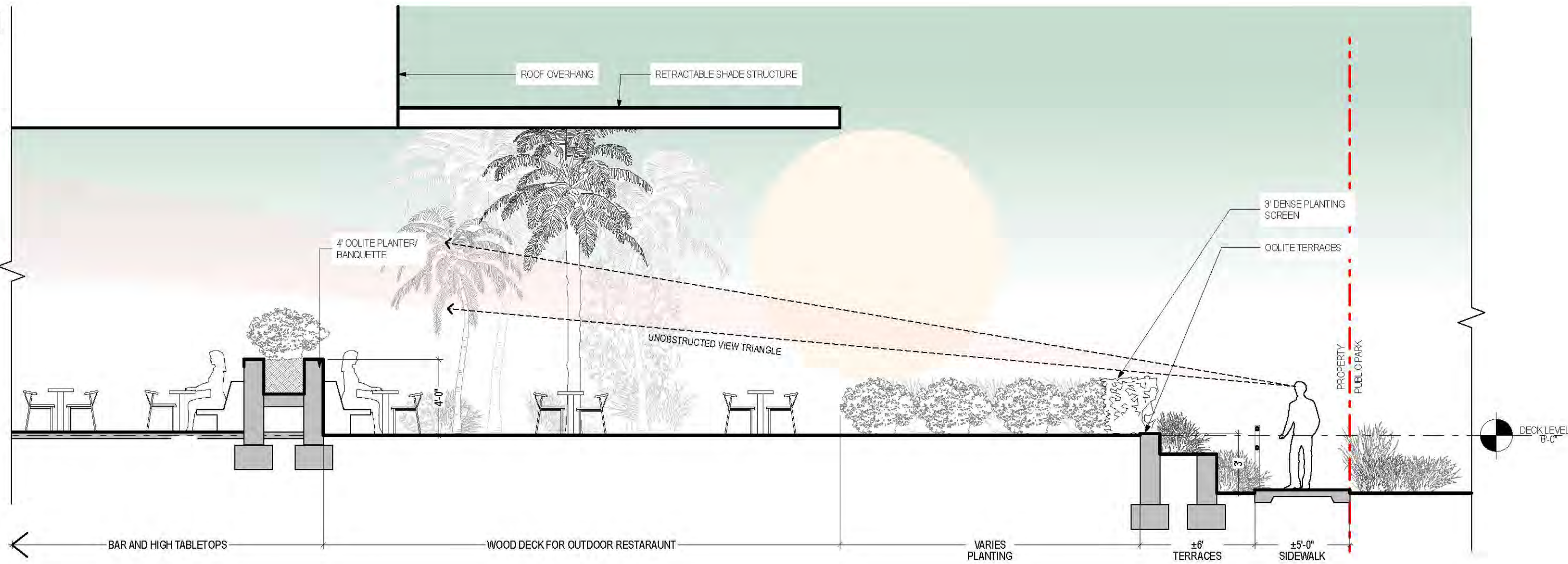


A-12

910 WEST AVENUE | SGT

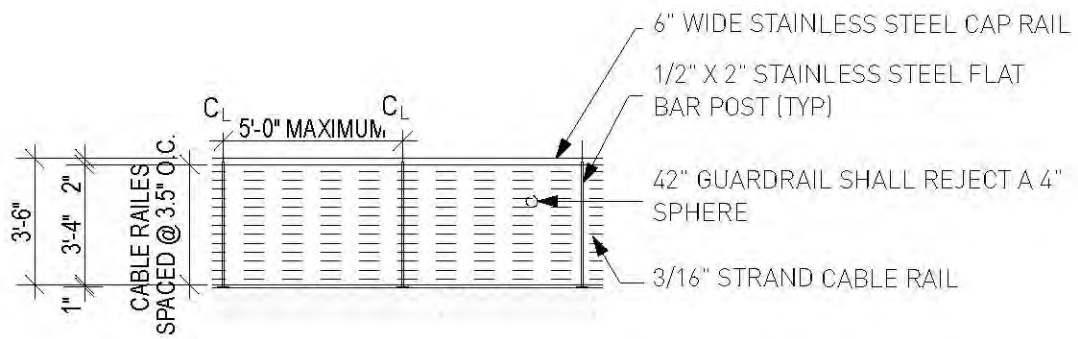
DRB





10TH STREET SECTION

SCALE: 3/16" = 1'-0"



TYPICAL HANDRAIL ELEVATION

NOTE:
HANDRAILS TO INCORPORATE A FLAT PROFILE AND ANY ACCESSIBILITY RAIL TO RETURN TO THE GROUND



TYPICAL HANDRAIL SECTION

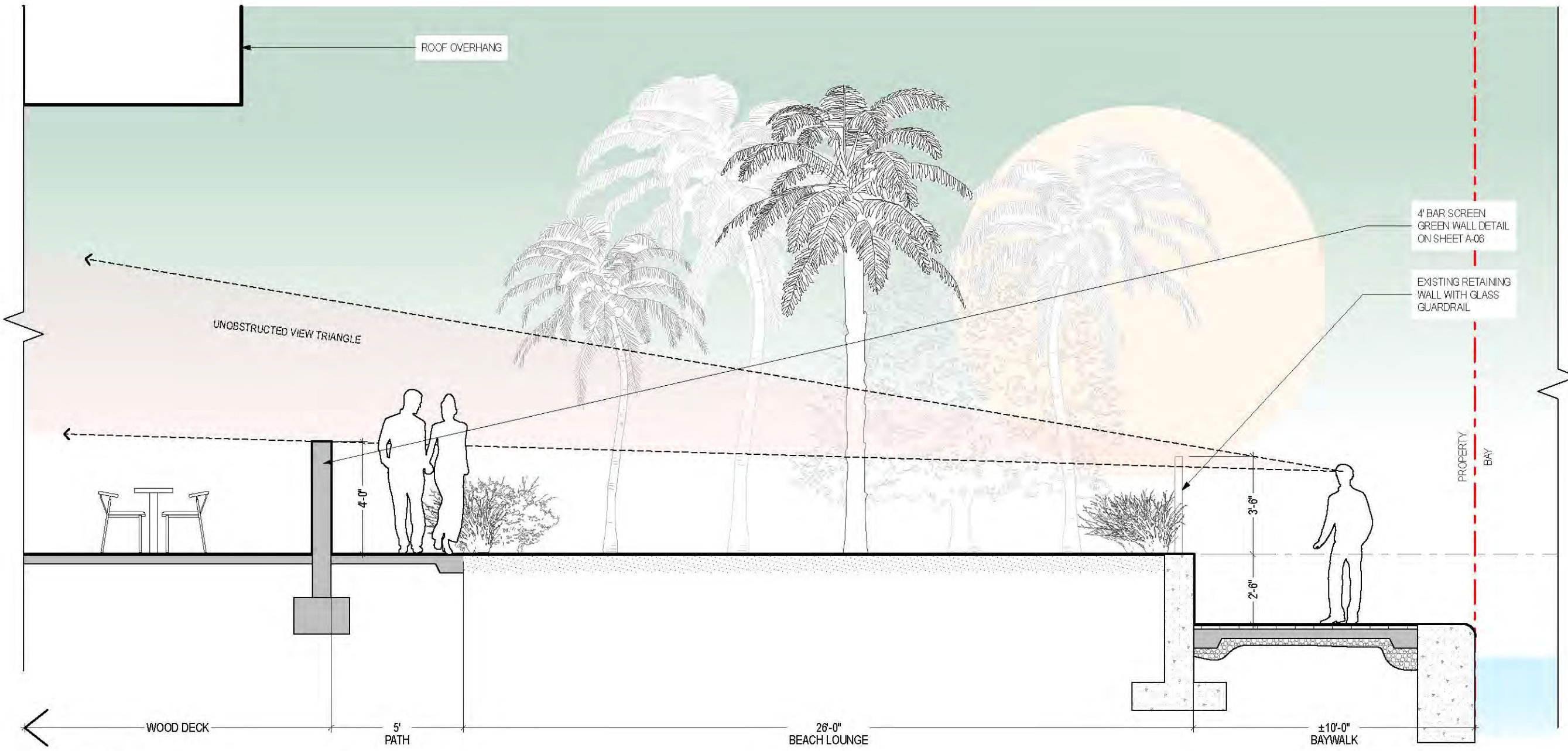


KEY PLAN 1:200

GUARDRAIL DETAIL

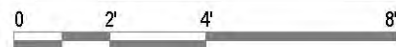
SCALE: 3/16" = 1'-0"





BAYWALK SECTION

SCALE: 1/4" = 1'-0"



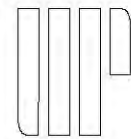
A-15

910 WEST AVENUE | SGT
DRB

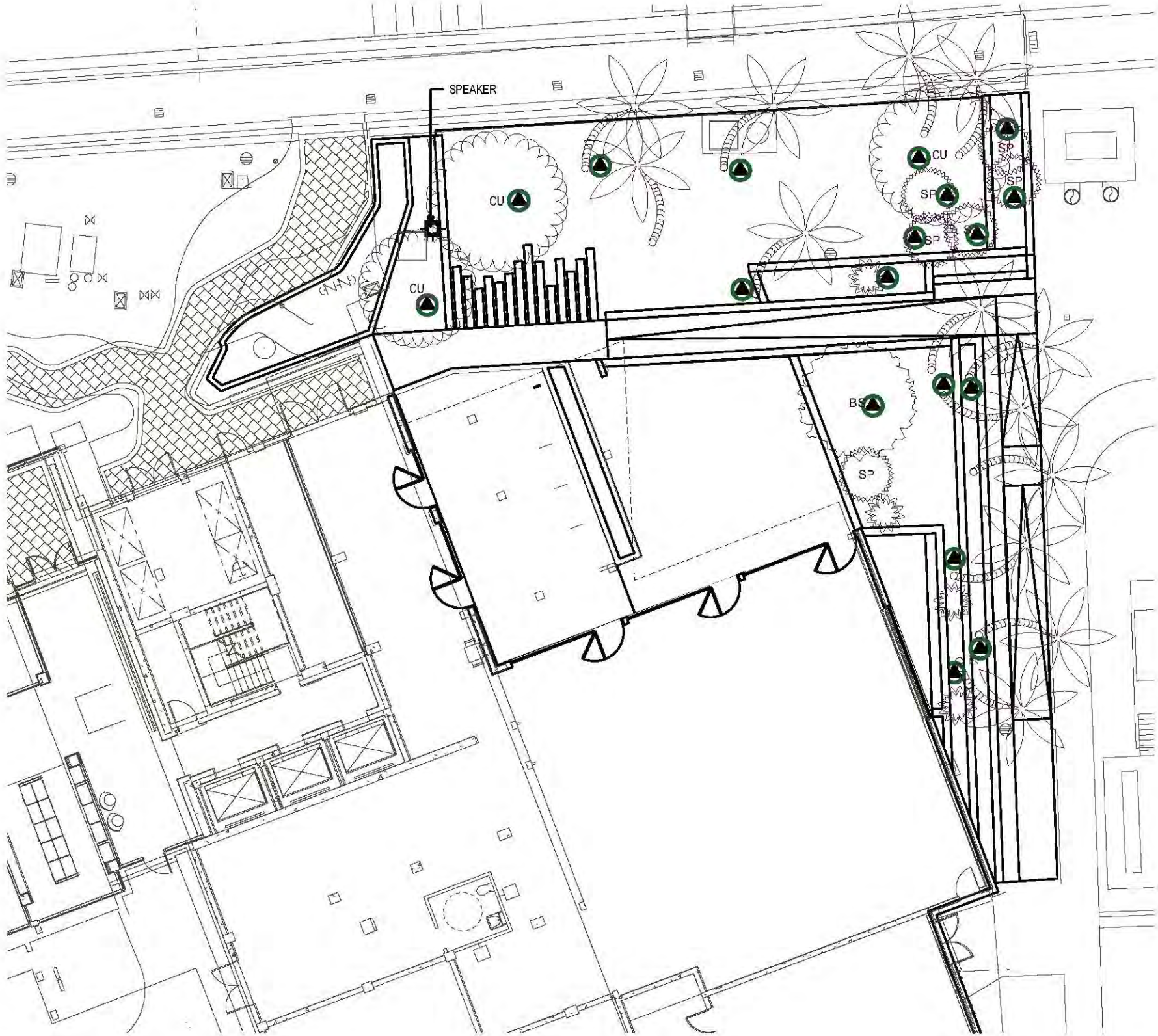
SECTION BAYWALK

01/25/21

URBAN ROBOT © 2021



Lighting									
Symbol	Light Fixture	Manufacturer	Model	Voltage	Lamp	Watts	Color Temp	Material	Finish
●	Spot Light	Garden Light	V2	12V	LED	8 WATTS	3000 K	SOLID BRASS	BRASS



L-LIGHTING PLAN
SCALE: 1/16" = 1'-0"



VISIONARY SERIES V2 | SPOT LIGHT



A FIXTURE FOR LIFE

CATEGORY

LED Spot Light

LED LIFE EXPECTANCY | WARRANTY

TM21 data: Greater than **80,000 hours** (20+ years at 8 hours a day)
20 Year Warranty
We run our fixtures **40%** cooler than LM80 testing standards

SPECIFICATIONS

APPLICATION	CONSTRUCTION	DRIVER SYSTEM	INPUT POWER	INSTALLATION	LEAD WIRES	CRI	CERTIFICATION
Up Light Shedding Wall Wash Silhouette Architectural Accents	6061 Aluminum C360 Solid Brass	External Driver	10.5-18 VAC	LV180 Ground Stake Included	ULECC 18 AWG Tinned Copper Wire 46 inch Length	80	UL1836 Low Voltage Landscape Lighting

PRODUCT DIMENSIONS



EQ / WATTS / VA / LUMENS

EQ / W / VA / LM
10 - 2W/4VA - 130lm
20 - 4W/7VA - 210lm
35 - 6W/10VA - 280lm

BEAM SPREAD & FINISH

BEAM SPREAD	FINISH
12° 25° 40° 60°	Black (BLK) C360 Solid Brass (BR) Stainless Aluminum (SSA)

POWER CONSUMPTION

COLOR TEMPERATURE	VA	VA	VA
3000K	4	7	10
2700K	4	7	10
5000K	4	7	10
AMB*	8	10	11
BLU	6	11	11
RBL	6	10	11
GRN	6	11	11
RED*	4	8	8
FSA**	N/A	N/A	9
LVR**	N/A	N/A	10

FEATURES

- Compression line technology; no glue
- Over designed heat sink and thermal management for longevity and consistency
- Dedicated LED driver
- Machined Metal Ingot, not Cast Material
- Proprietary design enhanced and robust driver technology
- Remarkably tight binning process: 2-step Macadam ellipse to ensure consistent light output and no variation
- Surge protection built into every driver
- Lumen levels: Suburbs tested with shrouds

ADDITIONAL INFO

- Built in USA | Tampa, FL
- For custom light output, contact your sales associate
- **Tropical and Lavender require additional lead time
- *Color Temperature Amber and Red are not Turtle Friendly; see our Turtle Friendly Banner for more information

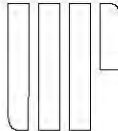


Urban Robot, LLC | 912 Benjamin Road | Tampa, FL 33604 | 1-800-200-2000 | www.urbanrobot.com

L-0X

910 WEST AVENUE | SGT

DRB



GRASSES



Spartina patens



Tripsacum dactyloides



tripsacum floridanum

WILD FLOWERS



Sesuvium portulacastrum



Seaside goldenrod



Helianthus debilis

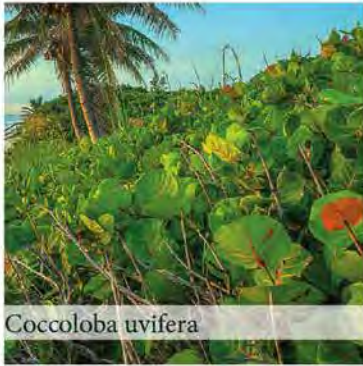


Gaillardia pulchella

TREES



Gumbo limbo



Coccoloba uvifera

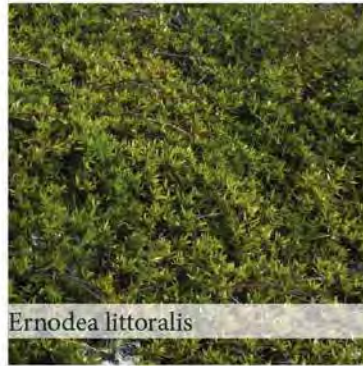
VINES AND CLIMBERS



Pyrostegia venusta



Ficus pumila



Ernodea littoralis

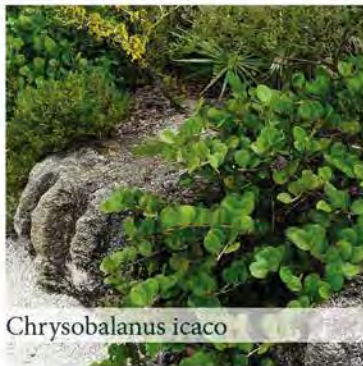
ACCENTS



Agave blue flame



Serenoa repens cinerea



Chrysobalanus icaco



Yucca aloifolia



Zamia pumila

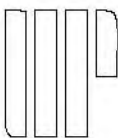
PALMS

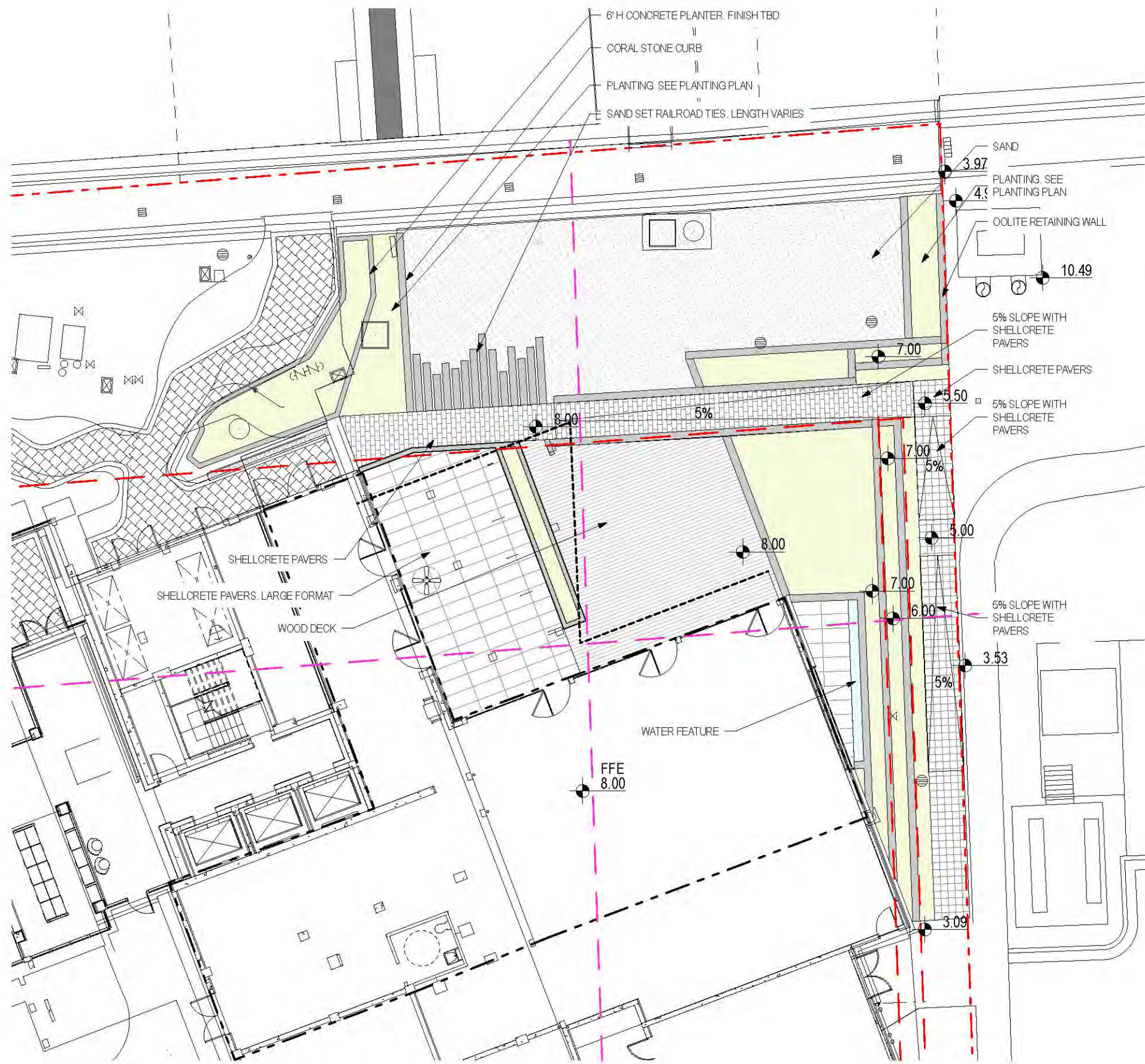


Sabal palmetto



Cocos nucifera

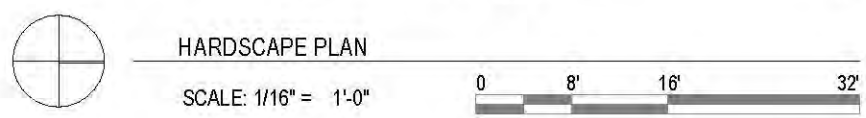




Hardscape Schedule		
Symbol	Item	Area
	APPROVED SAND	1,586
	CONCRETE RAISED PLANTER	62
	CORAL STONE PAVER	109
	OOLITE RETAINING WALL	441
	OOLITE SIGN	8
	PLANTING	1,169
	RAILROAD TIES	101
	SHELLCRETE PAVER	774
	SHELLCRETE PAVER LARGE FORMAT	908
	WATER FEATURE	30
	WOOD DECK	756

NOTE:

- THE PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED.
- PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.



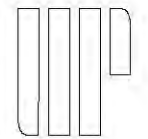
HARDSCAPE PLAN

SCALE: 1/16" = 1'-0"

L-03

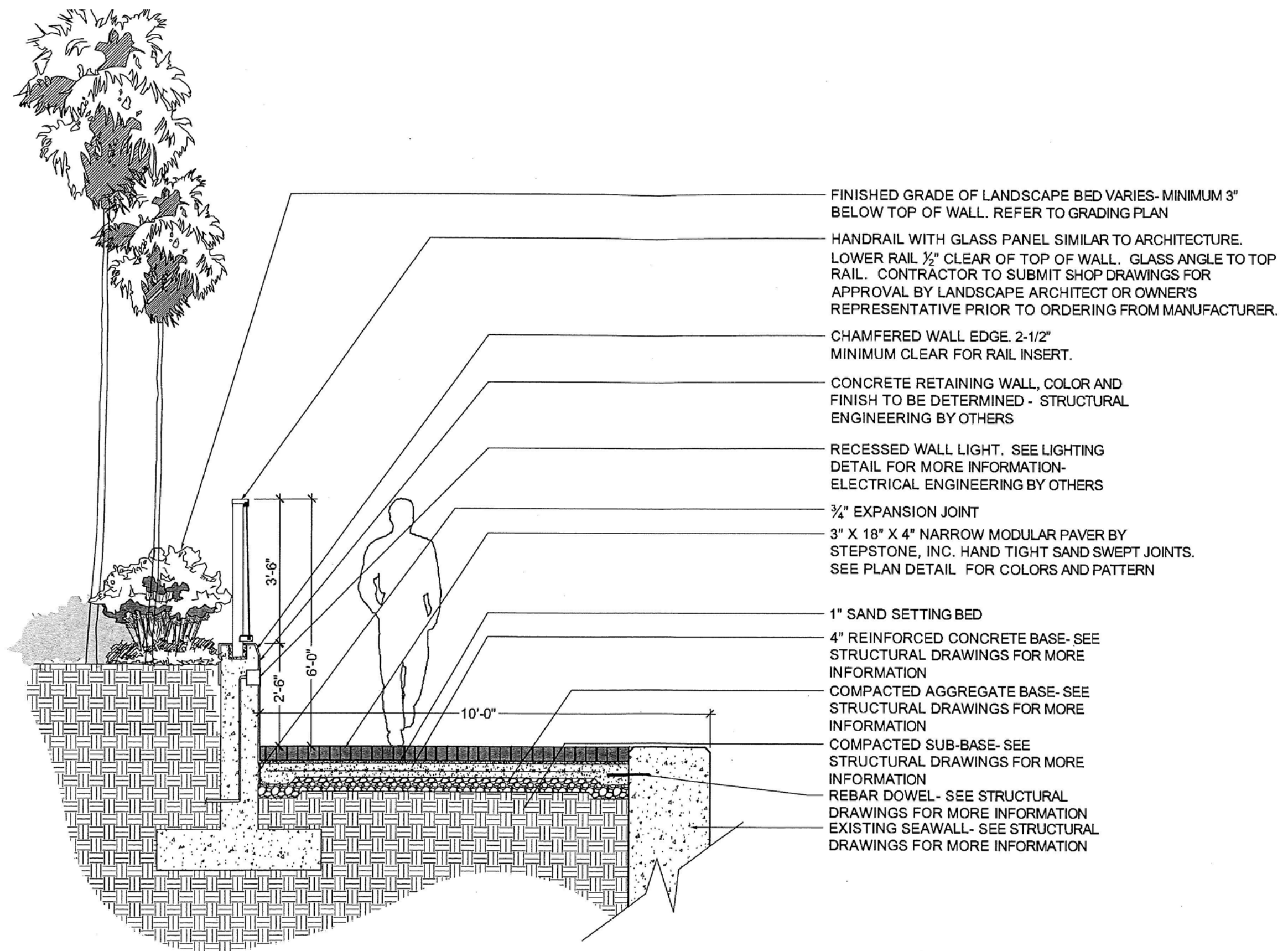
910 WEST AVENUE | SGT

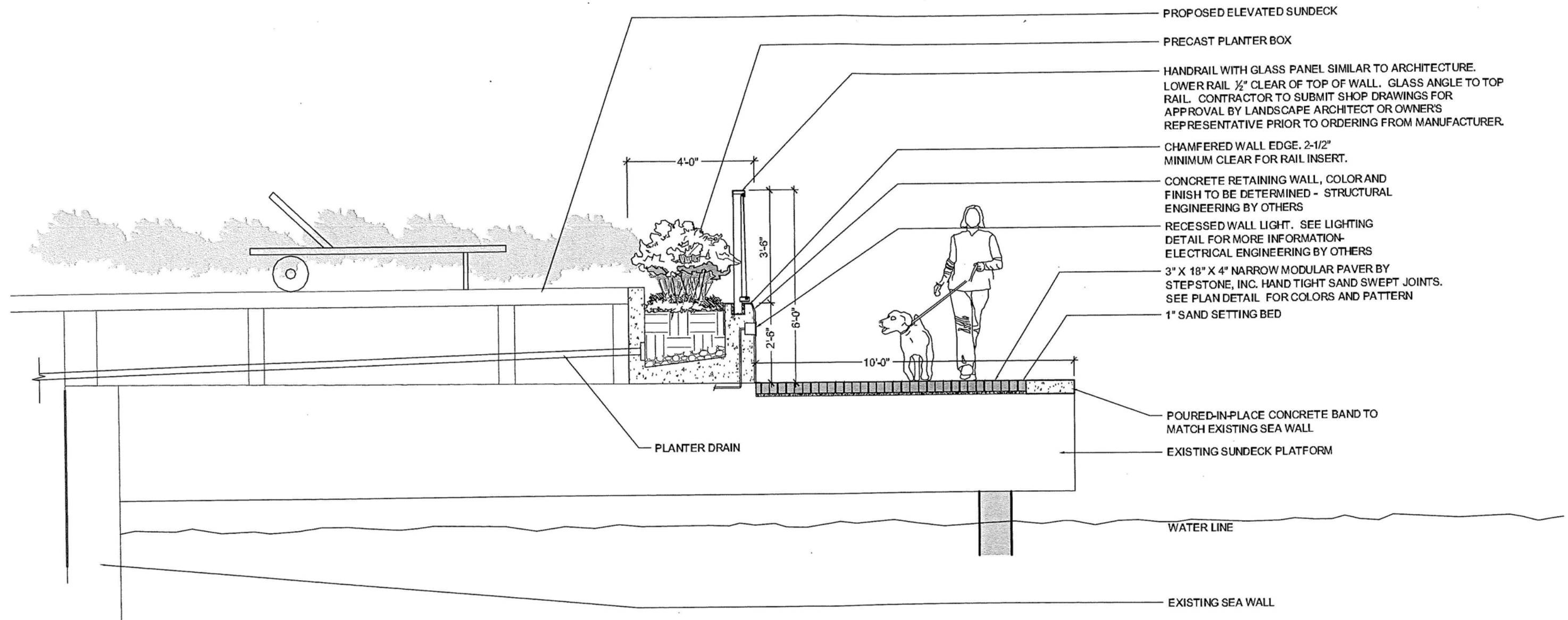
DRB

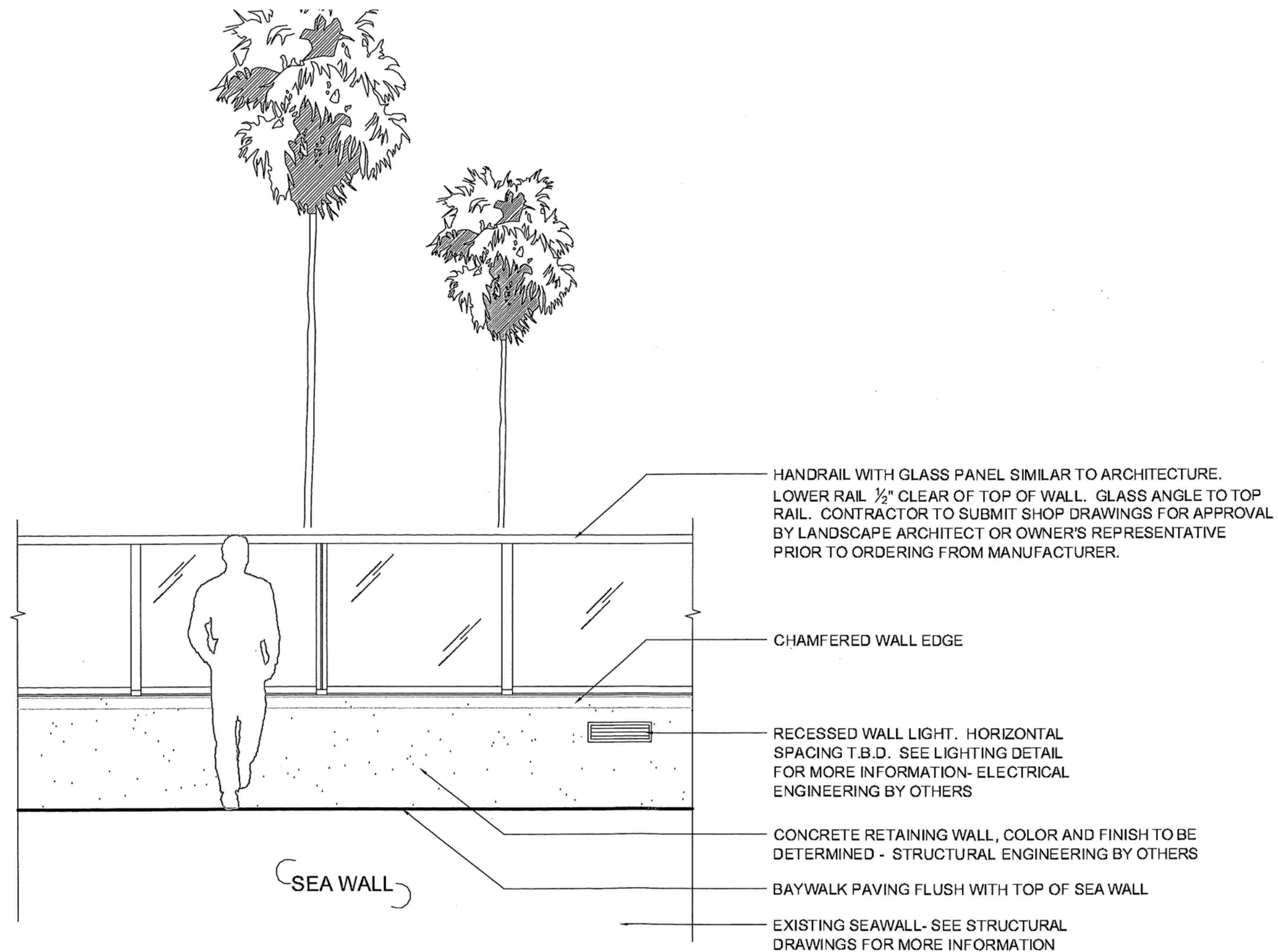


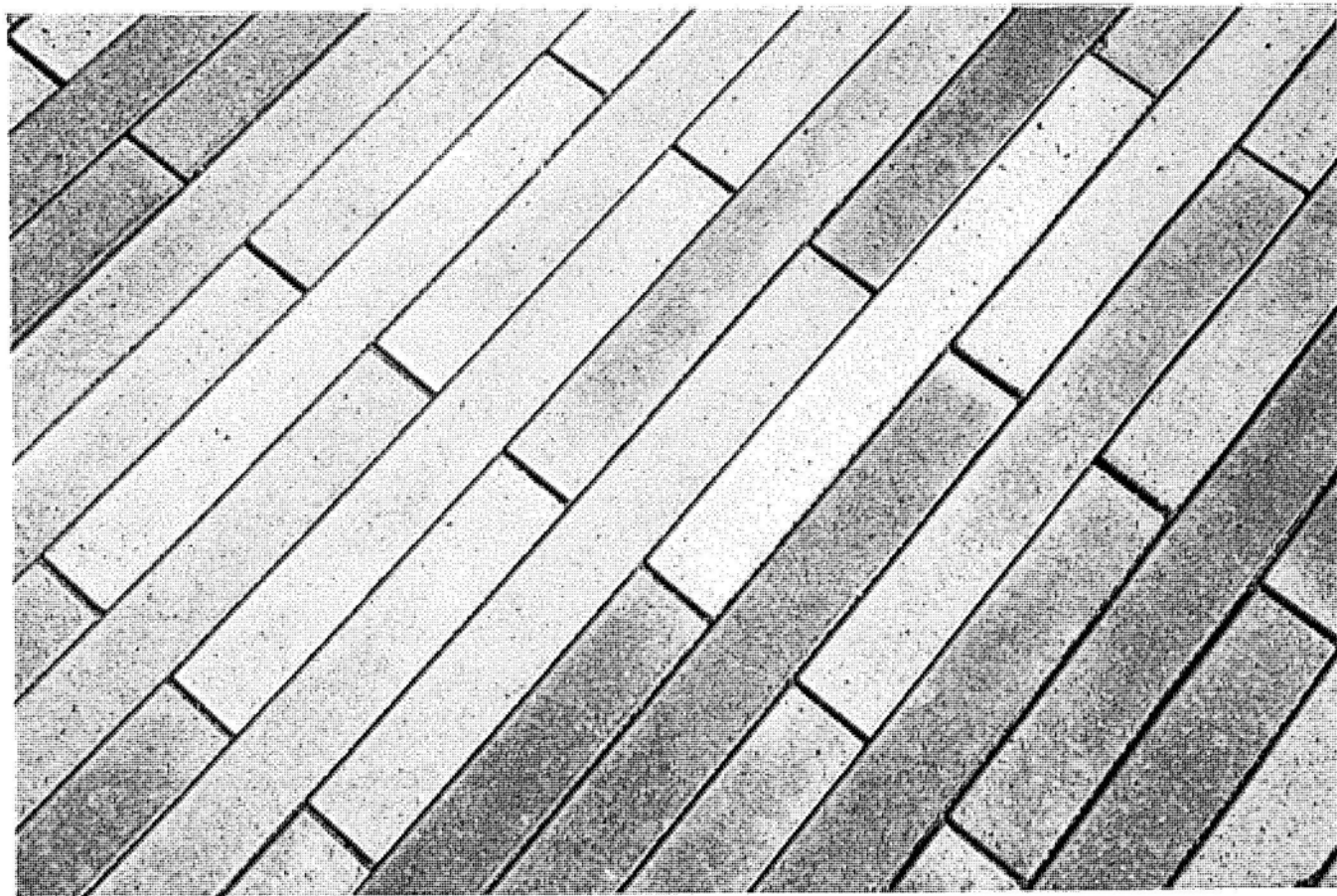
FILE COPY







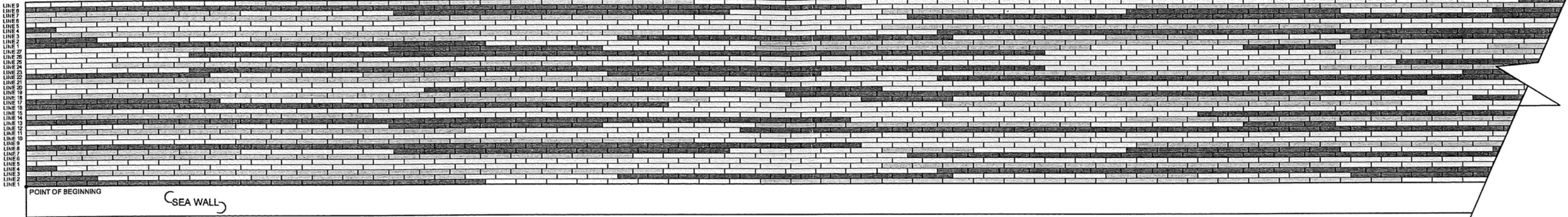




MANUFACTURER: STEPSTONE, INC.
 SERIES: NARROW MODULAR PAVER
 SIZE: 3" X 18" X 4"
 NOTE: SEE PLAN DETAIL FOR
 COLORS AND PATTERN

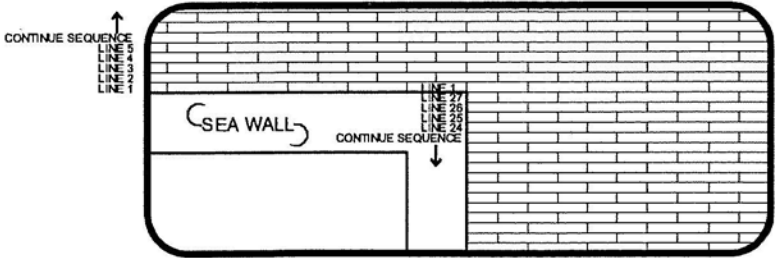


LINE 28 AND BEYOND: REPEAT PATTERN BEGINNING WITH LINE 1



NOTES:

- 1) BRICKS LAID IN RUNNING BOND PATTERN ALIGNED PARALLEL TO THE SEA WALL STARTING AT THE POINT OF BEGINNING AS SHOWN ABOVE.
- 2) FINAL ALIGNMENT OF RETAINING WALL MAY REQUIRE ADJUSTMENT TO AVOID CUT BRICK ROW AGAINST THE BACK RETAINING WALL. PRIOR TO CONSTRUCTION OF WALL OR HARDSCAPE CONTRACTOR TO MOCK-UP BRICK ROWS AND FIELD VERIFY DIMENSION OF BAYWALK BETWEEN SEA WALL AND RETAINING WALL FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.



PLAN

NOTES:

- 1) AT TURN IN BAYWALK, RUNNING BOND PATTERN CONTINUES IN STRAIGHT LINES AS SHOWN.
- 2) COLOR PATTERN AT TURN BEGINS IN REVERSE ORDER STARTING FROM THE BEGINNING OF LINE 27, AS SHOWN IN THE ENLARGEMENT ABOVE.





Mirador 1000 garbage
collection

Mirador Loading Dock

Mirador Garage Exit Lane



Pamplemousse
Loading dock

Southgate Residential
Garbage collection

Southgate Towers
Maintenance
Shop/Deliveries

Retail Garbage
Collection



DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: March 5, 2013

FILE NO: 22945

PROPERTY: 910 West Avenue

LEGAL: Lots 11-18, Block 1, Fleetwood Subdivision, According to the Plat Thereof, as recorded in Plat Book 28 at Page 34, of the Public Records of Miami-Dade County, Florida.

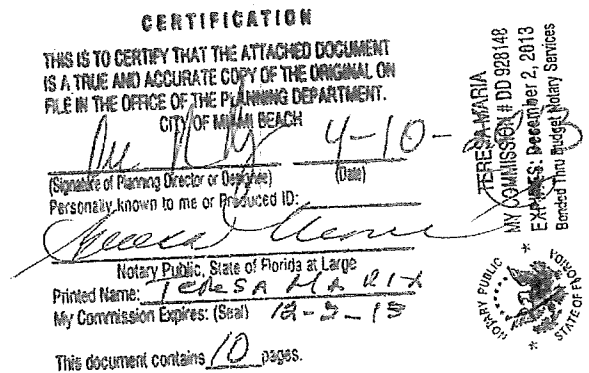
IN RE: The Application for Design Review Approval for modifications to the exterior of two (2) existing 14-story apartment buildings, including design modifications to the existing facades, and new roof-top terraces, and a new hardscape and landscape plan for the site, including an outdoor dining area, and 10th Street street-end improvements in the Public right-of-way, and modifications to previously approved conditions for the construction of a public baywalk.

ORDER

The applicant, Southgate Towers, LLLP, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is not consistent with Design Review Criteria No. 3 in Section 118-251 of the Miami Beach Code.
- B. The project would be consistent with the criteria and requirements of section 118-251 if the following conditions are met:



- h. Payment of City utility impact fees for water meters/services.
- i. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".
- j. Right-of-way permit must be obtained from Public Works.
- k. All right-of-way encroachments must be removed.
- l. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.

12. The Applicant agrees to the following operational conditions for all permitted uses and shall bind itself, lessees, permittees, concessionaires, renters, guests, users, and successors and assigns and all successors in interest in whole or in part to comply with the following operational and noise attenuation requirements and/or limitations. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced and the applicant agrees to include the rules and regulations set forth in these conditions in any contract or assignment.

a. NOISE CONDITIONS

- i. No commercial outdoor bar counters shall be permitted on the premises.
- ii. The Design Review Board (DRB) or the Planning Director shall retain the right to call the owners and/or operators back before the DRB, at the expense of the owners and/or operators, to impose and/or modify the hours of operation, or amend or impose other conditions, should there be a valid violation (as determined by Code Compliance) about loud, excessive, unnecessary, or unusual noise or other conditions of this approval. An adverse adjudication of a violation against the owner or operator is not necessary for the board to have jurisdiction over the matter under this condition. This condition vests jurisdiction independent of any other condition hereof.
- iii. A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as amended, shall be deemed a violation of this approval and subject the approval to modification in accordance with the procedures for modification of prior approvals as provided for in the Code, and subject the applicant to the review provided for in the first sentence of this subparagraph.
- iv. Except as may be required for fire or building code/Life Safety Code purposes, no loudspeakers shall be affixed to or otherwise located on the exterior of the premises at the northwest corner of the site in the area of the proposed outdoor dining terrace, or anywhere along 10th street.
- v. No commercial outdoor live music associated with the proposed restaurant shall be permitted at any time, inclusive of percussion, musical instrument, or vocal.



- vi. Special events pursuant to the Miami Beach City Code, associated with the proposed restaurant, may not be held on the premises and the applicant agrees that it will not seek or authorize applications for such permits.

b. OPERATIONAL CONDITIONS

- i. Within sixty (60) days of the issuance of the TCO or CO for the project, or the date of commencement of operation of the restaurant, whichever is later, the restaurant operator shall make a progress report to the Design Review Board. The Board reserves the right to modify the conditions of this approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports.
- ii. No valet shall be permitted at any time along 10th street. Any valet operation shall take place at the existing primary vehicular drop-off and pick-up area located on the east side of the building, or from within the existing parking lot located on the south side of the northernmost building.
- iii. The applicant shall maintain a landscape buffer on the north side of the Outdoor Dining Area parallel to 10th Street, consistent with the landscape plans approved herein.
- iv. The applicant shall maintain a combination of roof overhang, shade structure, awning, canopy, and/or umbrellas over the Outdoor Dining Area.
- v. Any proposed outdoor seating associated with the restaurant shall be limited to a maximum of 75 seats.
- vi. With the exception of any required emergency egress, no pedestrian access to the proposed restaurant shall be permitted from the north side of the site along 10th street. All pedestrian access to any restaurant located on the north side of the site shall be provided from within the existing internal building circulation, or from within the subject property from the west (bayfront) elevation.
- vii. All trash containers shall have rubber tops AND all trash containers shall utilize inflated tires or the path for the trash containers shall consist of a surface finish that reduces noise, in a manner to be reviewed and approved by staff.
- viii. Adequate trash room space, air conditioned and noise baffled, shall be provided, in a manner to be approved by the Planning and Public Works Departments. Sufficient interior space must be provided so that doors can remain closed while trash and trash bags are being deposited in dumpsters. Doors shall remain closed and secured when not in active use.
- ix. Trash room(s)/garbage room(s) shall be large enough, or sufficient in number to accommodate enough dumpsters so that no more than one pick up of garbage per day will be necessary.

- x. Garbage dumpster covers shall be closed at all times except when in active use.
 - xi. Garbage pickups and service deliveries shall not take place between 6PM and 8AM Monday through Friday, and shall not take place between 6PM and 10 AM Saturday and Sunday.
 - xii. All kitchens and other venting shall be internally chased and venting systems shall be employed as necessary to minimize or dissipate smoke, fumes and odors.
 - xiii. Equipment and supplies shall not be stored in areas visible from streets, alleys or nearby buildings.
 - xiv. Interior loudspeakers shall not be located near doors leading to outside dining areas and interior music levels shall not interfere with the normal conversation of diners.
 - xv. The restaurant's primary function shall be food service, and at no time shall it become a dance hall, disco or nightclub. Entertainment shall be limited to background music and the restaurant shall operate under a 2:00 AM liquor license.
 - xvi. The hours of operation for any food and beverage service located at the northwest corner of the site on the exterior shall be limited to:

8:00 AM to 11:00 PM, Sunday through Thursday
 8:00 AM to Midnight, Friday and Saturday

Staff cleanup shall cease within one (1) hour after closing times, including closing of the outdoor restaurant dining area.
 - xvii. The restaurant operators shall take all steps necessary to protect nearby residents from noise, odors and other disturbances incidental to restaurant operations such as parking facilities, delivery vehicles and garbage trucks. All garbage, refuse and trash dumpsters shall be placed within an air-conditioned, fully enclosed garbage room, which satisfies the requirements of the applicable Building Code.
13. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy.
14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
15. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or required by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: August 06, 2013

FILE NO: 22945

PROPERTY: 910 West Avenue

LEGAL: Lots 11-18, Block 1, Fleetwood Subdivision, According to the Plat Thereof, as recorded in Plat Book 28 at Page 34, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for modifications to the exterior of two (2) existing 14-story apartment buildings, including design modifications to the existing facades, and new roof-top terraces, and a new hardscape and landscape plan for the site, including an outdoor dining area, and 10th Street street-end improvements in the Public right-of-way, and modifications to previously approved conditions for the construction of a public baywalk.

ORDER

The applicant, Southgate Towers, LLLP, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

- A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with Design Review Criteria in Section 118-251 of the Miami Beach Code.
- B. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:

1. The following conditions are pursuant to the materials, details, and design of the Baywalk (all prior conditions pursuant to Design Review Board Order No. 22945, dated March 5, 2103, remain in full force and effect):
 - a. The areas identified as (1) Waste holding area shall be removed and relocated away from the seawall and the Baywalk, as long as it is still accessible to 10th Street, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or directions from the Board.
 - b. The final exterior surface color scheme and material samples for the Baywalk pavers shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - c. The final design of "operable gate(s)" (if such gates are determined to be necessary by Southgate Towers during hours when the Baywalk is not open for public use) shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - d. The final details, including material color and finish, of the off-form concrete wall will be designed and provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - e. Only clear glass shall be permitted for the glass panel, and a glass sample shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - f. The applicant shall coordinate the location of the operable gate(s) with the City's development of the proposed 10th Street street end.
 - g. The final details of the exterior handrail system, including materials, dimensions and finishes and shall be finished with a clear anodized finish or powder coated, and shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
 - h. The final design and details of all exterior lighting along the Baywalk shall be provided, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - i. The public baywalk shall be open to the public from sunrise to sunset, 7 days a week. The applicant may install an operable fence, gate or other operable barrier to restrict public access of the Public Baywalk, subject to the review and approval of staff; such operable fence, gate or barrier shall include some form of automatic timing device, in order to ensure that the Public Baywalk if open from sunrise to sunset. Access by the public to the Public Baywalk shall only be restricted between sunset and sunrise, and otherwise, as determined by the Planning Director, in the event of an emergency, dangerous condition or circumstance that would render usage of the Public Baywalk a safety risk.
2. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
3. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or