

420 LINCOLN ROAD STE 600 | MIAMI BEACH, FL 33139

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URBAN ROBOT ASSOCIATES

# SOUTHGATE TOWERS

910 WEST AVE :: MIAMI BEACH, FL 33139

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SCOPE OF WORK :

- ENTRY SIGNAGE
- RETAIL SIGNAGE
- FACADE IMPROVEMENTS, GREEN WALL

## REVISIONS

No.	DESCRIPTION	DATE
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SUBMITTAL:

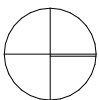
FINAL SUBMITTAL

## DATE:

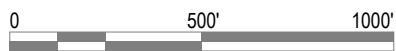
JANUARY 25, 2021

COVER SHEET

**G-01**



SCALE: 1" = 500'



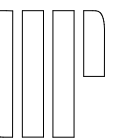
CONTEXT LOCATION PLAN

G-05

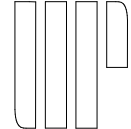
910 WEST AVENUE | SGT  
D R B

01/25/21

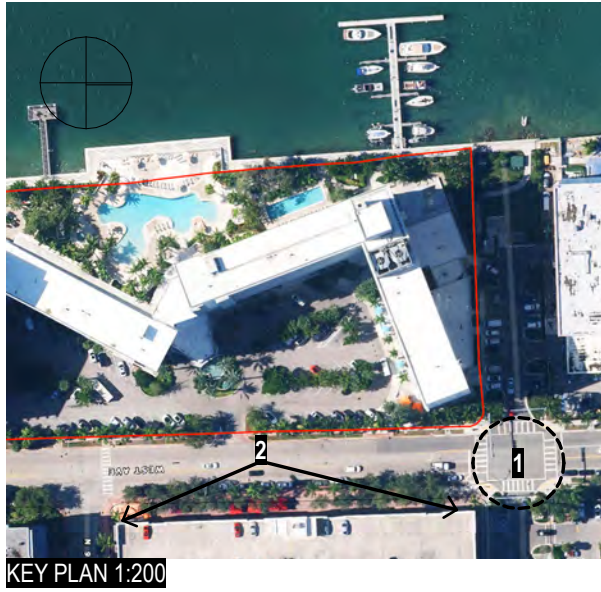
URBAN ROBOT © 2021







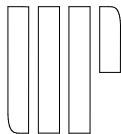




1. WEST AVE AND 10TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



2. RETAIL ACROSS WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



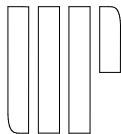




3. WEST AVE AND 9TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



4. EAST FACADE ALONG WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



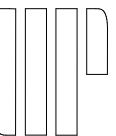




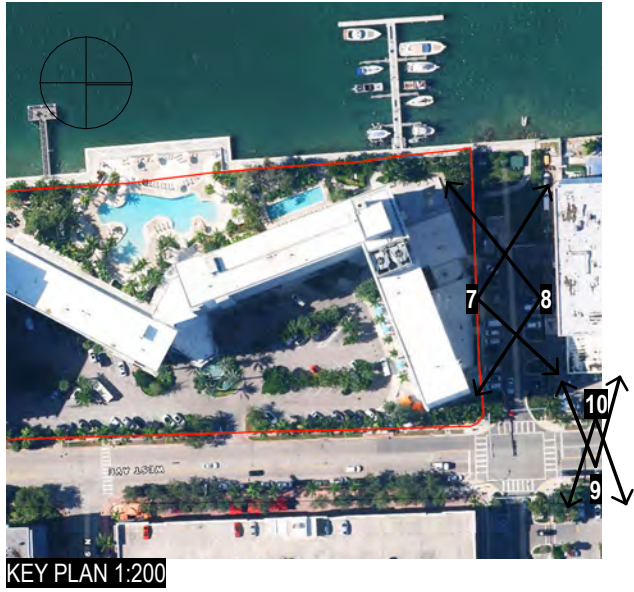
5. PARK AT 10TH STREET END LOOKING EAST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



6. PARK AT 10TH STREET END LOOKING WEST. PHOTOGRAPH TAKEN ON JULY 8TH, 2020







7. NEIGHBOR ACROSS 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



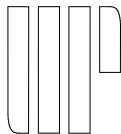
8. NORTH FACADE ALONG 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



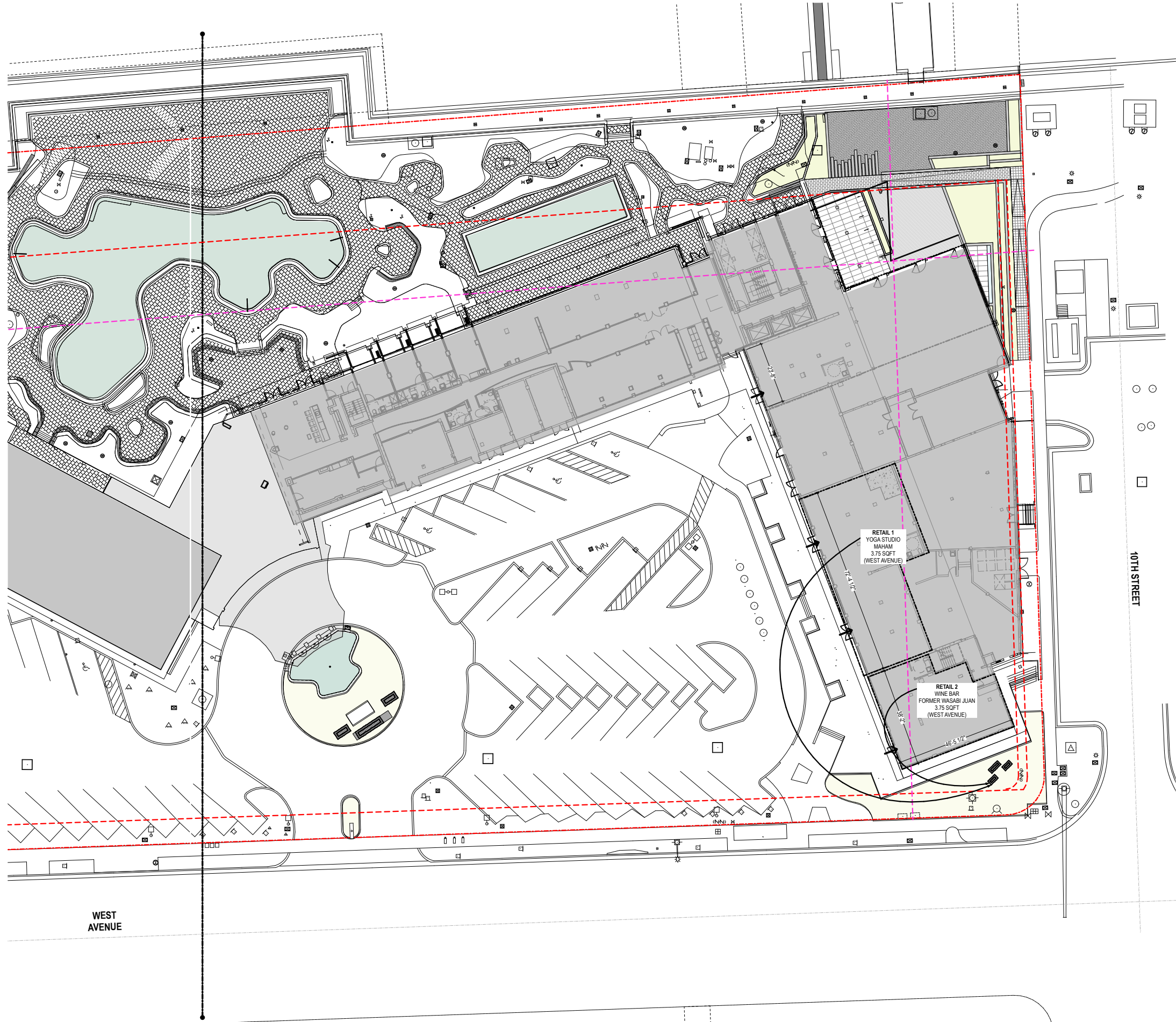
9. NEIGHBOR ACROSS 10TH ST ALONG WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



10. WHOLEFOODS ACROSS WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020





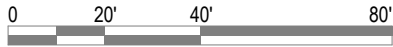


DETACHED SIGN - DESIGN STANDARDS			
	EXISTING	REQUIRED	PROVIDED
<strong>ZONING DISTRICT</strong>			
ENTRY SIGN	RM-3	-	-
RETAIL SIGN	RM-3	-	-
RESTAURANT SIGN	RM-3	-	-
<strong>MAXIMUM AREA</strong>			
EXISTING SIGN	18 SF	15 SF	-
ENTRY SIGN	-	15 SF	15 SF
RETAIL SIGN	-	15 SF	7.5 SF
RESTAURANT SIGN	-	15 SF	-
<strong>MAXIMUM QUANTITY PER FRONTAGE</strong>			
WEST AVENUE			
DETACHED SIGNS (CODE SECTION 138-15)			
EXISTING SIGN		1"	1 @ 15 SF
ENTRY SIGN			
10TH STREET			
DETACHED SIGNS (CODE SECTION 138-15)		1"	1 @ 15 SF
RETAIL SIGN			
RESTAURANT SIGN			
<small>*MAXIMUM SIGNS ALLOWED AS LONG AS ADJACENT SIGNS NOT EXCEED MAX AREA ALLOWED OF 15 SF.</small>			
<strong>HEIGHT RESTRICTIONS</strong>			
ENTRY SIGN	11'-2"	5 FT*	4' - 8"
RETAIL SIGN	-	5 FT*	3' - 8"
RESTAURANT SIGN	-	5 FT*	-
<strong>SETBACKS</strong>			
ENTRY SIGN			
FRONT SETBACK	0'-0"	10' - 0"	±40' - 0"
INTERIOR SIDE YARD	-	7' - 6"	±370' - 0"
SIDE YARD FACING A STREET	-	10' - 0"	±250' - 0"
PERIMETER WALL SIGN	-	0' - 0"	±219' - 0"
RETAIL SIGN			
FRONT SETBACK	TBD	10' - 0"	±11' - 11"
INTERIOR SIDE YARD	-	7' - 6"	±622' - 0"
SIDE YARD FACING A STREET	TBD	10' - 0"	±11' - 3"
PERIMETER WALL SIGN	-	0' - 0"	±266' - 5"
RESTAURANT SIGN			
FRONT SETBACK	-	10' - 0"	-
INTERIOR SIDE YARD	-	7' - 6"	-
SIDE YARD FACING A STREET	-	10' - 0"	-
PERIMETER WALL SIGN	-	0' - 0"	-

RETAIL ACCESS



SCALE: 1" = 40'



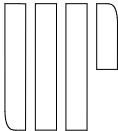
G-07

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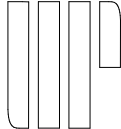
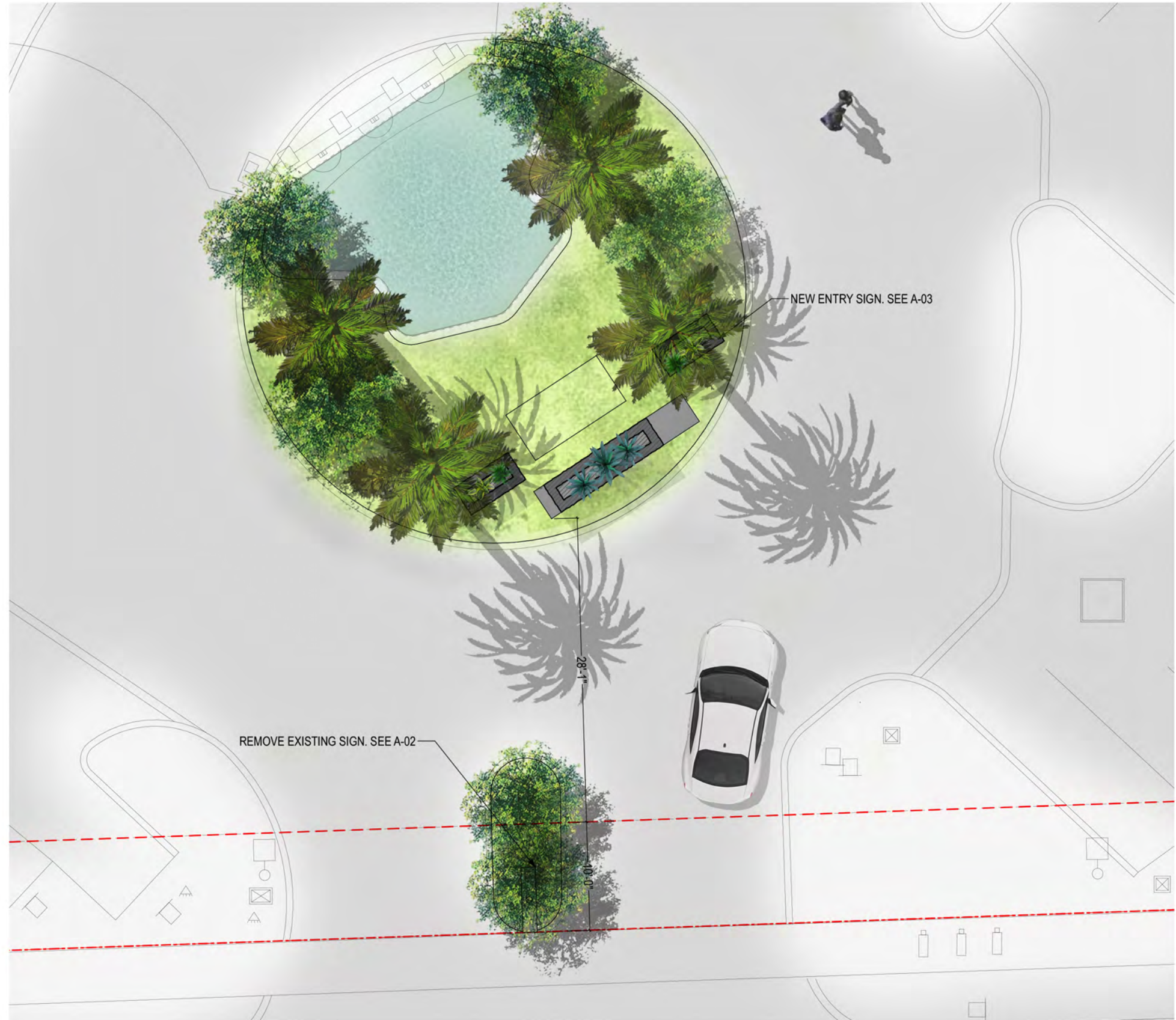
RETAIL SIGNAGE PLAN

01/25/21

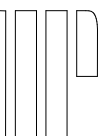
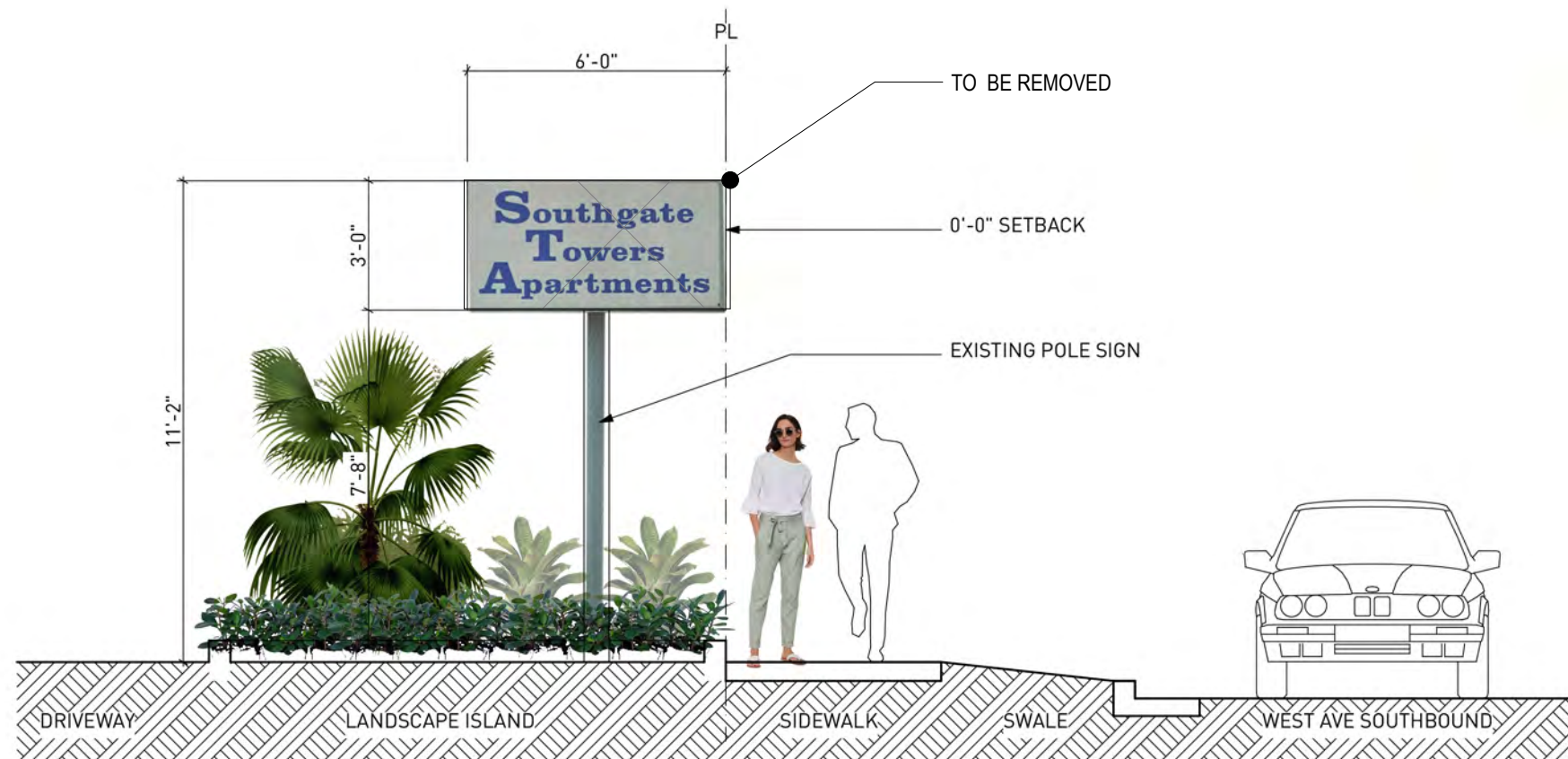
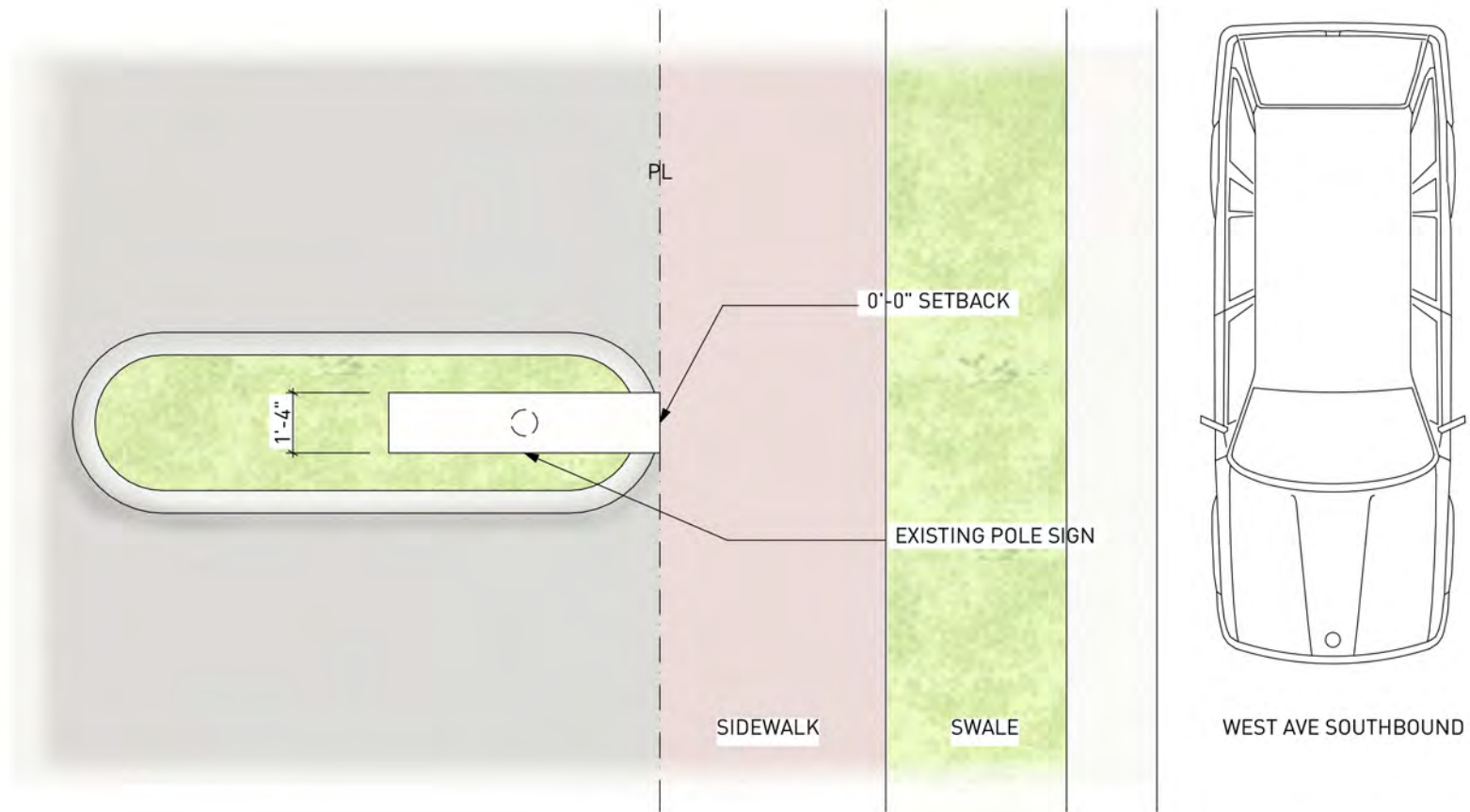
URBAN ROBOT © 2021



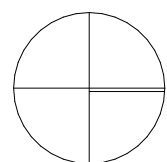
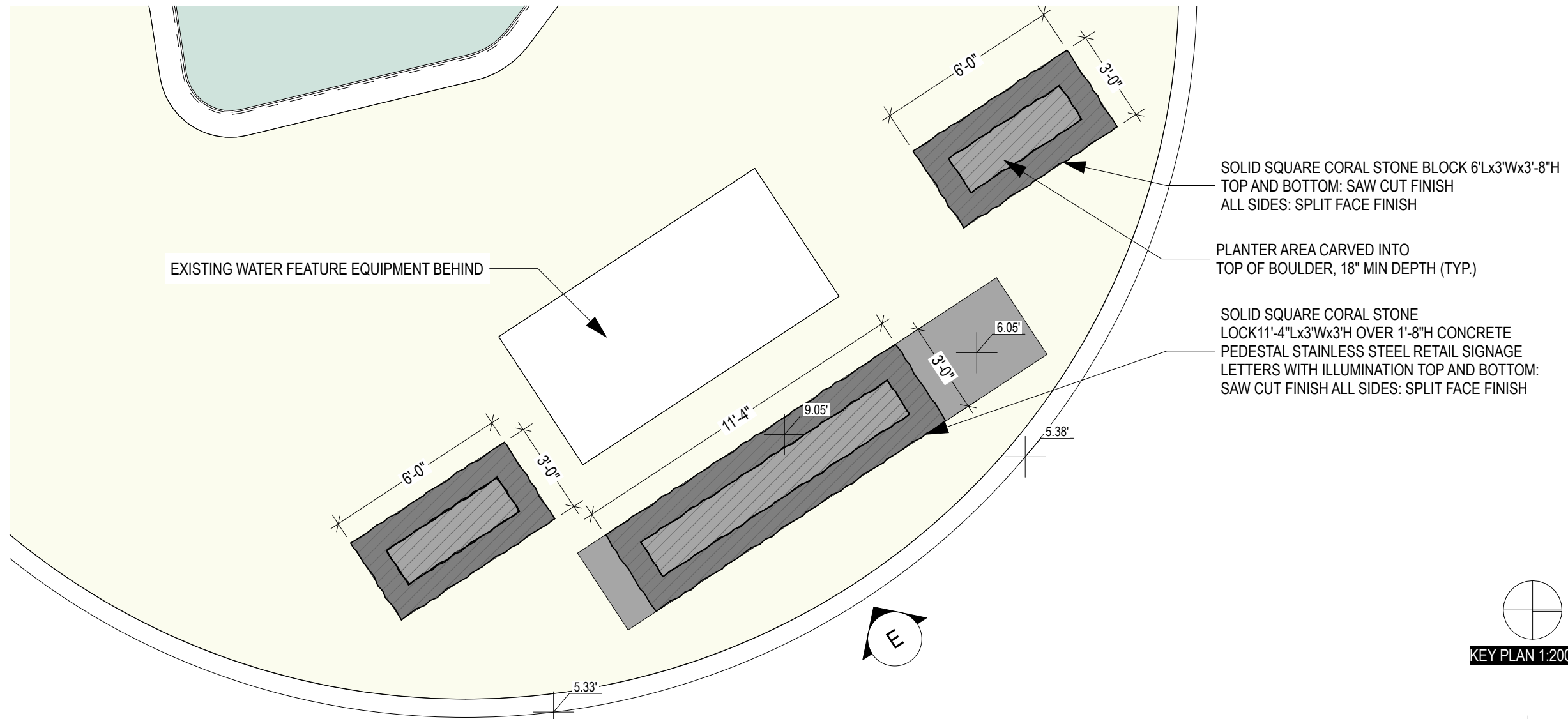
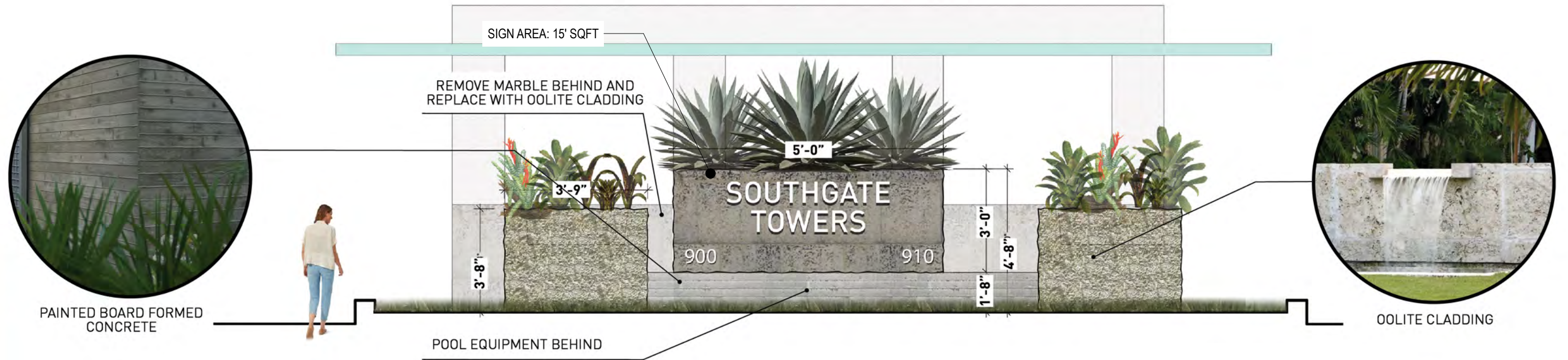






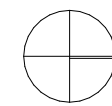




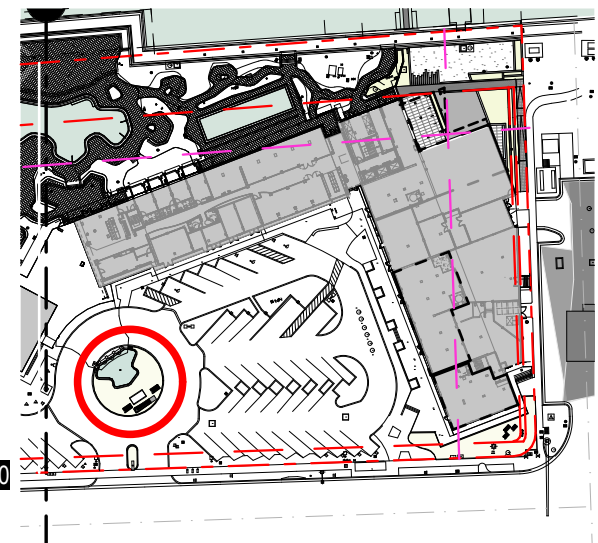


ENTRY SIGNAGE

SCALE: 1/4" = 1'-0"



KEY PLAN 1:200



A-03

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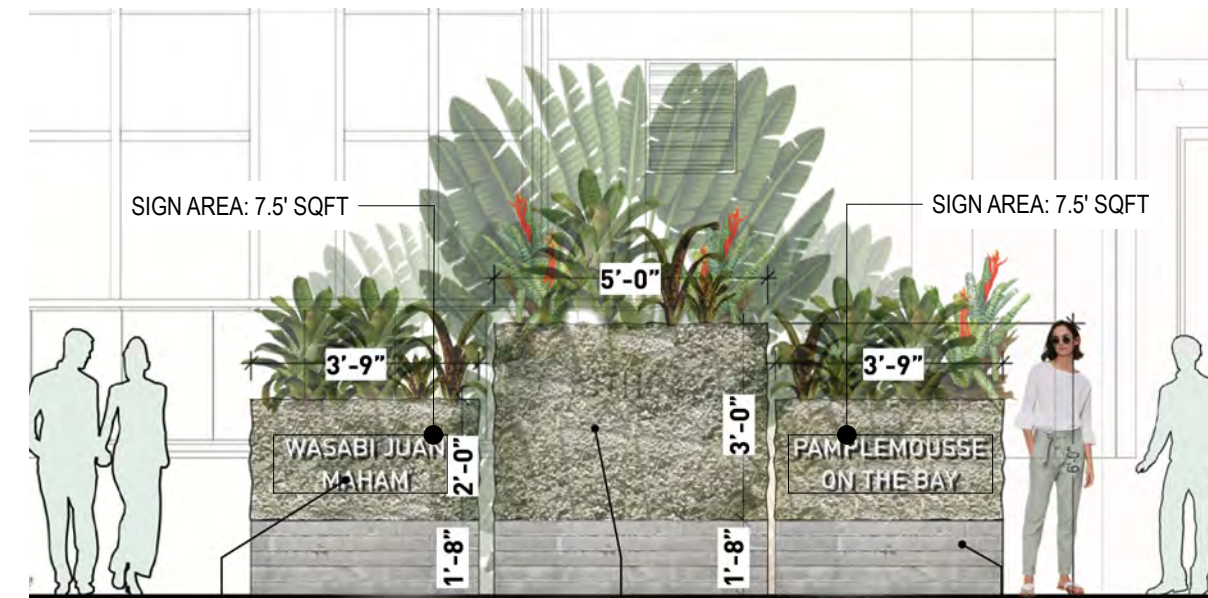
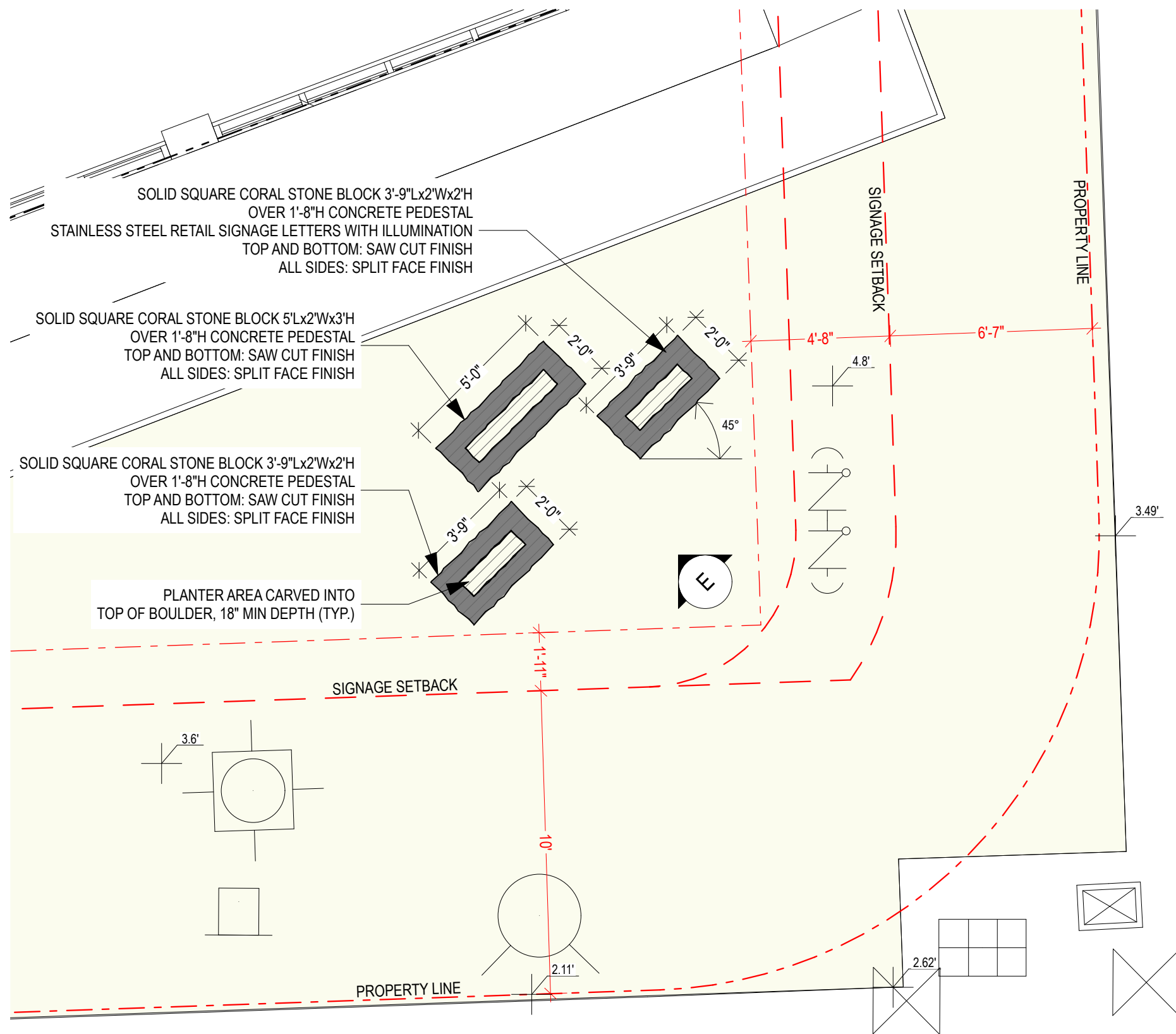
PROPOSED ENTRY SIGN ELEVATION

10/12/20

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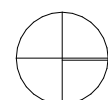
STEEL LETTERS WITH  
LIGHTING



OOLITE BLOCK

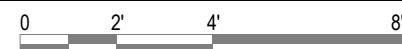


BOARDFORMED CONCRETE



RETAIL SIGNAGE

SCALE: 1/4" = 1'-0"



A-05

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DRB

RETAIL SIGNAGE

10/12/20

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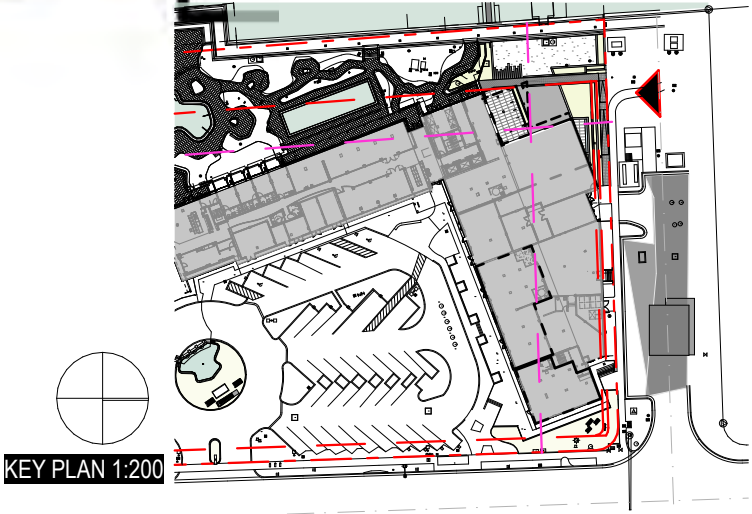
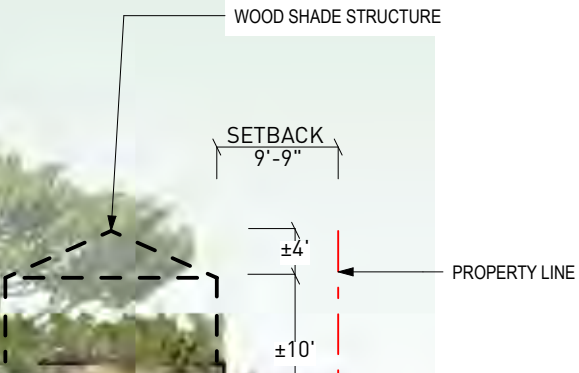
EXISTING  
CONDITIONS



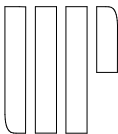
EXISTING ELEVATION



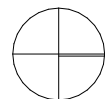
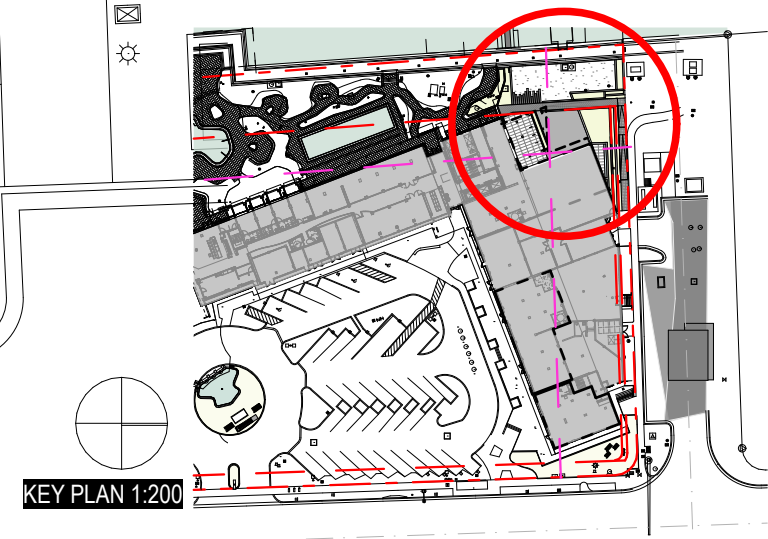
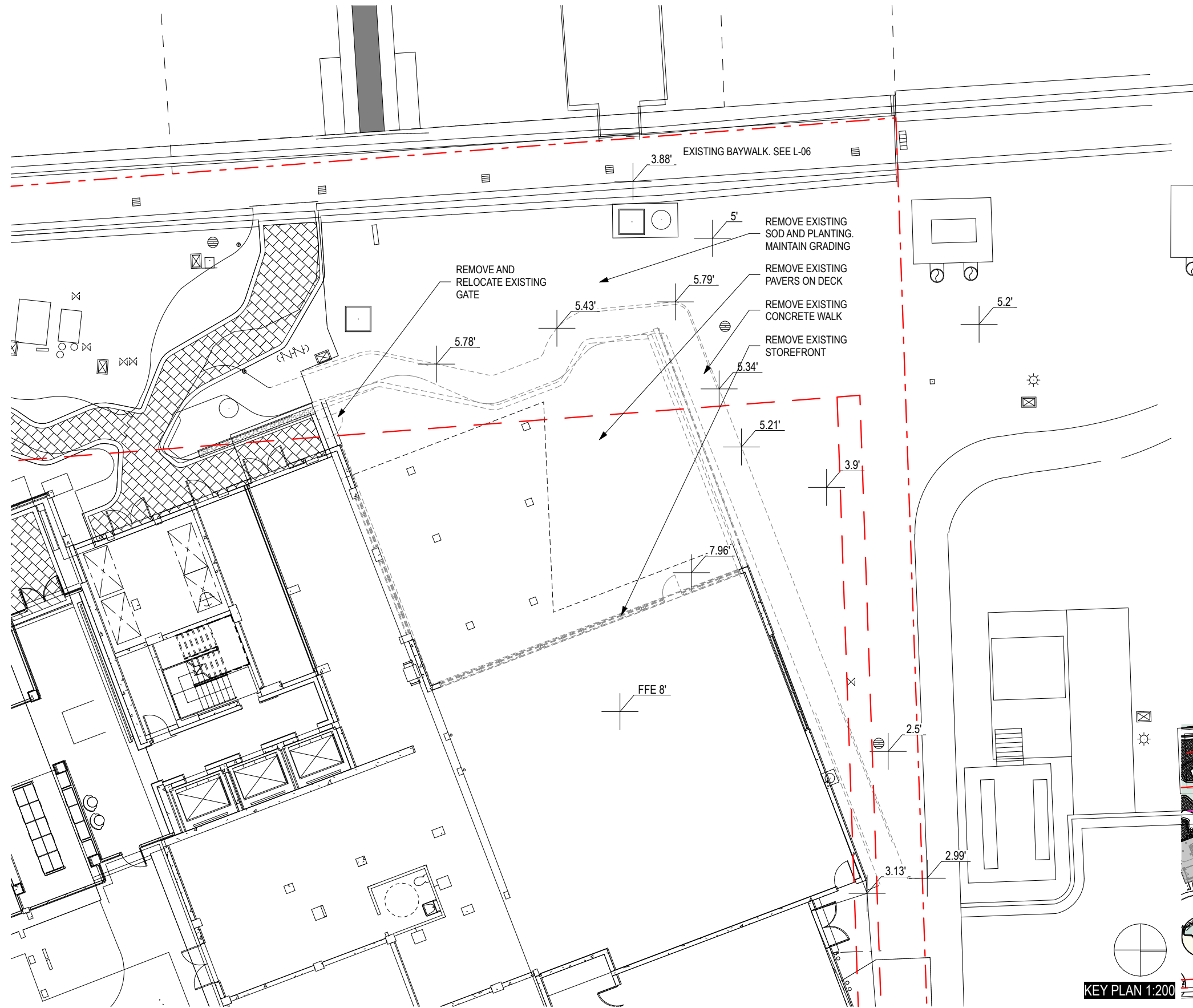
PROPOSED ELEVATION



KEY PLAN 1:200

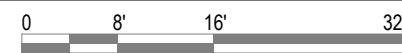






DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



A-08

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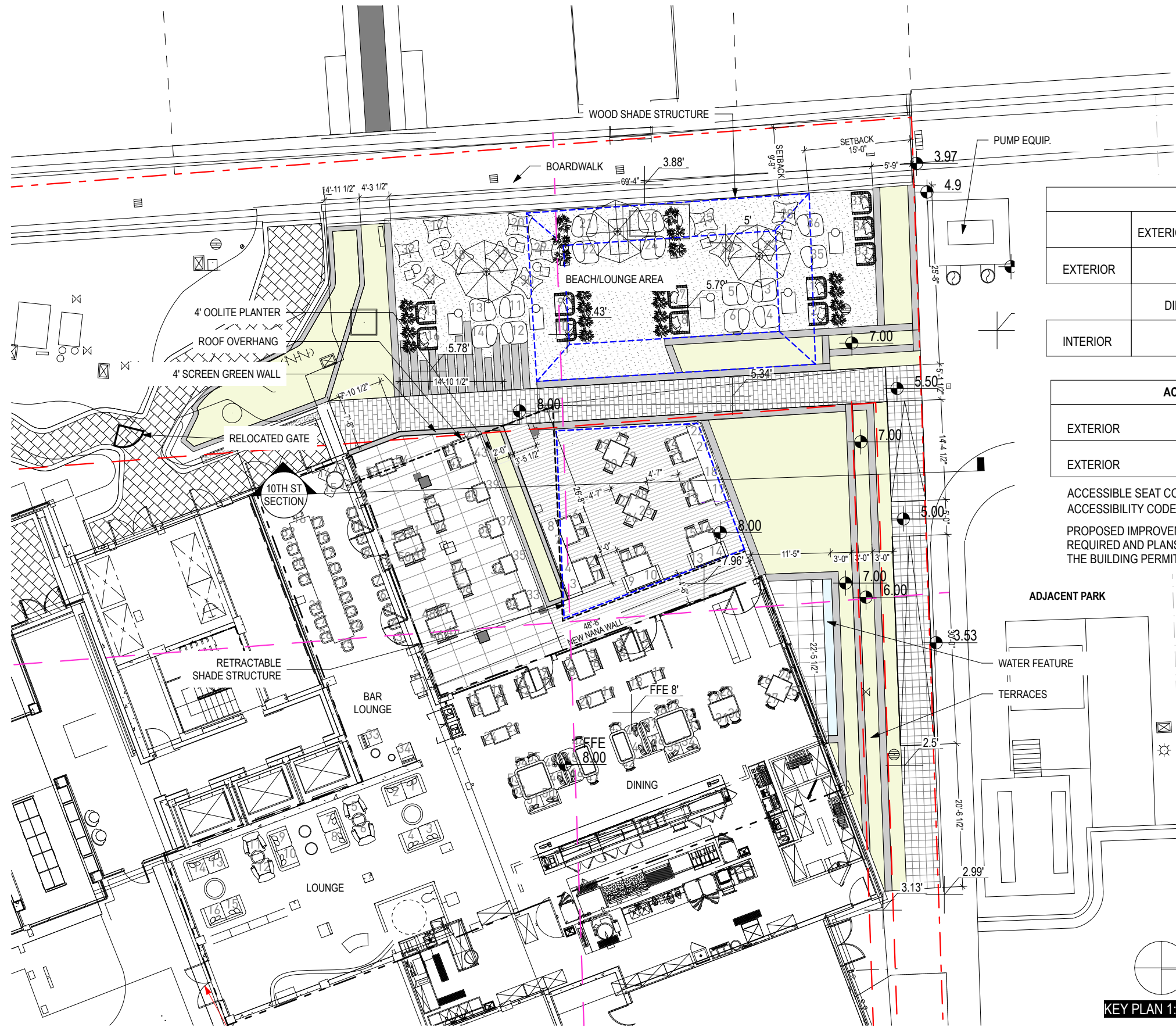
DEMOLITION PLAN

01/25/21

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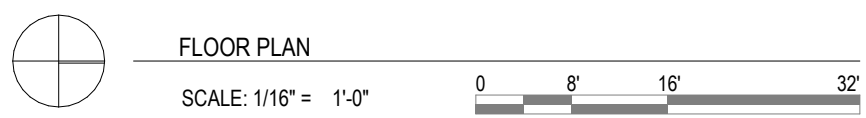
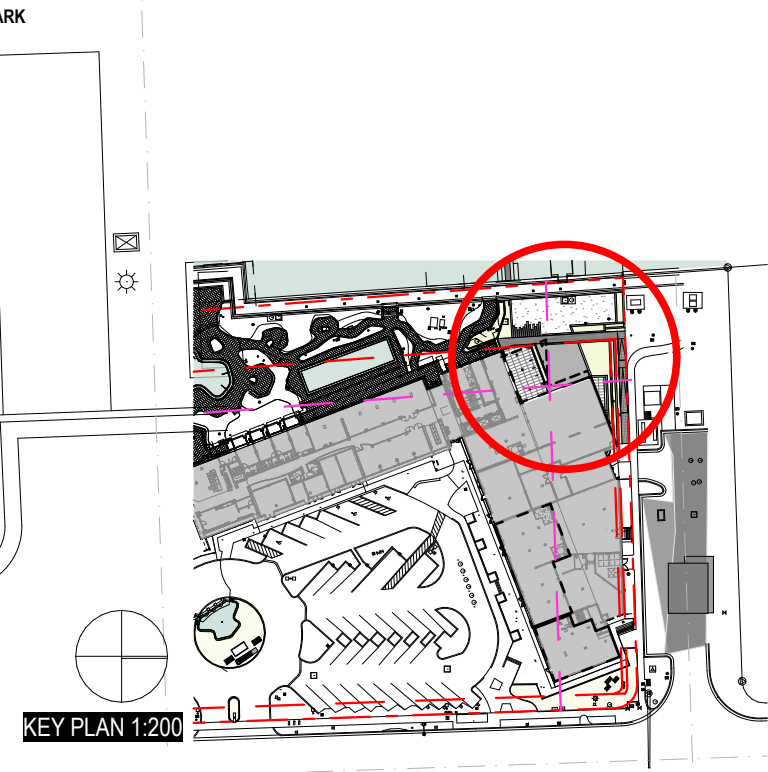


SEAT COUNT				
	EXTERIOR DECK	BEACH LOUNGE	EXTERIOR BAR	TOTAL SEATS
EXTERIOR	58	37	-	95
	DINING	LOUNGE	BAR LOUNGE	
INTERIOR	55	16	34	105

ACCESSIBLE SEAT COUNT	
EXTERIOR	95 x .05 = 5 ACCESSIBLE SEATS
EXTERIOR	105 x .05 = 6 ACCESSIBLE SEATS

ACCESSIBLE SEAT COUNT CALCULATED PER FLORIDA ACCESSIBILITY CODE (5TH ED.), SECTION 226.1

PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED AND PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.







VIEW OF RESTAURANT LOOKING WEST FROM MARINA



MODIFIED CONDITIONS

**I. Design Review**

C. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is inconsistent with the Sea Level Rise Criteria 7 in Section 133-50(a) of the Miami Beach Code.

1. All prior conditions pursuant to Design Review Board Orders File No. 22945, dated March 5, 2103 and August 6, 2013, remain in full force and effect, unless modified herein.
2. Revised elevation, site plan and floor plan drawings for the proposed mixed-use development at 910 West Avenue shall be submitted to and approved by staff; at a minimum, such drawings shall incorporate the following:
  - a. The artificial 'green' wall on the north elevation shall **NOT** be approved as proposed. ~~Artificial greenery shall not be permitted. The incorporation of living greenery may be permitted,~~ in a manner to be reviewed and approved by staff.
  - b. The new landscaping along the north side of the property shall be approved as proposed.
  - c. The new hardscape along the north side of the property **shall not** be approved as proposed. [Agreed, with clarification that this describes the new walkway and ramp.]
  - d. The new beach/lounge area **shall not be** approved as proposed; however, seating may be permitted setback a minimum of 30' from the north property line and without any permanent covering.
  - e. The proposed sliding glazing system **shall not** be permitted as proposed. The proposed openings may be enlarged and installed with floor to ceiling fixed glass system with a maximum of two double door swing door openings, in a manner to be reviewed and approved by staff.
  - f. The proposed retractable covered shade structure shall be approved. The final design and detailing for the new retractable awning proposed on the terrace shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. The fabric material for the awning shall be canvas or sailcloth or like material, and the color shall be a solid neutral hue and match any proposed table umbrella fabric, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.



MODIFIED CONDITIONS

- g. The proposed wood structure shall not be approved.
- ~~h. The 10<sup>th</sup> Street ramped walkway shall be for emergency egress only and a sign noting 'emergency egress only' shall be posted on or near the exit gate onto 10<sup>th</sup> Street, in a manner to be reviewed and approved by staff. [Note: Applicant withdrawing the proposed walkway and ramp along 10<sup>th</sup> Street and will keep the existing access walkway along the edge of the building as is.]~~
- ~~i. Signing shall be incorporated at the 10<sup>th</sup> Street access point into the site which notes access to any restaurant space located on the north side of the site shall be accessed from West Avenue. [Note: Applicant withdrawing proposed walkway and ramp along 10<sup>th</sup> Street and not creating any new access from 10<sup>th</sup> Street.]~~
- j. The final details of all new exterior surface finishes and materials, including samples, shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- k. The final design and details of all new exterior and interior lighting shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board. ~~Exterior~~ New exterior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding area. No new florescent or intensive 'white' lighting (or similar intensive lighting) visible from the adjacent public rights or way or adjacent properties shall be permitted.
- l. Any future kitchen ventilation or mechanical venting shall be chased through the interior of the building to the roof. No exhaust ducts or vents shall be permitted on any building elevations.
- m. The final design details and pattern of the hardscape and exterior walkways shall be submitted, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- n. Any new exterior ground floor exterior handrails and support posts shall incorporate a flat profile. The final design details, dimensions, material and color of all new exterior handrails shall be made part of the building permit plans and shall be subject to the review and approval of staff consistent with the Design Review Criteria and/or the directions from the Board.
- o. All building signage shall require a separate permit. A uniform sign plan for the new building shall be required. Such sign plan shall be consistent in materials, method of illumination and sign location, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.



MODIFIED CONDITIONS

- p. Final details of all proposed new storefront systems and associated details shall be provided for all new ground floor elevations on the project site, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.
- q. A copy of all pages of the recorded Final Order shall be scanned into the plans submitted for building permit, and shall be located immediately after the front cover page of the permit plans.
- r. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.



# APPENDIX







NOTE:  
SEE SHEET S-1 FOR BOUNDARY INFORMATION, LEGAL DESCRIPTION & SURVEYOR'S CERTIFICATION.  
SEE SHEET S-3 FOR REMAINDER OF SITE LOCATIONS.

# BOUNDARY & TOPOGRAPHIC SURVEY



NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.  
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

## ABBREVIATION LEGEND

FND FOUND  
F.O.P.B. FIBER OPTIC PULL BOX  
LB LICENSE BUSINESS  
(C) CALCULATED INFORMATION  
(M) MEASURED INFORMATION  
(P) PLAT INFORMATION  
PESJ POST, BUCKLEY SCHUH & JERNIGAN  
Q/S OFFSET  
I.P. IRON PIPE  
N/D NAIL & DISC  
(NAD) NORTH AMERICAN DATUM  
(NAD 88) NORTH AMERICAN VERTICAL DATUM OF 1988  
NGS NATIONAL GEODETIC SURVEY  
O.R.B. OFFICIAL RECORDS BOOK  
PG. PAGE  
RCP REINFORCED CONCRETE PIPE  
R/W RIGHT-OF-WAY  
F.P.L. FLORIDA POWER & LIGHT COMPANY  
CONC. CONCRETE  
(TYP.) TYPICAL  
R.E. RIM ELEVATION  
CBS CONCRETE BLOCK WALL  
CLF CHAIN LINK FENCE  
ELEC. ELECTRIC  
W.I.F. WROUGHT-IRON FENCE

## SYMBOL LEGEND

BFP BACK FLOW PREVENTOR  
BOLLARD  
CATV CATV PEDESTAL  
CATCH BASIN  
CURB INLET  
DECORATIVE LIGHT POLE  
DOUBLE DETECTOR CHECK VALVE  
ELECTRICAL OUTLET  
ELECTRICAL PULL BOX  
ELECTRICAL MANHOLE  
GAS METER  
GAS MANHOLE  
GAS VALVE  
HANDICAP PARKING SPACE  
HOSE BIBB (SPIGOT)  
IRRIGATION CONTROL VALVE  
MONITORING WELL  
PARKING LIGHT SINGLE  
PARKING LIGHT DOUBLE  
PEDESTRIAN SIGNAL  
SANITARY MANHOLE  
SIAMSE VALVE  
SIGN  
SPOT-FLOOD LIGHT  
SANITARY SEWER CLEAN OUT  
STORM MANHOLE  
TRAFFIC PULL BOX  
TRASH CAN  
UNKNOWN MANHOLE  
WATER METER  
WATER VALVE  
WATER VAULT  
YARD DRAIN  
NYLOPLAST 10" DRAIN BASIN  
TELEPHONE MANHOLE  
HARD SURFACE ELEVATION  
SOFT SURFACE ELEVATION

## GPS CONTROL SURVEY NOTE:

THE HORIZONTAL CONTROL SURVEY DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE) AND WAS OBTAINED BY UTILIZING "TRIMBLE R8 GNSSOVER, AS OPERATED BY CRAVEN THOMPSON AND ASSOCIATES AND A "TRIMBLE NETRS" REAL TIME KINEMATICS GPS BASE REFERENCE STATION "MIAMI" (MAMI), AS OPERATED BY FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STATE-WIDE PERMANENT REFERENCE NETWORK.

THE GPS DATA HAS BEEN PROCESSED AND SITE CALIBRATED USING A LEAST SQUARE ADJUSTMENT IS BASED ON A HORIZONTAL BEST FIT MODEL USING TRIMBLE BUSINESS CENTER TO THE FOLLOWING CONTROL POINTS

NATIONAL GEODETIC SURVEY  
TUTTLE (TID 203580)  
North: 524,167,130  
East: 932,073,860  
Corps of Engineers Brass Disc  
in Concrete Stamped "M-18 1963"

NATIONAL GEODETIC SURVEY  
TUTTLE (TID 203580)  
North: 537,624,140  
East: 937,177,840  
Brass Disc in Concrete  
Stamped "Tuttle 1971"

THIS SITE CALIBRATION IS BASED ON A HORIZONTAL ADJUSTMENT SCALE VALUE OF 1.0000018522, A ROTATION ANGLE OF -0.00021" AND A MAXIMUM HORIZONTAL RESIDUAL ERROR OF 0.0991+/- AND MEETS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK CLASSIFICATION, AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6.003(3)(B)15.B.II., F.A.C.)

## SURVEYOR'S NOTES:

- THE BEARINGS SHOWN HEREON ON ARE BASED ON NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE). (SEE GPS CONTROL SURVEY NOTE ABOVE)
- THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT AND APPEARS IN A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, ORDER NUMBER 395058.
- THIS SURVEY MEETS AND EXCEEDS VERTICAL AND HORIZONTAL ACCURACY REQUIREMENTS AS DEFINED IN CHAPTER (5J-17, F.A.C.).
- THE PURPOSE OF THIS SURVEY IS TO SHOW THE SITE IMPROVEMENTS AND THEIR RELATIONSHIP TO THE BOUNDARY LINES AS THEY EXISTED ON THE DATE OF THE SURVEY.
- THE TOTAL AREA OF THE SURVEYED PARCEL IS 176,023 SQUARE FEET OR 4.041 ACRES MORE OR LESS.
- THE LIMITS OF THE BOUNDARY FOR FEE SIMPLE PARCEL 4 DESCRIBED HEREON WAS NOT DETERMINED OR THE SITE IMPROVEMENTS LOCATED PER THE CLIENTS REQUEST.
- THE TOPOGRAPHICAL LOCATIONS SHOWN HEREON WERE OBTAINED USING A "LEICA TC-700 SERIES" TOTAL STATION AND "SPECTRA PRECISION" SURVEY PRO DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- BUILDING TIES ARE PERPENDICULAR TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIES AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.
- THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED. NO EXCAVATION WAS PERFORMED BY CRAVEN THOMPSON AND ASSOCIATES, INC. TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR EXCAVATION OF CRITICAL DESIGN FUNCTIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN SHOWN HEREON MAY EXIST.
- ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS DOCUMENT CONSISTS OF 3 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.
- THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF GUMENIK PROPERTIES FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFORESAIDED CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- SHEET 5-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER. SHEETS 5-2 AND 5-3 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE.
- ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA UNLESS OTHERWISE NOTED.
- FLOOD ELEVATION (IN FEET): A) COMMUNITY NUMBER-120651; B) DATE OF FIRM INDEX-SEPTEMBER 11, 2009; C) DATE OF FIRM MAP-SEPTEMBER 11, 2009; D) FIRM ZONE-AE; E) BASE FLOOD ELEVATION-8; F) PANEL NUMBER-0319; G) SUFFIX-L.
- THE LIMITS SHOWN HEREON FOR PARCELS "A" & "B", SOUTHGATE APARTMENTS LEASE AREAS WAS FURNISHED TO THIS OFFICE BY JOHN GUTTMAN, CONSULTING ENGINEERING & SCIENCES, INC. THE SKETCH & DESCRIPTION WAS PREPARED BY SCHWEBKE-SHISKIN & ASSOCIATES, INC., ORDER NO. 201764, DATED 08-27-2013, LAST REVISED APRIL 7, 2016, ORDER NO. 203426.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD88) AND REFERENCED TO THE FOLLOWING BENCHMARK: NATIONAL GEODETIC SURVEY BENCHMARK NO. W 238, A BRASS DISC NAD 83 SET ON THE TOP OF THE NORTH END OF EAST CONCRETE ABUTMENT OF THE MCARTHUR CAUSWAY BRIDGE, 80'± WEST OF THE WEST EDGE OF PAVEMENT FOR WEST AVENUE, ELEVATION = 6.54. NOTE: THE ELEVATION CONVERSION FOR THIS BENCHMARK FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD88) TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) IS +1.54 FEET.

CRAVEN • THOMPSON AND ASSOCIATES, INC.  
ENGINEERS • PLANNERS • SURVEYORS  
3563 N.W. 33RD STREET, FORT LAUDERDALE, FLORIDA 33309  
TEL.: (954) 739-6409  
FAX: (954) 739-6409  
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271  
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114



SOUTHGATE TOWERS  
900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:  
Gumenik Properties

SITE LOCATIONS

PROJECT NO.  
07-0088-001-11

S-2

SHEET 2 OF 3



NOTE:

SEE SHEET S-1 FOR BOUNDARY INFORMATION, LEGAL DESCRIPTION & SURVEYOR'S CERTIFICATION.

SEE SHEET S-2 FOR SURVEYOR'S NOTES & REMAINDER OF SITE LOCATIONS.

BOUNDARY & TOPOGRAPHIC SURVEY



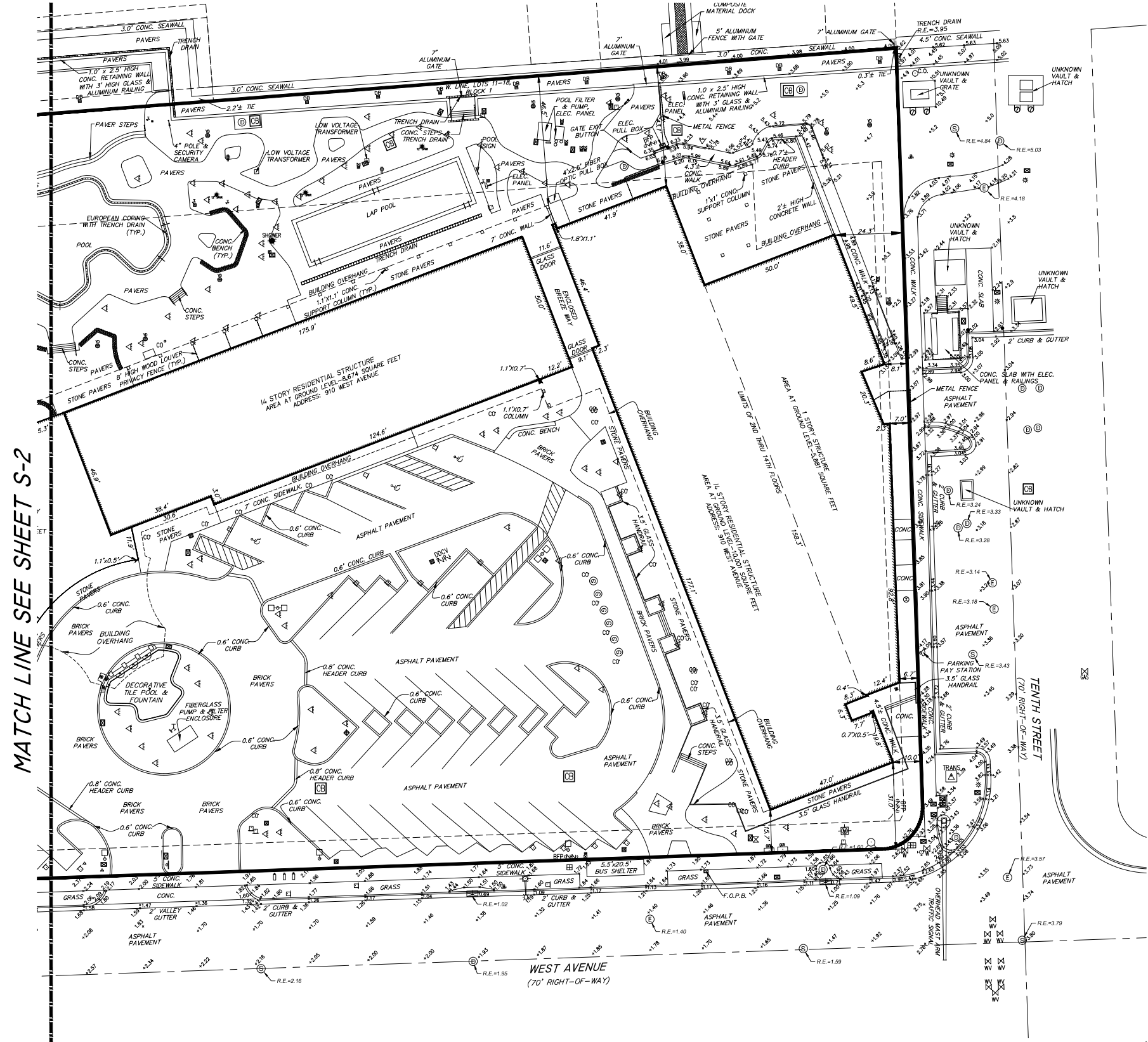
NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.  
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

ABBREVIATION LEGEND

FND FOUND  
F.O.P.B. FIBER OPTIC PULL BOX  
LB LICENSE BUSINESS  
(C) CALCULATED INFORMATION  
(M) MEASURED INFORMATION  
(P) PLAT INFORMATION  
PBSJ POST, BUCKLEY SCHUH & JERNIGAN  
O/S OFFSET  
I.P. IRON PIPE  
N/D NAIL & DISC  
(NAD) NORTH AMERICAN DATUM  
(NAVD 88) NORTH AMERICAN VERTICAL DATUM OF 1988  
NGS NATIONAL GEODETIC SURVEY  
O.R.B. OFFICIAL RECORDS BOOK  
PG. PAGE  
RCP REINFORCED CONCRETE PIPE  
R/W RIGHT-OF-WAY  
F.P.L. FLORIDA POWER & LIGHT COMPANY  
CONC. CONCRETE  
(TYP.) TYPICAL  
R.E. RIM ELEVATION  
CBS CHAIN LINK FENCE  
CLF ELECTRIC  
W.I.F. WROUGHT-IRON FENCE

SYMBOL LEGEND

BFP BACK FLOW PREVENTOR  
• BOLLARD  
• CATV PEDESTAL  
• CATCH BASIN  
• CURB INLET  
• DECORATIVE LIGHT POLE  
• DOUBLE DETECTOR CHECK VALVE  
• ELECTRICAL OUTLET  
• ELECTRICAL PULL BOX  
• ELECTRICAL MANHOLE  
• GAS METER  
• GAS MANHOLE  
• GAS VALVE  
• HANDICAP PARKING SPACE  
• HOSE BIBB (SPIGOT)  
• IRRIGATION CONTROL VALVE  
• MONITORING WELL  
• PARKING LIGHT SINGLE  
• PARKING LIGHT DOUBLE  
• PEDESTRIAN SIGNAL  
• SANITARY MANHOLE  
• SIAMESE VALVE  
• SIGN  
• SPOT-FLOOD LIGHT  
• SANITARY SEWER CLEAN OUT  
• STORM MANHOLE  
• TRAFFIC PULL BOX  
• TRASH CAN  
• UNKNOWN MANHOLE  
• WATER METER  
• WATER VALVE  
• WATER VAULT  
• YARD DRAIN  
• NYLOPLAST 10" DRAIN BASIN  
• TELEPHONE MANHOLE  
• HARD SURFACE ELAVATION  
• SOFT SURFACE ELEVATION



MATCH LINE SEE SHEET S-2

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SOUTHGATE TOWERS  
900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA  
PREPARED FOR:  
Gumenik Properties  
SITE LOCATIONS

PROJECT NO.  
07-0088-001-11

S-3  
SHEET 3 OF 3



ITEM #	ZONING INFORMATION				
1	Address	900-910 West Ave., Miami Beach, FL 33129			
2	Board and file numbers				
3	Folio number(s)				
4	Year constructed	2016	Zoning district	RM-3	
5	Based Flood Elevation		Grade value in NGVD	VARIES	
6	Adjusted grade (Flood+Grade/2)		Lot area		
7	Lot width		Lot depth		
8	Minimum unite size		Average unite size	N/A	
9	Existing use		Proposed use		
		Maximum	Existing	Proposed	Deficiencies
10	Height				
11	Number of Stories		14	N/A	
12	FAR		N/A	N/A	
13	Gross square footage		N/A	N/A	
14	Square footage by use	N/A	N/A	N/A	
15	Number of units residential	N/A	N/A	N/A	
16	Number of units hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	
	Setback	Required	Existing	Proposed	Deficiencies
	Subterranean				
19	Front setback			N/A	
20	Side setback			N/A	
21	Side setback			N/A	
22	Side setback facing street			N/A	
23	Rear Setback			N/A	
	At grade parking				
24	Front setback			N/A	
25	Side setback			N/A	
26	Side setback			N/A	
27	Side setback facing street			N/A	
28	Rear setback			N/A	
	Pedestal				
29	Front setback			N/A	
30	Side setback			N/A	
31	Side setback			N/A	
32	Side setback facing street			N/A	
33	Rear Setback			N/A	
	Tower				
34	Front setback			N/A	
35	Side setback			N/A	

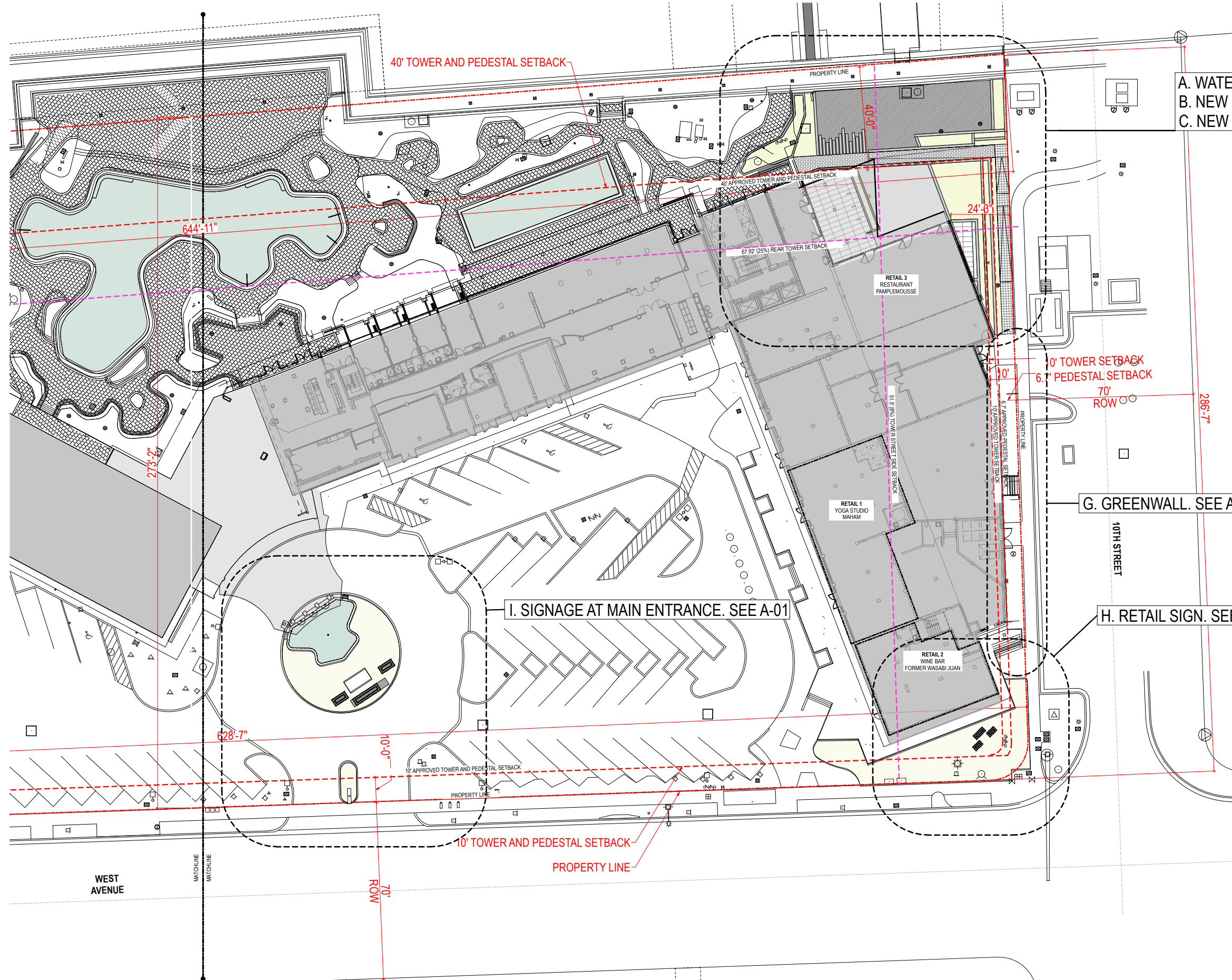
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side setback			N/A	
37	Side setback facing street			N/A	
38	Rear setback			N/A	
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district			N/A	
40	Total # of parking spaces			N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking space dimensions			N/A	
44	Parking space configuration (45°, 60°, 90°, Parallel)			N/A	
45	ADA spaces			N/A	
46	Tandem spaces			N/A	
47	Drive aisle width			N/A	
48	Valet drop off and pick up			N/A	
49	Loading zones and trash collection areas			N/A	
50	Racks			N/A	
	Restaurants, Cafes Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use			N/A	
52	Total # of seats			N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
54	Total occupent content			N/A	
55	Occupant content per venue			N/A	
	(Provide a separate chart for a breakdown calculation)			N/A	

56	Is this a contributing building?			N/A	
57	Located within a local historic district?			N/A	

Notes:  
If not applicable write N/A  
All other data information may be required and presented like the above format

SOUTHGATE TOWERS   MIAMI BEACH				
		EXISTING	REQUIRED	PROVIDED
ZONING DISTRICT				
RM-3		RM-3	-	-
FAR		N/A	N/A	N/A
HEIGHT		N/A	N/A	N/A
PARKING + LOADING		N/A	N/A	N/A
SETBACKS				
AT-GRADE PARKING		N/A	N/A	N/A
TOWER		N/A	N/A	N/A
PEDESTAL				
FRONT		10' - 0"	20' - 0"	*10' - 0"
SIDE, INTERIOR		15' - 11"	51'-7" (51.6')	*15' - 11" (15.9')
SIDE, FACING A STREET		6' - 8"	51'-7" (51.6')	*6' - 8" (6.7')
REAR		40' - 0"	27' - 4" (27.3')	*40' - 0"
*EXISTING TO REMAIN				



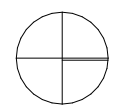


A. WATERFRONT RESTAURANT. SEE A-09  
B. NEW OPERABLE DOORS AT STOREFRONT  
C. NEW WATER FEATURE.

I. SIGNAGE AT MAIN ENTRANCE. SEE A-01

G. GREENWALL. SEE A-06

H. RETAIL SIGN. SEE A-05



SCALE: 1" = 40'



G-06A

910 WEST AVENUE | SGT

DRB

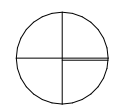
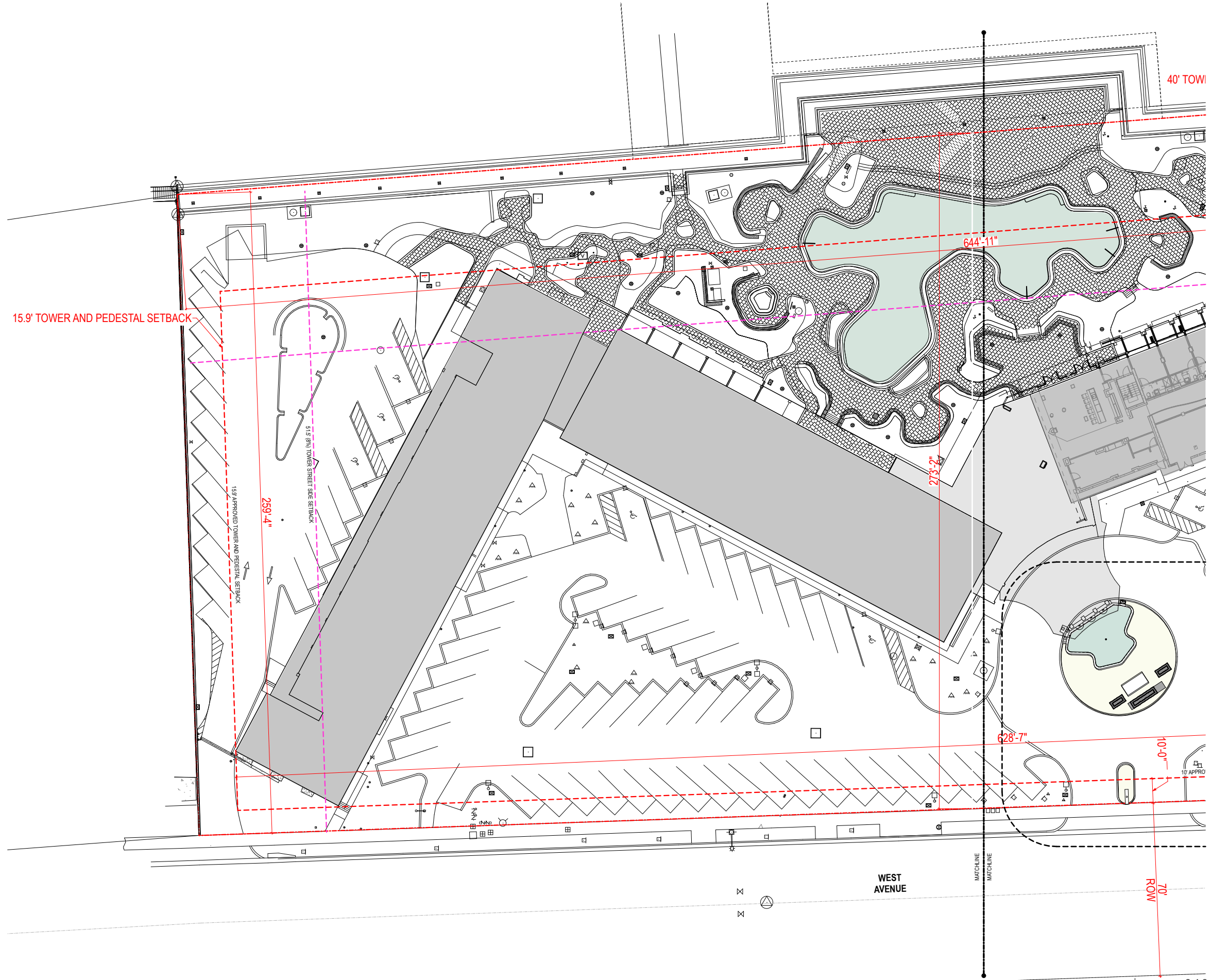
SITE PLAN A

01/25/21

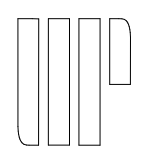
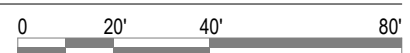
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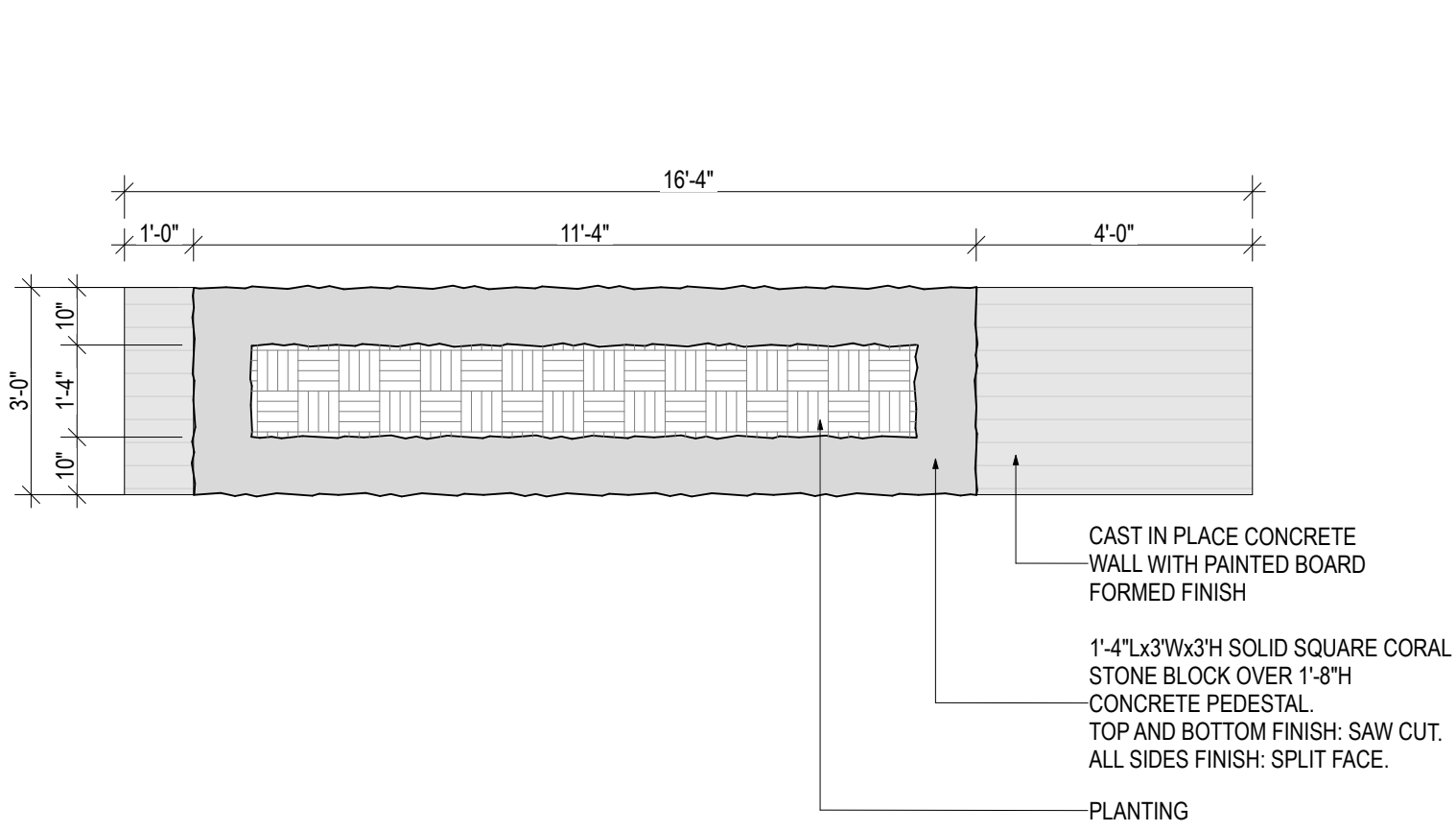




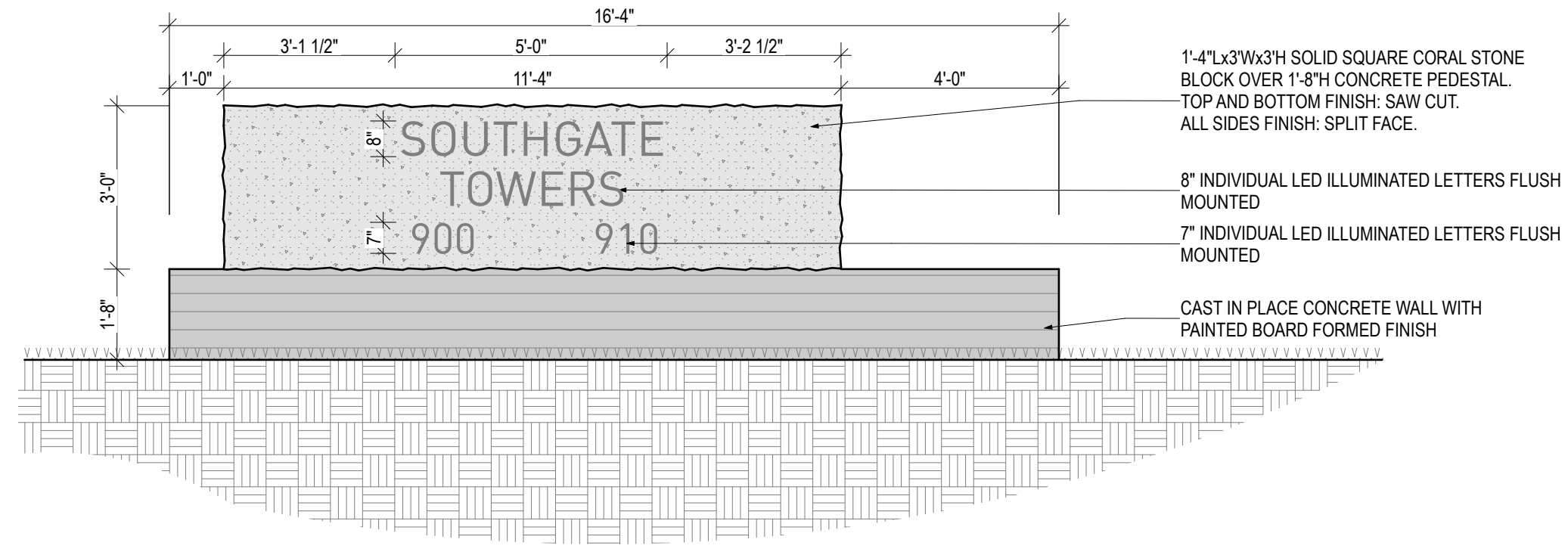
SCALE: 1" = 40'



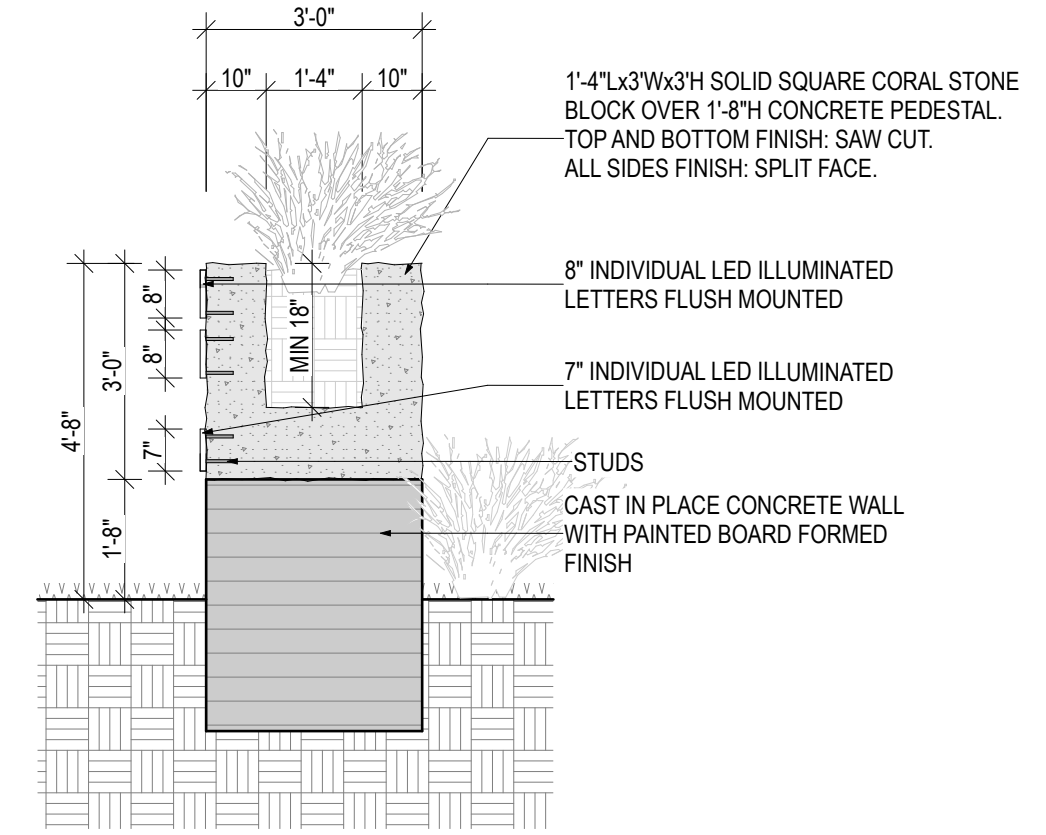




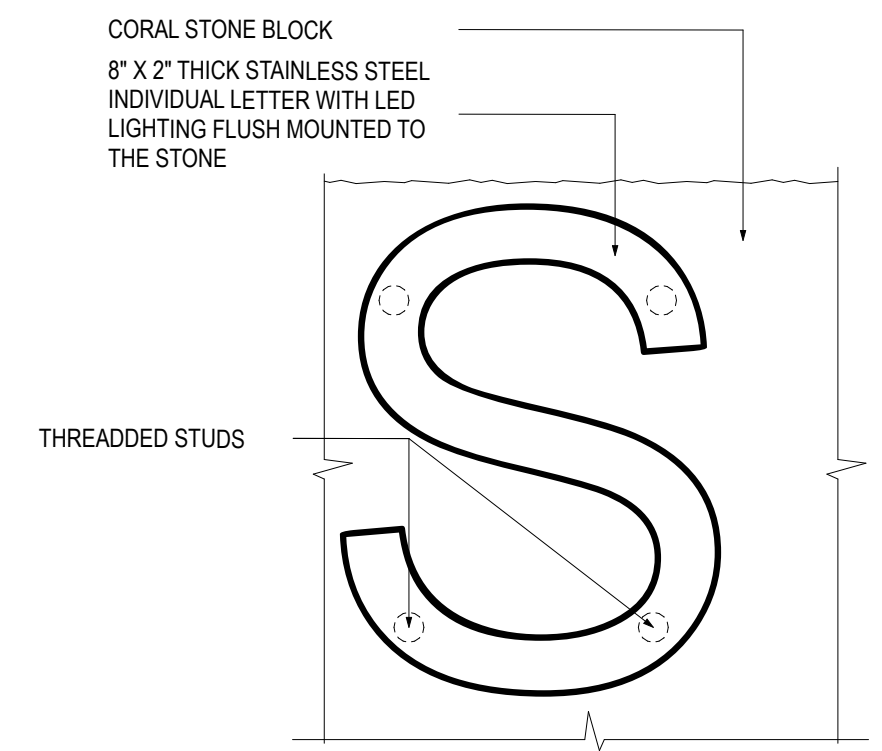
PLAN



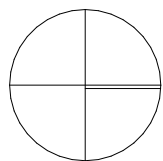
ELEVATION



SECTION



ENLARGEMENT



ENTRY SIGNAGE DETAILS

SCALE: 3/8" = 1'-0"



A-03a

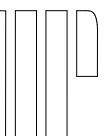
910 WEST AVENUE | SGT

DRB

PROPOSED ENTRY SIGN DETAILS

10/12/20

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SCALE: 1/32" = 1'-0"



NORTH ELEVATION

A-04

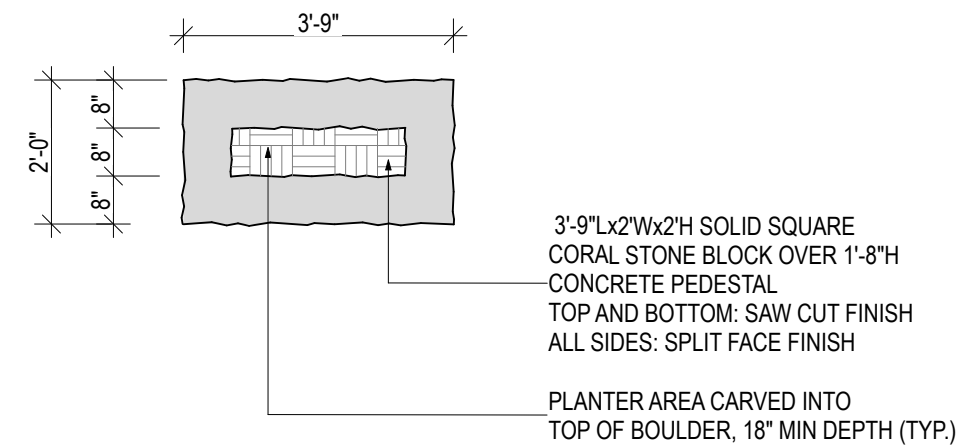
910 WEST AVENUE | SGT  
DRB

01/25/21

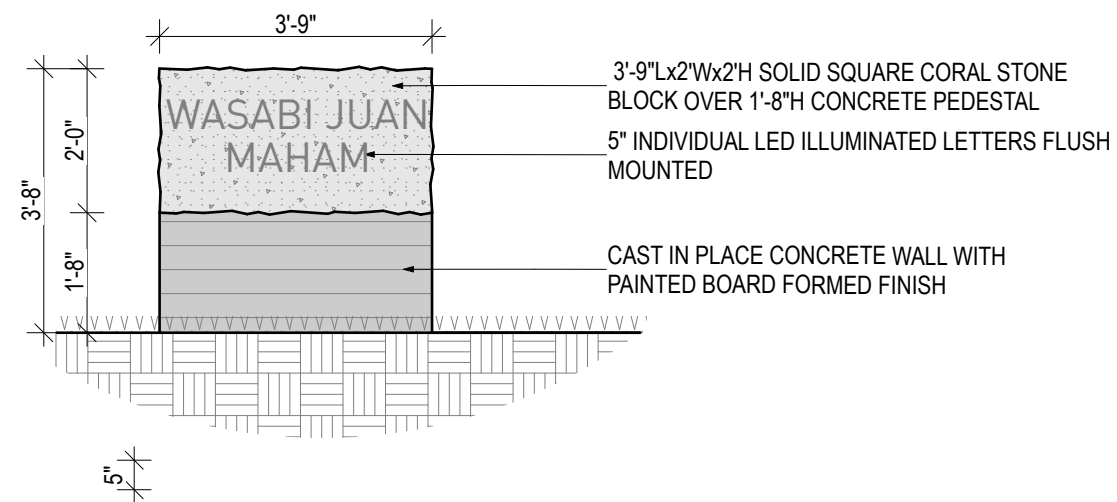
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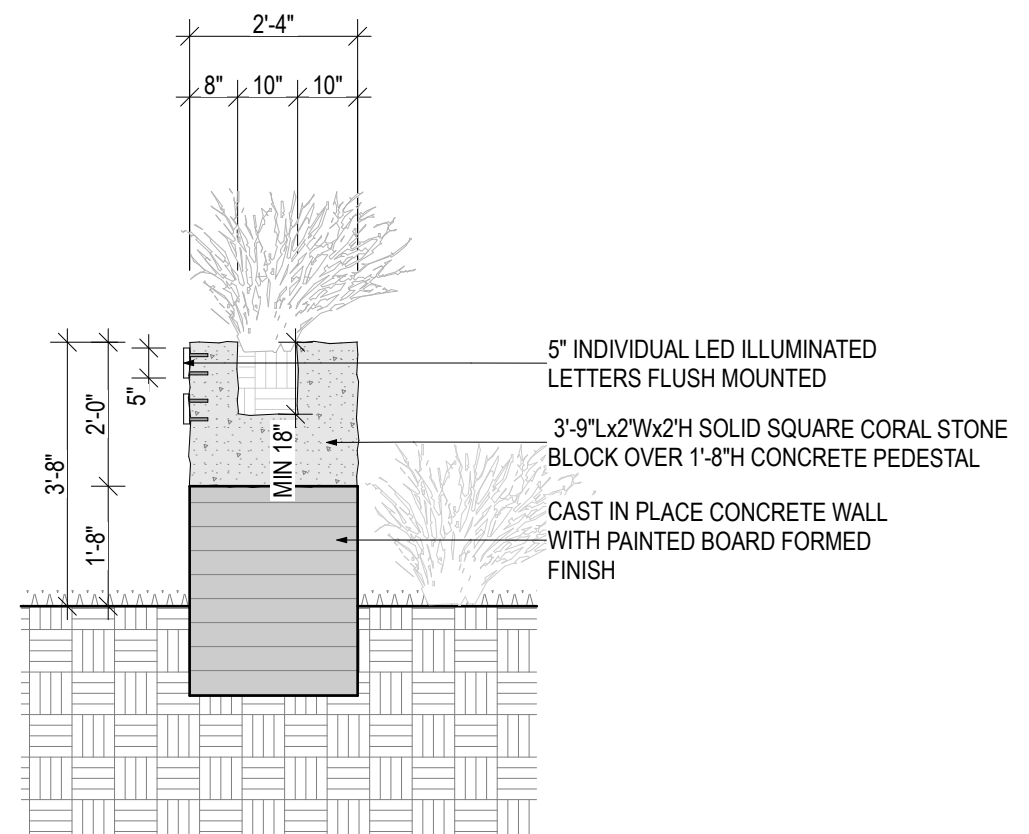




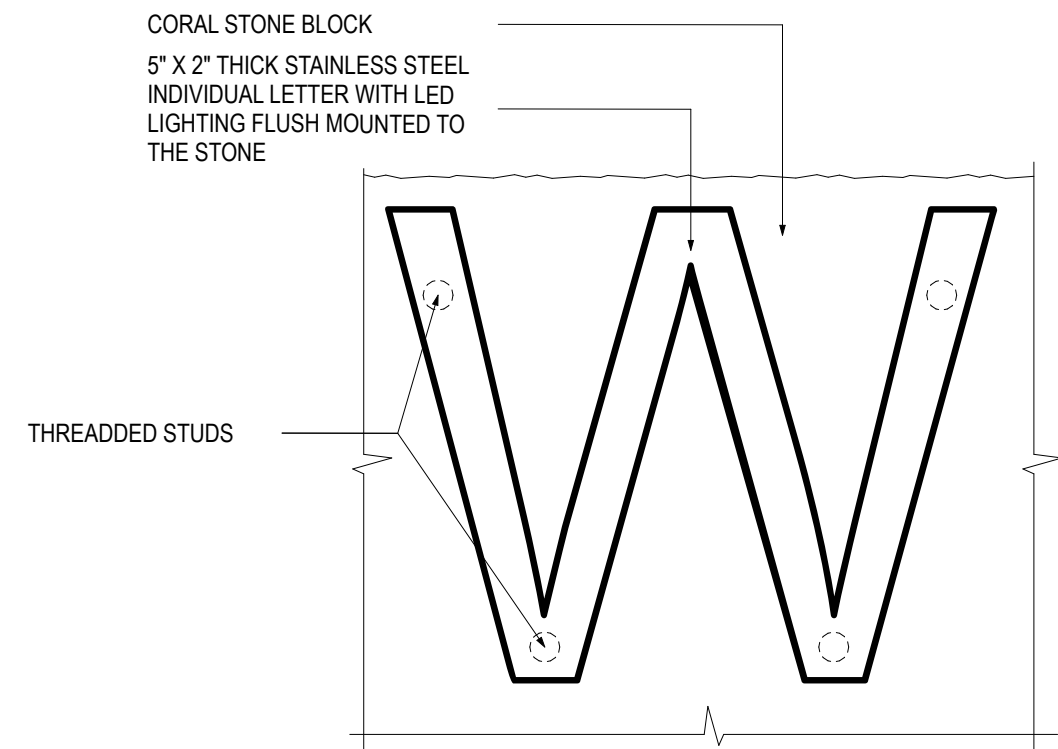
PLAN



ELEVATION A

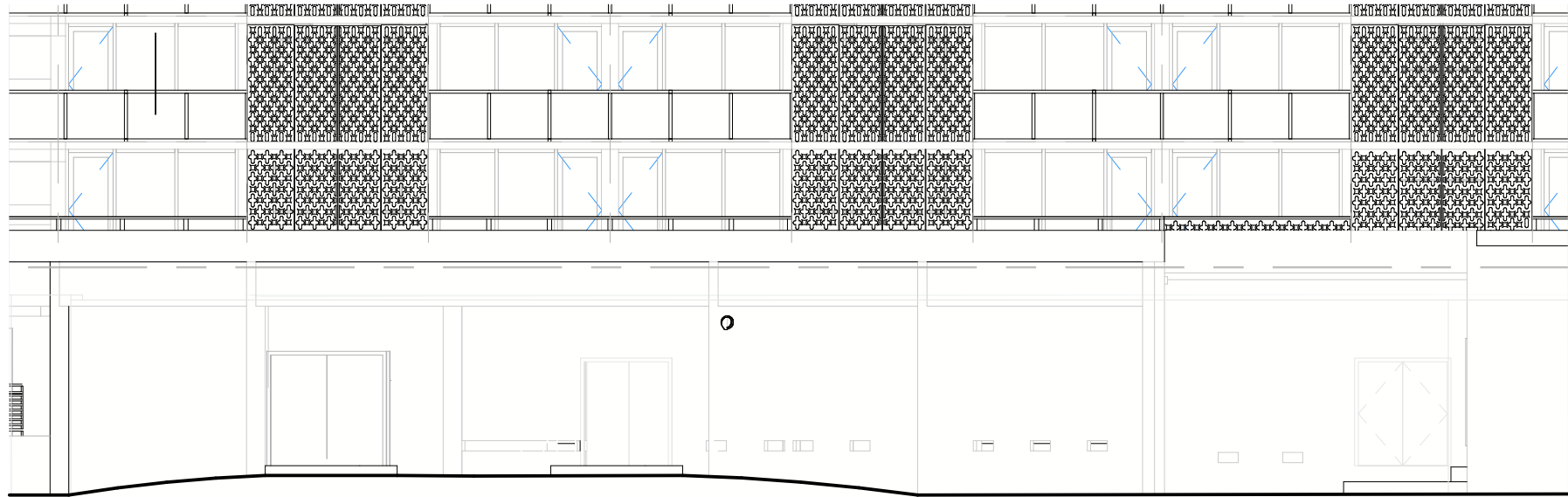


SECTION

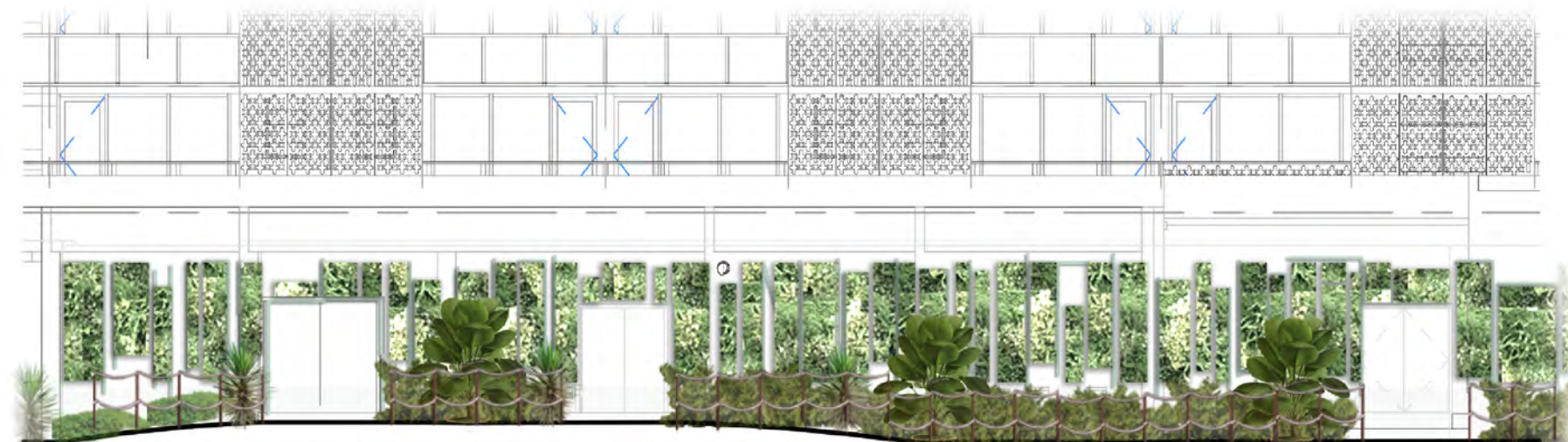


ENLARGEMENT





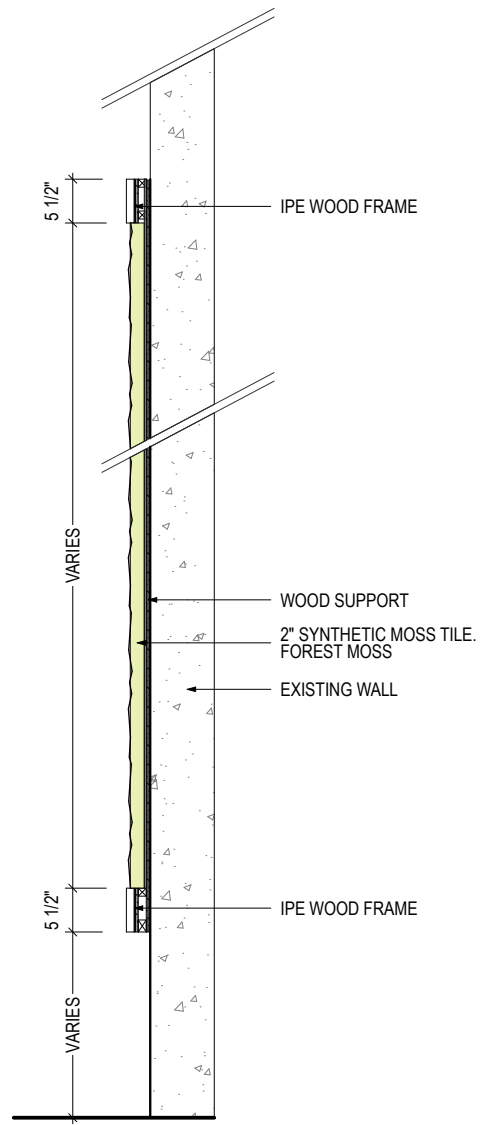
EXISTING ELEVATION



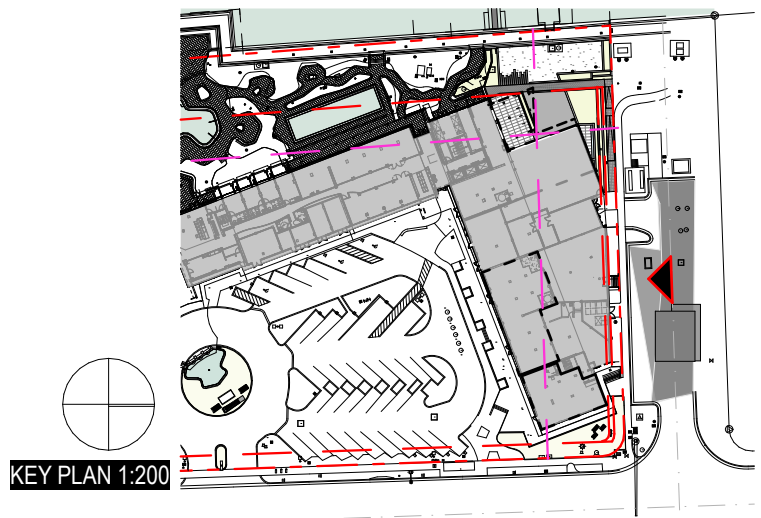
PROPOSED ELEVATION



INSPIRATION



GREEN WALL DETAIL



KEY PLAN 1:200

A-06

910 WEST AVENUE | SGT  
DRB

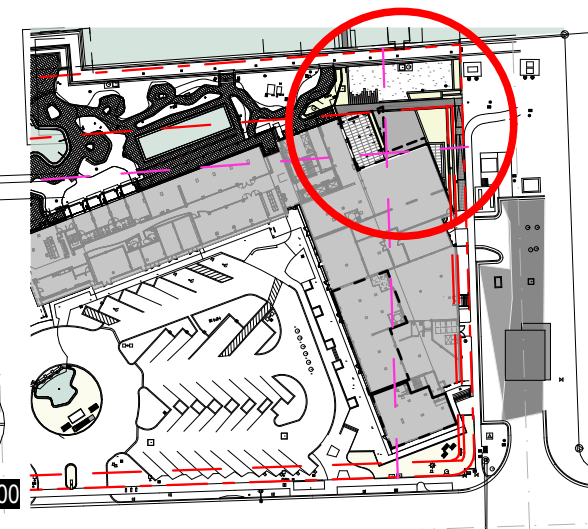
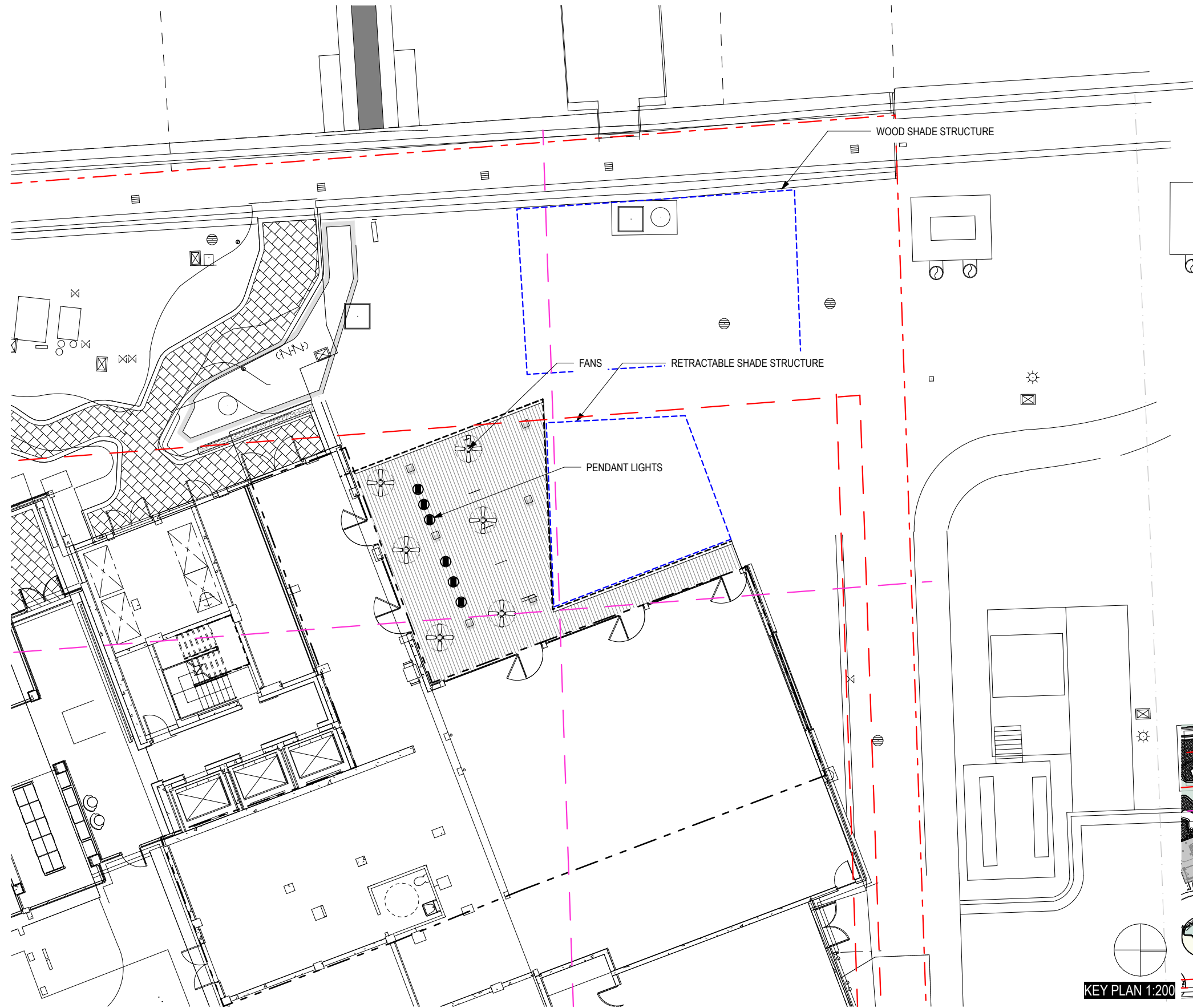
NORTH ELEVATION - GREENWALL

01/25/21

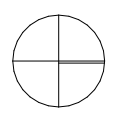
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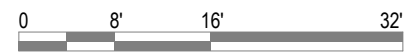


KEY PLAN 1:200



RCP

SCALE: 1/16" = 1'-0"



A-10

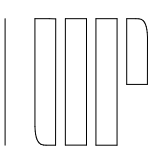
910 WEST AVENUE | SGT

DRB

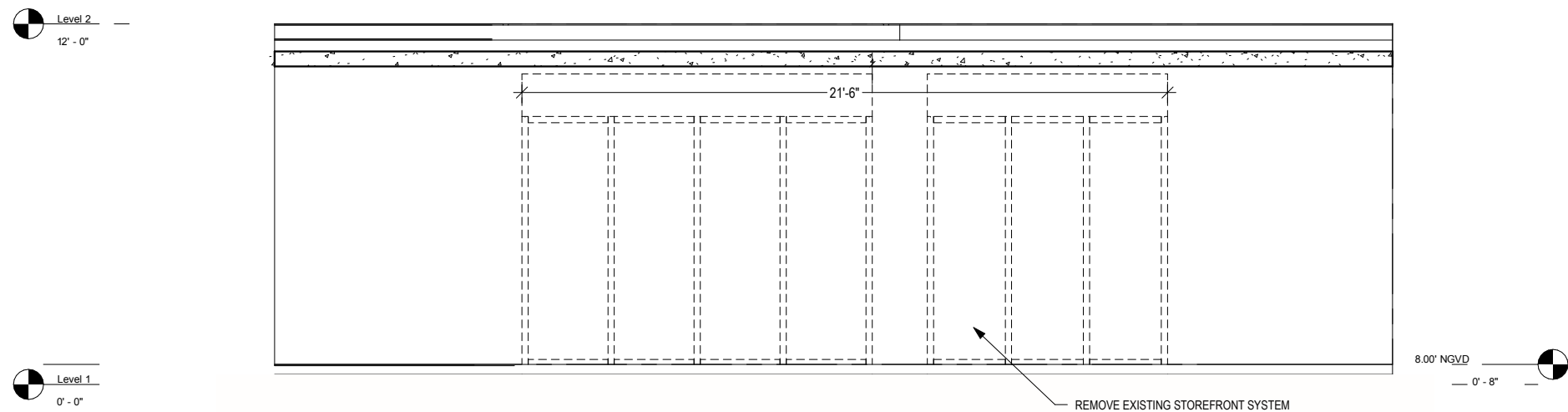
WATERFRONT RESTAURANT RCP

01/25/21

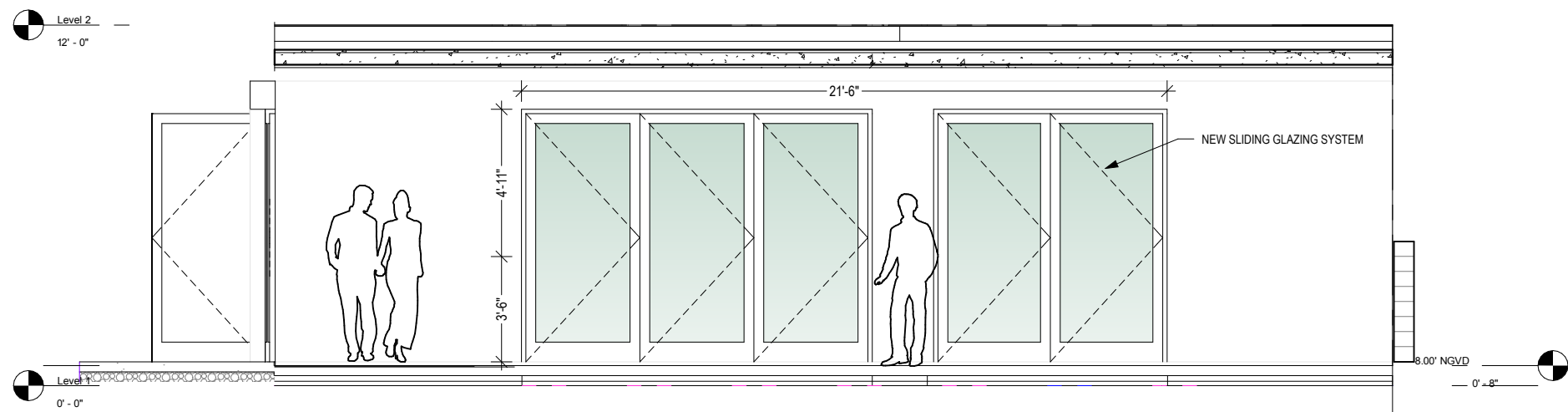
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EXISTING



PROPOSED

WEST ELEVATION

SCALE: 3/16" = 1'-0"



A-11

910 WEST AVENUE | SGT

DRB

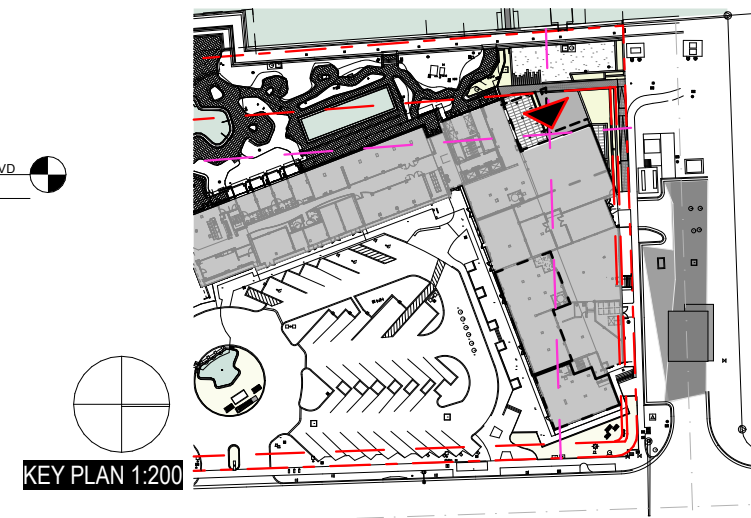
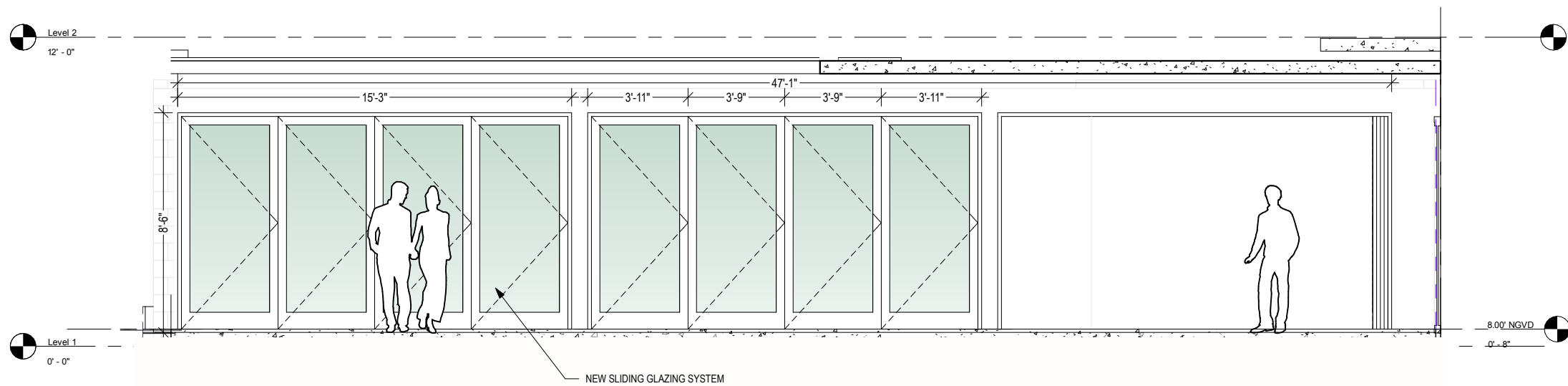
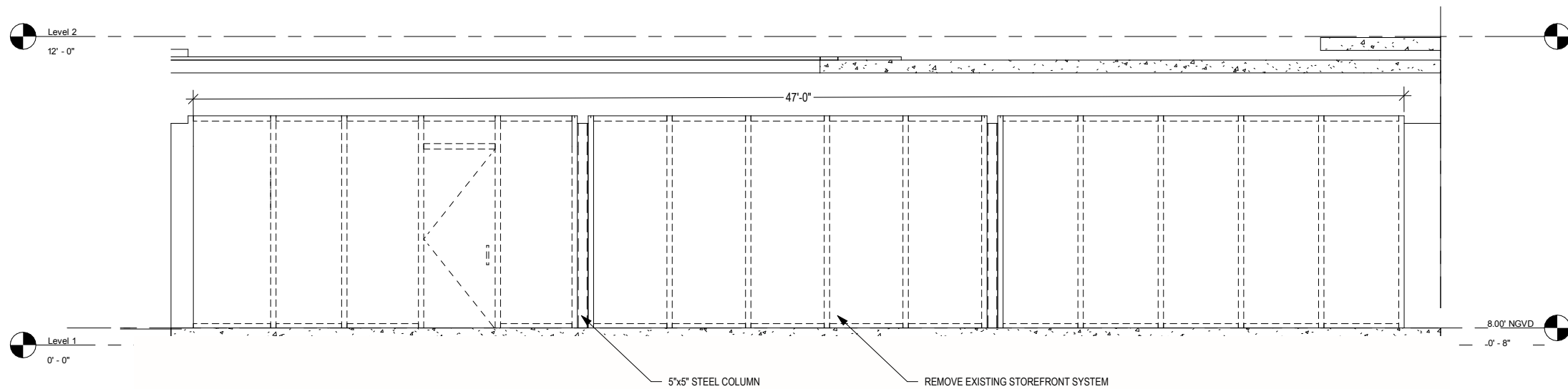
WATERFRONT RESTAURANT ELEVATIONS

01/25/21

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WEST ELEVATION

SCALE: 3/16" = 1'-0"



A-12

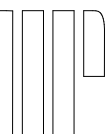
910 WEST AVENUE | SGT

DRB

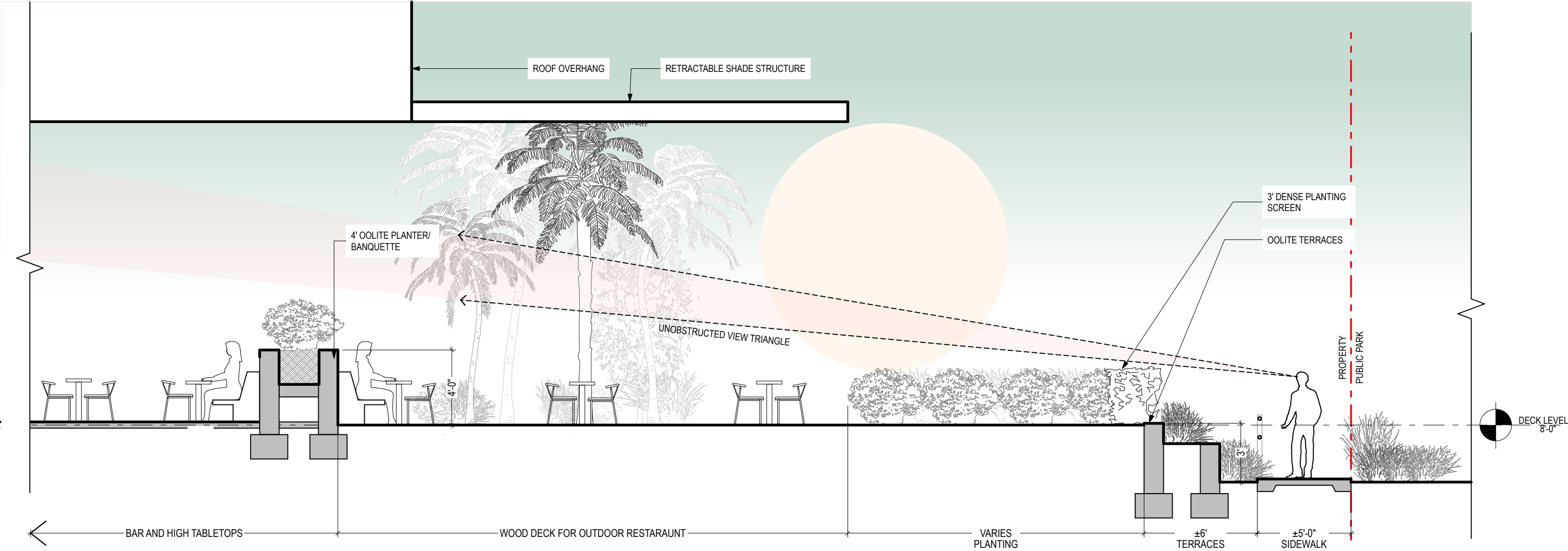
WATERFRONT RESTAURANT ELEVATIONS

01/25/21

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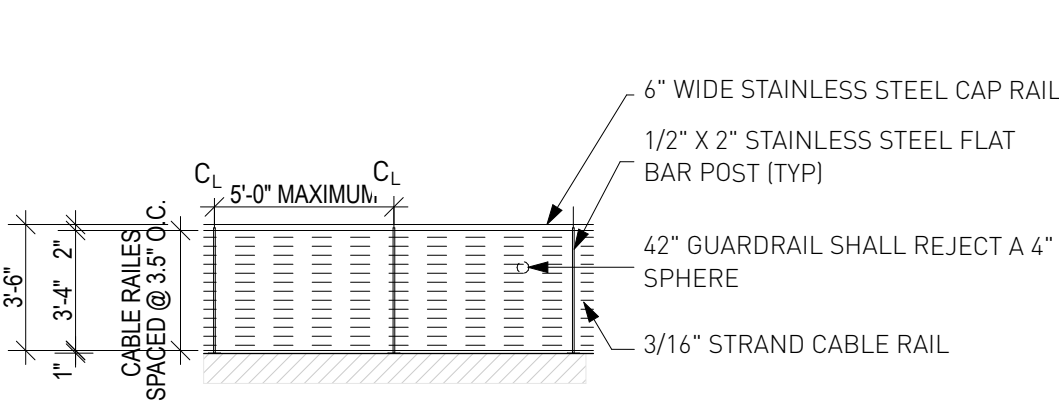






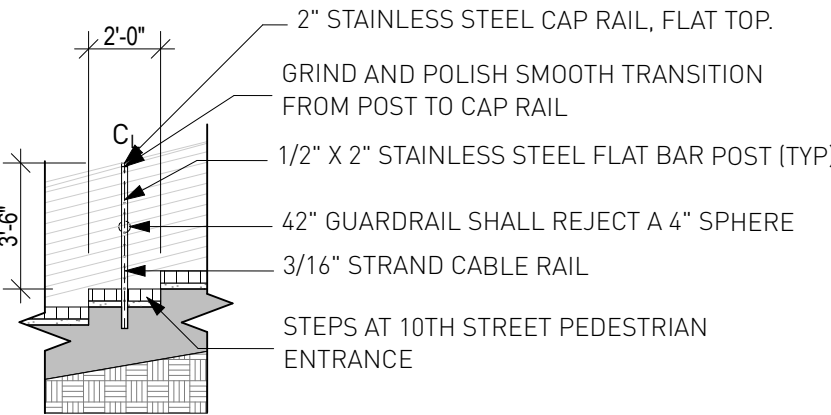
10TH STREET SECTION

SCALE: 3/16" = 1'-0"

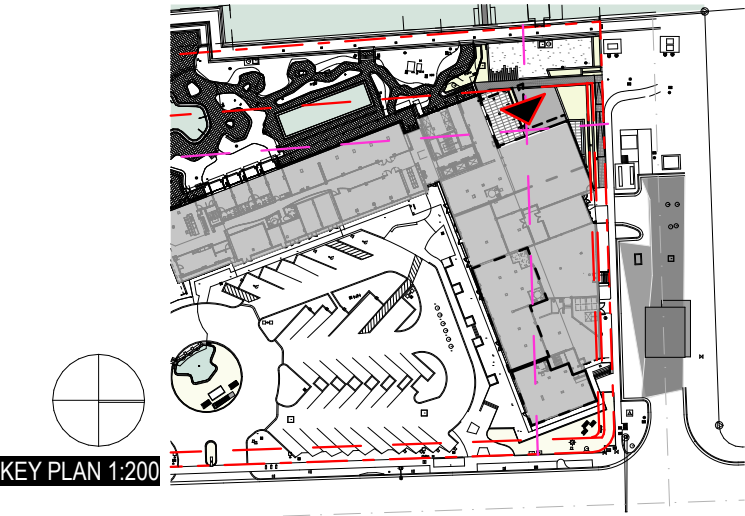


TYPICAL HANDRAIL ELEVATION

NOTE:  
HANDRAILS TO INCORPORATE A FLAT PROFILE AND ANY ACCESSIBILITY RAIL TO RETURN TO THE GROUND



TYPICAL HANDRAIL SECTION

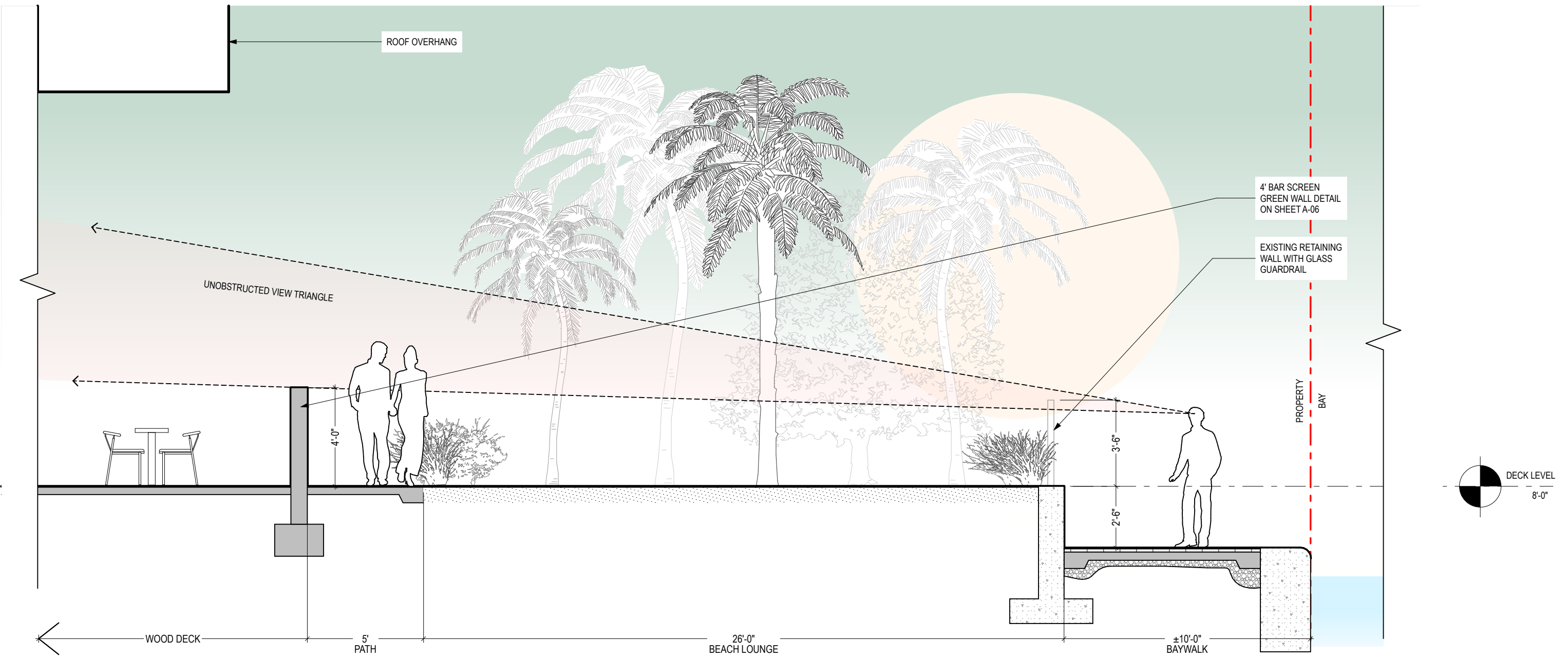


GUARDRAIL DETAIL

SCALE: 3/16" = 1'-0"







BAYWALK SECTION

SCALE: 1/4" = 1'-0"



A-15

910 WEST AVENUE | SGT

DRB

SECTION BAYWALK

01/25/21

URBAN ROBOT © 2021







Tree Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	BS	1	Bursera simaruba 'Red Trunk Belize'	Gumbo Limbo Red Trunk
	CN	13	Cocos nucifera	Coconut
	CU	3	Coccoloba uvifera	Sea Grape
	SP	6	Sabal Palmetto	Cabbage Palm

Shrub Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	Ab	3	Agave 'Blue Flame'	Agave 'Blue Flame'
	Cih	8	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum
	Pv	1	Pyrostegia venusta	Flame vine
	Src	6	Serenoa repens 'Cinerea'	Silver Saw Palmetto
	Ya	8	Yucca aloifolia	Aloe Yucca
	Zp	12	Zamia pumila	Coontie

Groundcover Schedule				
Symbol	ID	QTY	Botanical Name	Common Name
	Td		Tripsacum dactyloides	Fakahatchee Grass
	hd		Helianthus debilis	Dune sunflower
	hl		Ernodea littoralis	Golden creeper
	mc		Spartina patens	Pink muhlygrass



PLANTING PLAN

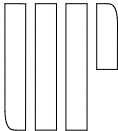
SCALE: 1/16" = 1'-0"



L-01

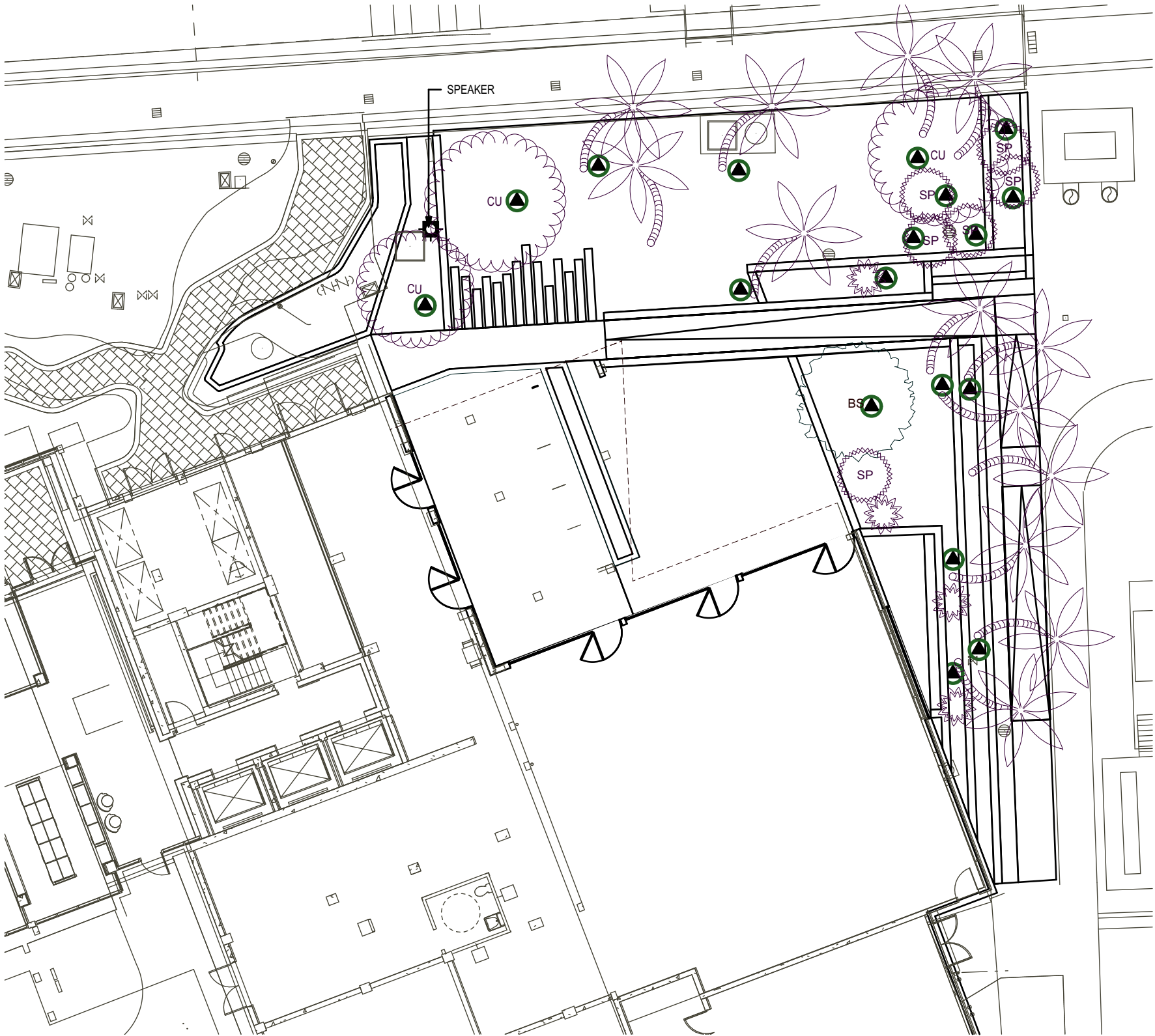
910 WEST AVENUE | SGT

DRB





Lighting									
Symbol	Light Fixture	Manufacturer	Model	Voltage	Lamp	Watts	Color Temp	Material	Finish
	Spot Light	Garden Light	V2	12V	LED	8 WATTS	3000 K	SOLID BRASS	BRASS



# VISIONARY SERIES

## V2 | SPOT LIGHT

A FIXTURE FOR LIFE

### CATEGORY

LED Spot Light

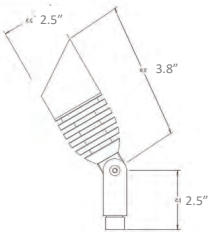
### LED LIFE EXPECTANCY | WARRANTY

TM-21 data: Greater than **80,000 hours** (20+ years at 8 hours a day)  
20 Year Warranty  
We run our fixtures **40%** cooler than LM-80 testing standards

### SPECIFICATIONS

APPLICATION	CONSTRUCTION	DRIVER SYSTEM	INPUT POWER	INSTALLATION	LEAD WIRES	CRI	CERTIFICATION
Up Light Shadowing Wall Wash Silhouette Architectural Accents	6061 Aluminum C360 Solid Brass	External Driver	10.5-18 WAC	LV180 Ground Stake Included	ULECC 18 AWG Tinned Copper Wire 46 Inch Length	80	UL1838 Low Voltage Landscape Lighting

### PRODUCT DIMENSIONS



### PHOTOMETRICS

\*Complete IES files furnished upon request.

### EQ / WATTS / VA / LUMENS

EQ / W / VA / LM
<b>10 - 2W/4VA - 130lm</b>
<b>20 - 4W/7VA - 210lm</b>
<b>35 - 6W/10VA - 280lm</b>

### BEAM SPREAD & FINISH

BEAM SPREAD	FINISH
12° 25° 40° 60°	Black (BLK) C360 Solid Brass (BR) Stainless Aluminum (SSA)

### POWER CONSUMPTION

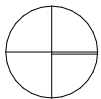
COLOR TEMPERATURE	VA	VA	VA
3000K	4	7	10
2700K	4	7	10
5000K	4	7	10
AMB*	6	10	11
BLU	6	11	11
RBL	6	10	11
GRN	6	11	11
RED*	4	8	8
FSA**	N/A	N/A	9
LVR**	N/A	N/A	10

INDICATES STOCKED ITEMS



Garden Light LED | A Fixture for Life | 6112 Benjamin Road | Tampa, FL 33634 | 1.800.511.2099 | 813.901.5595  
\*IN A CONTINUING PRODUCT IMPROVEMENT PROGRAM, GARDEN LIGHT LED RESERVES THE RIGHT TO MODIFY PRODUCT SPECIFICATIONS WITHOUT NOTICE.

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L-LIGHTING PLAN  
SCALE: 1/16" = 1'-0"



L-0X

910 WEST AVENUE | SGT

DRB

LIGHTING PLAN

1/21/21

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GRASSES



Spartina patens



Tripsacum dactyloides



Tripsacum floridanum

WILD FLOWERS



Sesuvium portulacastrum



Seaside goldenrod



Helianthus debilis



Gaillardia pulchella

TREES



Gumbo limbo



Coccoloba uvifera

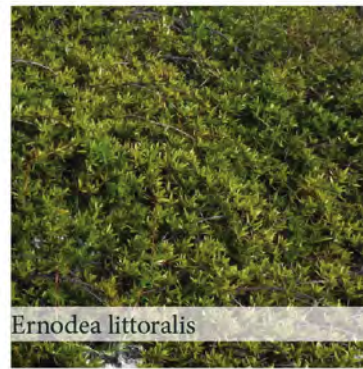
VINES AND CLIMBERS



Pyrostegia venusta



Ficus pumila



Ernodea littoralis

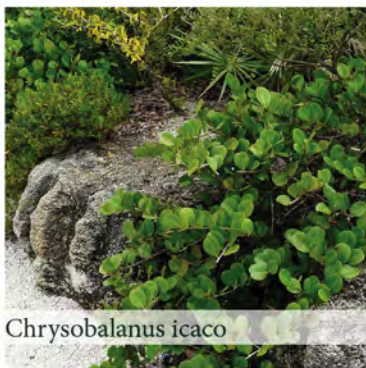
ACCENTS



Agave blue flame



Serenoa repens cinerea



Chrysobalanus icaco



Yucca aloifolia



Zamia pumila

PALMS



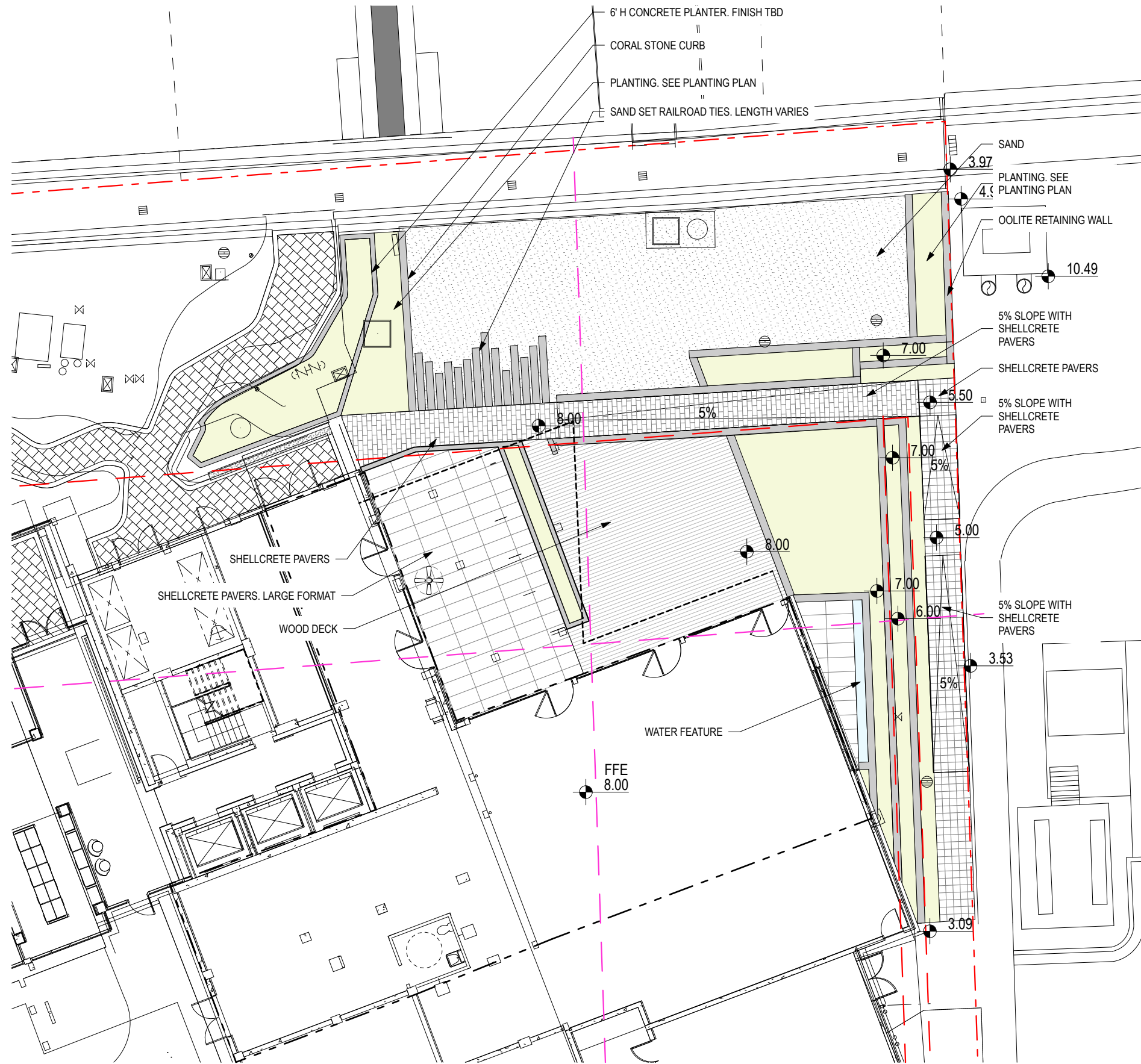
Sabal palmetto



Cocos nucifera



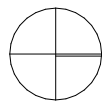




Hardscape Schedule		
Symbol	Item	Area
	APPROVED SAND	1,586
	CONCRETE RAISED PLANTER	62
	CORAL STONE PAVER	109
	OOLITE RETAINING WALL	441
	OOLITE SIGN	8
	PLANTING	1,169
	RAILROAD TIES	101
	SHELLCRETE PAVER	774
	SHELLCRETE PAVER LARGE FORMAT	908
	WATER FEATURE	30
	WOOD DECK	756

**NOTE:**

- THE PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED.
- PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.



HARDSCAPE PLAN

SCALE: 1/16" = 1'-0"



L-03

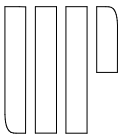
910 WEST AVENUE | SGT

D R B

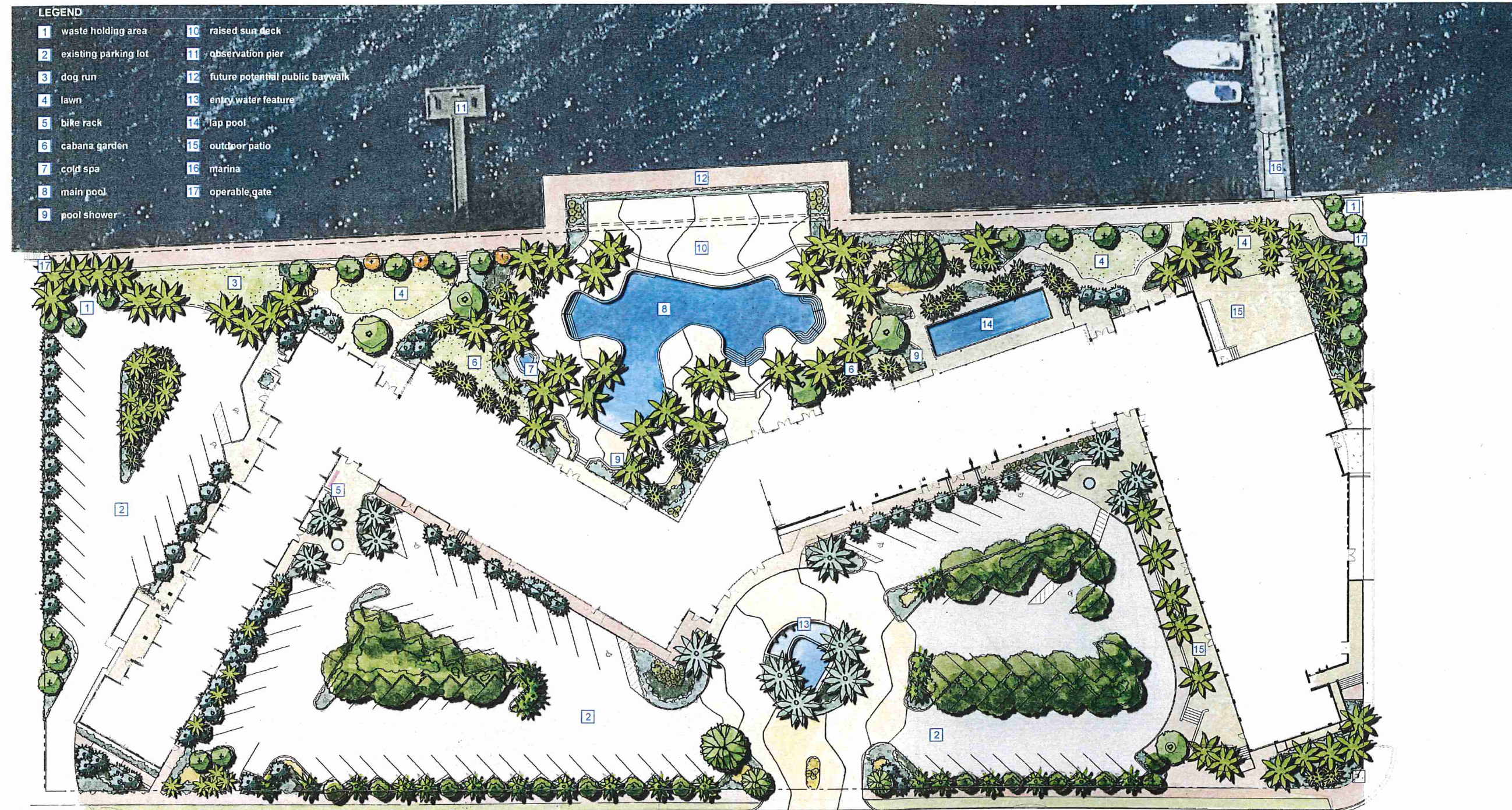
HARDSCAPE PLAN

1/21/21

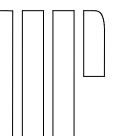
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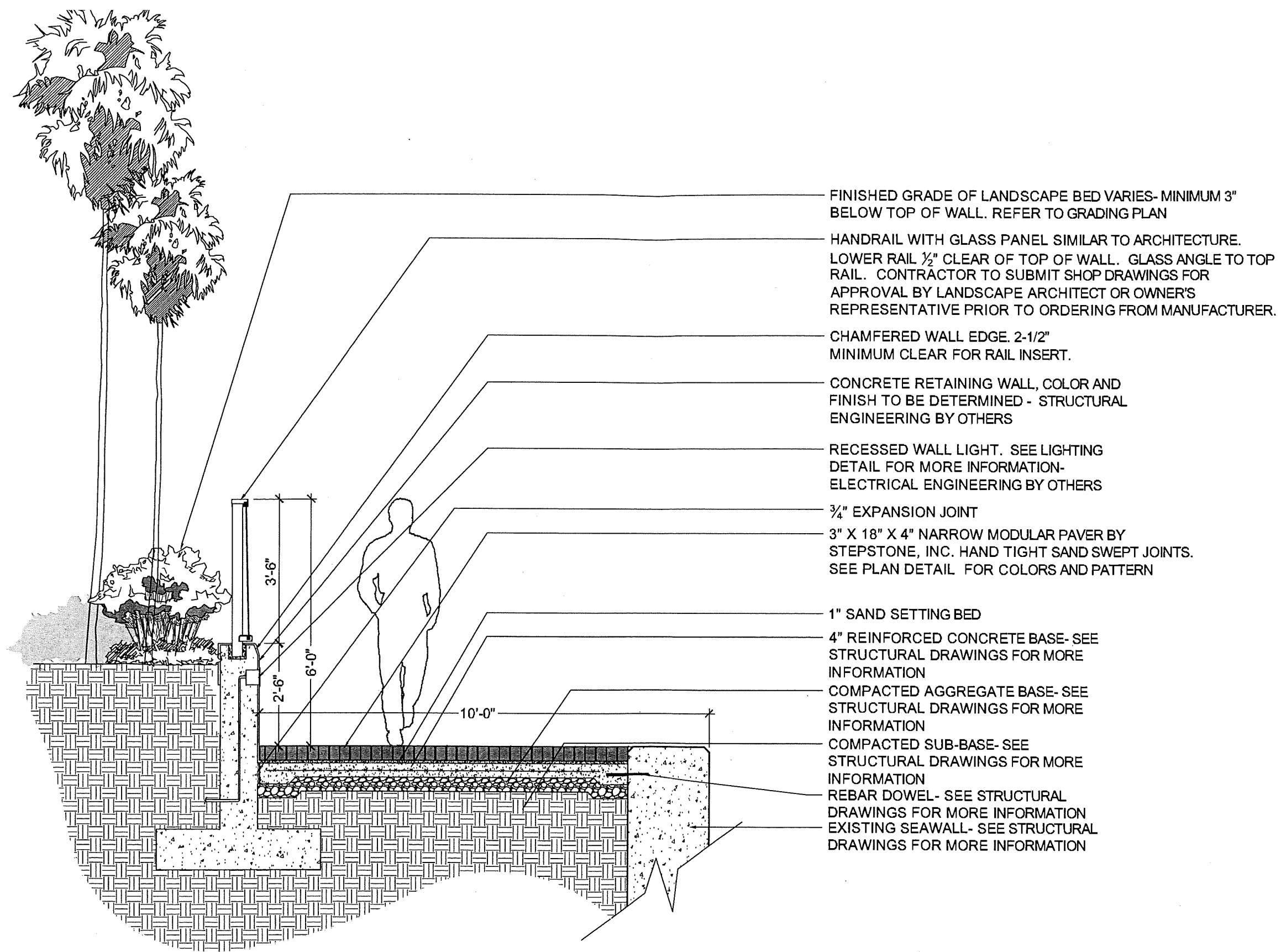




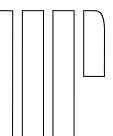
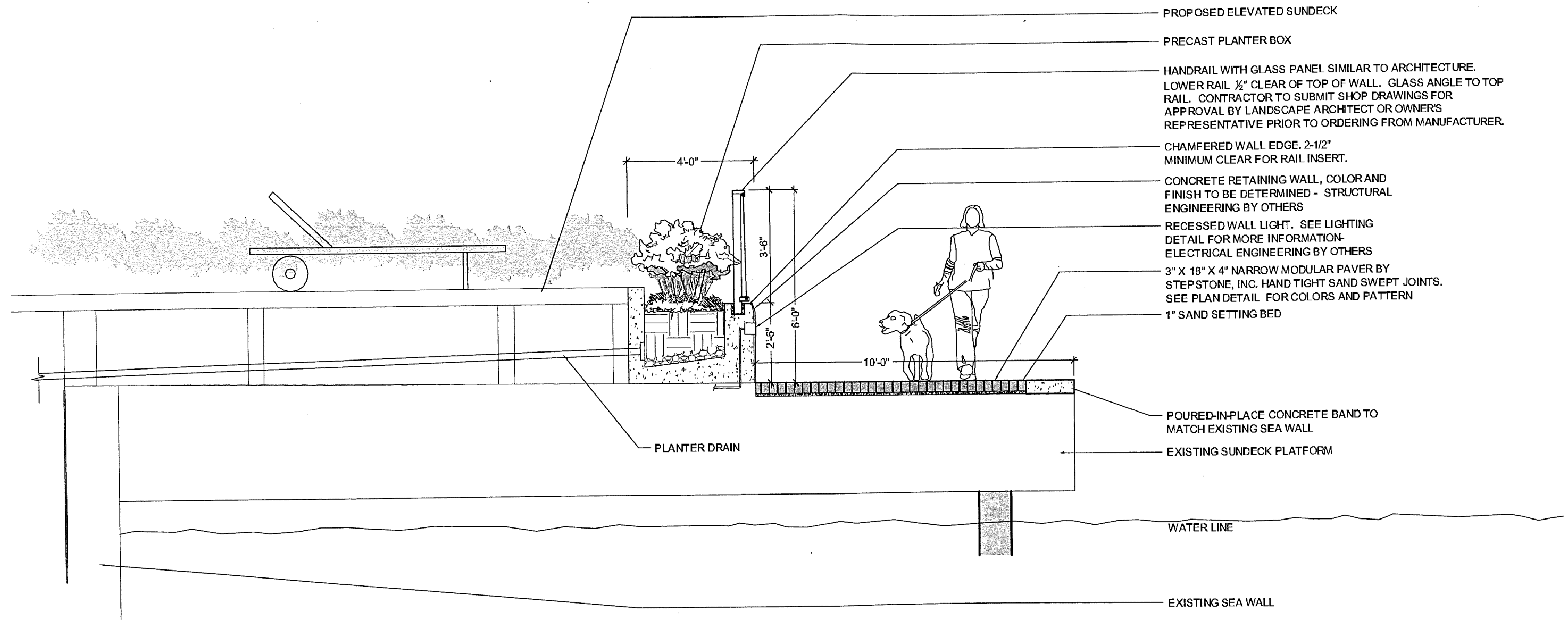
WEST AVE



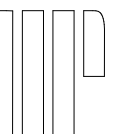
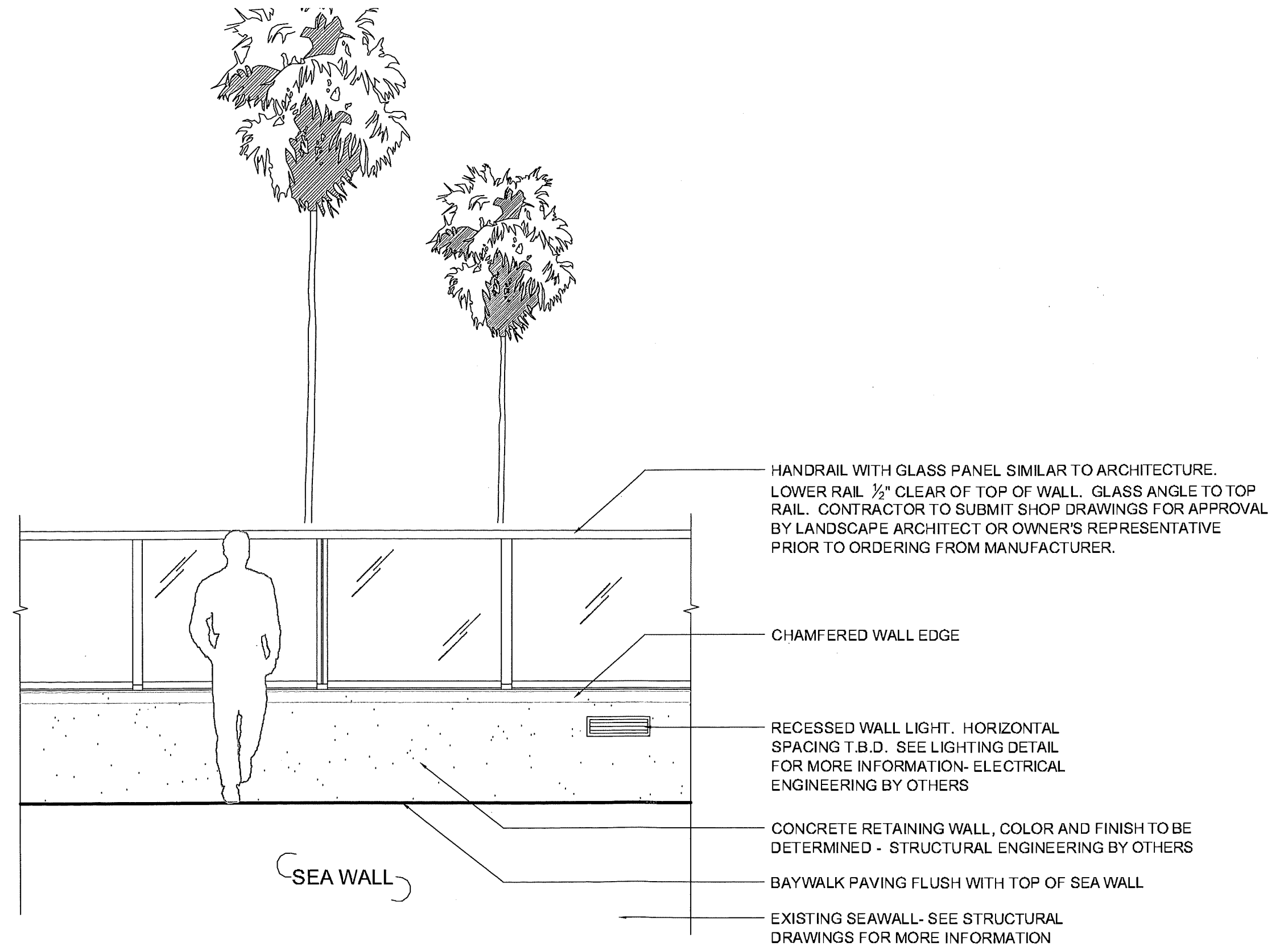




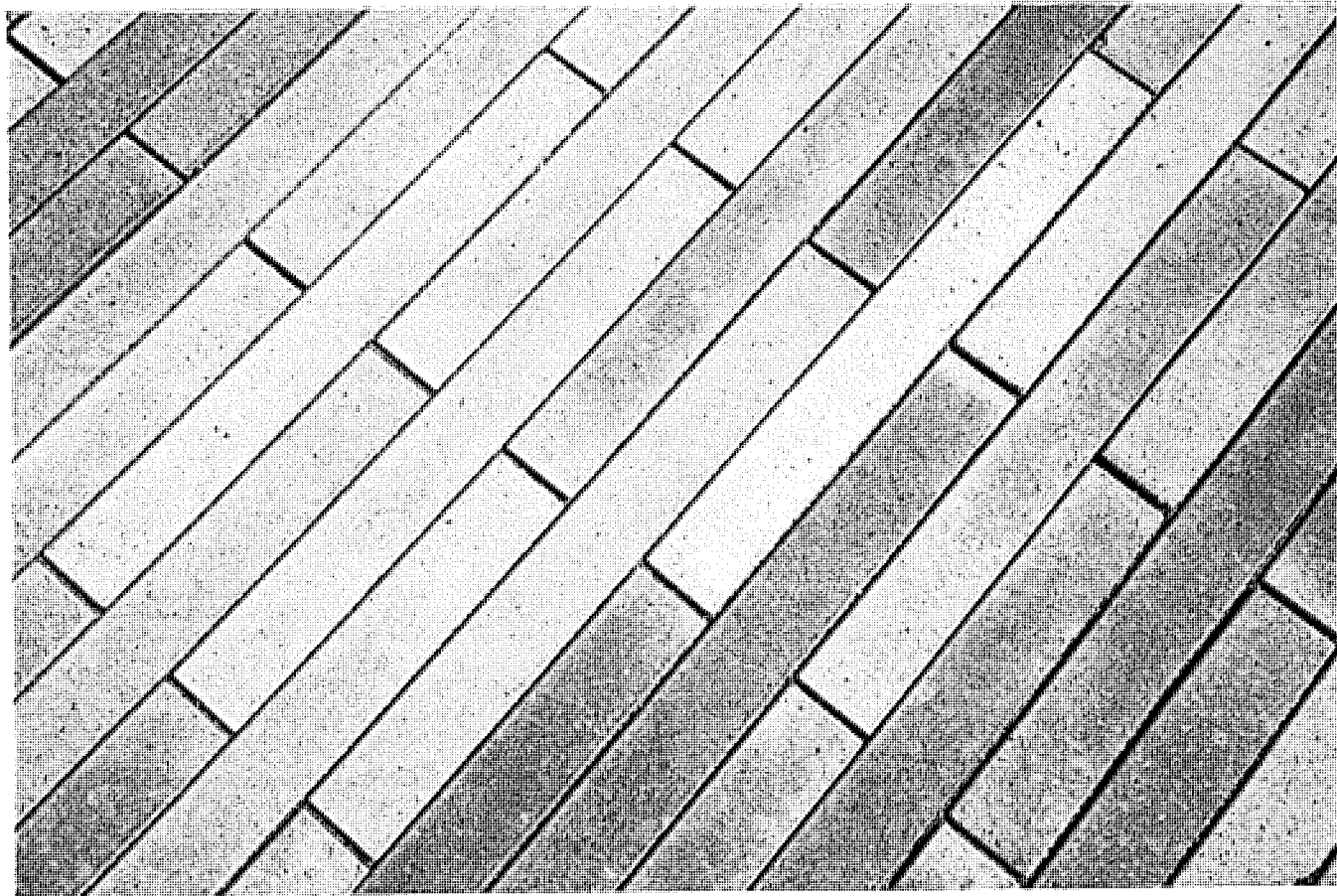




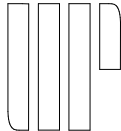






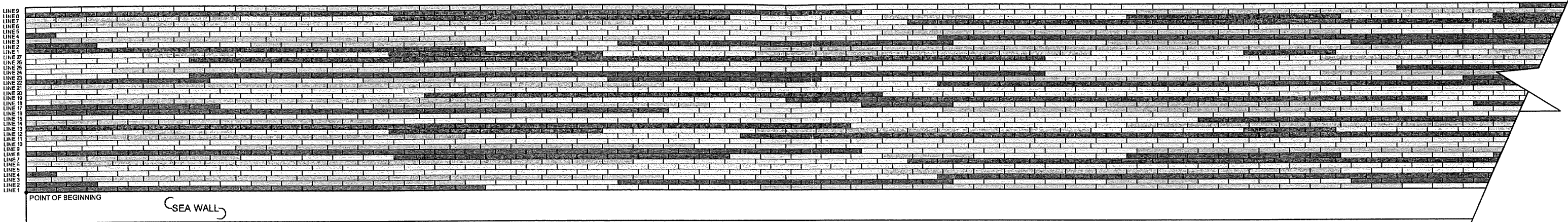


MANUFACTURER: STEPSTONE, INC.  
 SERIES: NARROW MODULAR PAVER  
 SIZE: 3" X 18" X 4"  
 NOTE: SEE PLAN DETAIL FOR  
 COLORS AND PATTERN



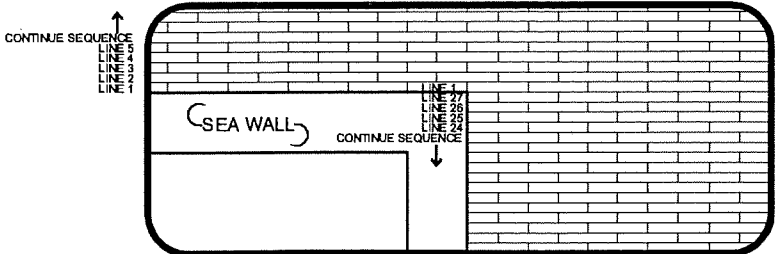


INE 28 AND BEYOND: REPEAT PATTERN BEGINNING WITH LINE 1



**NOTES:**

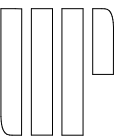
- 1) BRICKS LAID IN RUNNING BOND PATTERN ALIGNED PARALLEL TO THE SEA WALL STARTING AT THE POINT OF BEGINNING AS SHOWN ABOVE.
- 2) FINAL ALIGNMENT OF RETAINING WALL MAY REQUIRE ADJUSTMENT TO AVOID CUT BRICK ROW AGAINST THE BACK RETAINING WALL. PRIOR TO CONSTRUCTION OF WALL OR HARDSCAPE CONTRACTOR TO MOCK-UP BRICK ROWS AND FIELD VERIFY DIMENSION OF BAYWALK BETWEEN SEA WALL AND RETAINING WALL FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.



PLAN

**NOTES:**

- 1) AT TURN IN BAYWALK, RUNNING BOND PATTERN CONTINUES IN STRAIGHT LINES AS SHOWN.
- 2) COLOR PATTERN AT TURN BEGINS IN REVERSE ORDER STARTING FROM THE BEGINNING OF LINE 27, AS SHOWN IN THE ENLARGEMENT ABOVE.







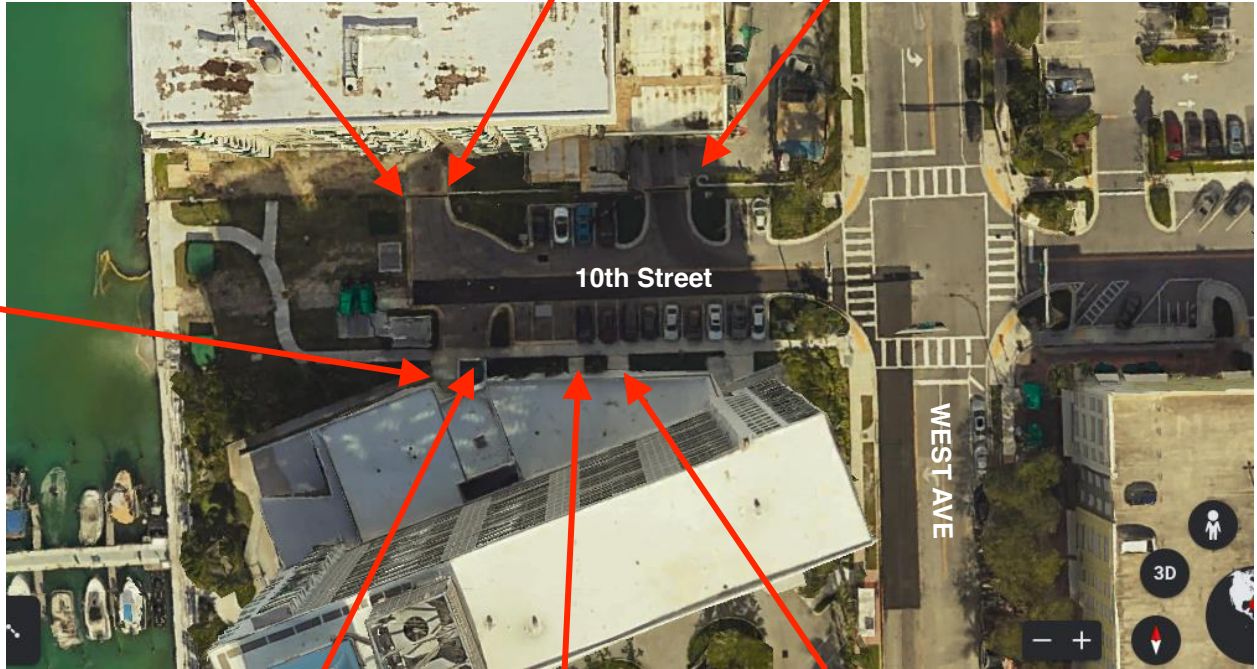


Mirador 1000 garbage collection

Mirador Loading Dock

Mirador Garage Exit Lane

Pamplemousse Loading dock



Southgate Residential Garbage collection

Southgate Towers Maintenance Shop/Deliveries

Retail Garbage Collection





Baywalk  
Dead End

SBC Marina begins

SBC Parking Garage

SBC Garbage Collection

Southgate Towers

South Bay Club

West Ave

SBC Garbage Entrance

9th Street

8th Street