



SHOPPES AT WEST AVENUE

959 WEST AVE :: MIAMI BEACH, FL 33139

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SCOPE OF WORK :

- New monument and building signage at West Ave streetscape and building facade.
- New facade improvements for the 959 West Ave structure.
- New harmonization integration (landscape / hardscape) for raised West Ave.

REVISIONS

| No. | DESCRIPTION | DATE |
|-----|-----------------|------------------|
| 01 | FINAL SUBMITTAL | JANUARY 22, 2021 |
| | | |
| | | |

SUBMITTAL: FINAL SUBMITTAL

DATE: JANUARY 22, 2021



SITE

MACARTHUR
CAUSWAY BRIDGE

WEST AVE

ALTON CT

LENOX AVE

MICHIGAN AVE

JEFFERSON AVE

MERIDIAN AVE

EUCLID AVE

4TH ST

5TH ST

6TH ST

7TH ST

8TH ST

9TH ST

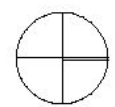
10TH ST

11TH ST

12TH ST

13TH ST

14TH ST





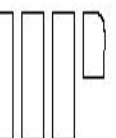
KEY PLAN 1:200



1. WEST AVE AND 10TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



2. WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020





KEY PLAN 1:200



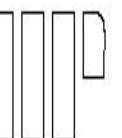
5. 10TH STREET. PHOTOGRAPHS TAKEN ON OCTOBER 1ST, 2019



6. ALTON CT. PHOTOGRAPHS TAKEN ON OCTOBER 1ST, 2019



7.9TH STREET. PHOTOGRAPHS TAKEN ON OCTOBER 1ST, 2019





KEY PLAN 1:200

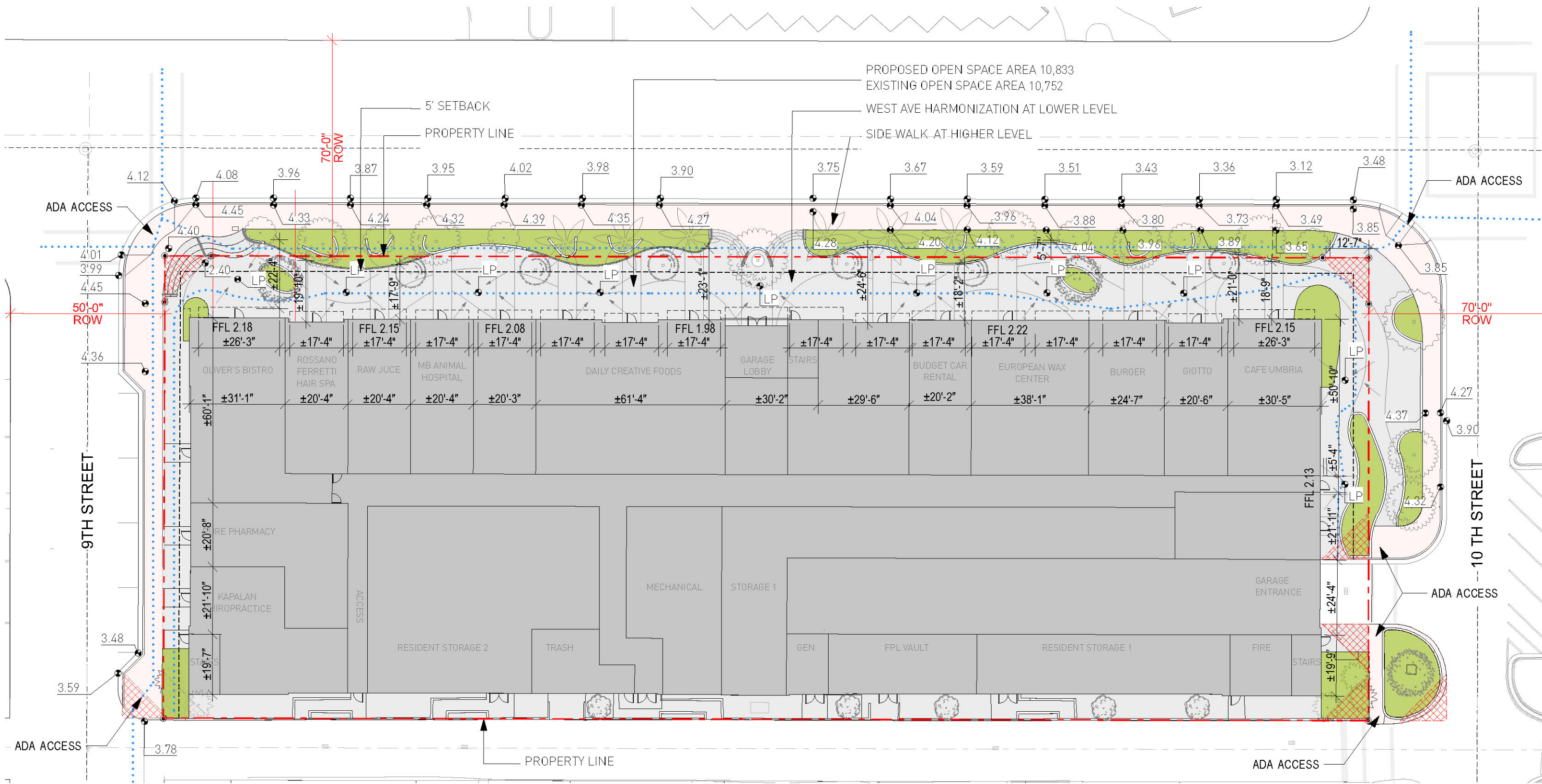


3. WEST AVE AND 9TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020 JULY 8TH, 2020



4. EAST FACADE ALONG WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 6TH, 2020



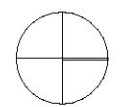


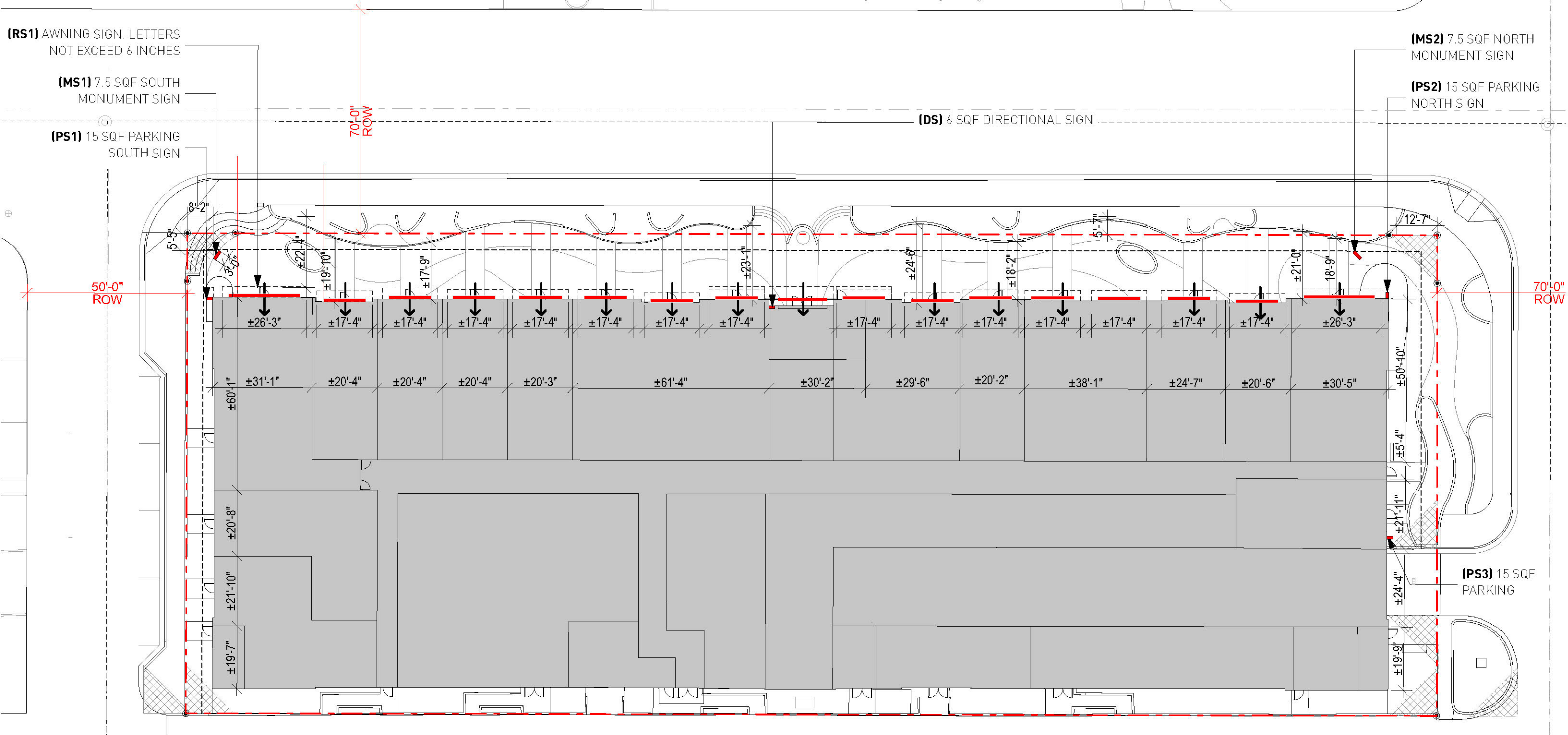
PROPOSED OPEN SPACE AREA 10,833
 EXISTING OPEN SPACE AREA 10,752
 WEST AVE HARMONIZATION AT LOWER LEVEL
 SIDE WALK AT HIGHER LEVEL

5' SETBACK
 PROPERTY LINE

- SCOPE OF WORK**
- WEST AVENUE, 9TH AND 10TH HARMONIZATION.
 - 10TH STREET, 9TH STREET AND WEST AVENUE PARKING SIGNS.
 - SHOPPES SIGN.
 - DIRECTIONAL SIGN.
 - NORTH AND SOUTH MONUMENTAL SIGNS.
 - FACADE IMPROVEMENTS (NEW STUCCO AND GREEN WALL).
 - NEW ENTRY AWNING.
 - NEW HANDRAIL

- LEGEND**
- ADA PATH
 - (LP) LOW DRAIN POINT



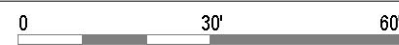
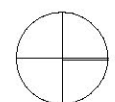


PROPOSED SIGNAGE:

- 1-2 (MS1-MS2) MONUMENT SIGNAGE - 7.5 SF BRONZE ALUMINUM PLATE WITH 6" HEIGHT LAZER CUT ENGRAVED LETTERS.
- 3-4-5 (PS1-PS2) PROJECTING PARKING SIGNS - INDIVIDUAL ALUMINUM LETTERS.
- 6. WS WALL SIGN, INDIVIDUAL ILLUMINATED LETTERS FLUSH MOUNTED TO AWNING.
- 7. DS DIRECTIONAL SIGN, ENGRAVED ON PLATES.
- 8-24 (RS1-RS16) 16 RETAIL AWNING SIGNS, 6" HEIGHT INDIVIDUAL ALUMINUM LETTERS FLUSH MOUNTED.

SEC. 138-21. - MINIMUM DESIGN STANDARDS AND GUIDELINES.

- ALL SIGNS PERMISSIBLE WITHIN THIS ARTICLE SHALL COMPLY WITH THE FOLLOWING MINIMUM DESIGN STANDARDS:
- (A) THE FRAMEWORK AND BODY OF ALL SIGNS SHALL CONSIST OF ALUMINUM OR SIMILAR ALLOY MATERIAL.
 - (B) WALL SIGNS SHALL CONSIST OF INDIVIDUAL LETTERS, OR ROUTED OUT ALUMINUM PANELS OFFSET A MINIMUM OF FOUR INCHES FROM THE WALL.
 - (C) WALL SIGN INDIVIDUAL LETTERS SHALL HAVE A MINIMUM DEPTH OF FOUR INCHES.
 - (D) WALL SIGN INDIVIDUAL LETTERS SHALL BE PIN-MOUNTED OR FLUSH-MOUNTED. RACEWAY OR WIREWAY MOUNTING SHALL ONLY BE PERMITTED WHERE THE STRUCTURAL CONDITIONS OF THE WALL DO NOT ALLOW FOR THE DIRECT MOUNTING OF LETTERS. RACEWAYS OR WIREWAYS, IF PERMITTED, SHALL NOT EXCEED THE WIDTH OR HEIGHT OF THE SIGN PROPOSED AND SHALL BE SUBJECT TO THE DESIGN REVIEW PROCESS.
 - (E) THE PLACEMENT AND LOCATION OF ALL SIGNS SHALL BE COMPATIBLE WITH THE ARCHITECTURE OF THE BUILDING, AND SHALL NOT COVER OR OBSCURE ARCHITECTURAL FEATURES, FINISHES OR ELEMENTS.



G-06

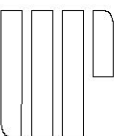
959 WEST AVENUE | SAWA

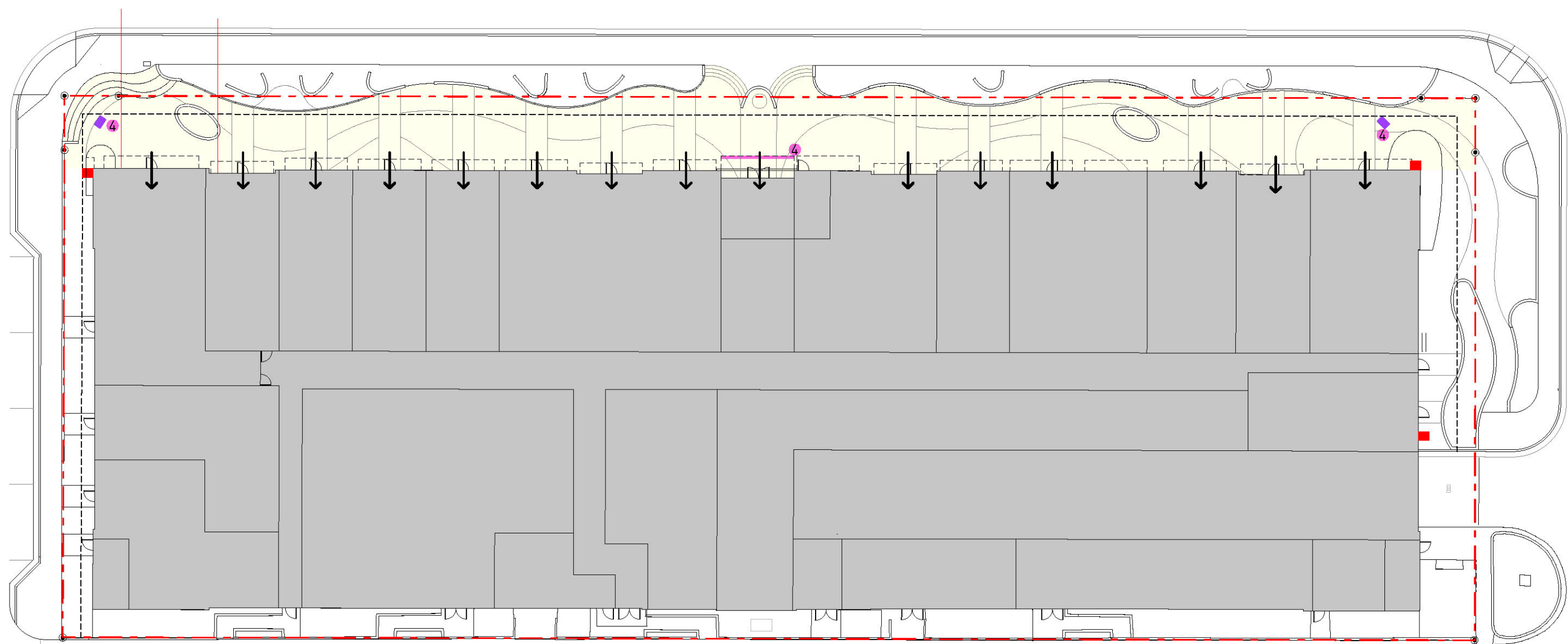
DRB

SIGNAGE PLAN

01/22/21

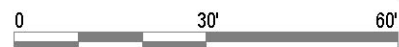
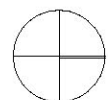
URBAN ROBOT © 2021





VARIANCES

- 1. VARIANCE TO ALLOW FOR ENCROACHMENTS WITHIN THE REQUIRED FRONT YARD (FRONT YARD VARIANCE).
- 2. VARIANCES TO PERMIT ONE PARKING PROJECTING SIGN ON EACH OF THE THREE STREET FRONTAGES (PARKING SIGNS VARIANCES).
- 3. VARIANCE TO ALLOW TWO DETACHED MONUMENT SIGNS WHERE ONE DETACHED SIGN IS PERMITTED (MONUMENT SIGN VARIANCE).
- 4. VARIANCES TO ALLOW FOR THE THREE DISTINCT SIGNS PER FRONTAGE WHERE ONE IS PERMITTED (FRONTAGE SIGNAGE VARIANCE).



G-06a

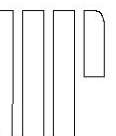
959 WEST AVENUE | SAWA

DRB

VARIANCE DIAGRAM

01/22/21

URBAN ROBOT © 2021



EXISTING CONDITIONS



PROPOSED IMPROVEMENTS



- BRONZE STOREFRONT
- ILLUMINATED CHANNEL LETTERS



- ARTIFICIAL MOSS WALL
- (WS) SHOPPES MAIN SIGN
- (DS) DIRECTIONAL SIGN



- NEW STUCCO WITH BLUE ACCENTS



KEYPLAN



A-01

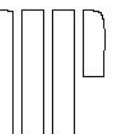
959 WEST AVENUE | SAWA

DRB

WEST AVENUE ELEVATION

01/22/21

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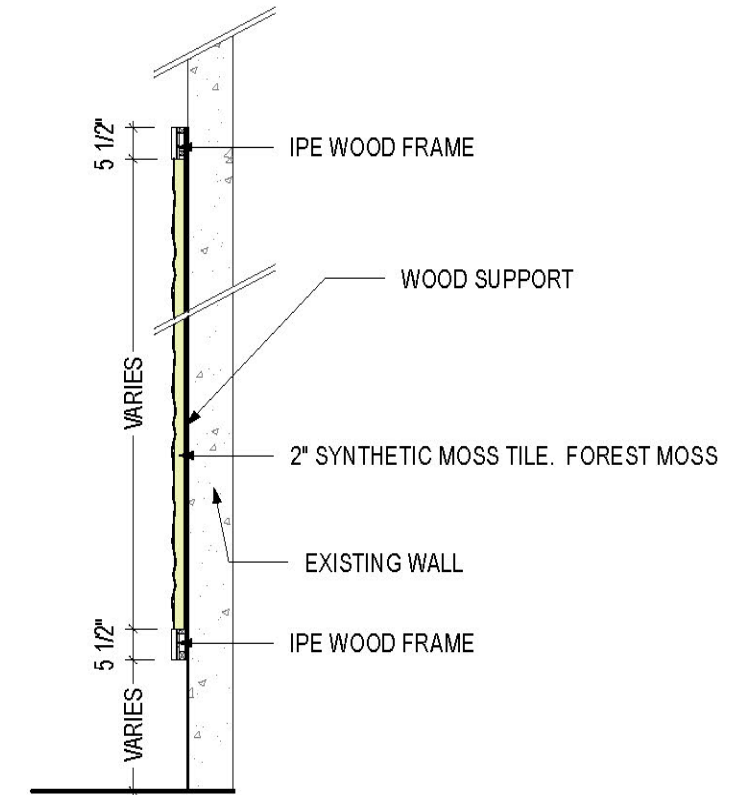
EXISTING CONDITIONS



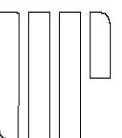
PROPOSED IMPROVEMENTS



GREEN WALL SECTION



INSPIRATION



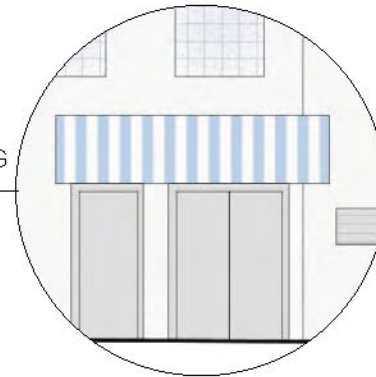
EXISTING CONDITIONS



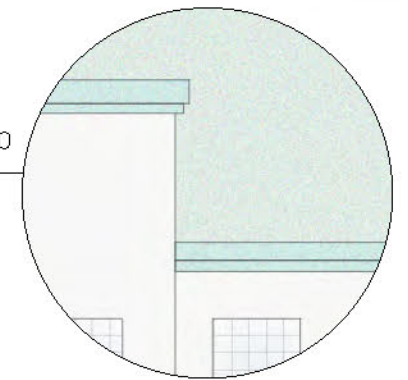
PROPOSED IMPROVEMENTS



NEW AWNING



NEW STUCCO



KEYPLAN



A-03

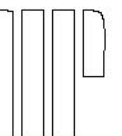
959 WEST AVENUE | SAWA

D R B

ALTON CT ELEVATION

01/22/21

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9th STREET EXISTING CONDITIONS



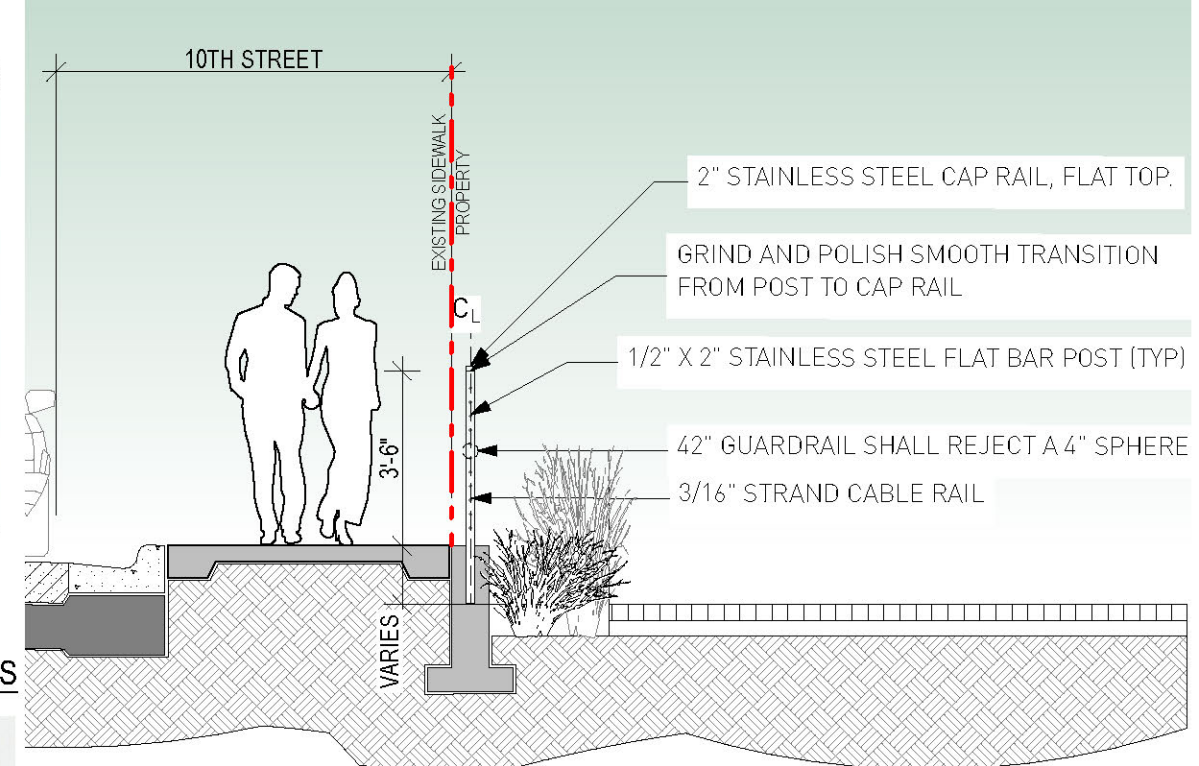
10th STREET EXISTING CONDITIONS



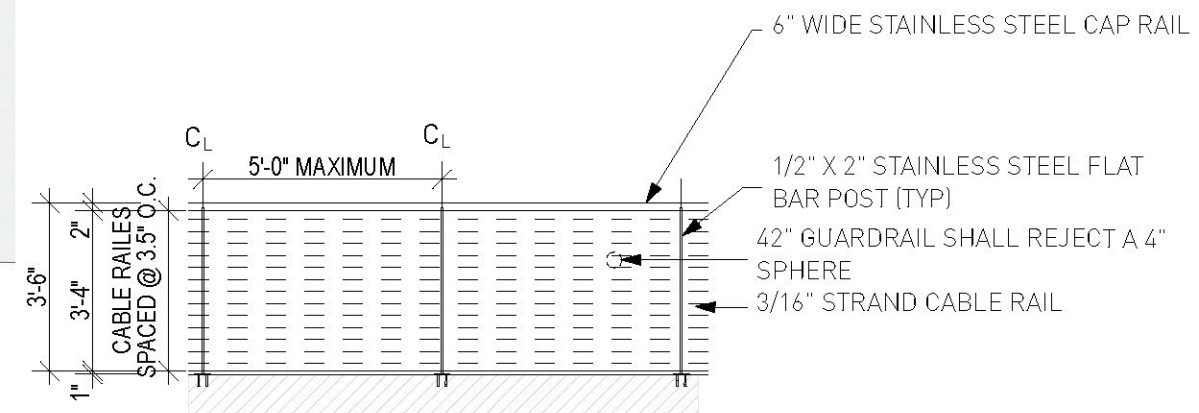
9th STREET PROPOSED IMPROVEMENTS



10th STREET PROPOSED IMPROVEMENTS



TYPICAL GUARDRAIL SECTION



TYPICAL GUARDRAIL ELEVATION ON WALL

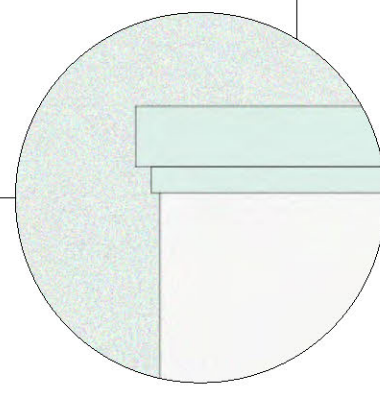
NOTE:
HANDRAILS TO INCORPORATE A FLAT PROFILE AND ANY ACCESSIBILITY RAIL TO RETURN TO THE GROUND

GUARDRAIL ON 10TH STREET



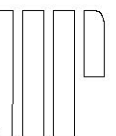
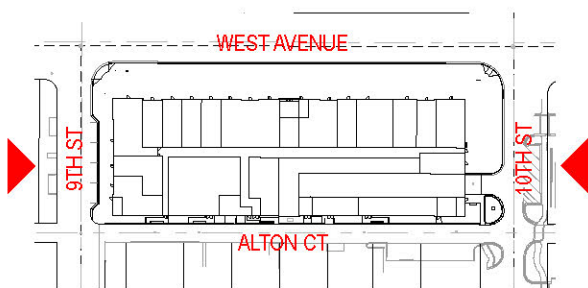
- BRONZE STOREFRONT
- ILLUMINATED CHANNEL LETTERS

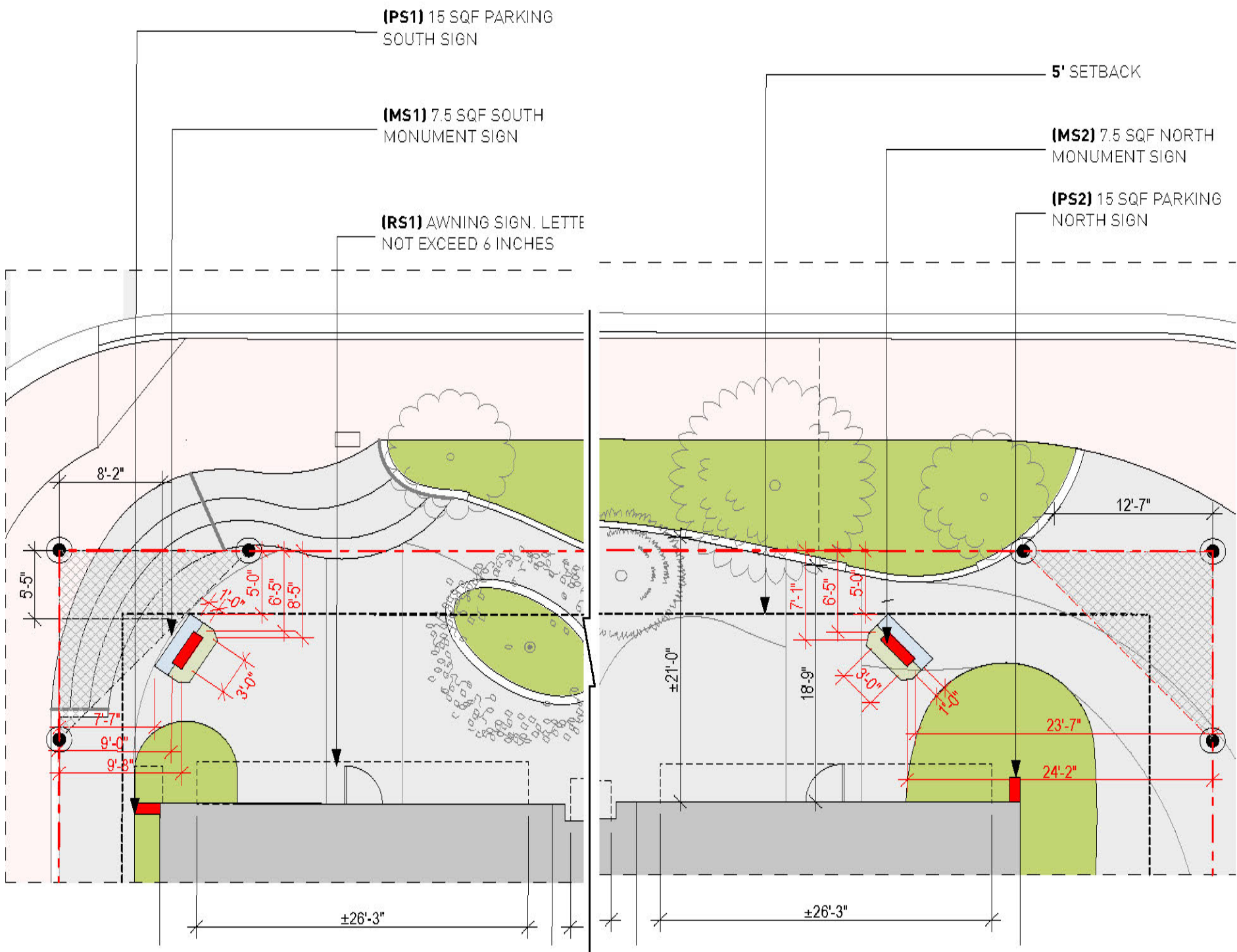
NEW STUCCO WITH BLUE ACCENTS



- BRONZE STOREFRONT
- ILLUMINATED CHANNEL LETTERS

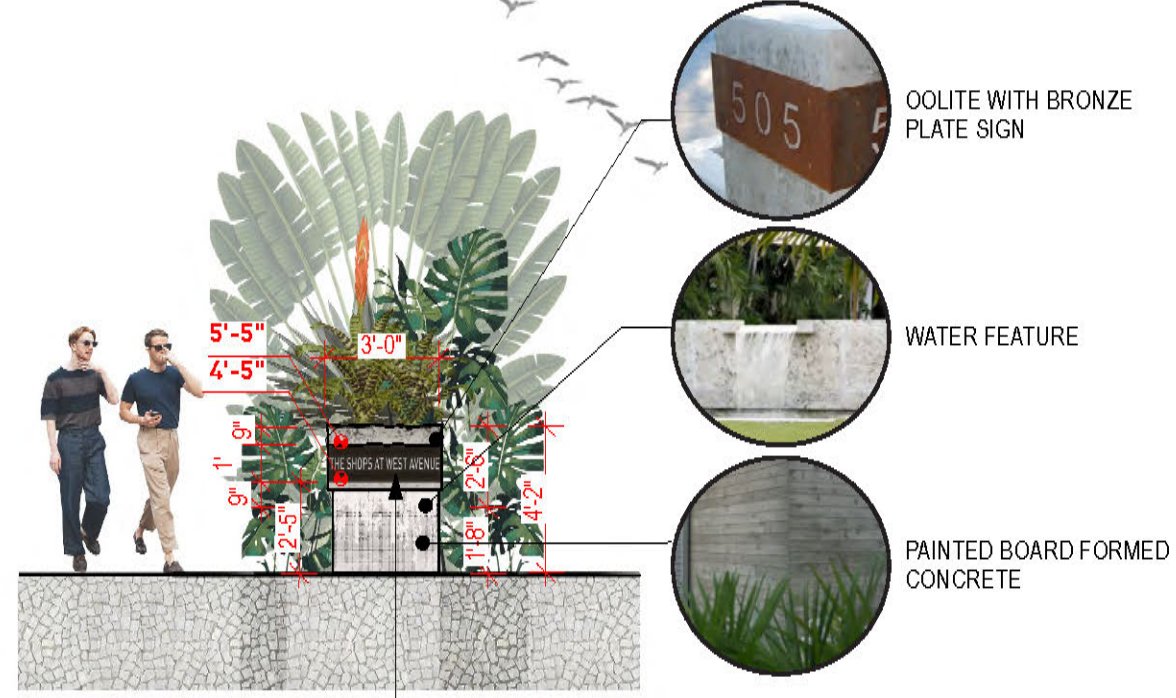
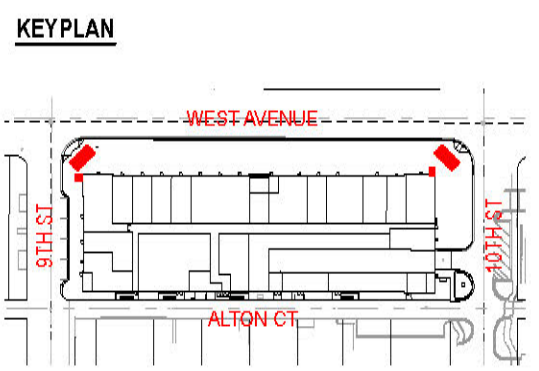
KEYPLAN





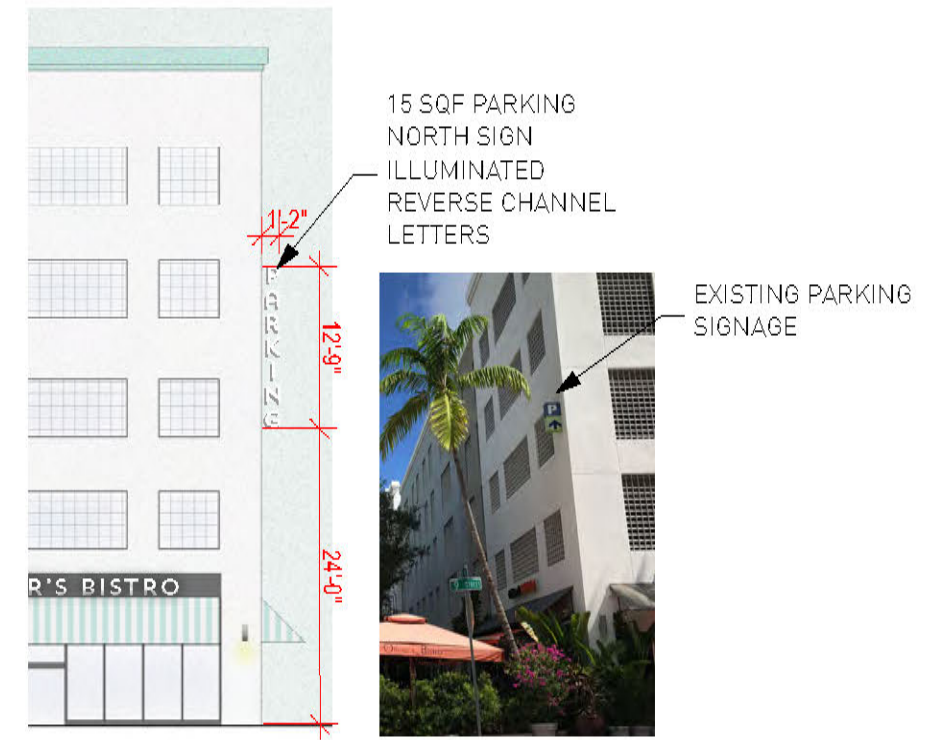
1 SOUTH MONUMENT AND PARKING SIGN
SCALE: 1" = 10'

2 NORTH MONUMENT AND PARKING SIGN
SCALE: 1" = 10'

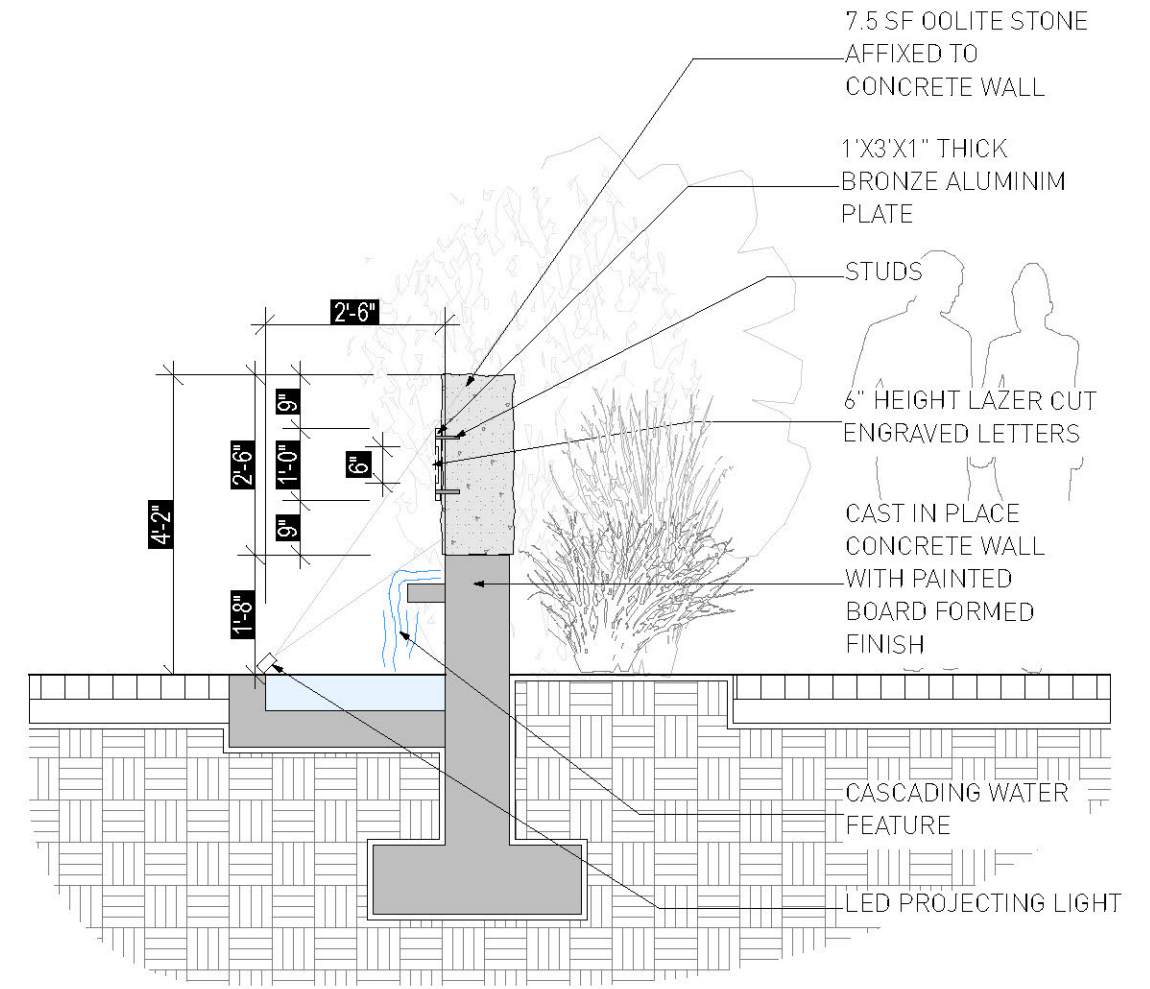
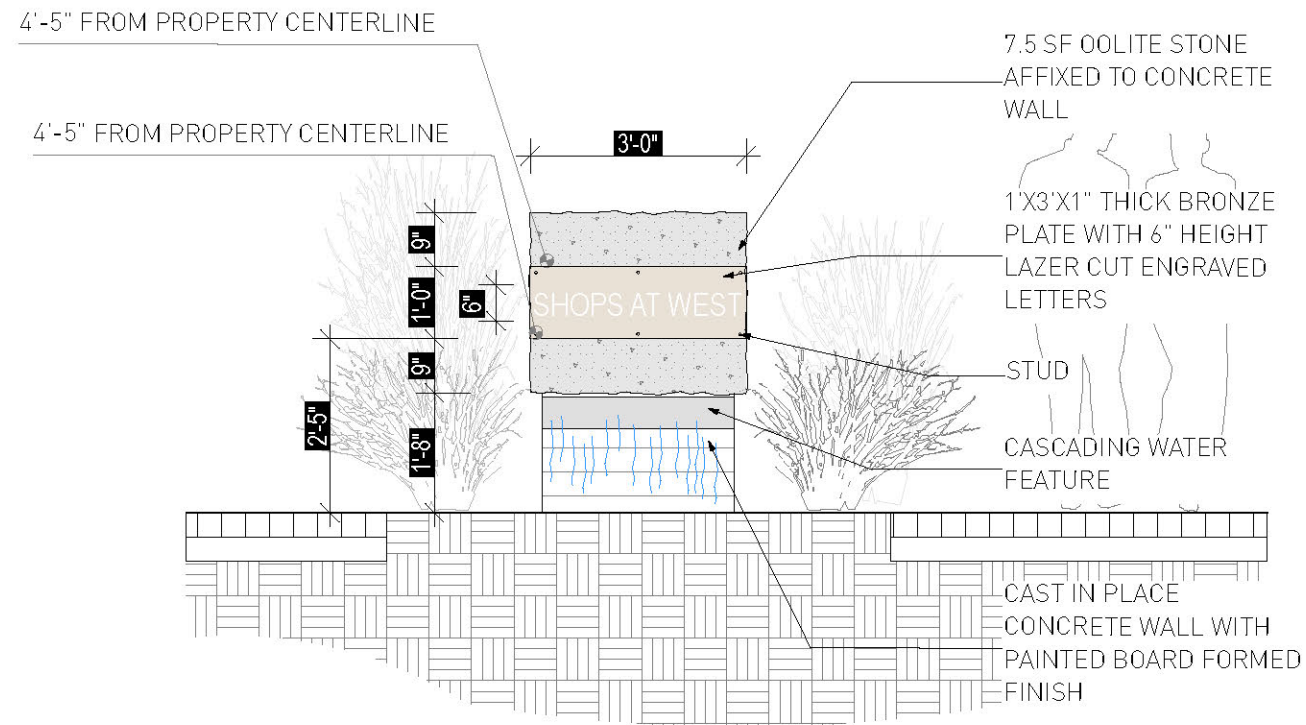


7.5 SQF MONUMENT SIGN
SIGNAGE OPTIONS:
1. THE SHOPPES AT WEST AVENUE
2. THE SHOPPES AND RESTAURANTS AT WEST AVENUE
3. SHOPS AT WEST

3 MONUMENT SIGN
NOT TO SCALE



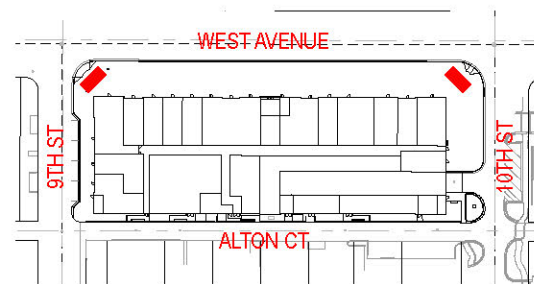
4 PARKING SIGN ENLARGEMENT
NOT TO SCALE



(MS1-MS2) MONUMENT SIGN ELEVATION
SCALE: 3/8" = 1'-0"

(MS1-MS2) MONUMENT SIGN SECTION
SCALE: 3/8" = 1'-0"

KEYPLAN



A-05a

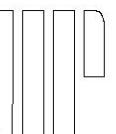
959 WEST AVENUE | SAWA

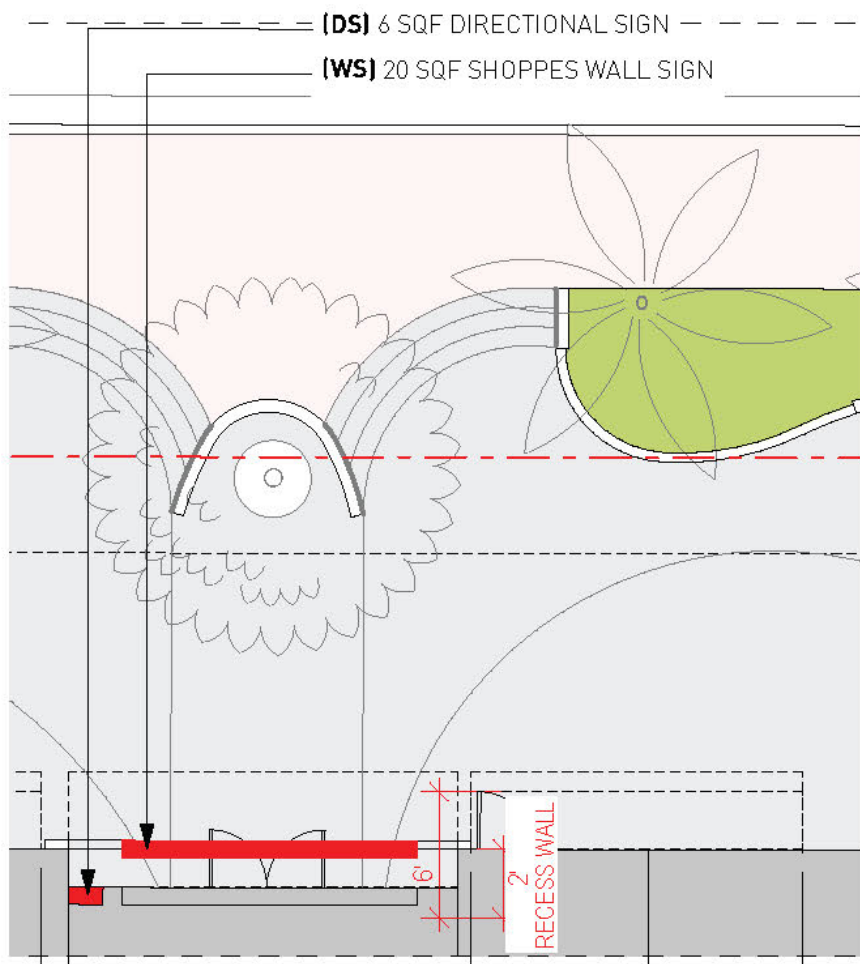
DRB

MONUMENT SIGNAGE

01/22/21

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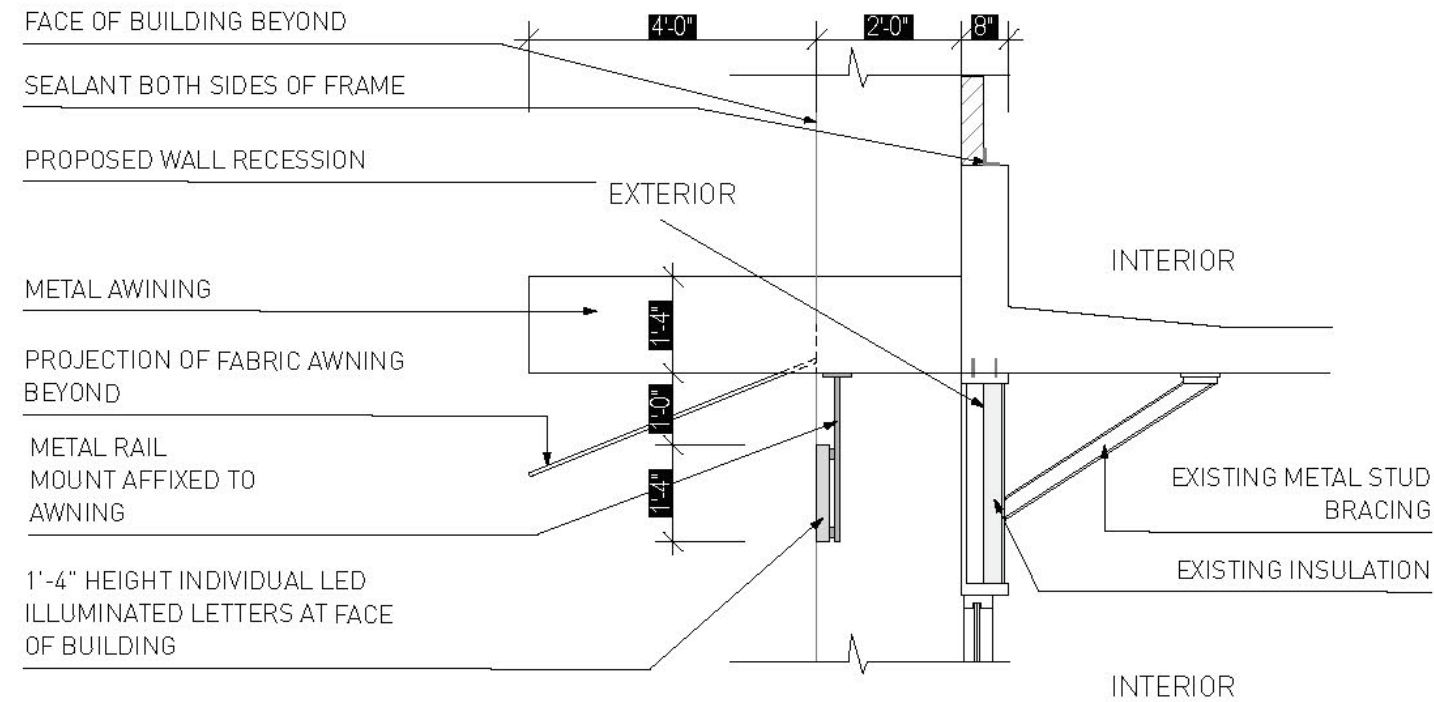




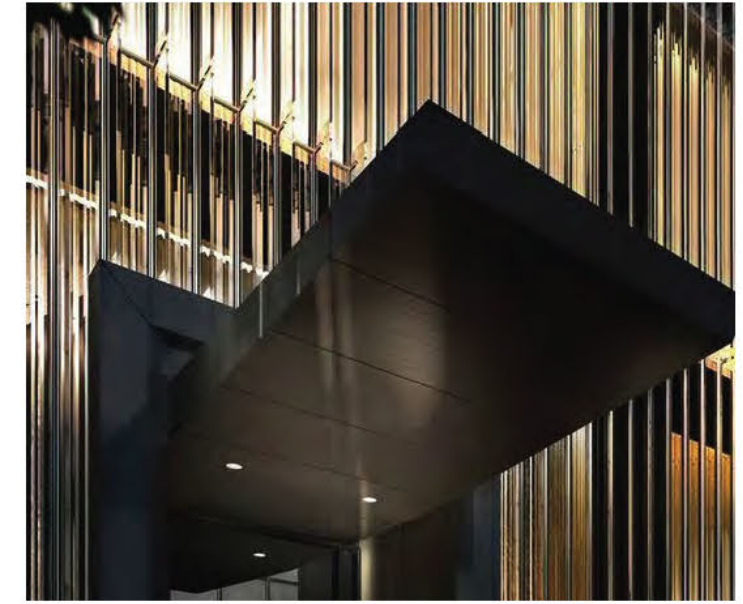
1 SHOPPES AND DIRECTORY SIGN PLAN
SCALE: 1" = 10'



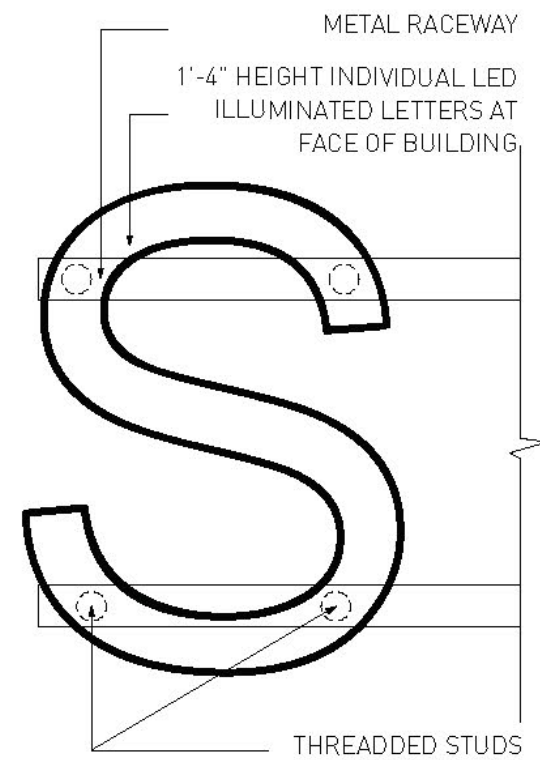
2 SHOPPES AND DIRECTORY SIGN ELEVATION
NOT TO SCALE



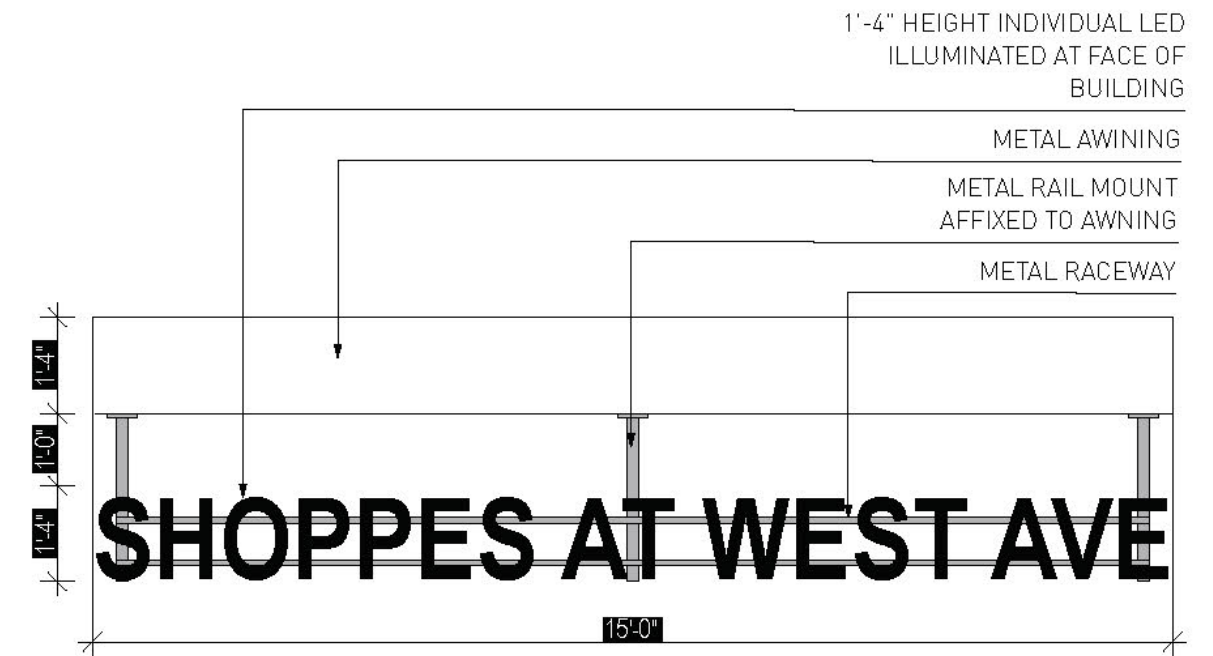
3 ENTRY AWNING AND SIGN SECTION
SCALE: 3/8" = 1'-0"



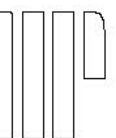
5 AWNING REFERENCE IMAGE
NOT TO SCALE

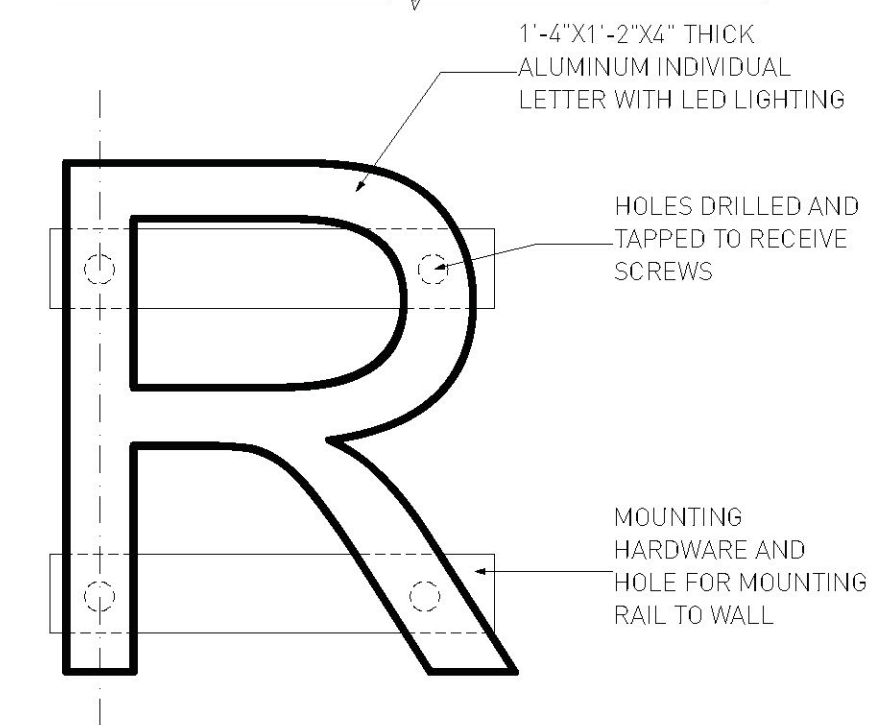
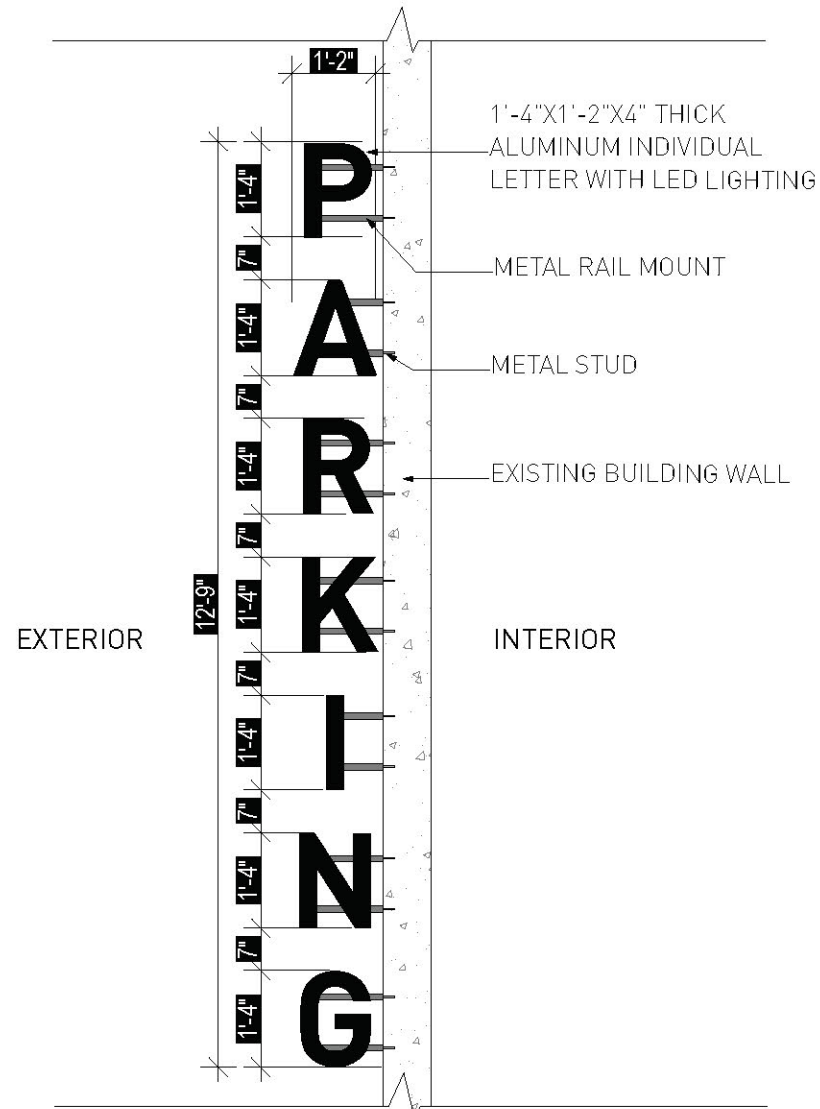


4 'WS' WALL SIGN DETAIL
SCALE: 3/8" = 1'-0"

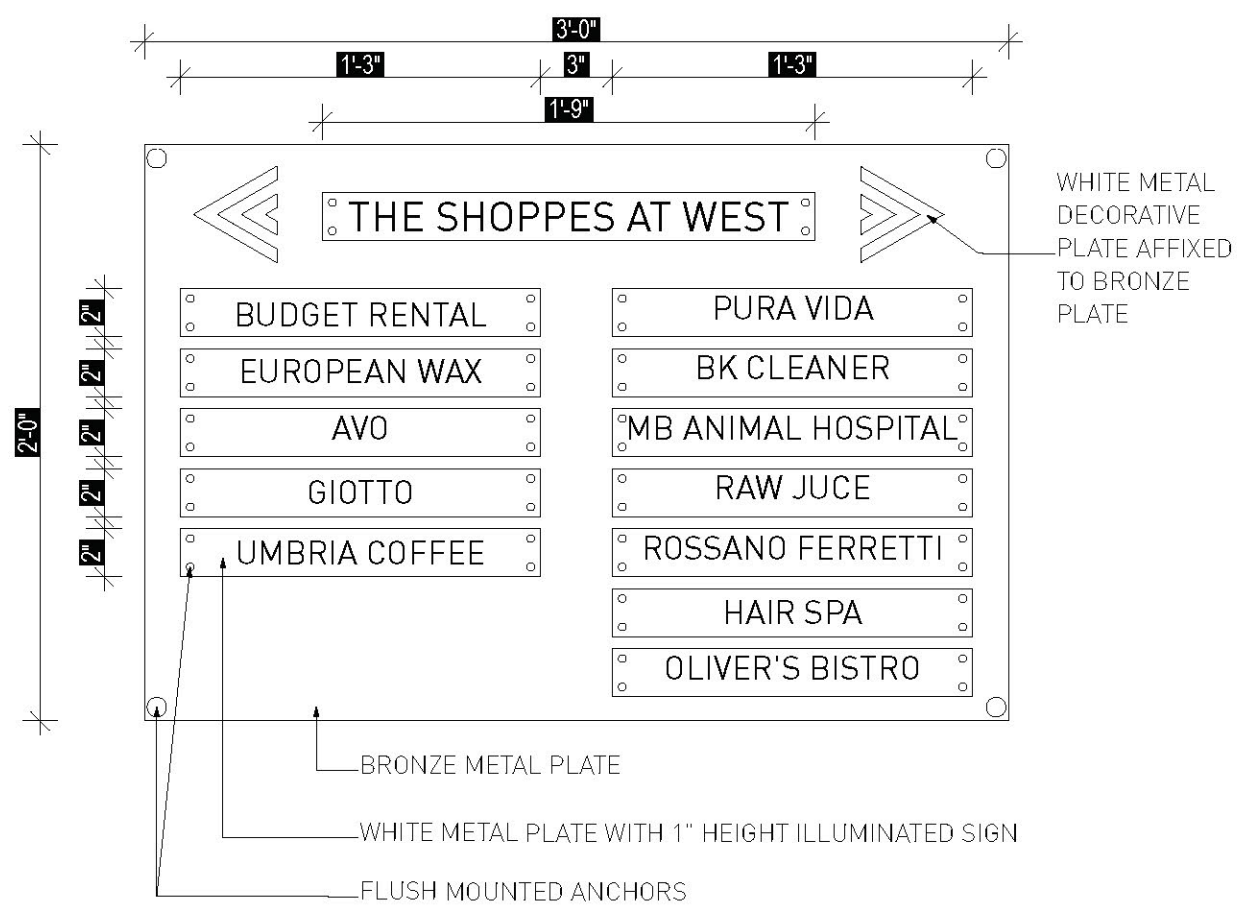


6 'WS' WALL SIGN ELEVATION
SCALE: 3/8" = 1'-0"

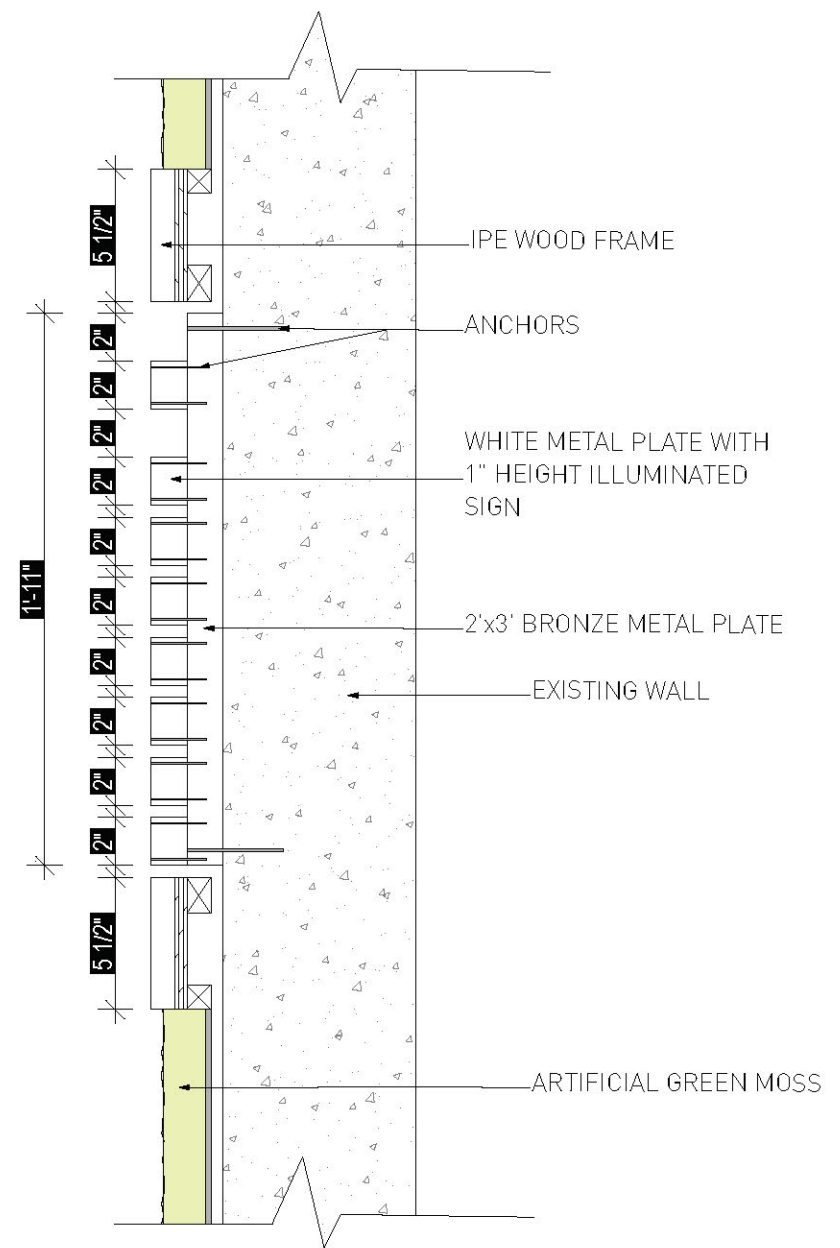




1 (PS1-PS2-PS3) PARKING SIGN
SCALE: 3/8" = 1'-0"



2 (DS) DIRECTIONAL SIGN
SCALE: 1 1/2" = 1'-0"



FACADE IMPROVEMENTS

BRONZE STOREFRONT

CANDY STRIPED AWNING



STOREFRONT METAL PANEL

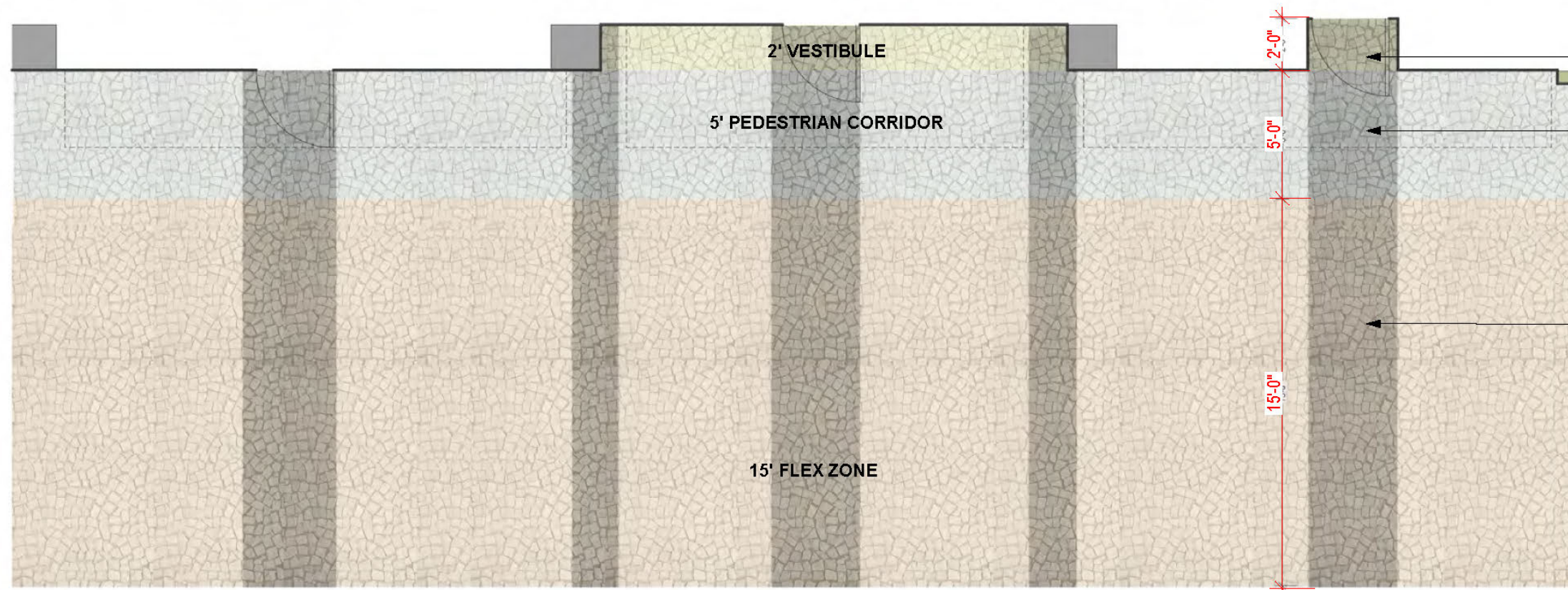
- a** LOW
- b** MEDIUM
- c** HIGH

PRIMARY SIGN (25% OF THE AREA OF THE BRONZE STOREFRONT AT A MAX. OF 10SQF)



SECONDARY SIGNAGE:

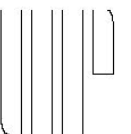
- 1** 6" H ILLUMINATED CHANNEL LETTERS
- 2** 6" H ADDRESS
- 3** 2" H PHONE NUMBER
- 4** 2" H WORKING HOURS



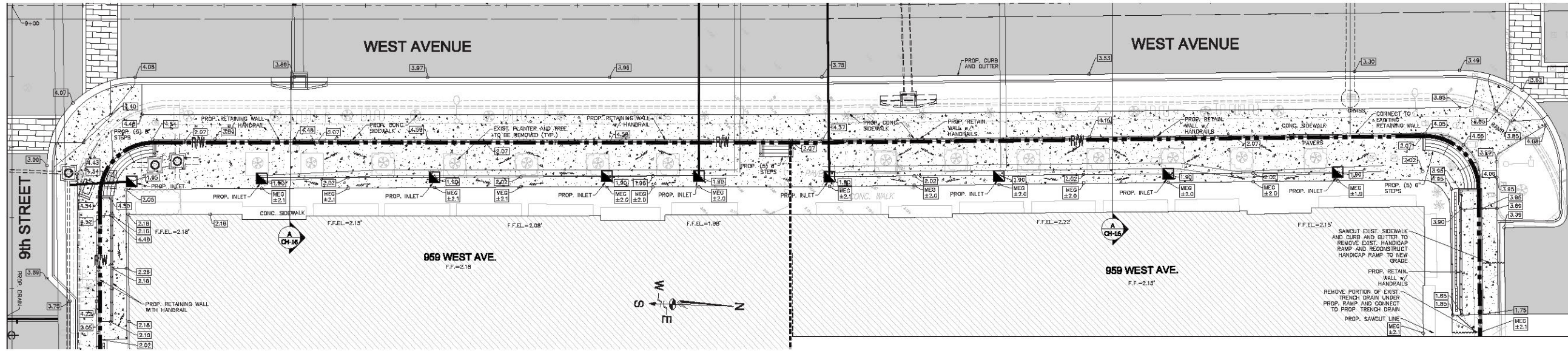
EXISTING VISTIBULE
SMALL BENCHES AND PLANTERS

5' PEDESTRIAN CORRIDOR
FREE ZONE AREA DEDICATED TO PEDESTRIAN CIRCULATION

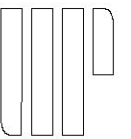
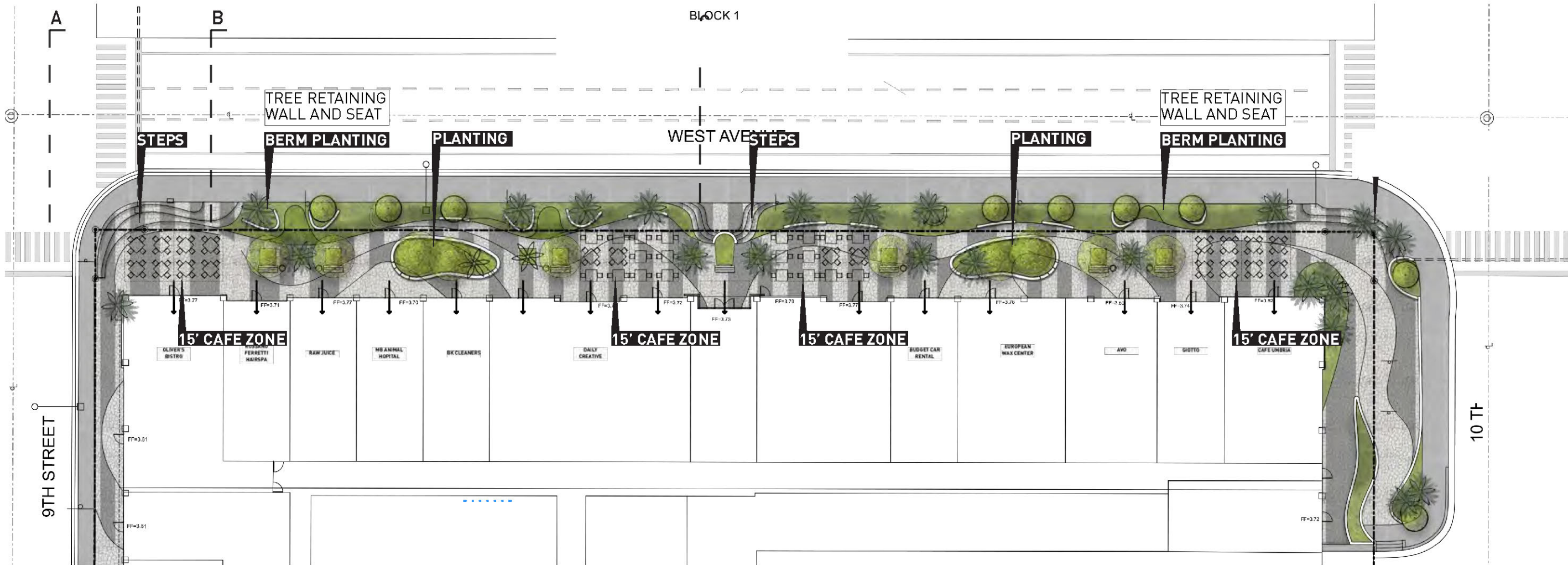
15' FLEX ZONE
15'X30' CAFE ZONE
PLANTING AREA
URBAN FURNITURE ZONE



CITY'S PROPOSED HARMONIZATION



URBAN ROBOT PROPOSED HARMONIZATION





INDIAN CREEK & 33 STREET



INDIAN CREEK & 34 STREET



INDIAN CREEK & 33 STREET



INDIAN CREEK & 33 STREET



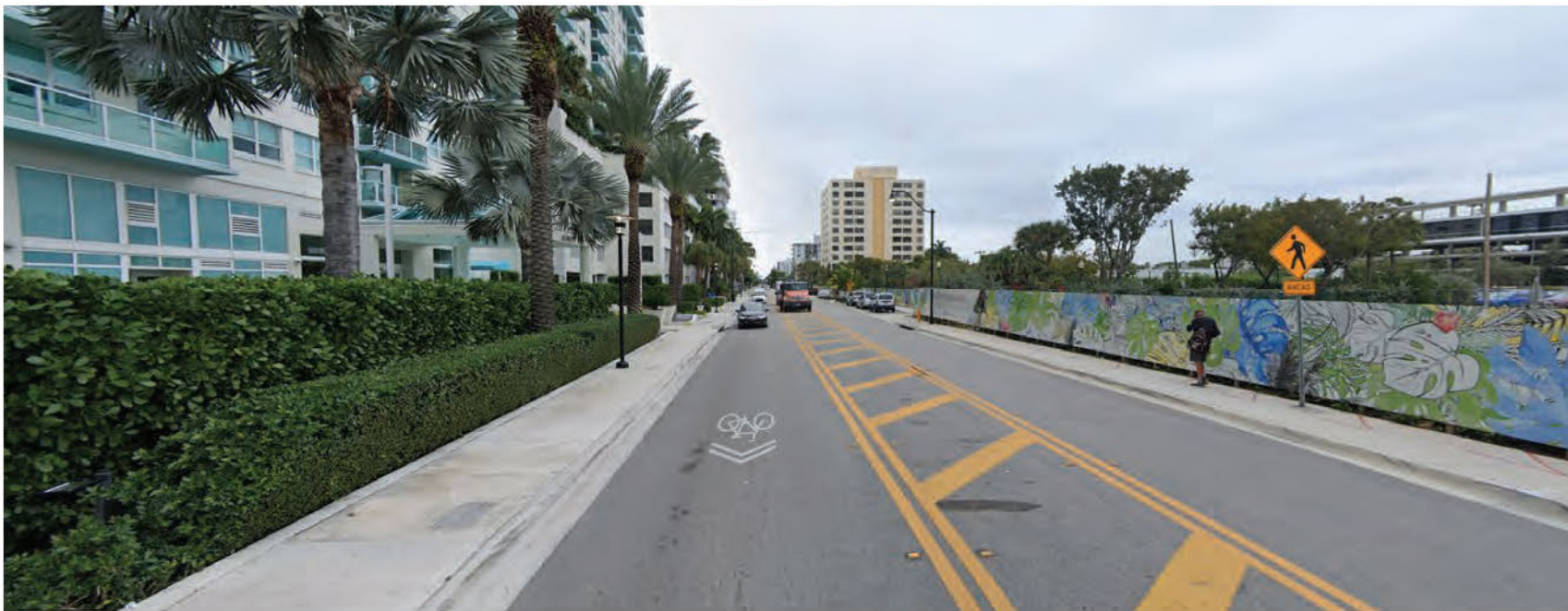
INDIAN CREEK & 34 STREET



INDIAN CREEK & 33 STREET

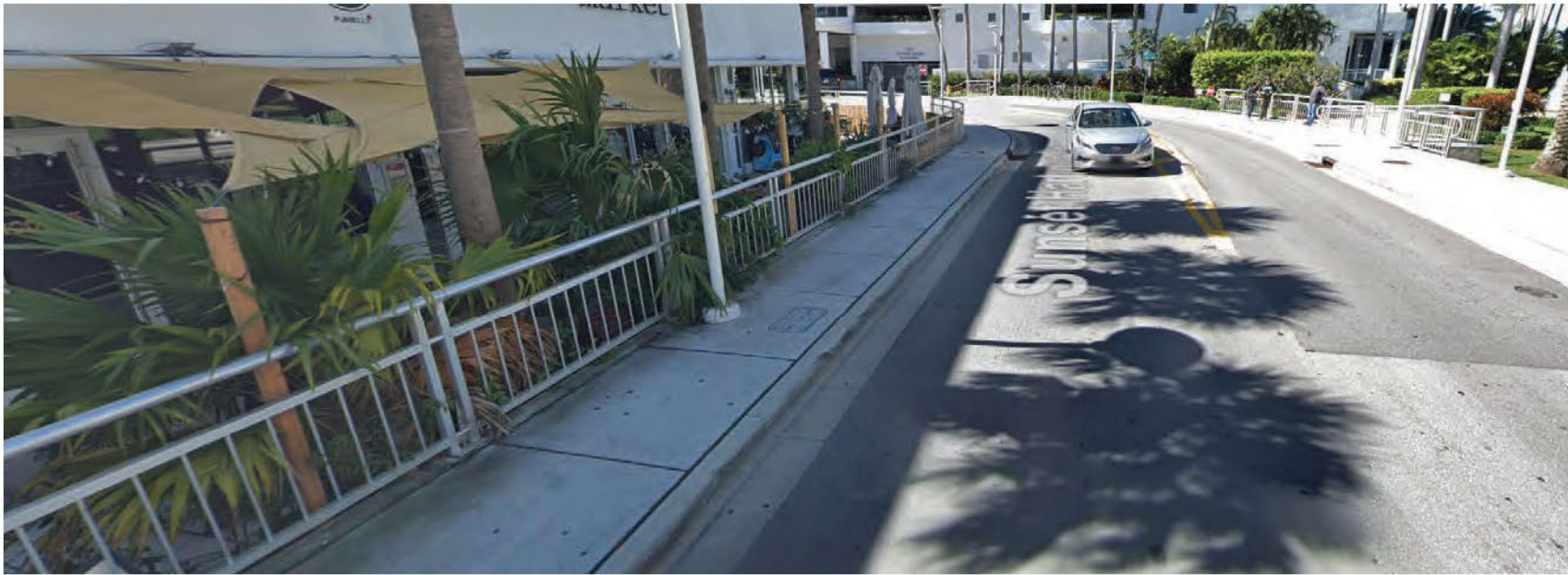
INDIAN CREEK HARMONIZATION WITH VERTICAL WALLS.

WEST AVENUE AT THE FLORIDIAN

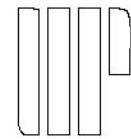


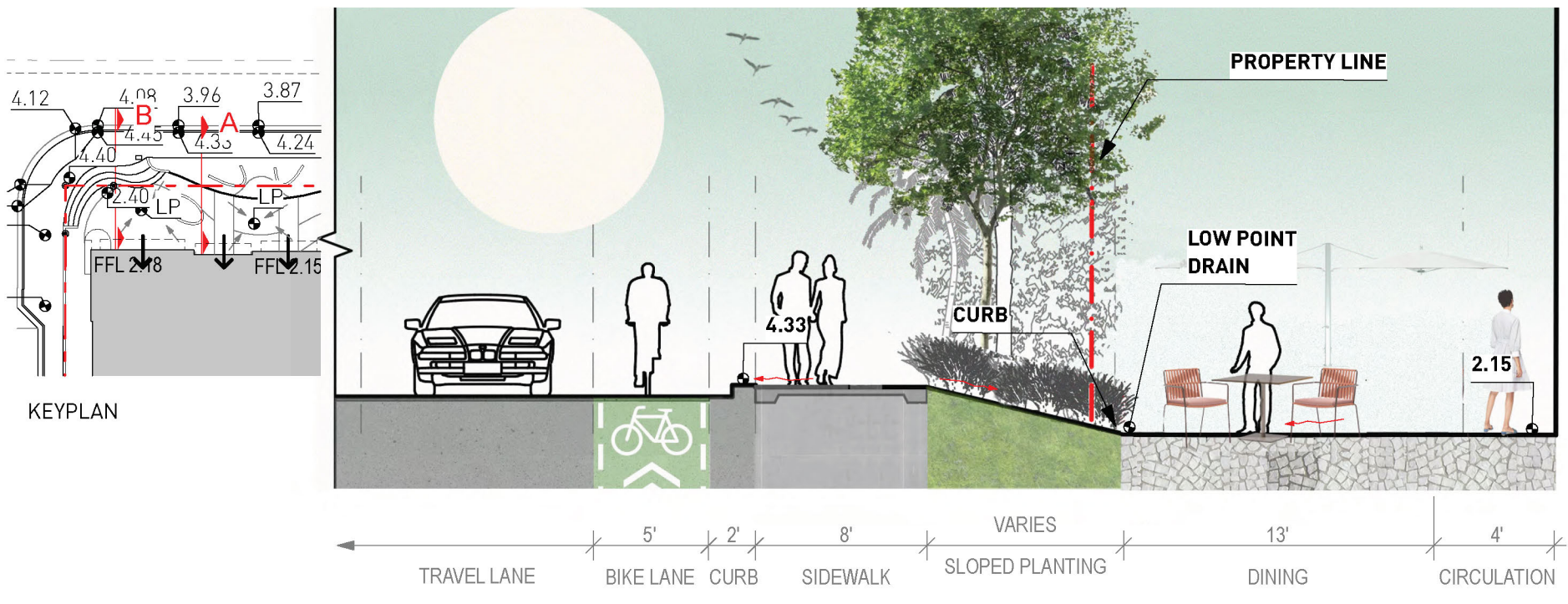
SIDEWALK IS NEXT TO ROAD.

SUNSET HARBOUR

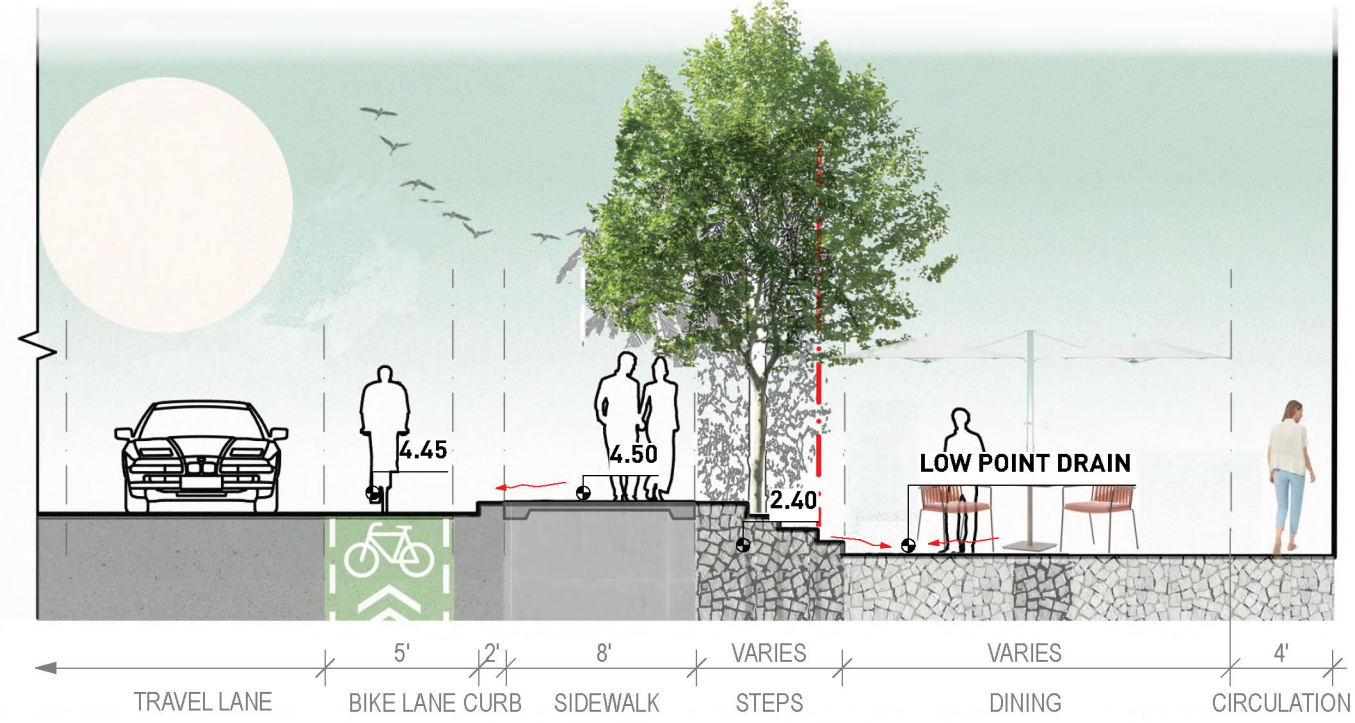


SIDEWALK IS NEXT TO ROAD.

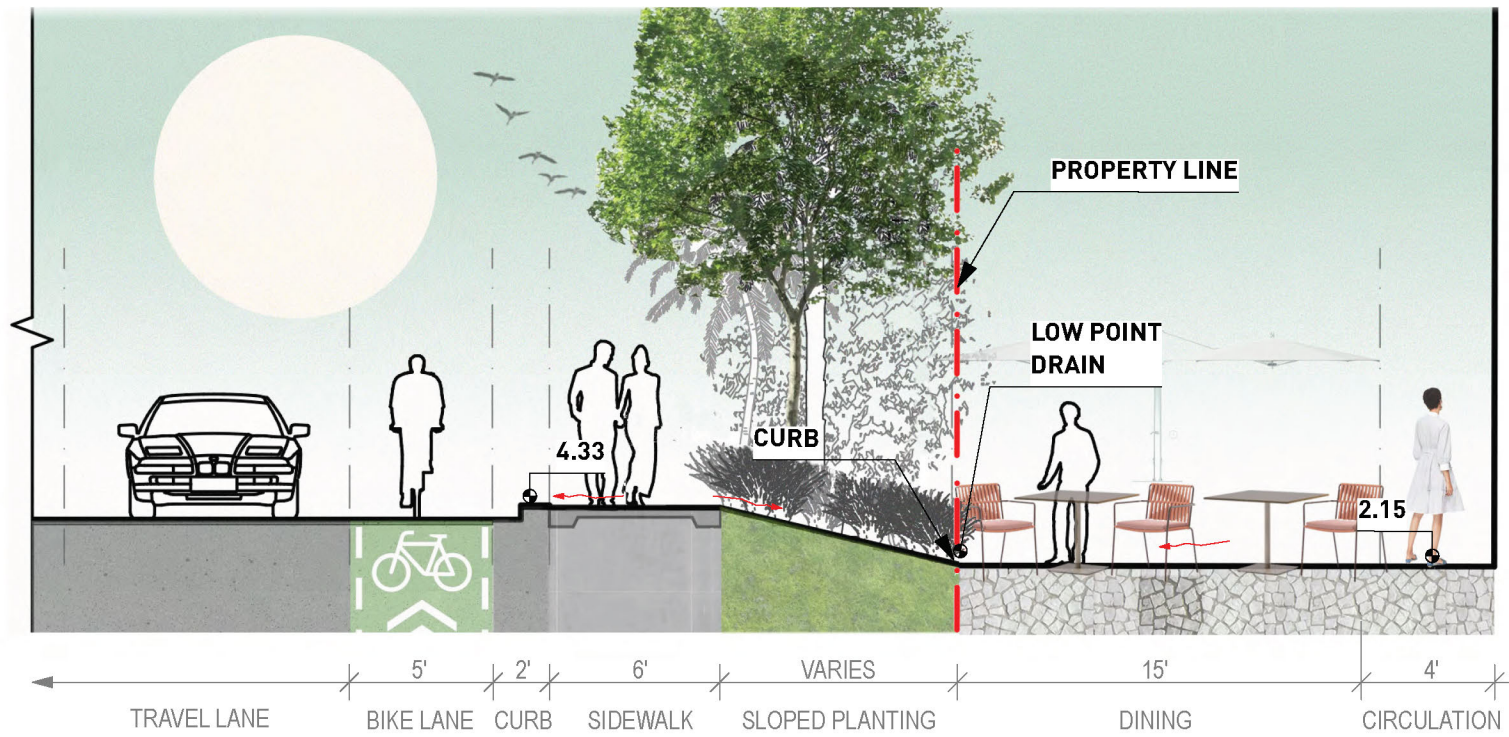




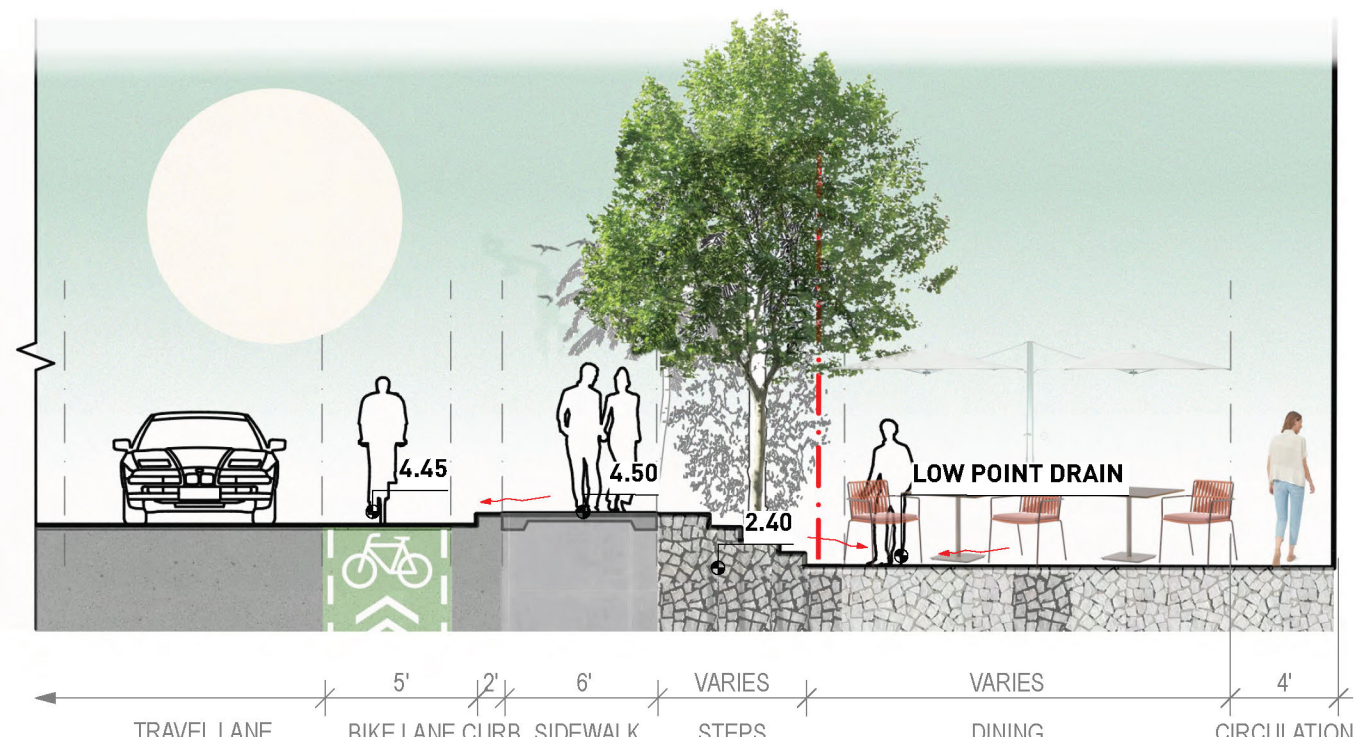
(SECTION A) CITY OF MIAMI BEACH 8FT SIDEWALK



(SECTION B) CITY OF MIAMI BEACH 8FT SIDEWALK



(SECTION A) PROPOSED 6FT SIDEWALK



(SECTION B) PROPOSED 6FT SIDEWALK



DRB20-0576
Shoppes at West Avenue
959 West Ave

MODIFIED CONDITIONS

III. General Terms and Conditions applying to both 'I. Design Review Approval and 'II. Variances' noted above.

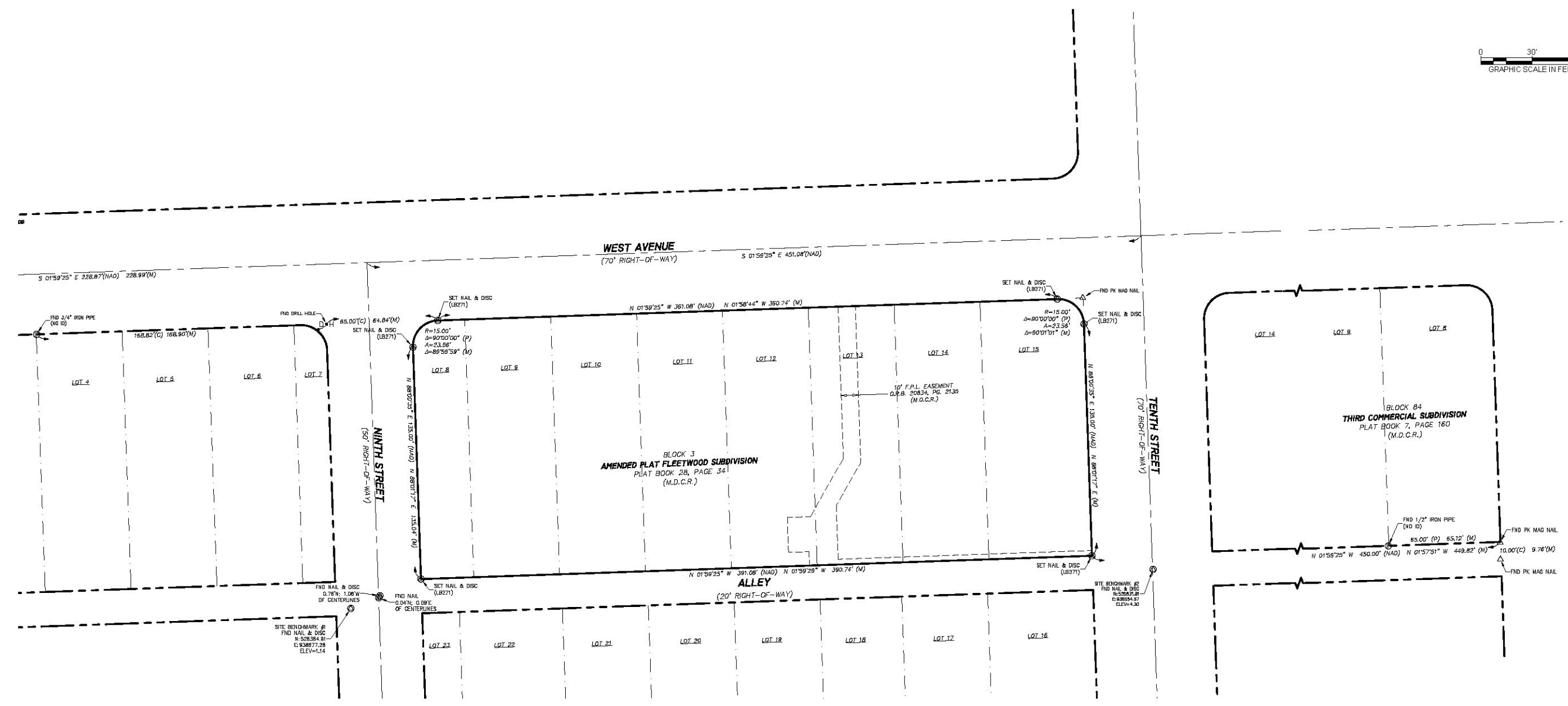
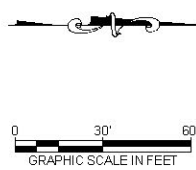
- ~~E. The applicants shall submit a Hold Harmless Covenant Running with the Land to the City Attorney's Office in a form acceptable to the City Attorney indemnifying and holding harmless the city against any claim or loss in the event of an accident involving a motor vehicle or other instrumentality due to the brightness, flickering, intensity and/or overall visual distraction of the new building's digital display equipment to the public right of way.~~
- ~~F. In the event Code Compliance receives complaints of unreasonably bright and intense light, bothersome light pollution, or distractions from pedestrians or motorists from the digital display super graphics equipment, and determines the complaints to be valid, even if the equipment is operating pursuant to manufacturer specifications, the applicant shall take such steps to mitigate the light intensity and brightness of the digital display imagery, subject to the review and approval of staff based upon the design review or appropriateness criteria, and/or directions received from the Board.~~

APPENDIX

SKETCH OF SURVEY BOUNDARY & TOPOGRAPHIC SURVEY

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or guarantee as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or act for all such matters. Such information should be obtained and further confirmed by others through appropriate site verification.
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

| | |
|--------------|-----------------|
| DATE: | 1/21/21 |
| SCALE: | 1"=30' |
| DRAWN BY: | J.D.P. |
| CHECKED BY: | T.S. |
| FIELDBOOK: | 3068 |
| PROJECT: | UPDATE SURVEY |
| DATE: | J.D.P. 08/26/20 |
| BY: | |
| DESCRIPTION: | |



SURVEYOR'S NOTES:

- 1) THE BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE). (SEE GPS CONTROL SURVEY NOTE)
- 2) THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT.
- 3) THIS SURVEY MEETS AND EXCEEDS VERTICAL AND HORIZONTAL ACCURACY REQUIREMENTS AS DEFINED IN CHAPTER (5J-17, F.A.C.).
- 4) THE PURPOSE OF THIS SURVEY IS TO SHOW THE SITE IMPROVEMENTS AND THEIR RELATIONSHIP TO THE BOUNDARY LINES AS THEY EXISTED ON THE DATE OF THE SURVEY.
- 5) THE TOPOGRAPHICAL LOCATIONS SHOWN HEREON WERE OBTAINED USING A "LEICA TC-700 SERIES" TOTAL STATION AND "SPECTRA PRECISION" SURVEY PRO DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- 6) BUILDING TIES ARE PERPENDICULAR TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIES AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.
- 7) THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED. NO EXCAVATION WAS PERFORMED BY CRAVEN THOMPSON AND ASSOCIATES, INC. TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR EXCAVATION OF CRITICAL DESIGN FUNCTIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN SHOWN HEREON MAY EXIST.
- 8) ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS DOCUMENT CONSISTS OF 2 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.
- 9) THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF GUMENICK PROPERTIES FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USER'S SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- 10) SHEET 5-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=30' OR SMALLER. SHEETS 5-2 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE.
- 11) ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA UNLESS OTHERWISE NOTED.
- 12) FLOOD ELEVATION INFORMATION: A) COMMUNITY NUMBER-120851; B) DATE OF FIRM WDS-SEPTEMBER 11, 2008; C) DATE OF FIRM MAP-SEPTEMBER 11, 2008; D) FIRM ZONE-AE; E) BASE FLOOD ELEVATION-B; F) PANEL NUMBER-0319; G) SUFFIX-L.
- 13) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND REFERENCED TO THE FOLLOWING BENCHMARK, NATIONAL GEODETIC SURVEY BENCHMARK NO. W 238-A BRASS DISC NORTH SET ON THE TOP OF THE NORTH END OF EAST CONCRETE ABUTMENT OF THE McARTHUR CAUSWAY BRIDGE, 80'-E WEST OF THE WEST EDGE OF PAVEMENT FOR WEST AVENUE, ELEVATION = 6.54. NOTE: THE ELEVATION CONVERSION FOR THIS BENCHMARK FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NOVD 29) IS +1.54 FEET.

DESCRIPTION:
LOTS 8, 9, 10, 11, 12, 13, 14 AND 15, OF BLOCK 3, OF AMENDED PLAT FLEETWOOD SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 28, AT PAGE 34, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.
SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA AND CONTAINING 58,565 SQUARE FEET (1.344 ACRES) MORE OR LESS.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY AND OTHER PERTINENT DATA SHOWN HEREON OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN CHAPTER 5J-17, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYED UNDER OUR DIRECTION IN DECEMBER 2019.
LAST DATE OF FIELD WORK: August 26, 2020
CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB271



Digitally signed by
Richard D. Pryce
Date: 2020.08.31
12:59:22 -04'00'

THIS SURVEY MAP AND REPORT OR COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OR A UNIQUE ELECTRONIC SIGNATURE OF A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER UNDER CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

R:\Survey\2019\19-0055-001_Boundary.dwg [5-1] Aug 31, 2020 12:58pm RDP/RYCE

GPS CONTROL SURVEY NOTE:
THE HORIZONTAL CONTROL SURVEY DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE) AND WAS OBTAINED BY UTILIZING "TRIMBLE R8 GNSSOVER", AS OPERATED BY CRAVEN THOMPSON AND ASSOCIATES AND A "TRIMBLE NETRS" REAL TIME KINEMATICS (RTK) GPS BASE REFERENCE STATION "MIAMI 6 (MIAM6)", AS OPERATED BY FLORIDA DEPARTMENT OF TRANSPORTATION (FLD.O.T.) STATE-WIDE PERMANENT REFERENCE NETWORK.
THE GPS DATA HAS BEEN PROCESSED AND SITE CALIBRATED USING A LEAST SQUARE ADJUSTMENT IS BASED ON A HORIZONTAL BEST FIT MODEL USING TRIMBLE BUSINESS CENTER TO THE FOLLOWING CONTROL POINTS:
NATIONAL GEODETIC SURVEY "N 034 (NO AC354)" North: 524,167,130 East: 933,073,860 Corps of Engineers Brass Disc in Concrete Stamped "M-18 1963"
NATIONAL GEODETIC SURVEY "TUTTLE (NO AC3580)" North: 537,624,140 East: 937,177,840 Brass Disc in Concrete Stamped "Tuttle 1971"
THIS SITE CALIBRATION IS BASED ON A HORIZONTAL ADJUSTMENT SCALE VALUE OF 1.000018522, A ROTATION ANGLE OF -0.002" AND A MAXIMUM HORIZONTAL RESIDUAL ERROR OF 0.0994', - AND MEETS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK CLASSIFICATION, AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6.003(3)(g)15.B.R., F.A.C.)

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (854) 738-6400
FAX: (854) 738-6408
FLORIDA LICENSED ENGINEER, SURVEYOR & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014
NATIONAL ENGINEER IS THE PROPERTY OF CRAVEN THOMPSON AND ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

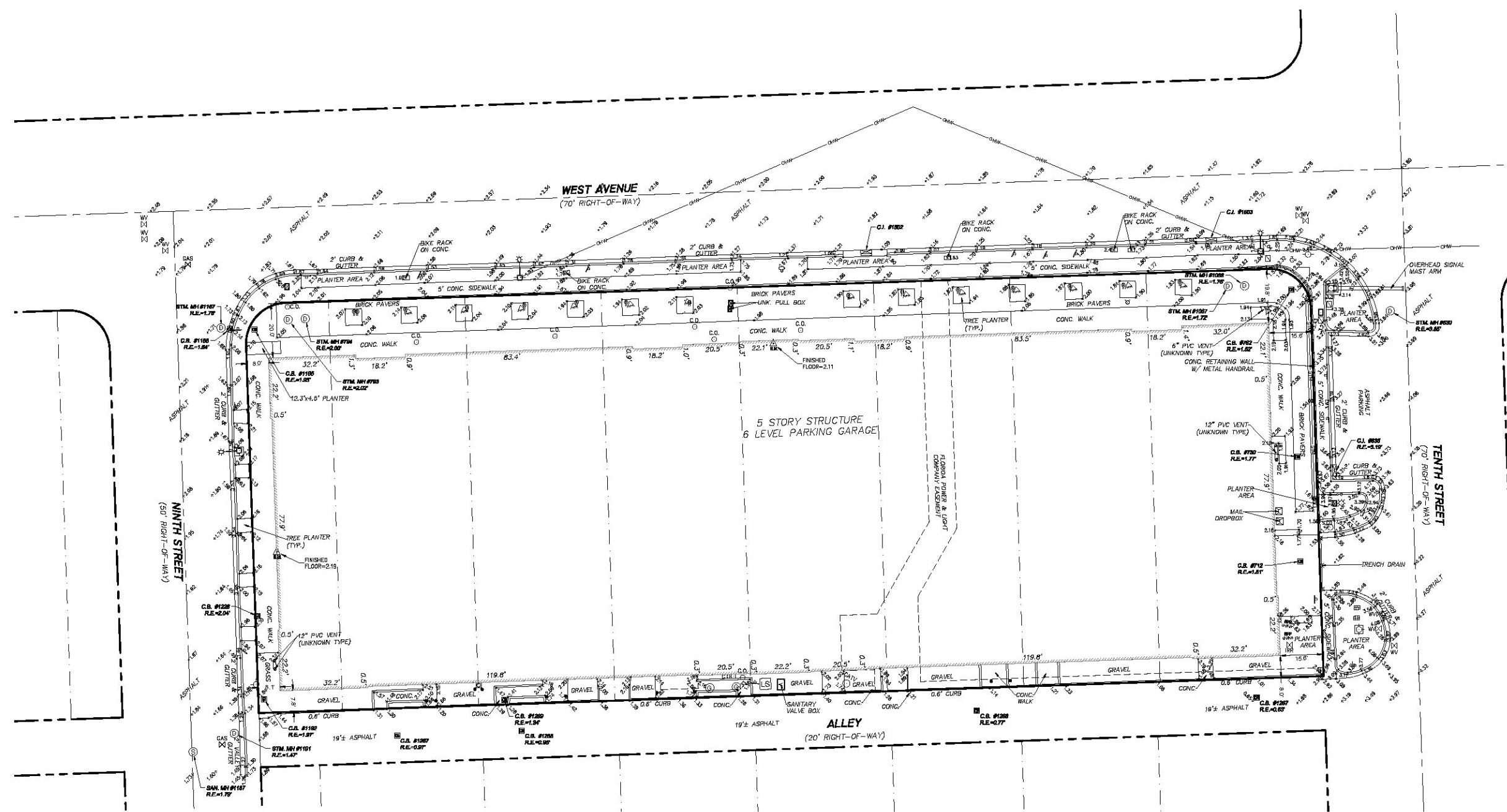
959 WEST AVENUE, MIAMI BEACH, FLORIDA
PROJECT NAME 2
FLEETWOOD SUBDIVISION, AMENDED
PREPARED FOR:
Gumenick Properties
BOUNDARY INFORMATION

SEAL
PROJECT NO.
19-0055-001-01
S-1
SHEET 1 OF 2

SKETCH OF SURVEY BOUNDARY & TOPOGRAPHIC SURVEY

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or guarantee as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and the instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

| | |
|--------------|-----------------|
| DATE: | 12/21/19 |
| SCALE: | 1"=20' |
| DRAWN BY: | J.D.P. |
| CHECKED BY: | T.S. |
| FIELDBOOK: | 3058 |
| PAGES: | 1-16 |
| DATE: | J.D.P. 05/26/20 |
| DESCRIPTION: | UPDATE SURVEY |



- SYMBOL LEGEND**
- ⊠ BACK FLOW PREVENTER
 - BOLLARD
 - CATY PEDESTAL
 - ⊞ GATCH BASIN
 - ⊞ DECORATIVE/YARD LIGHT POLE
 - ⊞ ELECTRICAL OUTLET
 - ⊞ ELECTRICAL PULL BOX
 - ⊞ FIRE HYDRANT
 - ⊞ GAS METER
 - ⊞ GAS VALVE
 - ⊞ GREASE TRAP MH
 - ⊞ IRRIGATION CONTROL VALVE
 - ⊞ LIFT STATION
 - ⊞ MAIL DROP BOX
 - ⊞ METAL LIGHT POLE
 - ⊞ PEDESTRIAN SIGNAL
 - ⊞ PIPE
 - ⊞ PARKING METER
 - ⊞ SANITARY CLEAN OUT
 - ⊞ SANITARY MANHOLE
 - ⊞ SIAMOSE VALVE
 - ⊞ SIGN
 - ⊞ SPOT-FLOOD LIGHT
 - ⊞ STORM CLEAN OUT
 - ⊞ STORM MANHOLE
 - ⊞ TELEPHONE PULL BOX
 - ⊞ TRAFFIC PULL BOX
 - ⊞ WATER METER
 - ⊞ WATER VALVE
 - ⊞ METAL HANDRAIL
 - ⊞ OVER HEAD WIRES

- ABBREVIATION LEGEND**
- A ARC DIMENSION
 - (C) CALCULATED INFORMATION
 - C.B. CATCH BASIN
 - ∠ CENTRAL ANGLE
 - CONC. CONCRETE
 - C.I. CURB INLET
 - ELEV. ELEVATION
 - FND. FOUND
 - LB. LICENSED BUSINESS
 - MH. MANHOLE
 - (M) MEASURED INFORMATION
 - M.D.C.R. MIAMI-DADE COUNTY RECORDS
 - (NAD) NORTH AMERICAN DATUM
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.C. PAGE
 - (P) PLAT INFORMATION
 - PVC POLYVINYL CHLORIDE PIPE
 - R RADIUS DIMENSION
 - R.E. RM ELEVATION
 - SAN. SANITARY
 - STM. STORM
 - (TYP.) TYPICAL
 - W/ WITH
 - +10.00 HARD SURFACE ELEVATION
 - +10.0 SOFT SURFACE ELEVATION

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3663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
P.O. BOX 739-6469 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 020014
NATIONAL BOARD OF SURVEYING AND MAPPING IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF CRAVEN THOMPSON & ASSOCIATES, INC.

959 WEST AVENUE, MIAMI BEACH, FLORIDA
PROJECT NAME 2
FLEETWOOD SUBDIVISION, AMENDED
PREPARED FOR:
Gumenick Proerties

SITE IMPROVEMENTS

SEAL
PROJECT NO.
19-0055-001-01
S-2
SHEET 2 OF 2

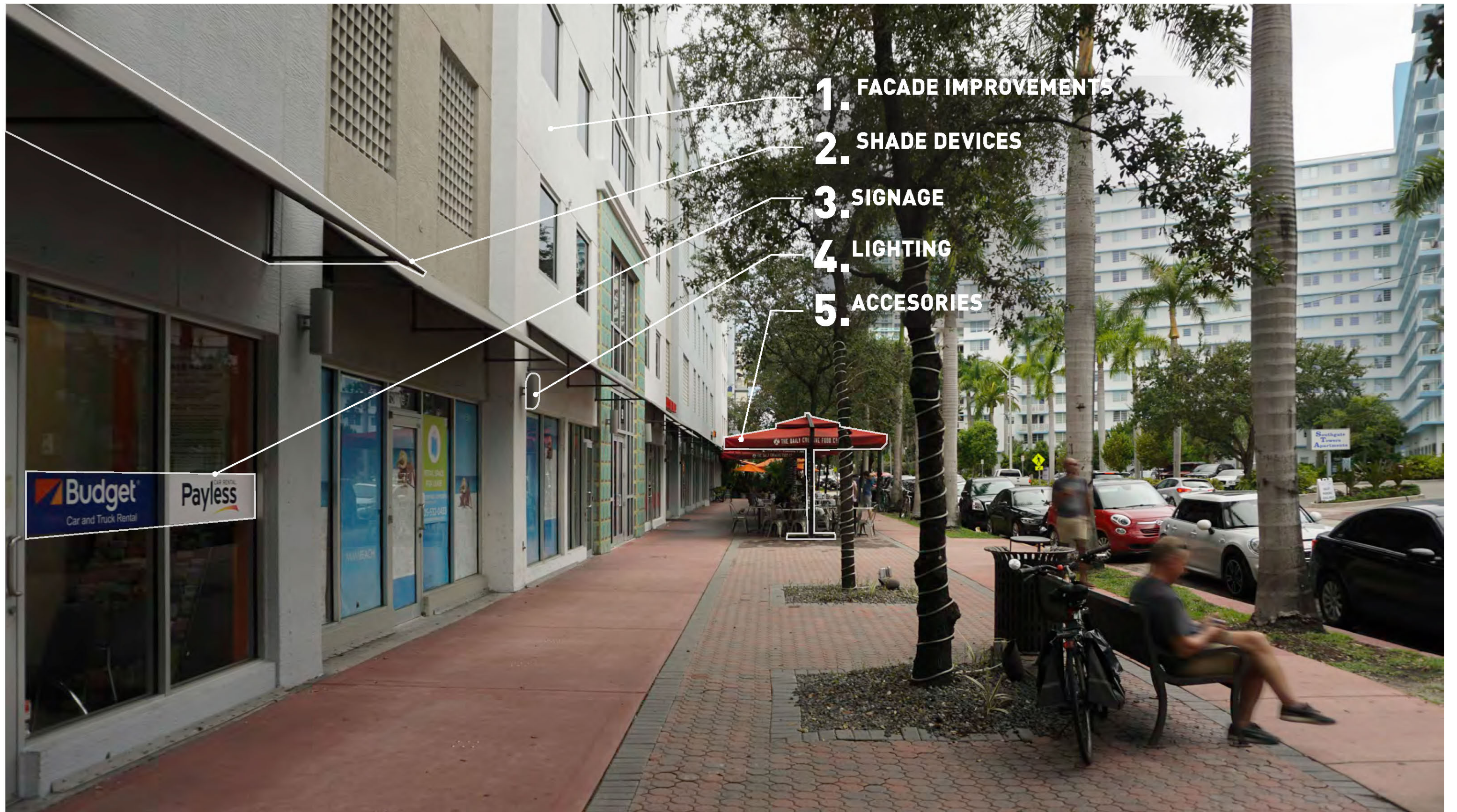
R:\Survey\2019\19-0055-001 West Ave Drawings\19-0055-001 Baseconc.dwg [5-2] Aug 31, 2020 12:58pm RRRPZCE

| SIGNAGE- DESIGN STANDARDS | | | |
|--|------------|------------|-----------------|
| | EXISTING | REQUIRED | PROVIDED |
| ZONING DISTRICT | RM-2 | - | - |
| MAXIMUM AREA | | | |
| WEST AVENUE | | | |
| (MS1 & MS2) DETACHED SIGNS [CODE SECTION 138-19] | | 15 SF | 15 SF |
| (DS) DIRECTIONAL SIGNS [CODE SECTION 138-18] | | 6 SF | 6 SF |
| WALL SIGNS [CODE SECTION 138-16] | | 20 SF | 20 SF |
| AWNING SIGNS [CODE SECTION 138-15] | | 10 SF | 10 SF |
| WEST AVENUE | | | |
| (PS1) PROJECTING SIGNS [CODE SECTION 138-18] | | 15 SF | 15 SF |
| 9TH STREET | | | |
| (PS1) PROJECTING SIGNS [CODE SECTION 138-18] | | 15 SF | 15 SF |
| 10TH STREET | | | |
| (PS3) PROJECTING SIGNS [CODE SECTION 138-18] | | 15 SF | 15 SF |
| MAXIMUM QUANTITY PER FRONTAGE | | | |
| WEST AVENUE | | | |
| DETACHED SIGNS [CODE SECTION 138-19] | | 2* | 2 @ 15 SF TOTAL |
| (MS1) ENTRY SIGN NORTH | | 1* | 1 @ 7.5 SF |
| (MS2) ENTRY SIGN SOUTH | | 1* | 1 @ 7.5 SF |
| DIRECTIONAL SIGN [CODE SECTION 138-18] | | | |
| (DS) BUILDING BLADE SIGN NORTH | | 1* | 1 @ 6 SF |
| WALL SIGNS [CODE SECTION 138-16] | | | |
| (WS) BUILDING SIGN | | 1 | 1 @ 20 SF |
| (AS) AWNING SIGNS [CODE SECTION 138-15] | | | |
| BUILDING AWNING SIGN | | 1 | 1 @ 10 SF |
| WINDOW SIGNS [CODE SECTION 138-14] | | | |
| TBD PER FUTURE TENANT | | - | - |
| WEST AVENUE | | | |
| PROJECTING SIGNS [CODE SECTION 138-18] | | | |
| (PS2) BUILDING BLADE SIGN EAST | | 1* | 1 @ 15 SF |
| 9TH STREET | | | |
| PROJECTING SIGNS [CODE SECTION 138-18] | | | |
| (PS1) BUILDING BLADE SIGN SOUTH | | 1* | 1 @ 15 SF |
| <small>*MULTIPLE SIGNS ALLOWED AS LONG AS AGGREGATE DOES NOT EXCEED MAX AREA ALLOWED OF 15 SF.</small> | | | |
| 10TH STREET | | | |
| PROJECTING SIGNS [CODE SECTION 138-18] | | | |
| (PS3) BUILDING BLADE SIGN SOUTH | | 1* | 1 @ 15 SF |
| <small>*MULTIPLE SIGNS ALLOWED AS LONG AS AGGREGATE DOES NOT EXCEED MAX AREA ALLOWED OF 15 SF.</small> | | | |
| HEIGHT RESTRICTIONS | | | |
| WEST AVENUE | | | |
| (MS1 & MS2) DETACHED SIGNS [CODE SECTION 138-19] | | 5 FT | 5 FT |
| (DS) PROJECTING SIGNS [CODE SECTION 138-18] | | MIN 6 FT | 6 FT |
| (WS) WALL SIGNS [CODE SECTION 138-16] | | - | - |
| (AS) AWNING SIGNS [CODE SECTION 138-15] | | 8" LETTERS | 8" LETTERS |
| WEST AVENUE | | | |
| (PS2) PROJECTING SIGNS [CODE SECTION 138-18] | | MIN 9 FT | 9 FT |
| 9TH STREET | | | |
| (PS1) PROJECTING SIGNS [CODE SECTION 138-18] | | MIN 9 FT | 9 FT |
| 10TH STREET | | | |
| (PS3) PROJECTING SIGNS [CODE SECTION 138-18] | | MIN 9 FT | 9 FT |
| SETBACKS | | | |
| WEST AVENUE | | | |
| DETACHED SIGNS [CODE SECTION 138-19] | | 5 FT | 5 FT |
| OPEN SPACE | | | |
| OPEN SPACE AREA | 20,874 SQF | - | 24,968 SQF |

| ITEM # | ZONING INFORMATION | | | | |
|--------|--------------------------------|----------|---------------------|----------|--------------|
| 1 | Address | | | | |
| 2 | Board and file numbers | | | | |
| 3 | Folio number(s) | | | | |
| 4 | Year constructed | 1997 | Zoning district | RM-2 | |
| 5 | Based Flood Elevation | | Grade value in NGVD | VARIES | |
| 6 | Adjusted grade (Flood+Grade/2) | | Lot area | | |
| 7 | Lot width | | Lot depth | | |
| 8 | Minimum unite size | | Average unite size | N/A | |
| 9 | Existing use | | Proposed use | | |
| | | Maximum | Existing | Proposed | Deficiencies |
| 10 | Height | | 50 | | |
| 11 | Number of Stories | | 6 | N/A | |
| 12 | FAR | | N/A | N/A | |
| 13 | Gross square footage | | N/A | N/A | |
| 14 | Square footage by use | N/A | N/A | N/A | |
| 15 | Number of units residential | N/A | N/A | N/A | |
| 16 | Number of units hotel | N/A | N/A | N/A | |
| 17 | Number of seats | N/A | N/A | N/A | |
| 18 | Occupancy load | N/A | N/A | N/A | |
| | Setback | Required | Existing | Proposed | Deficiencies |
| | Subterranean | | | | |
| 19 | Front setback | | | N/A | |
| 20 | Side setback | | | N/A | |
| 21 | Side setback | | | N/A | |
| 22 | Side setback facing street | | | N/A | |
| 23 | Rear Setback | | | N/A | |
| | At grade parking | | | | |
| 24 | Front setback | | | N/A | |
| 25 | Side setback | | | N/A | |
| 26 | Side setback | | | N/A | |
| 27 | Side setback facing street | | | N/A | |
| 28 | Rear setback | | | N/A | |
| | Pedestal | | | | |
| 29 | Front setback | | | N/A | |
| 30 | Side setback | | | N/A | |
| 31 | Side setback | | | N/A | |
| 32 | Side setback facing street | | | N/A | |
| 33 | Rear Setback | | | N/A | |
| | Tower | | | | |
| 34 | Front setback | | | N/A | |
| 35 | Side setback | | | N/A | |

| ITEM # | Setbacks | Required | Existing | Proposed | Deficiencies |
|--------|--|-----------------|-----------------|-----------------|---------------------|
| 36 | Side setback | | | N/A | |
| 37 | Side setback facing street | | | N/A | |
| 38 | Rear setback | | | N/A | |
| | Parking | Required | Existing | Proposed | Deficiencies |
| 39 | Parking district | | | N/A | |
| 40 | Total # of parking spaces | | | N/A | |
| 41 | # of parking spaces per use (Provide a separate chart for a breakdown calculation) | | | N/A | |
| 42 | # of parking spaces per level (Provide a separate chart for a breakdown calculation) | | | N/A | |
| 43 | Parking space dimensions | | | N/A | |
| 44 | Parking space configuration (45°, 60°, 90°, Parallel) | | | N/A | |
| 45 | ADA spaces | | | N/A | |
| 46 | Tandem spaces | | | N/A | |
| 47 | Drive aisle width | | | N/A | |
| 48 | Valet drop off and pick up | | | N/A | |
| 49 | Loading zones and trash collection areas | | | N/A | |
| 50 | Racks | | | N/A | |
| | Restaurants, Cafes Bars, Lounges, Nightclubs | Required | Existing | Proposed | Deficiencies |
| 51 | Type of use | | | N/A | |
| 52 | Total # of seats | | | N/A | |
| 53 | Total # of seats per venue (Provide a separate chart for a breakdown calculation) | | | N/A | |
| 54 | Total occupent content | | | N/A | |
| 55 | Occupant content per venue (Provide a separate chart for a breakdown calculation) | | | N/A | |
| 56 | Is this a contributing building? | | | N/A | |
| 57 | Located within a local historic district? | | | N/A | |

Notes:
 If not applicable write N/A
 All other data information may be required and presented like the above format



1. FACADE IMPROVEMENTS

2. SHADE DEVICES

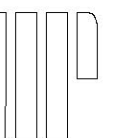
3. SIGNAGE

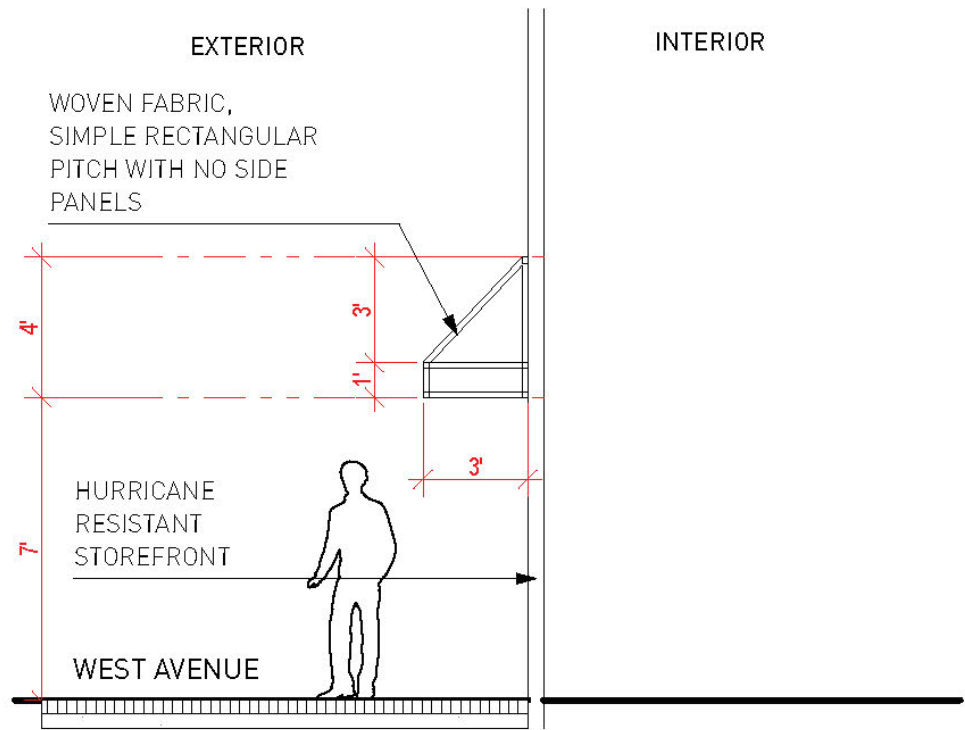
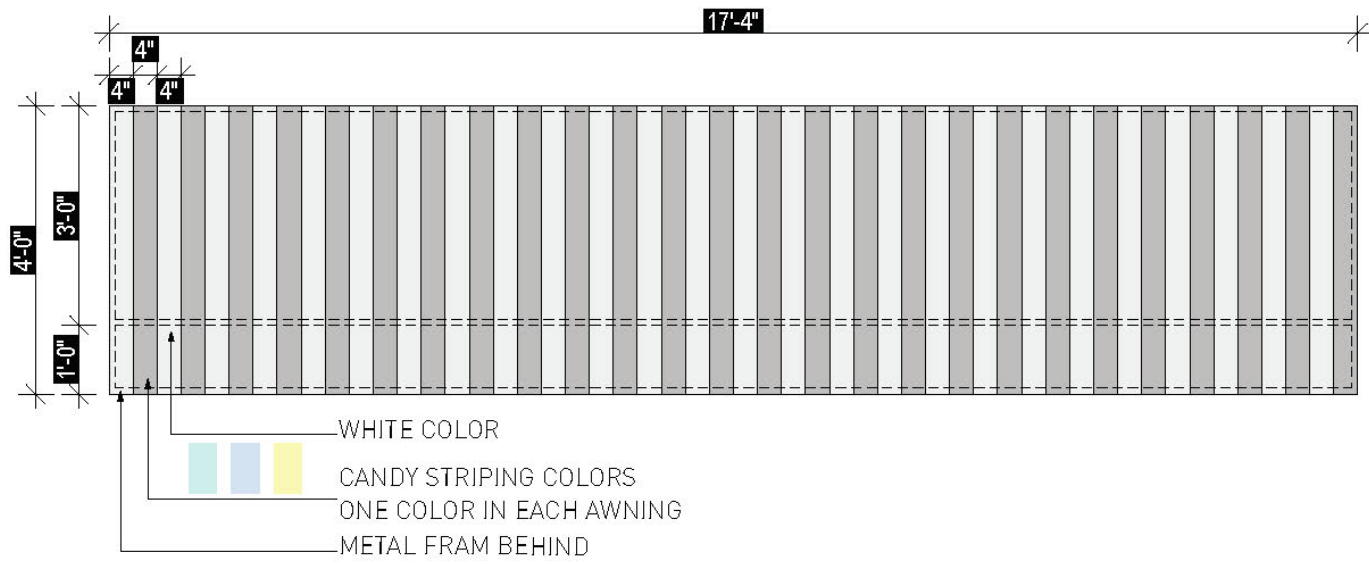
4. LIGHTING

5. ACCESORIES

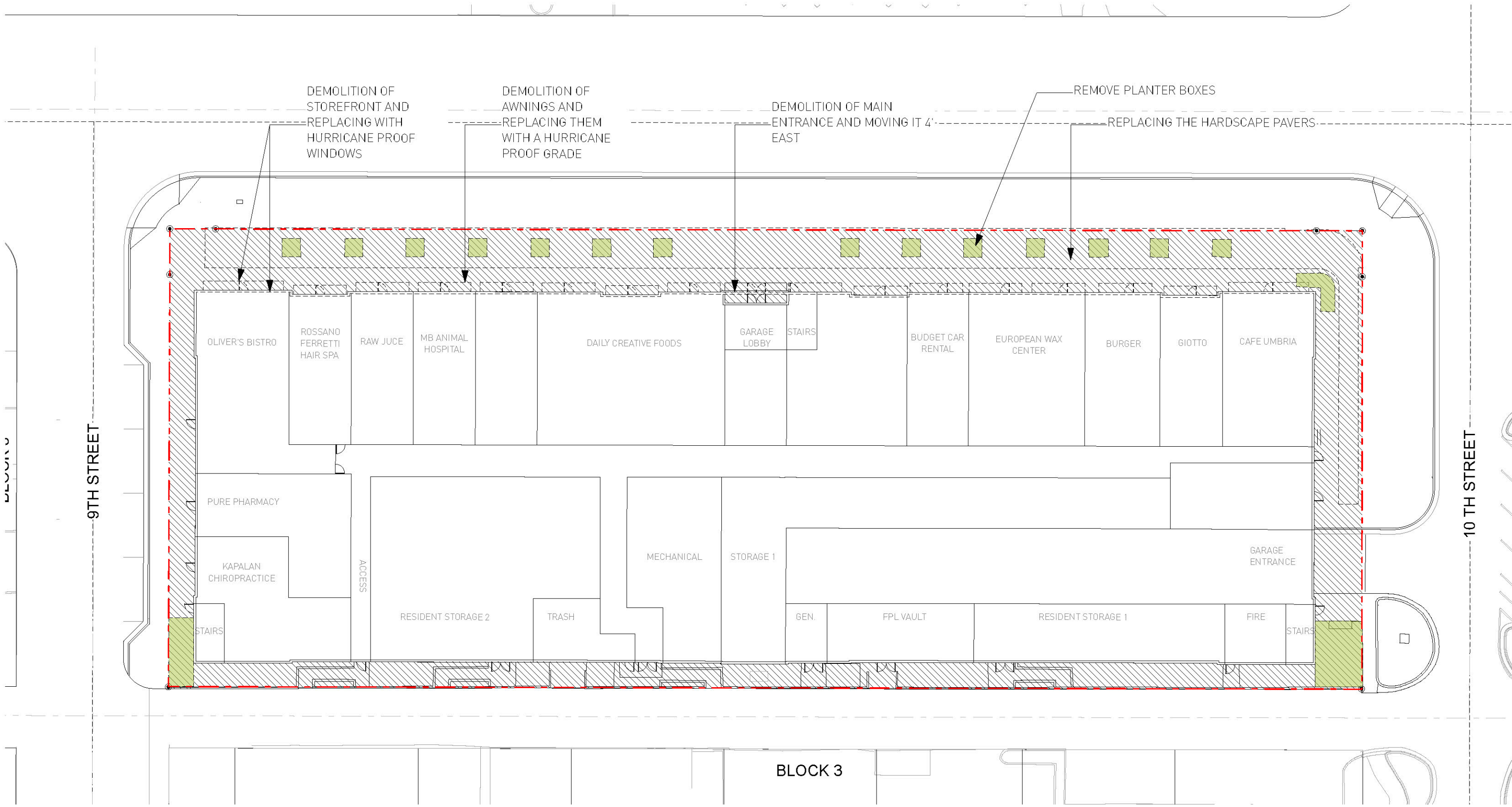
Budget
Car and Truck Rental

Payless
CAR RENTAL

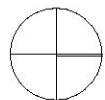




1 STOREFRONT AWNING SECTION
SCALE: 1" = 30'



EXISTING GREEN SPACE 1111 SQFT



A-08

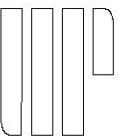
959 WEST AVENUE | SAWA

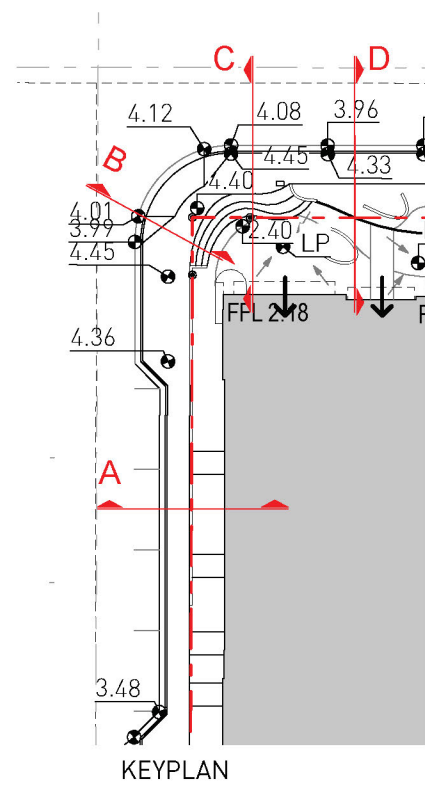
DRB

DEMOLITION PLAN

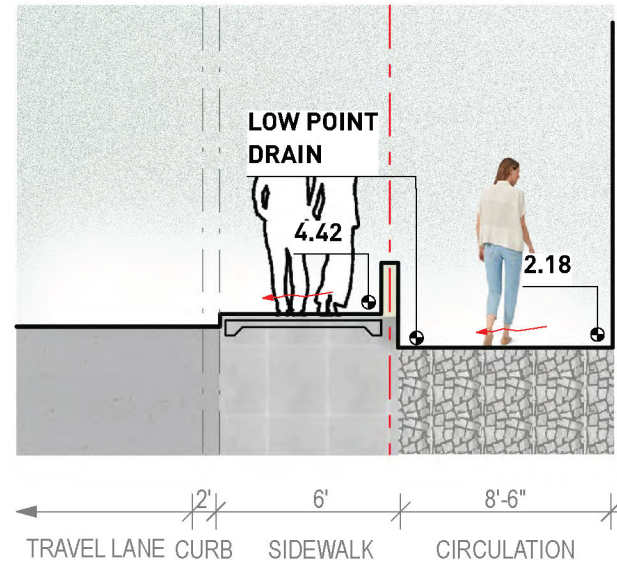
01/22/21

URBAN ROBOT © 2021

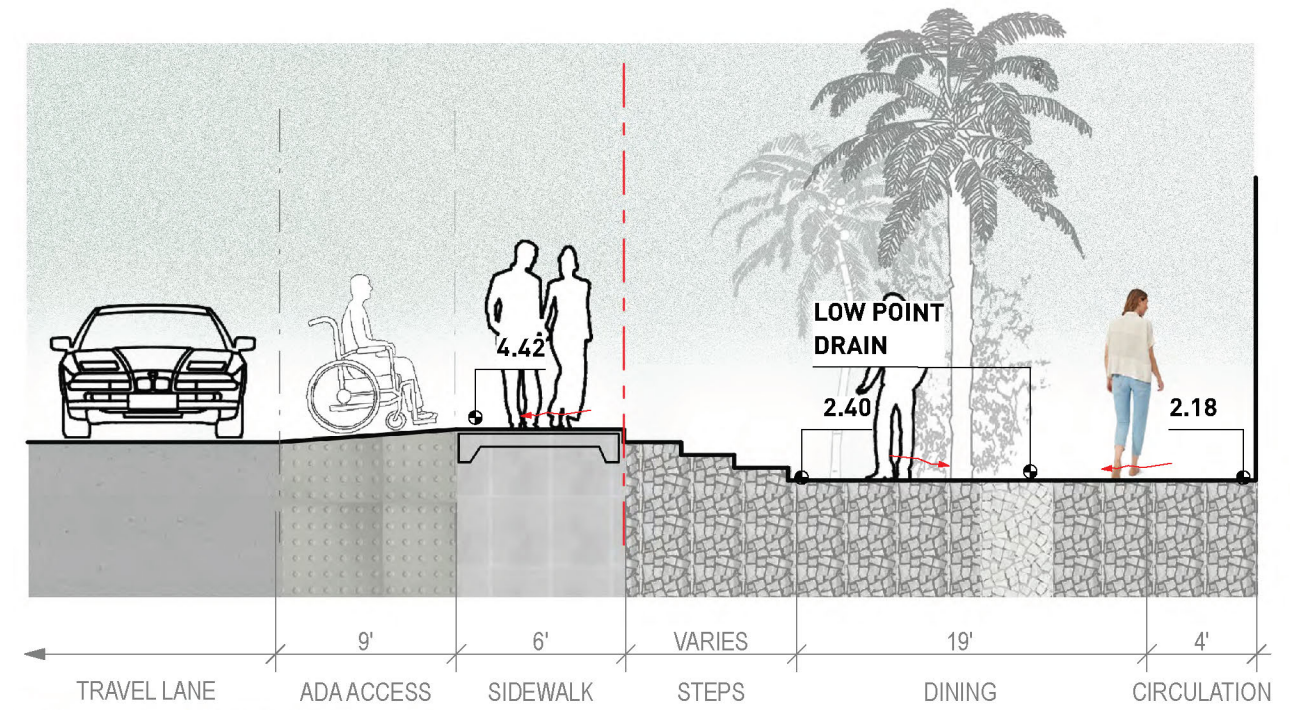




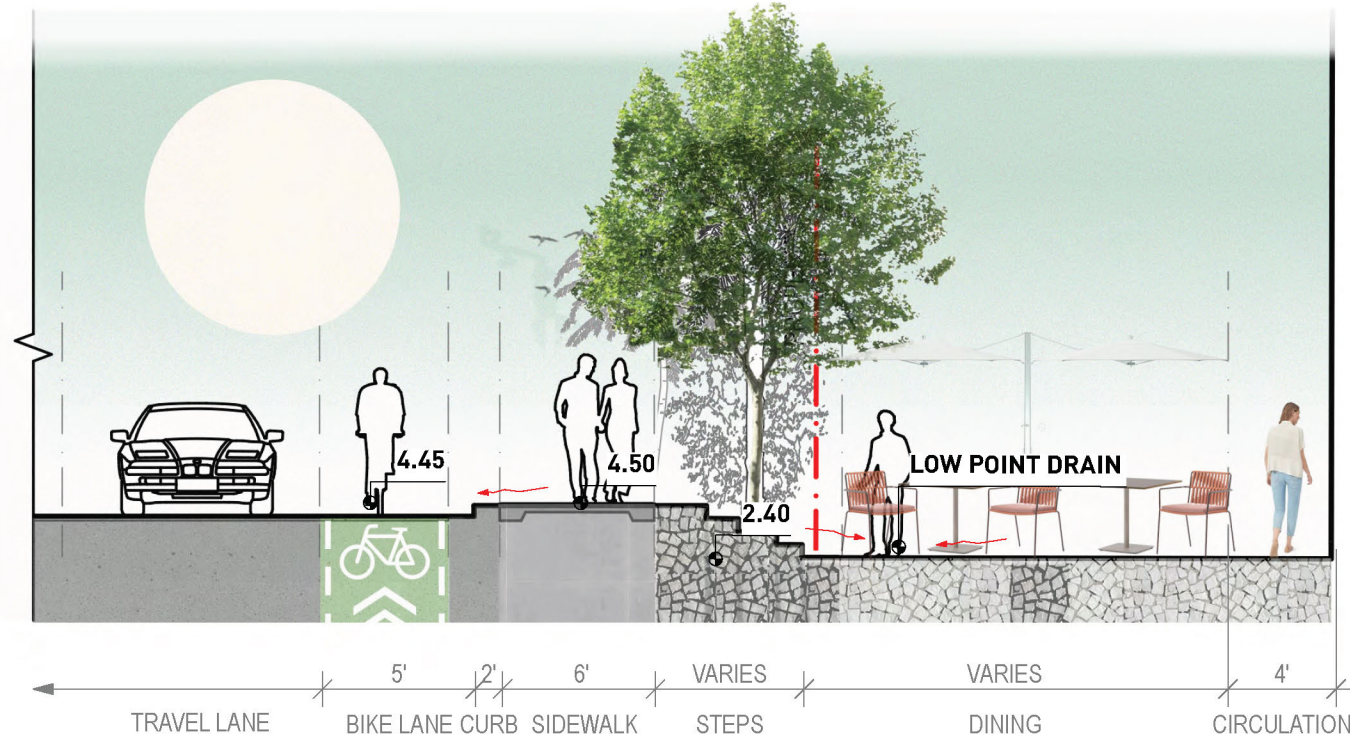
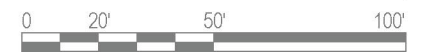
KEYPLAN



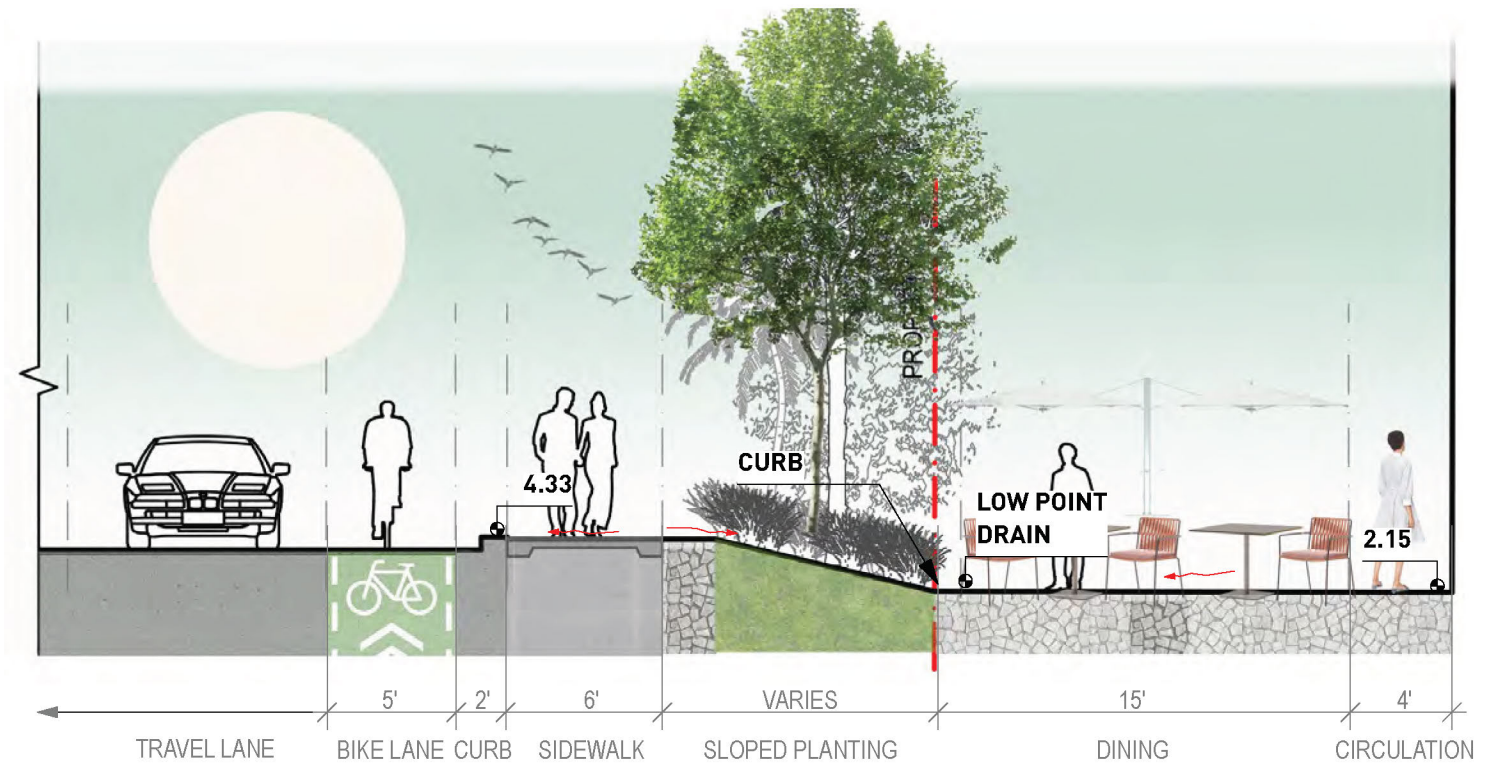
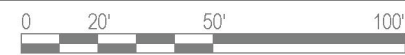
SECTION A



SECTION B

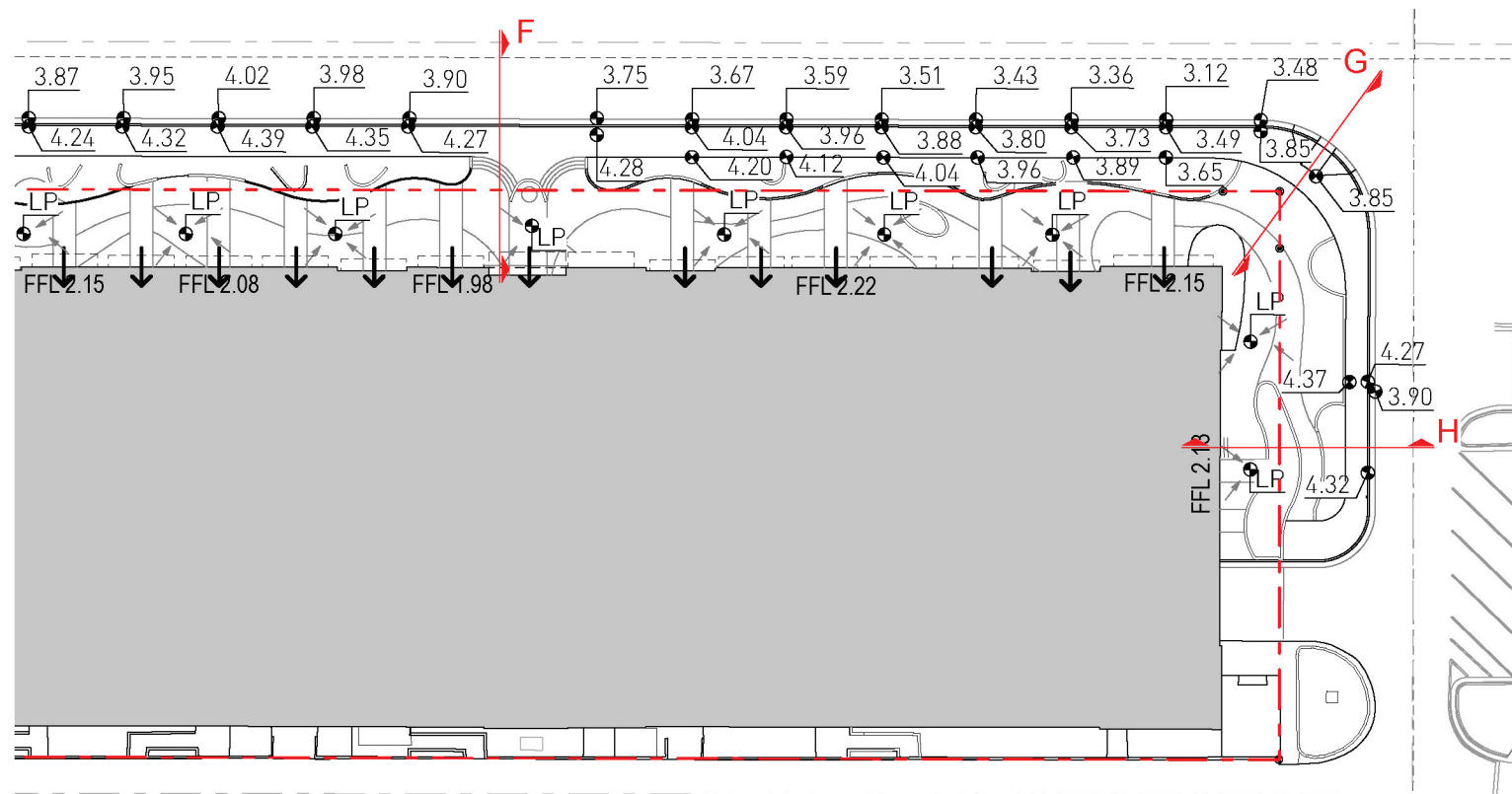


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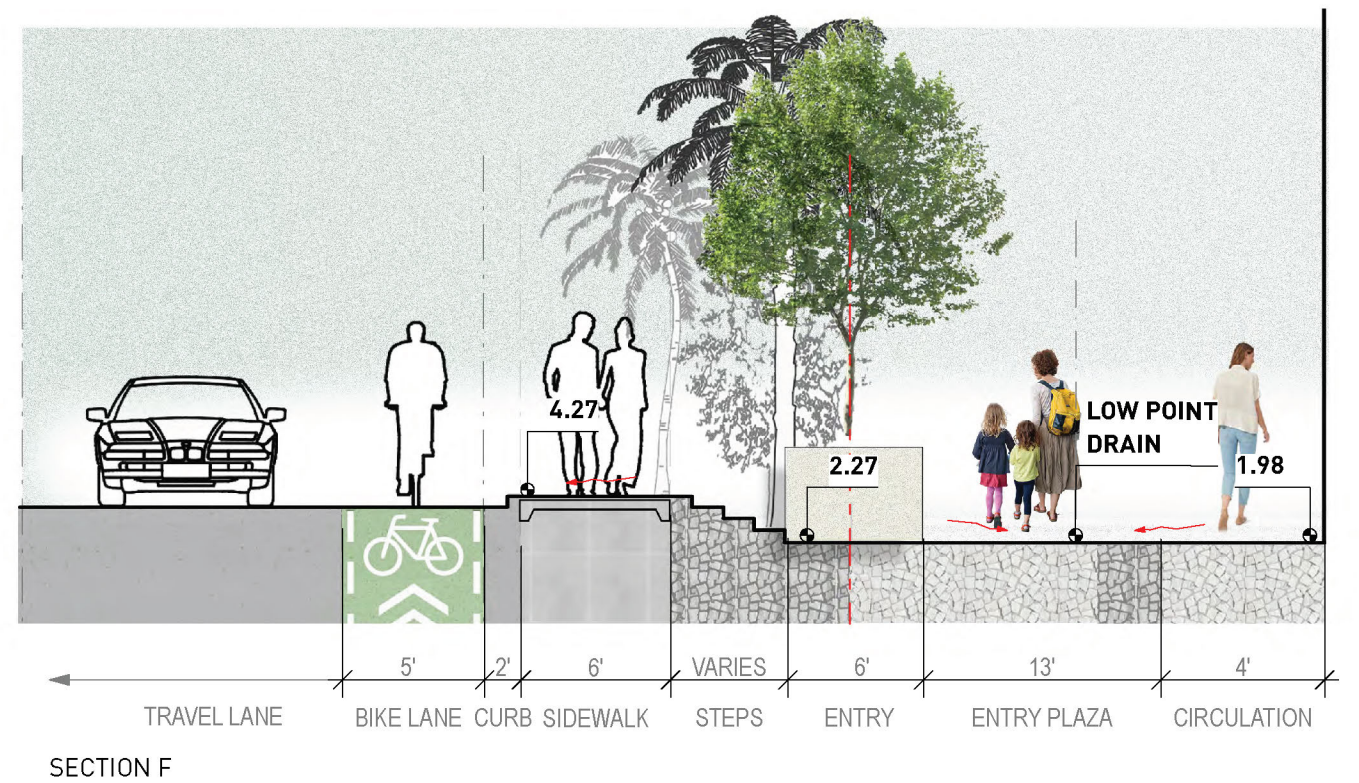


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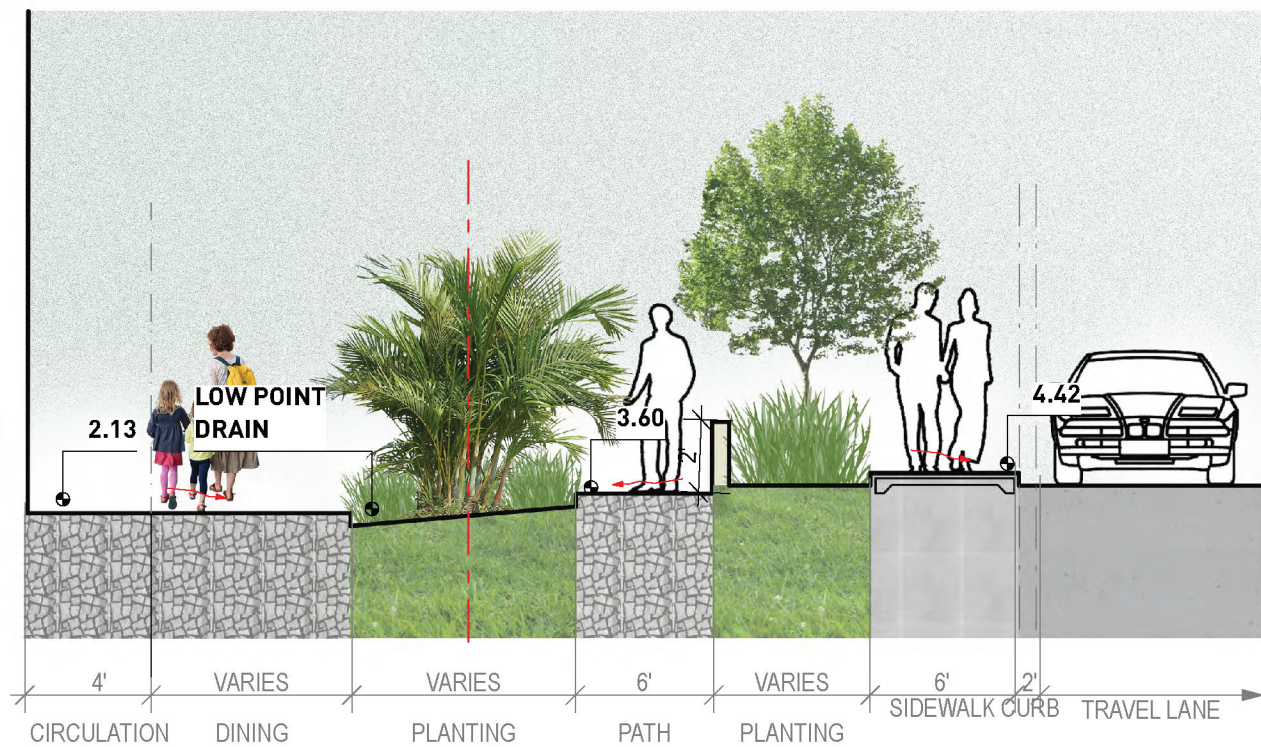




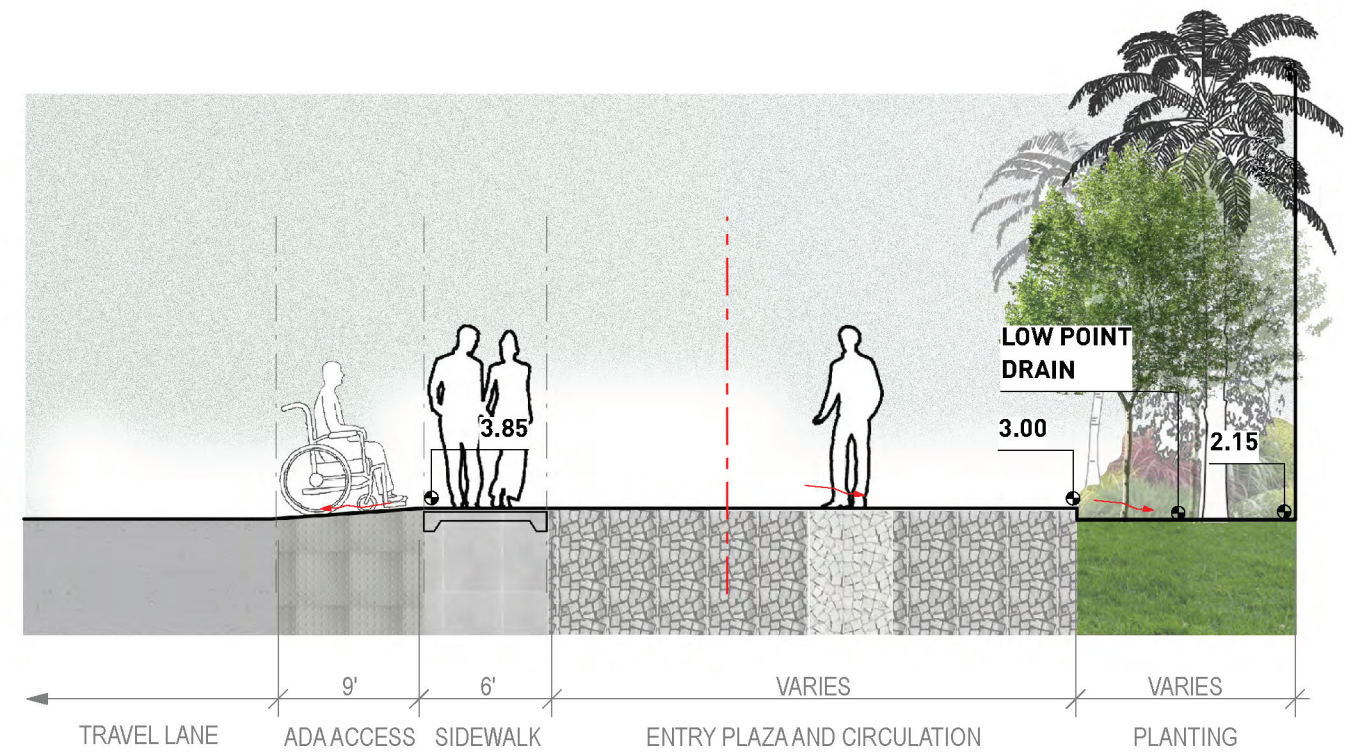
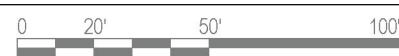
KEYPLAN



SECTION F



SECTION F



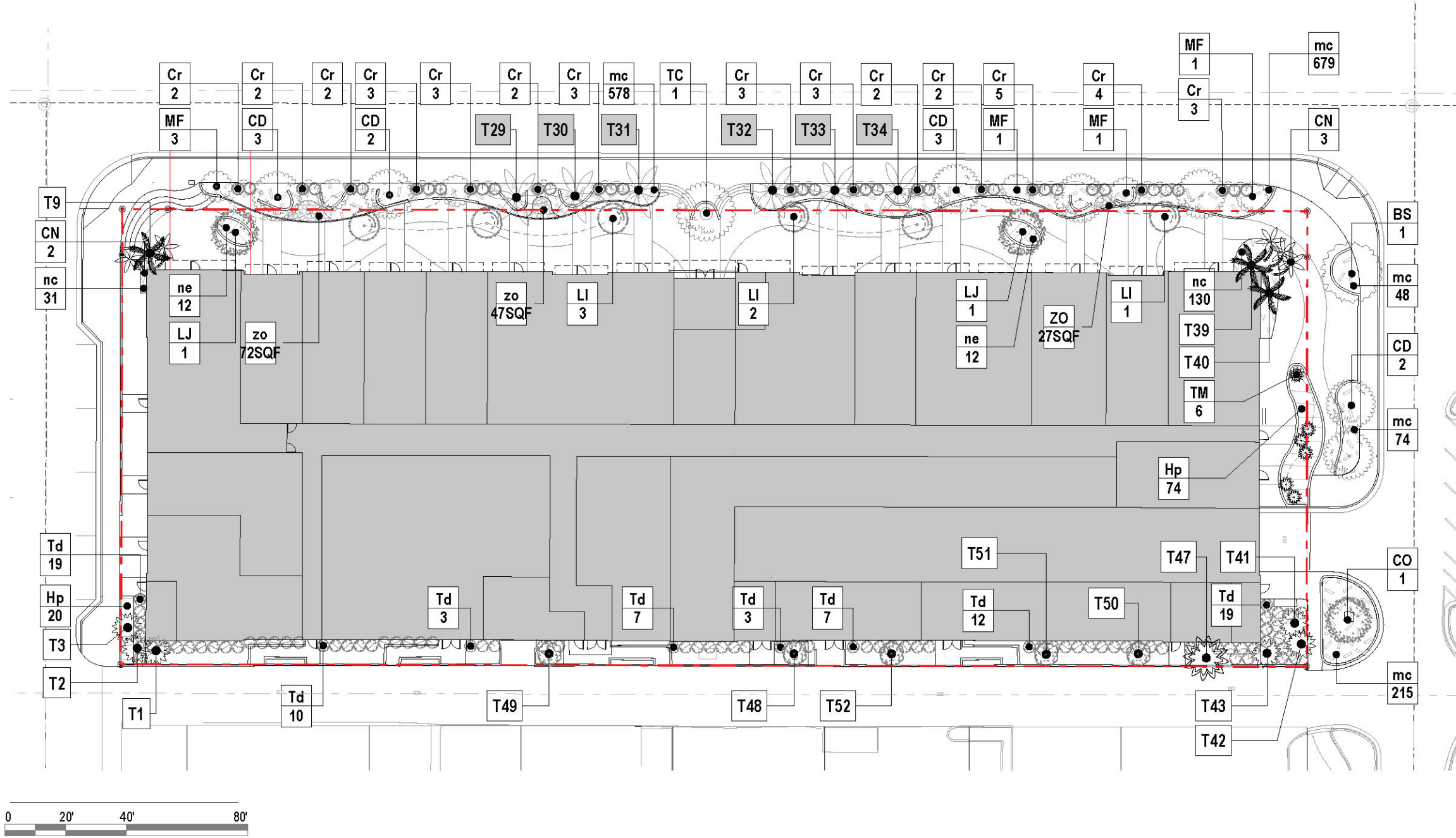
SECTION G



| Tree Schedule | | | | |
|---------------|----|-----|--------------------------|-------------------|
| Symbol | ID | Qty | Botanical Name | Common Name |
| | BS | 1 | Bursera Simaruba | Gumbo Limbo |
| | CD | 7 | Coccoloba diversifolia | Pigeon Plum |
| | CN | 5 | Cocos nucifera | Coconut Palm |
| | CO | 1 | Chrysophyllum oliviforme | Satin Leaf |
| | LI | 6 | Lagerstroemia indica | Crape Myrtle |
| | LJ | 2 | Ligustrum japonicum | Japanese Privet |
| | MF | 6 | Myrcianthes fragrans | Simpson's Stopper |
| | TC | 1 | Tabebuia caraiba | Yellow Tabebuia |
| | TM | 6 | Thrinax morrisi | Key Thatch Palm |

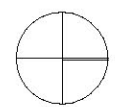
| Shrub Schedule | | | | |
|----------------|----|-----|-----------------------|-------------------|
| Symbol | ID | Qty | Botanical Name | Common Name |
| | Cr | 38 | Clusia rosea "Nana" | Dwarf Pitch Apple |
| | Hp | 2 | Hamelia patens | Firebush |
| | Td | 82 | Tripsacum dactyloides | Fakahatchee grass |

| Groundcover Schedule | | | | | |
|----------------------|----|------|-----------------------------|---------------|-----------|
| Symbol | ID | QTY | Botanical Name | Common Name | Area (sf) |
| | mc | 1594 | Muhlenbergia capillaris | Muhly Grass | 3,081 |
| | nc | 161 | Neomarica caerulea 'Regina' | Regina Iris | 315 |
| | ne | 24 | Nephrolepis exaltata | Boston Fern | 128 |
| | zo | 146 | Zoyzia | Zoyzia Empire | 141 |



EXISTING TO REMAIN ● — Tx

EXISTING TO RELOCATE ● — Tx



TREES



Bursera Simaruba



Coccoloba diversifolia



Chrysophyllum oliviforme



Lagerstroemia indica



Ligustrum japonicum



Myrcianthes fragrans



Tabebuia caraiba

PALMS



Cocos nucifera

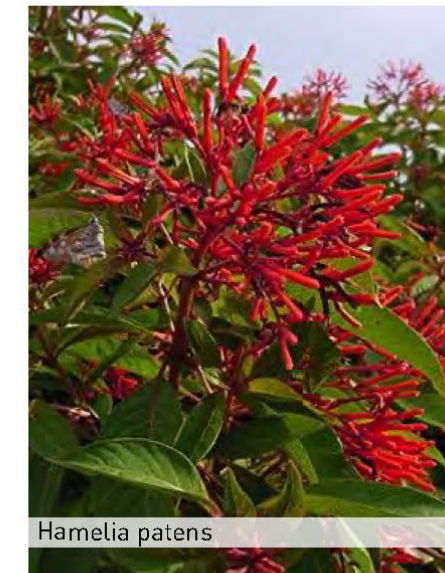


Thrinax morrisii

SHRUBS



Clusia rosea "Nana"



Hamelia patens



Tripsacum dactyloides

GROUNDCOVER



Muhlenbergia capillaris













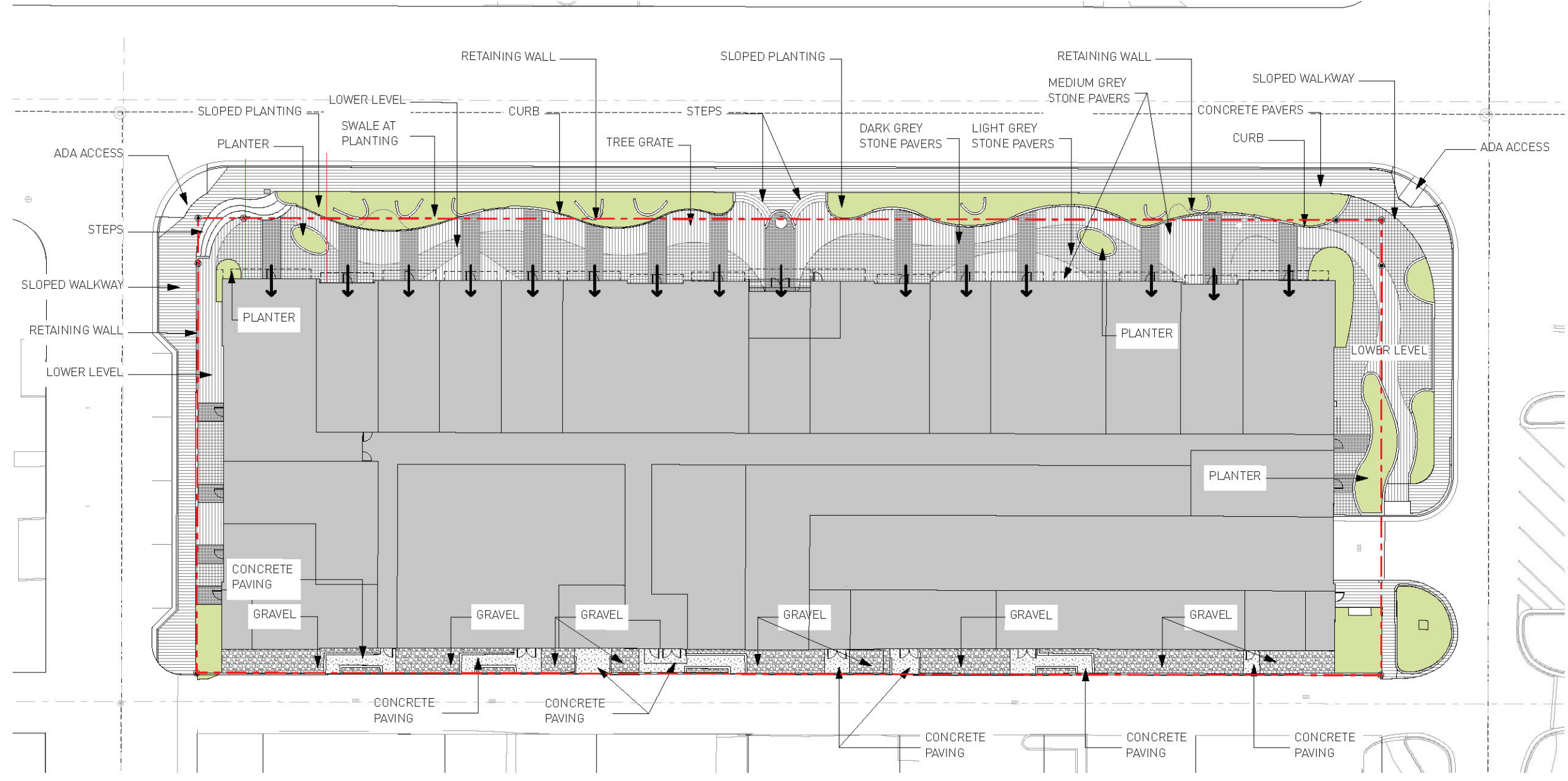
Neomarica caerulea 'Regina'



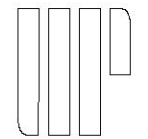
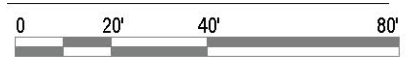
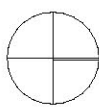
Nephrolepis exaltata



| Hardscape Schedule | | |
|---|---------------------------|-------|
| Symbol | Item | Area |
|  | BLACK STONE PAVERS | 586 |
|  | CONCRETE | 823 |
|  | CONCRETE | 63 |
|  | DARK GREY STONE PAVERS | 2,267 |
|  | GRAVEL | 1,889 |
|  | LIGHT GREY STONE PAVERS | 4,307 |
|  | MEDIUM GREY STONE PAVERS | 3,778 |
|  | PLANTING | 4,576 |
|  | SIDE WALK CONCRETE PAVERS | 5,746 |
|  | WHITE STONE PAVERS | 1,587 |



 PROPOSED GREEN SPACE 4576 SQFT (60% INCREASE)



Lighting Schedule

| Symbol | Light fixture | Manufacturer | Model | Voltage | Lamp | Watts | Color Temp | Optics | Material | Finish | Notes |
|--------|---------------|--------------|-------|---------|------|----------|------------|--------|-------------|--------|-------|
| | Spot Light | Garden Light | V2 | 12V | LED | 8 Watts | 3000K | - | Solid Brass | Brass | |
| | Strip light | Diode led | BLX-2 | 12DC | LED | 3.1 W/FT | 3000K | - | - | - | - |

diode led
BLAZE™ X 100/200/300 LED Strip Light
SPECIFICATION SHEET

| | 12V-RL1 | 12V-RL2 | 12V-RL3 | 24V-RL1 | 24V-RL2 | 24V-RL3 |
|-------------------|--|---------|---------|---------|---------|---------|
| Voltage | 12VDC | 12VDC | 12VDC | 24VDC | 24VDC | 24VDC |
| Watts | 1.5W/ft | 3.1W/ft | 4.5W/ft | 1.5W/ft | 3.1W/ft | 4.5W/ft |
| 2400K | 8A | 16A | 22A | 8A | 16A | 22A |
| 2600K | 10A | 22A | 31A | 11A | 22A | 32A |
| 2700K | 10A | 22A | 30A | 11A | 22A | 31A |
| 3000K | 12A | 24A | 33A | 12A | 24A | 33A |
| 3500K | 13A | 26A | 36A | 13A | 26A | 36A |
| 4000K | 13A | 26A | 36A | 13A | 26A | 36A |
| 5000K | 12A | 24A | 33A | 12A | 24A | 33A |
| 6000K | 12A | 24A | 33A | 12A | 24A | 33A |
| LED chips | 98° | 36° | 15° | 98° | 36° | 15° |
| Color Temperature | 3000K, 4000K, 5000K, 6000K, 6500K, 7000K, 8000K, 9000K | | | | | |
| CRI | 95+ | | | | | |
| Dimmable | No | | | | | |
| Dimensions | 0.22" x 0.1" @ 1" Sp | | | | | |
| Environment | Indoor / Outdoor | | | | | |
| Construction | UL 1684 ETL ENEC | | | | | |
| Mounting | 12-18" Max Spacing | | | | | |

SKU ORDER

| DI | Model | Color Temp | Length (ft) | Quantity |
|-----|-------|------------|-------------|----------|
| 12V | BLX1 | 2700K | 10 | 1000 |
| 12V | BLX2 | 2700K | 10 | 1000 |
| 24V | BLX3 | 2700K | 10 | 1000 |

VISIONARY SERIES
V2 | SPOT LIGHT
A FORTY-FIVE YEAR WARRANTY

LED LIFE EXPECTANCY WARRANTY
100,000 Hours (at 70°C ambient temperature) or 50,000 hours (at 25°C ambient temperature) whichever comes first. LED life expectancy is based on a 100% duty cycle.

SPECIFICATIONS

| Application | Construction | Dimensions | Finish | Material | Optics | Power | Warranty |
|-------------|--------------|--------------------|--------|----------|------------|-------|----------|
| Lighting | IP65 | 1.5" x 1.5" x 1.5" | Black | Aluminum | Clear Lens | 10W | 5 Years |

PRODUCT DIMENSIONS

Beam Spread: 10° - 20° (Adjustable)

Beam Spread: 20° - 40° (Adjustable)

Beam Spread: 40° - 60° (Adjustable)

Beam Spread: 60° - 80° (Adjustable)

Beam Spread: 80° - 100° (Adjustable)

Beam Spread: 100° - 120° (Adjustable)

Beam Spread: 120° - 140° (Adjustable)

Beam Spread: 140° - 160° (Adjustable)

Beam Spread: 160° - 180° (Adjustable)

Beam Spread: 180° - 200° (Adjustable)

Beam Spread: 200° - 220° (Adjustable)

Beam Spread: 220° - 240° (Adjustable)

Beam Spread: 240° - 260° (Adjustable)

Beam Spread: 260° - 280° (Adjustable)

Beam Spread: 280° - 300° (Adjustable)

Beam Spread: 300° - 320° (Adjustable)

Beam Spread: 320° - 340° (Adjustable)

Beam Spread: 340° - 360° (Adjustable)

Beam Spread: 360° - 380° (Adjustable)

Beam Spread: 380° - 400° (Adjustable)

Beam Spread: 400° - 420° (Adjustable)

Beam Spread: 420° - 440° (Adjustable)

Beam Spread: 440° - 460° (Adjustable)

Beam Spread: 460° - 480° (Adjustable)

Beam Spread: 480° - 500° (Adjustable)

Beam Spread: 500° - 520° (Adjustable)

Beam Spread: 520° - 540° (Adjustable)

Beam Spread: 540° - 560° (Adjustable)

Beam Spread: 560° - 580° (Adjustable)

Beam Spread: 580° - 600° (Adjustable)

Beam Spread: 600° - 620° (Adjustable)

Beam Spread: 620° - 640° (Adjustable)

Beam Spread: 640° - 660° (Adjustable)

Beam Spread: 660° - 680° (Adjustable)

Beam Spread: 680° - 700° (Adjustable)

Beam Spread: 700° - 720° (Adjustable)

Beam Spread: 720° - 740° (Adjustable)

Beam Spread: 740° - 760° (Adjustable)

Beam Spread: 760° - 780° (Adjustable)

Beam Spread: 780° - 800° (Adjustable)

Beam Spread: 800° - 820° (Adjustable)

Beam Spread: 820° - 840° (Adjustable)

Beam Spread: 840° - 860° (Adjustable)

Beam Spread: 860° - 880° (Adjustable)

Beam Spread: 880° - 900° (Adjustable)

Beam Spread: 900° - 920° (Adjustable)

Beam Spread: 920° - 940° (Adjustable)

Beam Spread: 940° - 960° (Adjustable)

Beam Spread: 960° - 980° (Adjustable)

Beam Spread: 980° - 1000° (Adjustable)

