

MILLER RESIDENCE

1515 W 22nd ST. Miami Beach FL.

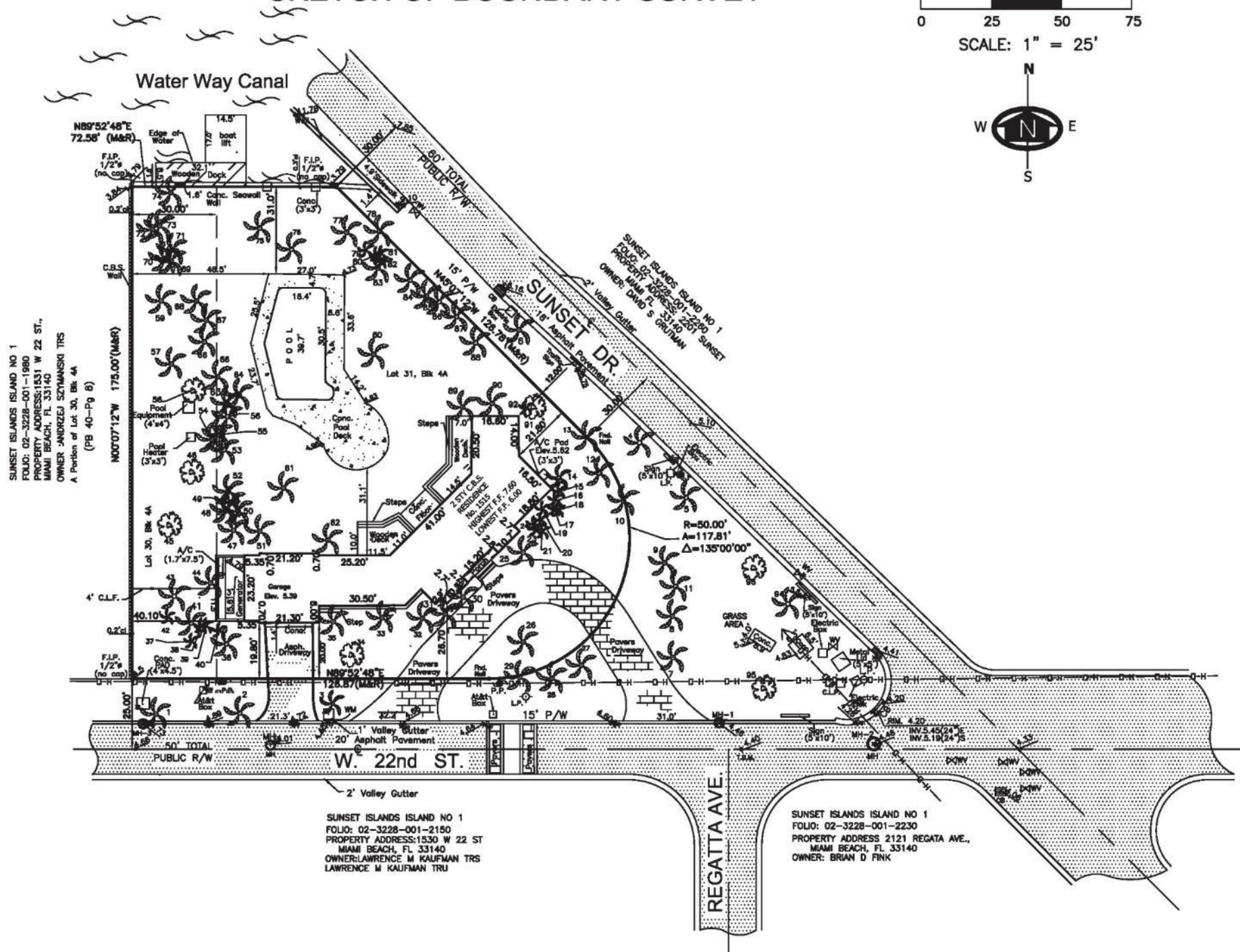
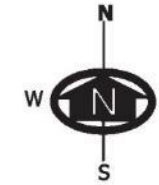
EXISTING SITE

ALTA/NSPS LAND TITLE SURVEY SKETCH OF BOUNDARY SURVEY

GRAPHIC SCALE



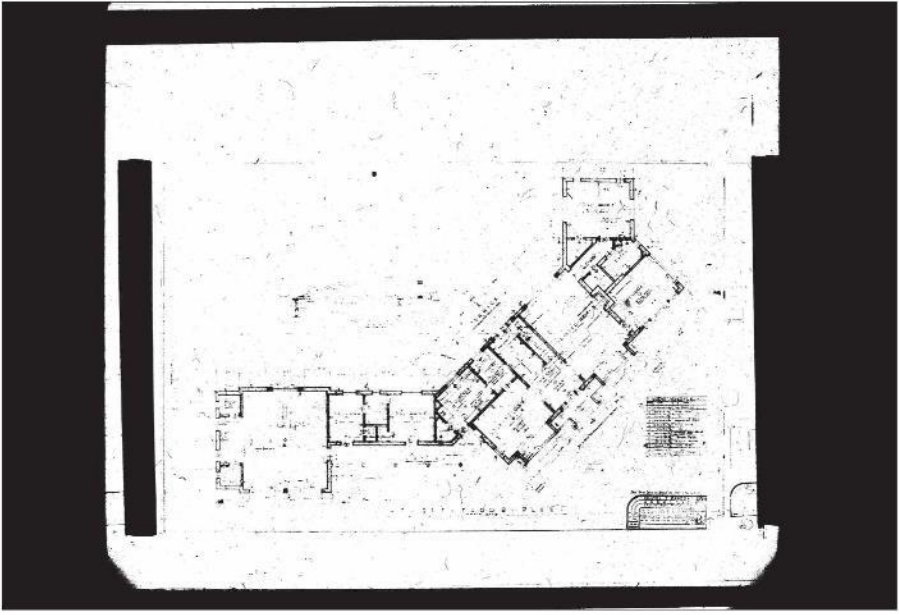
SCALE: 1" = 25'



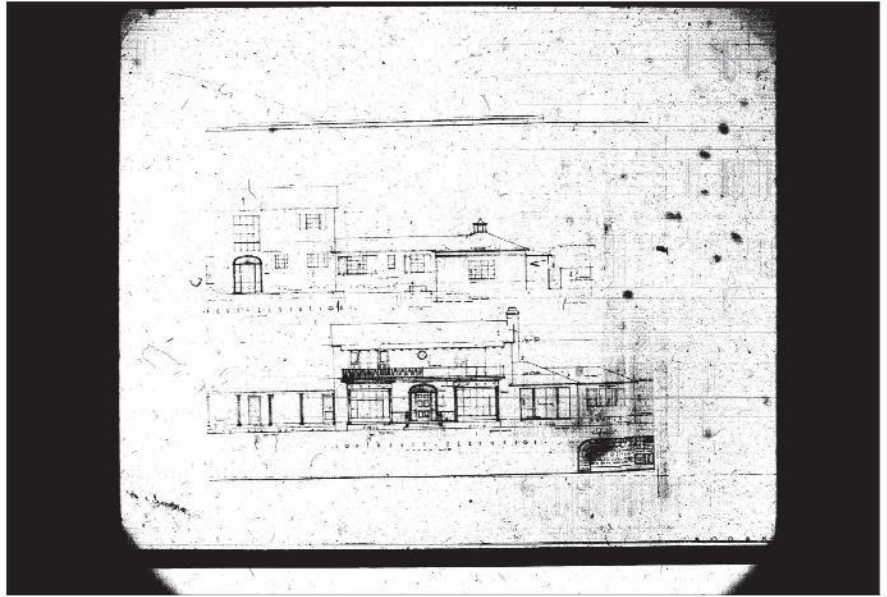
SUNSET ISLANDS ISLAND NO 1
FOLIO: 02-3228-001-1980
PROPERTY ADDRESS: 1531 W 22 ST.,
MIAMI BEACH, FL 33140
OWNER: ANDRZEJ SZYMANSKI TRS
A Portion of Lot 30, Blk 4A
(PB 40-Pg 8)

SUNSET ISLANDS ISLAND NO 1
FOLIO: 02-3228-001-2150
PROPERTY ADDRESS: 1530 W 22 ST
MIAMI BEACH, FL 33140
OWNER: LAWRENCE M KAUFMAN TRS
LAWRENCE M KAUFMAN TRU

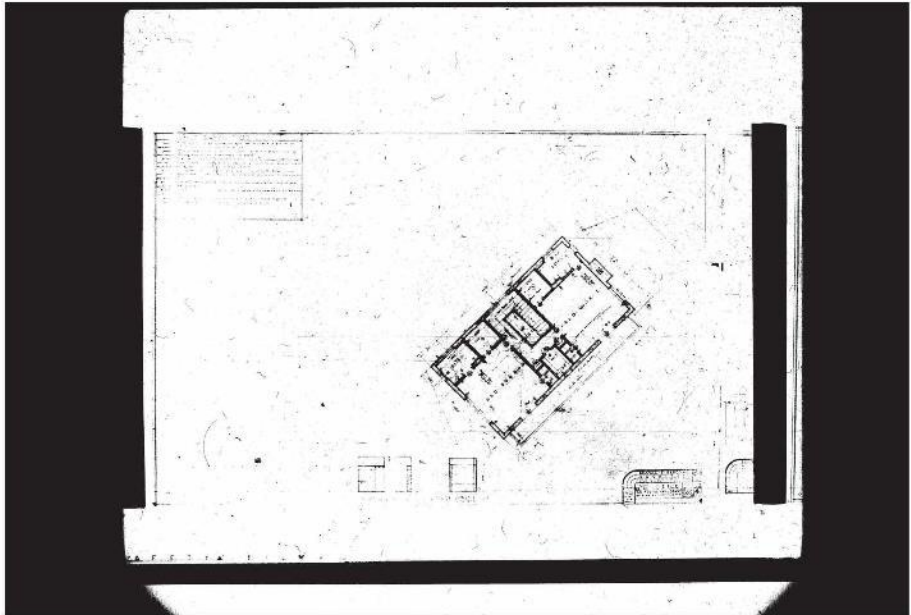
SUNSET ISLANDS ISLAND NO 1
FOLIO: 02-3228-001-2230
PROPERTY ADDRESS: 2121 REGATA AVE.,
MIAMI BEACH, FL 33140
OWNER: BRIAN D FINK



1 (MICROFILM) EXISTING FIRST FLOOR
MF1.00 N.T.S.



3 (MICROFILM) EXISTING FRONT/REAR ELEVATIONS
MF1.00 N.T.S.



2 (MICROFILM) EXISTING SECOND FLOOR
MF1.00 N.T.S.

CIPN

MILLER RESIDENCE

D15.99.88ND SI
MAX BLACILL 19140

DESIGNER

jenifer briley + associates
architecture . interior design . planning

2020 NTH Avenue, Suite 200, Annapolis, MD 21403
L. BRILEY 410.221.8371
J. BRILEY 410.221.8372

CONSULTANTS

REGISTRATION

V. JENIFER BRILEY, AIA
ARCHITECT OF RECORD
SCALE: 1/8" = 1'-0" FOR 10' 0" LONG
#A0021358

TO THE BEST OF THE ARCHITECT'S OR
ENGINEER'S KNOWLEDGE, THE PLANS AND
SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES AND
THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
	07/19/2026	PRE SUBMITTAL

PROJECT NO:
DRAWN BY: DF / MC / MS
CHECKED BY: JB
PHASE: PLOT DATE:

SHEET TITLE

**MICROFILM
OF
EXISTING HOME**


SHEET NUMBER

MF1.00



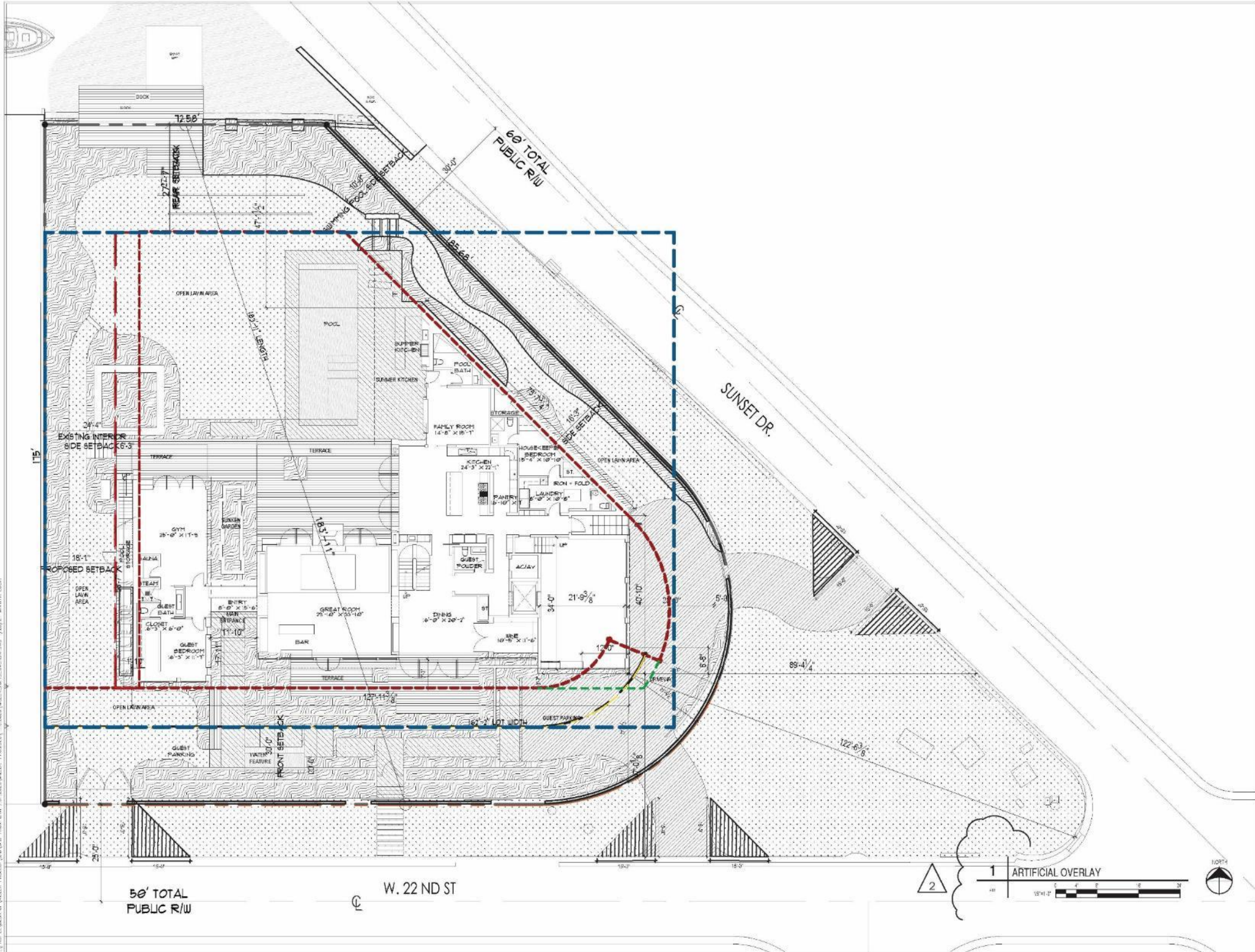




 = Location of support letters (21 letters shown)



1. 2130 Regatta Ave – Brian Fink
2. 2121 Regatta Ave – Michael and Alexandra Neff Allenberg
3. 2110 Lucerne Avenue – Elyse and Alan Khoudari
4. 1401 W 22nd St – Benjamin Wander
5. 2135 Lake Ave – Oren Alexander
6. 1440 W 21st St – Alejandro Nestares and Yaquelin Gomes
7. 2125 Lake Ave – Peter Rahal
8. 1500 W 21st St – Todd Glaser
9. 2142 Bay Ave – Darren Zakreski
10. 1440 W 23rd St – Claudia Neary
11. 2138 Bay Ave – Ron Schmeichel
12. 2122 Bay Ave – Ross Partrich
13. 2324 Bay Ave – Susan and Dennis Richard
14. 2301 Lake Ave – Rony Seikaly
15. 1836 W 23rd St – David Berger
16. 2300 Bay Ave – George Lindemann
17. 1434 W 24th St – Andrew Moriber
18. 2300 Lake Ave – Carl Gambino
19. 1441 W 24th St – Tonino Doino
20. 1800 W 24th St – Scott & Deborah Robins
21. 1825 W 24th St – Julian Cohen



CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates
architecture · interior design · planning

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JBriley@aia.com

CONSULTANTS

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STATE OF FLORIDA LICENSE
#AR00111558

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
▲	10/9/2020	DRB SUBMITTAL
▲	1/19/2020	
▲	12/7/2020	

PROJECT NO:
DRAWN BY: DE / MC / MS
CHECKED BY: JB
PHASE: SCHEMATIC DESIGN
PLOT DATE: 12.07.2020

SHEET TITLE

ARTIFICIAL OVERLAY

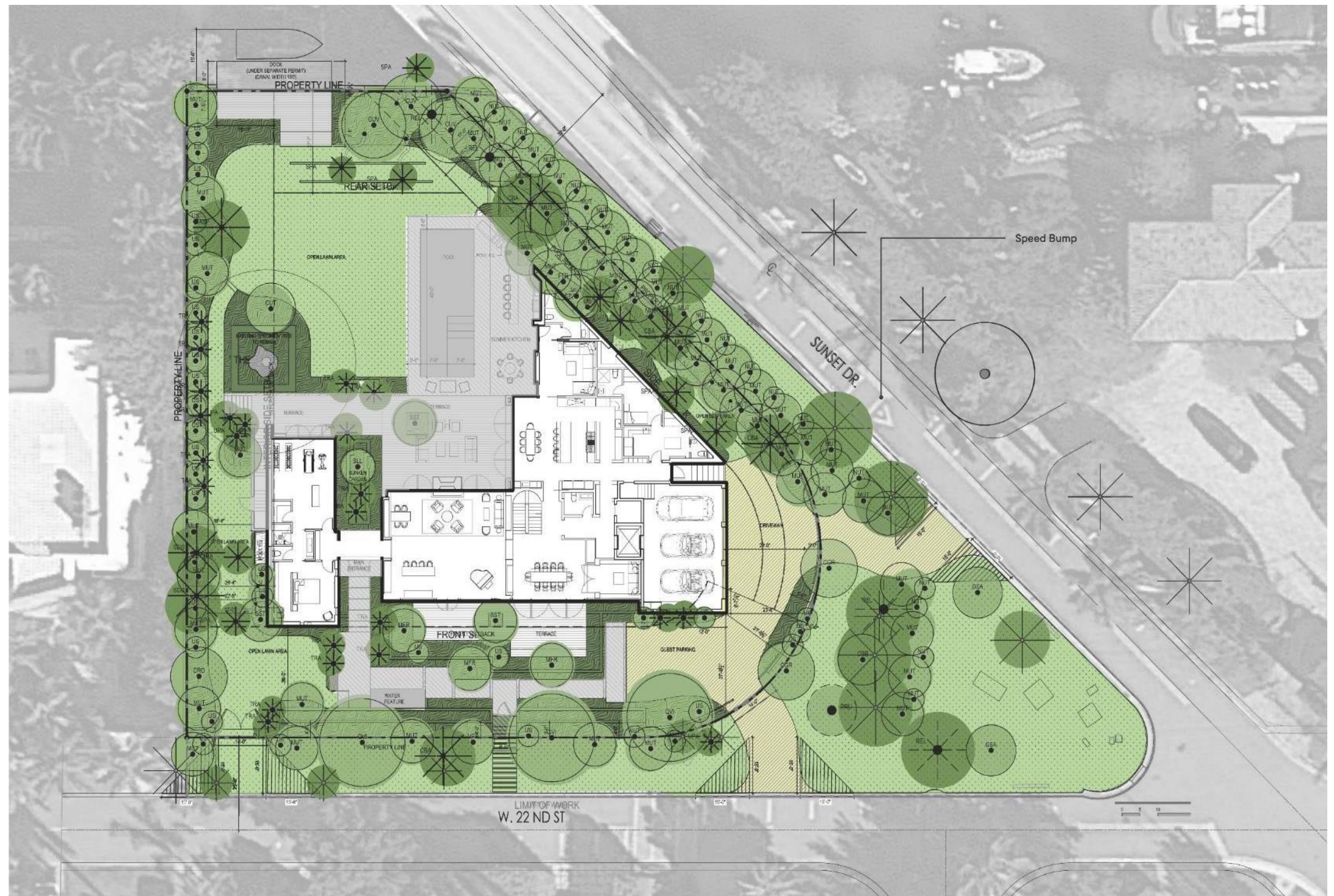
SHEET NUMBER

A0.18

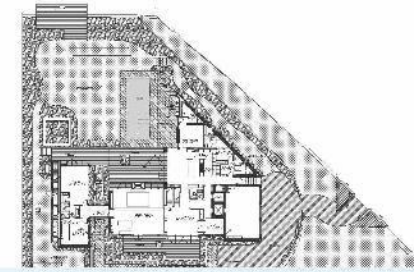
PROJECT: MILLER RESIDENCE, FROM: DBM 7/3/2020, MILLER, 11.6.2020, 1.5.2020, M.L.T.E. 10.18.2020, 10.18.2020, 1/22/21, MORTERA, LUCA

ARCHITECTURE

Jenifer Briley + Associates







1 FRONT ELEVATION (SOUTH)

MATERIALS ARE SUBJECT TO CHANGE. FINAL SELECTION WILL BE MADE @ TIME OF PERMITTING.



CUSTOMER

MILLER RESIDENCE

1015 W 28TH ST
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates
architecture . interior design . planning

5200 BAYVIEW AVE SUITE 200 MIAMI BEACH, FL 33154
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WWW.JENIFERBRILEY.COM

CONSULTANTS

REGISTRATION

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STATE OF FLORIDA LICENSE
JBR001138

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

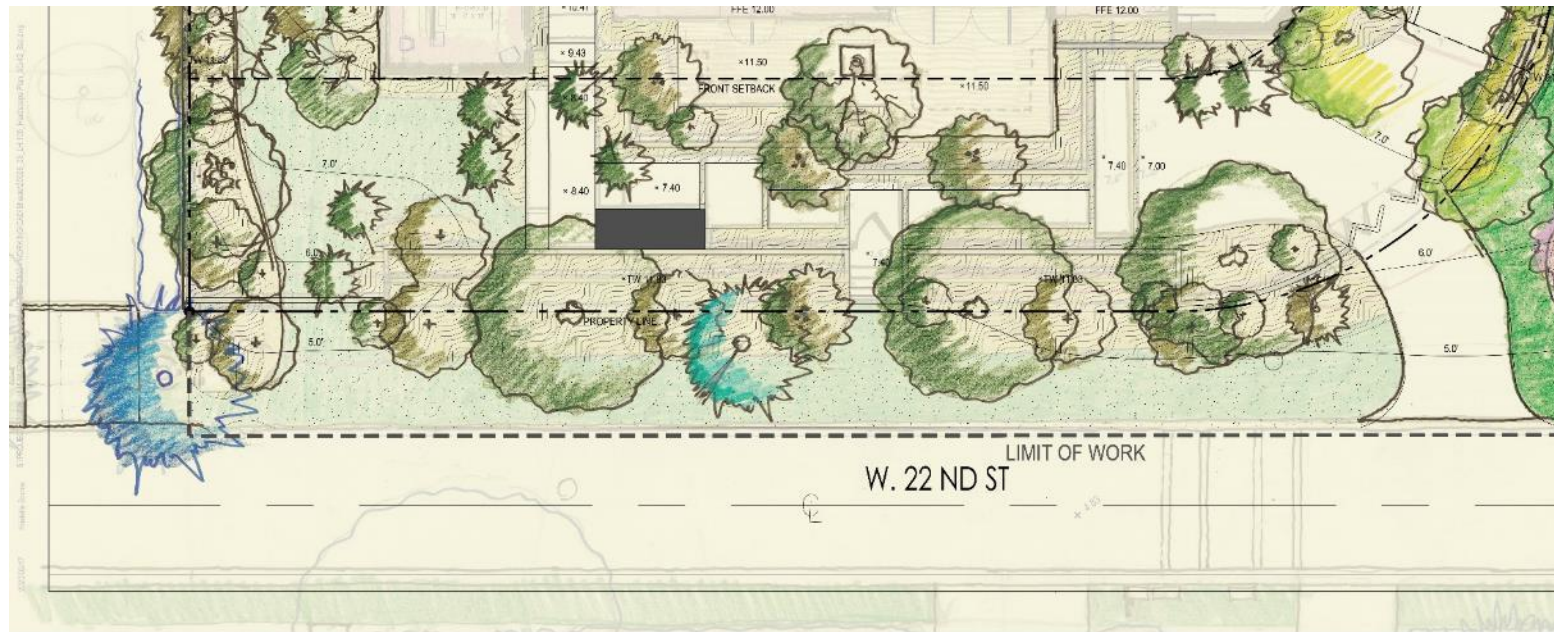
ISSUE	MARK	DATE	DESCRIPTION
	Δ	10/9/2024	DWG SUBMITAL
	Δ	11/9/2020	
	Δ	12/7/2020	

PROJECT NO:	DE / MC / MS
DRAWN BY:	JE
CHECKED BY:	
PLACED:	PLLOT DATE:
SCHEMATIC DESIGN	12.07.2020

SHEET TITLE
SOUTH COLORED ELEVATION

SHEET NUMBER

A4.00a



South Elevation

CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33149

DESIGNER

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architecture . interior design . planning

200 N.W. 10TH AVE., SUITE 205, MIAMI, FL 33136
TEL: 305.557.4320
WWW.JENIFERBRILEY.COM

COMMITMENTS

REGISTRATION

JEAN-PIERRE HENRI, AIA
ARCHITECT OF RECORD
S.W.C. OF FLORIDA COUNCIL
#00071358

TO THE BEST OF THE ARCHITECT'S OR
FASHEFFER'S KNOWLEDGE, THE PLANS AND
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ISSUE

MARK	DATE	DESCRIPTION
▲	10/9/2020	DRG SUBMITTAL
▲	11/9/2020	
▲	12/7/2020	

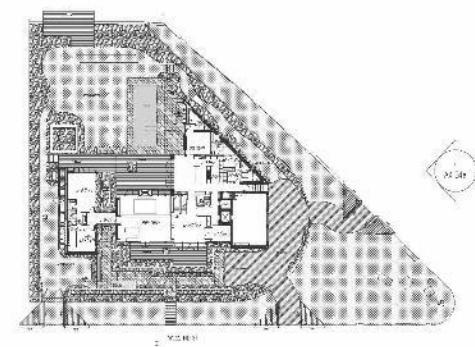
PROJECT NO:
DRAWN BY: DE / MC / MS
CHECKED BY: JE
PROJECT: EAST COLORED ELEVATION
SCHEMATIC DESIGN
PLOT DATE: 12.07.2020

SHEET TITLE

EAST COLORED ELEVATION

SHEET NUMBER

A4.04a



PROPERTY LINE

SETBACK LINE

SETBACK LINE

TOP OF PARAPET
ELEV. 128' 0"
(+42' 0" NGVD)

TOP OF PARAPET
ELEV. 128' 0"
(+38' 0" NGVD)

1-VE SECOND FLOOR
ELEV. 4'-0"
(+28' 0" NGVD)

LEVEL OF GROUND
ELEV. 10'-0"
(+12' 0" NGVD)

GRADE
(15.01' NGVD)

DRIVEWAY
98'-3"

PLANTING
5'-7 1/2"

WALL
86'-1"



1 EAST ELEVATION

MATERIALS ARE SUBJECT TO CHANGE.
FINAL SELECTION WILL BE MADE @
TIME OF PERMITTING.



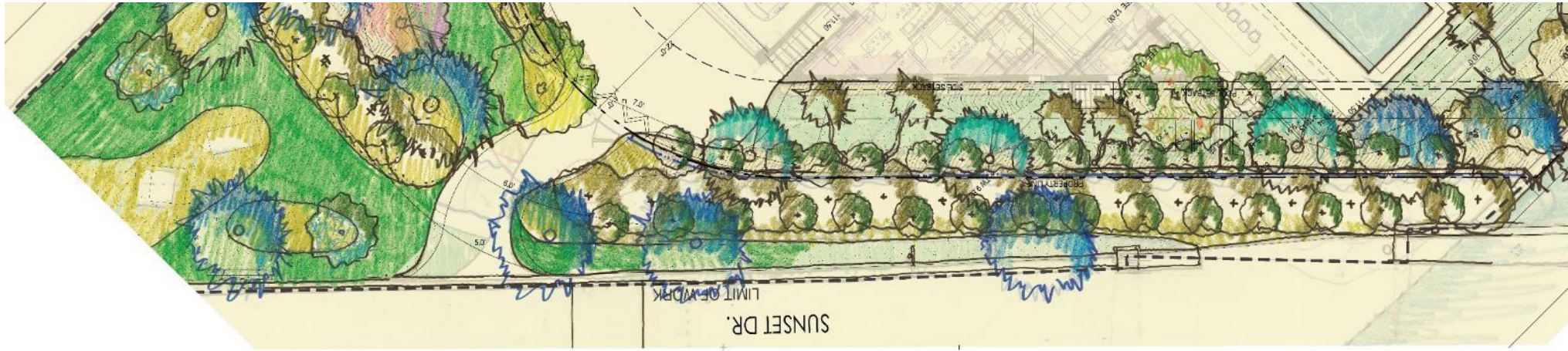
1. WOOD

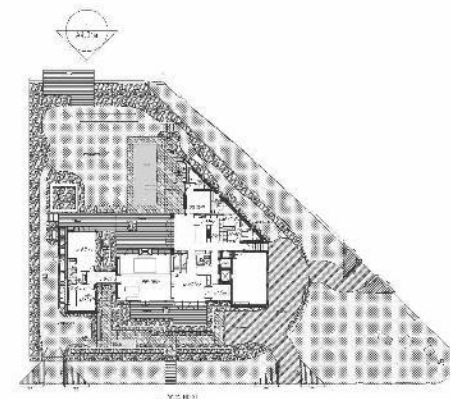
2. STONE

3. METAL PANELS

4. STONE 2

P:\PROJECTS\2020\1515 W 22ND ST\1515 W 22ND ST - EAST COLORED ELEVATION.dwg
 DATE: 12/07/2020 10:58:11 AM
 USER: JENIFER.BRILEY
 PLOT DATE: 12/07/2020 10:58:11 AM
 PLOT SCALE: 1/8"=1'-0"





1 REAR ELEVATION (NORTH)

MATERIALS ARE SUBJECT TO CHANGE.
FINAL SELECTION WILL BE MADE @
TIME OF PERMITTING



1. WOOD 2. STONE 3. METAL PANELS 4. STONE 2

CLIENT

MILLER RESIDENCE
1915 W 28TH ST
MIAMI BEACH, FL 33140

DESIGNER
jenifer briley + associates
architecture · interior design · planning
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CONSULTANTS

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ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
JABR0011588

TO THE BEST OF THE ARCHITECT'S OR
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ISSUE	MARK	DATE	DESCRIPTION
		10/7/2020	DRG SUBMITAL
		11/9/2020	
		12/7/2020	

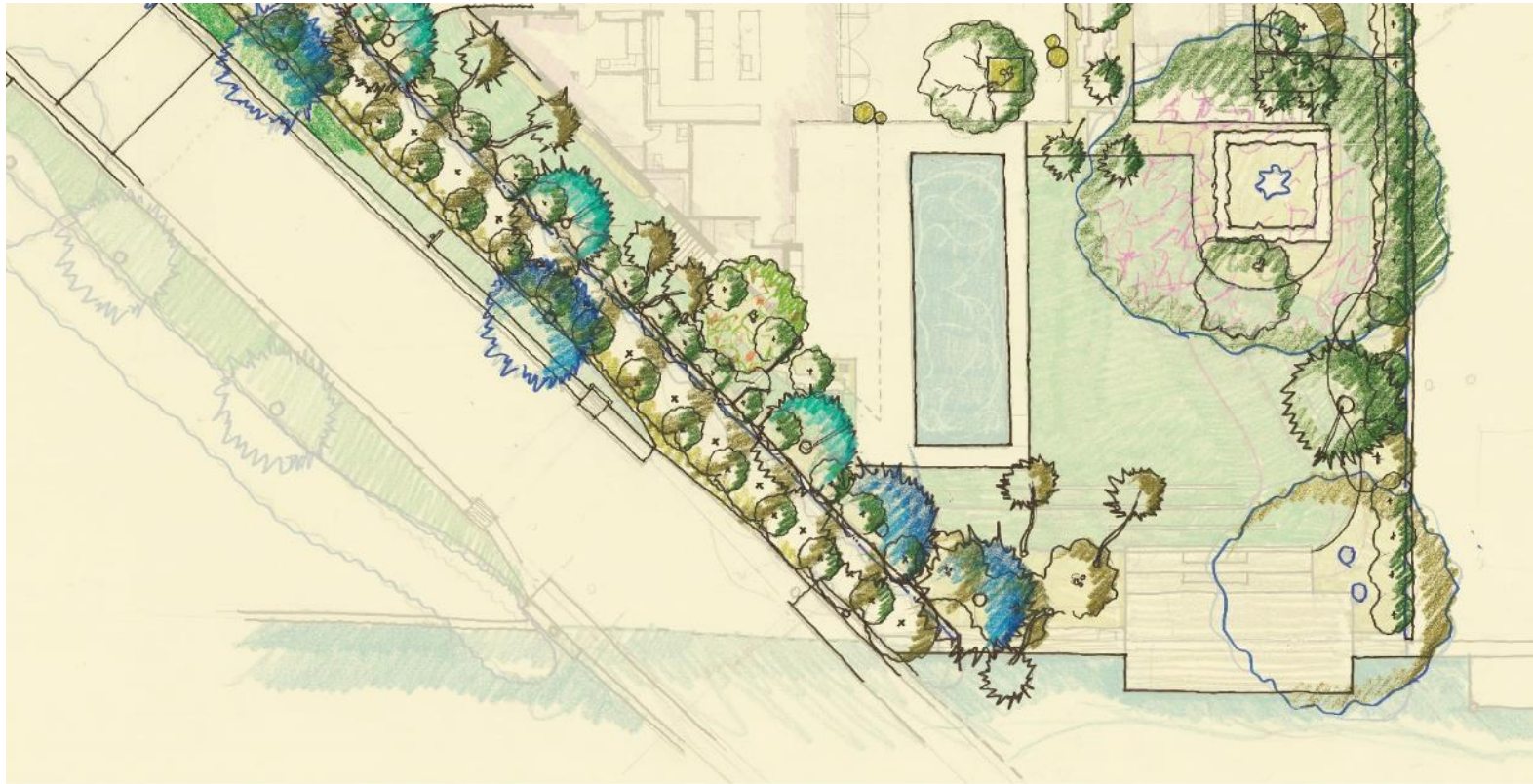
PROJECT NO:	DE / MC / MS
DRAWN BY:	JE
CHECKED BY:	JE
DATE:	12.07.2020
SCHEMATIC DESIGN	

**NORTH COLORED
ELEVATION**

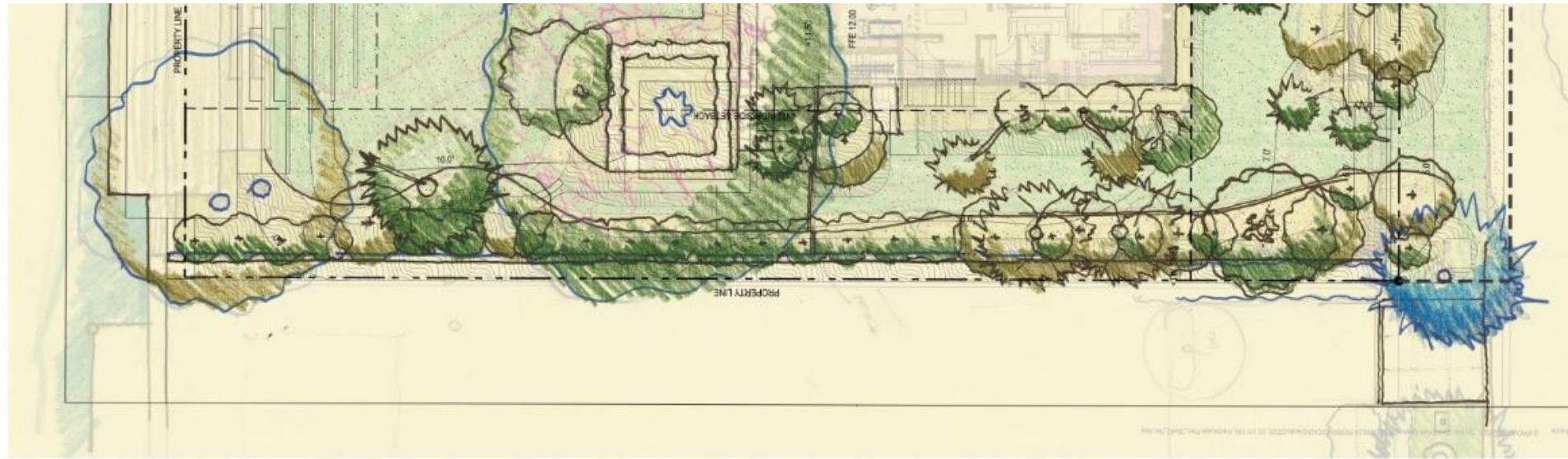
SHEET NUMBER

A4.01a

BY ARCHITECTS/ENGINEERS/PLANNERS/INTERIORS/ENVIRONMENTAL DESIGNERS/ARTISTS/SCULPTORS/AND OTHERS AS SHOWN ON THESE PLANS. ALL RIGHTS RESERVED. 11/18/2020 11:18:00 AM. 11/18/2020 11:18:00 AM. 11/18/2020 11:18:00 AM.



North Elevation



West Elevation



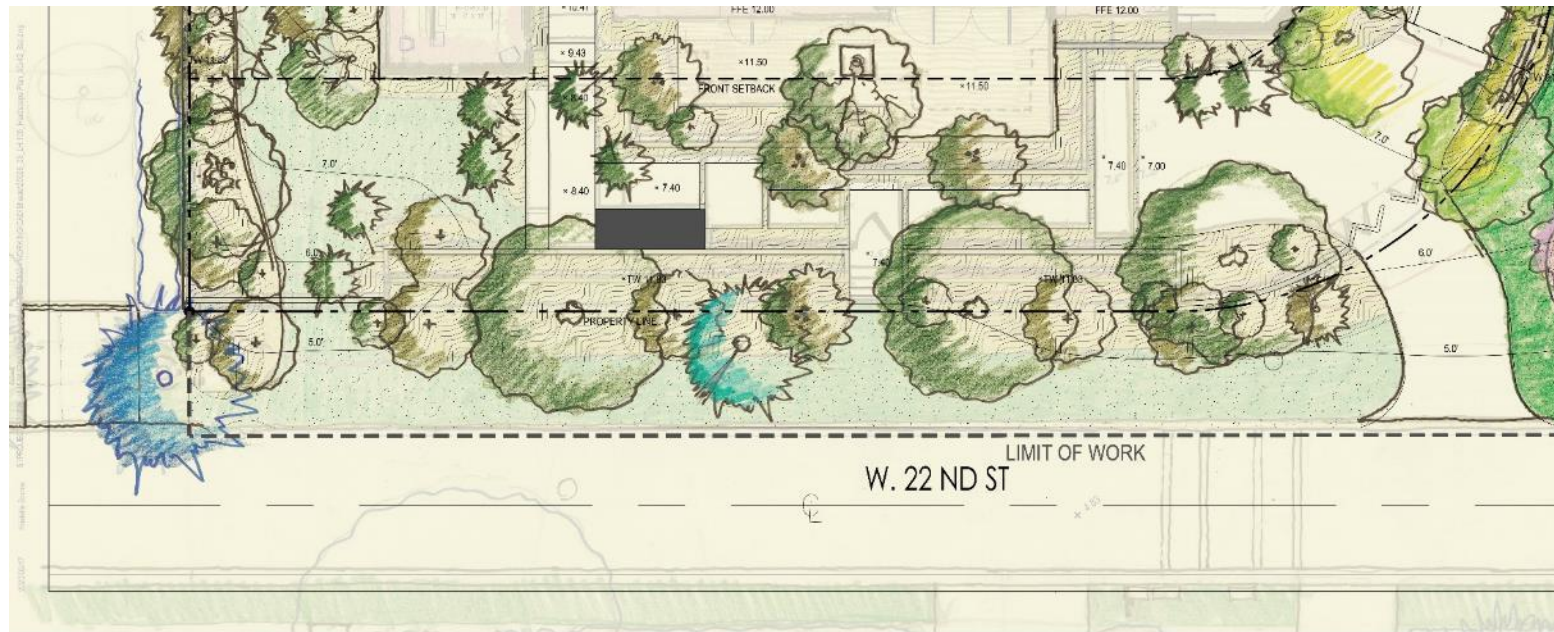


LANDSCAPE

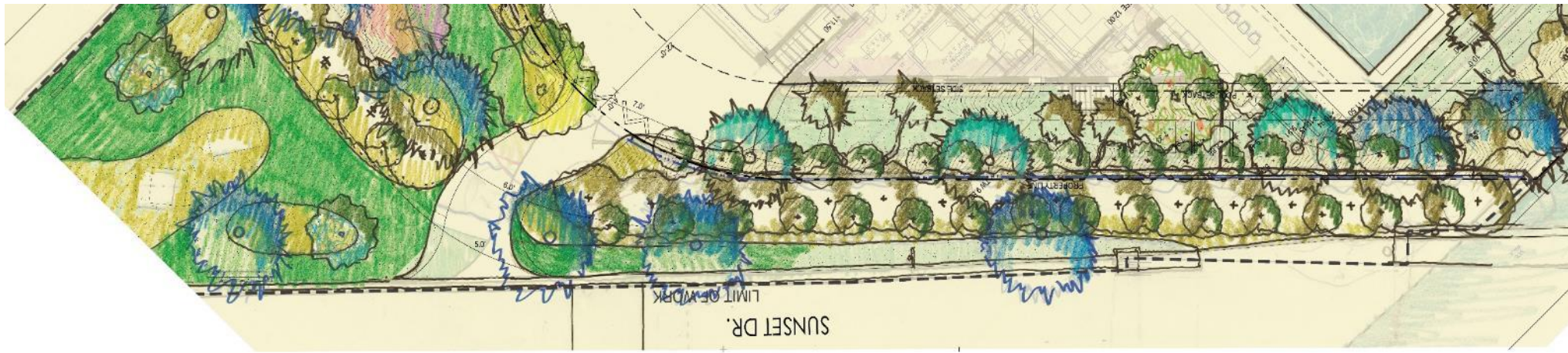
Raymond Jungles Inc.

CANOPY PLAN

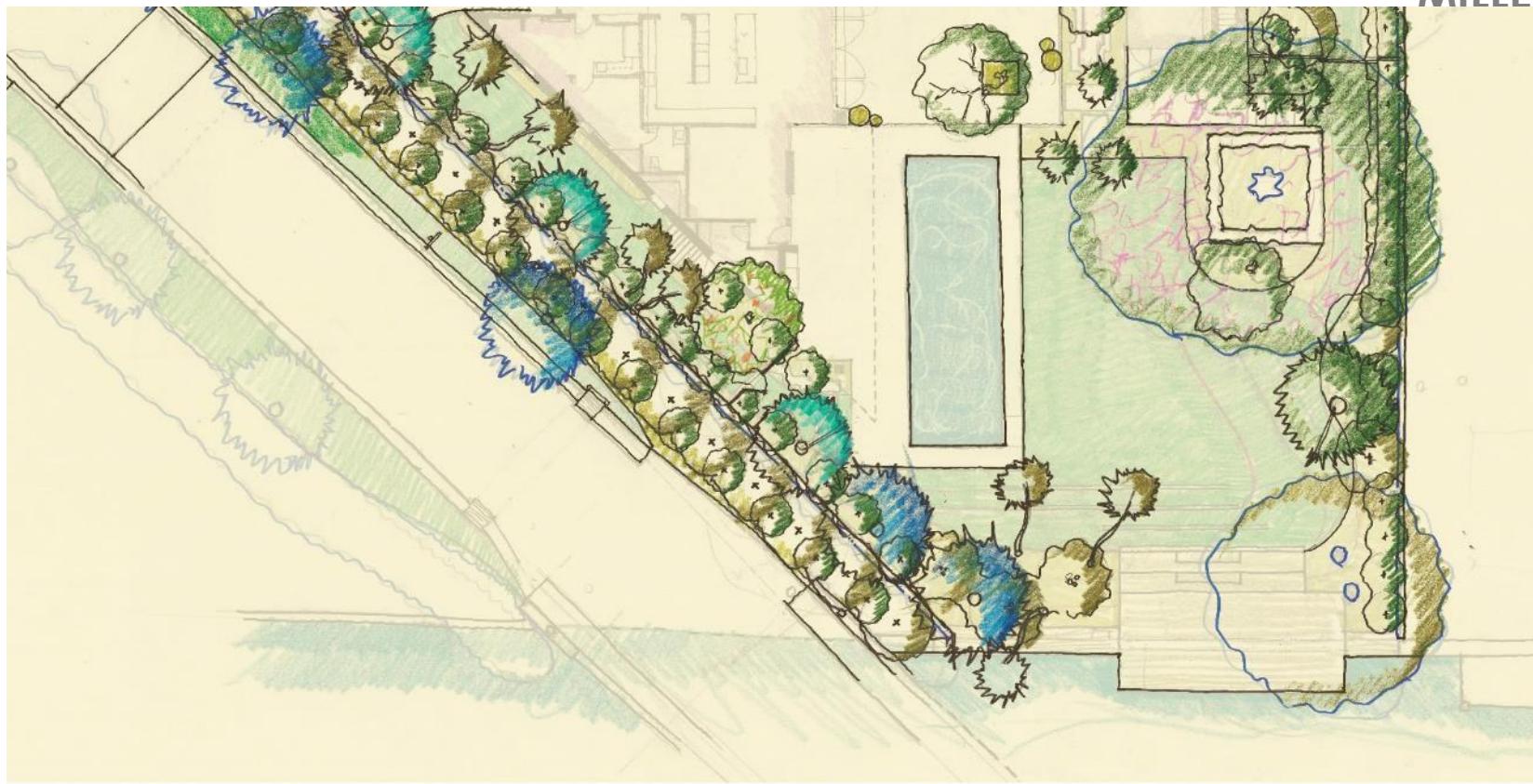




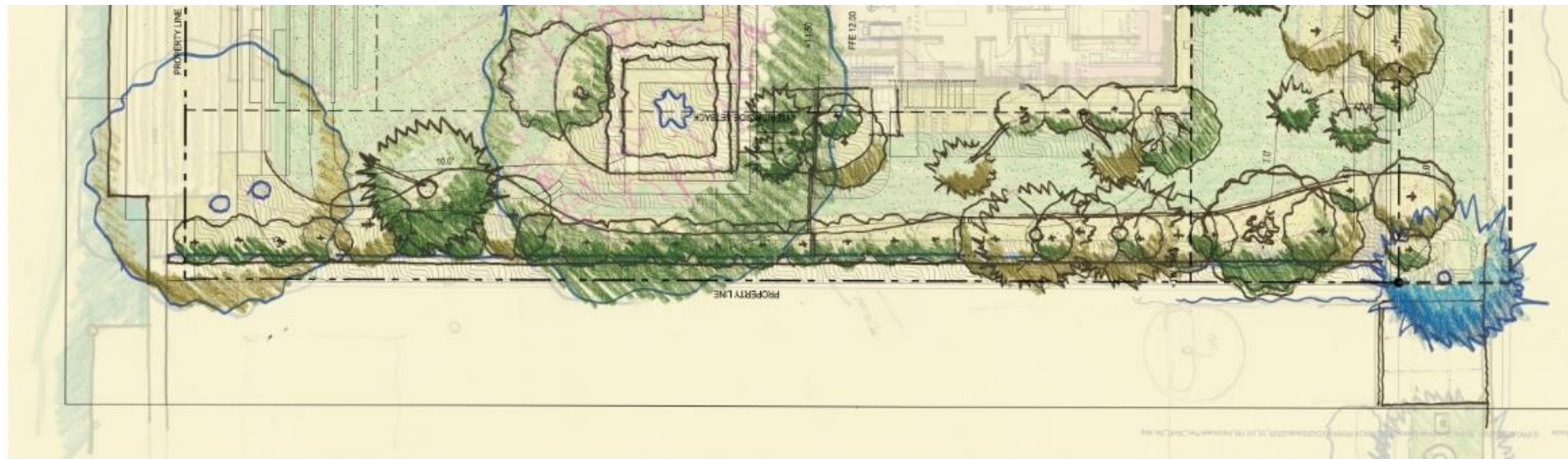
South Elevation



East Elevation



North Elevation



West Elevation



Concrete Driveway with Exposed Aggregate



Concrete Stepping Pads with Exposed Aggregate



Dominican Coralina Steps



Terraced Lawn with Oolite Steps



Exposed Concrete Walls



Dominican Coralina Deck



IPE Wood Deck



Dominican Coralina Slats



Guaiacum sanctum, Lignum Vitae



Quercus virginiana, Live Oak



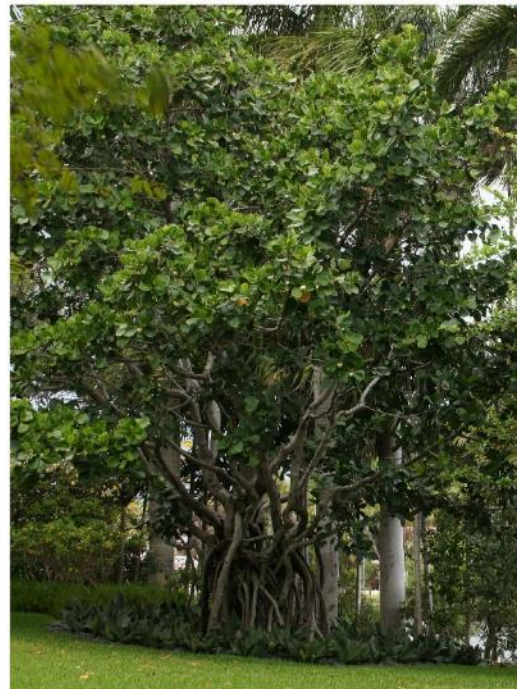
Copernicia baileyana Bailey Palm



Thrinax radiata, Florida Thatch Palm



Sabal palmetto, Sabal Palm



Clusia rosea, Autograph Tree



Attalea cohune, American Oil Palm



Myrcianthes fragrans, Simpson's Stopper



Coccoloba uvifera, Seagrape

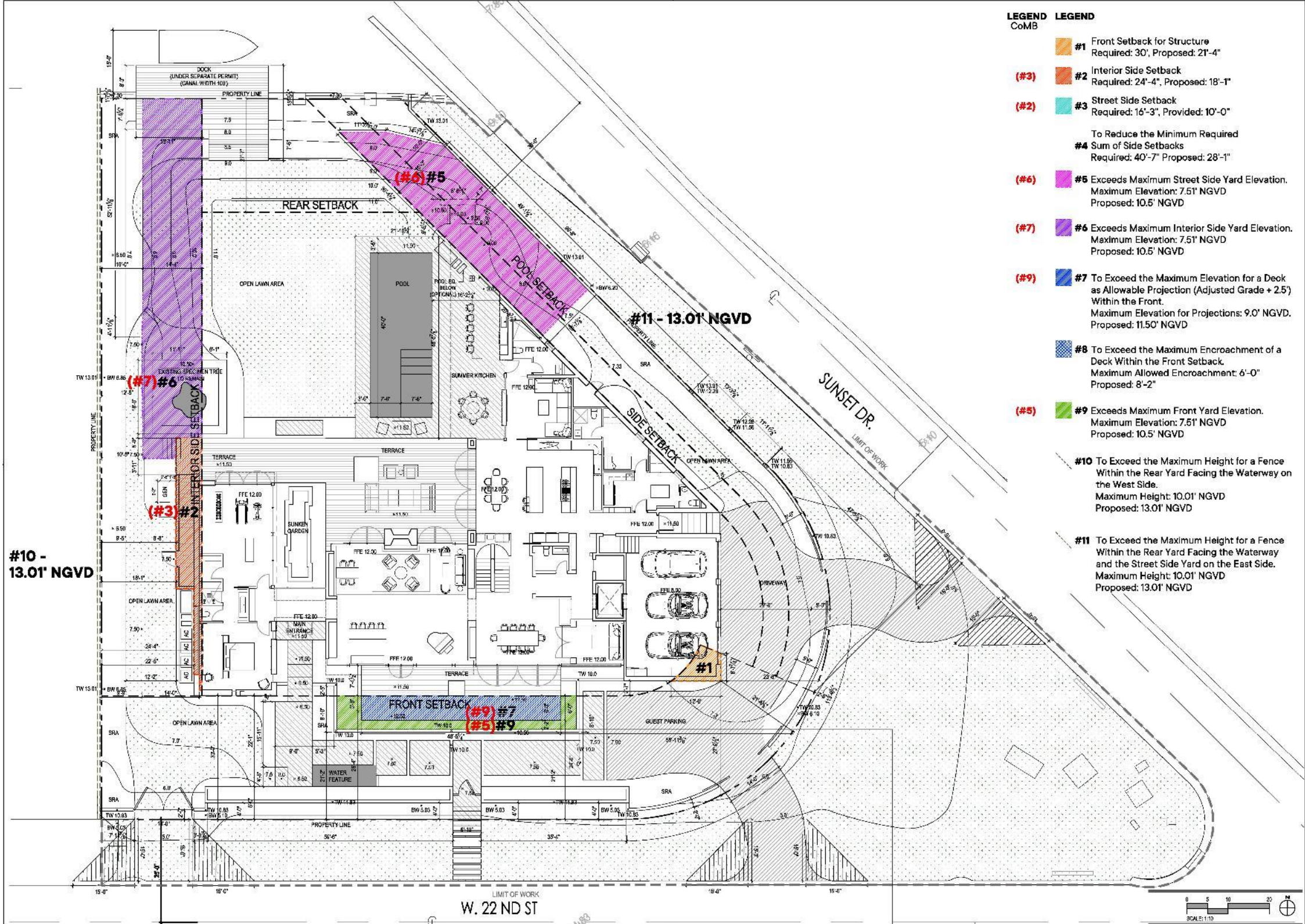


Caesalpinia granadillo, Bridalveil Tree



Cassia bakeriana, Pink Shower Cassia

VARIANCES



- LEGEND CoMB**
- #1 Front Setback for Structure Required: 30'-4", Proposed: 21'-4"
 - (#3) #2 Interior Side Setback Required: 24'-4", Proposed: 18'-1"
 - (#2) #3 Street Side Setback Required: 16'-3", Provided: 10'-0"
To Reduce the Minimum Required
#4 Sum of Side Setbacks Required: 40'-7" Proposed: 28'-1"
 - (#6) #5 Exceeds Maximum Street Side Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - (#7) #6 Exceeds Maximum Interior Side Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - (#9) #7 To Exceed the Maximum Elevation for a Deck as Allowable Projection (Adjusted Grade + 2.5') Within the Front. Maximum Elevation for Projections: 9.0' NGVD. Proposed: 11.50' NGVD
 - #8 To Exceed the Maximum Encroachment of a Deck Within the Front Setback. Maximum Allowed Encroachment: 6'-0" Proposed: 8'-2"
 - (#5) #9 Exceeds Maximum Front Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - #10 To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway on the West Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD
 - #11 To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway and the Street Side Yard on the East Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD

Miller Residence
1515 W. 22nd Street
Miami Beach, FL
1515 W. 22nd Street, Miami Beach, FL

REVISIONS

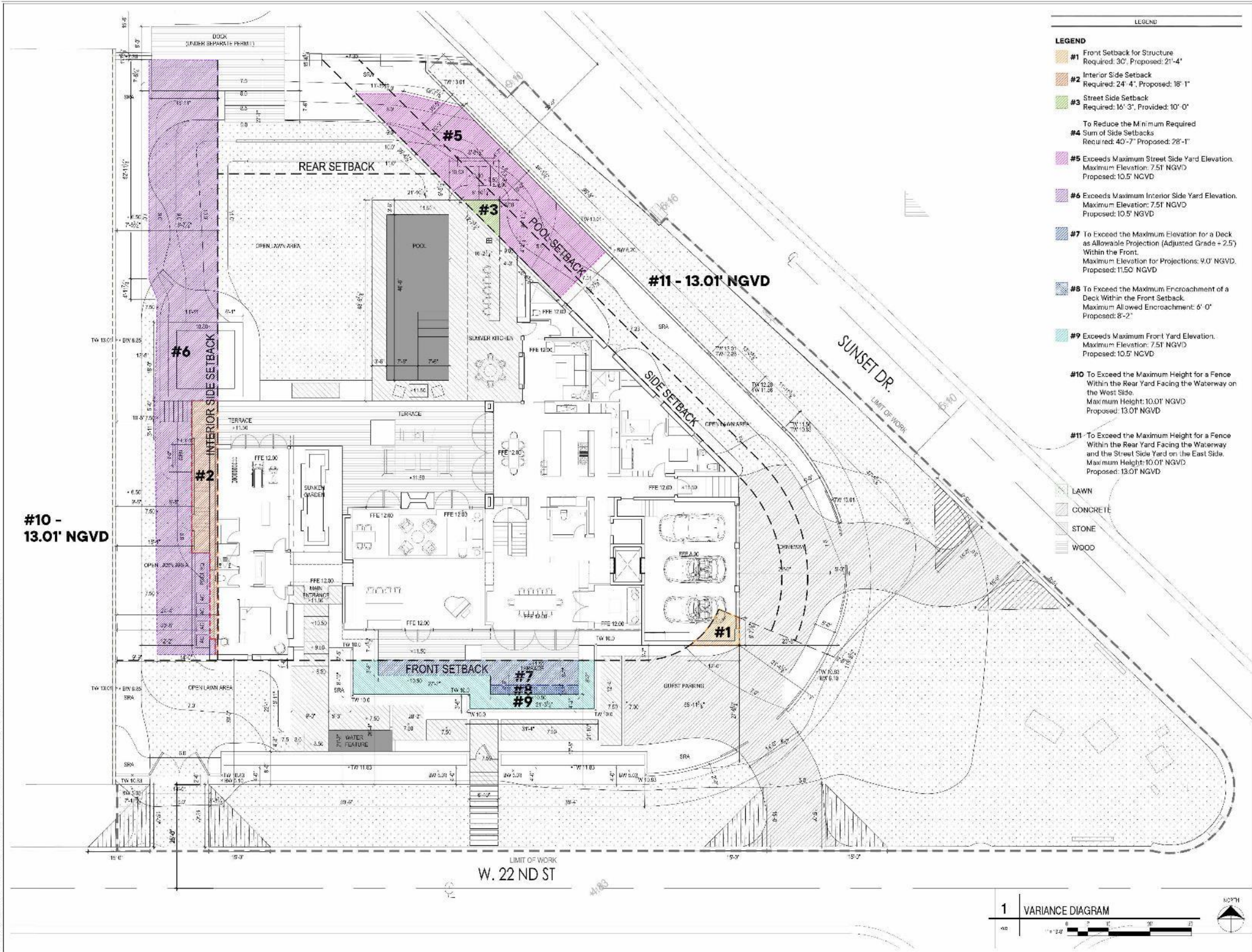
1	ISSUES	DATE	BY
2	CONVERTS		
3	SMA		
4	REVISION		

SCALE: LANDSCAPE ARCHITECT, Raymond Jungles

SHEET TITLE:
VARIANCE DIAGRAM

Scale: 1"=10'
Drawn By: KA, PB
Checked By: GCH
Date: 10/18/2020

SHEET NUMBER:
GI-005



CLIENT

MILLER RESIDENCE

1915 W 22ND ST
MIAMI BEACH, FL 33139

DESIGNER

jenifer briley + associates
architecture, interior design, planning

2550 NE 15TH AVE, SUITE 205, MIAMI, FL 33132
TEL: 305.577.9220
WWW.JENIFERBRILEY.COM

CONSULTANTS

REGISTRATION

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ARCHITECT OF RECORD
S.A.L. DE LUCA, LICENSED
ARCHITECT

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
▲	10/19/2020	DRG SUBMITAL
▲	11/29/2020	
▲	12/1/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JE

PHASE: SCHEMATIC DESIGN

PLAT DATE: 12.07.2020

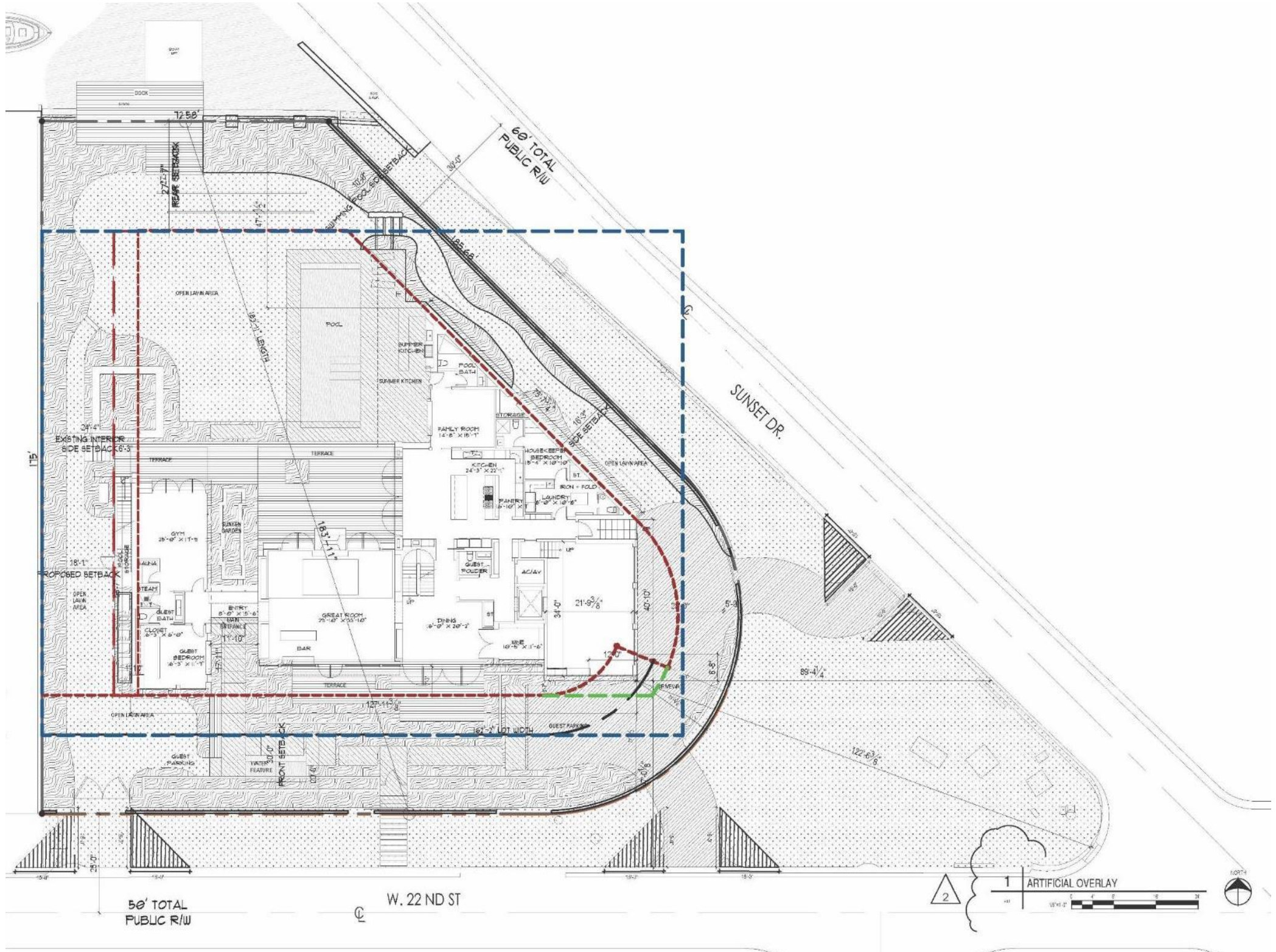
SHEET TITLE

VARIANCE DIAGRAM

SHEET NUMBER

A7.01

P:\PROJECTS\2020\2020-0000\MILLER RESIDENCE\11-19-2020\MILLER RESIDENCE_VARIANCE DIAGRAM.dwg



50' TOTAL PUBLIC R/W

W. 22 ND ST

SUNSET DR.

1 ARTIFICIAL OVERLAY

2



Sec. 142-106. - Setback requirements for a single-family detached dwelling.

(a) The setback requirements for a single-family detached dwelling in the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

(1) *Front yards:* The minimum front yard setback requirement for these districts shall be 20 feet.

a. One-story structures may be located at the minimum front yard setback line.

b. Two-story structures shall be set back a minimum of ten additional feet from the required front yard setback line.

c. [Reserved.]

d. At least 50 percent of the required front yard area shall be sodded or landscaped pervious open space. With the exception of driveways and paths leading to the building, paving may not extend any closer than five feet to the front of the building.

.....

(2) *Side yards:*

a. The sum of the required side yards shall be at least 25 percent of the lot width. $[162'2" \times 25\% = 40' 6.5"]$

b. Side, facing a street. Each required side yard facing a street shall be no less than ten percent of the lot width or 15 feet, whichever is greater. $[162'2" \times 10\% = 16' 3"]$

$40'6.5" - 16'3" = 20' 4"$ we are providing 18'1" exceeds the minimum side yard of 16'3"

....

c. Interior sides.

1. For lots greater than 60 feet in width each interior side yard shall have a minimum of ten percent of the lot width or ten feet, whichever is greater. $[162'2" \times 10\% = 16'3"]$

(3) *Rear:* The rear setback requirement shall be 15 percent of the lot depth, 20 feet minimum, 50 feet maximum. At least 70 percent of the required rear yard shall be sodded or landscaped pervious open space; when located at or below adjusted grade, the water portion of a swimming pool may count toward this requirement, when located above adjusted grade, the water portion of a swimming pool may count towards 50 percent of this requirement, provided adequate infrastructure is incorporated into the design of the pool to fully accommodate on-site stormwater retention.

(b) Allowable encroachments within required yards.

(5) *Central air conditioners, emergency generators, swimming pool equipment, and other mechanical equipment.* Accessory central air conditioners, generators, swimming pool equipment, and any other mechanical equipment, including attached screening elements, may occupy a required side or rear yard, provided that:

a. They are not closer than five feet to a rear or interior side lot line, or ten feet to a side lot line facing a street.

b. The maximum height of the equipment, including attached screening elements, shall not exceed five feet above current flood elevation, with a maximum height not to exceed ten feet above grade, as defined in [section 114-1](#), of the lot on which it is located.

Sec. 142-106. - Setback requirements for a single-family detached dwelling. (continued)

c. If visible from the right-of-way, physical and/or landscape screening shall be required.

d. Any required sound buffering equipment shall comply with the setback requirements established in subsection (5)a., above.

e. If the central air conditioning and other mechanical equipment do not conform to subsections (1), (2), (3), and (4) above, then such equipment shall follow the setbacks of the main structure.

(7) *Fences, walls, and gates.* Regulations pertaining to materials and heights for fences, walls and gates are as follows:

a. Within the required front yard, fences, walls and gates shall not exceed five feet, as measured from grade. The height may be increased up to a maximum total height of seven feet if the fence, wall or gate is set back from the front property line. Height may be increased one foot for every two feet of setback.

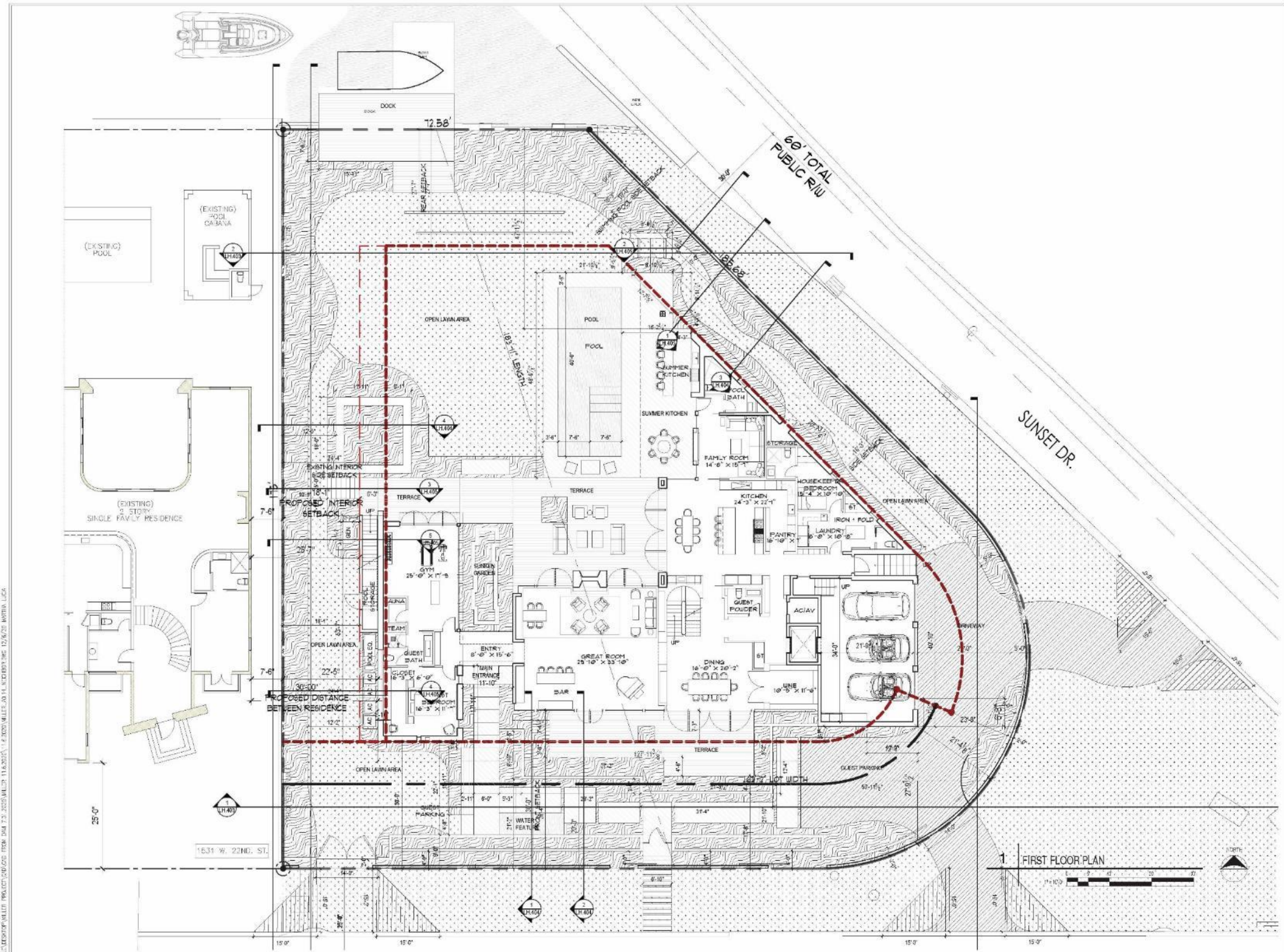
b. Within the required rear or side yard, fences, walls and gates shall not exceed seven feet, as measured from grade, except when such yard abuts a public right-of-way, waterway, or golf course, the maximum height shall not exceed five feet. In the event that a property has approval to be improved at adjusted grade, the overall height of fences, walls and gates may be measured from adjusted grade, provided that the portion of such fences, walls or gates above four feet in height consists of open pickets with a minimum spacing of three inches, unless otherwise approved by the design review board or historic preservation board, as applicable.

c. All surfaces of masonry walls and wood fences shall be finished in the same manner with the same materials on both sides to have an equal or better quality appearance when seen from adjoining properties. The structural supports for wood fences, walls or gates shall face inward toward the property.

d. Chain link fences are prohibited in the required front yard, and any required yard facing a public right-of-way or waterway (except side yards facing on the terminus of a dead end street in single-family districts) except as provided in this section and in [section 142-1134](#).

e. Barbed wire or materials of similar character shall be prohibited.

(8) *Hedges.* There are no height limitations on hedges. Hedge material must be kept neat, evenly trimmed and properly maintained. Corner visibility regulations are set forth in [section 142-1135](#).



CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

jennifer briley + associates
architecture · interior design · planning

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CONSULTANTS

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ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
#AR2011358

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ISSUE	MARK	DATE	DESCRIPTION
		10/9/2020	DRB SUBMITAL
	A	1/9/2020	
	2	12/7/2020	

PROJECT NO:	DE / MC / MS
DRAWN BY:	JB
CHECKED BY:	
PHASE:	P.L.D. DATE:
SCHEMATIC DESIGN	12.07.2020

SHEET TITLE

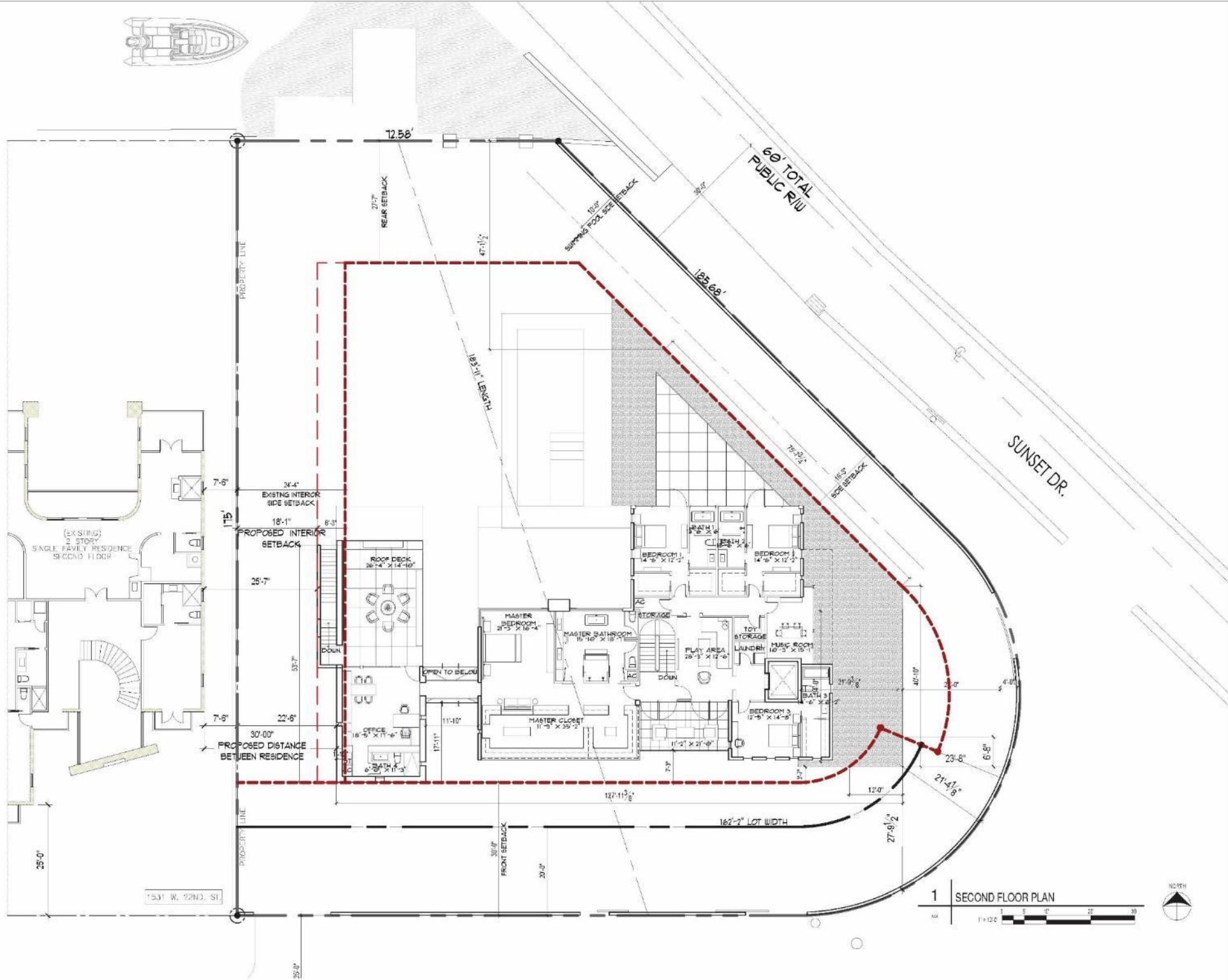
**FIRST FLOOR PLAN
NEIGHBOR
CONTEXT**

SHEET NUMBER

A0.14



PROJECT LOCATION: MILLER RESIDENCE, 1515 W 22ND ST, MIAMI BEACH, FL 33140. PROJECT NO: 1515 W 22ND ST. DATE: 12/07/2020. DRAWN BY: JB. CHECKED BY: [Blank].



CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates
architecture . interior design . planning

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TEL: 305.362.9200
info@jeniferbriley.com

CONSULTANTS

REGISTRATION

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ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
#AR0011358

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE	MARK	DATE	DESCRIPTION
		10/19/2020	DRG SUBMITTAL
	1	11/9/2020	
	2	12/7/2020	

PROJECT NO: _____
DRAWN BY: DE / MC / MS
CHECKED BY: _____
PROJECT DATE: 12.07.2020
SCHEMATIC DESIGN

SECOND FLOOR PLAN NEIGHBOR CONTEXT

SHEET NUMBER

A0.15



C:\PROJECTS\MILLER RESIDENCE\PROJECT\A0.15\A0.15_1531W22ND\A0.15_1531W22ND_02.dwg 12/27/20 10:04:48 AM

CLIENT:

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER:

jenifer briley + associates
architecture . interior design . planning

3090 NE 17th Avenue, Suite 305, Miami, Florida, 33135
Tel: 305.452.1100
jbriley@jba.com

CONSULTANTS:

REGISTRATION:

M. JENIFER BRILEY, A.A.
ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
#AR001358

TO THE BEST OF THE ARCHITECT'S OR
ENGINEER'S KNOWLEDGE, THE PLANS AND
SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES AND
THE APPLICABLE FIRE-SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	11/9/2020	
▲	12/7/2020	

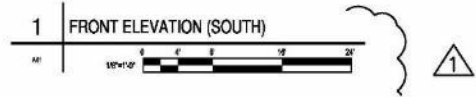
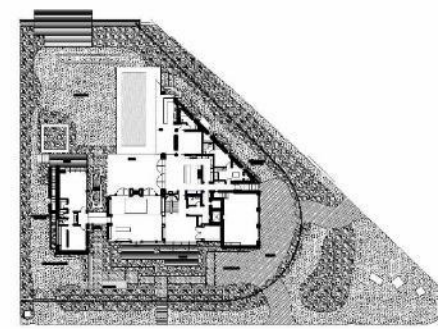
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DRAWN BY: DE / MC / MS
CHECKED BY: JB
PHASE: PLOT DATE: 11.09.2020
SCHEMATIC DESIGN

SHEET TITLE:

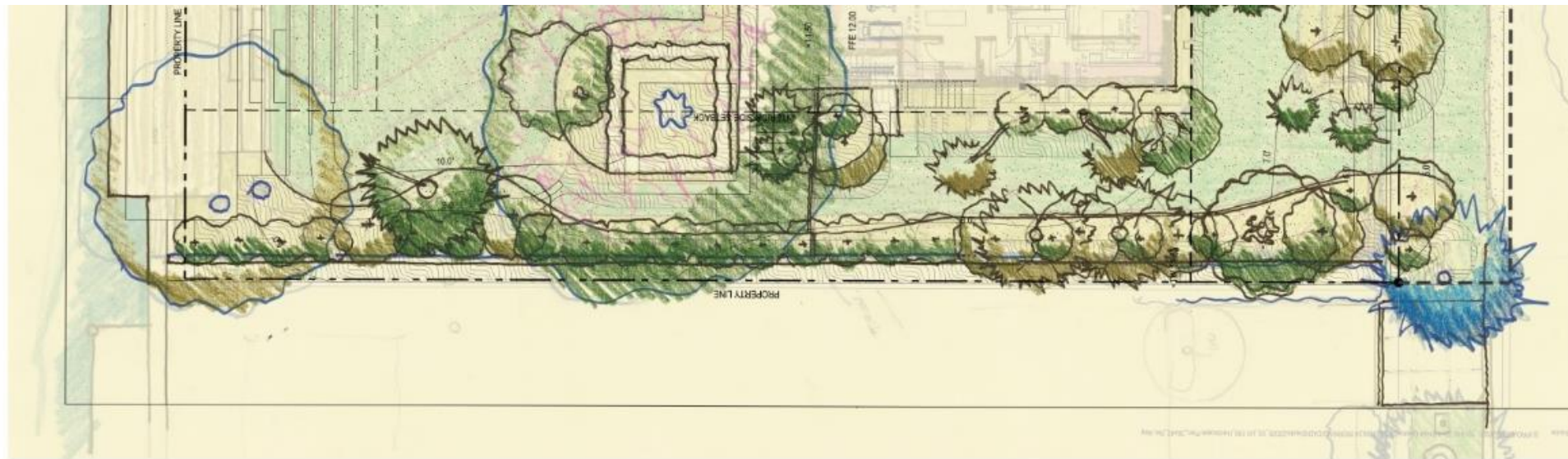
ELEVATION COMPARISON

SHEET NUMBER

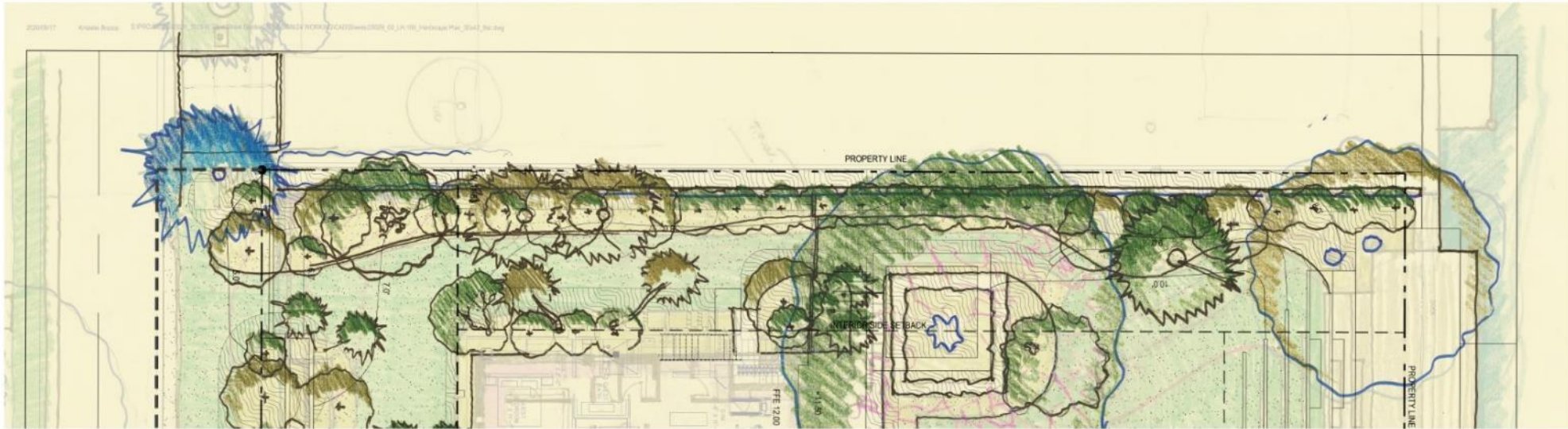
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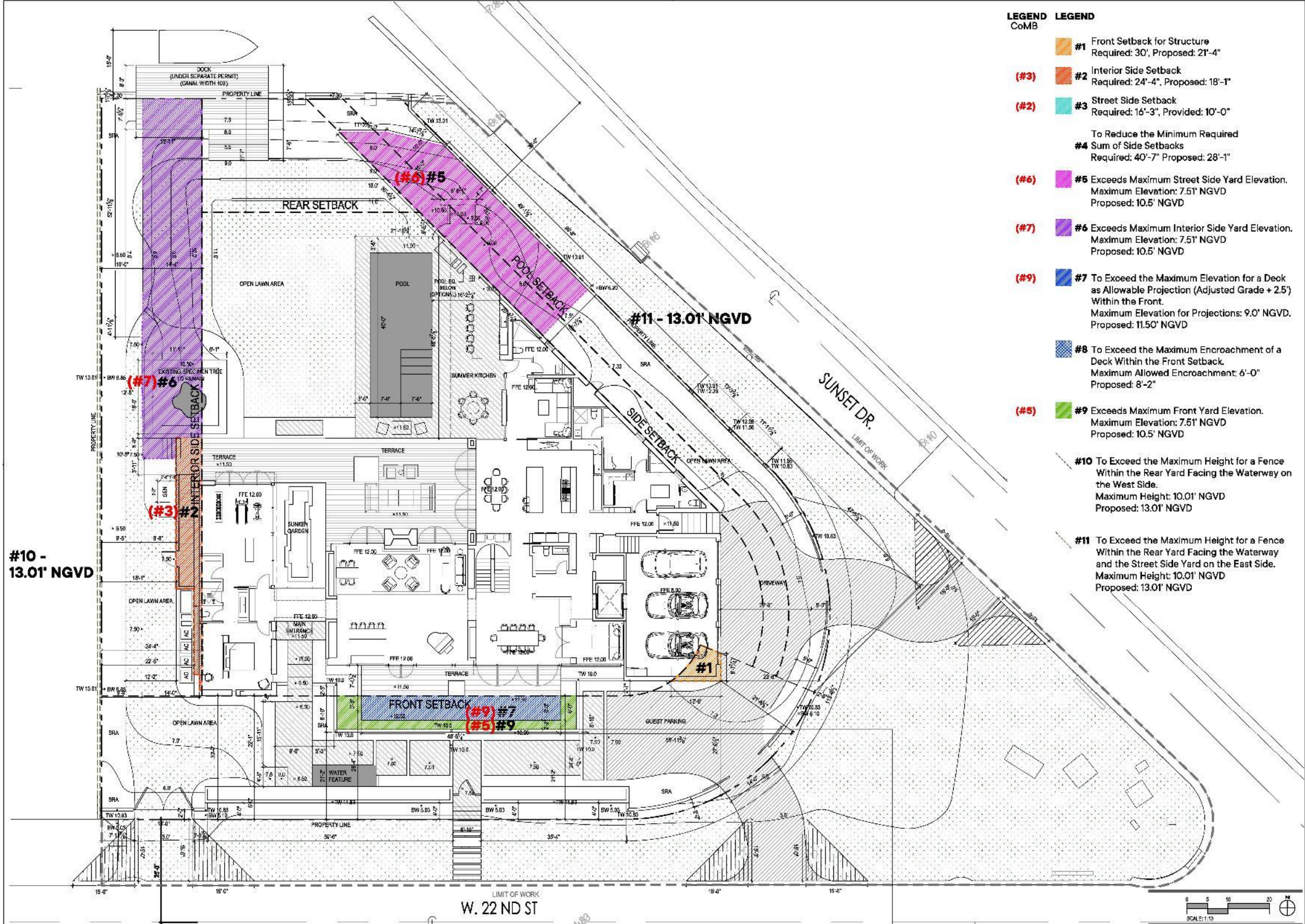
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West Elevation



1531 22nd St. – East Elevation



- LEGEND**
- CoMB**
 - #1** Front Setback for Structure Required: 30'-4", Proposed: 21'-4"
 - (#3)** **#2** Interior Side Setback Required: 24'-4", Proposed: 18'-1"
 - (#2)** **#3** Street Side Setback Required: 16'-3", Provided: 10'-0"
 To Reduce the Minimum Required
#4 Sum of Side Setbacks Required: 40'-7" Proposed: 28'-1"
 - (#6)** **#5** Exceeds Maximum Street Side Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - (#7)** **#6** Exceeds Maximum Interior Side Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - (#9)** **#7** To Exceed the Maximum Elevation for a Deck as Allowable Projection (Adjusted Grade + 2.5') Within the Front. Maximum Elevation for Projections: 9.0' NGVD. Proposed: 11.50' NGVD
 - #8** To Exceed the Maximum Encroachment of a Deck Within the Front Setback. Maximum Allowed Encroachment: 6'-0" Proposed: 8'-2"
 - (#5)** **#9** Exceeds Maximum Front Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
 - #10** To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway on the West Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD
 - #11** To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway and the Street Side Yard on the East Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS

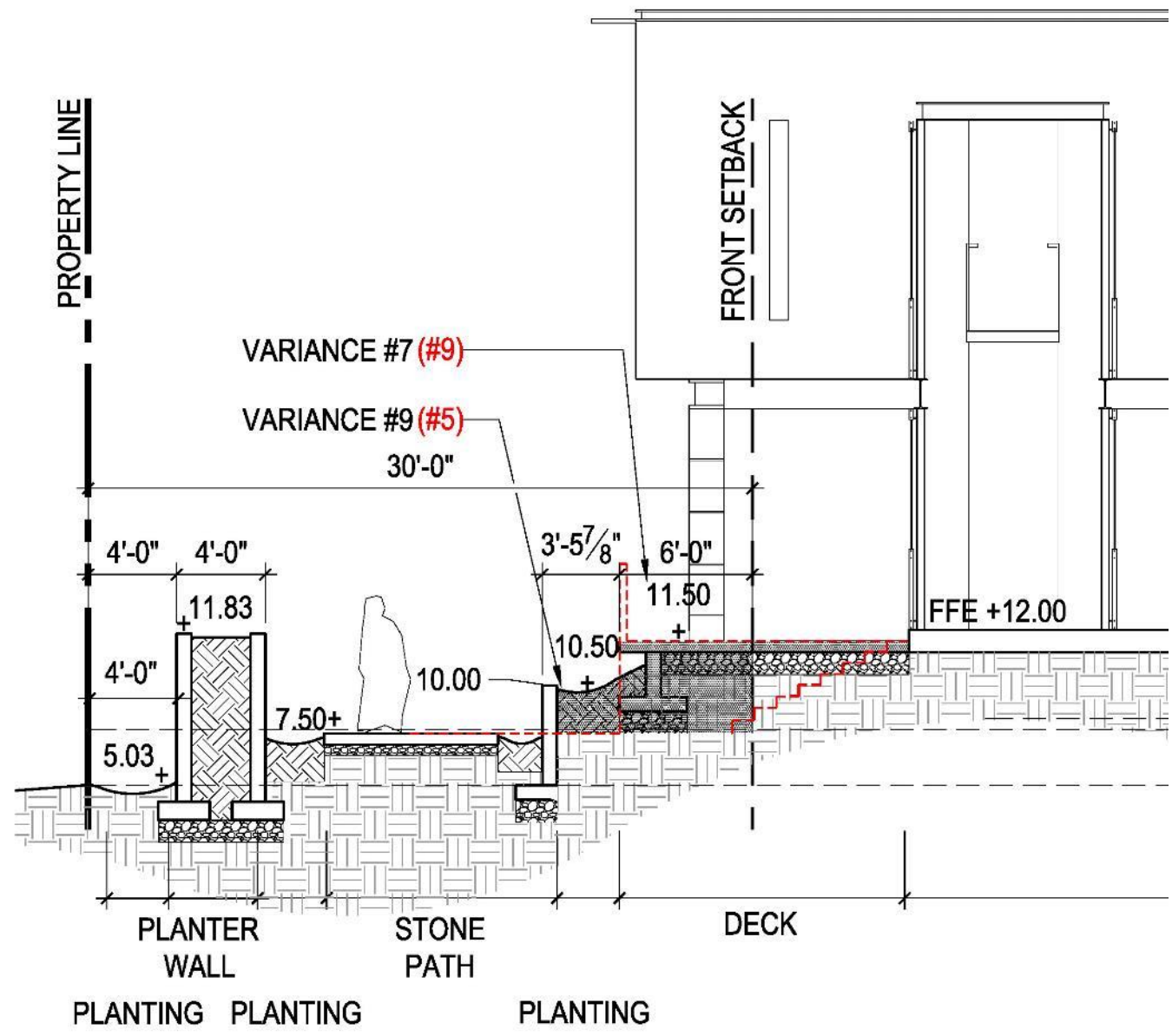
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2	CONVERTS		
3	SMA		
4	REVISION		

SCALE: LANDSCAPE ARCHITECT, Raymond Jungles Inc

SHEET TITLE:
 VARIANCE DIAGRAM

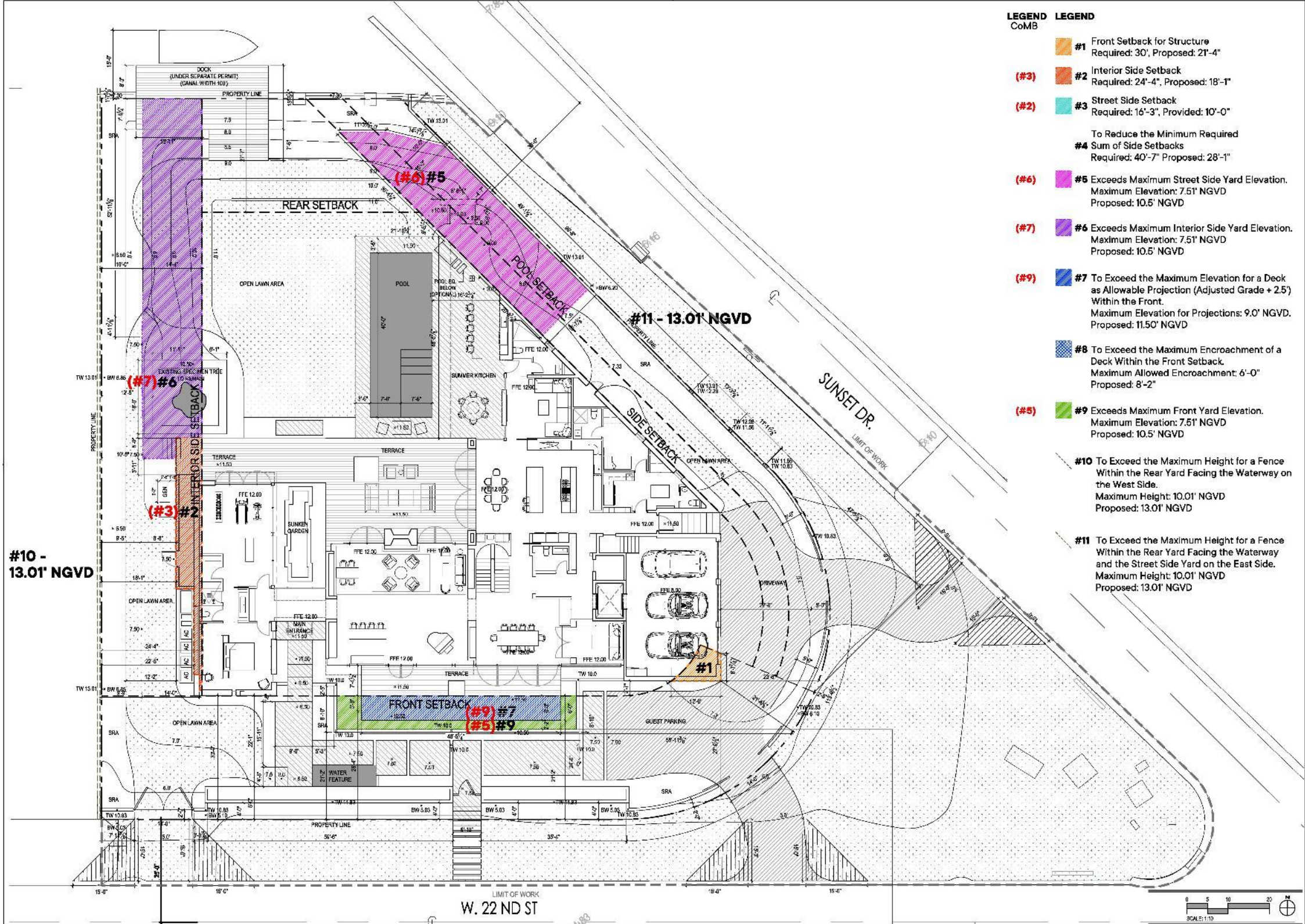
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 Drawn By: KJ, PB
 Checked By: GCH
 Date: 10/18/2020

SHEET NUMBER:
GI-005



Front Deck Section





- LEGEND CoMB**
- #1 Front Setback for Structure Required: 30', Proposed: 21'-4"
 - (#3) #2 Interior Side Setback Required: 24'-4", Proposed: 18'-1"
 - (#2) #3 Street Side Setback Required: 16'-3", Provided: 10'-0"
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Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS

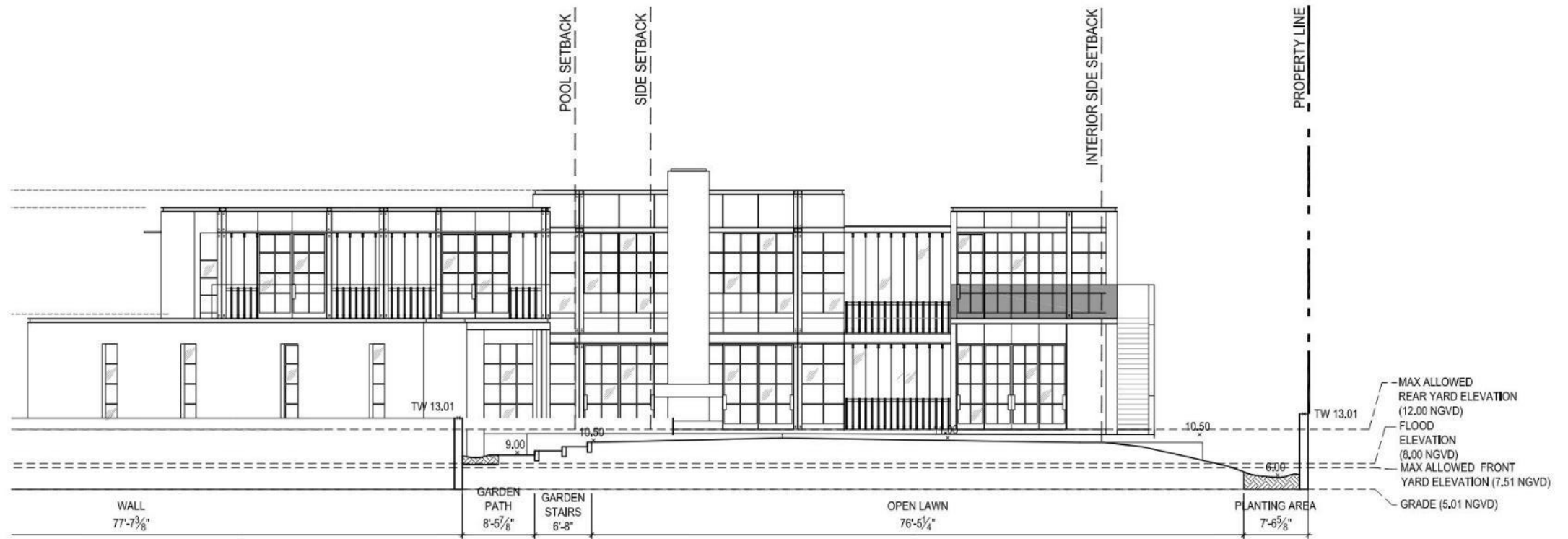
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2	CONVERTS		
3	SMA		
4	REVISION		

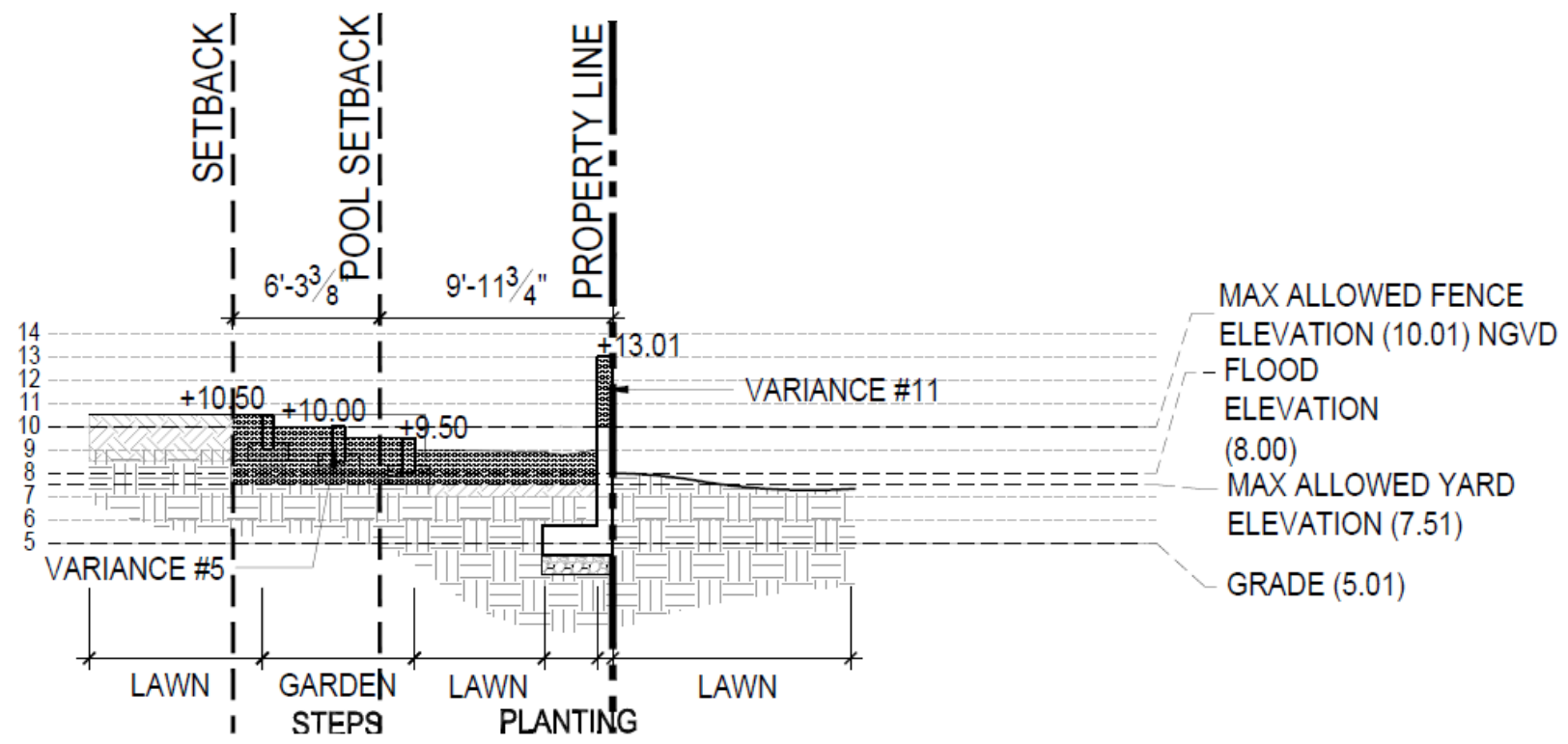
SCALE: LANDSCAPE ARCHITECT, Raymond Jungles Inc.

SHEET TITLE:
 VARIANCE DIAGRAM

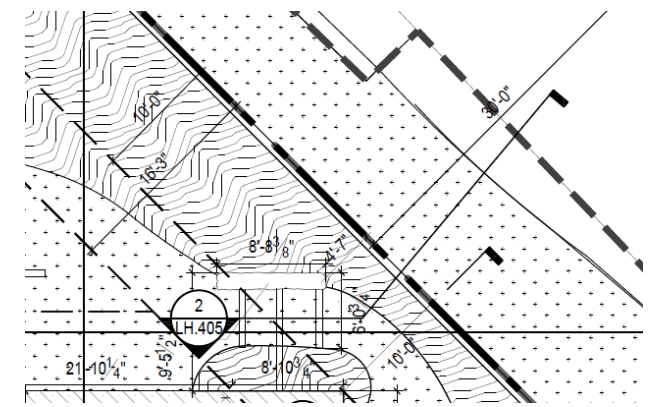
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 Checked By: GCH
 Date: 10/18/2020

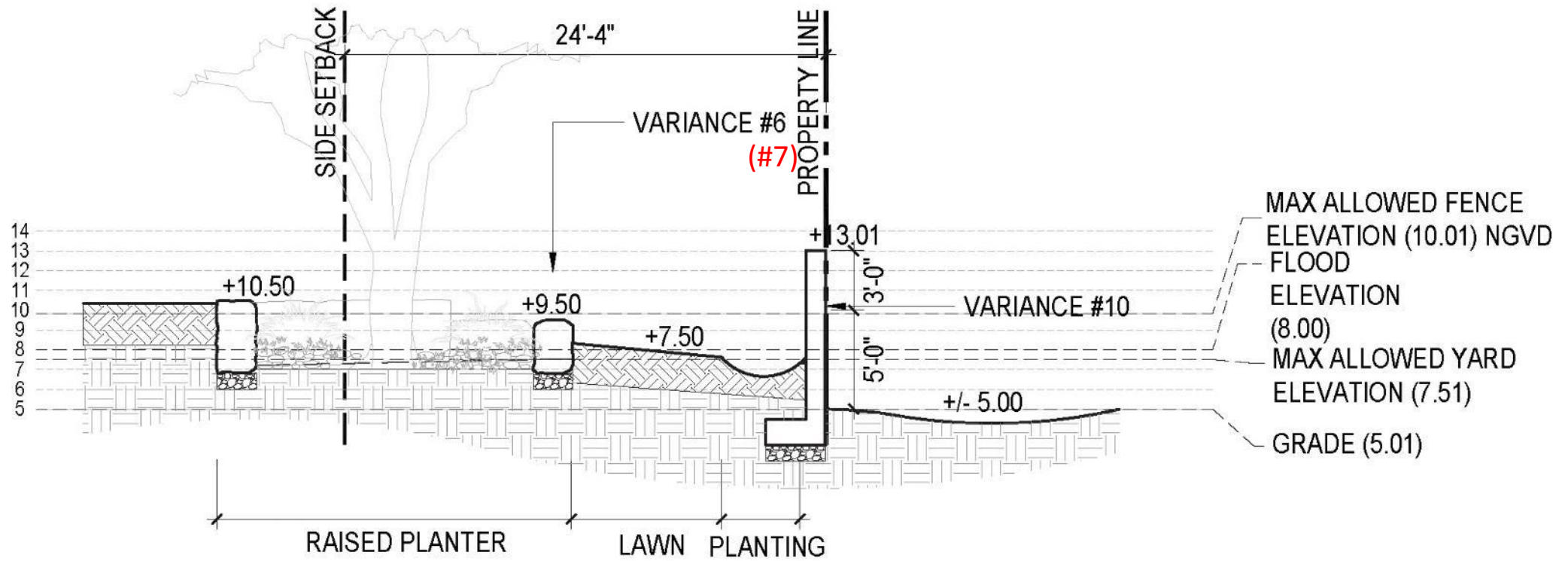
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GI-005



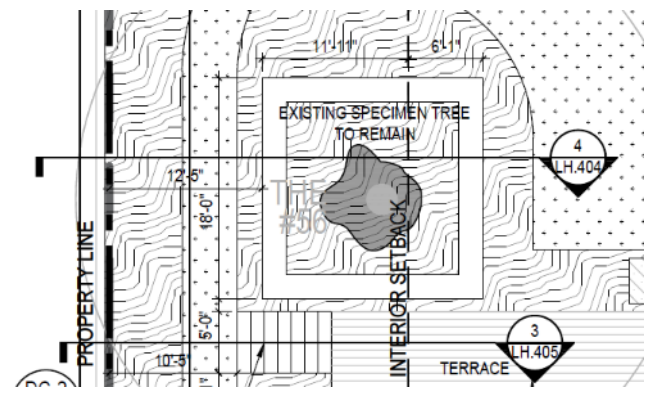


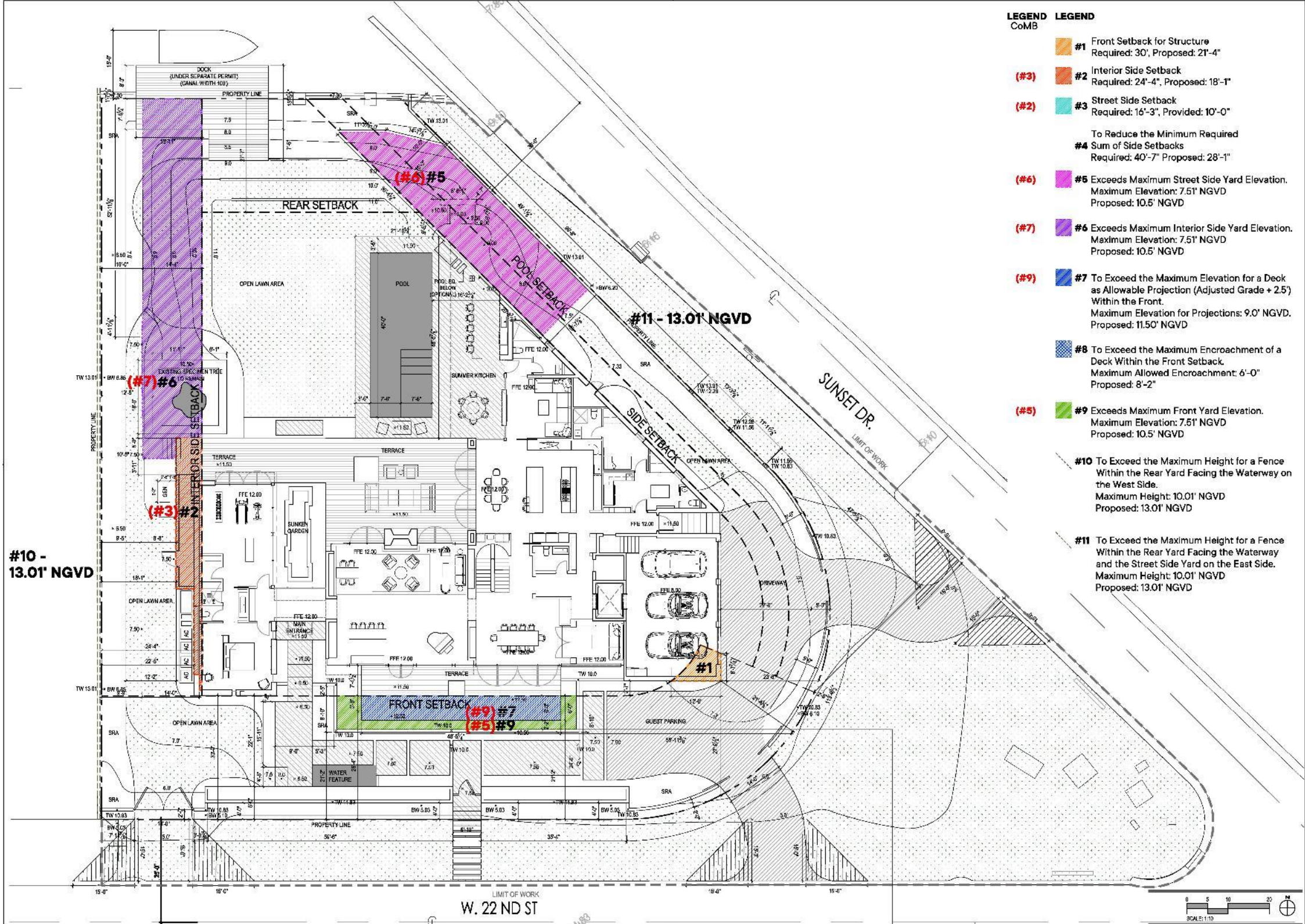
East Side Yard Section





West Side Yard Section





- LEGEND CoMB**
- #1 Front Setback for Structure Required: 30', Proposed: 21'-4"
 - (#3) #2 Interior Side Setback Required: 24'-4", Proposed: 18'-1"
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Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

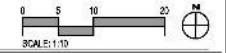
REVISIONS
 1. 12/2022 DRE CORRECTS
 2. 10/2022 SRA SUBMITTA

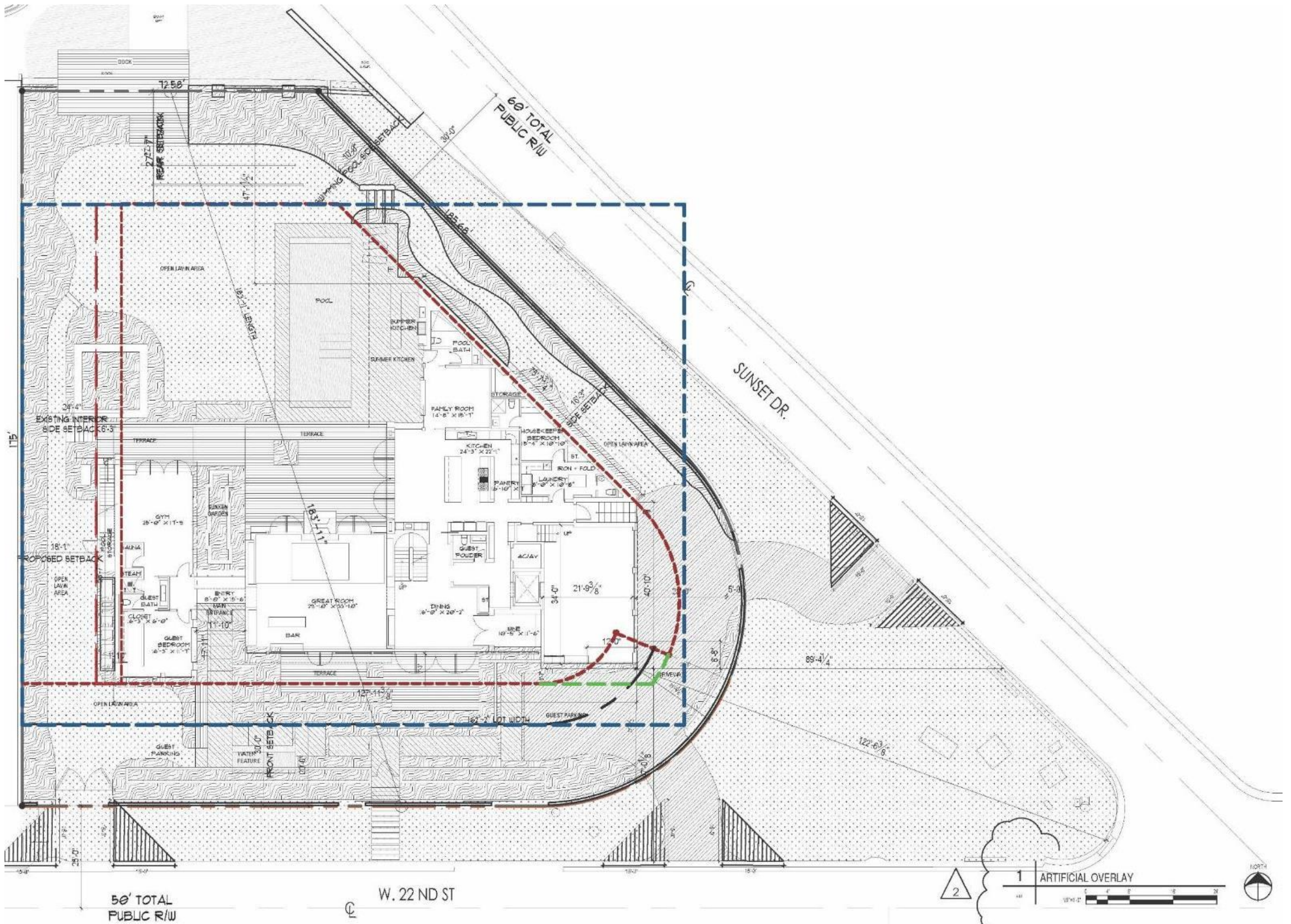
SCALE
 LANDSCAPE ARCHITECT, Registered Professional

SHEET TITLE:
 VARIANCE DIAGRAM

Scale: 1"=10'
 Drawn By: KJ, PB
 Checked By: GCH
 Date: 10/18/2020

SHEET NUMBER
 GI-005





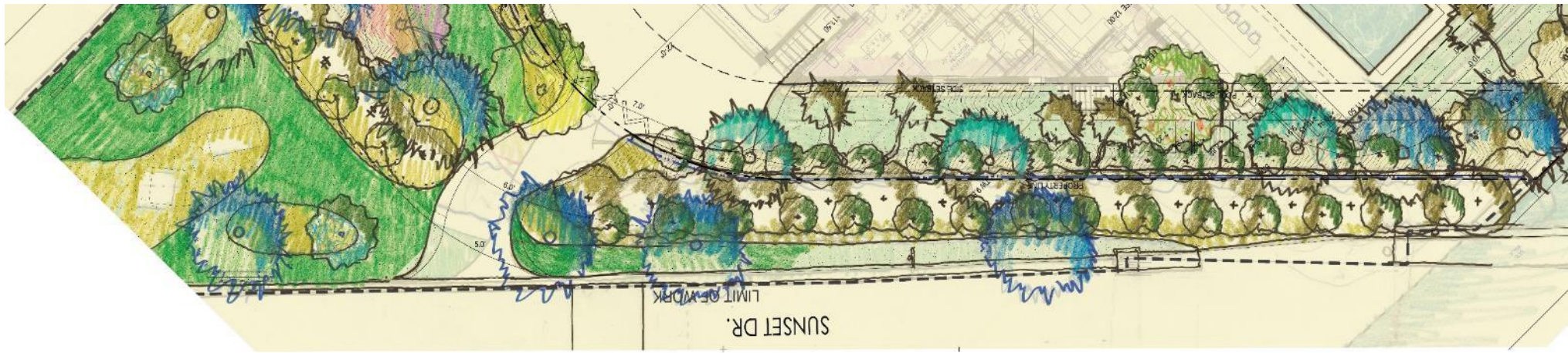
50' TOTAL PUBLIC R/W

W. 22 ND ST

1 ARTIFICIAL OVERLAY

2



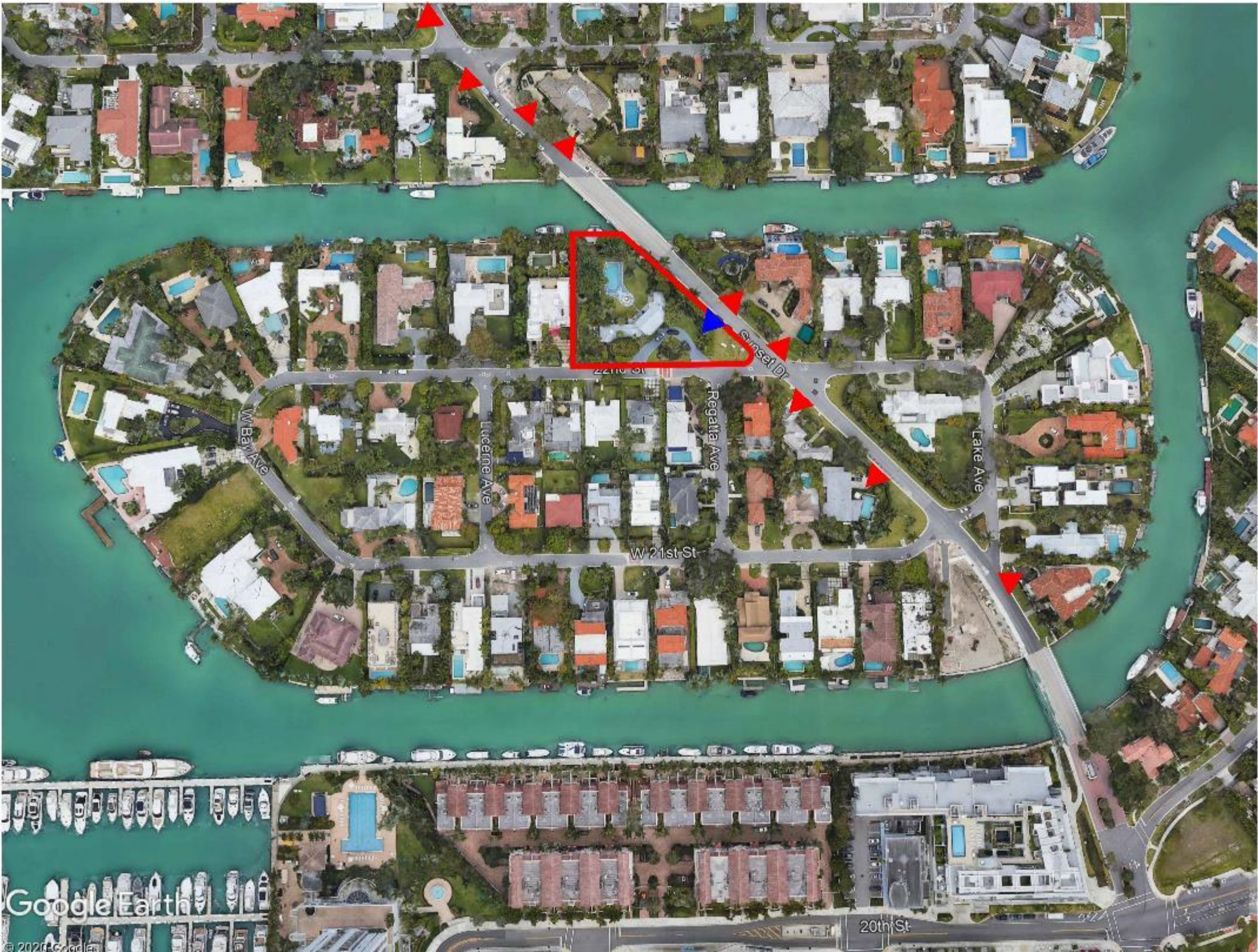


East Elevation

CANOPY PLAN











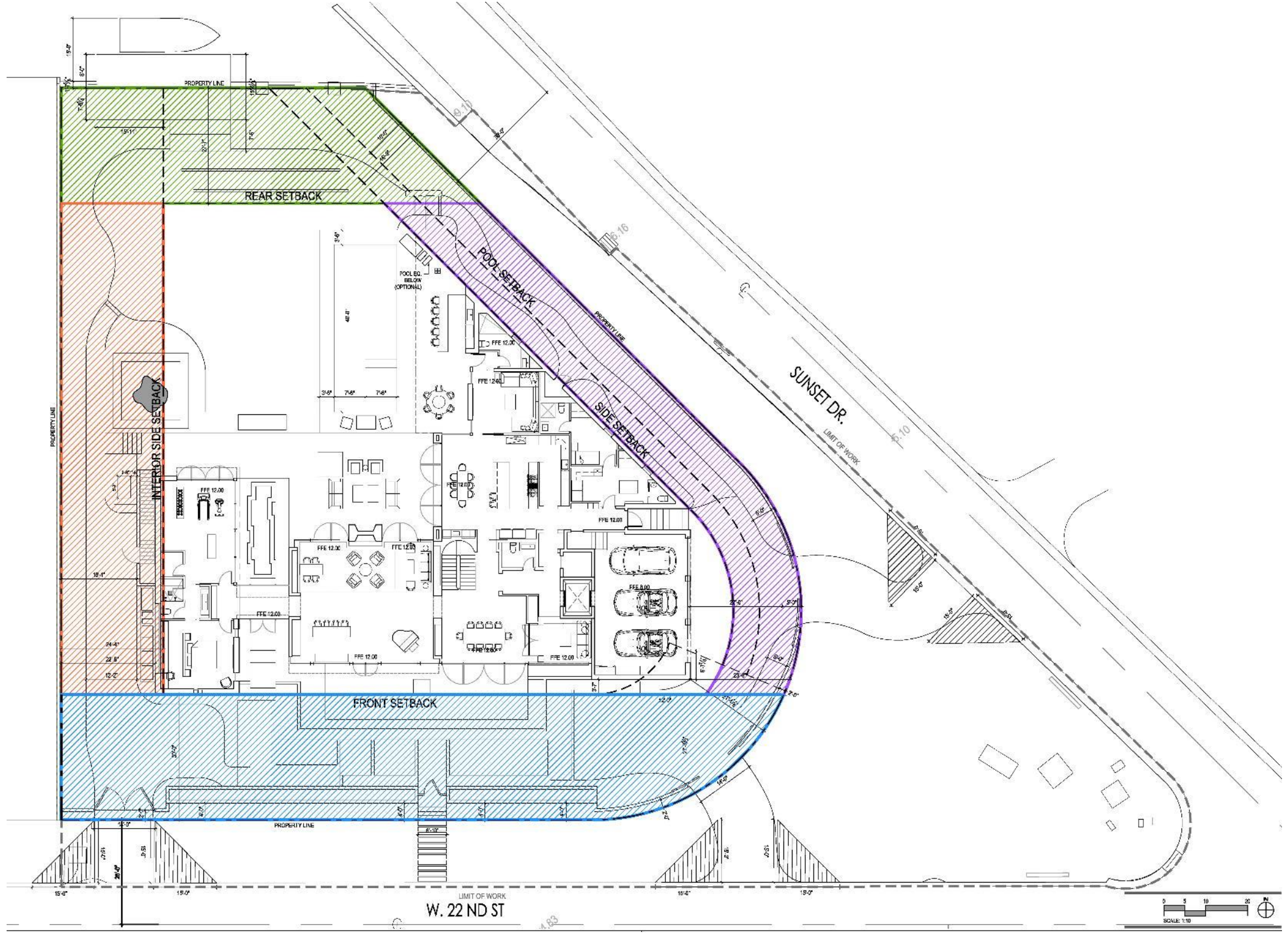




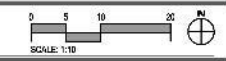


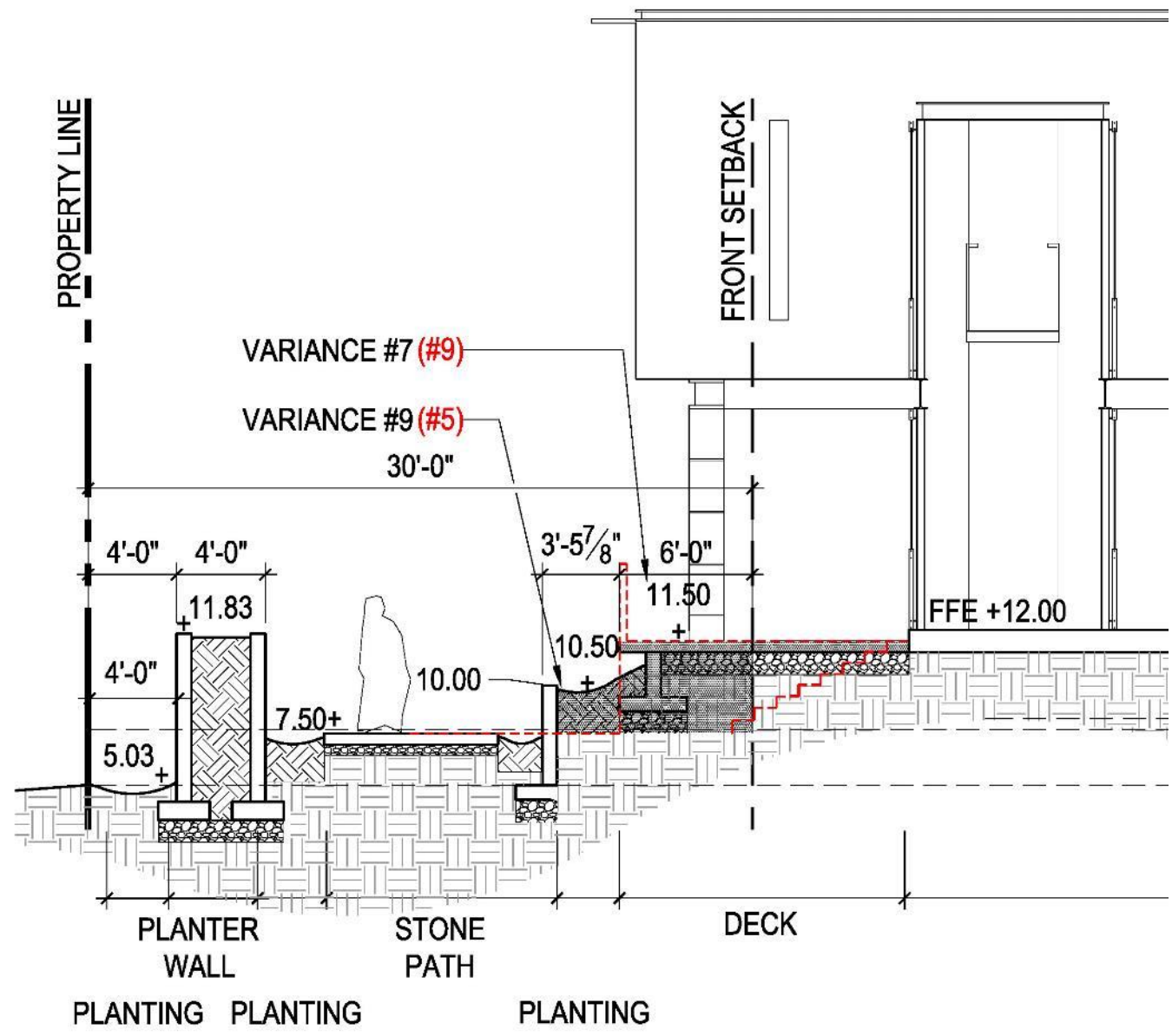






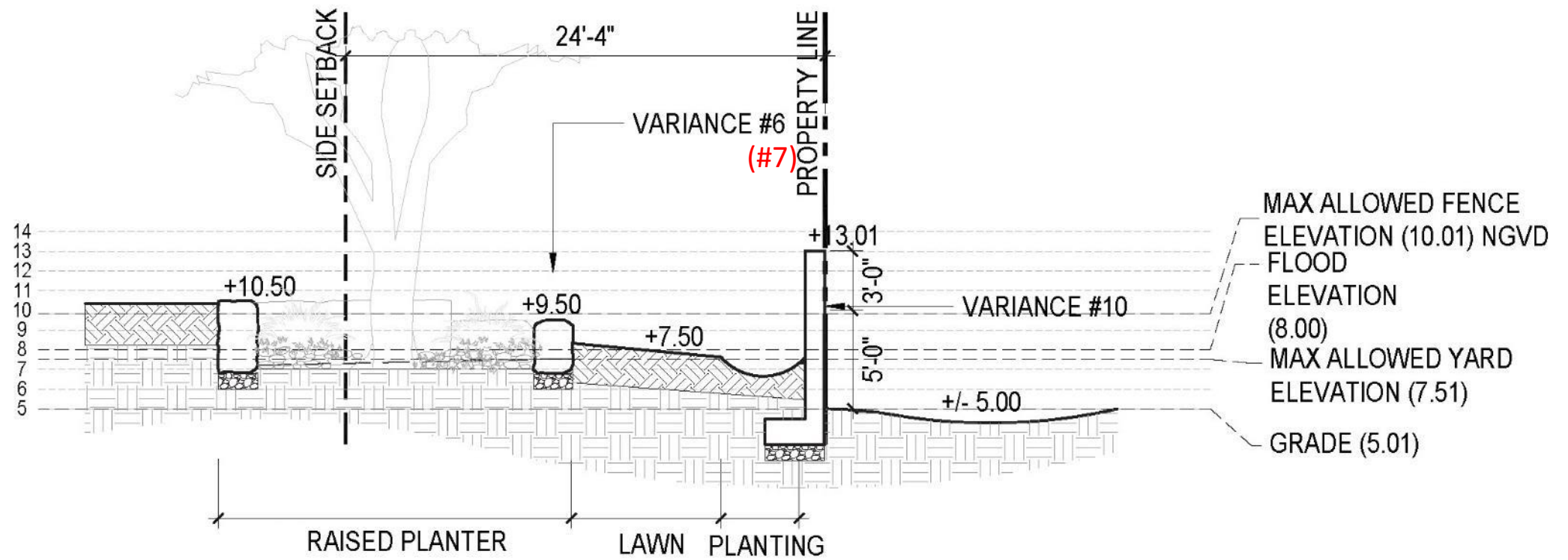
W. 22 ND ST



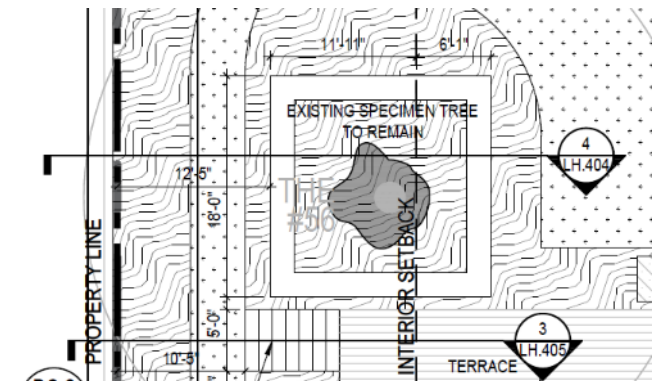


Front Deck Section





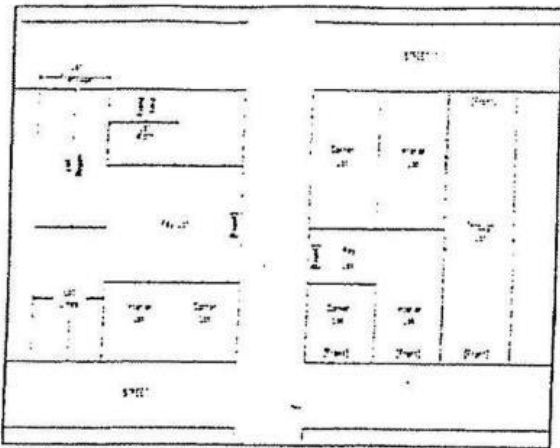
West Side Yard Section



Lot front means the front of a lot shall be construed to be the portion nearest the street. For corner lots, the lot front shall be the narrowest portion abutting the street unless determined otherwise by the city.

Lot frontage means the distance for which the front lot line and the street line are coincident.

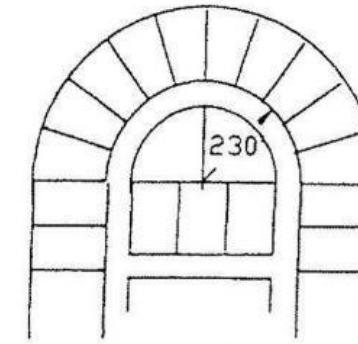
Lot width means the level distance between the side lot lines measured at the required front yard setback line and parallel to the front street line.



ILLUSTRATIONS OF LOT DEFINITIONS

However, in single-family districts, the lot width shall be the average of the front and rear lot widths if a lot meets the following criteria means:

- (1) Side lot lines are not parallel.
- (2) The front lot line is a least 30 feet wide.
- (3) The lot fronts on a turning circle of a cul-de-sac or a circular street with a radius of less than 230 feet.



CIRCULAR STREET WITH RADIUS OF 230'
(NOT TO SCALE)

yard means an open area, other than a court, which is on the same lot as a building and which is unoccupied and unobstructed from the ground upward, except as otherwise provided in these regulations. The words "required yards" or "minimum required yards" and "minimum yards" includes the word "setback."

Yard, front means a yard extending the full width of the lot between the main building and the front lot line.

Yard, rear means a yard extending the full width of the lot between the main building and the rear lot line.

Yard, required means the minimum distance allowed between a lot line and a building or structure excluding allowable encroachments.

Yard, side means a yard between the building and the adjacent side of the lot, and extending from the front yard to the rear yard thereof.

(13) *Projections*. Every part of a required yard shall be open to the sky, except as authorized by these land development regulations. The following may project into a required yard for a distance not to exceed 25 percent of the required yard up to a maximum projection of six feet, unless otherwise noted.

f. Porches, platforms and terraces up to 30 inches above the adjusted grade elevation of the lot, as defined in chapter 114. Such projections and encroachments may be located up to the first habitable floor elevation and include stairs, steps, ADA-compliant ramps and related walkways, not exceeding five feet in width, which provide access to all porches, platforms, terraces and the first floor when elevated to meet minimum flood elevation requirements, including freeboard.

Sec. 142-105. - Development regulations and area requirements.*(5) Lot coverage (building footprint)*

....

d. *Garages.* A maximum of 500 square feet of garage space shall not be counted in lot coverage if the area is limited to garage, storage and other non-habitable uses and the garage conforms to the following criteria:

1. The garage is one story in height and not covered by any portion of enclosed floor area above. Enclosed floor area shall be as defined in section 114-1.

2. The vehicular entrance(s) of the garage is not part of the principal facade of the main house.

3. The garage is constructed with a vehicular entrance(s) perpendicular to and not visible from the right-of-way, or the entrance(s) is set back a minimum of five feet from the principal facade of the main house when facing a right-of-way.

Sec. 142-106. - Setback requirements for a single-family detached dwelling.*(2) side yards:*

a. The sum of the required side yards shall be at least 25 percent of the lot width.

b. Side, facing a street.

1. Each required side yard facing a street shall be no less than ten percent of the lot width or 15 feet, whichever is greater.

c. Interior sides.

1. For lots greater than 60 feet in width each interior side yard shall have a minimum of ten percent of the lot width or ten feet, whichever is greater.

d. Two-story side elevations located parallel to a side property line shall not exceed 50 percent of the lot depth, or 60 feet, whichever is less, without incorporating additional open space, in excess of the minimum required side yard, directly adjacent to the required side yard.

....

(5) Central air conditioners, emergency generators, swimming pool equipment, and other mechanical equipment. Accessory central air conditioners, generators, swimming pool equipment, and any other mechanical equipment, including attached screening elements, may occupy a required side or rear yard, provided that:

a. They are not closer than five feet to a rear or interior side lot line, or ten feet to a side lot line facing a street.

b. The maximum height of the equipment, including attached screening elements, shall not exceed five feet above current flood elevation, with a maximum height not to exceed ten feet above grade, as defined in [section 114-1](#), of the lot on which it is located.

c. If visible from the right-of-way, physical and/or landscape screening shall be required.

d. Any required sound buffering equipment shall comply with the setback requirements established in subsection (5)a., above.

e. If the central air conditioning and other mechanical equipment do not conform to subsections (1), (2), (3), and (4) above, then such equipment shall follow the setbacks of the main structure.



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 2/25/2021

Property Information	
Folio:	02-3228-001-1980
Property Address:	1531 W 22 ST Miami Beach, FL 33140-4510
Owner	ANDRZEJ SZYMANSKI TRS
Mailing Address	1531 W 22 ST MIAMI BEACH, FL 33140 USA
PA Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	7 / 8 / 2
Floors	2
Living Units	1
Actual Area	8,555 Sq Ft
Living Area	6,986 Sq.Ft
Adjusted Area	7,147 Sq.Ft
Lot Size	13,125 Sq.Ft
Year Built	2007



Assessment Information			
Year	2020	2019	2018
Land Value	\$3,675,000	\$3,675,000	\$3,346,875
Building Value	\$4,274,028	\$4,322,597	\$3,800,125
XF Value	\$57,400	\$58,048	\$0
Market Value	\$8,006,428	\$8,055,645	\$7,147,000
Assessed Value	\$7,450,297	\$7,282,793	\$7,147,000

Benefits Information				
Benefit	Type	2020	2019	2018
Save Our Homes Cap	Assessment Reduction	\$556,131	\$772,852	
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
SUNSET ISLANDS-NO 4 PB 40-8
E30FT LOT 29-W45FT LOT 30
BLK 4A
LOT SIZE 75.000 X 175
OR 12077-1095 0384 1

Taxable Value Information			
	2020	2019	2018
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$7,400,297	\$7,232,793	\$7,097,000
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$7,425,297	\$7,257,793	\$7,122,000
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$7,400,297	\$7,232,793	\$7,097,000
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$7,400,297	\$7,232,793	\$7,097,000

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
02/03/2012	\$8,100,000	27987-4137	Qual by exam of deed
10/01/2004	\$1,750,000	22801-2330	Sales which are qualified
03/01/2004	\$1,425,000	22222-2389	Sales which are qualified
03/01/1984	\$225,000	12077-1095	Sales which are qualified



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 2/25/2021

Property Information	
Folio:	02-3228-001-1770
Property Address:	2312 BAY AVE Miami Beach, FL 33140-4535
Owner	TERRY S BIENSTOCK & CAROL LANG
Mailing Address	2312 BAY AVE SUNSET ISLAND #3 MIAMI BEACH, FL 33140-0000
PA Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	5 / 4 / 0
Floors	2
Living Units	1
Actual Area	6,111 Sq.Ft
Living Area	4,970 Sq.Ft
Adjusted Area	4,943 Sq.Ft
Lot Size	13,771 Sq.Ft
Year Built	Multiple (See Building Info.)

Assessment Information				
Year	2020	2019	2018	
Land Value	\$6,196,950	\$6,196,950	\$6,196,950	
Building Value	\$526,481	\$526,816	\$527,152	
XF Value	\$34,441	\$34,789	\$35,136	
Market Value	\$6,757,872	\$6,758,555	\$6,759,238	
Assessed Value	\$753,452	\$736,513	\$722,781	

Benefits Information				
Benefit	Type	2020	2019	2018
Save Our Homes Cap	Assessment Reduction	\$6,004,420	\$6,022,042	\$6,036,457
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
SUNSET ISL ISL NO 3 PB 40-8
PORT OF LOTS 12 THRU 14 BLK 3-H
DESC BEG SELY COR OF LOT 13 TH
NWLY50.97FT WLY179.66FT
SELY100.97FT NELY175.50FT M/L



Taxable Value Information				
	2020	2019	2018	
County				
Exemption Value	\$50,000	\$50,000	\$50,000	
Taxable Value	\$703,452	\$686,513	\$672,781	
School Board				
Exemption Value	\$25,000	\$25,000	\$25,000	
Taxable Value	\$728,452	\$711,513	\$697,781	
City				
Exemption Value	\$50,000	\$50,000	\$50,000	
Taxable Value	\$703,452	\$686,513	\$672,781	
Regional				
Exemption Value	\$50,000	\$50,000	\$50,000	
Taxable Value	\$703,452	\$686,513	\$672,781	

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
05/04/1992	\$100	15519-0704	Sales which are disqualified as a result of examination of the deed
07/08/1986	\$525,000	12962-0912	Sales which are qualified
07/15/1982	\$345,000	11498-1220	Sales which are qualified

Ruler

Line Path Polygon Circle 3D path 3D polygon

Measure the distance between two points on the ground

Map Length: 1,066.01 Feet

Ground Length: 1,066.01

Heading: 288.50 degrees

Mouse Navigation Save Clear

Places

Layers

- Primary Database
- Announcements
- Borders and Labels
- Places
- Photos
- Roads
- 3D Buildings
- Weather
- Gallery
- More
- Terrain

© 2021 Google

2130 Bay Ave

Google Earth



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 2/25/2021

Property Information	
Folio:	02-3228-001-1890
Property Address:	2130 BAY AVE Miami Beach, FL 33140-4534
Owner	JEFFREY L BRANDON &W IRENE R
Mailing Address	2130 BAY AVE SUNSET ISLAND #4 MIAMI BEACH, FL 33140-0000
PA Primary Zone	0800 SGL FAMILY - 1701-1900 SQ
Primary Land Use	0101 RESIDENTIAL - SINGLE FAMILY : 1 UNIT
Beds / Baths / Half	4 / 5 / 0
Floors	1
Living Units	1
Actual Area	5,480 Sq.Ft
Living Area	4,785 Sq.Ft
Adjusted Area	5,172 Sq.Ft
Lot Size	15,016 Sq.Ft
Year Built	Multiple (See Building Info.)



Assessment Information			
Year	2020	2019	2018
Land Value	\$6,757,200	\$6,757,200	\$6,757,200
Building Value	\$534,508	\$545,354	\$549,969
XF Value	\$58,172	\$59,006	\$59,839
Market Value	\$7,349,880	\$7,361,560	\$7,367,008
Assessed Value	\$1,105,332	\$1,080,481	\$1,060,335

Benefits Information				
Benefit	Type	2020	2019	2018
Save Our Homes Cap	Assessment Reduction	\$6,244,548	\$6,281,079	\$6,306,673
Homestead	Exemption	\$25,000	\$25,000	\$25,000
Second Homestead	Exemption	\$25,000	\$25,000	\$25,000

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

Short Legal Description
SUNSET ISLANDS-ISLAND NO 4 PB 40-8 LOT 20 BLK 4A LOT SIZE 95.000 X 176 OR 13702-982 0688 1

Taxable Value Information			
	2020	2019	2018
County			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,055,332	\$1,030,481	\$1,010,335
School Board			
Exemption Value	\$25,000	\$25,000	\$25,000
Taxable Value	\$1,080,332	\$1,055,481	\$1,035,335
City			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,055,332	\$1,030,481	\$1,010,335
Regional			
Exemption Value	\$50,000	\$50,000	\$50,000
Taxable Value	\$1,055,332	\$1,030,481	\$1,010,335

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
06/01/1988	\$465,000	13702-0982	Sales which are qualified
07/01/1987	\$375,000	13364-3208	Sales which are qualified

Ruler

Line Path Polygon Circle 3D path 3D polygon

Measure the distance between two points on the ground

Map Length: 544.86 Feet

Ground Length: 544.86

Heading: 256.30 degrees

Mouse Navigation Save Clear

Places

Layers

- Primary Database
- Announcements
- Borders and Labels
- Places
- Photos
- Roads
- 3D Buildings
- Weather
- Gallery
- More
- Terrain



CFN 2009R0131105
 DR Bk 26762 Pgs 0830 - 8337 (4pgs)
 RECORDED 02/23/2009 14:49:51
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

Board of Adjustment Order: Meeting of November 7, 2008
 File No. 3372: Thierry Coulon
 1531 W 22nd Street, Sunset Island 4, Miami Beach, Florida
 Page 2 of 4

**BEFORE THE
 BOARD OF ADJUSTMENT
 OF THE CITY OF MIAMI BEACH, FLORIDA**

IN RE: The application of
THIERRY COULON
 1531 W. 22ND STREET, SUNSET ISLAND 4
 EAST 30 FT OF LOT 29 & WEST 45 OF LOT 30,
 BLOCK 4A, SUBDIVISION:
 "SUNSET ISLANDS NO. 4"
 PLAT BOOK 40, PG 8;
 MIAMI-DADE COUNTY, FLORIDA

MEETING DATE: NOVEMBER 7, 2008
 FILE NO. 3372

ORDER

The applicant, Thierry Coulon, filed an application with the Planning Department for an after-the-fact variance in order to retain an existing pool deck, as follows:

1. An after-the-fact variance to waive all of the required interior side yard setback of 7'-6" from the pool deck to an interior property line in order to retain the existing pool deck up to the west property line.

Notice of the request for variance was given as required by law and mailed to owners of property within a distance of 375 feet of the exterior limits of the property on which application was made.

THE BOARD FINDS that the property in question is located in the RS-3 Zoning District.

THE BOARD FURTHER FINDS, based upon evidence, testimony, information and documentation presented to the Board, and portions of the staff report and recommendations, as applicable, which are incorporated herein by this reference, that with regard to the requested variance when conditioned as provided for in this Order:

That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district;

That the special conditions and circumstances do not result from the action of the applicant;

That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, buildings, or structures in the same zoning district;

That literal interpretation of the provisions of this Ordinance would deprive the applicant of

rights commonly enjoyed by other properties in the same zoning district under the terms of this Ordinance and would work unnecessary and undue hardship on the applicant;

That the variance granted is the minimum variance that will make possible the reasonable use of the land, building or structure;

That the granting of the variance will be in harmony with the general intent and purpose of this Ordinance and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare; and

That the granting of this request is consistent with the comprehensive plan and does not reduce the levels of service as set forth in the plan.

IT IS THEREFORE ORDERED, by the Board, that the variance be APPROVED as requested and set forth above; with the following conditions to which the applicant has agreed:

1. The applicant will provide twelve podocarpus hedges 8 to 11 feet high of good quality, along the common wall shared with the adjacent neighbor to the west, for the extent of the tiled decking on the applicant's property for 26 feet extending in the direction towards West 22nd Street.
2. Substantial modifications to the plans submitted and approved as part of the application, as determined by the Planning Director or designee, may require the applicant to return to the Board for approval of the modified plans, even if the modifications do not affect variances approved by the Board.
3. The applicant shall comply with all conditions imposed by the Public Works Department.
4. The applicant shall obtain a full building permit within eighteen (18) months from the date of this hearing. If the full building permit is not obtained within the specified time limits, the applicant may, prior to expiration of such period, apply to the Board for an extension of time; otherwise, the variance will expire, and become null and void. At the hearing on such application, the Board may deny or approve the request and modify these conditions or impose additional conditions. Failure to comply with this order shall subject the variance to Section 118-356, City Code, for revocation or modification of the variance.
5. This order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

6. This Order shall be recorded, at the expense of the applicant, in the Public Records of Miami-Dade County; the original or a certified copy shall be provided to the Planning Department prior to the issuance of a Building Permit.

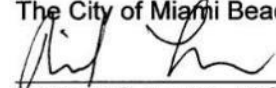
PROVIDED, the applicant shall build in accordance with the plans submitted as part of this file and as approved by the Board of Adjustment with any applicable modifications.

The applicant shall have a full building permit for the work contemplated herein issued by the Building Department on or before May 7, 2010 (within eighteen months of the date of this hearing) as per the above conditions. If the full building permit is not obtained within the specified time limits, the applicant shall apply to the Board for an extension of time prior to expiration of such period; otherwise, this Order will expire, and become null and void, unless the issuance of such permit is stayed by an appeal of this Order to a court of competent jurisdiction.

This Order does not constitute a building permit, but upon presentation of a recorded copy of this Order to the Planning Department, a permit shall be processed and approved (subject to compliance with the conditions hereof) in accordance with and pursuant to the ordinances of the City of Miami Beach.

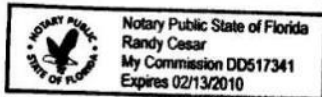
Board of Adjustment of
The City of Miami Beach, Florida

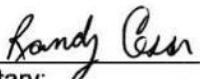
By:


Richard G. Lorber, AICP
Planning & Zoning Manager
City of Miami Beach
1700 Convention Center Drive
Miami Beach, Florida 33139

STATE OF FLORIDA)
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 26 day of November, 2008, by Richard G. Lorber, Planning and Zoning Manager of the City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the corporation. He is personally known to me.

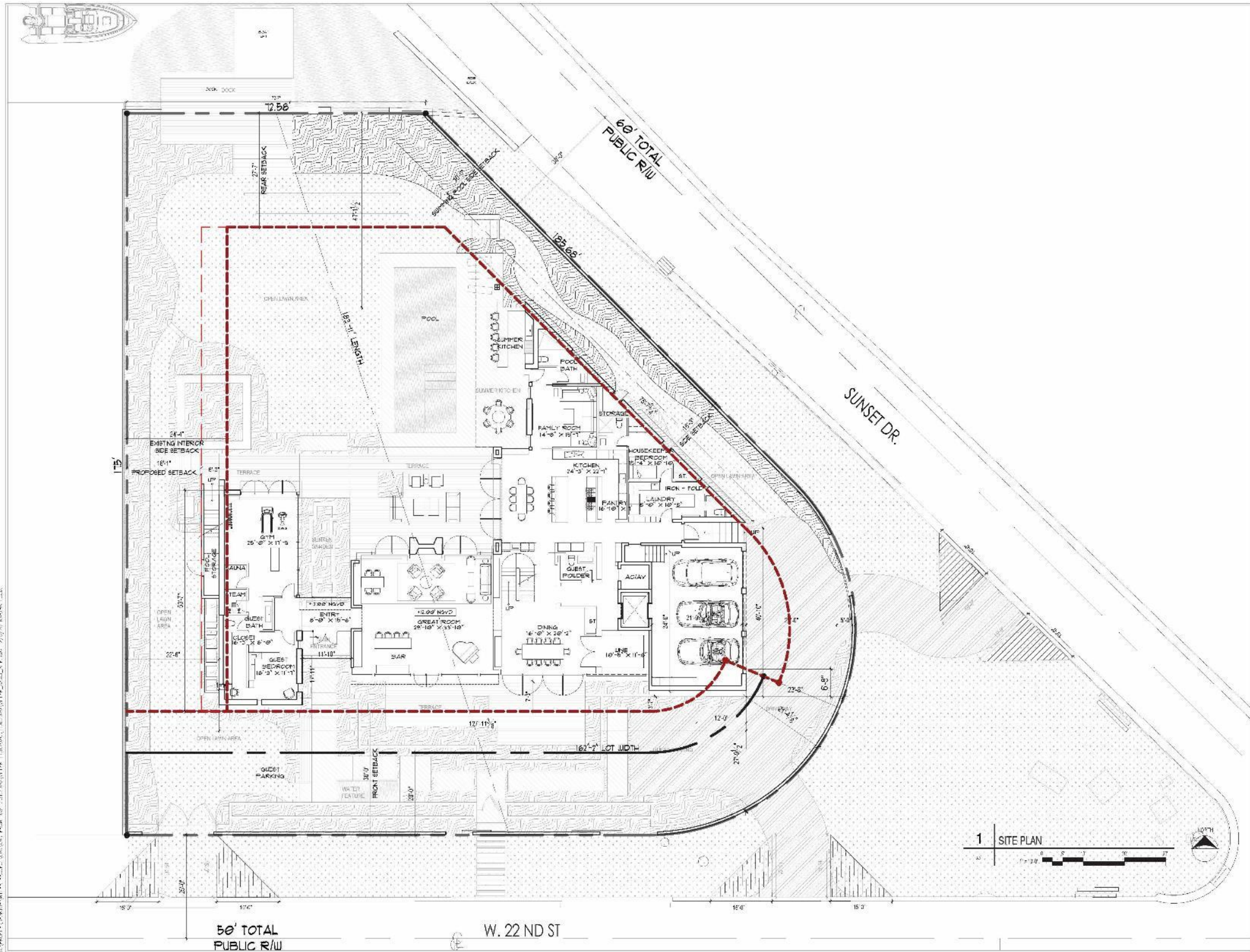



Notary:
Print Name:
Notary Public, State of Florida

[NOTARIAL SEAL]
My Commission Expires:

Approved As To Form:
Legal Department (Speed 11-21-08)

PLANS.ELEVATIONS.SECTIONS



REVISIONS: 1. 12/17/2020 - REVISED TO REFLECT CONSTRUCTION DETAILS AND MATERIALS. 2. 12/17/2020 - REVISED TO REFLECT CONSTRUCTION DETAILS AND MATERIALS.

C 001

MILLER RESIDENCE

1510 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates
architecture . interior design . planning

3200 W 19th Avenue, Suite 1000, Miami Beach, FL 33190
Tel: 305.555.1100
Tel: 305.555.1101

CONSULTANTS

REGISTRATION
JENIFER BRILEY, AIA
ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
#47001308

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

REVISION

MARK	DATE	DESCRIPTION
	10/19/2020	DWG. SUBMITTAL
▲	11/19/2020	
▲	12/7/2020	

PROJECT NO.
DRAWN BY: _____ OF / WC / MS
CHECKED BY: _____ JE
PAPER: _____ P. C. DATE:
SCHEMATIC DESIGN 12.07.2020

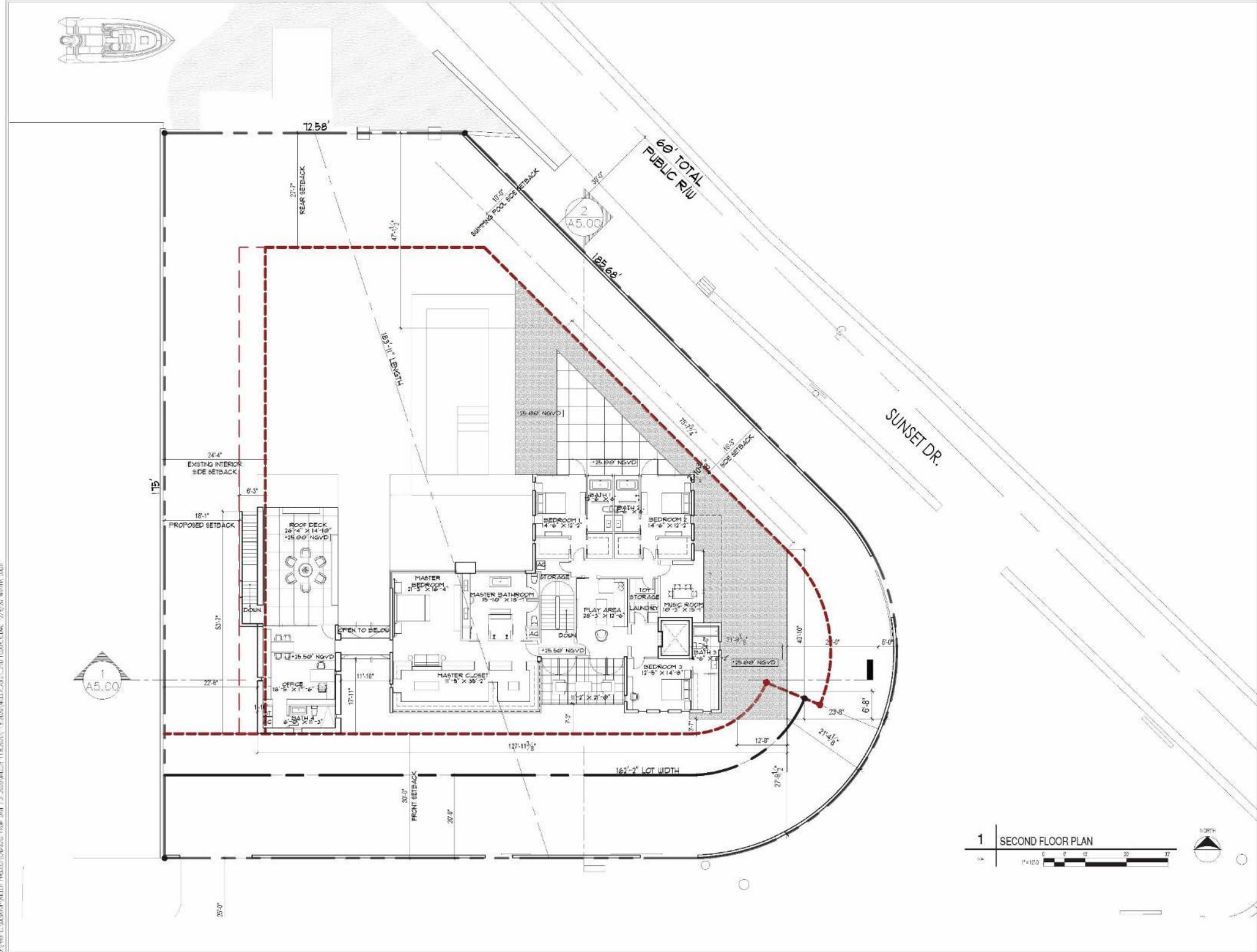
SHEET TITLE

SITE PLAN

SHEET NUMBER

A2.00





CLIENT

MILLER RESIDENCE

1515 W 29TH ST
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates
architecture · interior design · planning

2850W 10 Avenue, Suite 315, Miami, Florida 33135
T. 305.657.9323
JBriley@jba.com

CONSULTANTS

REGISTRATION

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STATE OF FLORIDA LICENSE
#AR2011358

TO THE BEST OF THE ARCHITECT'S OR
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SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES AND
THE APPLICABLE FIRE SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
10	10/9/2020	DRB SUBMITTAL
1	1/9/2020	
2	12/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

F.L.O. DATE: 12.07.2020

SHEET TITLE

SECOND FLOOR PLAN

SHEET NUMBER

A3.01

P:\PROJECTS\LEADERSHIP\PROJECTS\050100 - FROM: 2041 7-20-2020\MILLER - 11.6.2020\11.6.2020\MILLER-1311_210_FLOOR-CONC_27.6.2020.MXD (JTB)

CLIENT

MILLER RESIDENCE

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TO THE BEST OF THE ARCHITECT'S OR
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APPLICABLE MINIMUM BUILDING CODES AND
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ISSUE

MARK	DATE	DESCRIPTION
10	9/2020	DRB SUBMITAL
1	9/2020	
2	12/7/2020	

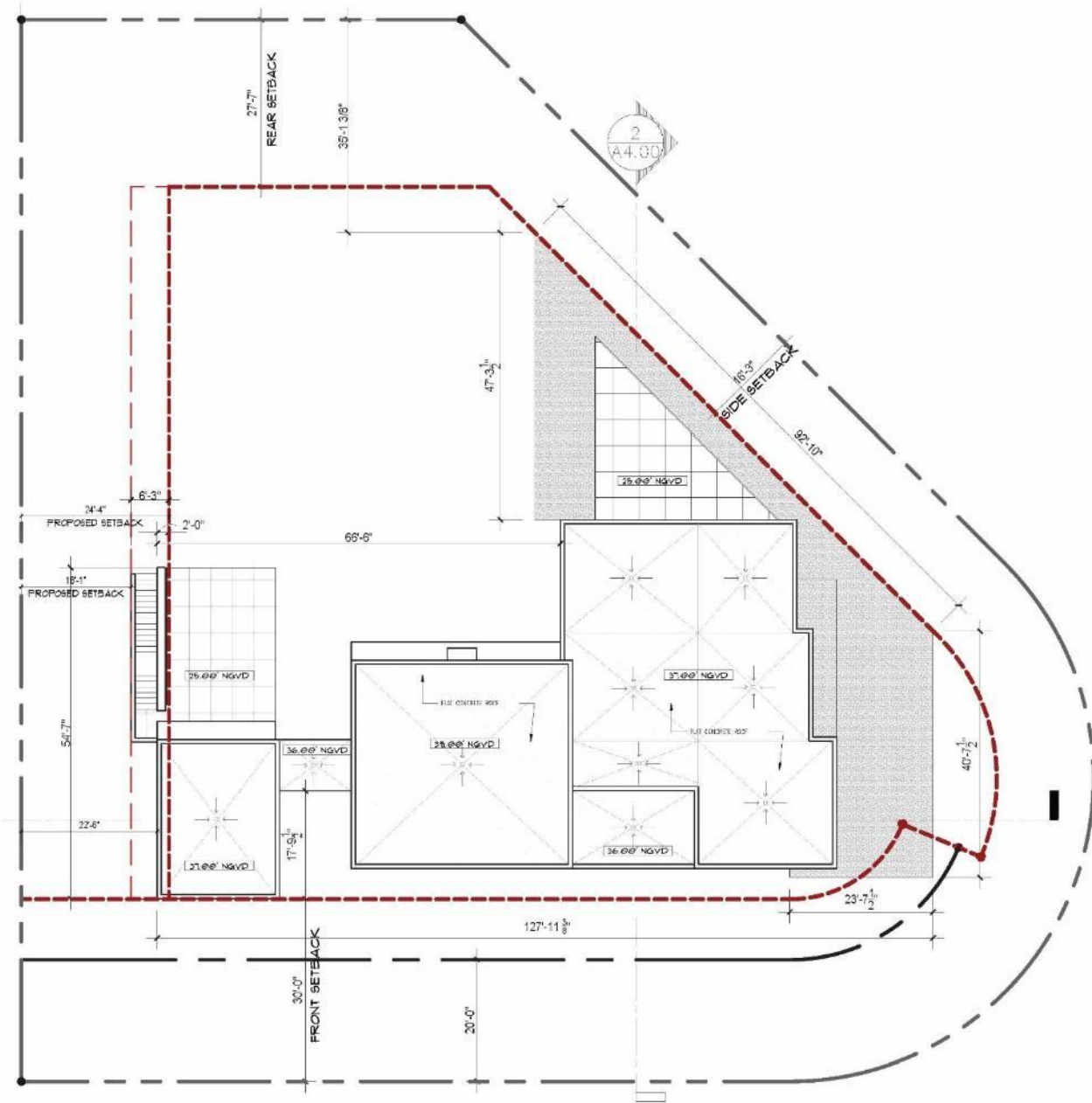
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CHECKED BY:	JB
PHASE:	PLO DATE:
SCHEMATIC DESIGN	12.07.2020

SHEET TITLE

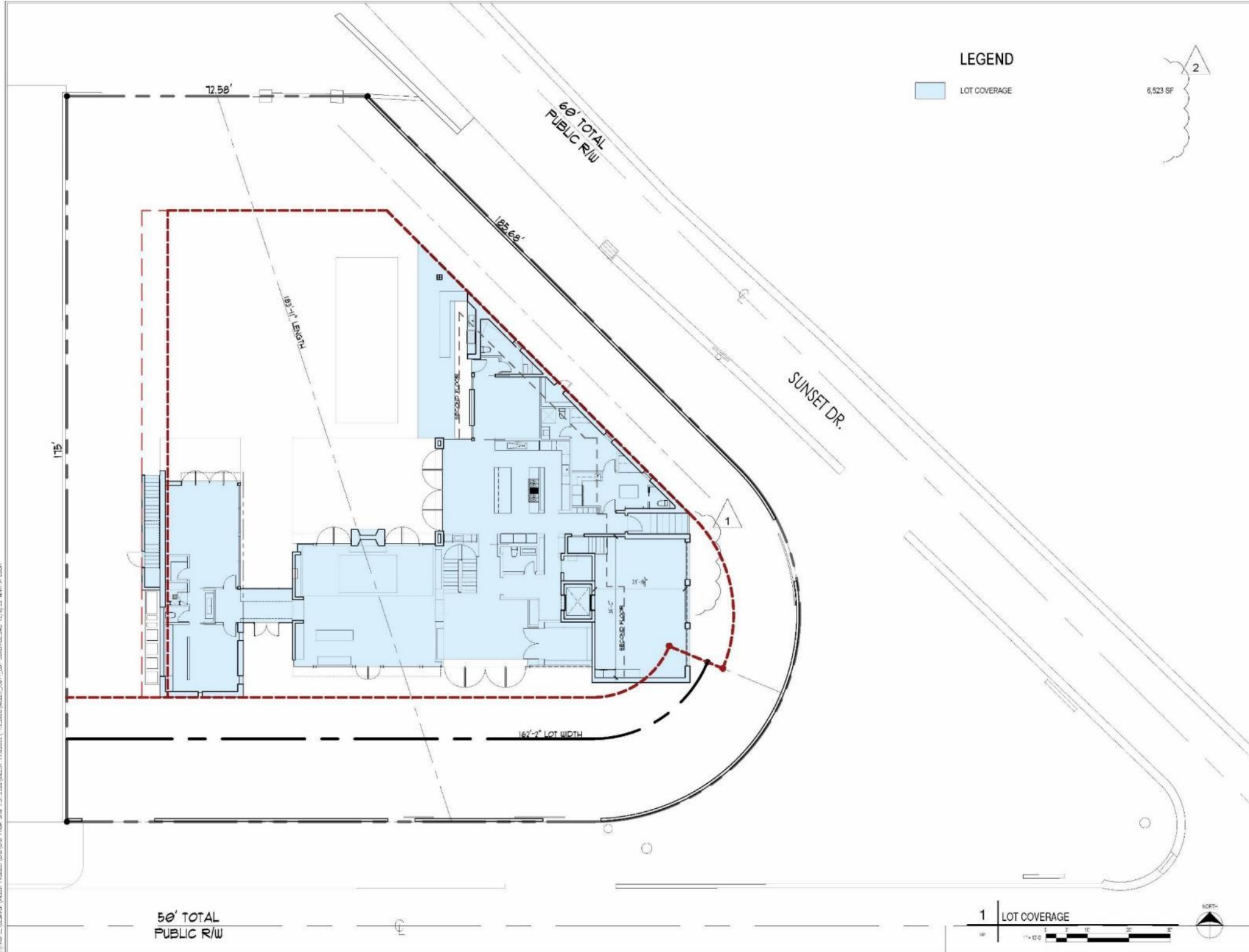
ROOF PLAN

SHEET NUMBER

A3.02



PROJECT LOCATION: MILLER RESIDENCE, 1515 W 29TH ST, MIAMI BEACH, FL 33140. DATE: 12/20/2020. DRAWN BY: DE/MC/MS. CHECKED BY: JB.



LEGEND

LOT COVERAGE



CLIENT

MILLER RESIDENCE

1515 W 29TH ST
MIAMI BEACH, FL 33140

DESIGNER

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3800 W 10 AVENUE, SUITE 305, MIAMI, FLORIDA, 33135
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TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRB SUBMITTAL
△	11/9/2020	
△	12/7/2020	

PROJECT NO:	
DRAWN BY:	DE / MC / MS
CHECKED BY:	JB
PHASE:	PILOT DATE:
SCHEMATIC DESIGN	12.07.2020

SHEET TITLE

LOT COVERAGE

SHEET NUMBER

A0.1

D:\PROJECTS\DESIGN\79 MILLER RESIDENCE\PROJECT\CAD\2020\79 MILLER 2020\11.6.2020\MILLER_0011_L01_COVERAGE.dwg 12/16/20 10:40:16 AM J.B.

PROJECT UNIT SIZE CALCULATIONS

MAXIMUM ALLOWED 50%	12,825 SF
MAXIMUM PROPOSED :	
GROUND FLOOR	5,617 SF
SECOND FLOOR	3,926 SF
TOTAL PROPOSED	9,543 SF

CLIENT

MILLER RESIDENCE

1515 W 29th St
MIAMI BEACH, FL 33140

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TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRB SUBMITAL
▲	11/9/2020	
▲	12/7/2020	

PROJECT NO:	
DRAWN BY:	DE / MC / MS
CHECKED BY:	JB
PHASE:	PROJECT DATE:
SCHEMATIC DESIGN	12.07.2020

SHEET TITLE

UNIT SIZE DIAGRAMS

SHEET NUMBER

A0.12



LEGEND

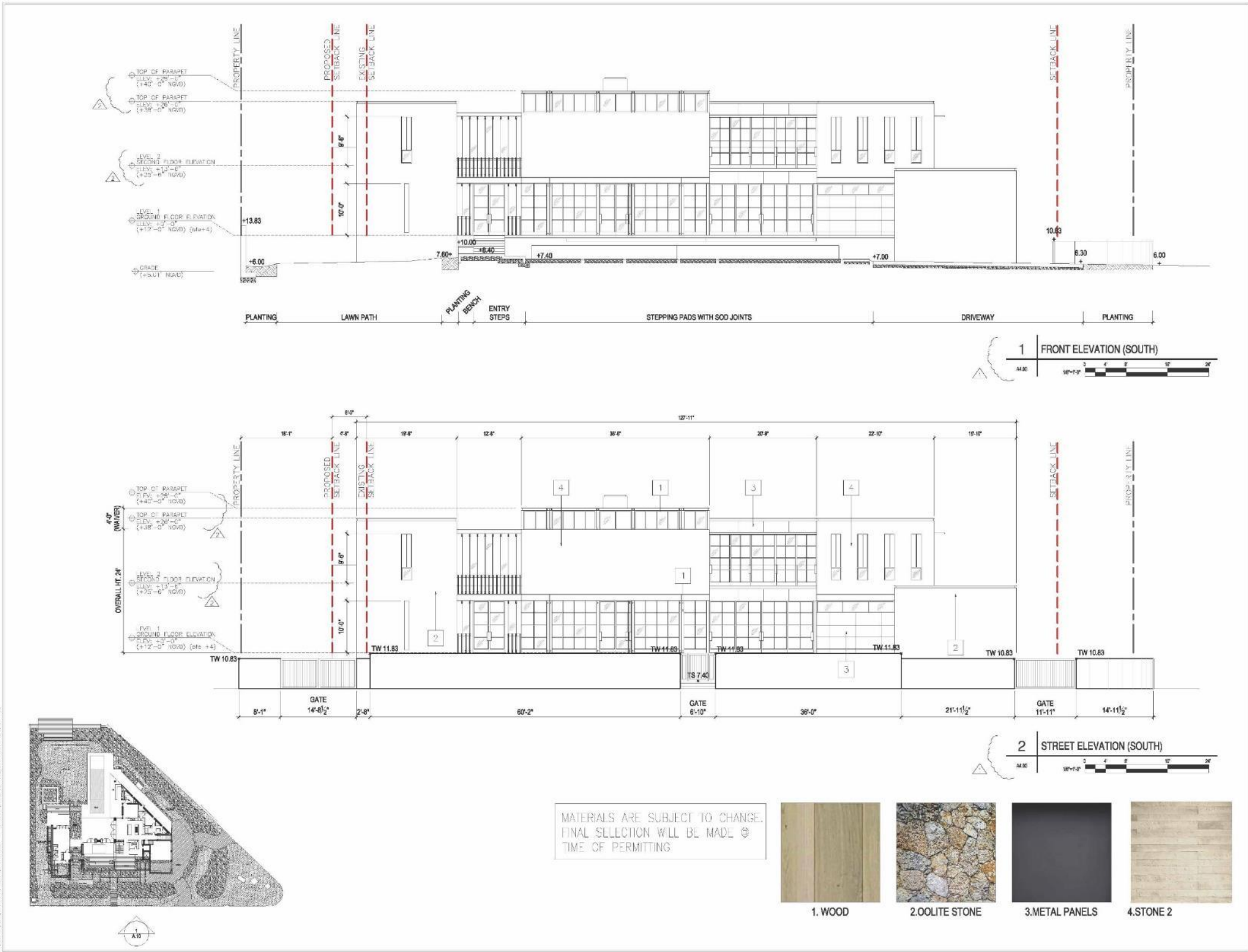
 MAIN HOUSE	5,285 SF
 GARAGE PORTION COUNTED	332 SF
<hr/>	
TOTAL PROPOSED	5,617 SF

GARAGE CALCULATION

GARAGE TOTAL	832 SF
INCLUDED IN AREA	500 SF
	332 SF

LEGEND

 MAIN - 2ND FLOOR	3,926 SF
 TERRACES NOT COUNTED IN LOT COVERAGE	1,254 SF
<hr/>	
TOTAL PROPOSED	5,180 SF



CLIENT

MILLER RESIDENCE

1515 W 89th ST
MIAMI BEACH, FL 33140

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7000 NE 14 Avenue, Suite 305, Miami, Florida 33138
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TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE	MARK	DATE	DESCRIPTION
		10/19/2020	DRG SUBMITTAL
		1/9/2020	
		2/7/2020	

PROJECT NO: _____
DRAWN BY: DE / MC / MS
CHECKED BY: JB
PHASE: SCHEMATIC DESIGN (PDI DATE: 11.09.2020)

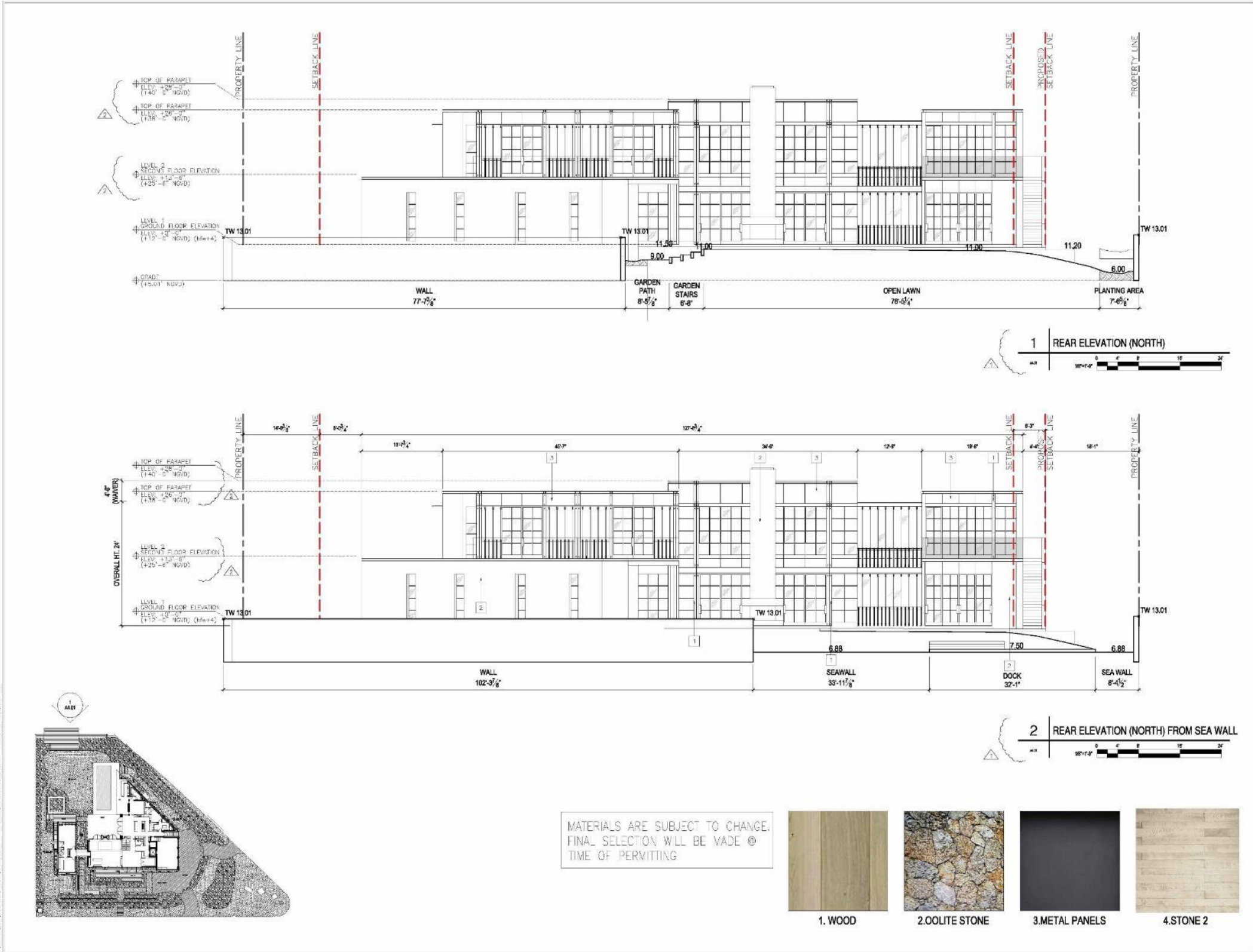
SHEET TITLE

SOUTH ELEVATION

SHEET NUMBER

A4.00

C:\Users\mcb\OneDrive\Miller\81\81-3-2020\MILLER_A4.00_SOUTH.DWG 2/9/20 MC



CLIENT:

MILLER RESIDENCE

1515 W 92ND ST
MIAMI BEACH, FL 33140

DESIGNER:

jenifer briley + associates
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TEL: 305.557.1100
WWW.JENIFERBRILEY.COM

CONSULTANTS:

REGISTRATION:

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STATE OF FLORIDA LICENSE
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TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	1/9/2020	
△	2/7/2020	

PROJECT NO:
DRAWN BY: DE / MC / MS
CHECKED BY: JB
PHASE: SCHEMATIC DESIGN
PILOT DATE: 11.09.2020

SHEET TITLE:

NORTH ELEVATION

SHEET NUMBER

A4.01

© JENIFER BRILEY + ASSOCIATES 11-3-2020 MILLER RESIDENCE - SCHEMATIC 12/29/2020

CLIENT:

MILLER RESIDENCE

1515 W 82ND ST
MIAMI BEACH, FL 33140

DESIGNER:

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architecture . interior design . planning

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CONSULTANTS:

REGISTRATION:

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STATE OF FLORIDA LICENSE
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TO THE BEST OF THE ARCHITECT'S OR
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ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	1/9/2020	
▲	2/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

PILOT DATE: 11.09.2020

SHEET TITLE:

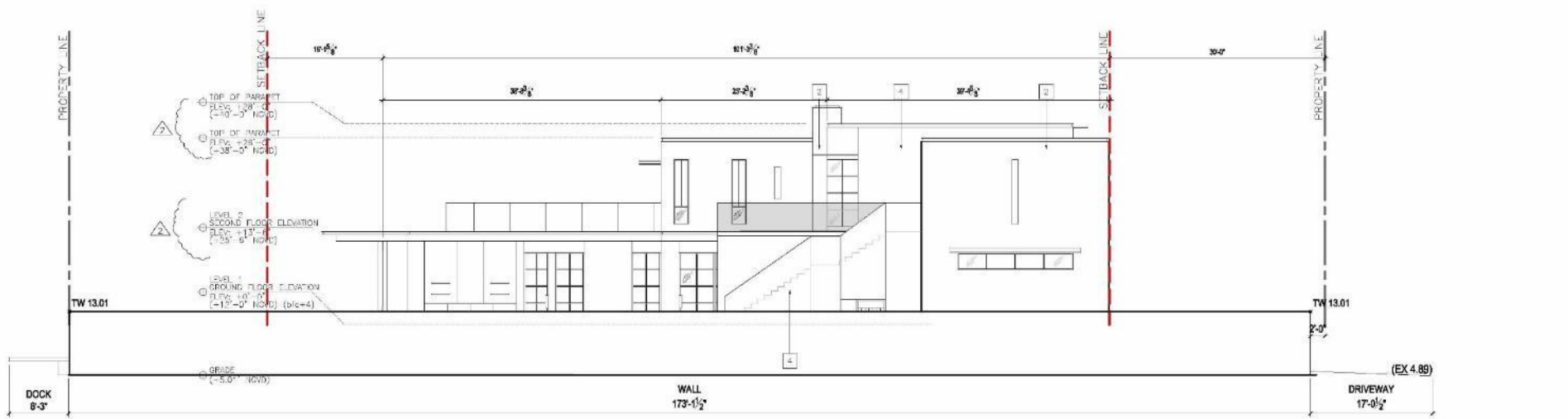
WEST ELEVATION

SHEET NUMBER:

A4.02



1 WEST ELEVATION (WEST)
Scale: 1/8" = 1'-0"

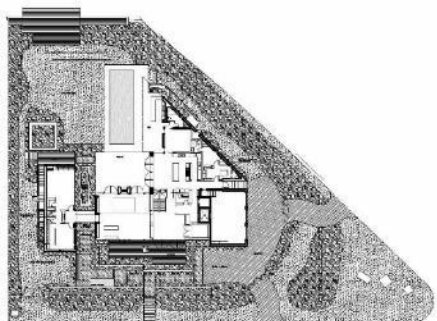


2 WEST ELEVATION (WEST) @ INTERIOR SIDE (NEIGHBOR)
Scale: 1/8" = 1'-0"

MATERIALS ARE SUBJECT TO CHANGE.
FINAL SELECTION WILL BE MADE @
TIME OF PERMITTING



1. WOOD 2. OOLITE STONE 3. METAL PANELS 4. STONE 2



C:\USERS\MET\BRILEY\PROJECTS\MILLER RESIDENCE\11-3-2020\MILLER_A4.02 - WEST ELEVATION 12/16/20 02

CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

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1-305-367-0022
office@briley.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA
ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE:
#AR0011358

TO THE BEST OF THE ARCHITECT'S OR
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SPECIFICATIONS COMPLY WITH THE
APPLICABLE MINIMUM BUILDING CODES AND
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ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRR SUBMITTA.
▲	11/9/2020	
▲	12/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

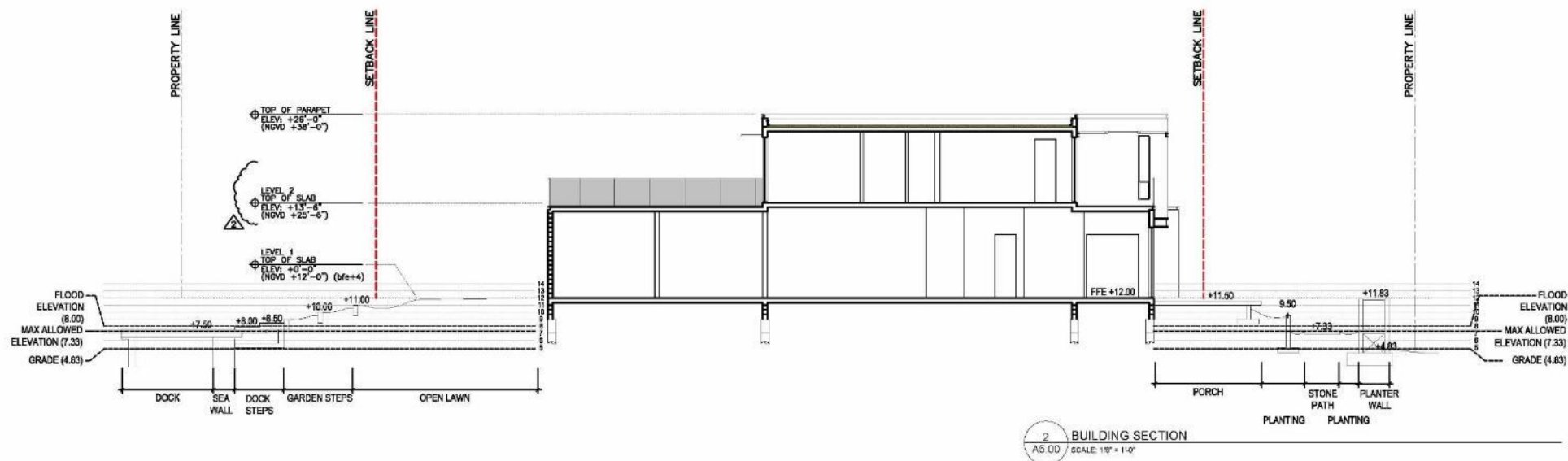
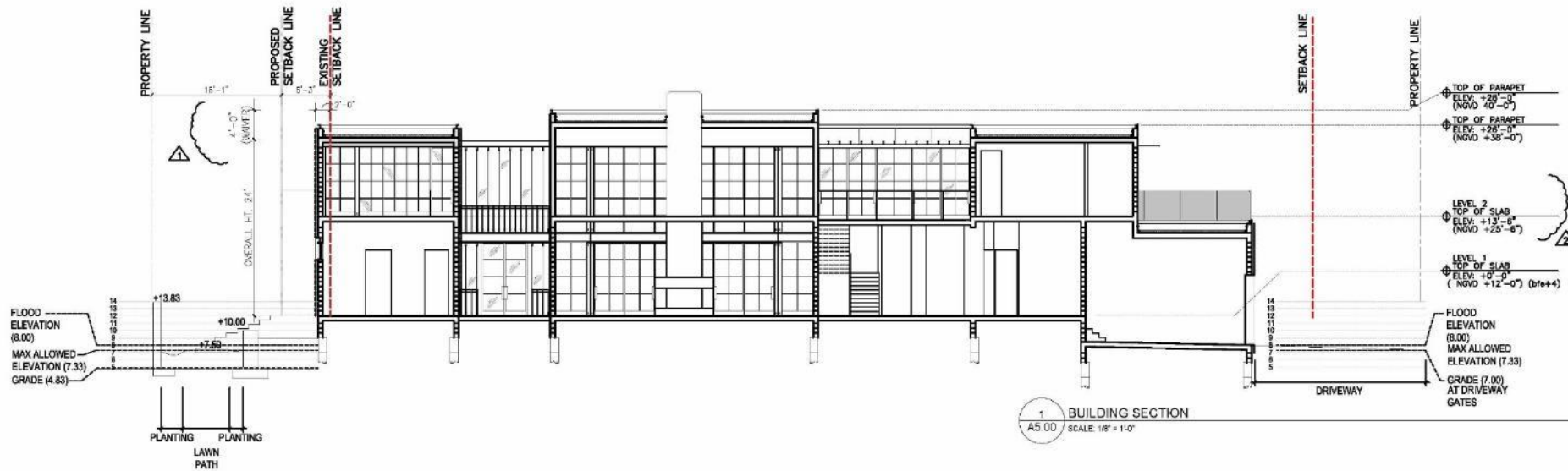
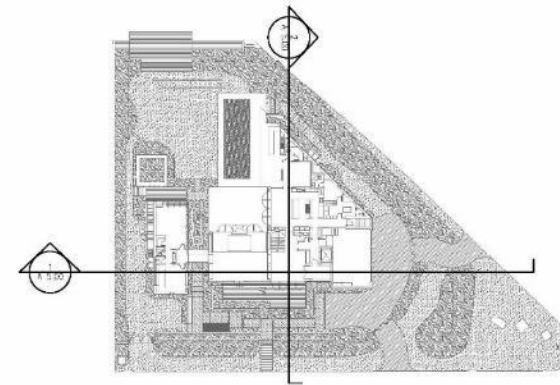
PLOT DATE: 11.09.2020

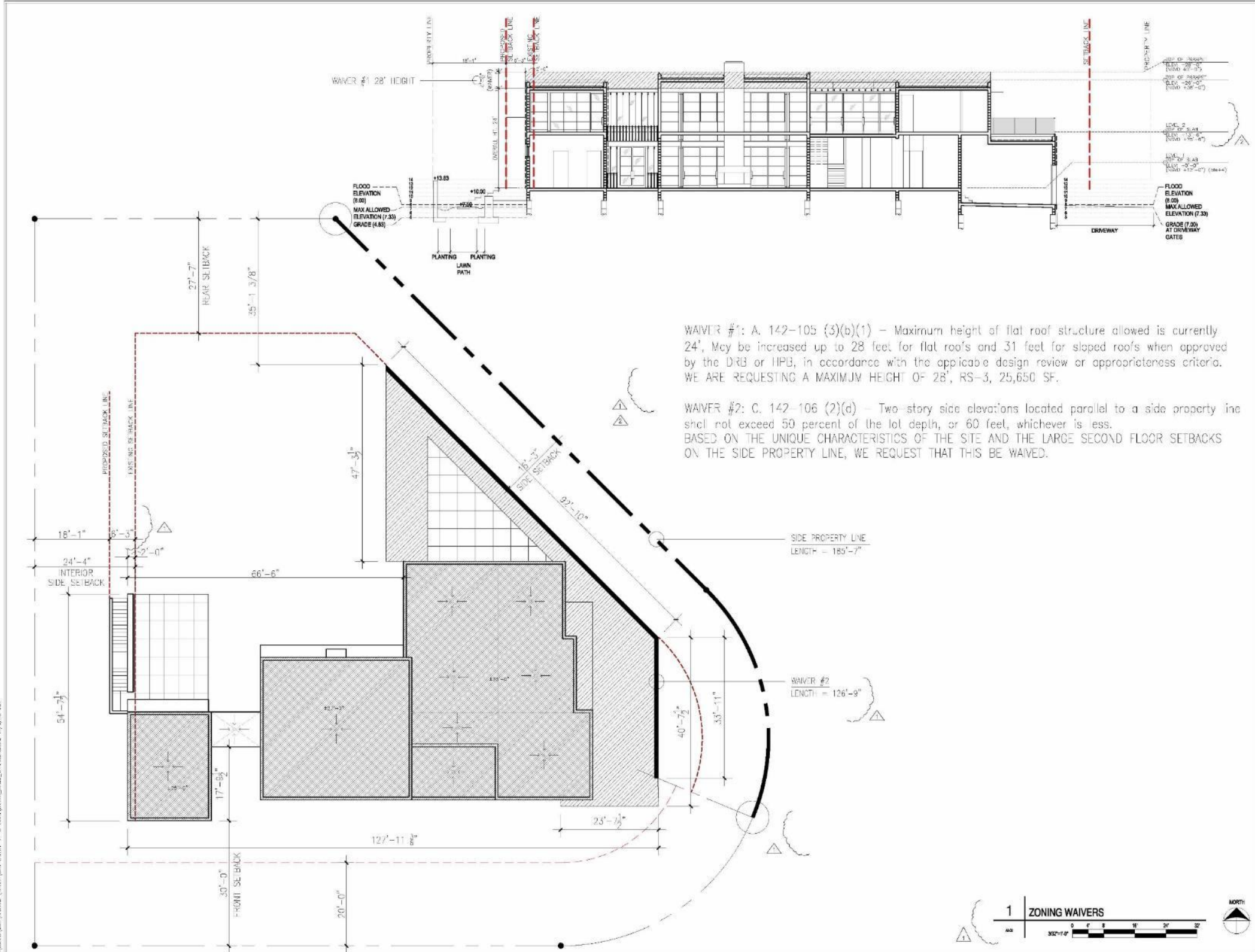
SHEET TITLE:

BUILDING SECTIONS

SHEET NUMBER

A5.00





WAIVER #1: A. 142-105 (3)(b)(1) - Maximum height of flat roof structure allowed is currently 24', May be increased up to 28 feet for flat roofs and 31 feet for sloped roofs when approved by the DRB or HPG, in accordance with the applicable design review or appropriateness criteria. WE ARE REQUESTING A MAXIMUM HEIGHT OF 28', RS-3, 25,650 SF.

WAIVER #2: C. 142-106 (2)(d) - Two-story side elevations located parallel to a side property line shall not exceed 50 percent of the lot depth, or 60 feet, whichever is less. BASED ON THE UNIQUE CHARACTERISTICS OF THE SITE AND THE LARGE SECOND FLOOR SETBACKS ON THE SIDE PROPERTY LINE, WE REQUEST THAT THIS BE WAIVED.

CLIENT

MILLER RESIDENCE

1515 W 22ND ST
MIAMI BEACH, FL 33140

DESIGNER

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architecture . interior design . planning

3252 NE 1st Avenue, Suite 302, Miami, Florida, 33132
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CONSULTANTS

REGISTRATION

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ARCHITECT OF RECORD
STATE OF FLORIDA LICENSE
#AR0011358

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.

ISSUE

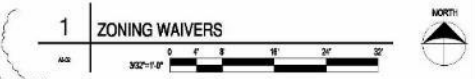
MARK	DATE	DESCRIPTION
	10/13/2020	DRB SUBMITTA
▲	11/9/2020	
▲	12/7/2020	

PROJECT NO:	
DRAWN BY:	DE / MC / WS
CHECKED BY:	JB
PHASE:	PLOT DATE:
SCHEMATIC DESIGN	11.09.2020
SHEET TITLE:	

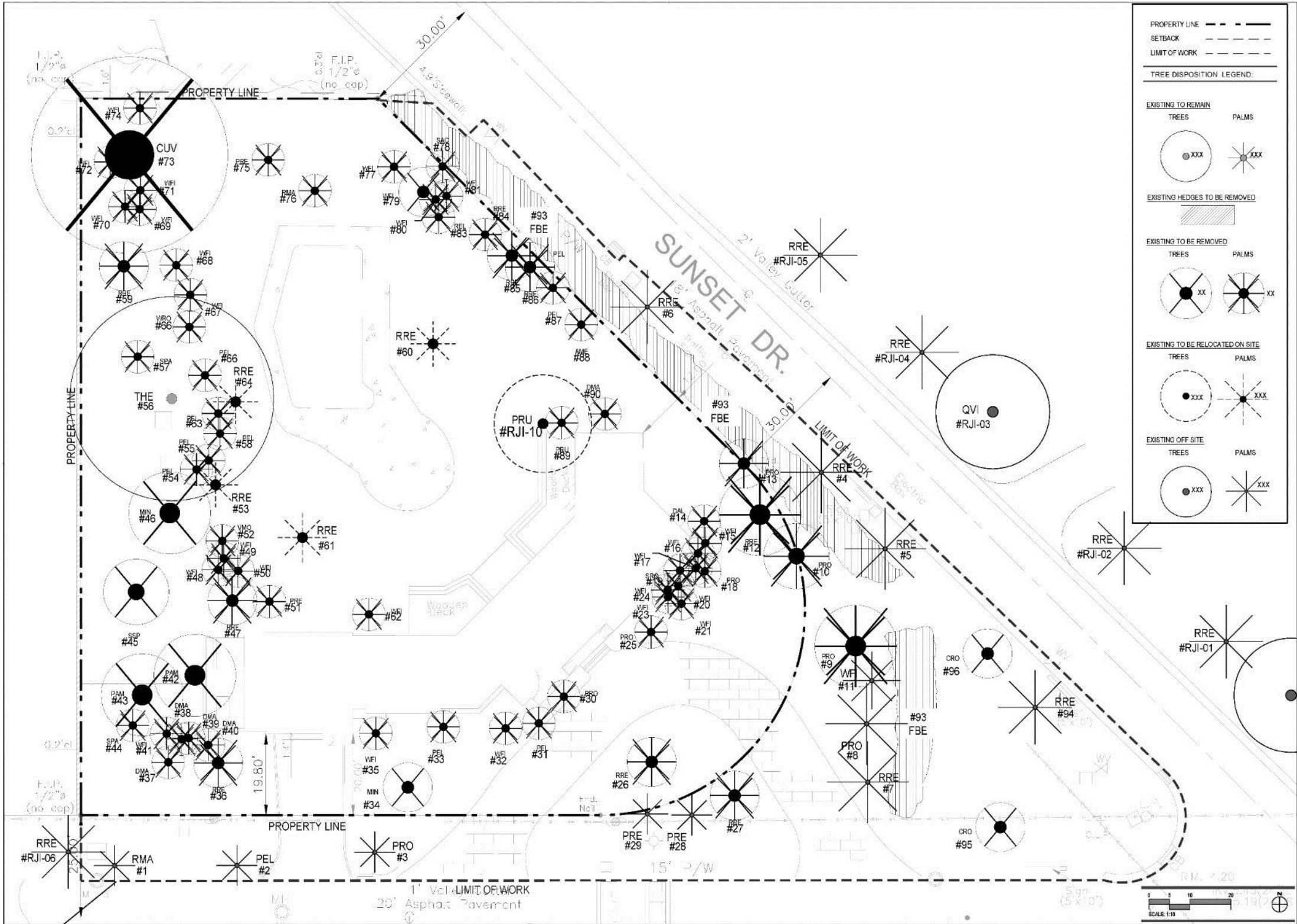
ZONING WAIVERS

SHEET NUMBER

A7.00



C:\Users\mcfly\OneDrive\My Documents\A700\1515 W 22ND ST_ZONING WAIVERS.DWG 12/9/2020 10:27



PROPERTY LINE - - - - -
 SETBACK - - - - -
 LIMIT OF WORK - - - - -

TREE DISPOSITION LEGEND:

EXISTING TO REMAIN
 TREES: (Circle with star) XXX
 PALMS: (Star) XXX

EXISTING HEDGES TO BE REMOVED
 (Hatched rectangle)

EXISTING TO BE REMOVED
 TREES: (Circle with cross) XX
 PALMS: (Star with cross) XX

EXISTING TO BE RELOCATED ON SITE
 TREES: (Circle with dot) XXX
 PALMS: (Star with dot) XXX

EXISTING OFF SITE
 TREES: (Circle with dot) XXX
 PALMS: (Star with dot) XXX

jungles
 RAYMOND JUNGLES INC
 Landscape Architect FASLA
 2164 Arden Ave., Miami, FL 33135
 PH: 305.532.5777
 www.rjungles.com
 PROJECT NO.: 20029

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

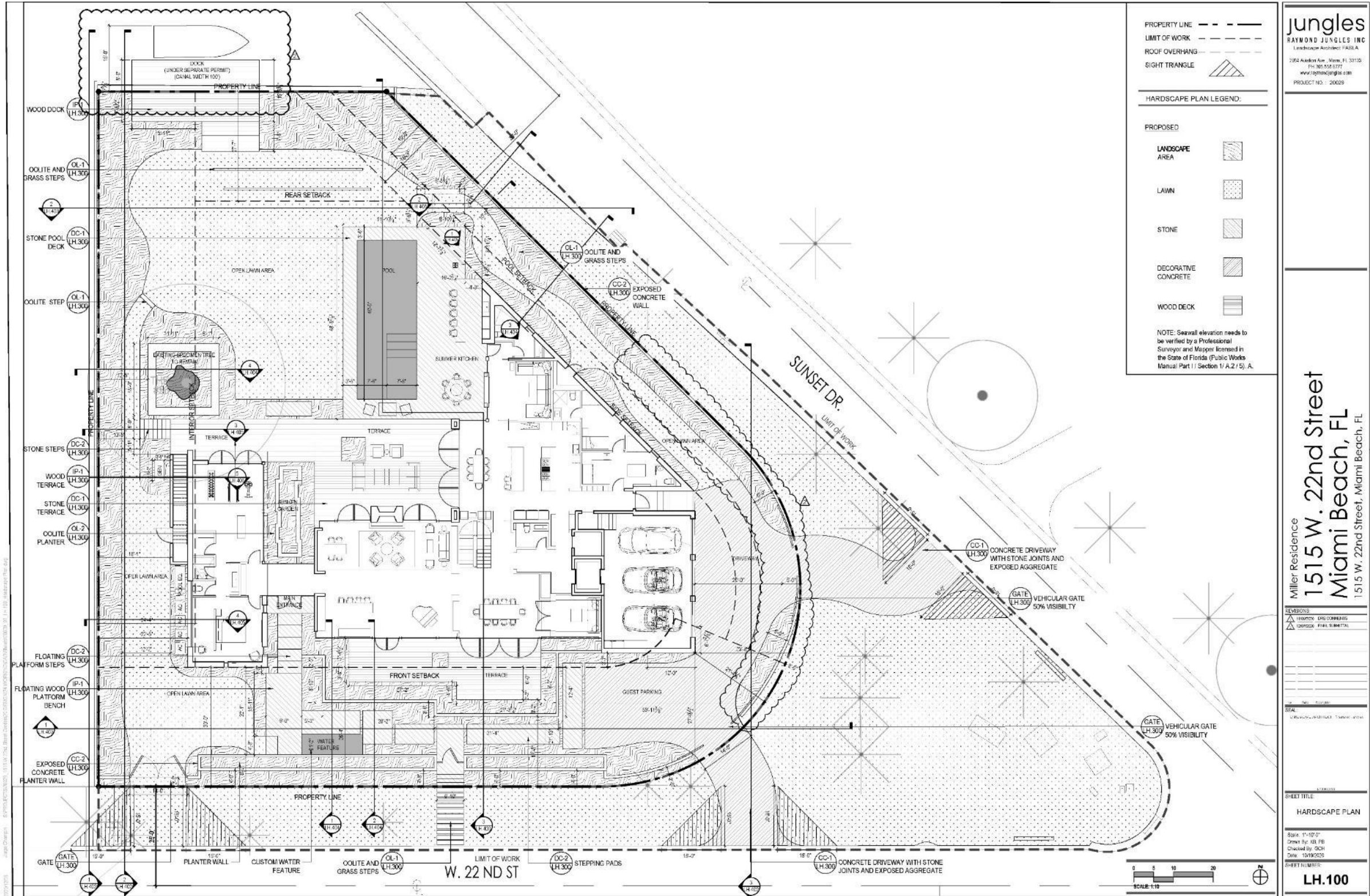
REVISIONS:
 11/05/2020: LPS COMMENTS
 12/07/2020: FINAL SIGN OFF

SHEET TITLE
 TREE DISPOSITION PLAN

Scale: 1"=10'
 Drawn By: RB, FB
 Checked By: SCH
 Date: 10/19/2020

SHEET NUMBER:
LR.100

10/19/2020 - Jungles Inc. - 1515 W. 22nd Street, Miami Beach, FL 33135 - 305.532.5777 - www.rjungles.com - Project No. 20029

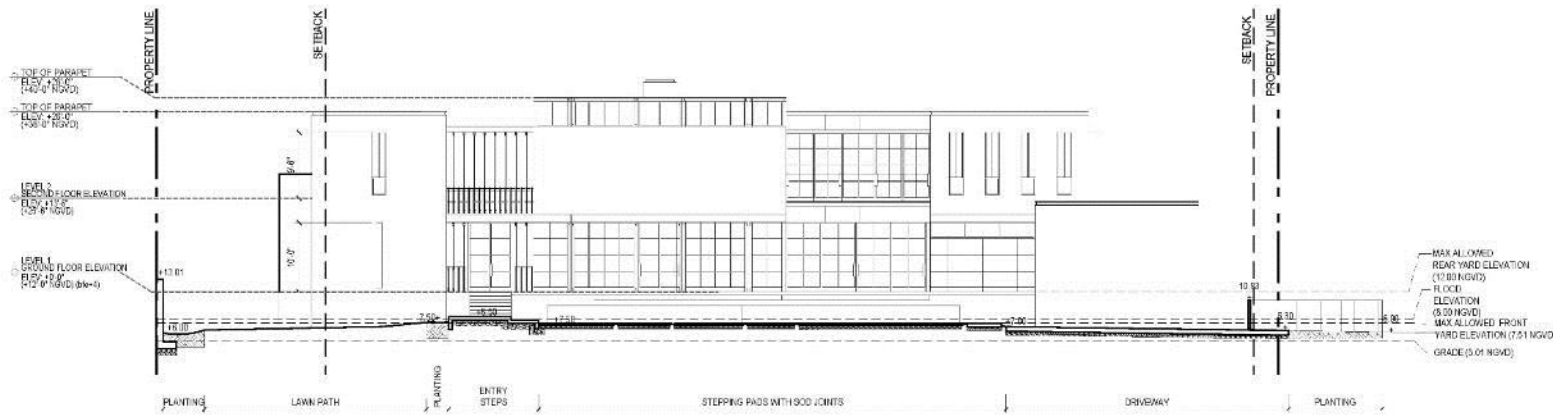


jungles
 RAYMOND JUNGLES INC
 Landscape Architect FLSA
 2164 Aviation Ave., Miami, FL 33170
 PH: 305.533.5777
 www.junglesfl.com
 PROJECT NO.: 20029

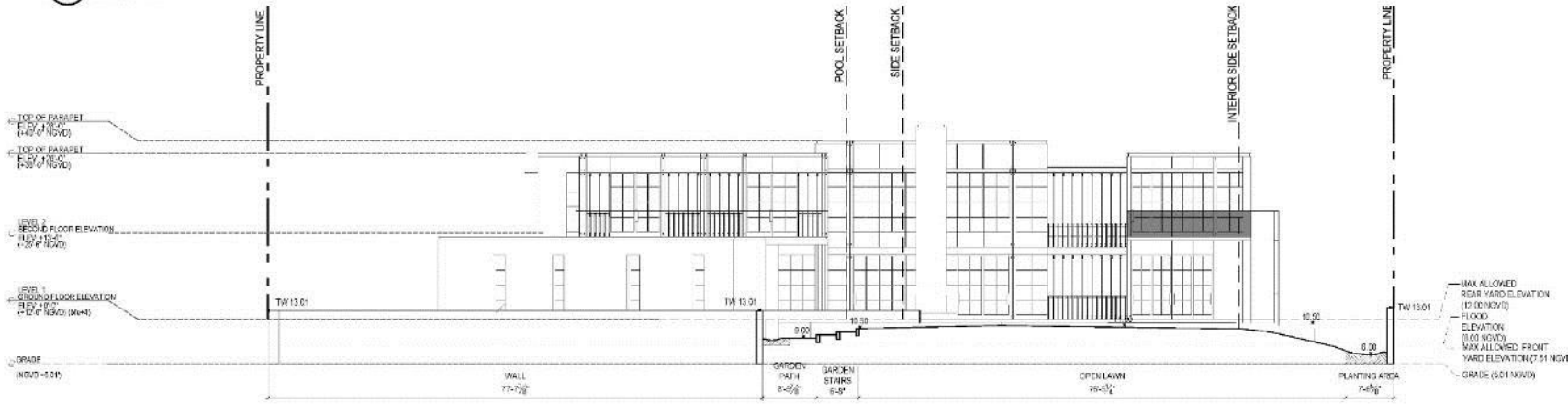
Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

JUNGLES ARCHITECTURE, 2164 AVIATION AVENUE, MIAMI, FL 33170, TEL: 305.533.5777, WWW.JUNGLESFL.COM

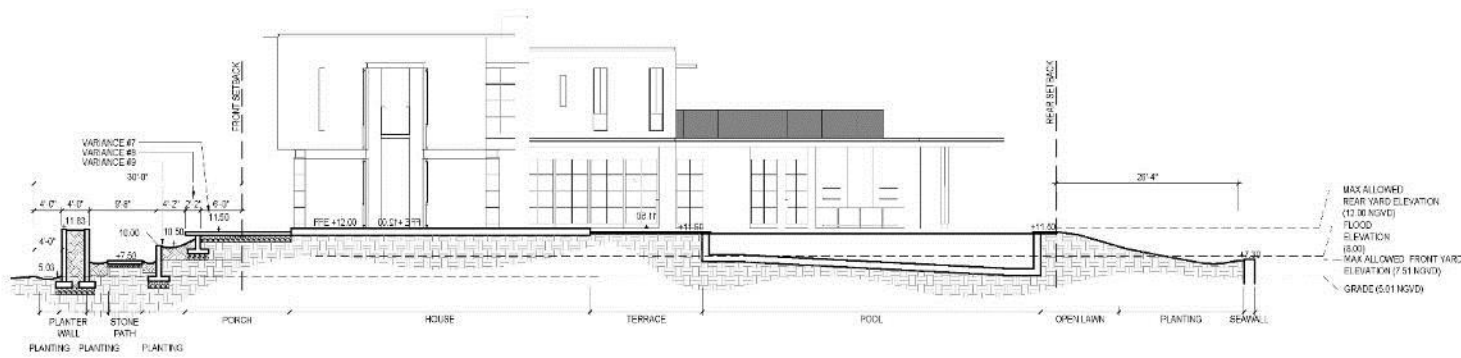
jungles
 RAYMOND JUNGLES INC
 Landscape Architect FAS/LA
 1004 Aradon Ave., Miami, FL 33130
 Tel: 305.583.8777
 www.raymondjungles.com
 PROJECT NO. : 20029



1 FRONT SECTION
 Scale: 1"=10'-0"



2 REAR SECTION
 Scale: 1"=10'-0"



3 SITE SECTION CUT THROUGH PORCH AND POOL
 Scale: 1"=10'-0"

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS	DATE	DESCRIPTION
11/09/20		ORIG COMMENTS
12/01/20		FINAL SUBMITTAL

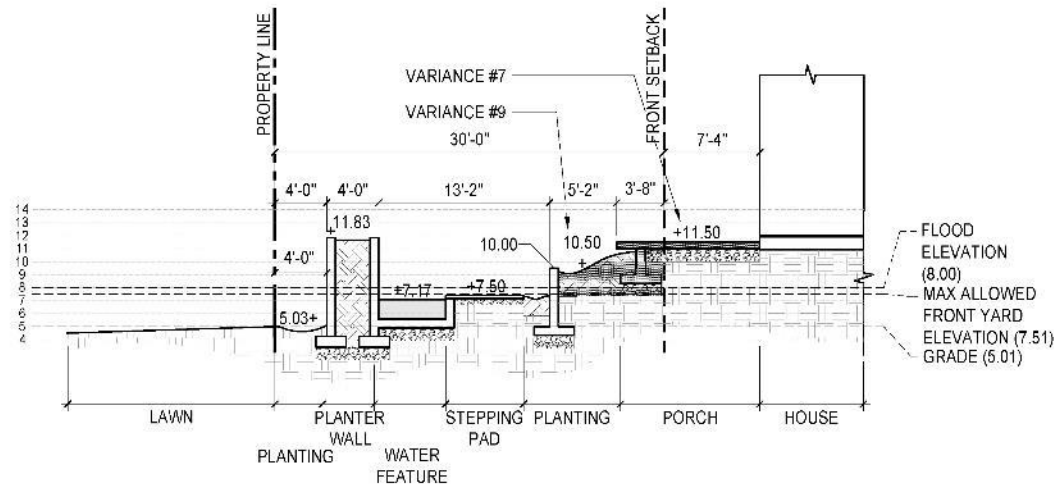
SEAL: _____

SHEET TITLE
HARDSCAPE SECTIONS

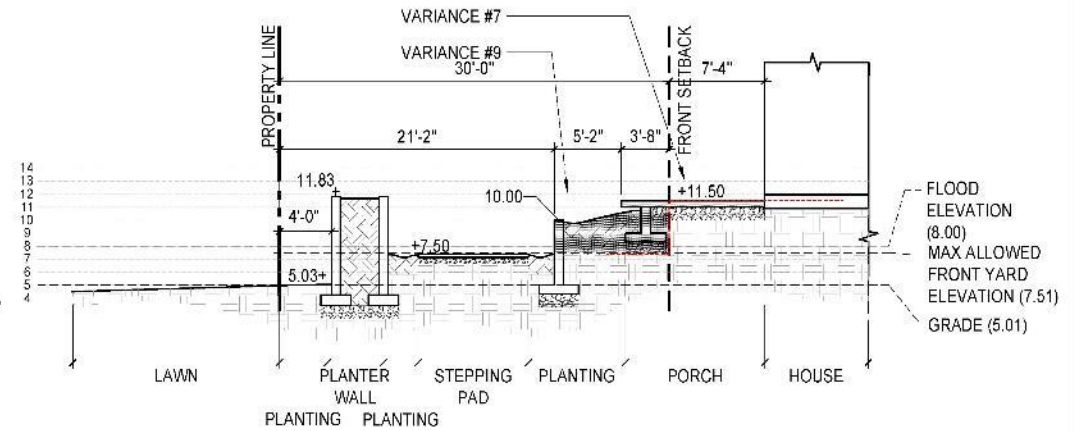
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 Drawn By: JBL/FE
 Checked By: SCH
 Date: 10/19/2020

SHEET NUMBER
LH.403

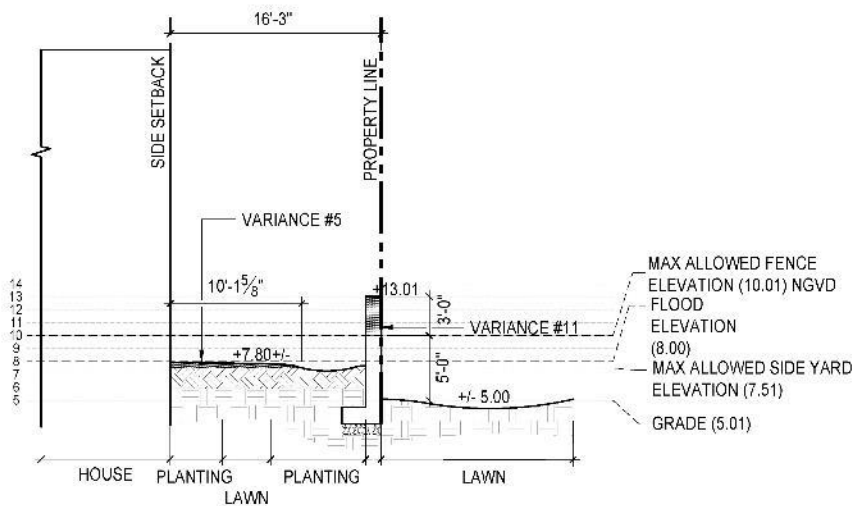
10/19/2020 10:00 AM JBL/FE 1515 W. 22nd Street, Miami Beach, FL 33130 1515 W. 22nd Street, Miami Beach, FL 33130



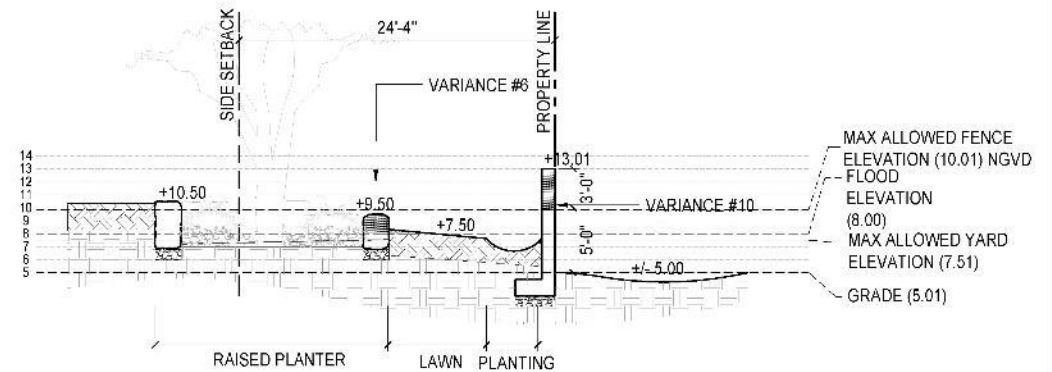
1 SITE SECTION CUT THROUGH FRONT WATER FEATURE
 Scale: 3/16"=1'-0"



2 SITE SECTION CUT THROUGH FRONT
 Scale: 3/16"=1'-0"



3 EAST SECTION
 Scale: 3/16"=1'-0"



4 WEST SECTION
 Scale: 3/16"=1'-0"

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS
 1. (DATE) (REVISION)
 2. (DATE) (REVISION)

SCALE
 1" = 1'-0"

DATE

PROJECT

CLIENT

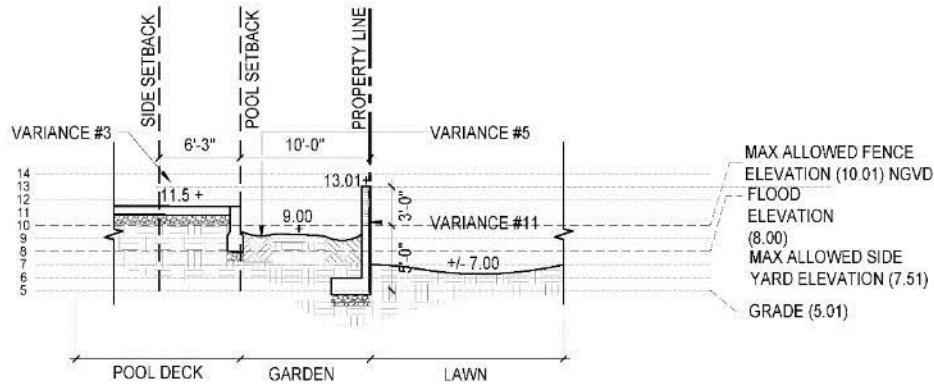
DESIGNER

DATE

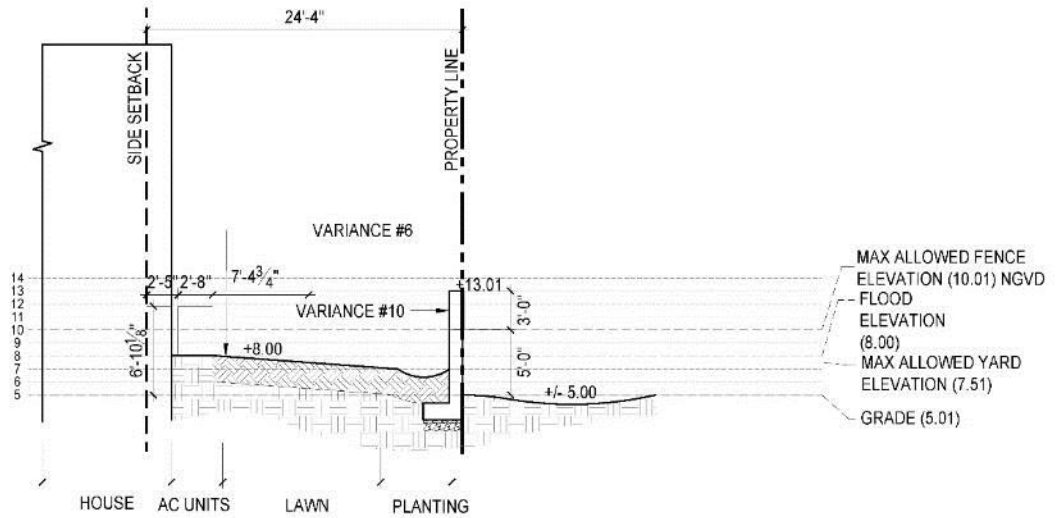
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 DRAWN BY: [NAME]
 CHECKED BY: [NAME]
 DATE: [DATE]

LH.404

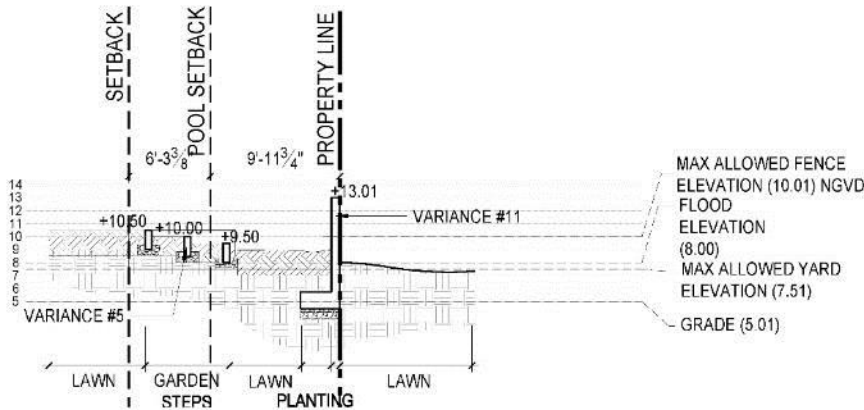
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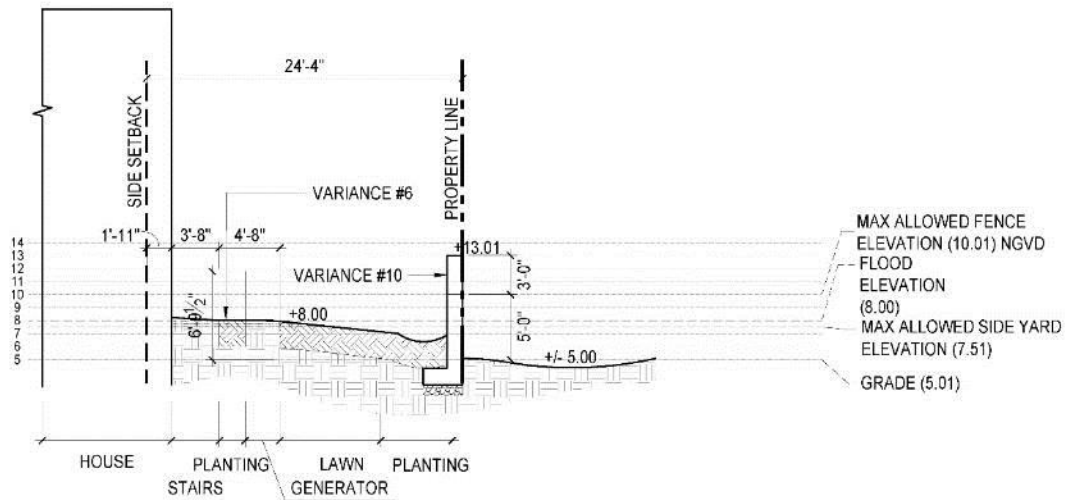
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 Scale: 3/16"=1'-0"



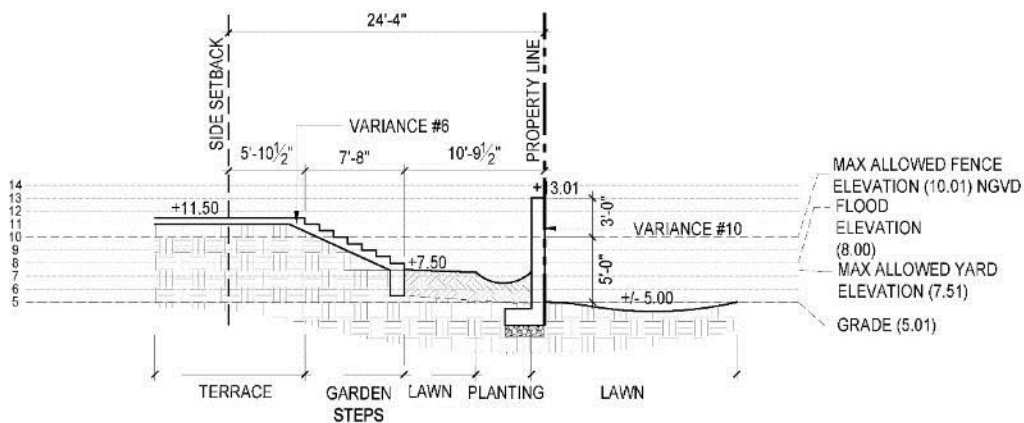
4 WEST SECTION
 Scale: 3/16"=1'-0"



2 EAST SECTION
 Scale: 3/16"=1'-0"



5 WEST SECTION
 Scale: 3/16"=1'-0"



3 WEST SECTION
 Scale: 3/16"=1'-0"

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS	DATE	DESCRIPTION
1	11/19/2020	ORIG COMMENTS
2	12/01/2020	FINAL SUBMITTAL

DATE: 11/19/2020
 SHEET NO.: 91
 SHEET TITLE: HARDSCAPE SECTIONS

SCALE: 3/16"=1'-0"

DATE: 11/19/2020

DATE: 11/19/2020

DATE: 11/19/2020

DATE: 11/19/2020

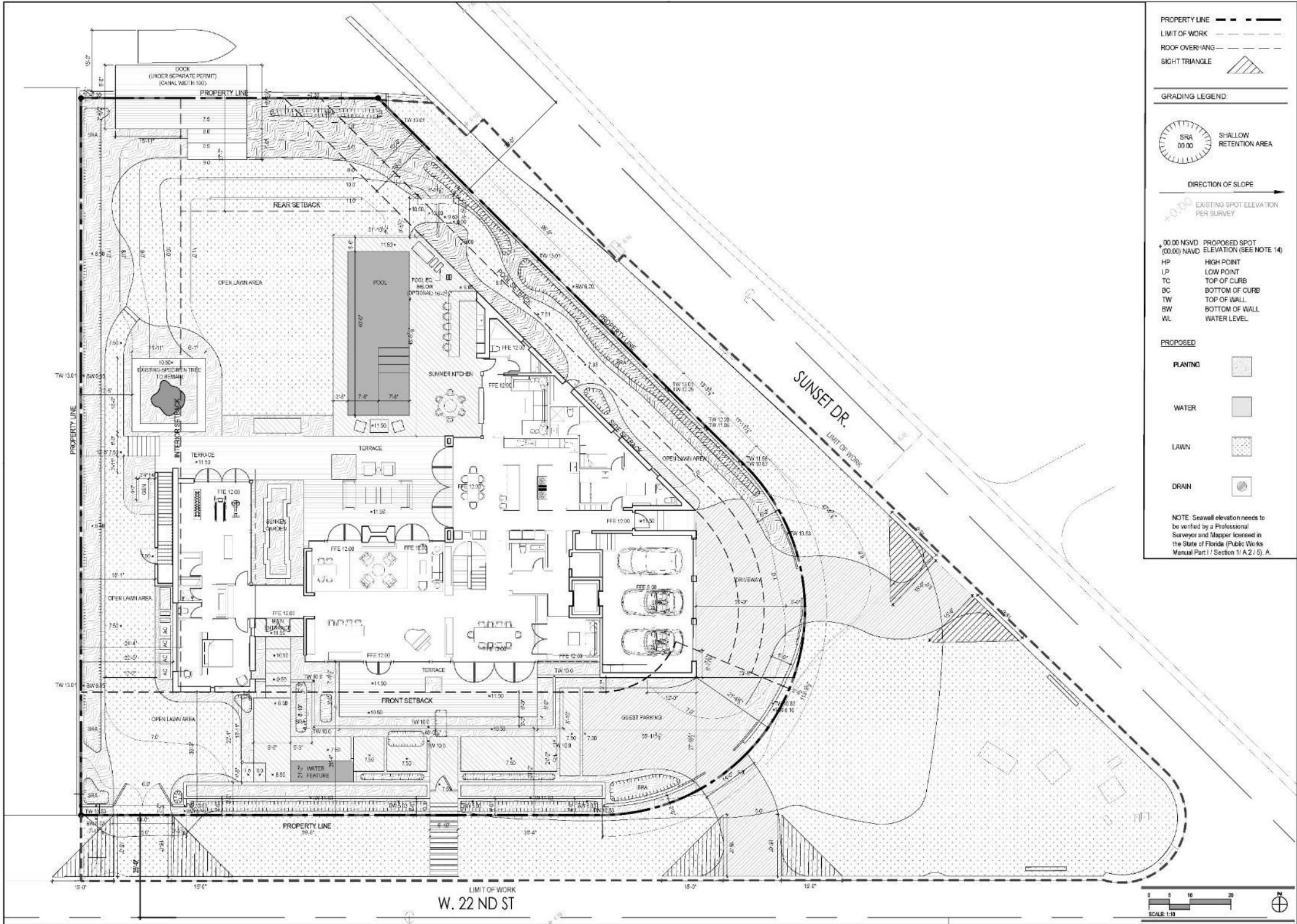
DATE: 11/19/2020

DATE: 11/19/2020

DATE: 11/19/2020

DATE: 11/19/2020

LH.405



PROPERTY LINE

LIMIT OF WORK

ROOF OVERHANG

SIGHT TRIANGLE

GRADING LEGEND:

SHALLOW RETENTION AREA

DIRECTION OF SLOPE

EXISTING SPOT ELEVATION PER SURVEY

PROPOSED SPOT ELEVATION (SEE NOTE 14)

HP HIGH POINT

LP LOW POINT

TC TOP OF CURB

BC BOTTOM OF CURB

TW TOP OF WALL

BW BOTTOM OF WALL

WL WATER LEVEL

PROPOSED

PLANTING

WATER

LAWN

DRAIN

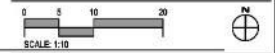
NOTE: Seawall elevation needs to be verified by a Professional Surveyor and Mapper licensed in the State of Florida (Public Works Manual Part I / Section 1 A 2 / 5), A.

jungles
RAYMOND JUNGLES INC
Landscape Architect / FLSA
2164 Aviation Ave., Miami, FL 33110
PH: 305.533.5777
www.jungleslandscape.com
PROJECT NO.: 20029

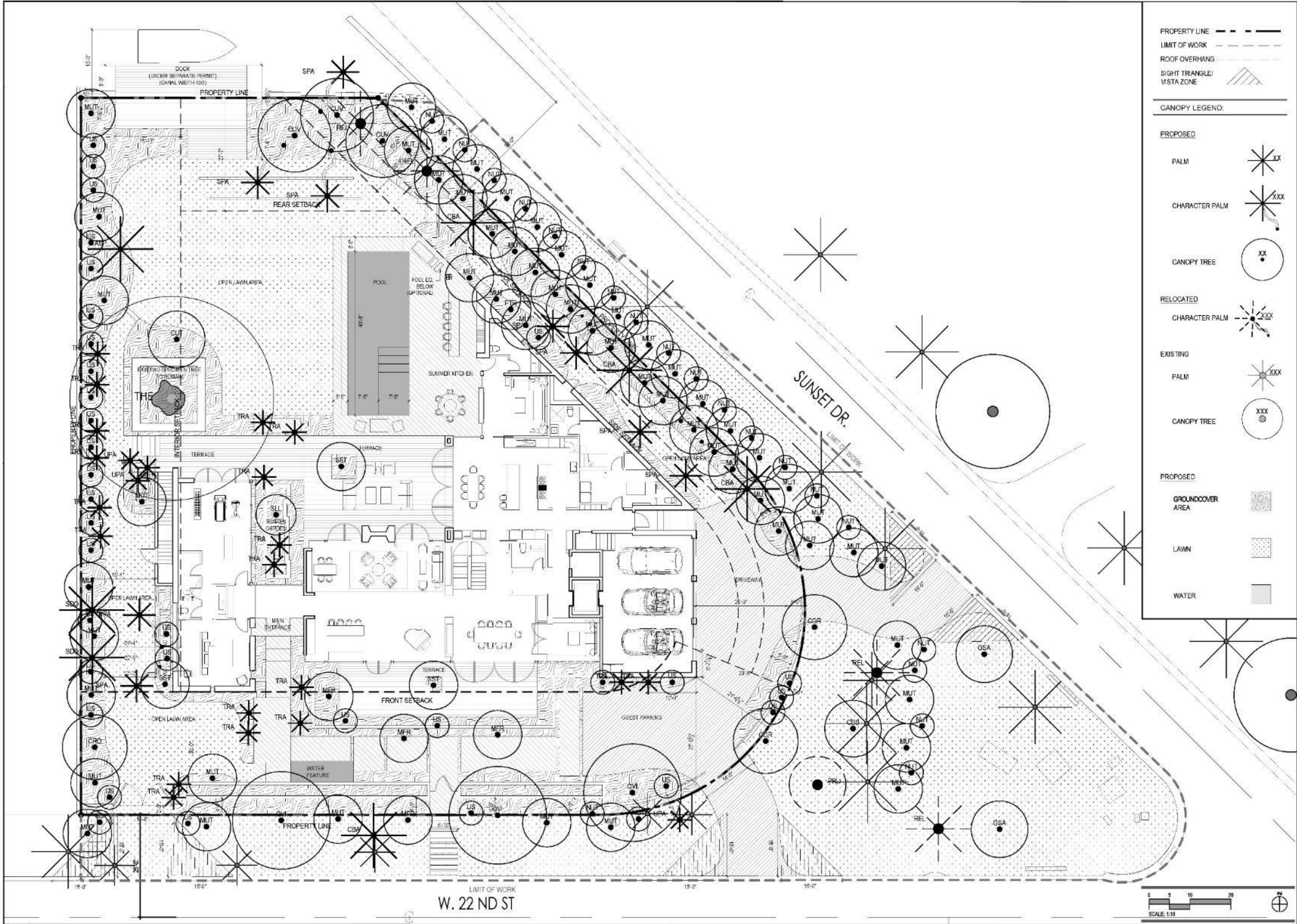
Miller Residence
1515 W. 22nd Street
Miami Beach, FL
1515 W. 22nd Street, Miami Beach, FL

REVISIONS
 11/15/2020 LMS CORRECTIONS
 12/02/2020 FINAL REVIEW

DATE	NOV 15 2020
SCALE	AS SHOWN
PROJECT	1515 W. 22ND STREET, MIAMI BEACH, FL
SHEET TITLE	GRADING PLAN
DATE	11-15-20
DRAWN BY	KB, FE
CHECKED BY	SCM
DATE	10/19/2020
SHEET NUMBER	LG.100



10/19/2020
 JAMES CHAMBERS
 8000 W. BROWNS BLVD. SUITE 200, MIAMI BEACH, FL 33136
 305.533.5777
 www.jungleslandscape.com



PROPERTY LINE - - - -
 LIMIT OF WORK - - - -
 ROOF OVERHANG - - - -
 SIGHT TRIANGLE/ VISTA ZONE

CANOPY LEGEND:

PROPOSED

- PALM *XX
- CHARACTER PALM *XXX
- CANOPY TREE (XX)

RELOCATED

- CHARACTER PALM *XXX

EXISTING

- PALM *XXX
- CANOPY TREE (XXX)

PROPOSED

- GROUNDCOVER AREA [stippled pattern]
- LAWN [dotted pattern]
- WATER [solid grey]

jungles
 RAYMOND JUNGLES INC
 Landscape Architect FABLA
 2954 Audubon Ave., Miami, FL 33133
 PH: 305.458.6777
 www.raymondjungles.com
 PROJECT NO.: 20025

Miller Residence
 1515 W. 22nd Street
 Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS:
 1. HATCHING: DISCREPANCY
 2. SYMBOL: FINAL SUBMITTAL

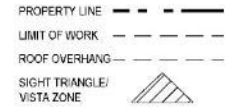
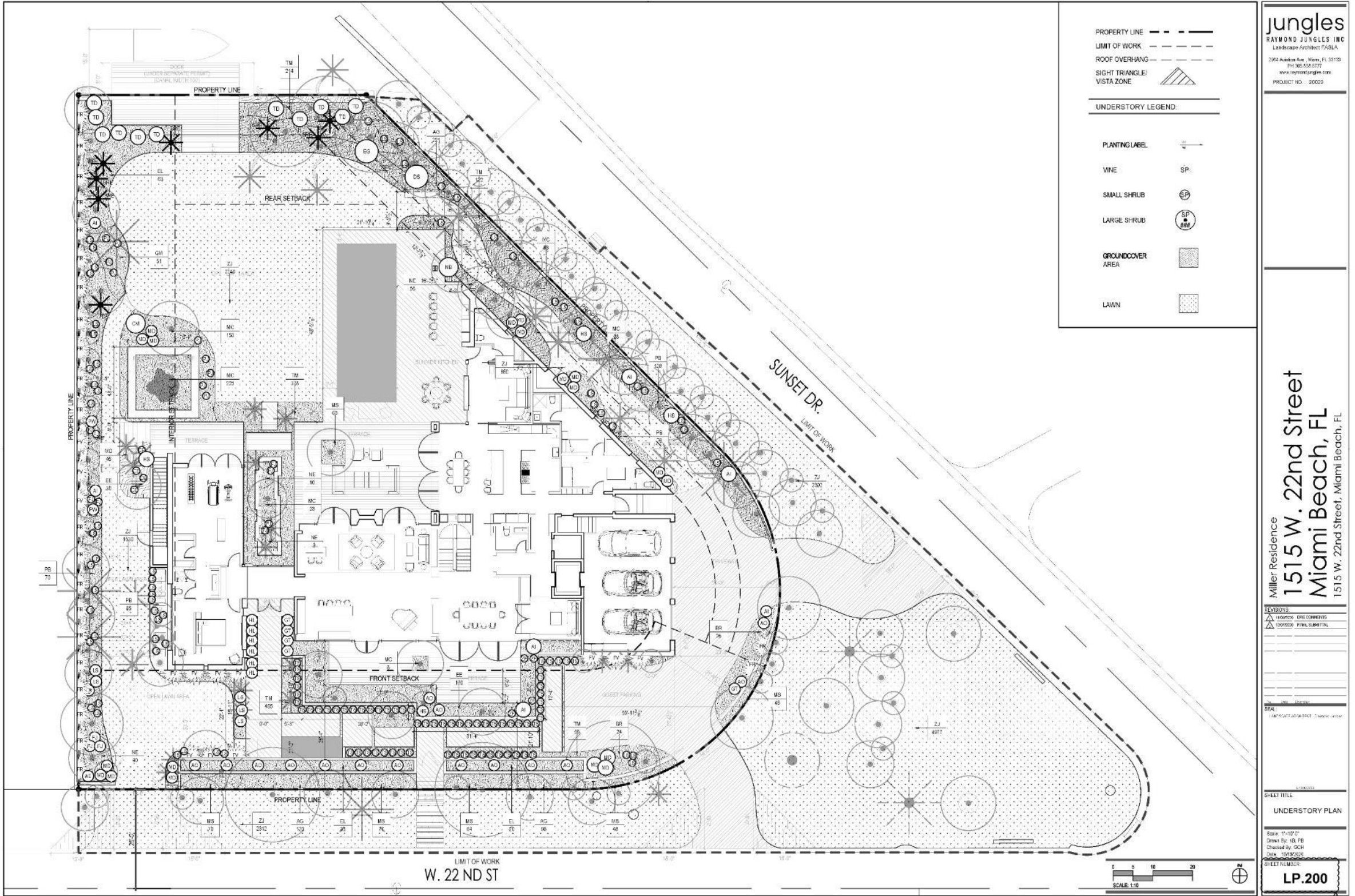
DATE: 10/19/2020
 SCALE: 1/8"=1'-0"
 SEAL: [Signature Box]

SHEET TITLE:
 CANOPY PLAN

Scale: 1"=10'-0"
 Drawn By: AS, PB
 Checked By: OCH
 Date: 10/19/2020

LP.100

10/19/2020 10:15 AM W. 22ND ST. MILLER RESIDENCE L.P. 100 (CANOPY PLAN) 10/19/2020 10:15 AM W. 22ND ST. MILLER RESIDENCE L.P. 100 (CANOPY PLAN)



UNDERSTORY LEGEND:



Miller Residence
1515 W. 22nd Street
Miami Beach, FL
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS

1	ISSUE FOR PERMITS
2	ISSUE FOR CONSTRUCTION
3	ISSUE FOR FINAL SUBMITTAL

SCALE

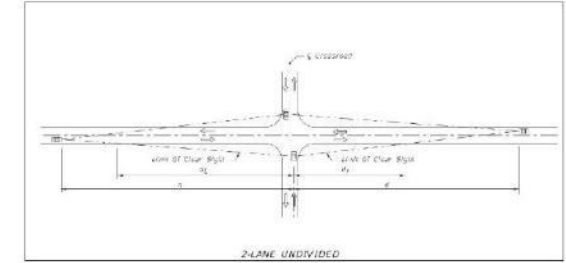
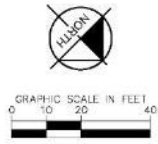
1" = 10'-0"
1/4" = 3'-0"
1/8" = 1'-0"

SHEET TITLE

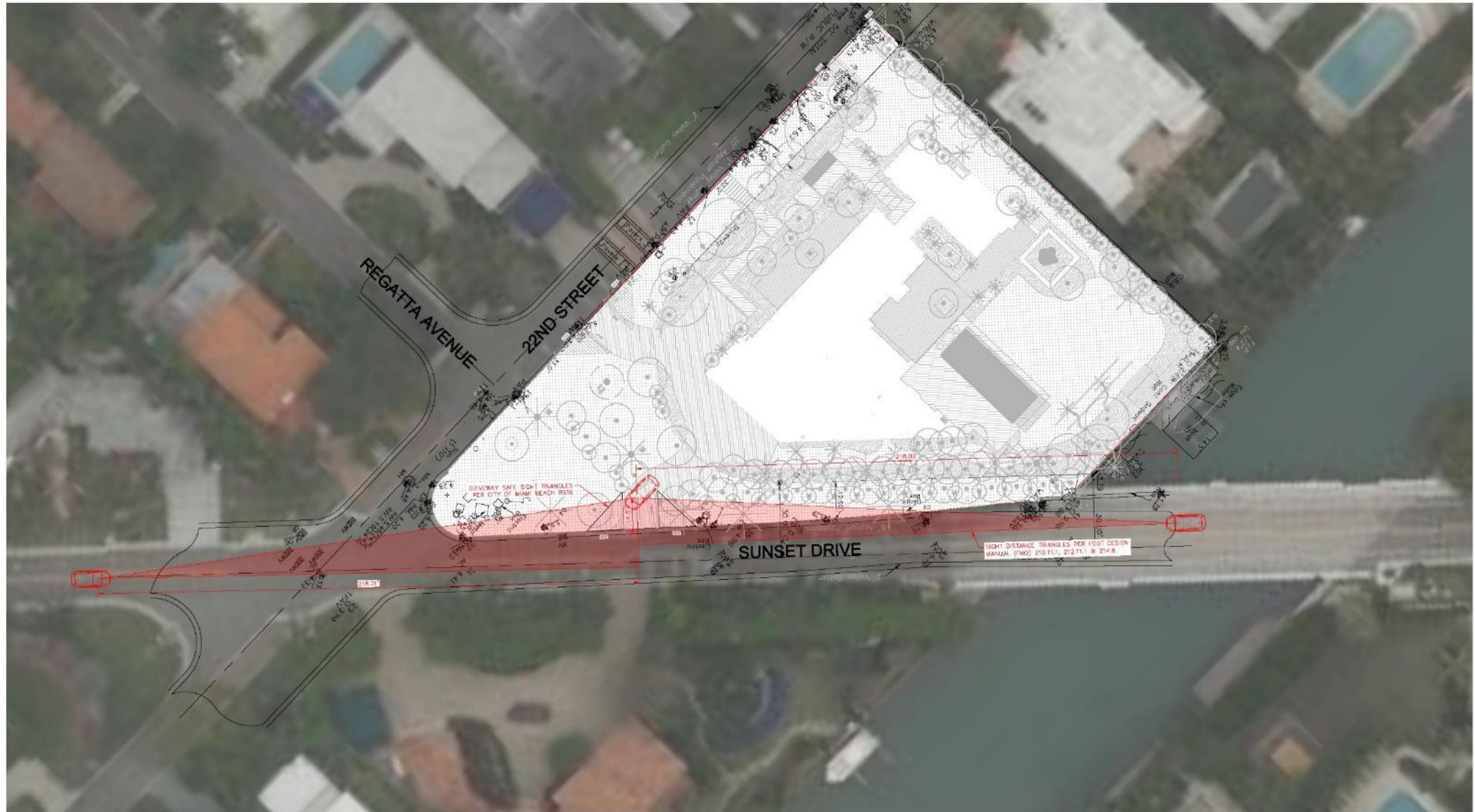
UNDERSTORY PLAN

Scale: 1"=10'-0"
 Drawn By: RB, FB
 Checked By: GCH
 Date: 10/19/2020
 SHEET NUMBER:

LP.200



FDM 212.11.1 EXHIBIT 212-4



Project: 143315000 - Miller Residence - Sight Distance Analysis - 08/11/2021
 1515 22ND STREET, SUITE 1400, CORAL GABLES, FL 33134
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No.	REVISIONS	DATE	BY

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
 385 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134
 PHONE: 305-673-3325
 WWW.KIMLEY-HORN.COM REGISTRY 696

KHA PROJECT 143315000
 DATE 01/26/2021
 SCALE AS SHOWN
 DESIGNED BY AJL
 DRAWN BY MIG
 CHECKED BY AJL
**1515 22ND STREET
 SIGHT DISTANCE ANALYSIS**
 PREPARED FOR
MR. AND MRS. BRAD MILLER
 CITY OF MIAMI BEACH FL

SIGHT DISTANCE EXHIBIT

SHEET NUMBER
EX. 1



Memorandum

January 26, 2021

Mr. & Mrs. Brad Miller
1515 22nd Street
Miami Beach, FL 33140

Re: 1515 W 22 St. - Sight Distance Analysis

Mr. & Mrs. Miller,

Kimley-Horn and Associates, Inc. has prepared a sight distance analysis for the single-family home redevelopment located at 1515 22nd Street Miami Beach, FL 33140. The sight distance analysis was completed according to the FDOT Design Manual (FDM) sections 210.11.1, 212.11.1, & 214.6 for an unsignalized two (2) lane road and the City of Miami Beach (CMB) driveway safe sight triangle detail RS16.

According to the Miami Dade County GIS system the roadway section of Sunset Drive that fronts the property has a speed limit 20 mph. Therefore, a design speed of 30 mph was used for the analysis. Per FDM 214.6, sight distances at driveways when intersecting roadway with a design speed equal or less than 35 mph must meet the minimum stopping sight distance values in FDM 210.11.1. Based on field observations and measurements the average grade of Sunset Drive north of the driveway connection is 6.19%, therefore a grade of 7% was used for the analysis. Per FDM table 210.11.1, the minimum stopping sight distance is 218 feet.

Based on the analysis the proposed driveway location onto Sunset Drive is in compliance with the FDM with the removal or relocation of two (2) existing palm trees and three (3) proposed trees located within the sight distance triangle as shown on the attached sight distance exhibit. Based on the CMB engineering manual the proposed driveway is in compliance with CMB driveway safe sight triangle detail RS16.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Armando J. Lopez".

Armando J. Lopez P.E.
Kimley-Horn and Associates, Inc.