INDIAN CREEK DRIVE & 71sT STREET -CLASS A STREETS

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'

Proposed height 55' tall

SEC 142-745 d.e.2: Buildings shall have a minimum of three floors located along a minimum of 90 percent of the setback line.

71 st Street
90% x 165'-2" =148'-7"
Provided 143'-11" =87%
VARIANCE 7 REQUIRED

Indian Creek Drive
90% x 171'-9" =154'-6"
Provided = 156'-11" = 91%

SEC 142-745 d.e.2.b: The ground floor shall contain habitable space with a minimum depth of 50 feet from the building facade

95'-9" / 171'-9" = 56%- VARIANCE 4 REQUIRED

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

71 st Street
total habitable frontage = 142'
frontage for access to upper floors=43'-0"=26%

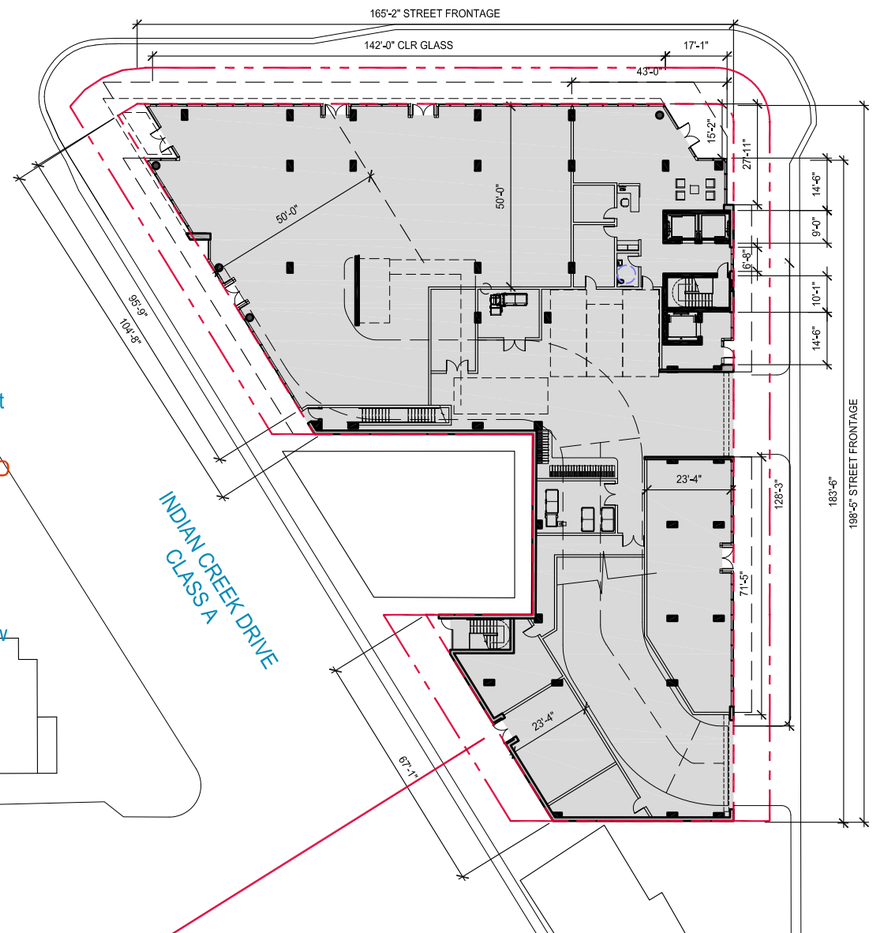
Indian Creek Drive
total habitable frontage = 95'-9"
frontage for access to upper floors=0=0%

SEC 142-745 e.6:

VARIANCE 6 REQUIRED

To allow FPL / mechanical rooms on Class A street

71 ST STREET
CLASS A



CARLYLE AVENUE- CLASS C STREET

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'

Proposed height 37'-6" tall

SEC 142-745 d.g.2: Buildings shall have a minimum of one floor located along a minimum of 85 percent of the setback line.

85% x 198'-5" =168'-7"
183'-6" = 92%

SEC 130-101: Required loading
Based on 110 units a total of 4 loading spaces required.

VARIANCE REQUIRED
to provide 3 spaces in lieu of 4 due to ground floor geometrical constraints.

SEC 142-745 d.g.2.c: Except where required for driveways and utility infrastructure, the ground floor shall contain habitable space for residential, hotel, or commercial uses with a minimum depth of 20 feet from the building facade for the minimum required length along the setback line
PROVIDED

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

Total habitable frontage = 80'
frontage for access to upper floors = 28' = 35%

INDIAN CREEK DRIVE & 71sT STREET -CLASS A STREETS

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'

Proposed height 55' tall

SEC 142-745 d.e.2: Buildings shall have a minimum of three floors located along a minimum of 90 percent of the setback line.

71 st Street
90% x 165'-2" =148'-7"
Provided 116'-11"
VARIANCE 7 REQUIRED

Indian Creek Drive
90% x 171'-9" =154'-6"
Provided = 156'-11" = 91%

SEC 142-745 d.e.2.b: The ground floor shall contain habitable space with a minimum depth of 50 feet from the building facade

95'-9" / 171'-9" = 56%- VARIANCE 4 REQUIRED

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

71 st Street
total habitable frontage = 142'
frontage for access to upper floors=43'-0"=26%

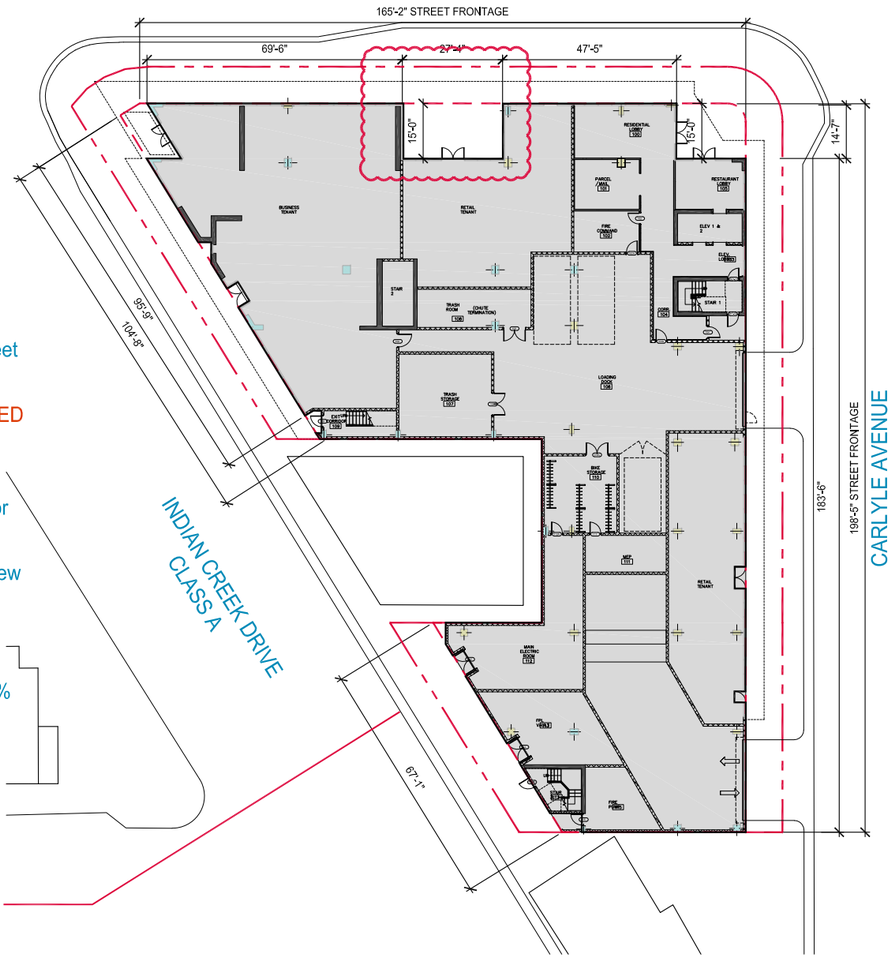
Indian Creek Drive
total habitable frontage = 95'-9"
frontage for access to upper floors=0=0%

SEC 142-745 e.6:

VARIANCE 6 REQUIRED

To allow FPL / mechanical rooms on Class A street

71 ST STREET
CLASS A



CARLYLE AVENUE- CLASS C STREET

SEC 142-745 d.g.1 Facades shall have a minimum height of 35'

Proposed height 37'-6" tall

SEC 142-745 d.g.2: Buildings shall have a minimum of one floor located along a minimum of 85 percent of the setback line.

85% x 198'-5" =168'-7"
183'-6" = 92%

SEC 130-101: Required loading

Based on 110 units a total of 4 loading spaces required.

VARIANCE REQUIRED

to provide 3 spaces in lieu of 4 due to ground floor geometrical constraints.

SEC 142-745 d.g.2.c: Except where required for driveways and utility infrastructure, the ground floor shall contain habitable space for residential, hotel, or commercial uses with a minimum depth of 20 feet from the building facade for the minimum required length along the setback line

PROVIDED

SEC 142-745 a.8.d: No more than 35 percent of the required habitable space along the ground floor of a building frontage shall be for access to upper levels, unless waived by the design review board

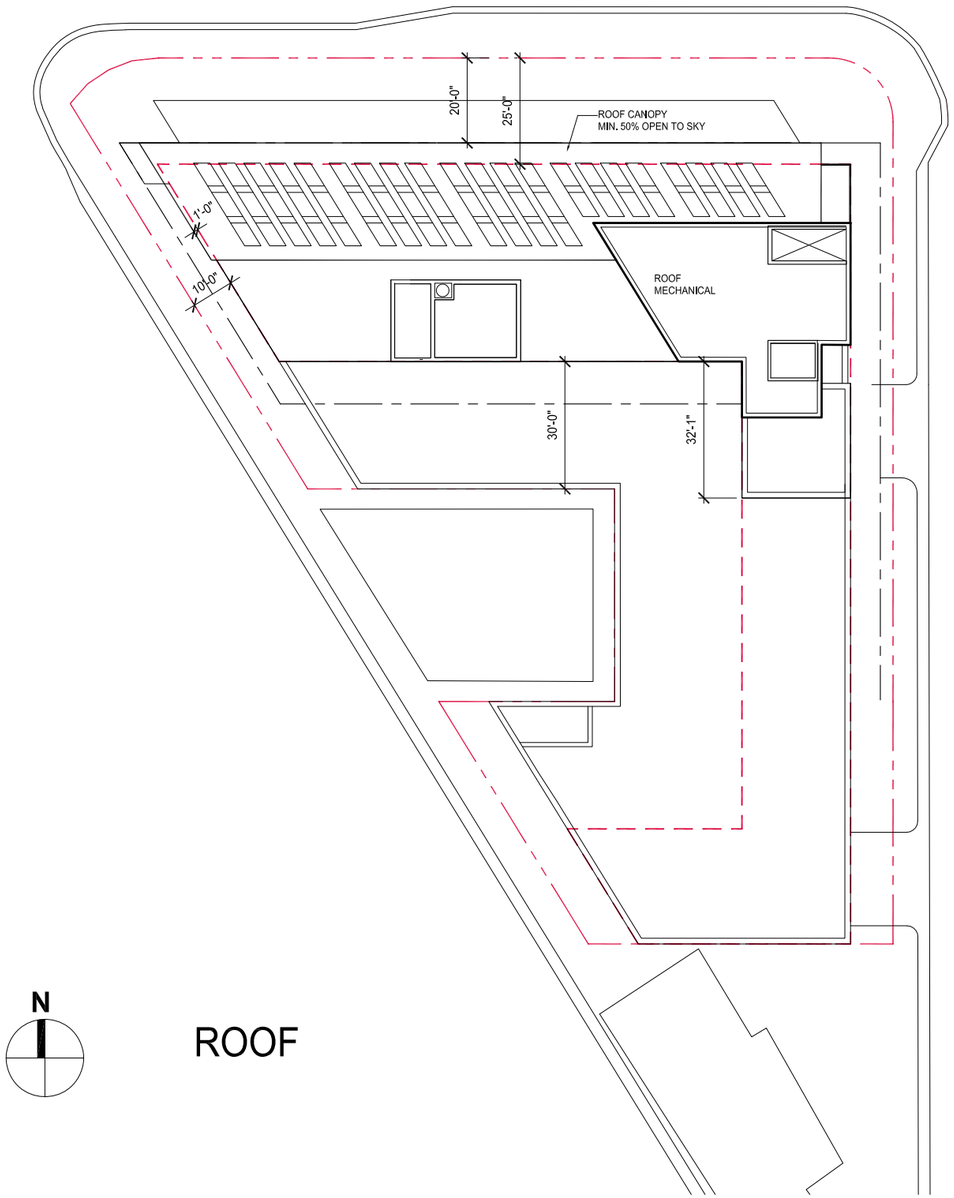
Total habitable frontage = 80'
frontage for access to upper floors = 28' = 35%

71st Street and Indian Creek Drive

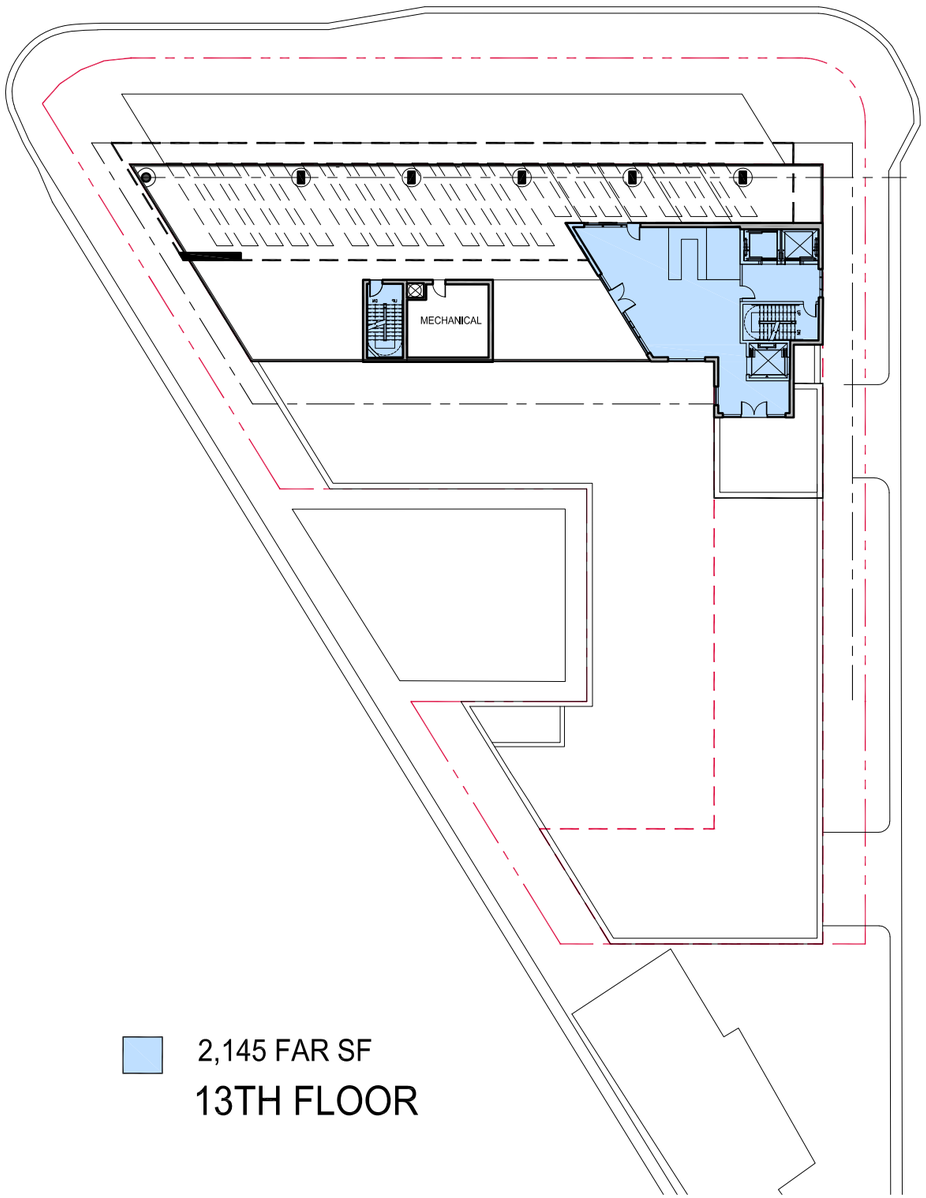
NoBe Creek LLC
BUILT FORM
ARCHITECTURE

FRONTAGE DIAGRAM

DRB FINAL SUBMITTAL
REVISED NOVEMBER 23, 2020

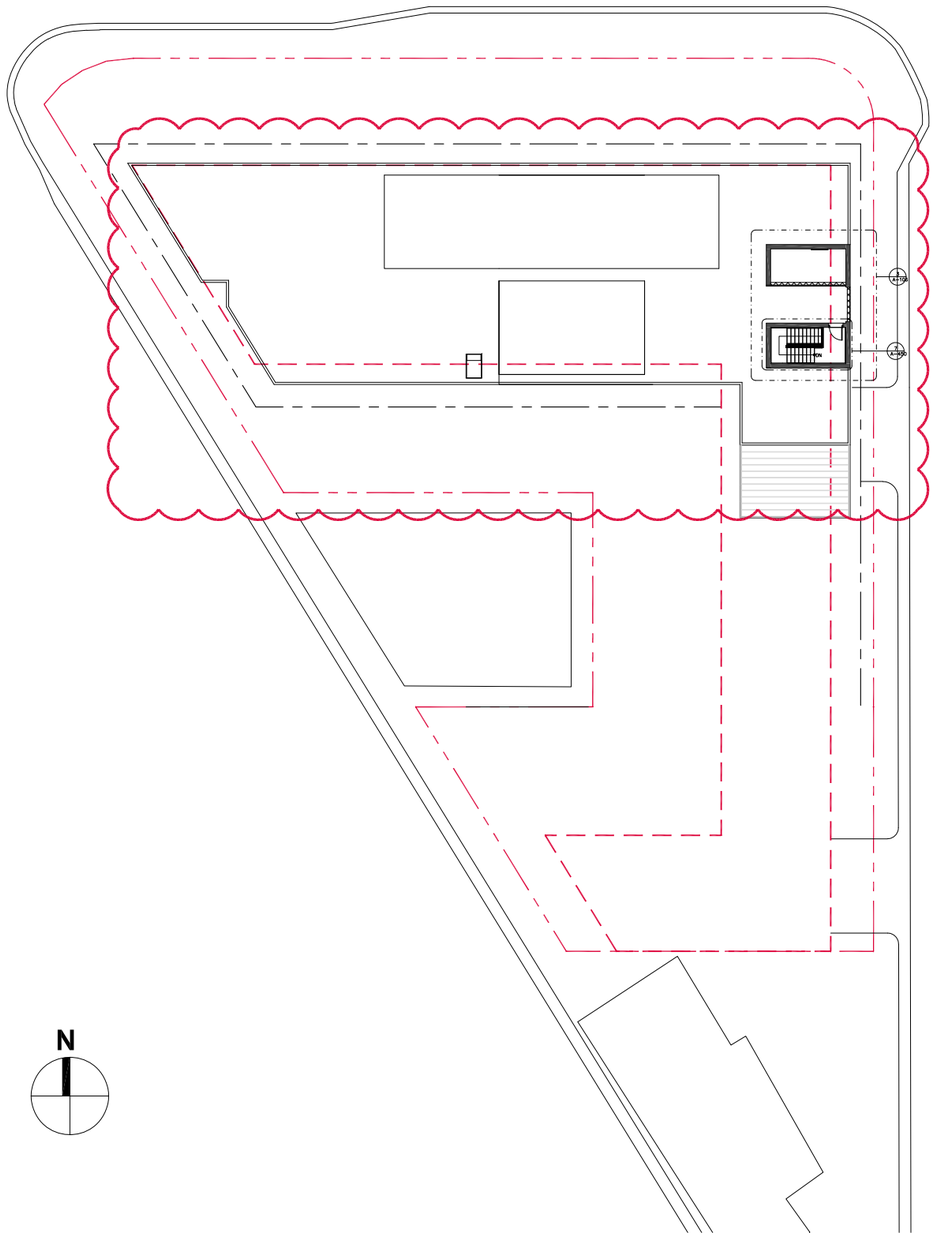


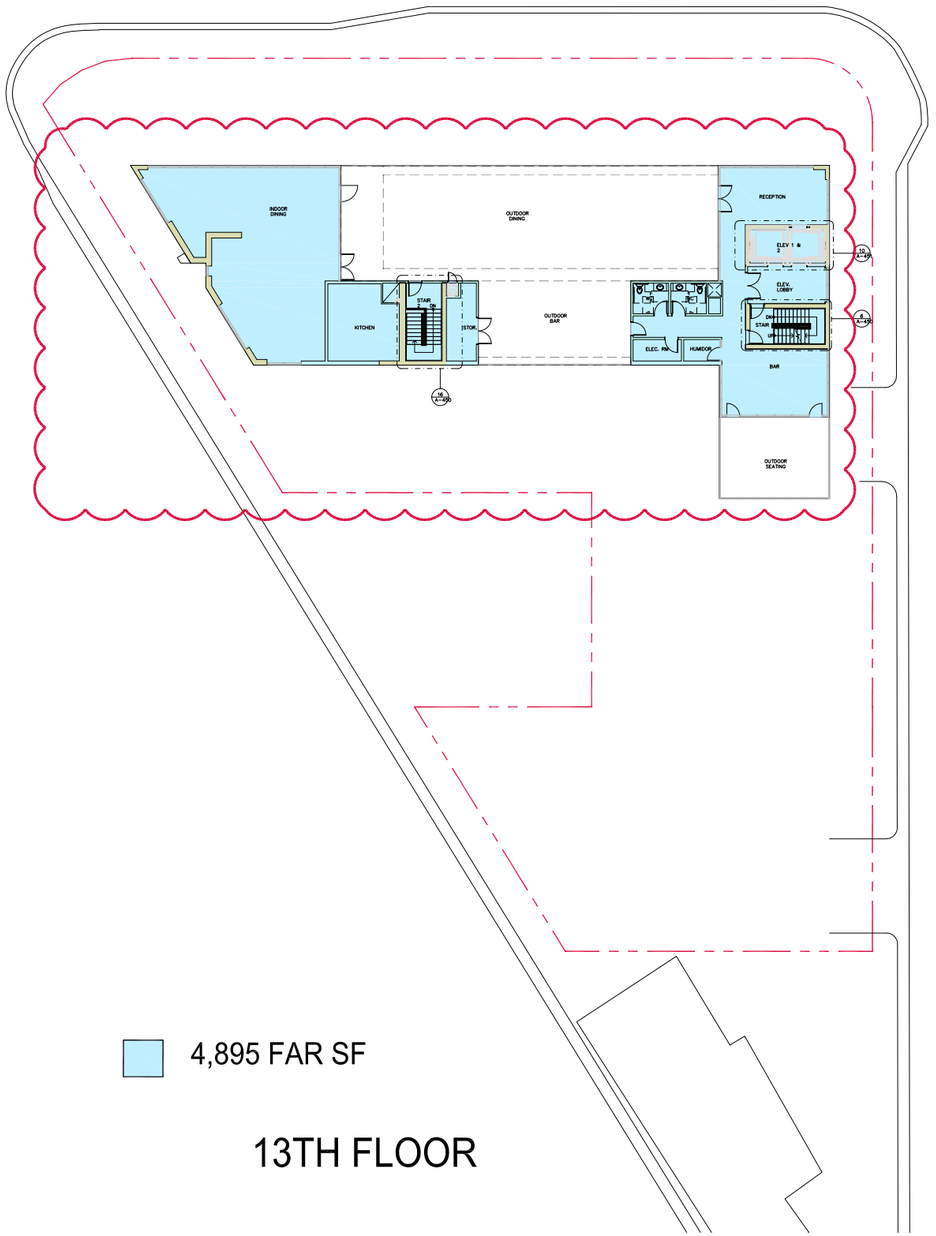
ROOF



2,145 FAR SF

13TH FLOOR





N

4,895 FAR SF

13TH FLOOR

Original DRB Submission

Revised DRB Submission

PROPOSED CHANGES

1- EXTENDED ROOF VOLUME UP
2- LOWERED PODIUM BY 1 FLOOR
3- COMBINED NORTH BALCONIES
4- ADDED STUCCO AT SHEAR WALL

BASED ON STAFF INPUT :

1. ADDED BACK SPANDREL GLASS AT SHEAR WALL
2. BROKE DOWN THE NORTH BALCONY RUN
3. LOWER SOUTH WEST ROOF LINE

Final DRB Submission

Original DRB Submission

Revised DRB Submission

Final DRB Submission

Original DRB Submission

Revised DRB Submission

PROPOSED CHANGES

1- BREAKING CORE MASS
2- BRINGING WINDOW WALL FLUSH TO SLAB
3- COMBINED NORTH BALCONIES

Final DRB Submission

BASED ON STAFF INPUT

1- RECONNECT CORE MASS
2- RECESSED WINDOW WALL AT CORE
3- BROKE DOWN NORTH BALCONIES

Original DRB Submission

Revised DRB Submission

Final DRB Submission

DRB Review

Carlyle Avenue

BUILT FORM, LLC

71st Street and Indian Creek Drive

Town Center Gateway

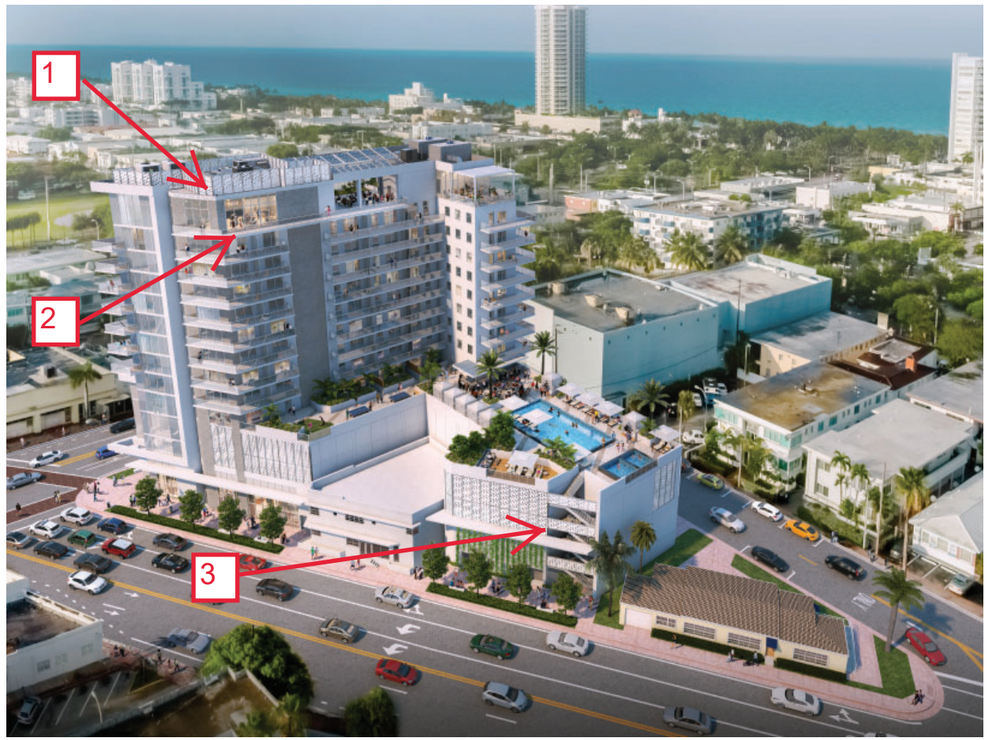
03/02/2021

Original DRB Submission

Revised DRB Submission

PROPOSED CHANGES

1- RAISED ROOF MASSING LEVEL TO FIN
2- SOLID STUCCO WALL- MINIMAL GLAZING
2- NO OPENINGS IN SCREENS AT STAIR



BASED ON STAFF INPUT

1- DROPPED ROOF LINE TO MAINTAIN FIN HIERCHY
2- ADDED BALCONY LINE TO MAINTAIN THE FACADE ARTICULATION IN ORIGINAL DRB
3- ADDED OPENINGS IN STAIR SCREEN

Final DRB Submission

Original DRB Submission

Revised DRB Submission

Final DRB Submission

Original DRB Submission

Revised DRB Submission

Final DRB Submission

Original DRB Submission

Revised DRB Submission

PROPOSED CHANGES

1- STUCCO FINISH ADDED TO CORNER COLS
2- RAISED SHADE CANOPY UP 2'-0"
3- COMBINING NORTH BALCONY RUN
4- LOWERED PODIUM 1 FLOOR

BASED ON STAFF INPUT

1- ADDED SPANDREL GLASS TO CORNER
2- ADDED BREAK IN NORTH BALCONY RUN

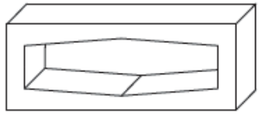
Final DRB Submission

Concept Image:
White painted perforated screen on grid with gemoetric pattern

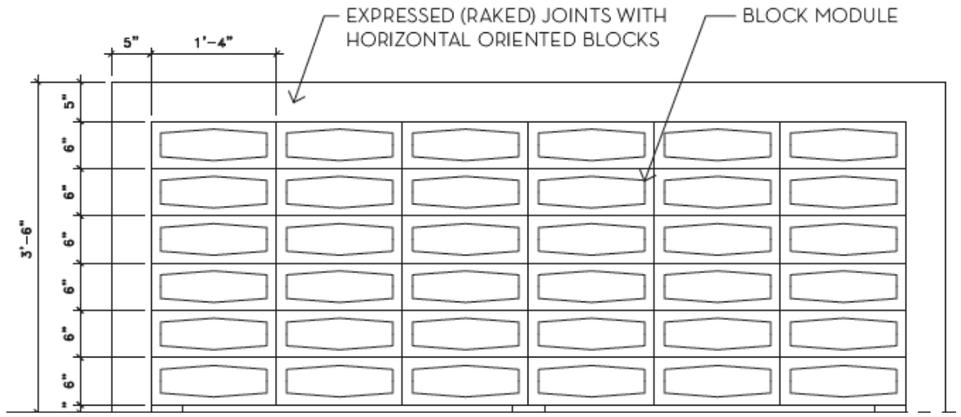
Ⓓ Modular Concrete Breezeblock: 6” x 16” Type

A more slender block type, 6”x16”, these blocks stack perfectly to achieve a 42” height rail with a large amount of opening. These block designs were found in original patterns with expressed joints, smooth joints between blocks, and in vertical and horizontal orientation. These details, and the original thickness of the posts and rail at the top should all be taken into consideration.

SUITABLE BLOCK TYPES
DESIGN COURTESY OF ABEL BUILDING SOLUTIONS AND E ZEE LAY BRICKS

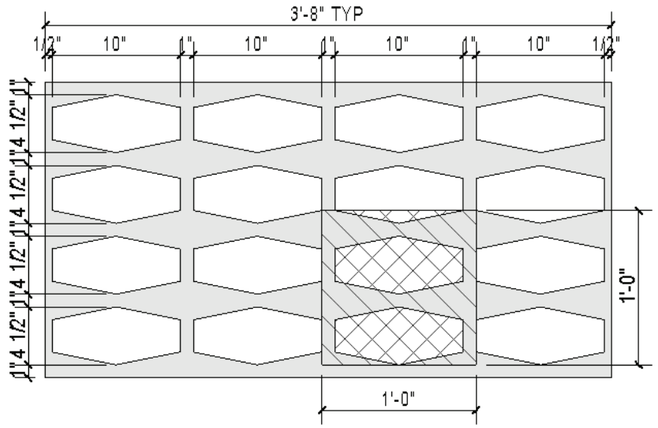


HARLEQUIN



Precedent Pattern:
Selected from the Post-War Modern / MiMo Design Guideline, the Harlequin pattern of the modular concrete breezeblock is most similar to the orignal intent and lends itself well to the use in perforated metal panel screening

Actual Perforation Pattern



LINEAR OPEN PERFORATION PERCENTAGE:
(10" X 4) / 3'-8" = 90.9%

OPEN AREA PERFORATION PERCENTAGE:
(0.2431 SF x 2) + 0.0347 SF = 0.5209 = 52.09%

Grey Stucco

Metal Screen

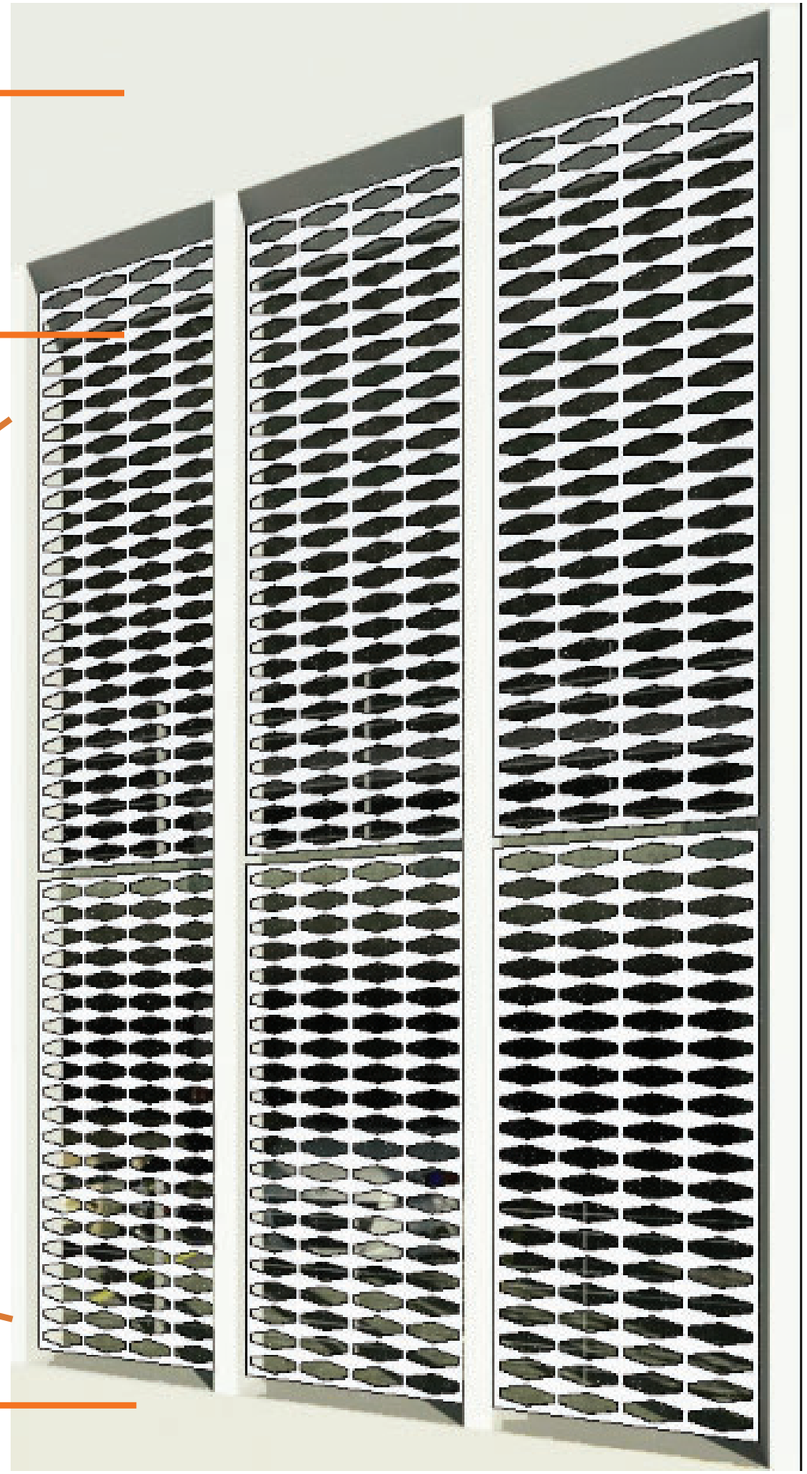
White Stucco

Metal Accent

White Stucco

White Perforated Metal Screen

White Stucco



DRB Review

Enlarged Carlyle Avenue Rendering

BUILT FORM, LLC

71st Street and Indian Creek Drive

Town Center Gateway

03/02/2021