

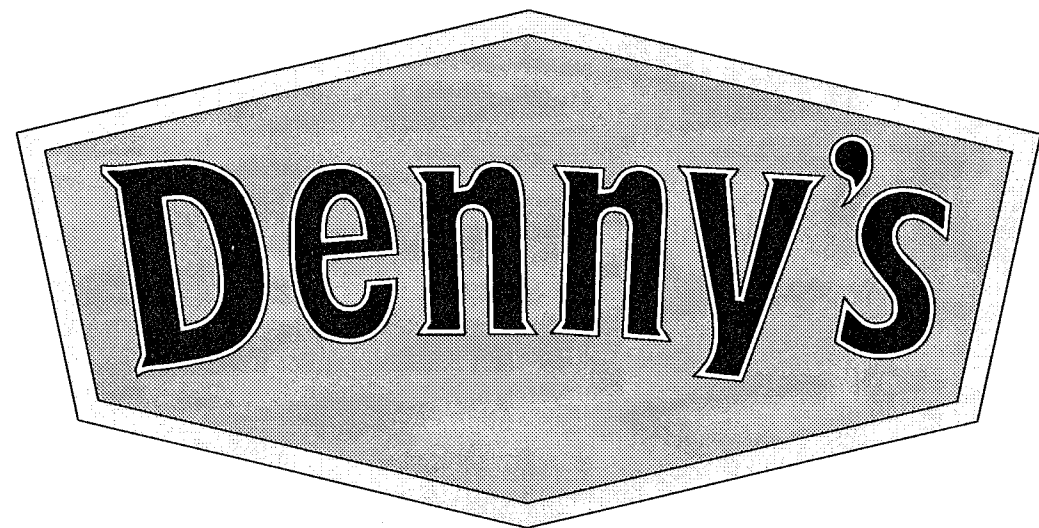
B/302198
17/40 COLLINS AVE

B/302198
7140 Collins Ave.

WORKING CUSTOMER DIVISION
Reviewed by: Richard Robinson
Initial: _____ Date: 5-12-12
VERIFICATION FORM
Required Not Required
ORD. LETTER 68-85
Required Not Required
OTHER: #201336631
15-3-11

OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING: M. Schab
5-28-12
BUILDING: RP 5/12/12
ZONING: DRB 5/12/12
DRB/HPB: DRB 5/12/12
CONCURRENCE: DRB 5/12/12
PLUMBING: DRB 5/12/12
ELECTRICAL: DRB 5/12/12
MECHANICAL: DRB 5/12/12
FIRE PREVENTION: DRB 5/12/12
ENGINEERING: DRB 5/12/12
PUBLIC WORKS: DRB 5/12/12
STRUCTURAL: DRB 5/12/12
ELEVATOR: DRB 5/12/12

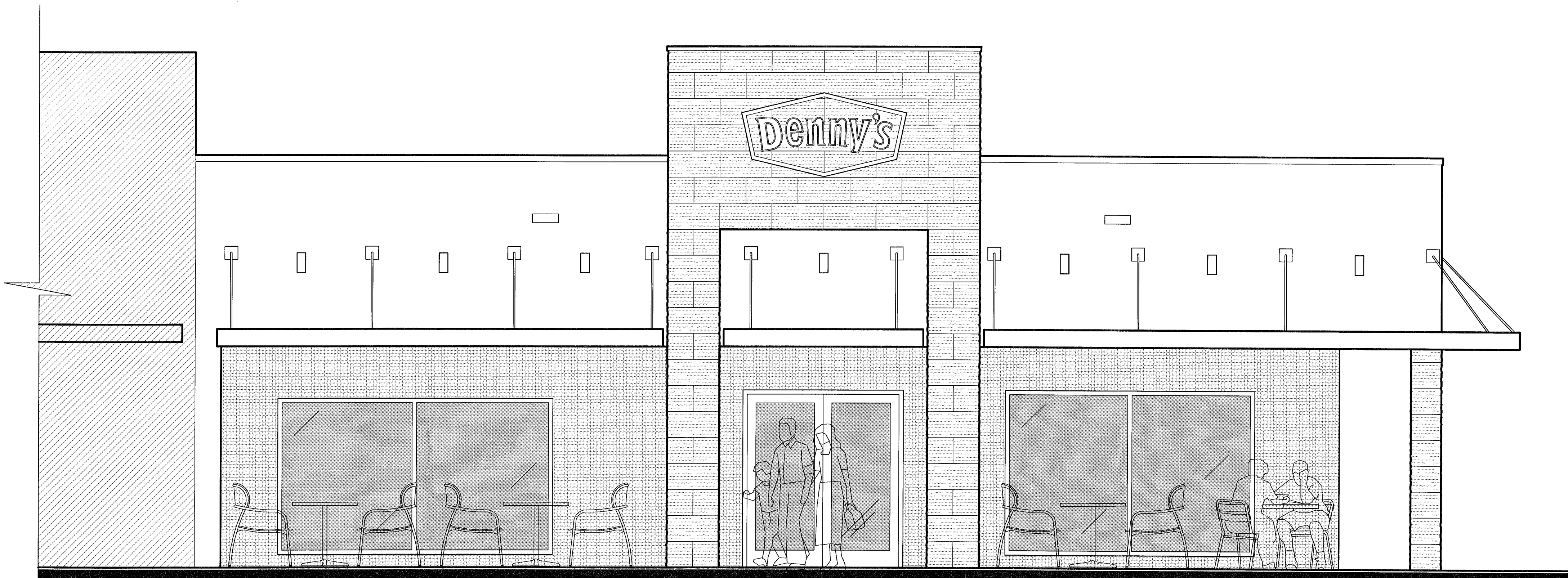
Renovation for:



7140 Collins Avenue, Miami Beach, FL 33141-3212

LEGAL DESCRIPTION:

LOTS 9, 10, 11, AND 12, IN BLOCK 8, "NORMANDY BEACH SOUTH", IN SECTION 2, TOWNSHIP 53 SOUTH, RANGE 42 EAST, CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA; RECORDED IN PLAT BOOK 21, PAGE 54, MIAMI-DADE COUNTY RECORDS



Front (East) Elevation as viewed on Collins Avenue

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PROJECT TEAM:

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luke@bryntesen.com
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MECHANICAL ENGINEER:
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mepengineer@aol.com
CONTACT PERSON: RAJA BUCHANAN, P.E.

Submittal Dates and Numbers:

DRB Submittal: 10 / 19 / 2012
Demolition Permit: 12 / 19 / 2012
Building Permit: 01 / 29 / 2013
Health Department: 01 / 29 / 2013

DRB File Number: 22938
Demolition Process No.: BD130072
Building Permit Number: B1302198
Log Number: HQ-13-3372 (App. Nmbr. 723692)

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0.0 PROPERTY SURVEY
COVER SHEET, and DRAWING INDEX

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D-0.2 DEMOLITION FLOOR PLAN
D-0.3 STRUCTURAL SLAB DEMOLITION PLAN
D-0.4 DEMOLITION ELEVATIONS
A-0.1 PROJECT GENERAL NOTES and SPECIFICATIONS
A-1.1 PROJECT SITE PLAN with Zoning Data Tabulation
A-2.0 LIFE SAFETY PLAN
A-2.1 FLOOR PLAN
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A-2.3 ROOF PLAN
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S2.0 FOUNDATION PLAN
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S3.0 STRUCTURAL DETAILS
S3.1 STRUCTURAL DETAILS
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HOOD-4 ANSUL PLAN and DETAILS

Landscaping

L-1 LANDSCAPE PLAN

Irrigation

IR-1.1 IRRIGATION PLAN

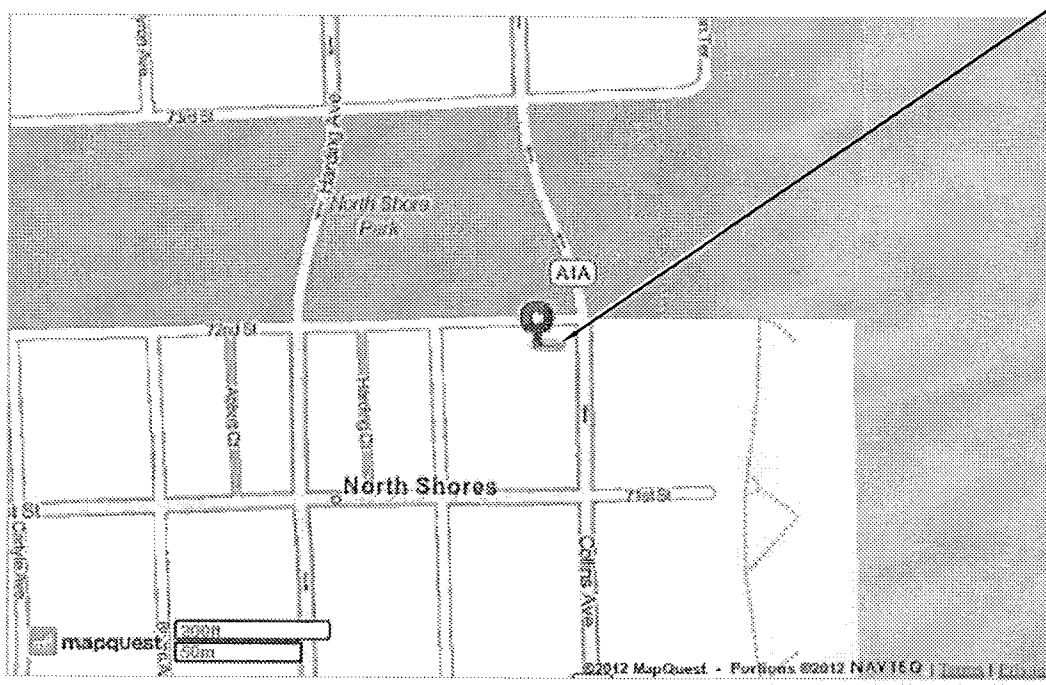
ADDED EXHAUST DUCT DUGS,
WALK-IN COOLER DUG, AND
IRRIGATION PLAN

DRAWING REVISION LOG

Drawing Revision	Sheets Revised:	Date:
City Demo Permit Comments	D-0.2	12 /26/2012
County Demo Permit Comments	D-0.2	01/03/2013
General Revision (Windows, and Trees)	D-0.2	01/24/2013
Permit Revisions: New Street Trees along 72nd St., Bike Rack, Revised roof equipment locations, Roof Equipment Screening, misc. permit revisions.	D-0.1, D-0.2, A-0.0, A-1.1, A-2.0, A-2.1, A-2.2, A-2.3, A-2.4, A-3.1, A-4.1, A-6.4, S1.0, S2.0, S2.1, S3.0, S3.1, S4.0, M-1, E-2, E-3, P-1, P-2, P-3, PH-1, FS-5, HOOD-1, HOOD-2, FS-5, HOOD-3, L-1, AND IR-1.1.	03/14/2013
Denny's Revisions: Added finish notes for quarry tile, and FRP. Added stained wood trim around windows, and 1x2 stained wood cap at ceilings of dining room. Restroom doors to be stain grade.	A-0.0, A-5.1, A-6.1, A-6.2, A-6.3, A-6.4, and A-7.1	03/25/2013
Permit Revisions (2nd Round): Lowered lunch counter to be HC accessible (05 / A-5.3). Removed blocked-up windows. Changed bike rack to Public Works Specs (06 / A-5.3).	A-0.0, A-1.1, A-2.0, A-2.1, A-3.1, A-4.1, A-5.1, A-5.3, A-6.2, A-6.3, A-7.1, E-1.1, FS-1, FS-1a, FS-2, FS-3, FS-4, HOOD-4.	04/12/2013

Drawing Index

Renovation for Denny's at 7140 Collins Avenue, Miami Beach, FL



Project Location Plan

PROFESSIONAL SEAL

05.14.13
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Ron Fairchild
ARCHITECT

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PLANS APPROVED
City of Miami Beach
Department of Planning and Development

Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

PERMIT REVISION
03/14/2013

COVER SHEET,
DRAWING INDEX,
and CODE DATA

SHEET

0.0

PROJECT: 12008
DATE: 01-31-13
D:\COVER SHEET\DENNY'S AT COLLINS AVE

Demolition Site Plan

SCALE: $\frac{1}{8}'' = 1'-0''$ 01

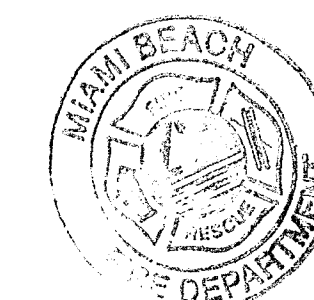
Demolition Notes

- D1. BEFORE STARTING DEMOLITION ALL AFFECTED UTILITIES SHALL BE DISCONNECTED UNLESS OTHERWISE INDICATED OR DIRECTED.
- D2. "PROGRESS OF THE WORK"
- D3. THE WORK SHALL PROCEED IN SUCH MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS FOR PERSONNEL.
- D4. PRECAUTIONS SHALL BE TAKEN TO "
- D5. CONTRACTOR SHALL CONFIRM THAT NONE OF THE EXISTING PARTITIONS TO BE REMOVED ARE LOAD BEARING. ANY QUESTIONS IN REGARD TO THIS SHALL BE DIRECTED TO THE ARCHITECT.
- D6. EXISTING PLUMBING VENTS, STUB OUTS, AND/OR PIPING SHALL BE PROPERLY "CAFFED OFF" AFTER INITIAL DEMOLITION.
- D7. EXISTING ELECTRICAL WIRES AND/OR CONDUITS SHALL BE PROPERLY TAPED OR "CAFFED OFF" AFTER INITIAL DEMOLITION.
- D8. PROPER SEQUENCING OF THE DEMOLITION WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- D9. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ANY NECESSARY FENCING, AND PROTECTIVE BARRIERS, BETWEEN THE WORK AREA AND THE EXISTING PUBLIC SIDEWALK.
- D10. PRIOR TO STARTING DEMOLITION, THE GENERAL CONTRACTOR SHALL REQUEST A COPY OF THE EXISTING BUILDING PLANS FROM THE ARCHITECT. UPON REQUEST, THE ARCHITECT SHALL EMAIL THE G.C. PDF COPIES OF THE EXISTING PLANS FOR REFERENCE.

Demolition Permit

A SEPERATE DEMOLITION PERMIT WAS ISSUED FOR THIS PROJECT.
THE DEMOLITION PERMIT NUMBER FOR THIS PROJECT IS BD130072.

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

03.20.2013

RON FAIRCHILD
AR0016263

Ron
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ARCHITECT

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

Renovation for:

DRAWING REVISION DATES:

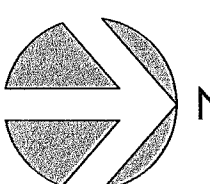
 DRB REVISION
02/13/2013

Demolition Site Plan

SHEET

D-0.1


PROJECT: 12008
DATE: 01-31-13
D-D-1_DEMO SITE PLAN (DENNY'S AT COLLINS)



SCALE: $\frac{1}{4}" = 1'-0"$

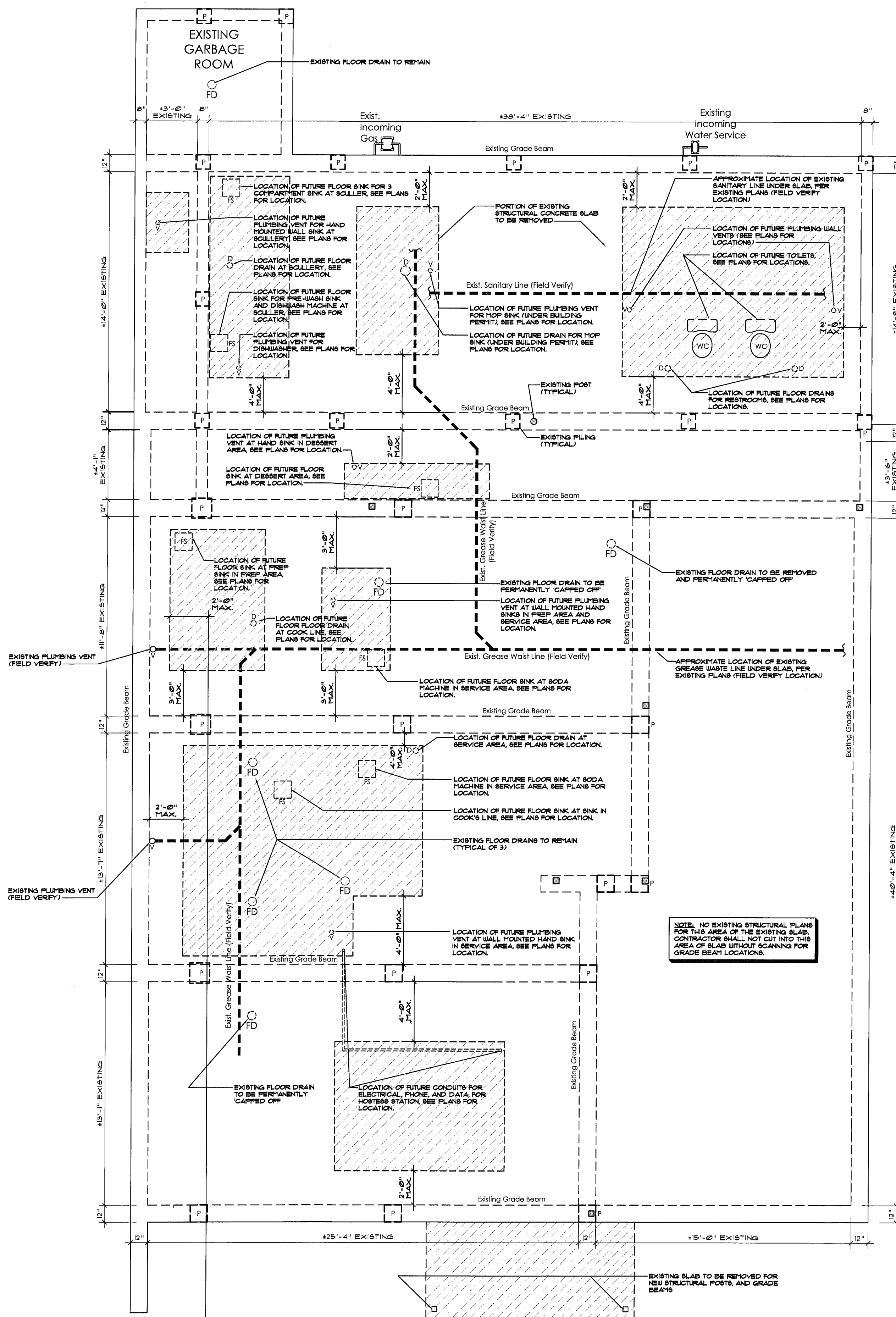
PROJECT: 12008
DATE: 01-31-13
D-D.2 DEMO FLOOR PLAN (DENNY'S)

PROFESSIONAL SEAL



03-20-2013

RON FAIRCHILD
AR0016263



Slab Demolition Notes

91. GENERAL CONTRACTOR SHALL OBTAIN A SET OF THE EXISTING BUILDING RECORD PLANS FROM THE ARCHITECT PRIOR TO DEMOLITION.
92. GENERAL CONTRACTOR SHALL OBTAIN A SET OF THE NEW CONSTRUCTION PLAN FROM THE ARCHITECT, PRIOR TO ANY DEMOLITION. THIS PLAN SHALL BE USED FOR REFERENCE ONLY, TO LOCATE FUTURE DRAINS, FLOOR SINKS, AND VENTS. NO NEW WORK IS TO BE DONE UNTIL A BUILDING PERMIT IS RECEIVED.
93. USING THE RECORD PLANS, AND THIS PLAN, THE GENERAL CONTRACTOR SHALL FIELD LOCATE THE EXISTING GRADE BEAMS (USING A METALLISCANNER, OR SIMILAR METHOD), PRIOR TO CUTTING OF THE SLAB.
94. GENERAL CONTRACTOR SHALL AVOID CUTTING OF ANY EXISTING GRADE BEAM, OR PILING CAP.
95. LOCATION OF SLAB CUTS SHOWN ARE APPROXIMATE. IT SHALL BE UP TO THE GENERAL CONTRACTOR TO FIELD COORDINATE THE ACTUAL EXTENTS OF EACH SLAB CUT OUT WITH THE APPROPRIATE SUB-CONTRACTORS. THE ARCHITECT SHALL BE NOTIFIED OF ANY MAJOR DEVIATIONS FROM THIS SLAB DEMOLITION PLAN.

PROFESSIONAL SEAL

02-01-13

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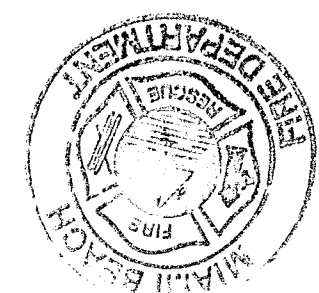
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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DRAWING REVISION DATES:

Existing Slab
Demolition Plan

SHEET

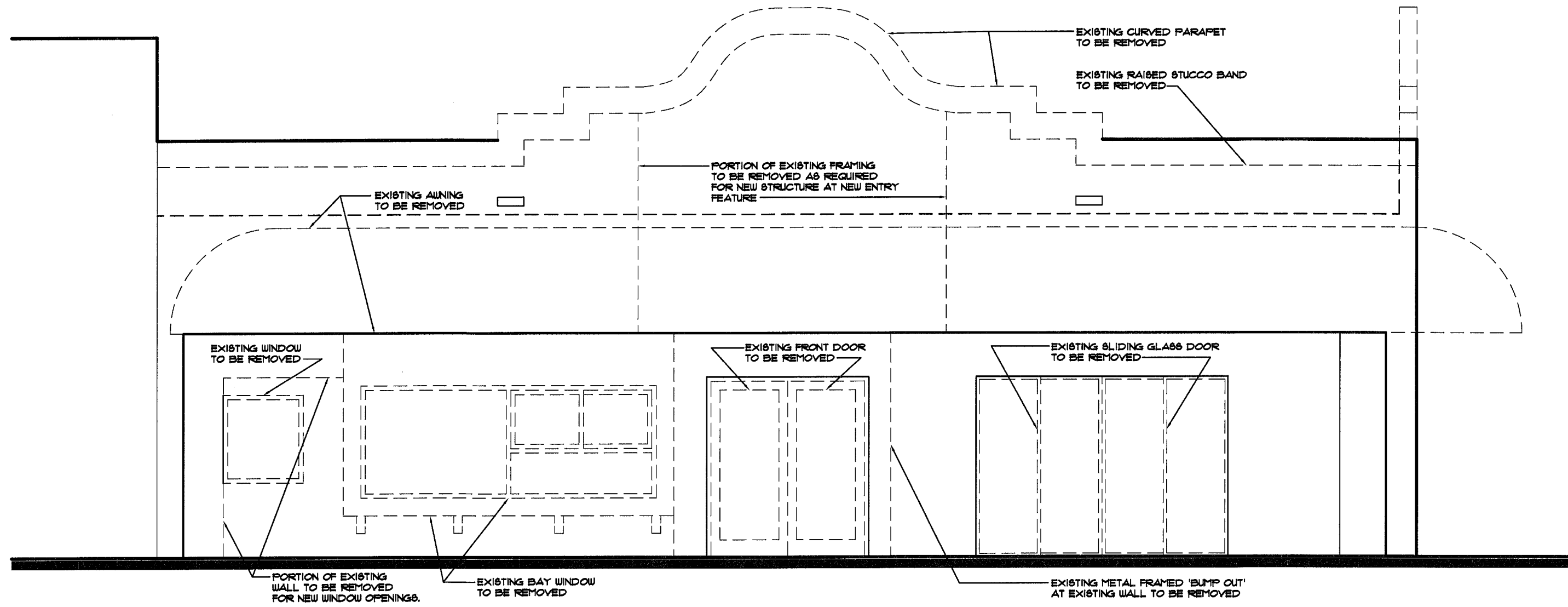
D-0.3

PROJECT: 12008
DATE: 01-31-13
D-0.3 SLAB DEMO LOCATIONS AT COLLINS AVE

Existing Slab Demolition Plan

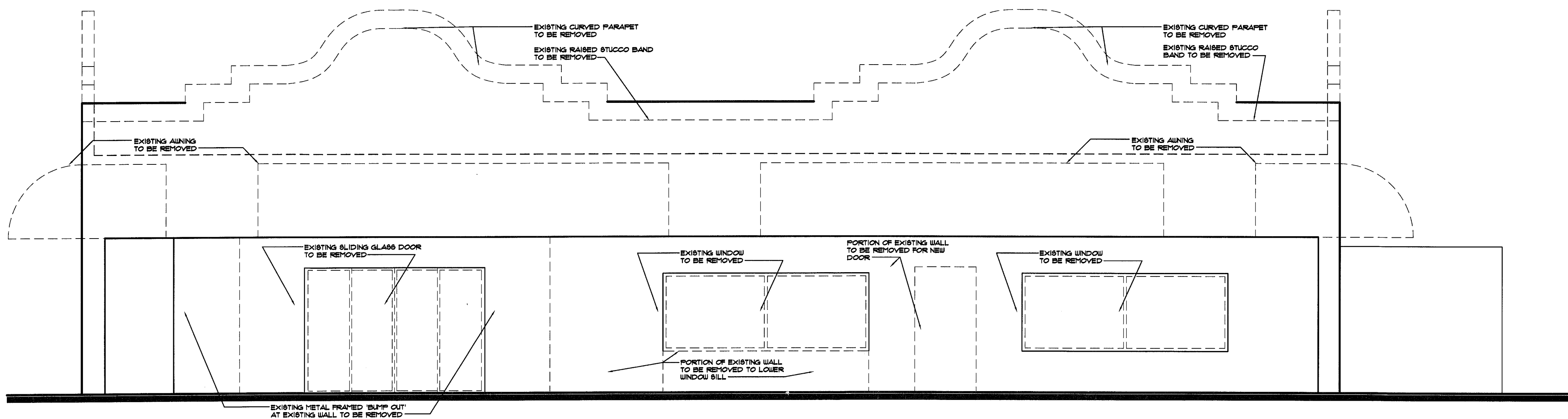
SCALE: 1/4" = 1'-0"

01



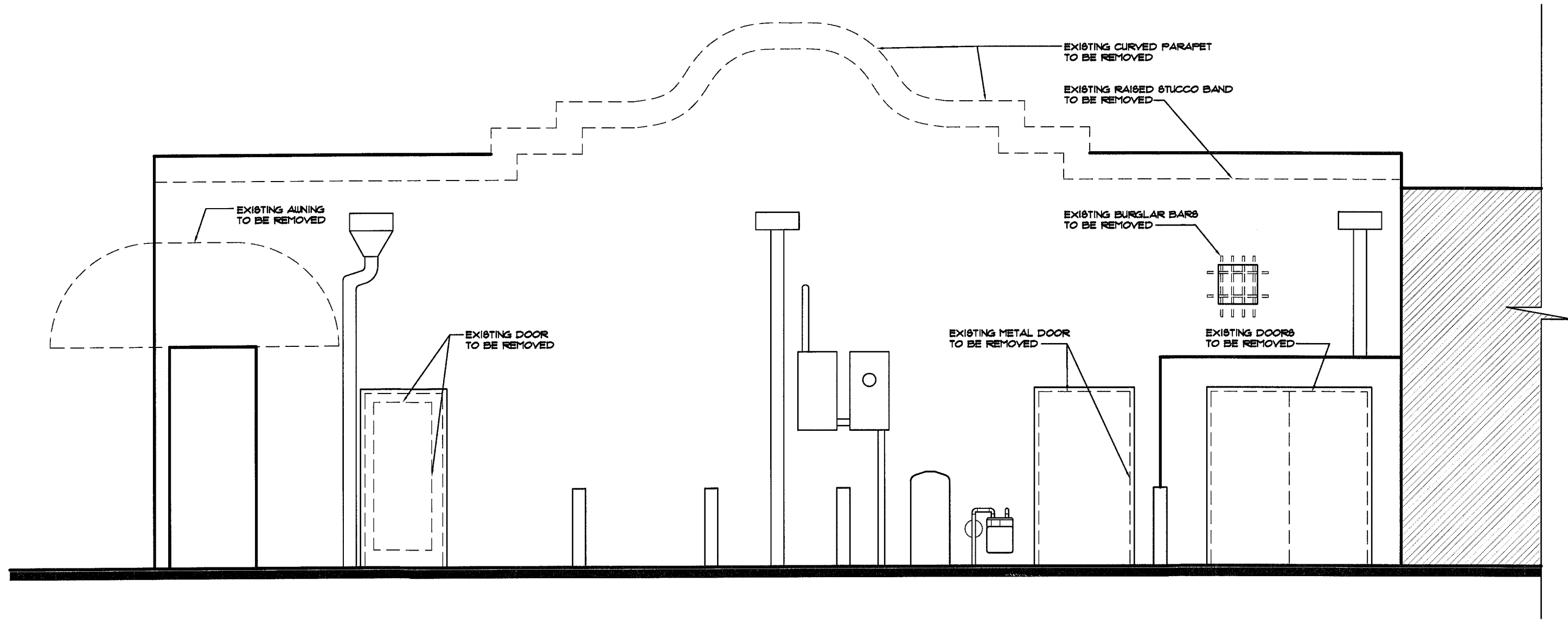
Front (East) Demolition Elevation

SCALE: 1/4" = 1'-0" 01



Side (North) Demolition Elevation

SCALE: 1/4" = 1'-0" 02



Rear (West) Demolition Elevation

SCALE: 1/4" = 1'-0" 03

01 02 03

PROFESSIONAL SEAL

Ron Fairchild

02-01-13

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



DRAWING REVISION DATES:

Demolition
Elevations

SHEET

D-0.4

PROJECT: 12008
DATE: 01-31-13
D-0.4 DEMO ELEVATIONS (DENNY'S)

01000 GENERAL PROJECT NOTES

- 01001 ALL CONSTRUCTION METHODS, MATERIALS, INSTALLATIONS, ETC., SHALL MEET OR EXCEED ANY AND ALL APPLICABLE BUILDING CODES, INDUSTRY STANDARDS, AND LOCAL ORDINANCES.
- 01002 ALL SUBCONTRACTORS SHALL PROVIDE A COMPLETE AND OPERATING INSTALLATION INCLUDING ALL OBVIOUSLY NECESSARY ITEMS, EVEN THOUGH SUCH ITEMS MAY NOT BE INDICATED WITHIN THE CONSTRUCTION DOCUMENTS.
- 01003 ALL SUBCONTRACTORS SHALL MAKE A MANDATORY, PROPER EXAMINATION OF THE SITE TO BECOME FAMILIARIZED WITH EXISTING CONDITIONS, AND CAREFULLY EXAMINE THE MOST RECENT/CURRENT CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED THROUGH THE GENERAL CONTRACTOR, OF ANY AMBIGUITY, INCONSISTENCY, OR ERROR WHICH MAY BE DISCOVERED UPON EXAMINATION OF THE CONSTRUCTION DOCUMENTS, OR OF THE SITE AND LOCAL CONDITIONS. NO EXTRA PAYMENTS SHALL BE APPROVED DUE TO ERRORS AND/OR OMISSIONS AFTER CONSTRUCTION HAS COMMENCED.
- 01004 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO BID AND BUILD FROM THE MOST CURRENT, UP-TO-DATE, COMPLETE SET OF CONSTRUCTION DOCUMENTS. THE RELEASE AND USE OF PARTIAL SETS OF CONSTRUCTION DOCUMENTS DURING BIDDING AND/OR CONSTRUCTION SHALL NOT RELIEVE THE SUBCONTRACTOR'S RESPONSIBILITY FOR HIS WORK, OR COORDINATION OF WORK BY OTHER TRADES.
- 01005 WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS. IF REQUIRED DIMENSIONS ARE NOT INDICATED, OR DIMENSIONS CONFLICT OR SEEM TO BE IN ERROR, PROMPTLY NOTIFY THE ARCHITECT FOR RESOLUTION.
- 01006 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS TO BE AWARE OF ALL REVIEW COMMENTS AND CORRECTIONS MADE TO THE DRAWINGS BY THE JURISDICTIONAL BUILDING DEPARTMENT UPON THE OFFICIAL SIGNED AND SEALED CONSTRUCTION DOCUMENTS PROJECT FIELD SET, AND SHALL INCORPORATE SAME WITHIN THE SCOPE OF WORK. IT SHALL ALSO BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY AND ALL FIELD CHANGES ORDERED BY JURISDICTIONAL INSPECTORS.
- 01006 ANY AND ALL SUBSTITUTIONS TO THE CONSTRUCTION DOCUMENTS, AND SPECIFICATIONS, MUST BE EQUAL IN PERFORMANCE AND APPEARANCE, AND MUST BE SUBMITTED TO THE ARCHITECT IN THE FORM OF AN ALTERNATE TO THE CONSTRUCTION DOCUMENTS LETTER, STATING EACH ITEM TO BE SUBSTITUTED, ALONG WITH CUT SHEETS FOR BOTH THE SPECIFIED PRODUCT AND ALTERNATE. ALLOW (10) DAYS REVIEW PERIOD FROM ARCHITECT'S RECEIPT OF SUBSTITUTION SUBMITTAL. APPROVAL OF SUBSTITUTIONS MUST BE OBTAINED PRIOR TO SUBMITTAL FOR SHOP DRAWING REVIEW. THE SUBCONTRACTOR BEARS ALL ADDITIONAL COSTS OF UNACCEPTABLE SUBSTITUTION IF USED IN ORIGINAL BID. THE SUBCONTRACTOR BEARS ALL ADDITIONAL COSTS FOR REMEDY IF UNAPPROVED SUBSTITUTION IS UTILIZED, AND DISCOVERED UNACCEPTABLE.
- 01007 SUBMIT (6) COPIES OF ALL SHOP DRAWINGS, OR SUBMITTALS, AS REQUIRED BY THE ARCHITECT. RETAIN (1) COPY EACH OF REVIEWED SHOP DRAWINGS. (4) REVIEWED COPIES SHALL BE RETURNED TO THE GENERAL CONTRACTOR. IF MORE THAN 1 REVIEWED COPIES ARE REQUIRED FOR FIELD COORDINATION AND/OR SUBMITTALS TO THE CITY, THE GENERAL CONTRACTOR SHALL PROVIDE ADDITIONAL COPIES. GENERAL CONTRACTOR SHALL BE BILLED DIRECTLY FOR ADDITIONAL COPIES REQUIRED. TEN (10) WORKING DAYS SHOULD BE ESTIMATED FOR PROPER REVIEW OF SHOP DRAWINGS AND SUBMITTALS.
- 01008 THE FOLLOWING SHOP DRAWINGS WILL BE REQUIRED FROM THE SUBCONTRACTOR CONTRACTED FOR INSTALLATION (THE PRODUCTION OF THE REQUIRED SHOP DRAWING SHALL NOT BE CONSIDERED AN 'EXTRA'):
- STRUCTURAL STEEL (POSTS, BEAMS)
 - PLUMBING FIXTURES
 - HVAC EQUIPMENT (INCLUDING REQUIRED CURBS)
 - ROOF MEMBRANE, AND FLASHINGS (W/ REQUIRED N.O.A.)
 - ROOF ASSEMBLIES (W/ REQUIRED N.O.A.)
 - DOORS AND HARDWARE
 - WINDOWS
 - COUNTERTOPS
 - CABINETRY AND MILLWORK
- 01010 IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW ALL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING SAME TO THE ARCHITECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ACTUAL/EXISTING CONDITIONS RELATING TO SHOP DRAWINGS AND/OR SUBMITTALS.
- 01011 NO RELATED WORK WILL BEGIN WITHOUT RELATED SHOP DRAWINGS AND/OR SUBMITTALS BEING APPROVED. THE SUBCONTRACTOR BEARS ALL COSTS IF CHANGES ARE REQUIRED OF WORK IN PLACE BECAUSE OF AFTER-THE-FACT REVIEW AND CHANGES IN SHOP DRAWINGS AND/OR SUBMITTALS.
- 01012 SUBSTITUTIONS WILL NOT BE CONSIDERED DUE TO SUBCONTRACTORS LACK OF PROPER AND TIMELY ORDERING, SCHEDULING AND/OR PLANNING.

02000 SITE WORK

- 02001 LOAD-BEARING FILL SHALL BE AS SCHEDULED IN THE STRUCTURAL DRAWINGS, AND GEO-TECHNICAL ENGINEER'S REPORT. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE SHALL BE BROUGHT TO ATTENTION OF THE ARCHITECT IMMEDIATELY.
- 02003 THE SOIL UNDER ALL INTERIOR FLOOR SLABS, AND ANY EXTERIOR SLABS WITHIN 12" OF THE BUILDING, SHALL RECEIVE AN APPLIED SOIL POISONING TREATMENT TO PREVENT THE INFESTATION OR SUBSEQUENT TERMITES. THE SUB-CONTRACTOR WHO PROVIDES THIS SOIL PRE-TREATMENT SHALL PROVIDE ANY NECESSARY DOCUMENTATION TO THE JURISDICTIONAL AUTHORITY, IF REQUIRED.
- 02004 FINAL GRADING OF LANDSCAPED AREAS SHALL BE A COORDINATED EFFORT BETWEEN THE LANDSCAPE DESIGN INTENT AND CIVIL REQUIREMENTS. ANY CONFLICTS OR ERRORS BETWEEN THESE TWO DISCIPLINES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 02005 FINISH GRADE SHALL ALWAYS SLOPE AWAY FROM THE BUILDING, UNLESS NOTED OTHERWISE.

03000 CONCRETE

- 03001 REFER TO THE CONSTRUCTION DOCUMENTS (STRUCTURAL, AND ARCHITECTURAL DRAWINGS) FOR REQUIREMENTS AND STANDARDS.
- 03002 INTERIOR CONCRETE FLOOR SLABS SHALL HAVE A SMOOTH STEEL TROQUELLED FLAT FINISH WITH HARDENERS AND/OR SEALERS IF INDICATED ON PLANS.
- 03003 EXTERIOR CONCRETE SLABS SHALL RECEIVE A LIGHT BROOK FINISH AND SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE.
- 03004 CONCRETE CONSTRUCTION JOINTS SHALL BE IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS.
- 03005 EXPANSION JOINT FILLER SHALL BE INSTALLED AS PER APPLICABLE INDUSTRY STANDARDS.
- 03006 CONCRETE COVERAGE OVER REINFORCING STEEL SHALL BE AS STATED IN THE STRUCTURAL DRAWINGS.
- 03007 NO CONCRETE SHALL BE POURED IN FREEZING WEATHER, WHEN TEMPERATURE IS 40° F. AND FALLING, OR WHEN AMBIENT TEMPERATURE IS EXPECTED TO FALL BELOW FREEZING WITHIN 24 HOURS.
- 03008 REFER TO FIRE ASSEMBLY DETAILS IN THE ARCHITECTURAL DRAWINGS FOR ADDITIONAL CONCRETE REQUIREMENTS. ANY DISCREPANCY BETWEEN FIRE ASSEMBLY AND STRUCTURAL DRAWING REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

04000 MASONRY (C.M.U.)

- 04001 ALL CONCRETE MASONRY UNITS (CMU) SHALL COMPLY WITH GOVERNING CODES AND CURRENT ANSI REQUIREMENTS FOR MASONRY CONSTRUCTION. CONSULT STRUCTURAL DRAWINGS AND DETAILS FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 04002 PROVIDE AND INSTALL ALL CONCRETE MASONRY UNITS (CMU), HORIZONTAL AND VERTICAL REINFORCEMENT, LINTELS, SILLS, AND RELATED MATERIALS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION. REFER TO STRUCTURAL DRAWINGS FOR SPECIFIC INSTALLATION REQUIREMENTS.
- 04003 ALL MATERIALS USED SHALL BE NEW, AND SUITABLE FOR THE INTENDED USE, AND INSTALLED IN ACCORDANCE WITH INDUSTRY STANDARDS.
- 04004 LAY NO MASONRY IN FREEZING WEATHER, WHEN TEMPERATURE IS 40° F. AND FALLING, OR WHEN AMBIENT TEMPERATURE IS EXPECTED TO FALL BELOW FREEZING WITHIN 24 HOURS.
- 04005 PROVIDE MATERIALS AND CONSTRUCTION IDENTICAL TO FIRE RATED ASSEMBLIES WHERE CMU CONSTRUCTION IS REQUIRED TO PROVIDE A FIRE RATING. SEE ARCHITECTURAL DRAWINGS FOR FIRE RATED ASSEMBLIES USED ON THIS PROJECT.

05000 METALS

- 05001 PROVIDE ALL STRUCTURAL STEEL, MISCELLANEOUS METALS, PLATES, BOLTS, ETC., REQUIRED FOR THIS WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS, OR REQUIRED FOR A COMPLETE AND OPERABLE FACILITY.
- 05002 ALL METALS SHALL BE NEW, SUITABLE FOR THE INTENDED USE, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND THE APPROVED SHOP DRAWINGS.
- 05003 ALL METALS EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED, OR FINISHED AND PAINTED IN AN INDUSTRY STANDARD MANNER FOR EXTERIOR USE.
- 05004 CARE SHALL BE TAKEN BY THE SUBCONTRACTORS AND CONTRACTOR TO PREVENT GALVANIC ACTION/DETERIORATION FROM OCCURRING BETWEEN METAL(S) AND ADJACENT ASSEMBLIES/MATERIALS.
- 05005 ALL METAL STUDS (INTERIOR AND EXTERIOR) SHALL BE GALVANIZED, AND AS PER THE RANGE INDICATED ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. ANY CONFLICTS BETWEEN THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, AND INDUSTRY STANDARDS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- 05006 SOLID METAL TRACK RUNNERS SHALL BE USED AT THE TOP AND BOTTOM OF ALL METAL STUD PARTITIONS.
- 05007 METAL STUD PARTITIONS SHALL BE BRACED FROM TOP OF THE PARTITION TO STRUCTURE ABOVE WITH CONTINUOUS METAL STUDS, OR A VERTICAL STUD BRACE AT 8'-0" O.C. AT A MINIMUM.
- 05008 ALL EXTERIOR METAL STUD WALL/SOFFIT ASSEMBLIES SHALL BE INSTALLED AS DETAILED IN THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. A REQUEST FOR INFORMATION (RFI) SHALL BE SUBMITTED TO THE ARCHITECT FOR ANY EXTERIOR METAL FRAMED ASSEMBLY WHICH IS NOT ADEQUATELY DETAILED IN THE DRAWINGS.

06000 WOOD

- 06001 PROVIDE ALL WOOD, NAILS, BOLTS, SCREWS, FRAMING ANCHORS, HURRICANE STRAPPING/ATTACHMENTS, AND OTHER HARDWARE NEEDED FOR FINISHED CARPENTRY, AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS, OR REQUIRED FOR A COMPLETE AND OPERABLE FACILITY.
- 06002 ALL WOOD AND ASSOCIATED MATERIALS SHALL BE NEW, AND SUITABLE FOR THE INTENDED USE.
- 06003 ALL WOOD USED IN CONNECTION WITH ROOFING, FLASHING, AND WATERPROOFING SHALL BE PRESSURE TREATED.
- 06004 ALL WOOD IN CONTACT WITH MASONRY, METAL, OR LESS THAN 24" ABOVE THE GROUND SHALL BE PRESSURE TREATED.
- 06005 SECURELY ATTACH CARPENTRY WORK TO SUBSTRATES BY ANCHORING AND FASTENING AS INDICATED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS, OR AS RECOGNIZED BY INDUSTRY STANDARDS.
- 06006 ALL EXTERIOR WOOD ASSEMBLIES SHALL HAVE HURRICANE STRAPPING/ATTACHMENTS, OR SHALL HAVE FASTENERS WITH MINIMUM SPACING AND PENETRATION AS INDICATED ON THE ARCHITECTURAL OR STRUCTURAL DRAWINGS. IF ANY EXTERIOR WOOD ASSEMBLIES ARE NOT ADEQUATELY DETAILED, PLEASE CONTACT THE ARCHITECT.
- 06007 ALL FASTENERS (NAILS, SCREWS, STRAPS, ETC.) USED IN THE ROOF ASSEMBLY, OR EXTERIOR SOFFITS, SHALL BE GALVANIZED.
- 06008 PROVIDE P.T. WOOD STUDS AT EACH SIDE OF DOOR JAMBS. CONSULT DOOR MANUFACTURER'S INSTALLATION REQUIREMENTS FOR POSSIBLE VARIATIONS FROM NORMAL INSTALLATION(S).
- 06009 PROVIDE WOOD GROUND, NAILERS, AND SLEEPERS WHERE INDICATED ON THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL DRAWINGS, OR AS REQUIRED TO PROVIDE A COMPLETE AND OPERABLE FACILITY.

07000 THERMAL AND MOISTURE PROTECTION

- 07001 VAPEUR BARRIER SHALL BE 6 mil. (MINIMUM) 'VISQUEEN' (OR APPROVED EQUAL) POLYETHYLENE AND LOCATED BELOW ALL INTERIOR FLOOR SLABS.
- 07002 ALL INSULATION SPECIFIED HEREIN SHALL BE INSTALLED TO ACHIEVE THE R-VALUE, AND THICKNESS (IF APPLICABLE), AS SPECIFIED WITHOUT GAPS OR VOIDS, USING NEW, UNDAMAGED MATERIALS ONLY.
- 07003 PARAPET FLASHING FOR MODIFIED BITUMEN ROOFING: FLASHING SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS. FLASHING SHEET METAL AND COUNTER FLASHING SHALL BE AS DESCRIBED HEREIN: 16-GAUGE MINIMUM AND SET IN APPROVED PLASTIC CEMENT AT ALL JOINTS, FASTEN PER F.B.C. AND MANUFACTURER'S RECOMMENDATION.
- 07004 AT NEW PARAPETS AT ENTRANCE FEATURE, PROVIDE 4" FIBER CANT STRIPS 1/2 ROLL HEIGHT OF SBS MEMBRANE.
- 07005 SEALANTS AND CAULKING AS WELL AS ALL RELATED ACCESSORY COMPONENTS SHALL BE PROVIDED AT LOCATIONS DESCRIBED HEREIN AND WHERE REQUIRED FOR WATERPROOF CONDITIONS, INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS FOR EACH PARTICULAR INSTALLATION AND SHALL ACHIEVE A TWENTY (20) YEAR LIFE EXPECTANCY.

08000 DOORS and WINDOWS

- 08001 REFER TO WINDOW AND DOOR SCHEDULE FOR SPECIFIC WINDOW AND DOOR TYPES. ALL WINDOWS AND DOORS SHALL BE IMPACT RATED, AND MEET WIND REQUIREMENTS AS SPECIFIED ON THE DOOR/WINDOW SCHEDULES, AND THE STRUCTURAL DRAWINGS.
- 08002 WOOD DOORS AND FRAMES SHALL BE AS DESCRIBED ON THE ARCHITECTURAL DOOR SCHEDULE, WITH HARDWARE AND RELATED ACCESSORIES. WOODWORK SHALL MEET ARCHITECTURAL WOODWORK INSTITUTE STANDARDS.

09000 FINISHES

- 09001 STUCCO, WHEN APPLIED OVER CONCRETE MASONRY UNITS (CMU), PROVIDE (2) COATS, 3/8" THICK MINIMUM. PROVIDE NECESSARY CONTROL JOINTS, OR EXPANSION JOINTS, PER INDUSTRY STANDARDS. OVER WOOD OR METAL FRAMING, PROVIDE (3) COATS, 3/8" THICK MINIMUM, APPLIED OVER SELF FURRING GALV. METAL LATH, OVER (1) LAYER OF 15# ROOFING FELT W/ IMPREGNATED ASPHALT.
- 09002 EXTERIOR METALS: ALL EXPOSED EXTERIOR METAL SHALL BE GALVANIZED, FIRE FINISHED, OR SHALL RECEIVE (2) COATS EXTERIOR ENAMEL, OR ONE (1) COAT IF INSTALLED WITH SHOP APPLIED PRIME COAT.
- 09003 INTERIOR DRYWALL: ALL INTERIOR DRYWALL SHALL BE AS DESCRIBED HEREIN AND INCLUDE ALL MATERIALS AND RELATED ACCESSORIES NEEDED FOR A COMPLETE AND PROPER INSTALLATION. WALLBOARD SHALL BE AS DESCRIBED AND DESCRIBED AND INSTALLED WITH ALL RELATED AND REQUIRED GALVANIZED CORNER REINFORCING, BEADS, ETC. APPLY GYPSUM WALLBOARD TO METAL FURRING OR STUDS, MINIMUM 25 GA. END JOINTS OVER FURRING OR STUDS, AS PER CODE. PROVIDE 2" TAPE EMBED, THREE COATS SPACKLING, SANDED SMOOTH AS PER MANUFACTURER'S STANDARDS FOR A UNIFORMLY SMOOTH, PAINTABLE SURFACE.
- 09004 INTERIOR FINISHES:
- A. ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. THE GENERAL CONTRACTOR SHALL VERIFY THAT EACH FINISH MEETS OR EXCEEDS THESE REQUIREMENTS, PRIOR TO ORDERING, OR INSTALLATION.
- AS PER THE FLORIDA FIRE PREVENTION CODE (NFPA 101) SEC. 12.3.3, AND PER TABLE 802.5, THE MINIMUM INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS:
- EXIT PASSAGEWAYS: CLASS 'A'
- EXIT ACCESS: CLASS 'A' OR 'B'
- ROOMS AND ENCLOSED SPACES: CLASS 'A', 'B', OR 'C'
- SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH TYPES
- B. ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 ED., CHAPTER 8, SECTION 803, TABLE 803.5 AND CLASSIFIED IN ACCORDANCE TO ASTM E4. FINISH TYPES SHALL BE AS FOLLOWS:
- CLASS 'A' FLAME SPREAD 0-25
- CLASS 'B' FLAME SPREAD 26-75
- CLASS 'C' FLAME SPREAD 76-200
- C. CHANGES IN LEVEL AT DOOR THRESHOLDS, OR AT TRANSITIONS BETWEEN FLOORING MATERIALS SHALL BE NO GREATER THAN 1/4 INCH WITH A BEVELED EDGE (WITH A SLOPE NO GREATER THAN 1:2). CHANGES IN LEVEL UP TO 1/4 INCH MAY BE VERTICAL, AND WITHOUT EDGE TREATMENT.
- D. ALL FINISHES MUST BE SMOOTH, NON-ABSORBANT, AND EASILY CLEANABLE. CURVED AND SEALED COVE BASE IS REQUIRED AT THE FLOOR/WALL JUNCTURE, EXCEPT AT THE DINING AREA. SEE INTERIOR ELEVATIONS, FINISH PLAN, AND THE FINISH SCHEDULE.
- E. BATHROOM WALLS, AND FLOORS, SHALL HAVE SMOOTH, HARD, NON-ABSORBANT FINISHES.

10000 KITCHEN EQUIPMENT

- 10001 REFER TO KITCHEN EQUIPMENT PLANS IN THIS SET OF DRAWINGS FOR NECESSARY CONNECTIONS (MECHANICAL, ELECTRICAL, PLUMBING, AND GAS).

11000 PLUMBING FIXTURES

- 11001 REFER TO PLUMBING FIXTURE LEGEND FOR ALL PLUMBING FIXTURE MANUFACTURER'S, MODELS, COLORS, AND INSTALLATION REQUIREMENTS.

12000 ELECTRICAL FIXTURES

- 12001 REFER TO THE REFLECTED CEILING PLAN FIXTURE LEGEND FOR ALL LIGHTING AND ELECTRICAL EQUIPMENT MANUFACTURER'S, MODELS, COLORS. ALSO REFER TO THE ELECTRICAL PLANS FOR FIXTURE REQUIREMENTS.

13000 MECHANICAL EQUIPMENT

- 13001 MECHANICAL (A/C) EQUIPMENT, DUCTWORK, AND DIFFUSERS SHALL BE AS PER THE MECHANICAL LEGEND AND NOTES IN THE MECHANICAL DRAWINGS. ANY ALTERNATES MUST BE SUBMITTED TO THE ARCHITECT AND ENGINEER FOR APPROVAL.

Abbrev./

Mark

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AFG.

AGFS.

ALUM.

ARV.

BFF.

B.O.

BM.

CE.

CMU.

CONC.

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DIAM.

EXH.

EXT.

FAC.

F.B.C.

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Description

- ABOVE
- ABOVE FINISHED FLOOR
- ABOVE FINISHED GRADE
- ABOVE GROUND FLOOR SLAB
- ALUMINUM
- ATTIC ROOF VENT
- BELOW FINISHED FLOOR
- BOTTOM OF
- BEAM
- CENTERLINE
- CONCRETE MASONRY UNITS (MASONRY)
- CONCRETE
- CONDENSING UNIT (CONDENSOR)
- DIAMETER
- EXHAUST
- EXTERIOR
- FLORIDA ACCESSIBILITY CODE
- FLORIDA BUILDING CODE
- FOOT (FEET)
- GALVANIZED
- GYPSUM (WALLBOARD)
- HIGH POINT
- INCH (INCHES)
- LOW POINT
- MASONRY OPENING
- METAL
- ON CENTER(S)
- TOP OF
- RADIUS
- REINFORCED
- RIGHT OF WAY
- RAIN WATER LEADER
- SCUPPER
- UNLESS NOTED OTHERWISE
- WITH
- WALLBOARD (GYPSUM)
- WALLTYPE INDICATOR
- DETAIL/SECTION INDICATOR

SECTION MARK:

INDICATES 'CUT LINE' FOR WALL SECTION. SEE SECTION NUMBER (TOP NUMBER) ON SHEET INDICATED (BOTTOM NUMBER).

TARGET / ELEVATION MARK

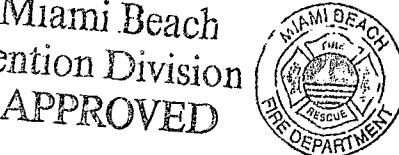
STEEL COLUMN: INDICATES STRUCTURAL STEEL COLUMN LOCATION, AND NUMBER. VERIFY STRUCTURAL DWGS FOR LAYOUT. REFER TO STRUCTURAL DWGS AND DETAILS FOR FOOTING AND CAP SIZE AND REINFORCEMENT.

NEW WINDOW INDICATOR: NEW WINDOW NUMBER - SEE WINDOW SCHEDULE FOR DIMENSIONS AND REQUIRED WIND PRESSURES.

NEW DOOR INDICATOR: NEW DOOR NUMBER - SEE DOOR SCHEDULE FOR DIMENSIONS AND REQUIRED WIND PRESSURES.

ELEVATION CHANGE IN FLOOR SLAB/CEILING PLANE

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

02.01.13

RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

PHONE: 954-547-4683
FAX: 954-776-4793
EMAIL: FAIRCHILDRON@GMAIL.COM

THIS DOCUMENT IS THE PROPERTY OF RON FAIRCHILD ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED IN ANY FORM WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.

Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

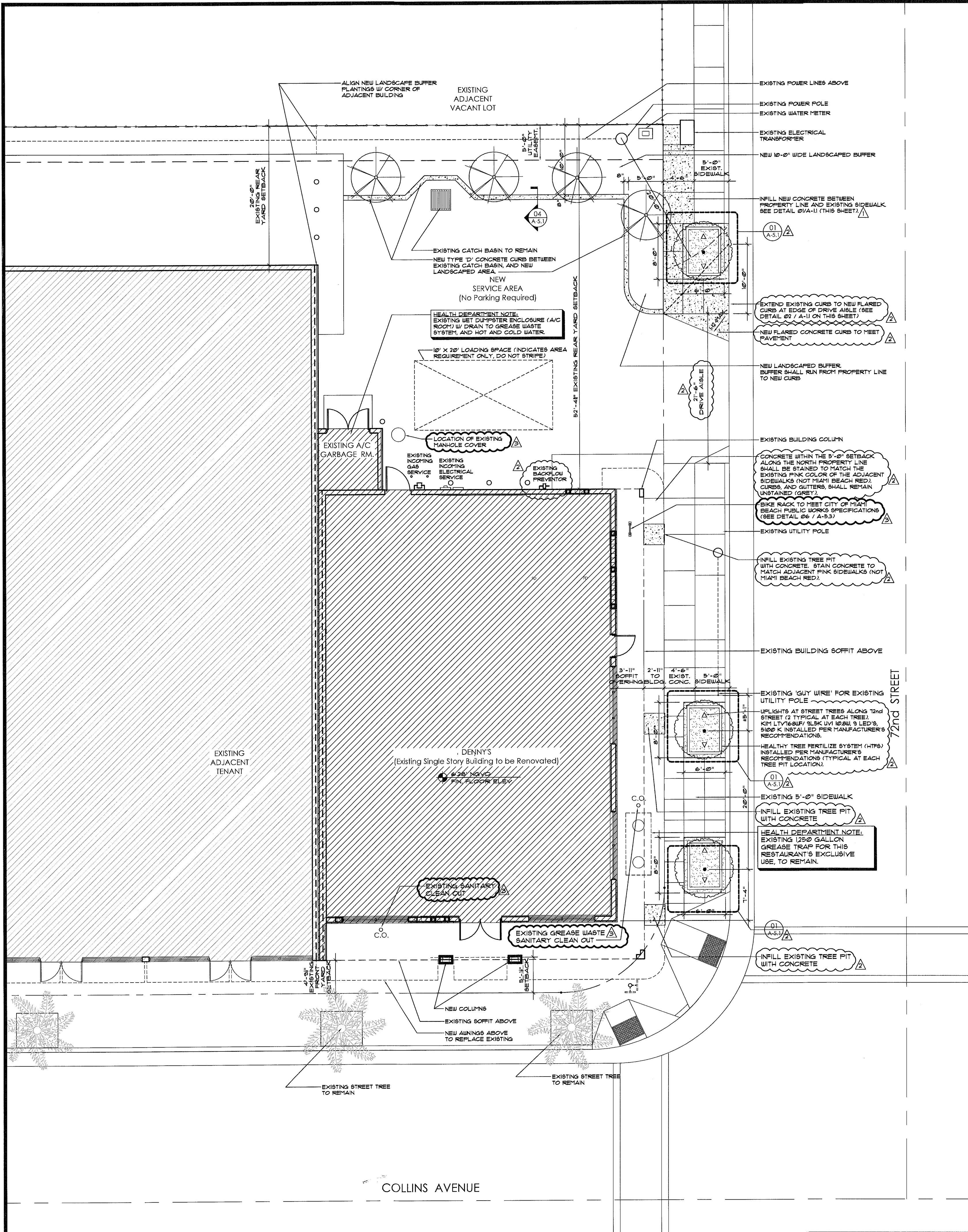
DRAWING REVISION DATES:

PROJECT GLOSSARY
and SPECIFICATIONS

SHEET

A-0.1

PROJECT: 1200B
DATE: 01-31-13
1200B_A-0.1_Specs



EXISTING SITE and USE DATA
EXISTING LOT (SITE) AREA: 24,952 S.F. (0.57 ACRES)
EXISTING ZONING DESIGNATION: TC-1
EXISTING LOT (SITE) USE: EXISTING RESTAURANT
CONCLUSION: THIS EXISTING USE IS ALLOWED IN ZONING DISTRICT TC-1, AS PER ZONING CODE SECTION 142-134

ZONING REQUIREMENTS for TC-1:
THE FOLLOWING ARE THE ZONING DIMENSIONAL REQUIREMENTS (PER ZONING SECTION 142-134):

Requirements	Required for TC-1	Provided for this Project
MAXIMUM FLOOR AREA RATIO (F.A.R.)	2.25 (FOR LOTS LESS THAN 45,000 S.F.)	.72
MAXIMUM BUILDING HEIGHT	75'-0"	13'-0" (EXISTING)
MAXIMUM NUMBER OF STORIES	1 STORIES	1 STORY
MINIMUM LOT AREA	NONE (FOR COMMERCIAL)	N/A
MINIMUM LOT WIDTH	NONE (FOR COMMERCIAL)	N/A
MINIMUM APARTMENT UNIT SIZE	N/A (FOR COMMERCIAL)	N/A
AVERAGE APARTMENT UNIT SIZE	N/A (FOR COMMERCIAL)	N/A
MINIMUM FRONT YARD SETBACK	5'-0"	4'-3 1/4" EXISTING FRONT YARD SETBACK
MINIMUM SIDE SETBACK (FACING A STREET)	5'-0"	2'-11" EXISTING SIDE YARD SETBACK
MINIMUM INTERIOR SIDE SETBACK	0'-0"	N/A
MINIMUM REAR SETBACK	10'-0"	52'-4 3/4" EXISTING REAR YARD SETBACK

Project Scope and Area:
THE SCOPE FOR THIS PROJECT IS AS FOLLOWS:
1. INTERIOR RENOVATION OF THE EXISTING BUILDING. SEE ARCHITECTURAL, STRUCTURAL, AND M/E/P DRAWINGS FOR SPECIFICS.
2. MODIFICATION OF THE EXISTING BUILDING FACADE. SEE ARCHITECTURAL ELEVATIONS, AND THE STRUCTURAL PLANS FOR SPECIFICS.
3. THE EXISTING BUILDING ENTRANCE, AT THE EXTERIOR, IS TO BE MODIFIED AND RENOVATED. SEE THE ARCHITECTURAL, AND STRUCTURAL PLANS FOR SPECIFICS.
4. THE EXISTING PARKING AREA IS TO BE CHANGED INTO A SERVICE AREA. THE PAVED AREA IS TO BE REDUCED, AND NEW LANDSCAPED AREA, AND A CONCRETE CURB ARE TO BE ADDED.
5. THE EXISTING SIDEWALK TREE PITS ARE TO BE RENOVATED AS PER CITY OF MIAMI BEACH REQUIREMENTS.
THE AREA OF WORK FOR THIS PROJECT IS AS FOLLOWS:
AREA OF WORK:
EXISTING BUILDING GROSS AREA TO BE RENOVATED: 2,611 S.F.
COVERED ENTRANCE AT EXTERIOR TO BE RENOVATED: 12 S.F.
PAVED AREA TO BE REMOVED FOR NEW GREEN AREA: 559 S.F.
AREA OF SIDEWALK TREE PITS TO BE RENOVATED: 21 S.F.
TOTAL AREA OF INTERIOR AND EXTERIOR RENOVATIONS: 3,335 S.F.

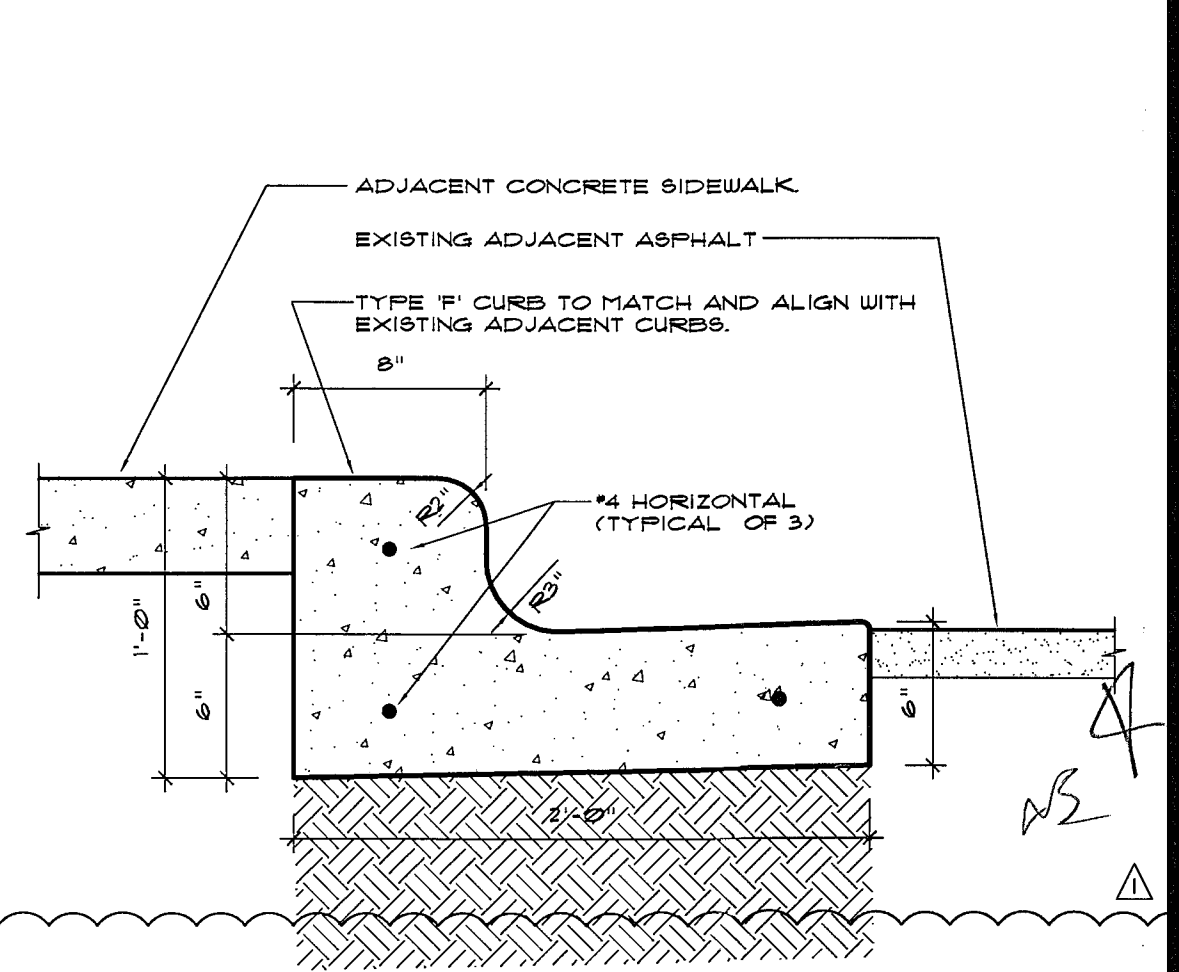
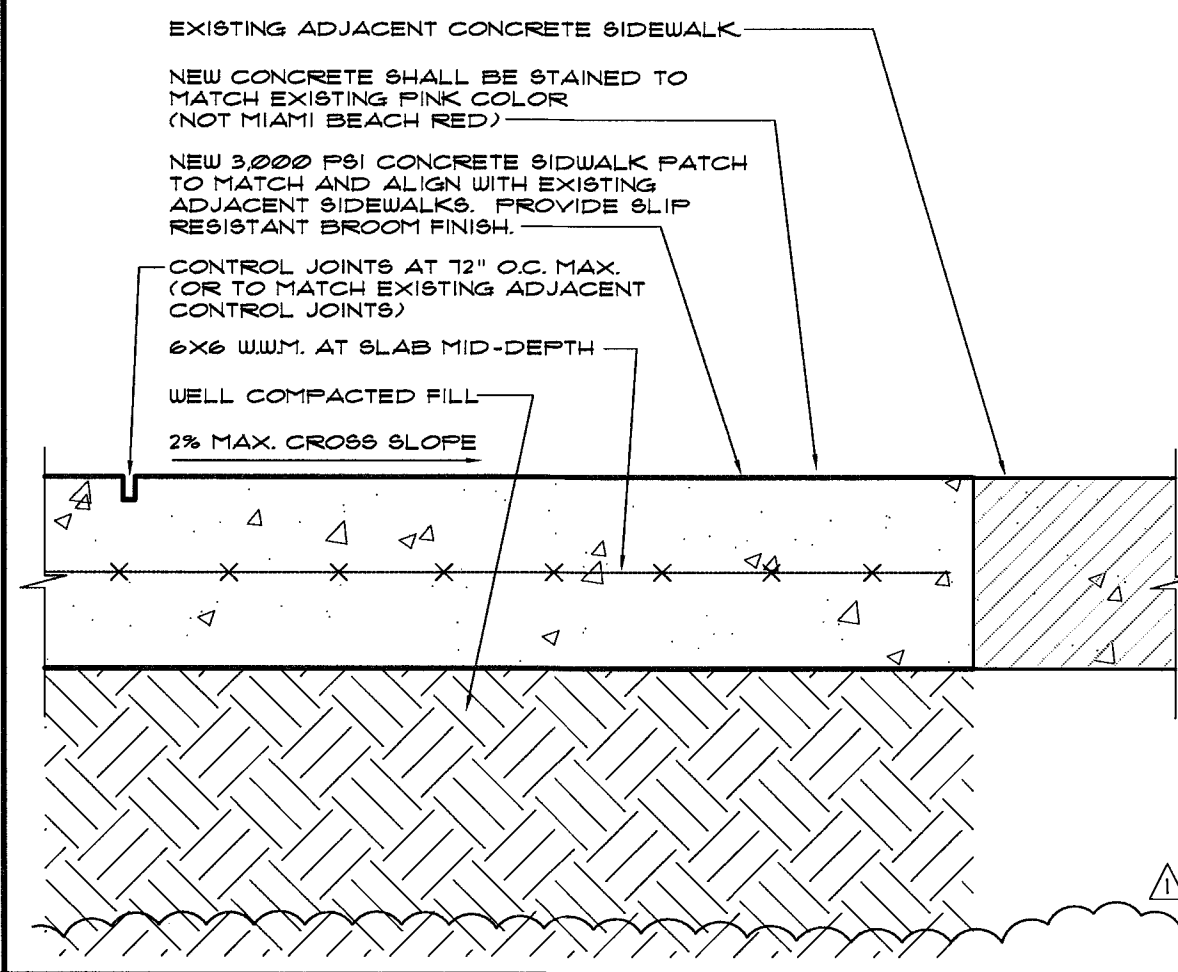
Building Code:
THE BUILDING CODE IN EFFECT FOR THIS PROJECT IS THE FLORIDA BUILDING CODE, EXISTING 2010.

Tabulation of Pertinent Zoning Data:
THE FOLLOWING ARE THE ZONING DIMENSIONAL REQUIREMENTS (PER ZONING SECTION 142-134):

Pertinent Zoning Data	Required for TC-1	Provided for this Project
a. TOTAL NUMBER OF DWELLING UNITS:	N/A	N/A (NO DWELLING UNITS)
TOTAL AMOUNT OF OFFICE AREA:	N/A	N/A (NO OFFICE AREA)
TOTAL AMOUNT OF RETAIL/COMMERCIAL AREA:	N/A	17,853 S.F. OF SINGLE STORY RETAIL RESTAURANT SPACE
MINIMUM/AVERAGE UNIT SIZE CALCULATION:	N/A	N/A (NO RESIDENTIAL UNITS)
b. TOTAL NUMBER OF PARKING SPACES/LOADING SPACES:	NO PARKING SPACES REQUIRED 1 LOADING SPACE REQUIRED	NO PARKING SPACES (NONE REQUIRED) 1 LOADING SPACE
c. SETBACKS: FRONT: SIDE: REAR:	5'-0" FRONT YARD SETBACK 5'-0" SIDE YARD SETBACK (FACING STREET) 10'-0" REAR YARD SETBACK	4'-3 1/4" EXISTING FRONT YARD SETBACK 2'-11" EXISTING SIDE YARD SETBACK 52'-4 3/4" EXISTING REAR YARD SETBACK
d. BUILDING HEIGHT: HEIGHT TO TOP OF ROOF: HEIGHT TO HIGHEST NON-HABITABLE PROJECTION: TOTAL NUMBER OF STORIES:	75'-0" ALLOWED 75'-0" ALLOWED 1 STORIES ALLOWED	+13'-0" TO TOP OF ROOF +20'-0" TO TOP OF PARAPET 1 STORY EXISTING
e. FOR NEW CONSTRUCTION, PROVIDE F.A.R. CALCULATIONS, AND PLANS, FOR EACH FLOOR:	N/A	NOT APPLICABLE, EXISTING SINGLE STORY BUILDING. NO NEW CONSTRUCTION.
f. OPEN SPACE CALCULATIONS, IF APPLICABLE	N/A	N/A (NOT APPLICABLE)

Site Area Tabulation (Pervious Area)

EXISTING PROPERTY AREA: (125.00' D. X 200.00' W. EXCL. 15' RAD.)	24,952 S.F. (0.57 ACRES)
SITE AREA TABULATION:	
EXISTING BUILDING AREA:	17,853 S.F. 71.5% OF SITE
LOADING AREA:	1,811 S.F. 7.6% OF SITE
CONCRETE SIDEWALKS AND CURBS:	4,046 S.F. 16.2% OF SITE
LANDSCAPED / PERVIOUS AREA	1,182 S.F. 4.7% OF SITE
TOTAL SITE AREA:	24,952 S.F. 100.0% OF SITE



Project Site Plan

Sidewalk Patch Detail

Type 'F' Curb Patch Detail

PROFESSIONAL SEAL
05.14.13
RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

City of Miami Beach
Fire Prevention Division
PLANS APPROVED

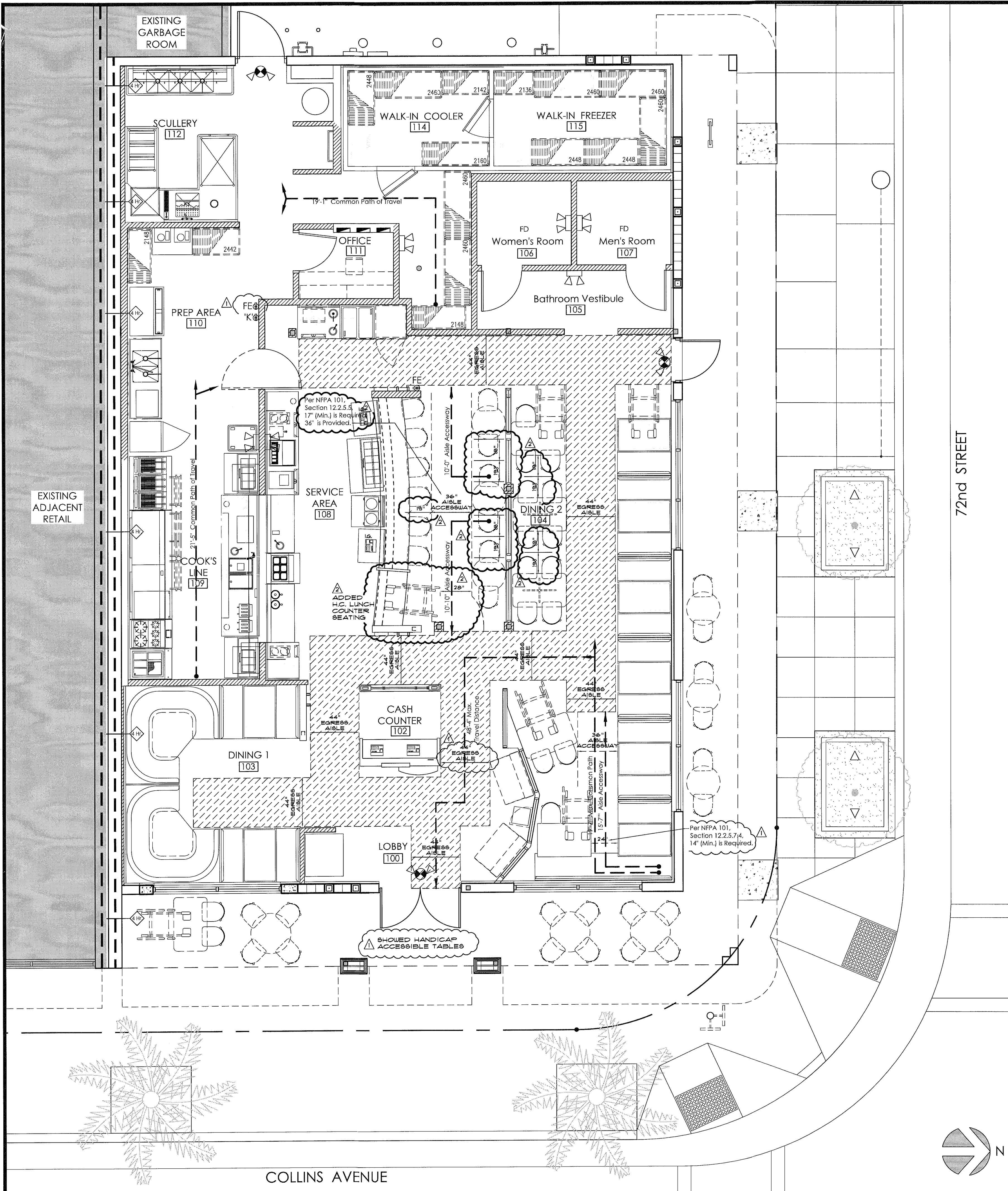
DRAWING REVISION DATES:

PERMIT REVISION	02/14/2013
DRG REVISIONS	02/13/2013
PERMIT REVISION	04/12/2013

Project Site Plan

SHEET
A-1.1

PROJECT: 12008
DATE: 01-31-13
SHEET: 01-31-13



LIFE SAFETY PLAN LEGEND

- EGRESS AISLE:**
INDICATES REQUIRED MEANS OF EGRESS
- AISS ACCESSWAY:**
INDICATES AISLE ACCESSWAY LEADING TO EGRESS AISLE
- EXISTING 4 HOUR RATED FIRE WALL:**
SEE U.L. DETAIL 01 / A-5.3.
THERE ARE NO EXISTING PENETRATIONS THROUGH THIS WALL. AND, NO NEW PENETRATIONS ARE TO BE MADE FOR THIS PROJECT.
- NEW WALL, OR CEILING, MOUNTED EXIT SIGN WITH 90 MINUTE BACK-UP BATTERY**
PROVIDE DIRECTIONAL ARROWS WHERE INDICATED ON PLAN.
- NEW WALL, OR CEILING, MOUNTED EXIT SIGN W/ EMERGENCY LIGHT, AND 90 MINUTE BATTERY BACK-UP. PROVIDE DIRECTIONAL ARROWS WHERE INDICATED ON PLAN.**
- CEILING / WALL MOUNTED EMERGENCY LIGHT W/ 90 MINUTE BACK-UP BATTERY**
- WALL MOUNTED FIRE EXTINGUISHER (5 LB. ABC SERIES)**
- WALL MOUNTED K SERIES FIRE EXTINGUISHER**

FINISH CLASSIFICATIONS

ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. THE GENERAL CONTRACTOR SHALL VERIFY THAT EACH FINISH MEETS OR EXCEEDS THESE REQUIREMENTS, PRIOR TO ORDERING, OR INSTALLATION.

AS PER THE FLORIDA FIRE PREVENTION CODE (NFPA 101) SEC. 12.3.3, AND FBC TABLE 803.5, THE MINIMUM INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS:

EXIT PASSAGEWAYS: CLASS 'A'

EXIT ACCESS: CLASS 'A' OR 'B'

ROOMS AND ENCLOSED SPACES: CLASS 'A', 'B', OR 'C'

SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH TYPES

ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 ED. CHAPTER 9 SECTION 903, TABLE 803.5 AND CLASSIFIED IN ACCORDANCE TO ASTM E84. FINISH TYPES SHALL BE AS FOLLOWS:

CLASS 'A' FLAME SPREAD 0-25

CLASS 'B' FLAME SPREAD 26-75

CLASS 'C' FLAME SPREAD 76-200

ALL INTERIOR FINISHES SHALL COMPLY WITH NFPA 101 TABLE A-10.2.2 2009 EDITION.

CODES and EDITIONS USED:

THE CODES AND EDITIONS, USED FOR THE DESIGN OF THESE PLANS ARE AS FOLLOWS:

NFPA 101 - 2009 Edition

NFPA 1009

NFPA 96 2008 Edition

This Work Complies with the Florida Fire Prevention Code 2010 Edition

Signs to be Posted at all Exits:

SIGNS SHALL BE POSTED BESIDE ALL 3 EXIT DOORS WHICH READ AS FOLLOWS:

Exit doors shall remain unlocked while the building is occupied

NUMBER OF OCCUPANTS BY AREA:

AREA	SQ. FEET	SQ. FT. per OCCUPANT	OCCUPANTS
INDOOR DINING AREA	551 S.F.	15 S.F. NET	38
SERVICE COUNTER	17'-0" L	4 X 17'-0" / 1 = 9.7	10
SERVICE AREAS	255 S.F.	100 S.F.	3
WAITING AREA	72 S.F.	3 S.F. NET	24
EGRESS AISLES	634 S.F.	N/A	0
BATHROOMS/VESTIBULE	105 S.F.	N/A	0
OCCUPANTS OF DINING ROOM BY AREA			75

AREA	SQ. FEET	SQ. FT. per OCCUPANT	OCCUPANTS
COOK / PREP AREA	531 S.F.	100 S.F. NET	6
STORAGE AREA	291 S.F.	300 S.F.	3
OFFICE	49 S.F.	100 S.F. NET	1
OCCUPANTS OF FOOD PREP BY AREA			10

TOTAL NUMBER OF OCCUPANTS BY AREA **85**

NUMBER OF OCCUPANTS BY SEATS:

NUMBER OF SEATS BY TABLE TYPE:	OCCUPANTS
(4) INDOOR 4 TOP TABLES	16
(3) INDOOR 2 TOP TABLES	6
(9) INDOOR BOOTHS - SEATING 4 PERSONS EACH	36
(2) INDOOR BOOTHS - SEATING 8 PERSONS EACH	16
(8) BAR SEATS AT SERVICE AREA COUNTER	8
(2) LOVE SEATS AT WAITING AREA	4
TOTAL NUMBER OF SEATS AT INTERIOR DINING AREA	86
TOTAL NUMBER OF OUTDOOR SEATS	22
TOTAL NUMBER OF EMPLOYEES	12

LIFE SAFETY REQUIREMENTS:

TOTAL GROSS AREA FOR THIS PROJECT:	2,708 S.F.
TOTAL NUMBER OF OCCUPANTS: (at INTERIOR BY SEATS and EMPLOYEES)	98
FIRE SPRINKLERS PROVIDED:	NO
FIRE ALARM REQUIRED:	NO
NUMBER OF MEANS OF EGRESS REQUIRED:	(2)
NUMBER OF MEANS OF EGRESS PROVIDED:	(2)
MAXIMUM TRAVEL DISTANCE ALLOWED:	150'-0"
MAX. TRAVEL DISTANCE for THIS PROJECT:	51'-8"
MAXIMUM 'COMMON PATH' ALLOWED:	
FOR AREAS WITH MORE THAN 50 PERSONS	20'-0"
FOR AREAS WITH LESS THAN 50 PERSONS	75'-0"
MAX. COMMON PATH FOR THIS PROJECT:	21'-5"
MAXIMUM 'DEAD END' ALLOWED:	20'-0"
MAX. 'DEAD END' for THIS PROJECT:	N/A (NO DEAD ENDS)
MIN. EGRESS AISLE WIDTH REQUIRED:	44"
MIN. EGRESS AISLE WIDTH PROVIDED:	44"
FIRE EXTINGUISHERS REQUIRED: (1 F.E. PER 2,500 S.F.)	2,708 S.F. / 2,500 = 1.1 = (2) F.E.
NUMBER OF FIRE EXTINGUISHERS PROVIDED:	(2) F.E.

FIRE EXTINGUISHER CALCULATIONS:

FIRE EXTINGUISHERS REQUIRED:
(1 F.E. PER 2,500 S.F.) TOTAL AREA 2,708 S.F. = 1.1 F.E.

NUMBER OF FIRE EXTINGUISHERS PROVIDED: (2)

NOTE: (1) TYPE 'K' FIRE EXTINGUISHER SHALL BE PROVIDED AT THE FOOD PREP AREA

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

05.19.13
RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

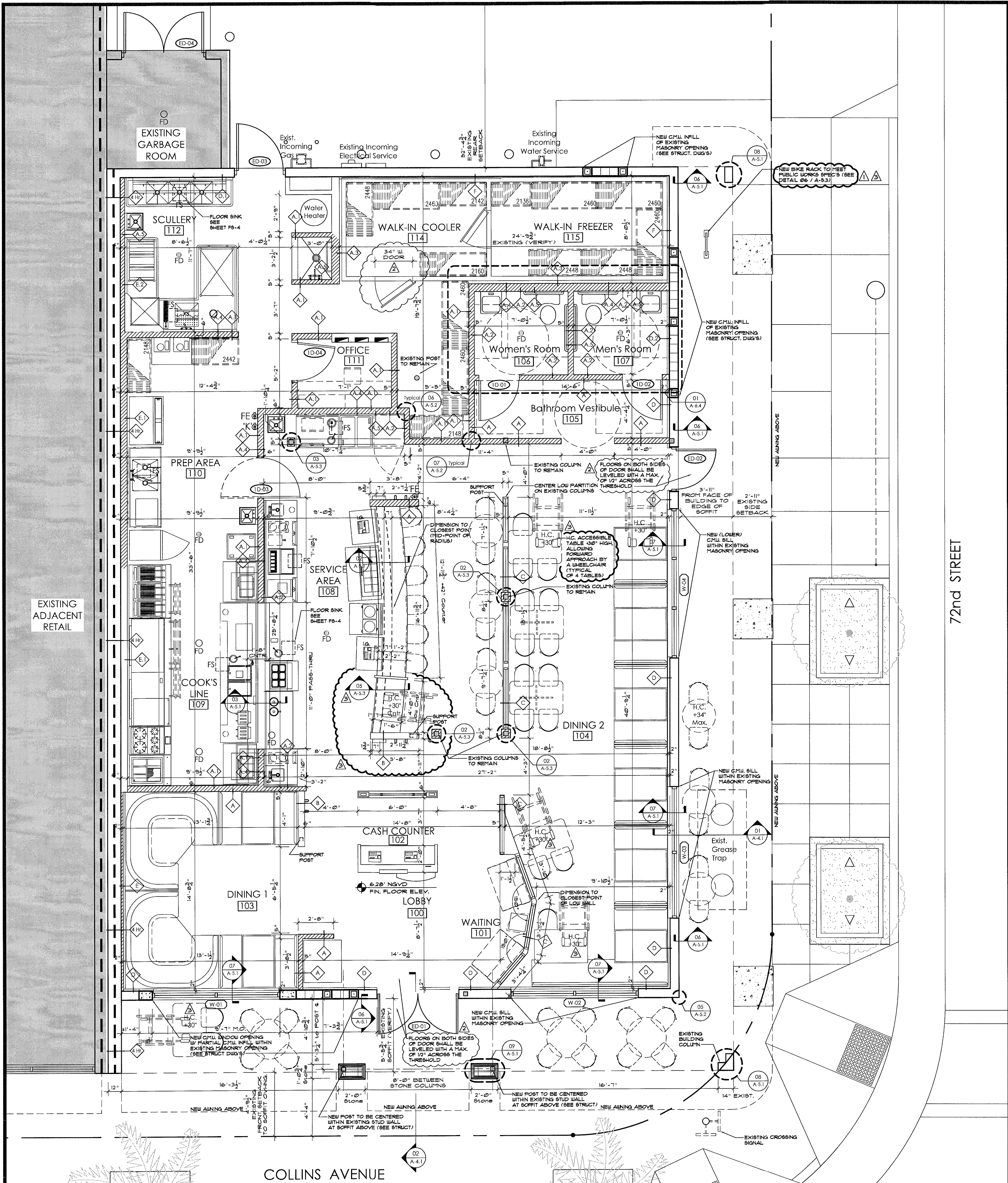
DRAWING REVISION DATES:
△ PERMIT REVISION
07/06/2013
△ PERMIT REVISION
04/12/2013

Life Safety Plan

SHEET

A-2.0

PROJECT: 12008
DATE: 01-31-13
A-2.0 LIFE SAFETY PLAN (DENNY'S)



PLAN LEGEND

EXISTING MASONRY (CMU) WALL TO REMAIN

NEW CMU INFILL AT EXISTING MASONRY OPENING (SEE STRUCTURAL DRAWINGS)

EXISTING 4 HOUR RATED FIRE WALL (SEE ULL DETAIL 01 / A-53) THERE ARE NOT ANY EXISTING PENETRATIONS THROUGH THIS WALL. AND, NO NEW PENETRATIONS ARE TO BE MADE THROUGH THIS WALL FOR THIS PROJECT.

NEW TYPICAL PARTITION: GALV. METAL STUDS AT 16" O.C. (MAX) WITH CONT. GALV. METAL TRACKS AT TOP AND BOTTOM, BRACED TO STRUCTURE ABOVE. SEE PARTITION DETAIL 02 / A-52 AND FINISH PLAN FOR INTERIOR FINISHES.

LOW PARTITION: 6" GALV. METAL STUDS AT 16" O.C. WITH CONT. GALV. METAL TRACKS AT TOP AND BOTTOM, BRACED TO STRUCTURE ABOVE. SEE PARTITION DETAIL 02 / A-52 AND FINISH PLAN FOR INTERIOR FINISHES.

LOW PARTITION W/ HERITAGE GAP SHEET METAL DIVIDER: LOW PARTITION W/ HERITAGE GAP SHEET METAL DIVIDER, TUBE SUPPORT FRAME, AND BRUSHED ALUMINUM SHEET METAL CUT INTO A ZIG-ZAG PATTERN. SEE PARTITION DETAIL 03 / A-52 AND INTERIOR ELEVATIONS.

FURRING AND DRYWALL AT EXTERIOR WALL: GALV. METAL FURRING STRIPS AT 24" O.C. (MAX) WITH INSULATION, AND FINISHED DRYWALL AT INTERIOR SIDE. SEE PARTITION DETAIL 04 / A-52 AND FINISH PLAN.

FURRING AT EXISTING MASONRY WALL FOR NEW PLUMBING VENT: GALV. METAL STUDS TO BE INSTALLED AGAINST EXISTING MASONRY WALL FOR NEW PLUMBING VENT AND WATER PIPING. SEE PLAN FOR THICKNESS OF FURRING. SEE PARTITION DETAIL 05 / A-52.

PROVIDE INSULATION AT INSIDE FACE OF EXISTING MASONRY WALL: PROVIDE R-42 INSULATION AT INSIDE FACE OF EXISTING CMU WALLS AT AREAS TO BE CONCEALED AT NEW WALK-IN COOLERS.

WINDOW INDICATOR: INDICATES NEW OR EXISTING WINDOW UNDER PREVIOUS SEPARATE PERMIT. SEE WINDOW / DOOR SCHEDULE ON THIS SHEET.

DOOR INDICATOR: INDICATES NEW OR EXISTING DOOR UNDER PREVIOUS SEPARATE PERMIT. SEE WINDOW / DOOR SCHEDULE ON THIS SHEET.

DETAIL NUMBER: SEE DETAIL NUMBER ON SHEET INDICATED.

DRAWING SHEET

PLUMBING and ELECTRICAL CONNECTIONS:

REFER TO THE FOLLOWING DRAWING SHEETS TO COORDINATE WATER, SEWER, ELECTRICAL, AND SODA CONNECTION POINTS:

CONNECTION TYPE:	SHEET:
EQUIPMENT FULL BOX LOCATIONS	FS-2
EQUIPMENT ELECTRICAL CONNECTIONS	FS-3
EQUIPMENT WATER AND FLOOR SINK LOCATIONS	FS-4
WALK-IN COOLER / FREEZER CONNECTIONS	FS-6
OFFICE and CONVENIENCE OUTLET LOCATIONS	E-1
FLOOR DRAIN LOCATIONS	P-1

NOTE: THE EXISTING CONCRETE SLAB IS A STRUCTURAL SLAB, WITH GRADE BEAMS AND PILING. GENERAL CONTRACTOR SHALL FIELD LOCATE EXISTING GRADE BEAM LOCATIONS, PRIOR TO MAKING ANY SLAB CUTS.

INSULATION REQUIRED for this Project

PLEASE REFER TO THE MECHANICAL CALCULATIONS PREPARED BY BUCHANAN P.E. CONSULTANTS FOR THIS PROJECT. INSULATION FOR THE BUILDING ASSEMBLIES ARE AS FOLLOWS:

Existing Exterior Walls (where renovated): R-4.1
WHERE EXISTING EXTERIOR MASONRY WALLS ARE BEING RENOVATED, NEW R-4.1 INSULATION SHALL BE INSTALLED BETWEEN EXISTING FURRING STRIPS.

Existing Roof Deck: R-38
THE EXISTING ROOF DECK IS TO BE SPRAYED WITH NEW FOAM INSULATION.

BUILDING CONSTRUCTION TYPE:

MAXIMUM HEIGHT AND ALLOWABLE AREA (PER FBC TABLE 603)

OCCUPANCY CLASSIFICATION: (PER SECTION 303.1, FBC 2010 ed.) 'A-2'

BUILDING CONSTRUCTION TYPE: 'V-B'

MAXIMUM ALLOWABLE NUMBER OF STORIES: 1

MAXIMUM ALLOWABLE BUILDING AREA: 6,000 SF.

MAXIMUM HEIGHT (PER FBC) 40'-0"

NOTE: PER FBC, TABLE 601, NO FIRE RESISTANCE RATINGS ARE REQUIRED FOR BUILDING ELEMENTS

REQUIRED FIRE ASSEMBLIES:

FIRE ASSEMBLY REQUIREMENTS FOR TYPE 'V-B' CONSTRUCTION (PER TABLE 601 FBC, 2010 ed.)

STRUCTURAL ELEMENTS	FIRE RATING REQUIRED	FIRE RATING PROVIDED
STRUCTURAL FRAME (COLUMNS, GIRDERS, TRUSSES)	0	0 (EXISTING)
BEARING WALLS: EXTERIOR	0	0 (EXISTING)
INTERIOR	0	0 (EXISTING)
NON-BEARING INTERIOR PARTITIONS	0	0 (EXISTING)
FLOOR/CEILING ASSEMBLIES:	0	N/A
ROOF/CEILING ASSEMBLIES:	0	0 (EXISTING)
OCCUPANCY SEPARATIONS:	2 HR.	4 HR. (EXISTING) EXISTING BUILDING SEPARATION

Classification of Work:

AS PER THE EXISTING BUILDING PORTION OF THE EXISTING BUILDING CODE (2010 ED.), THE WORK FOR THIS PROJECT IS CLASSIFIED AS FOLLOWS:

ALTERATION - LEVEL 3

PLUMBING FIXTURE CALCULATIONS:

NUMBER OF OCCUPANTS: (BASED ON INDOOR and OUTDOOR SEATING) 120

PLUMBING FIXTURES REQUIRED:

60 MEN (1) WC, (1) LAV, (1) SERVICE SINK

60 WOMEN (1) WC, (1) LAV

NOTE: A DRINKING FOUNTAIN IS NOT REQUIRED, PER FBC SECTION 410.1

PLUMBING FIXTURES PROVIDED:

60 MEN (1) WC, (1) LAV, (1) SERVICE SINK

60 WOMEN (1) WC, (1) LAV

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

05.14.13

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

DRB REVISION	01/13/2013
PERMIT REVISION	01/06/2013
PERMIT REVISION	04/12/2013

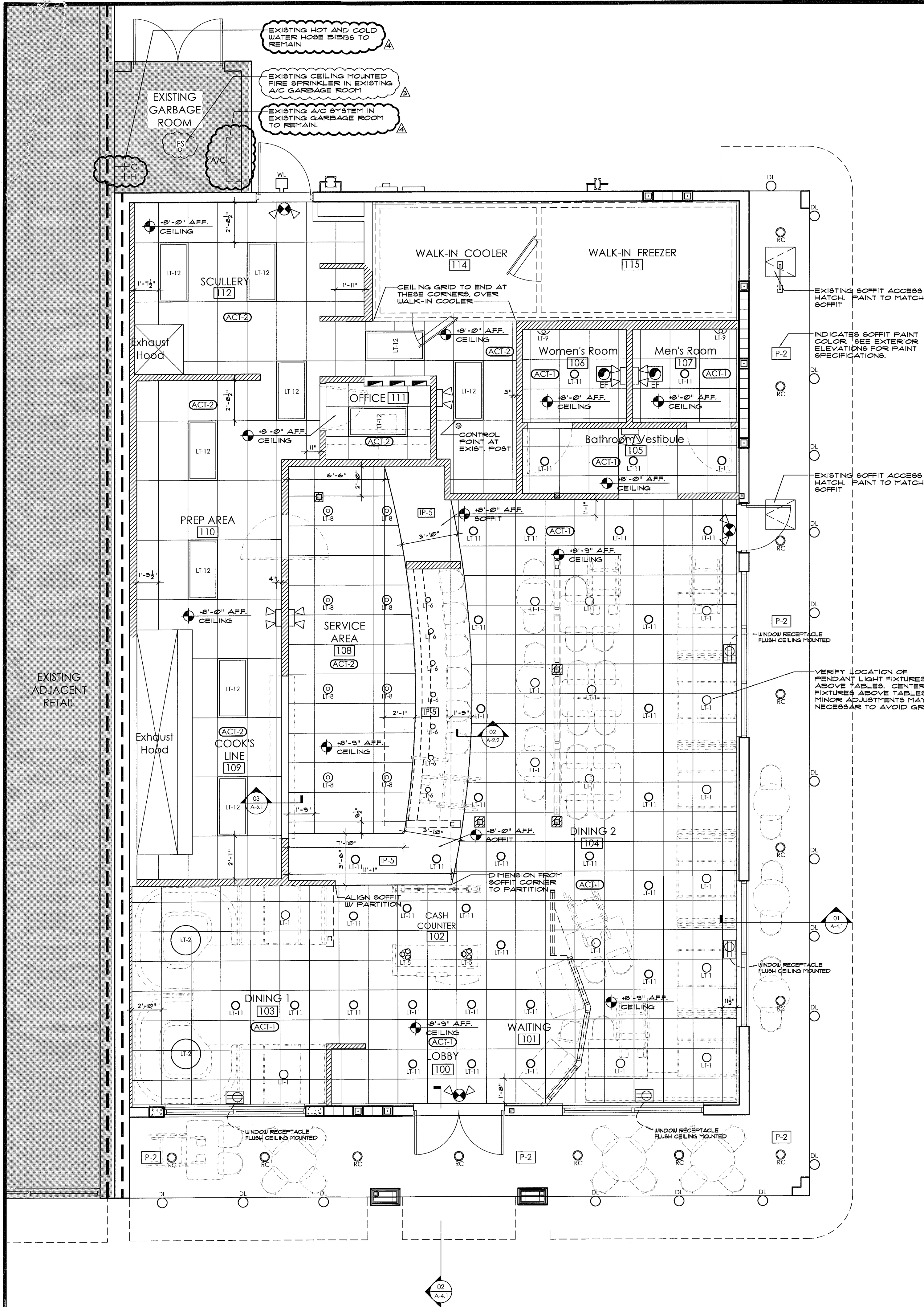
Floor Plan

SHEET

A-2.1

PROJECT: 12008
DATE: 01-31-13
A-2.1 - FLOOR PLAN (DENNY'S AT COLLINS AVENUE)

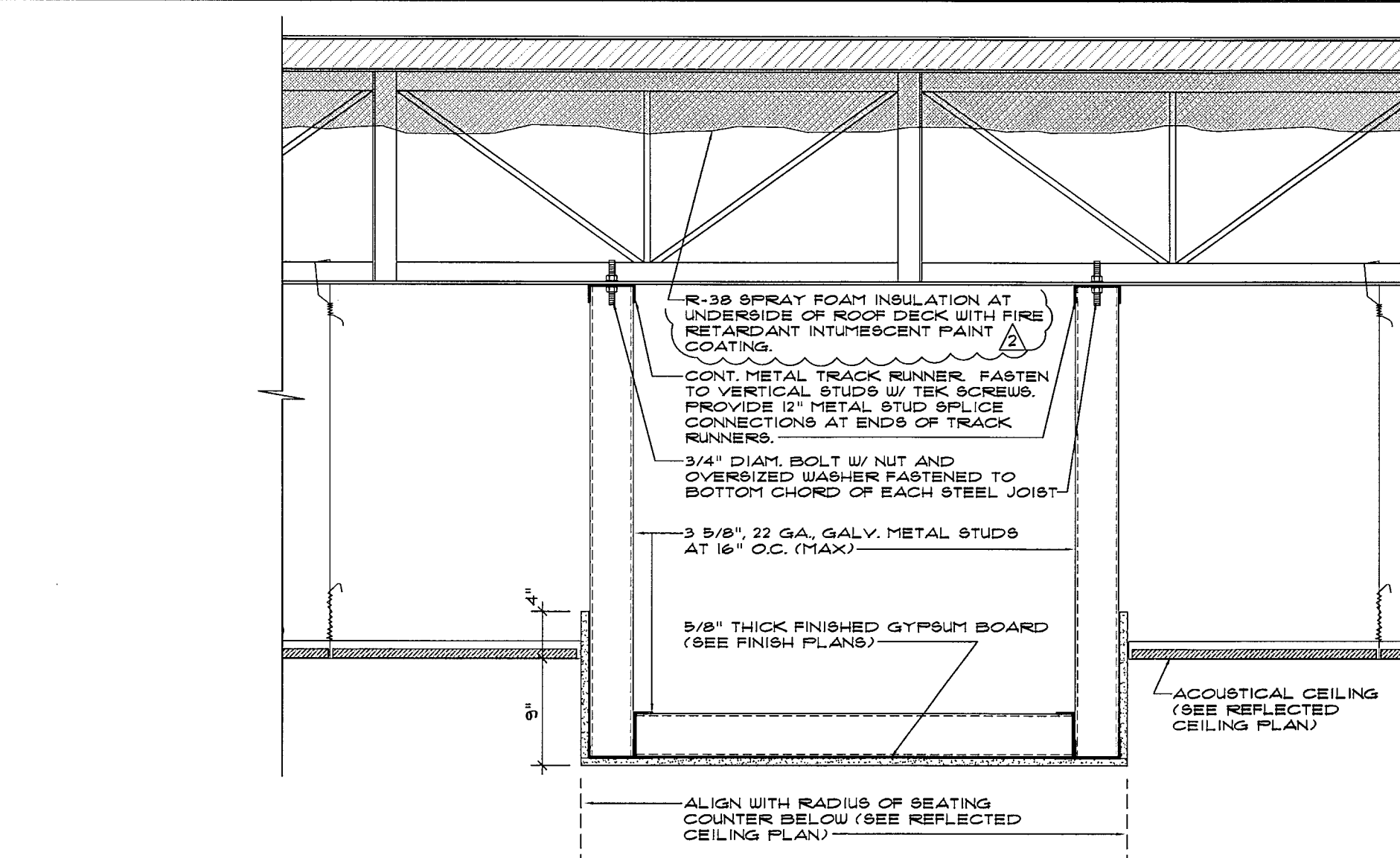
Floor Plan



Reflected Ceiling Plan

SCALE: 1/4" = 1'-0" 01

Mark	Light Fixture Specification
AC1-1	ACOUSTICAL CEILING TILE. MANUFACTURER: USG PRODUCT: OLYMPIA MICRO CLIMAFLEX 42" SQUARE EDGE 2" X 2" COLOR/FINISH: WHITE CONTACT: G. BRIAN LEE (615) 538-6644 LOCATION: DINING AREA
AC1-2	MOISTURE RESISTANT ACOUSTICAL CEILING TILE. MANUFACTURER: USG PRODUCT: CLEAN ROOM CLIMA FLEX COLOR/FINISH: WHITE, SMOOTH TEXTURED PANEL CONTACT: USG, BRIAN LEE (615) 538-6644 LOCATION: KITCHEN AND FOOD PREP AREA
DL	WALL MOUNTED DOWN LITE AT FACE OF EXISTING FACADE. MANUFACTURER: ATLANTIC LIGHTING PRODUCT: W/642-CC VERTICAL COMPACT 49 WATTS COLOR/FINISH: DENNY'S ROCKWOOD RED POWDERCOAT FINISH CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: WALL MOUNT ABOVE AWNINGS
RC	EXTERIOR RECESSED DOWNLIGHT TO REPLACE EXISTING LIGHTS UNDER EXTERIOR BUILDING SOFFIT. MANUFACTURER: CREE PRODUCT: R95 6" LED DOWNLIGHT 1012 WATTS COLOR/FINISH: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: UNDER EXISTING BUILDING SOFFIT / TO REPLACE EXISTING LIGHTS
WL	WALL MOUNTED LED LIGHT. MANUFACTURER: RAIS LIGHTING PRODUCT: W/LED22 22 WATTS COLOR/FINISH: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: WALL MOUNTED OVER PERSONNEL DOOR
LT-1	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: RABBIT-CASE 11" X 10" W/ CAGED AMBER, BROWN RUBY GLASS PENDANT 20 WATT FLUORESCENT BULB ADJ. CLEAR CORD, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: PERIMETER BOOTHS - SEE CEILING PLAN
LT-2	CEILING MOUNTED DRUM PENDANT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: DRUM PENDANT 24" DIAMETER X 14" H. (3) 23 WATT FLUOR. BULBS + 69 WATTS COLOR/FINISH: AMBER SHADE, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: LARGE BOOTHS - SEE CEILING PLAN
LT-3	CEILING MOUNTED TRIPLE PENDANT LIGHTS. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: TRIPLE LT-4 135040-ACAB (3) 14 WATT BULBS + 42 WATTS COLOR/FINISH: CAGED AMBER, BROWN, RUBY GLASS ADJ. CORDS, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: OVER CASH AREA - SEE CEILING PLAN
LT-4	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: ARCHITECTURAL CUSTOM PRODUCT: RABBIT-CASE 11" X 10" W/ CAGED AMBER, BROWN RUBY GLASS PENDANT 20 WATT FLUORESCENT BULB ADJ. CLEAR CORD, SATIN NICKEL CONTACT: ARCHITECTURAL CUSTOM (851) 215-8850 LOCATION: OVER EATING COUNTER - SEE CEILING PLAN
LT-5	CEILING MOUNTED PENDANT LIGHT. MANUFACTURER: JUNG LIGHTING PRODUCT: RECESSED DOWNLIGHT IC22 60 TO VERIFY MODEL W/ 9324-8C TRIM COLOR/FINISH: SATIN CHROME, PROTECTED GLASS, 1-8" DIAM. WATTAGE: 50W PAR 30/6500K-50 CONTACT: JUNG LIGHTING GROUP, RICHARD KOSTECKA (844) 924-3224 LOCATION: SERVICE AREA - SEE CEILING PLAN
LT-9	WALL SCONCE. MANUFACTURER: TECH LIGHTING PRODUCT: MINI LARKSPUR WALL SCONCE 13 WATTS COLOR/FINISH: BEACH AMBER GLASS CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: BATHROOMS
LT-11	RECESSED LED LIGHT FIXTURE. MANUFACTURER: CREE PRODUCT: RC6 6" X 6" INCH RECESSED HOUSING W/ CR6 1012 WATTS COLOR/FINISH: RECESSED LED DOWNLIGHT CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: DINING AREA AND BATHROOMS
LT-12	2" X 4" FLUORESCENT CEILING GRID LIGHT FIXTURE. MANUFACTURER: CREE PRODUCT: CR24 2'X4' RECESSED TROFFER 44 WATTS COLOR/FINISH: WHITE CONTACT: RED MOUNTAIN LIGHTING, BRUCE SWEENEY (602) 549-5117 LOCATION: COOK LINE / PREP AREA / DRY STORAGE



Ceiling Soffit Detail

SCALE: 1" = 1'-0" 02

Hangar Wires

NOT TO SCALE 03

PROFESSIONAL SEAL

05.23.13
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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:
PERMIT REVISION
02/06/2013
PERMIT REVISION
04/12/2013
ENGINEERING REVISION
05/20/2013

Reflected Ceiling Plan

SHEET
A-2.2

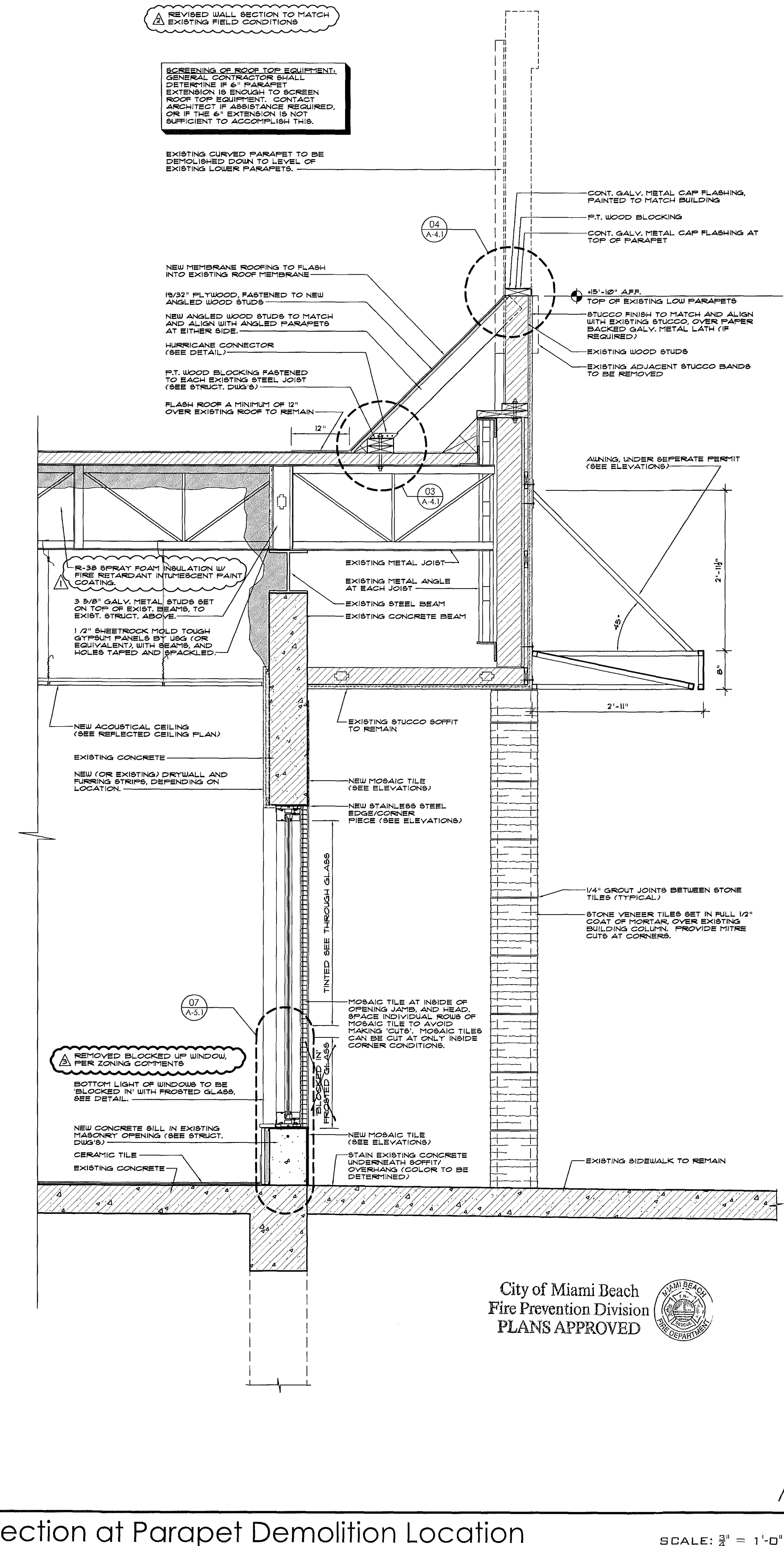
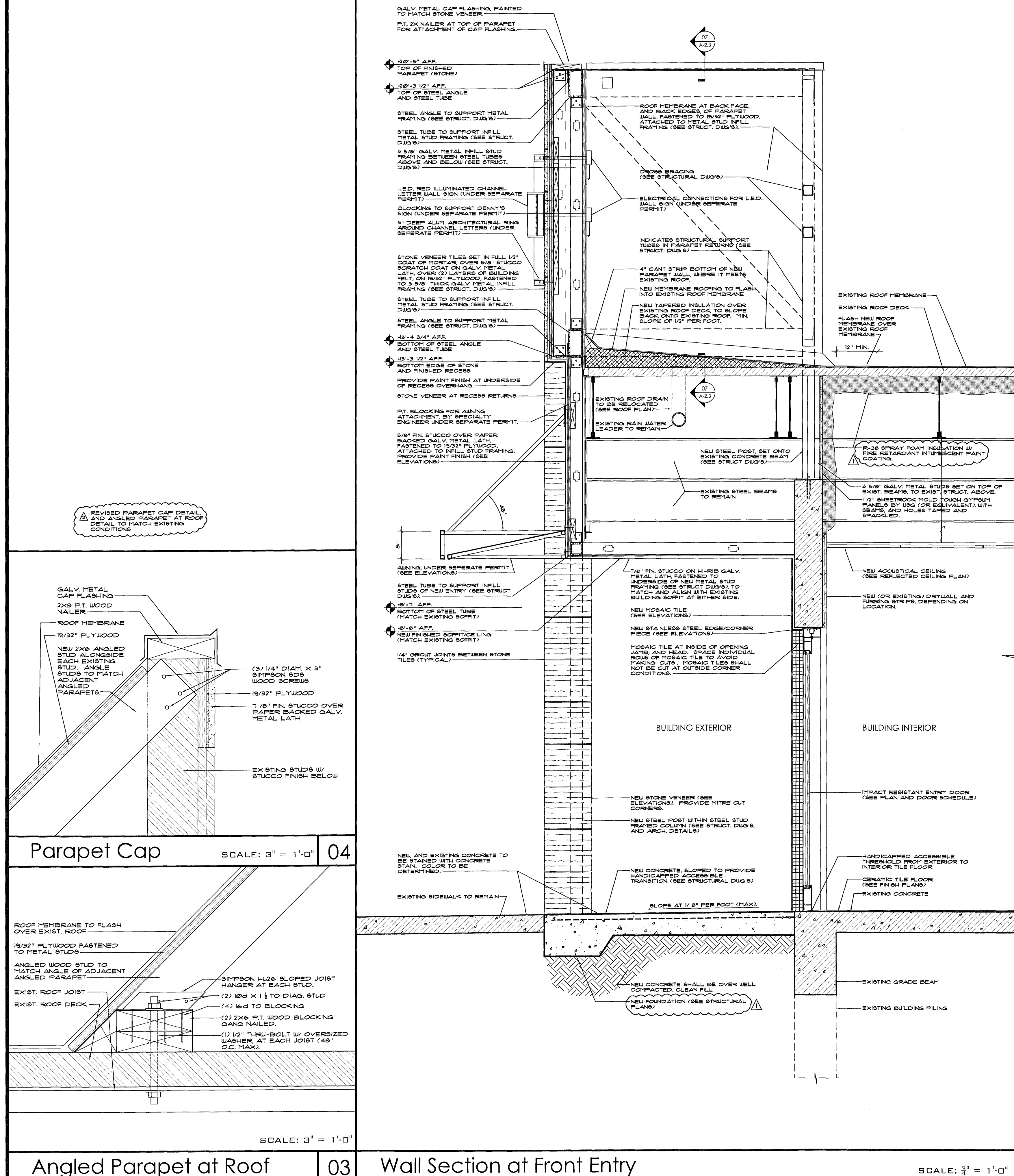
PROJECT: 12008
DATE: 01-31-13
A-2.2-REFLECTED CEILING PLAN (CONTINUED)

PROJECT: 12008
DATE: 01-31-13
3.1_ELEVATIONS (DENNY'S AT COLLINS AVE)

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



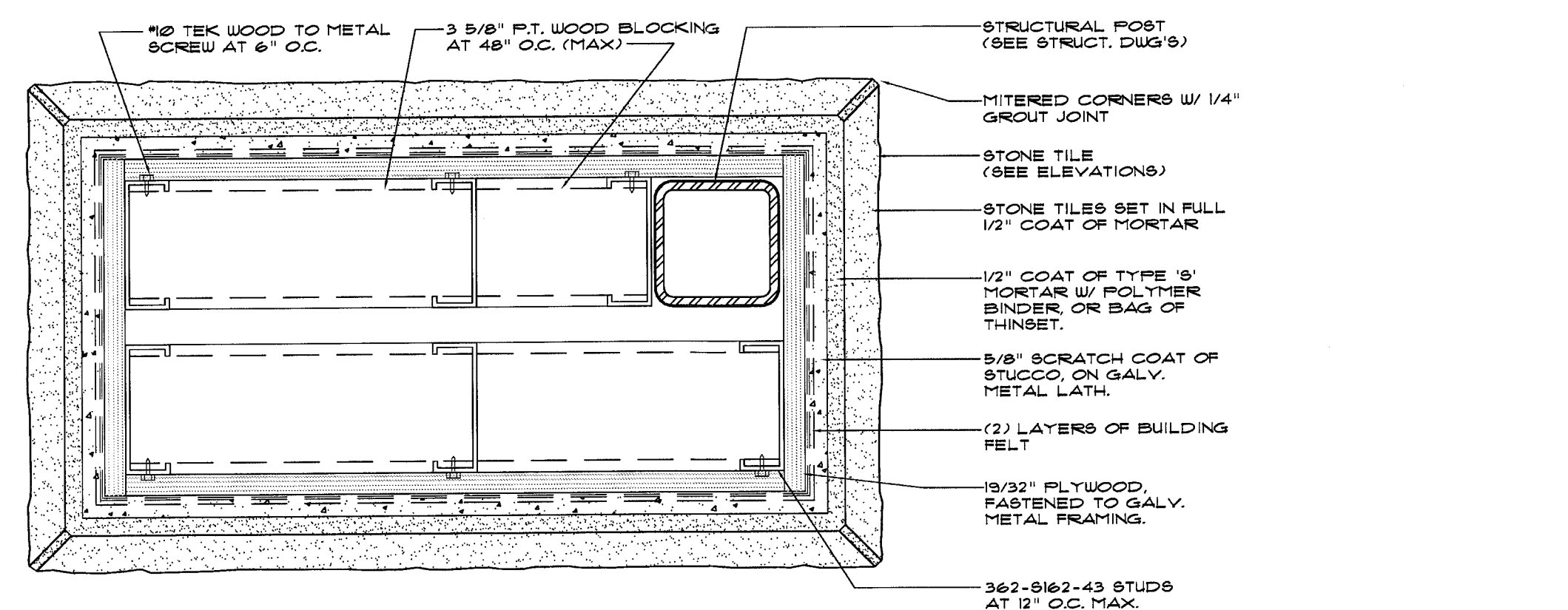
⚠ REVISÉD ELEVATIONS AND FACADE MATERIALS, PER DRB FINAL ORDER



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

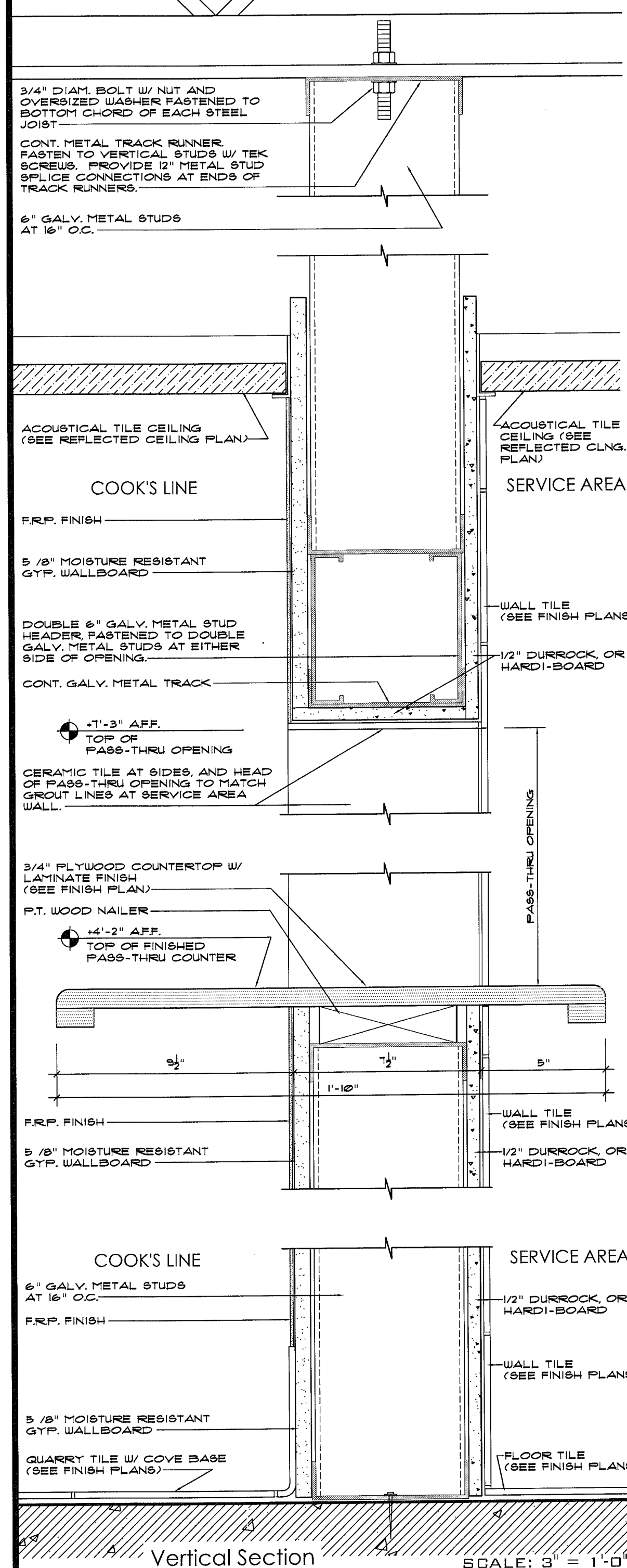


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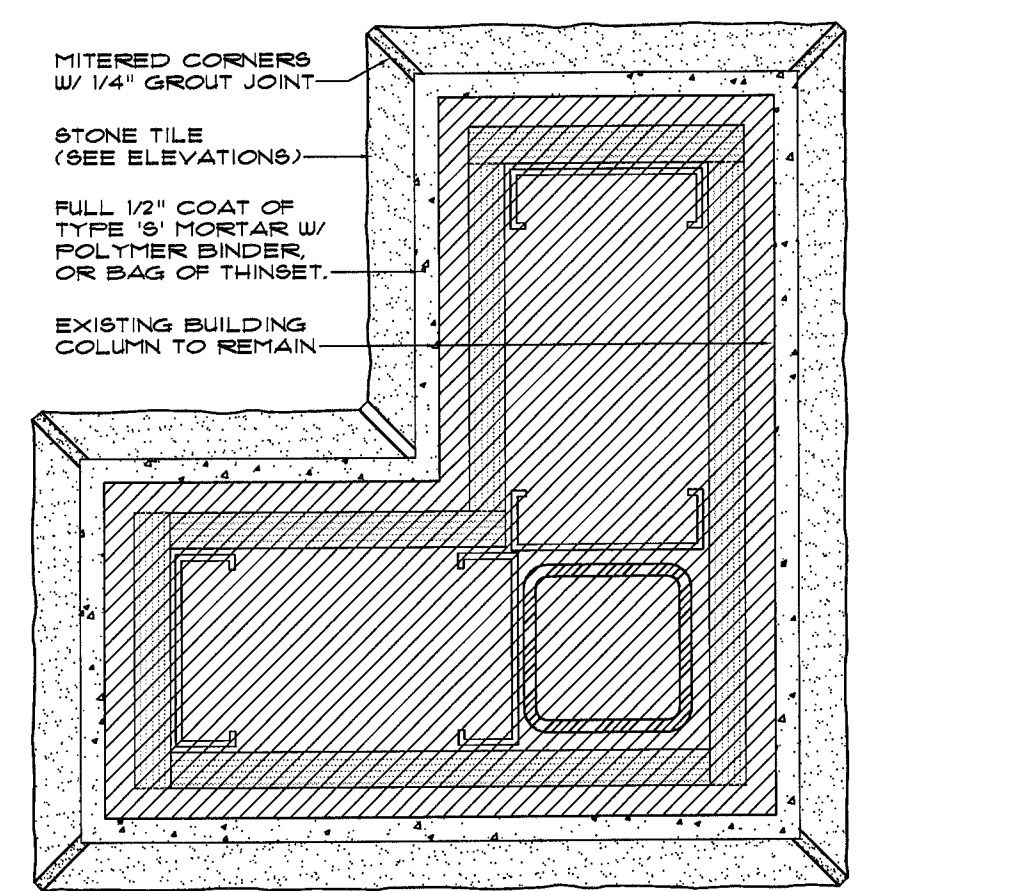
Stone at New Column

09



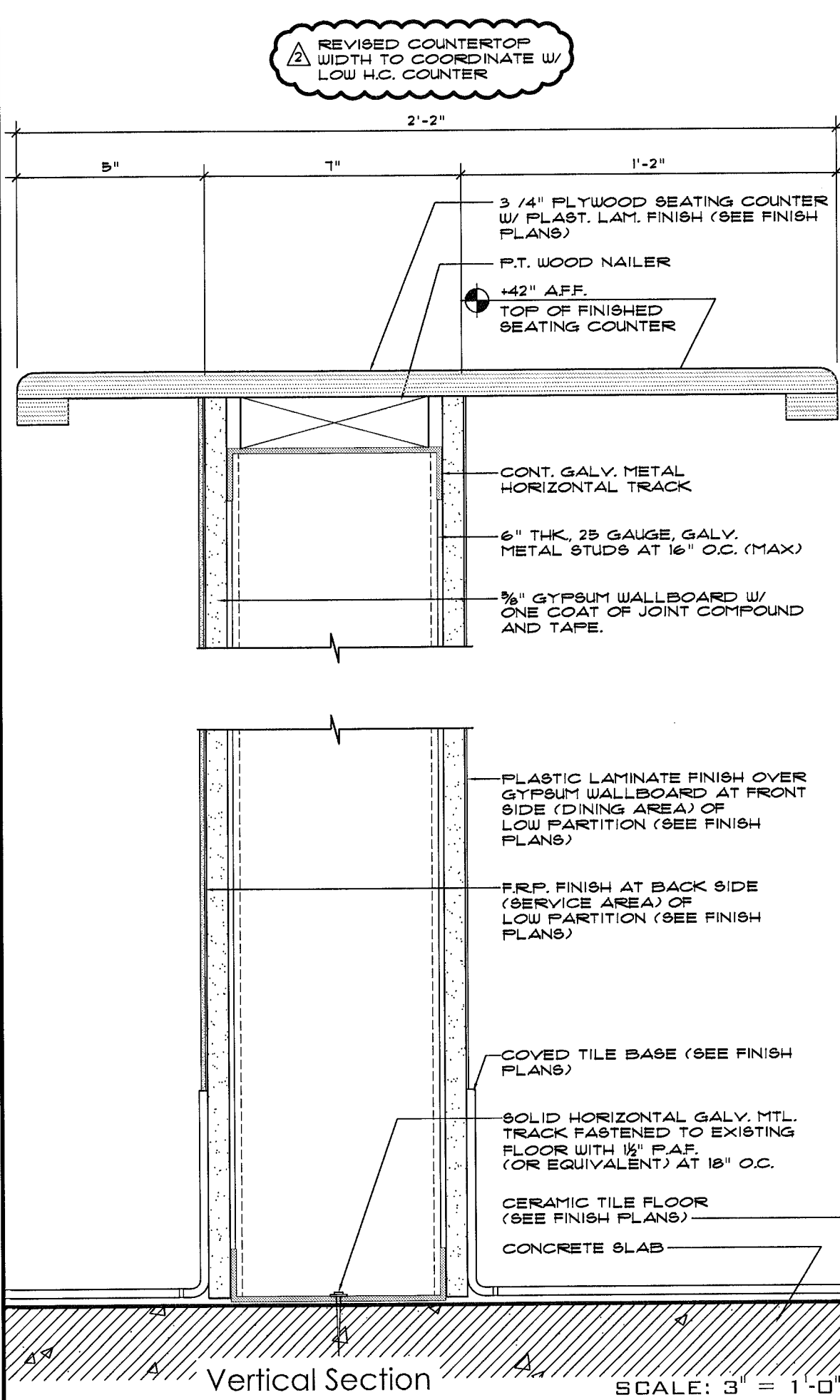
Pass-Thru Opening

03



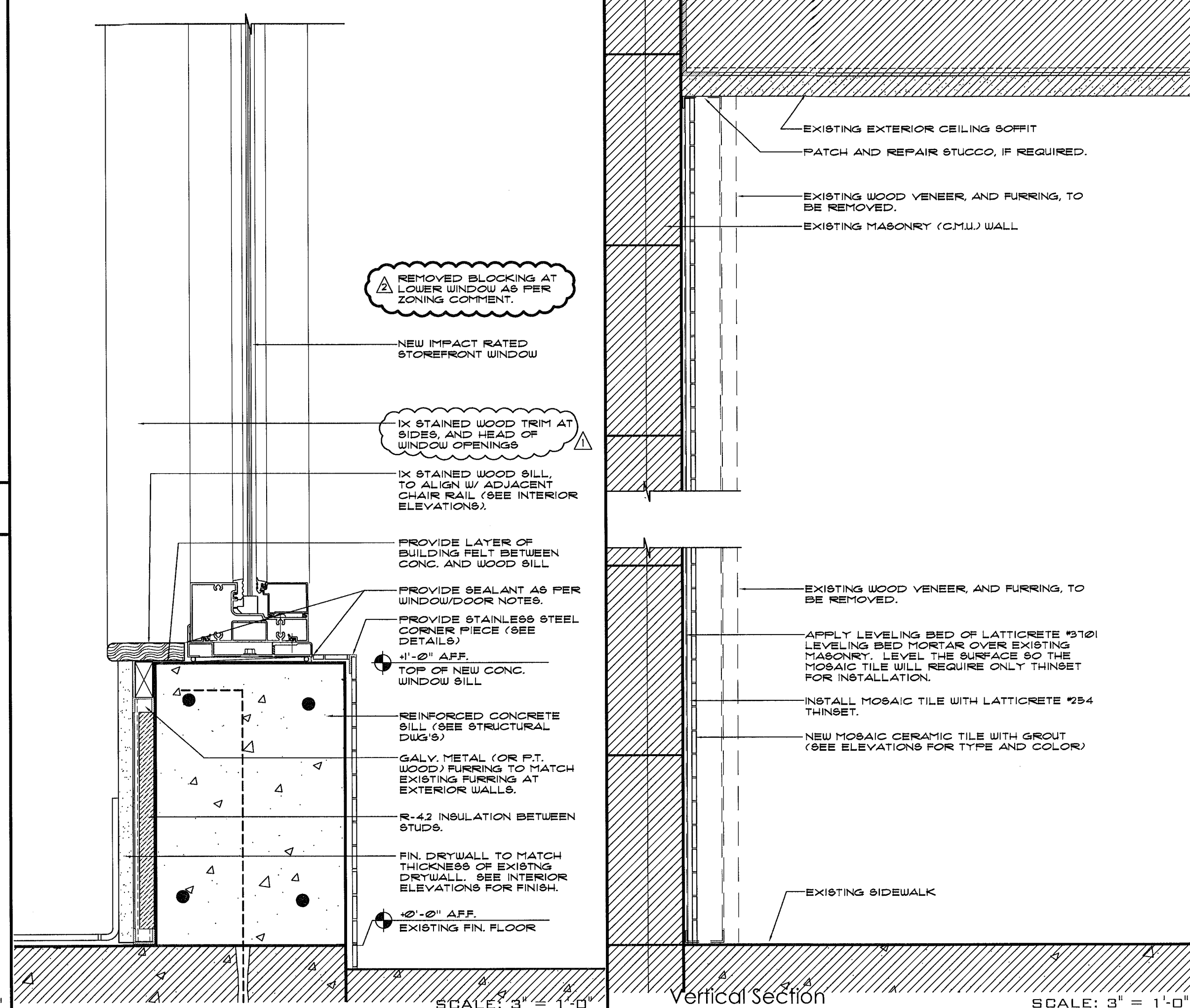
Stone at Exist. Bldg. Column

08



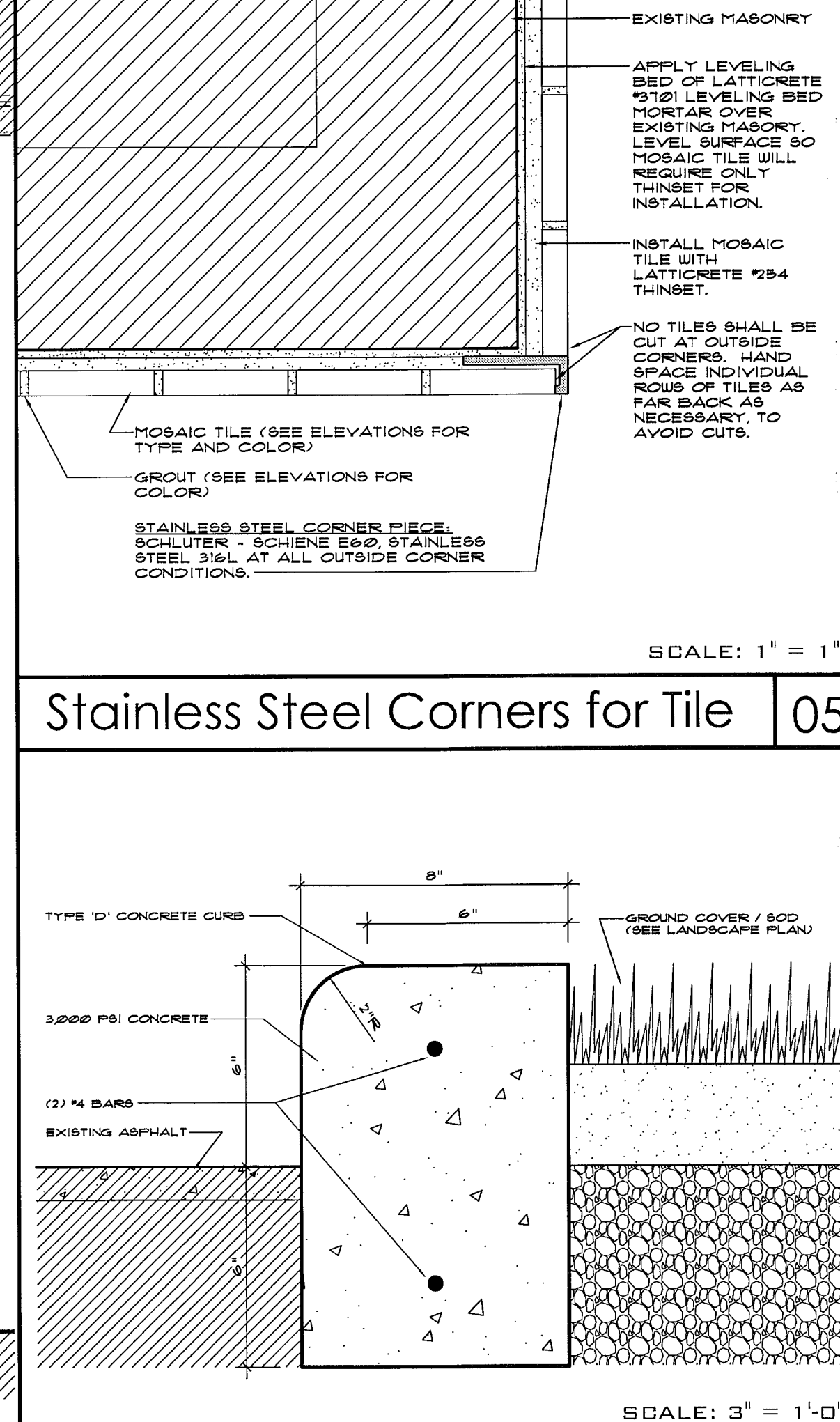
Seating Counter

02



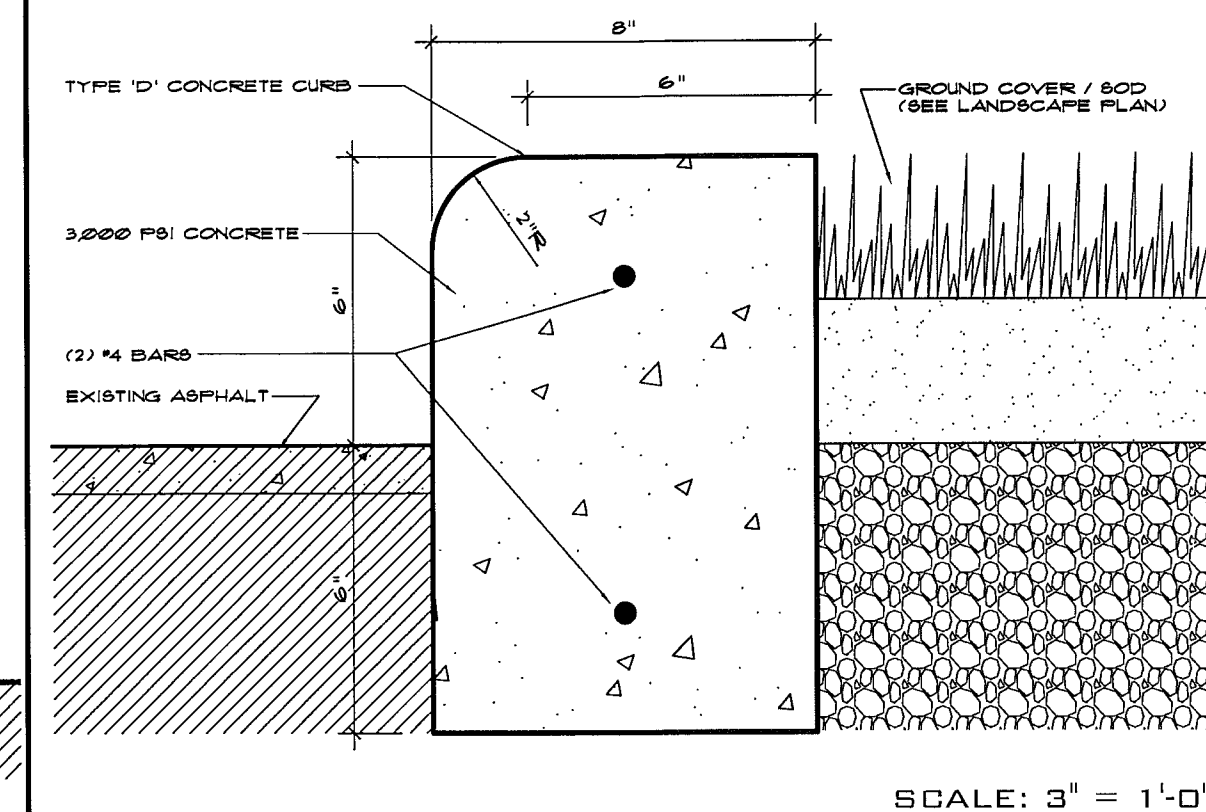
Mosaic Tile Installation

06



Stainless Steel Corners for Tile

05

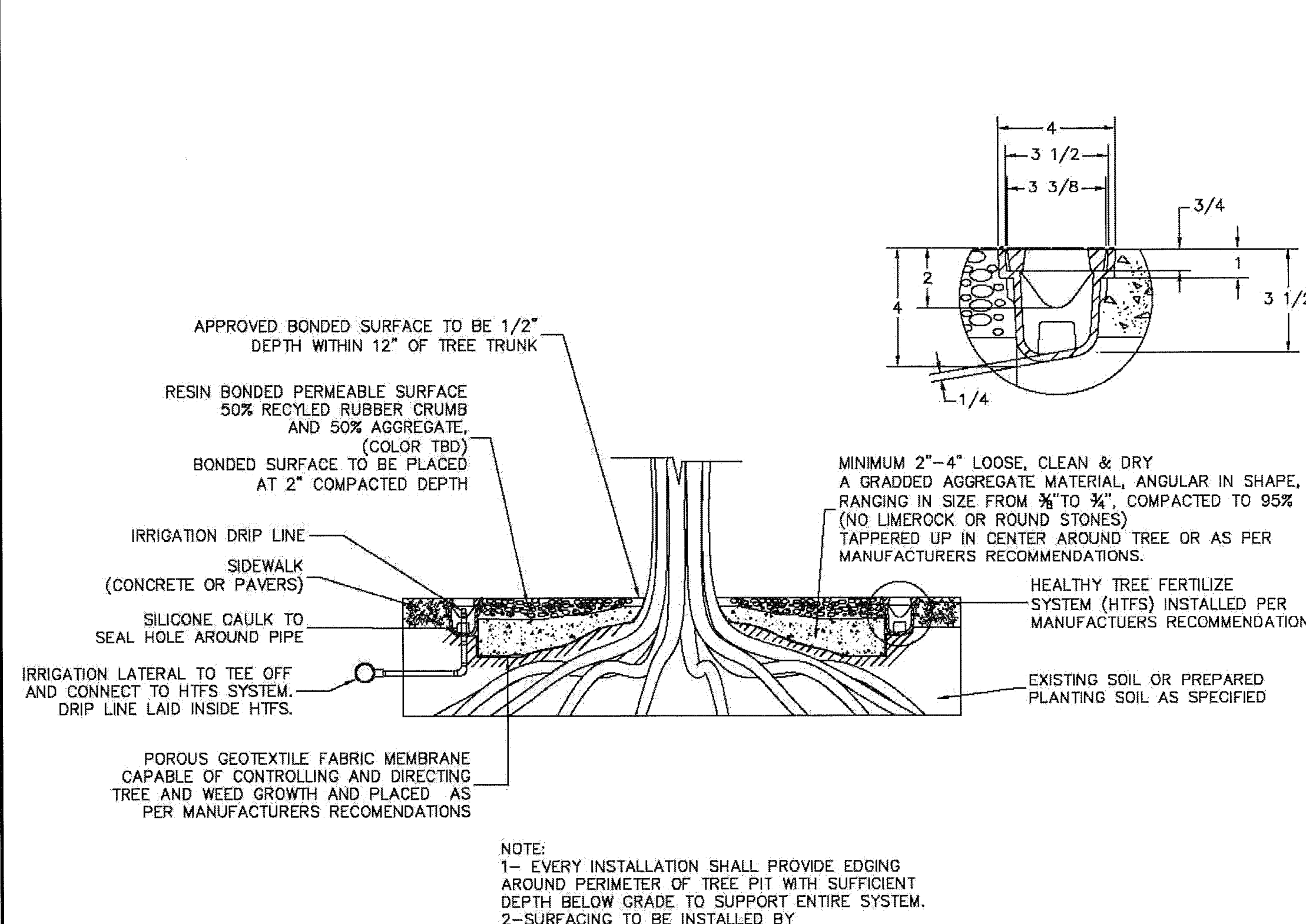


Type 'D' Concrete Curb

04



07



City of Miami Beach Tree Pit Detail

SCALE: $\frac{1''}{8} = 1'-0''$

01

PROFESSIONAL SEAL

05.14.13

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue 33141 - 3212
Miami Beach, Florida

DRAWING REVISION DATE

1 DENNY'S REVISIONS
03/25/2013

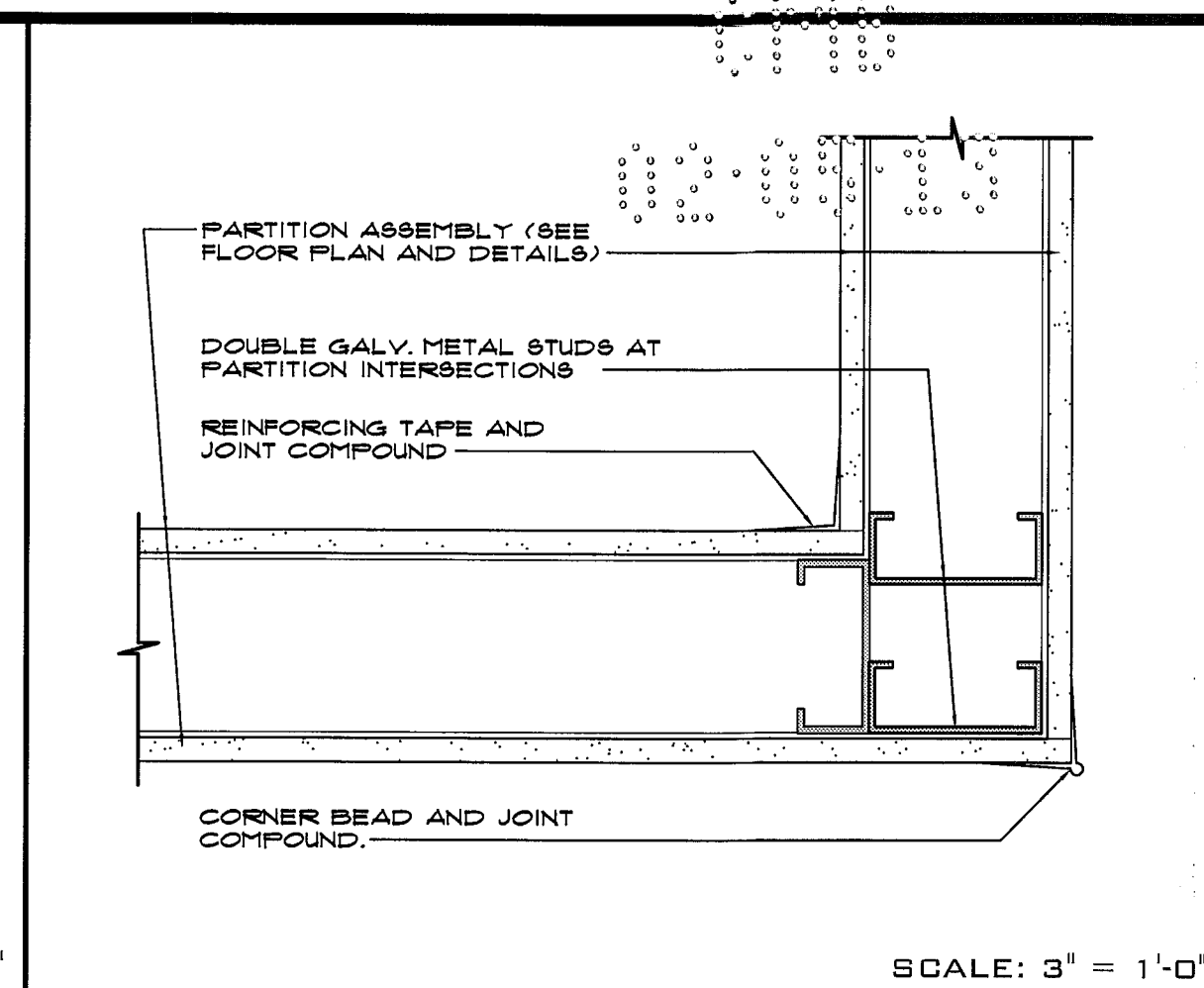
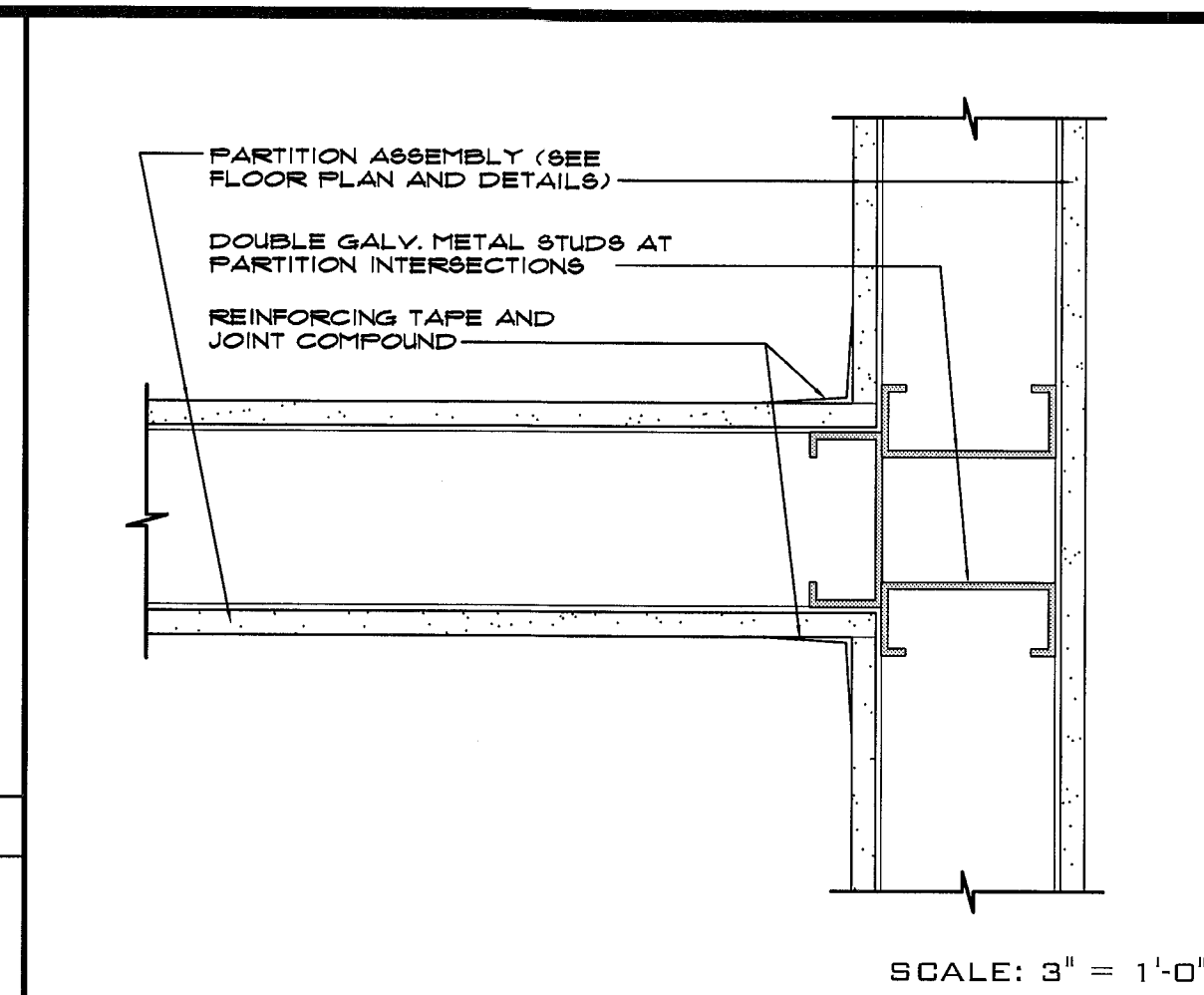
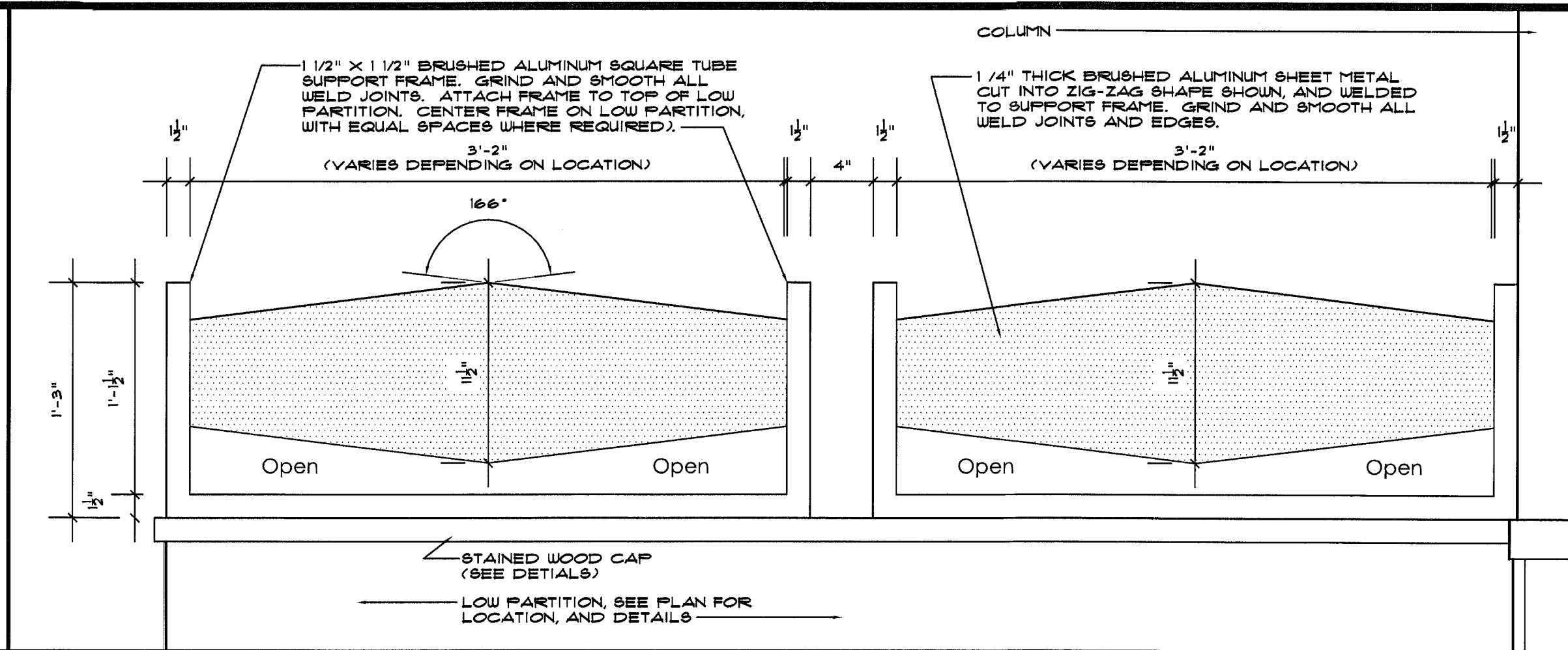
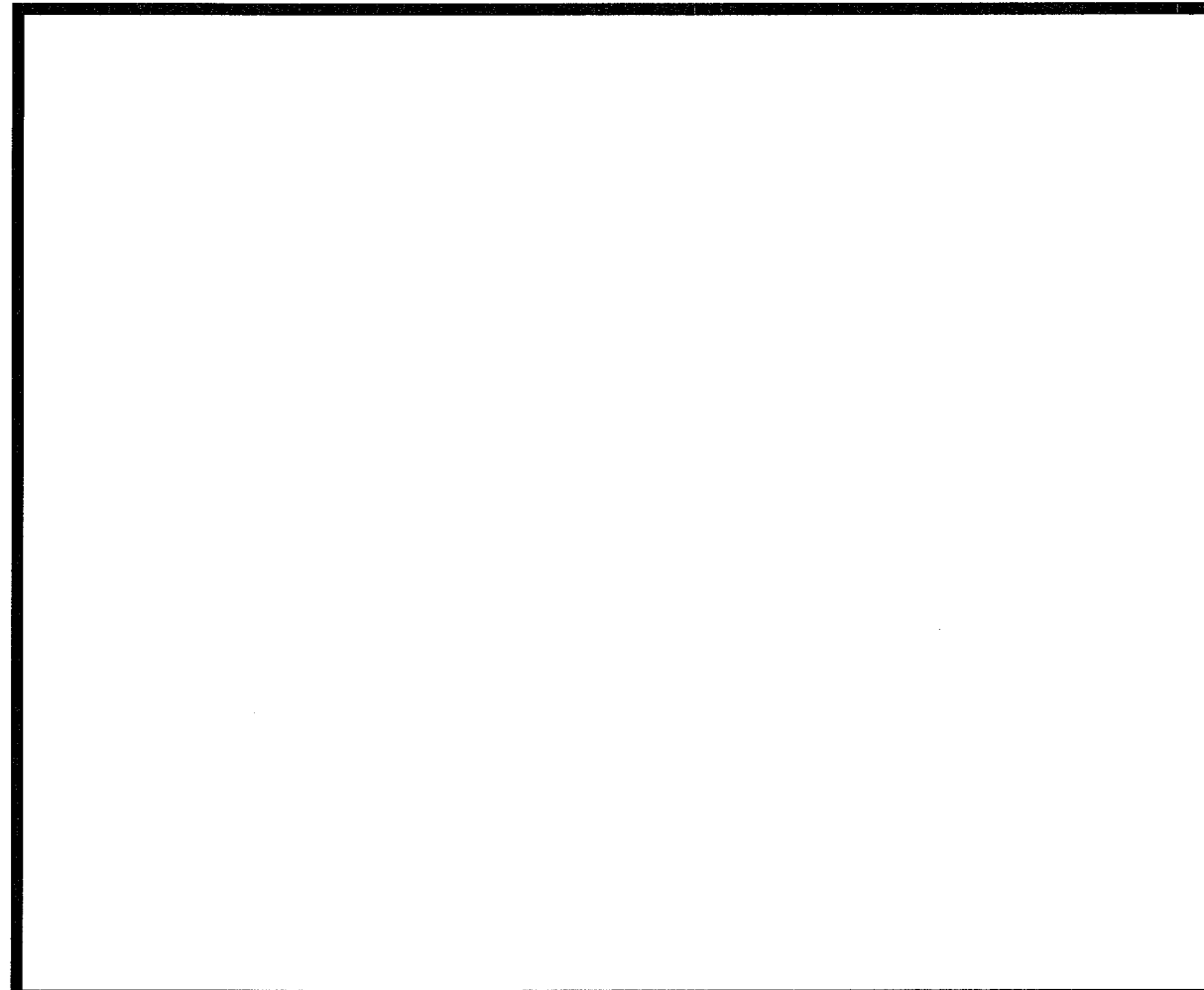
2 PERMIT REVISION
04/12/2013

Architectural Details

SHEET

A-5.1

PROJECT: 12008
DATE: 01-31-13
A-1.2 SITE DETAILS (DENNY)

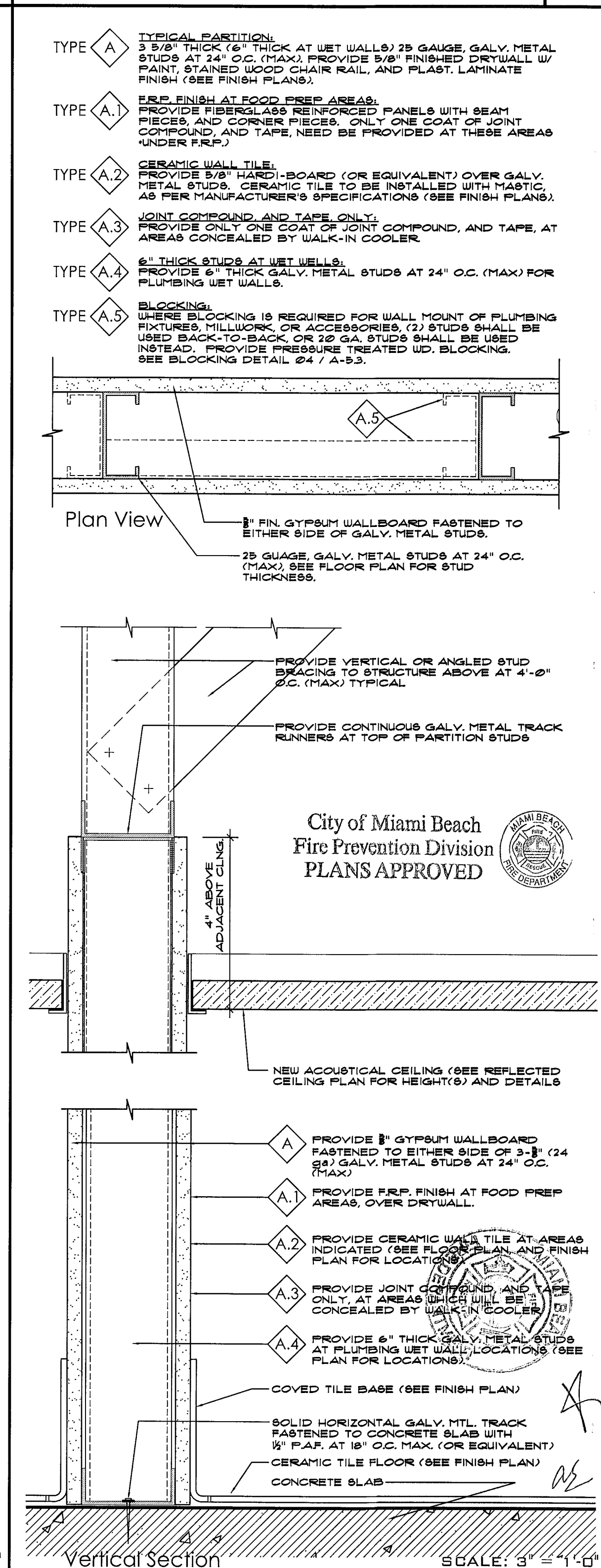
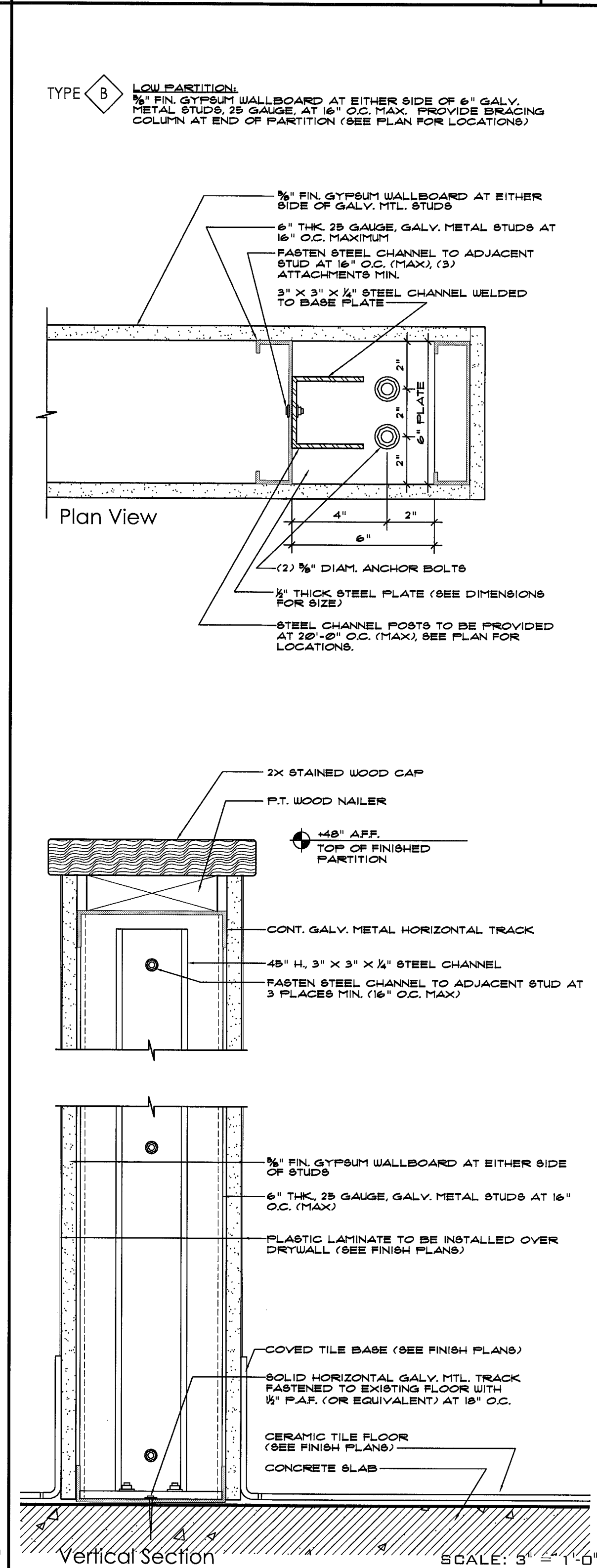
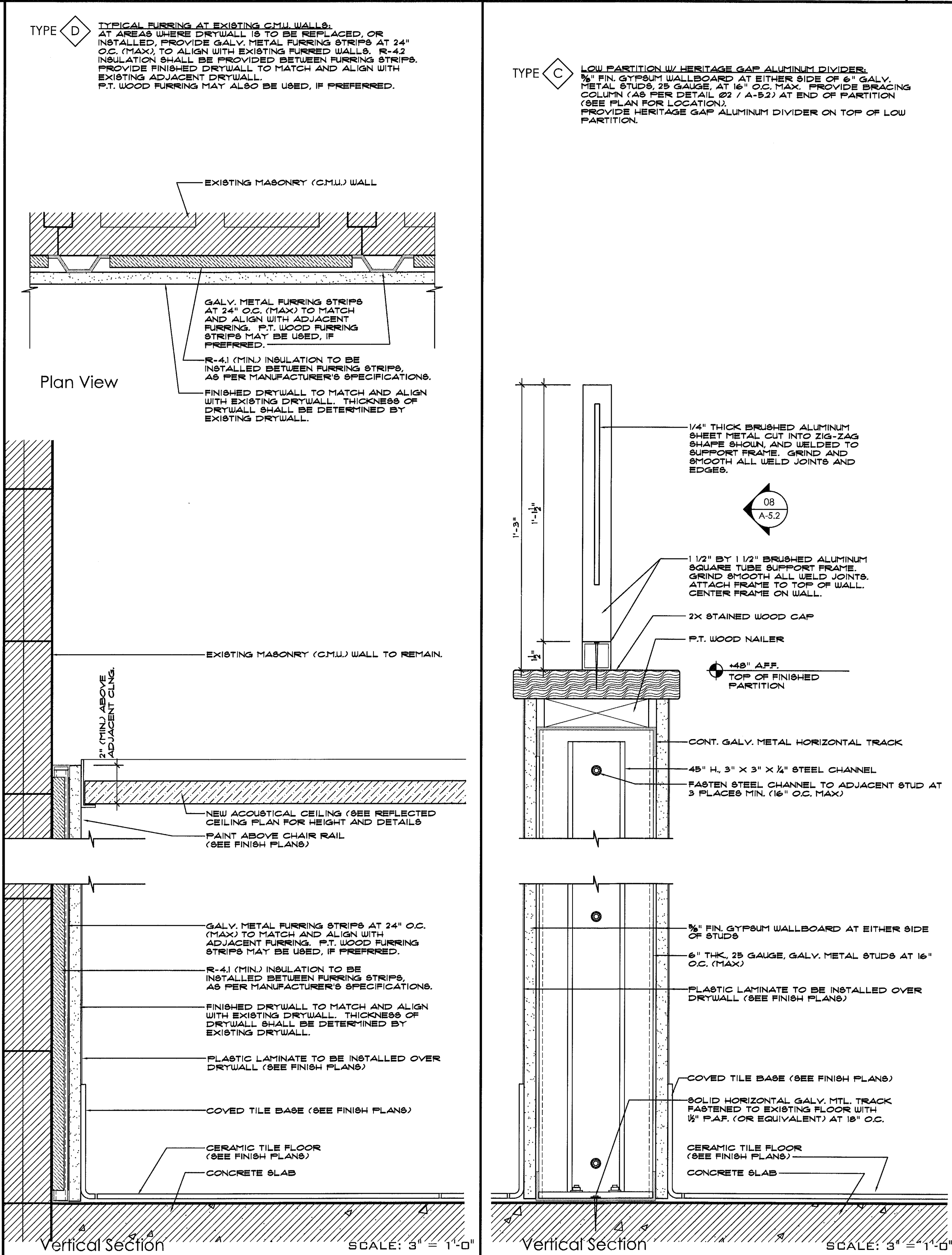
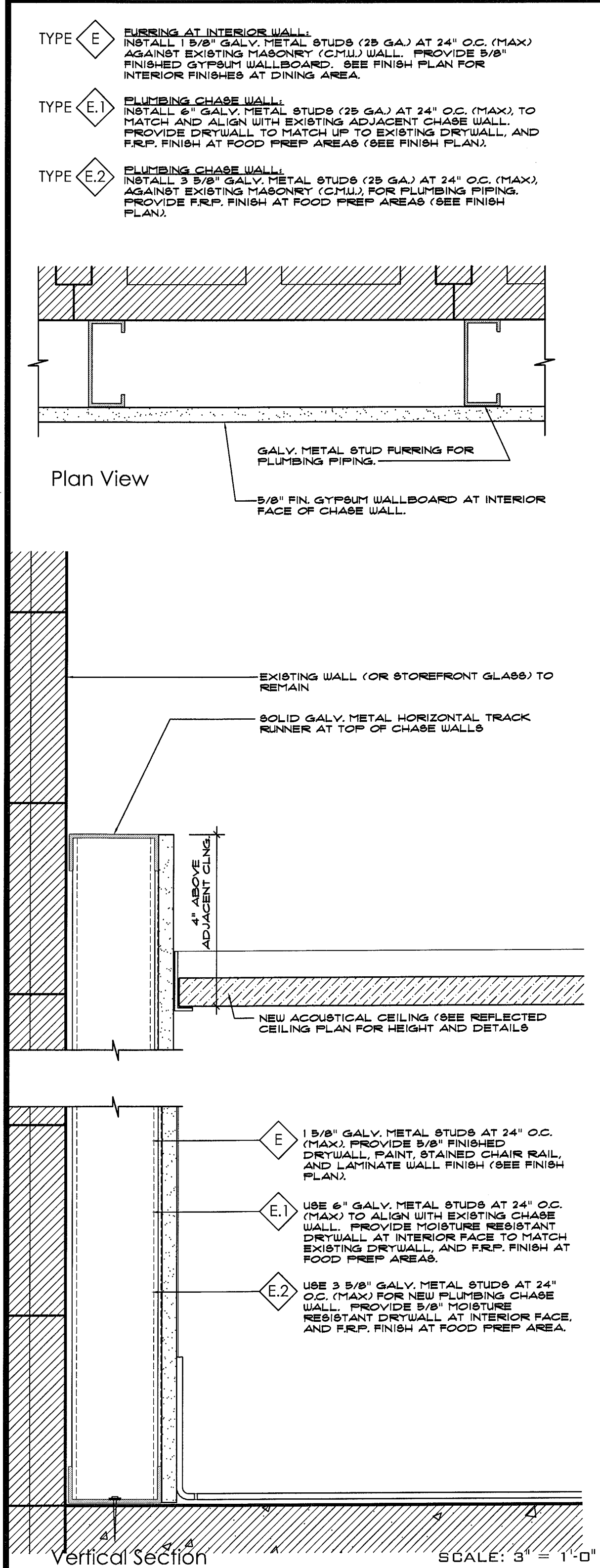


Plumbing Chase Walls

Heritage Gap Aluminum Divider

Typical Partition Intersections

Typical Partition Corners

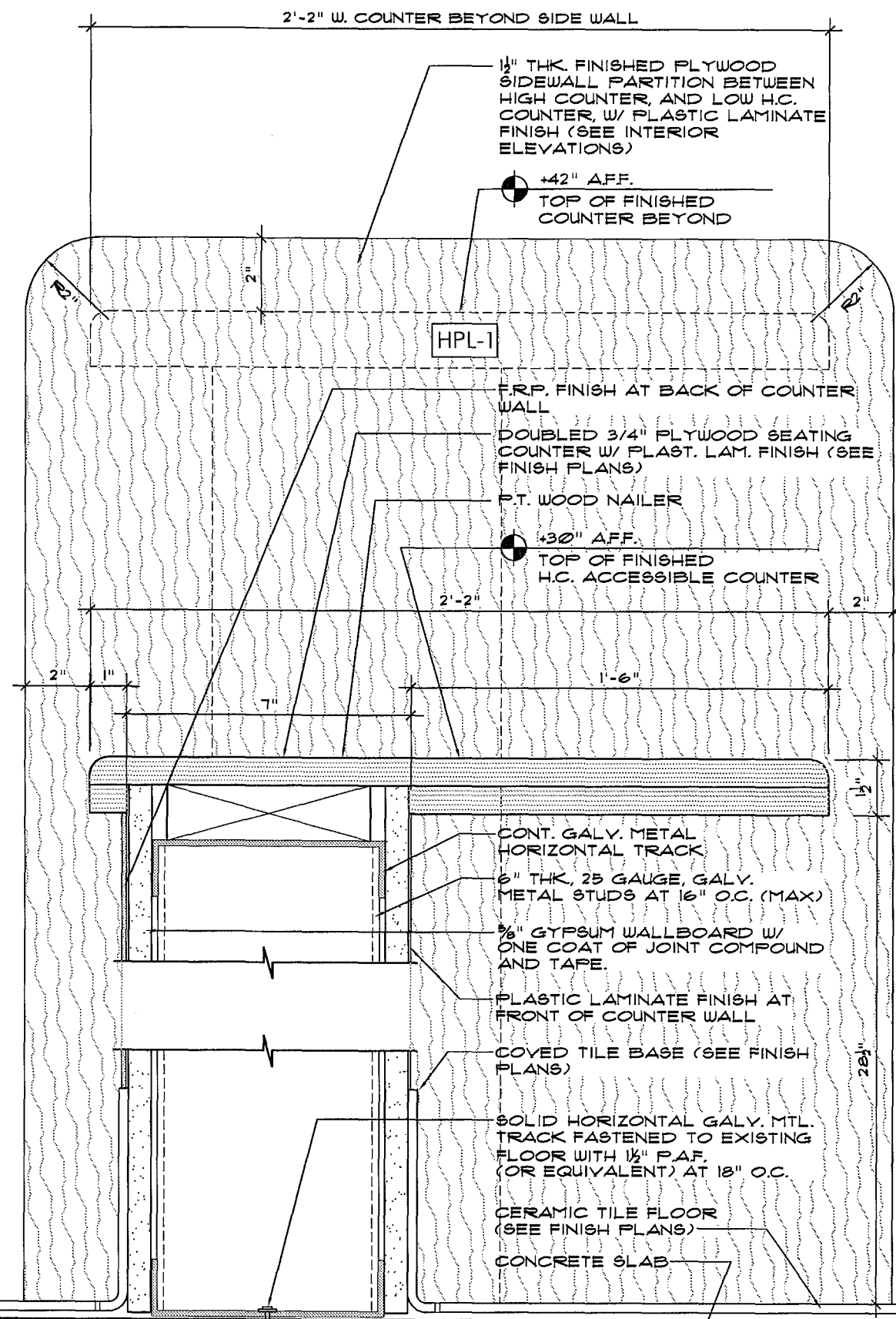
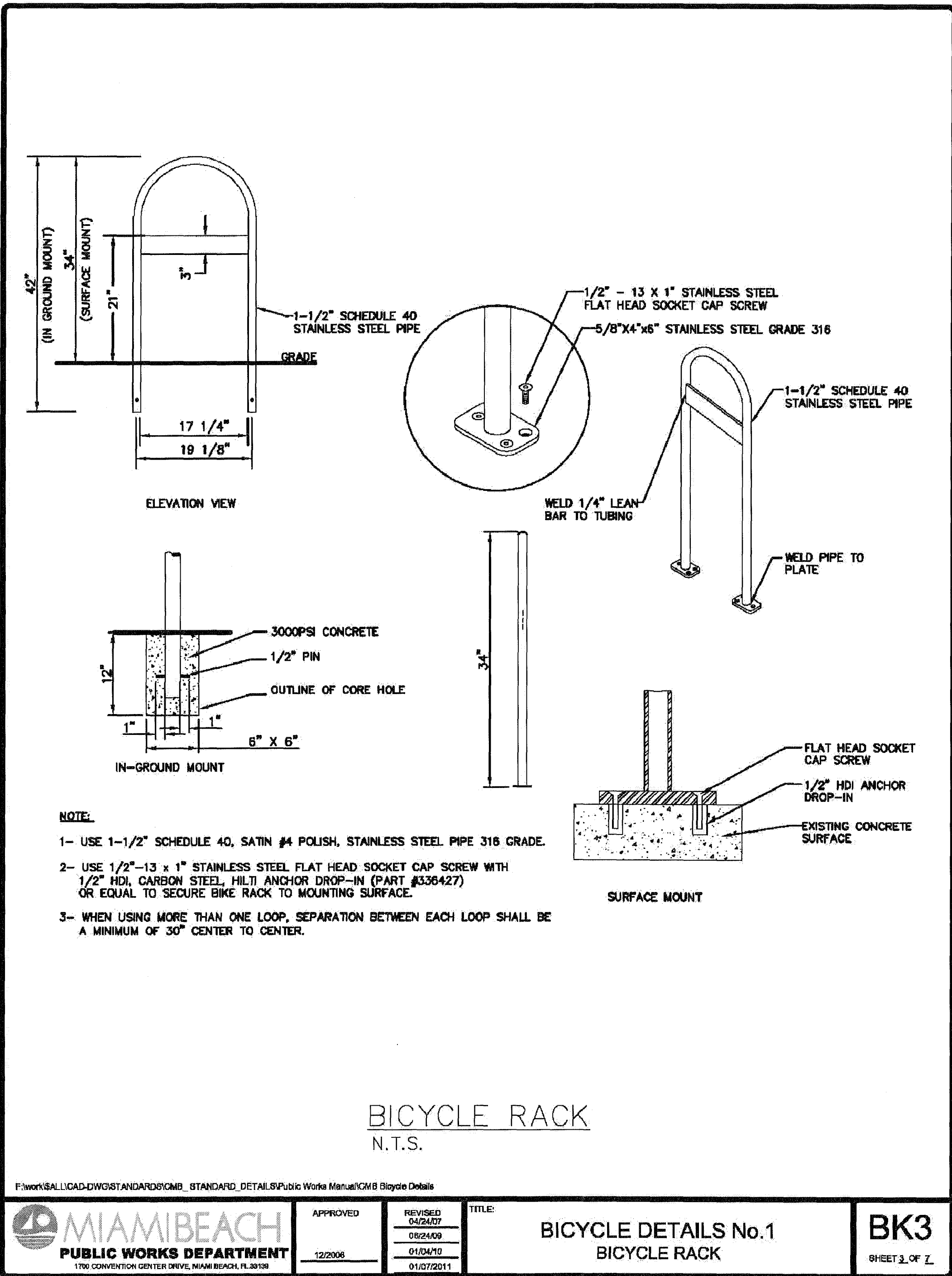


Plumbing Chase Walls

Furring at Exterior Walls

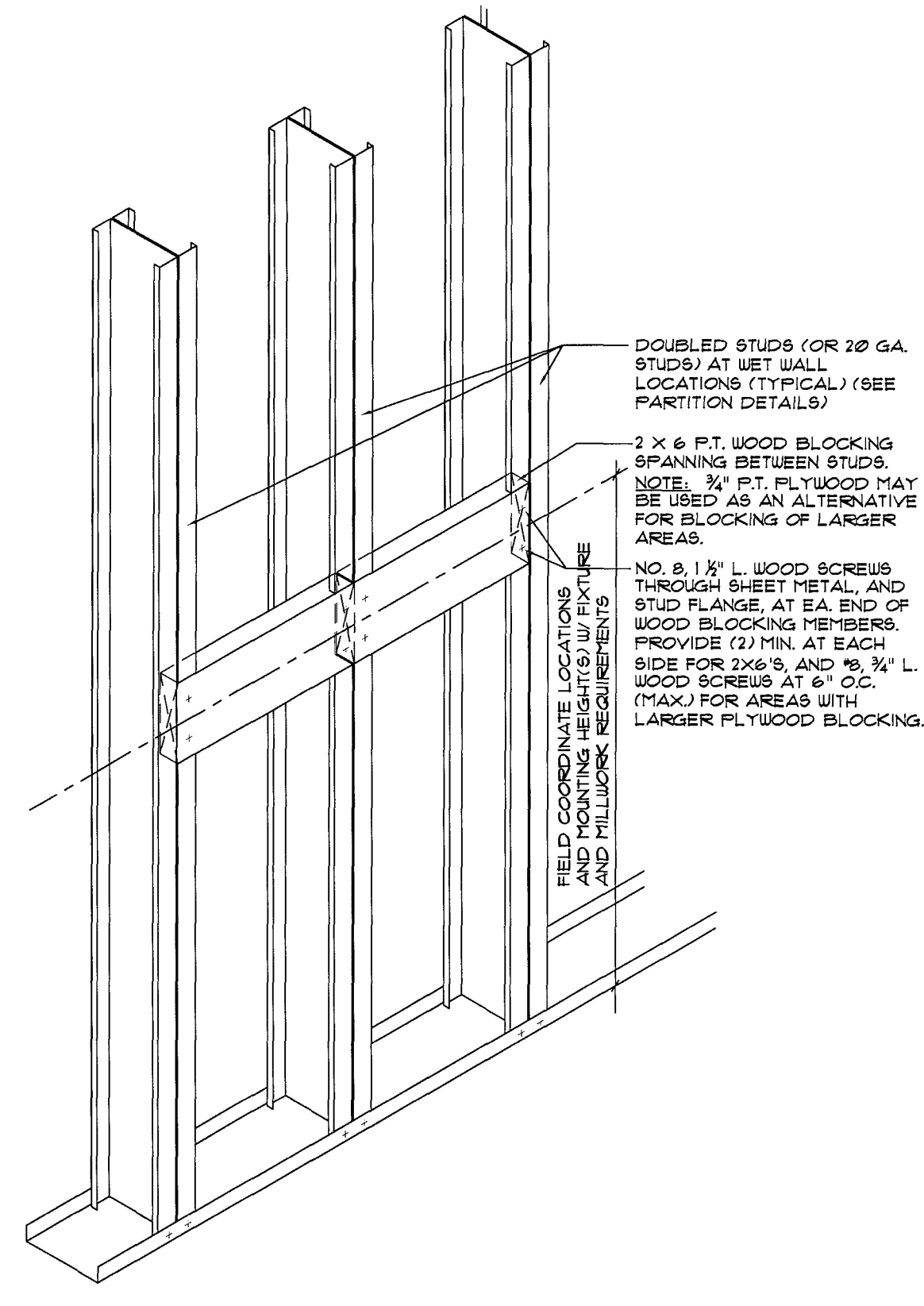
Low Wall w/ Alum. Divider

Typical Partitions

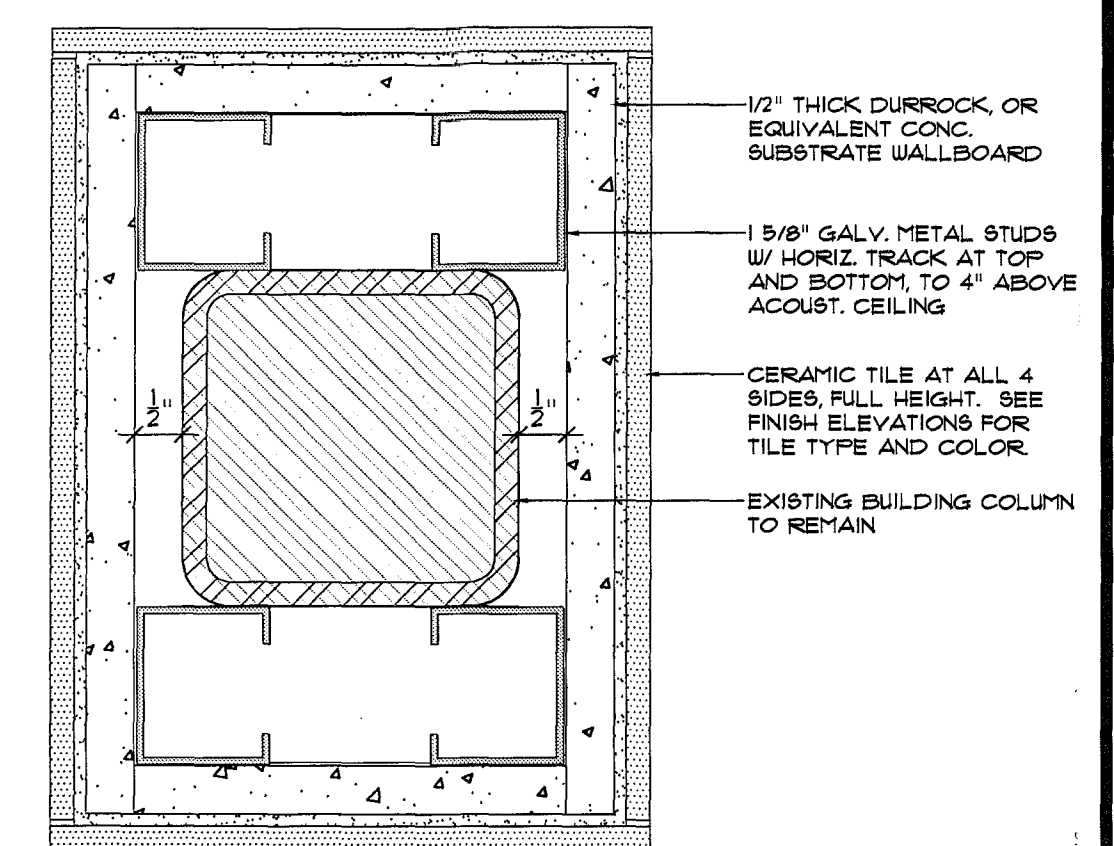


H.C. Lunch Counter

05

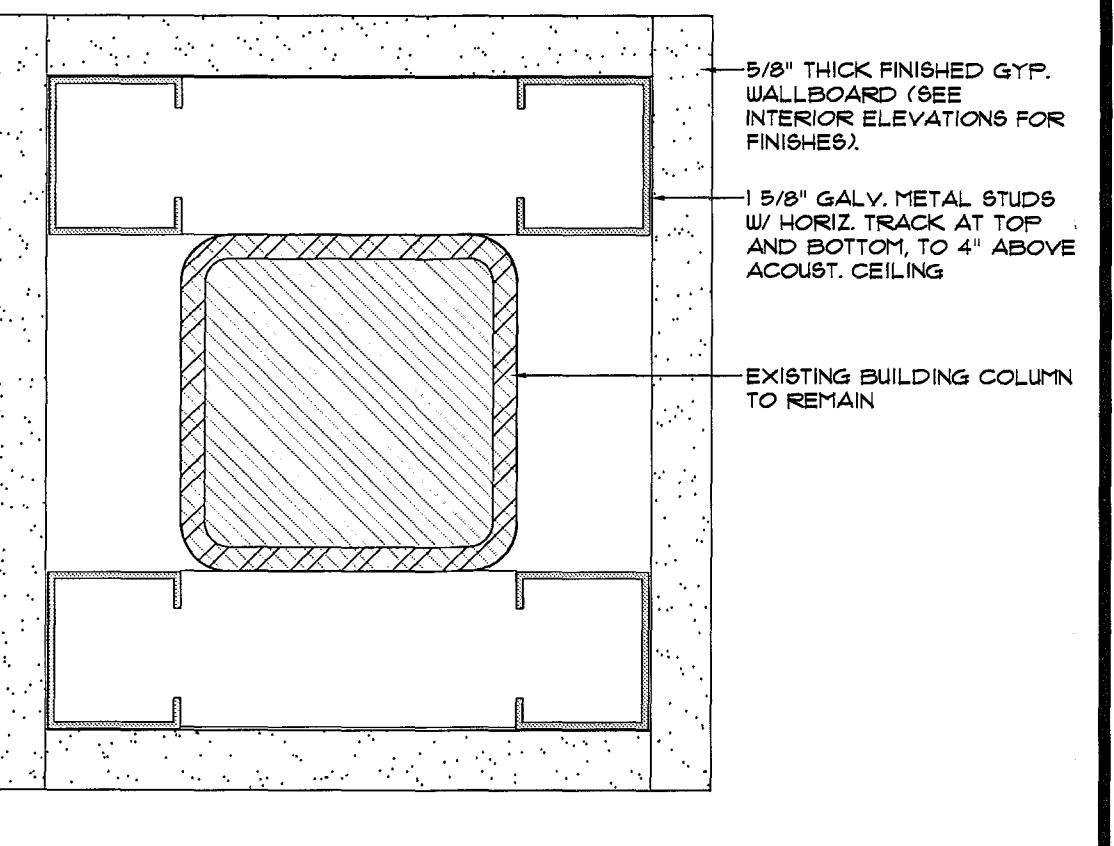


04



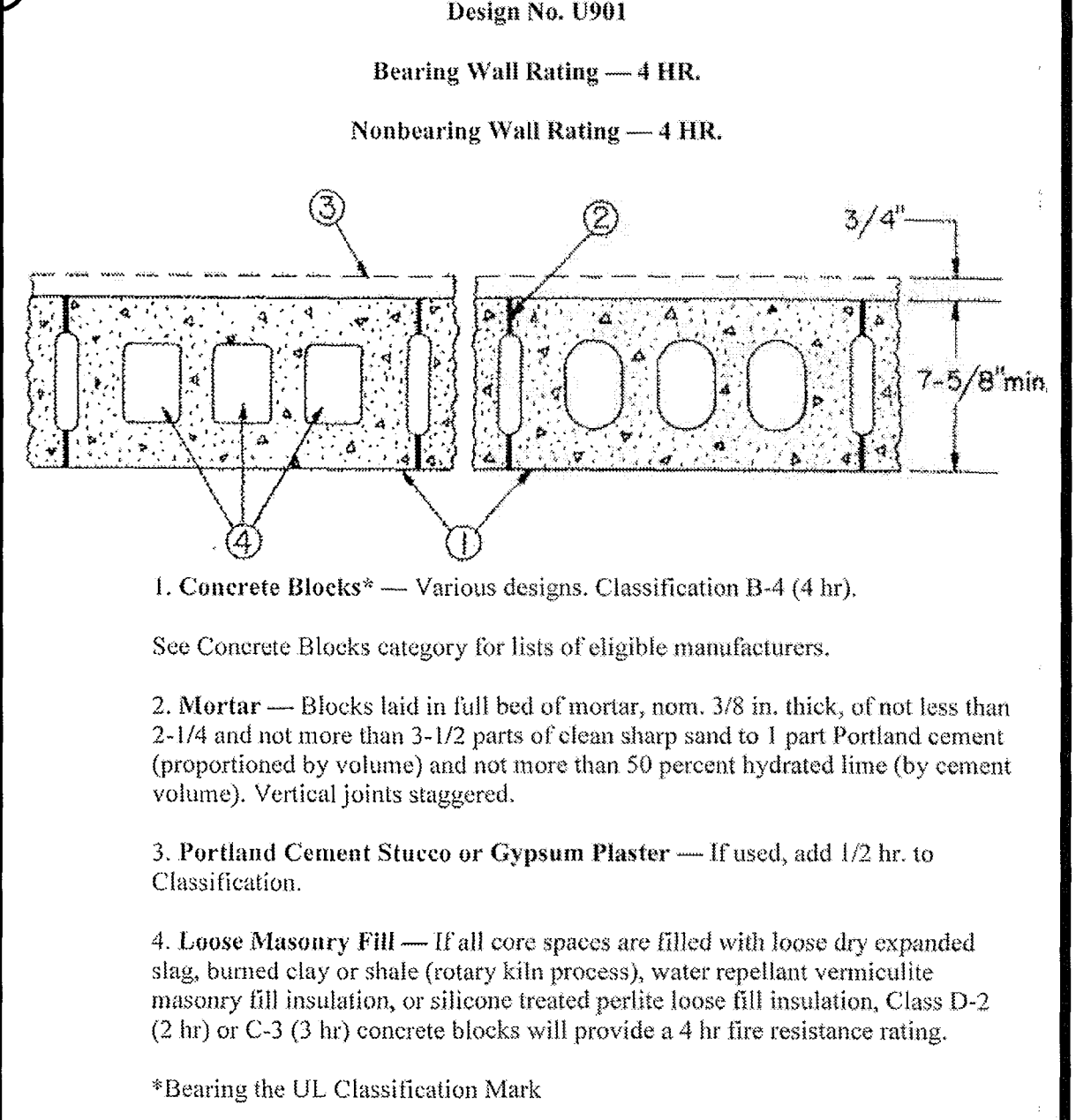
Existing Column at Service Area

03



Existing Columns at Dining Area

02



City of Miami Beach
Fire Prevention Division
PLANS APPROVED

01

PROFESSIONAL SEAL

05-11-13

RON FAIRCHILD
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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

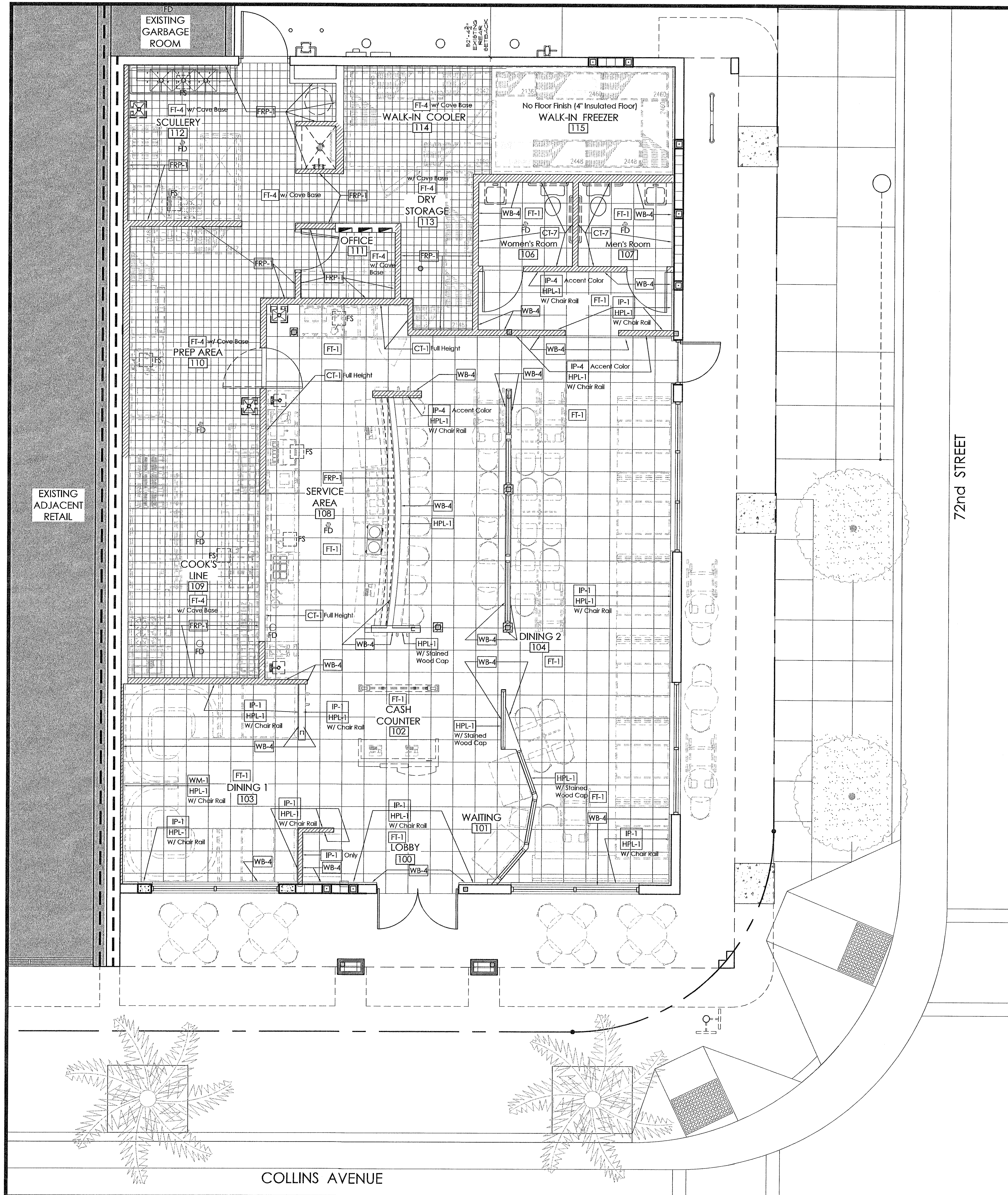
PERMIT REVISION
04/12/2013

Partition Details

SHEET

A-5.3

PROJECT: 1200B
DATE: 01-31-13
A-5.3 PARTITION DETAILS (DENNY'S)



FINISH CLASSIFICATIONS

ALL INTERIOR FINISHES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE FLORIDA BUILDING CODE. THE GENERAL CONTRACTOR SHALL VERIFY THAT EACH FINISH MEETS OR EXCEEDS THESE REQUIREMENTS, PRIOR TO ORDERING, OR INSTALLATION.

AS PER THE FLORIDA FIRE PREVENTION CODE (NFPA 101) SEC. 12.3.3, AND FBC TABLE 803.5, THE MINIMUM INTERIOR FINISH CLASSIFICATIONS SHALL BE AS FOLLOWS:

EXIT PASSAGEWAYS: CLASS 'A'
EXIT ACCESS: CLASS 'A' OR 'B'
ROOMS AND ENCLOSED SPACES: CLASS 'A', 'B', OR 'C'
SEE FINISH PLAN AND INTERIOR ELEVATIONS FOR FINISH TYPES

ALL INTERIOR FINISHES SHALL COMPLY WITH FLORIDA BUILDING CODE 2010 ED. CHAPTER 8 SECTION 803.1, TABLE 803.5 AND CLASSIFIED IN ACCORDANCE TO ASTM 84. FINISH TYPES SHALL BE AS FOLLOWS:

CLASS 'A' FLAME SPREAD 0-25
CLASS 'B' FLAME SPREAD 26-75
CLASS 'C' FLAME SPREAD 76-200

CHANGES IN LEVEL AT DOOR THRESHOLDS, OR AT TRANSITIONS BETWEEN FLOORING MATERIALS SHALL BE NO GREATER THAN 1/4 INCH WITH A BEVELED EDGE (WITH A SLOPE NO GREATER THAN 1:2). CHANGES IN LEVEL UP TO 1/4 INCH MAY BE VERTICAL.

NON-ABSORBANT FINISHES

SCHEDULE, 9H PLAN, AND THE FINISH
BATHROOM WALLS, AND FLOORS, SHALL HAVE SMOOTH, HARD, NON-ABSORBANT FINISHES.

Binder with Finish Specifications at C.O.
A BINDER WITH ALL MATERIAL CUT SHEETS AND A SAMPLE OF ANY APPLICABLE MATERIAL WILL BE HANDED TO THE FIRE PROTECTION ANALYST FOR FINAL APPROVAL IN THE FIELD PRIOR TO C.O.

INTERIOR FINISHES and FIXTURES

PAINT		
MARK	ITEM	DESCRIPTION
IP-1	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: IVORY 80621 FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 829-5125 LOCATION: MAIN WALLS - SEE INTERIOR ELEVATIONS
IP-4	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: ROCKWOOD ABERN 802811 FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 829-5125 LOCATION: ACCENT WALLS - SEE INTERIOR ELEVATIONS
IP-5	INTERIOR PAINT	MFR: PROCOAT COLOR: MATCH SHERWIN WILLIAMS SMOXY TOPAZ 806111 FINISH: FLAT CONTACT: PROCOAT PRODUCTS (781) 761-2210 LOCATION: CORNER WALLS AND CEILING - SEE INTERIOR ELEVATIONS
WOOD STAIN		
MARK	ITEM	DESCRIPTION
WS-1	INTERIOR WOOD STAIN	MFR: MINWAX COLOR: MATCH WILSONART MONTICELLO MAPLE FINISH: INTERIOR STAIN, 250 VOC COMPLIANT W/ ALKYD VARNISH CONTACT: MILLWORK - SEE INTERIOR ELEVATIONS
CERAMIC TILE		
MARK	ITEM	DESCRIPTION
CT-1	INTERIOR WALL TILE	MFR: DAL TILE PRODUCT: COLOR BODY PORCELAIN COLOR: B303 SIZE: 8" X 18" GROUT: G-1 CONTACT: DAL TILE, JONATHAN STUDIOCO (1024) 515-6310 LOCATION: SERVICE AREA - SEE INTERIOR ELEVATIONS
CT-7	INTERIOR WALL TILE	MFR: DAL TILE PRODUCT: COLOR BODY PORCELAIN COLOR: B303 SIZE: 6" X 12" GROUT: G-1 CONTACT: DAL TILE, JONATHAN STUDIOCO (1024) 515-6310 LOCATION: BATHROOM WALL, WAITING
FT-1	INTERIOR FLOOR TILE	MFR: DAL TILE PRODUCT: COLOR BODY PORCELAIN TILE STYLE: TERRA ANTICA SIZE: 18" X 18" COLOR: TAO1 ORO GROUT: G-1 CONTACT: DAL TILE, JONATHAN STUDIOCO (1024) 515-6310 LOCATION: LOBBY, DINING AREA, SERVICE AREA
FT-4	INTERIOR FLOOR TILE	MFR: TO BE SELECTED PRODUCT: QUARRY TILE WITH COVE TILE BASE SIZE: 8" X 8" COLOR: TO BE SELECTED GROUT: TO BE SELECTED NOTE: BACK COOK LINE, FOOD PREP DRY STORAGE, & OFFICE PROVIDE MATCHING COVE TILE BASE
G-1	FLOOR TILE GROUT	MFR: CUSTOM BUILDING PRODUCTS PRODUCT: POLYBOND RANGED GROUT COLOR: M3 SABLE BROWN NOTE: USE WITH FT-1 AND FT-2
G-2	WALL TILE GROUT	MFR: HYDROMENT PRODUCT: UNBLENDED GROUT COLOR: BEYON H30 NOTE: USE WITH CT-1 THRU CT-6
HIGH PRESSURE LAMINATE		
MARK	ITEM	DESCRIPTION
HPL-1	LAMINATE	MFR: WILSONART PATTERN: KENNINGTON MAPLE 10716HW CONTACT: WILSONART, DAN CHICKVARRA (710) 335-3982 LOCATION: LOW WALLS, CASH AREA, SERVICE DOOR
HPL-2	LAMINATE	MFR: PIONITE PATTERN: SHAKER CHERRY WCB1 SWED 4W CONTACT: CLEVELAND FLYWOOD, INC. JUDY SHANER (216) 539-5911 NOTE: USE WITH T-2
HPL-3	LAMINATE	MFR: WILSONART PATTERN: TUNGSTEN EV4814-6P HW CONTACT: WILSONART, DAN CHICKVARRA (710) 335-3982 LOCATION: BAR COUNTERTOP NOTE: USE WITH T-1
WINDOW TREATMENTS		
MARK	ITEM	DESCRIPTION
WT-1	VINYL WEAVE ROLLER SHADE	MFR: WINDOW INTERIORS OR H&S RESOURCES PRODUCT: VINYL WEAVE ROLLER SHADES - PHIPER 9SHEARLEAVE COLOR: 4400 CONTACT: DARCY DANIELS (820) 654-9818 JOE GIOVANI (330) 294-2434
WALL BASE		
MARK	ITEM	DESCRIPTION
WB-4	CERAMIC TILE COVE BASE	MFR: DAL TILE PRODUCT: COLOR BODY PORCELAIN TILE COVE BASE STYLE: TERRA ANTICA 8-36CST SIZE: 8" X 12" COLOR: TAO1 ORO GROUT: G-1 CONTACT: DAL TILE, JONATHAN STUDIOCO (1024) 515-6310 LOCATION: LOBBY, DINING AREA, SERVICE AREA, RESTROOMS NOTE: PROVIDE OUTSIDE COVE CORNERS, SHAPE SC-36CST
WALL MURAL (Wall Paper)		
MARK	ITEM	DESCRIPTION
WM-1	HERITAGE GRAPHICS WALL MURAL	MFR: CHRISTOPHER'S PRODUCT: HERITAGE GRAPHICS MURAL NUMBER: #3 201 LOCATION: SOUTH WALL AT DINING AREA 01, BEHIND CURVED BOOTH
FRP (Fiberglass Reinforced Panels)		
MARK	ITEM	DESCRIPTION
FRP-1	FIBERGLASS REINFORCED PANELS	MFR: TO BE SELECTED PRODUCT: FIBERGLASS REINFORCED PANELS (FRP) COLOR: TO BE SELECTED LOCATION: BACK WALL OF SEATING COUNTER, COOK LINE, FOOD PREP AREA, OFFICE, DRY STORAGE, AND SCULLERY

City of Miami Beach
Fire Prevention Division
PLANS APPROVED



PROFESSIONAL SEAL

03.20.2013
RON FAIRCHILD
AR0016263

Ron Fairchild
ARCHITECT

PHONE: 954-547-4682
FAX: 954-776-4793
EMAIL: FAIRCHILDARCH@GMAIL.COM
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WRITTEN CONSENT FROM THE ARCHITECT.

Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

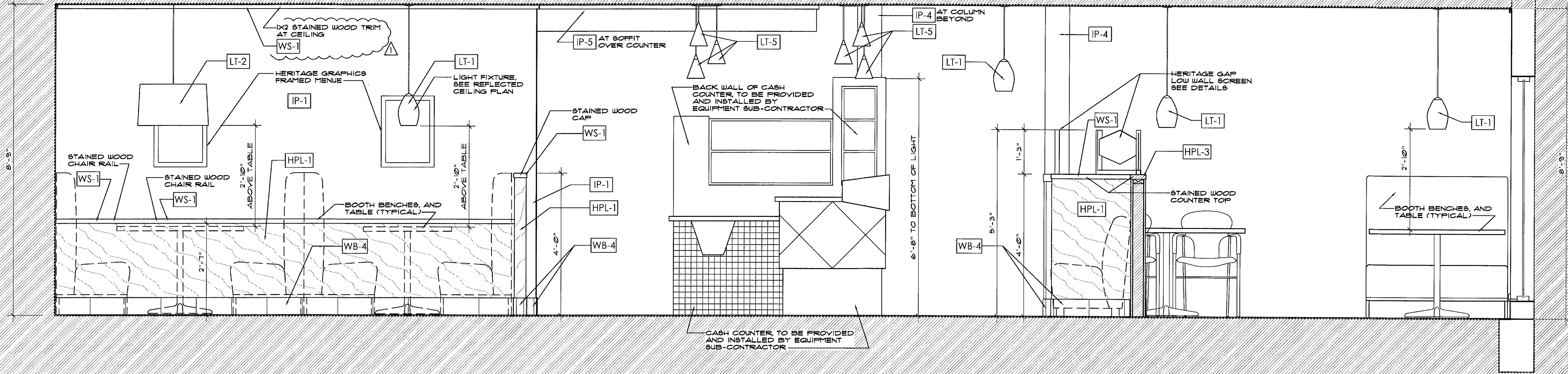
DRAWING REVISION DATES:
PERMIT REVISION
03/14/2013

Finish Plan

SHEET

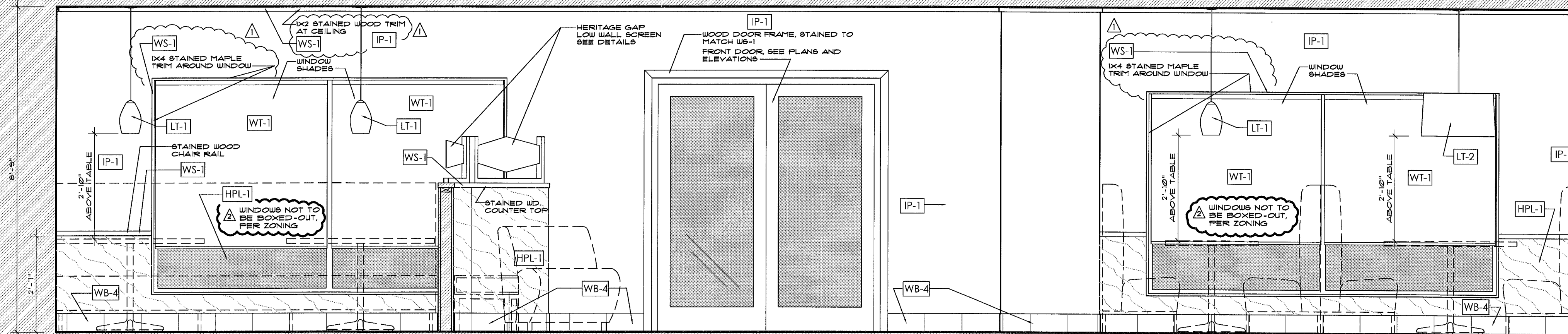
A-6.1

PROJECT: 12008
DATE: 01-31-13
A-6.1 FINISH PLAN (DENNY'S AT COLLINS AVE)



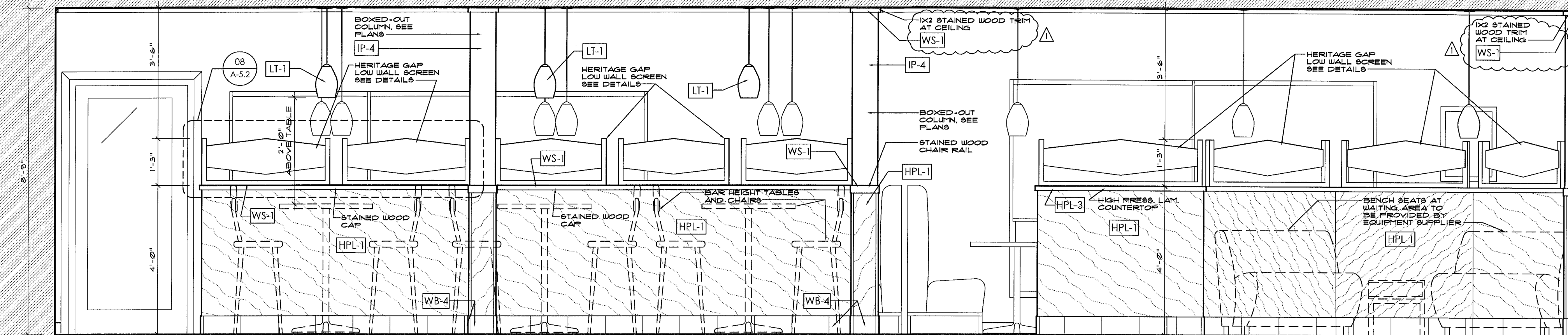
Interior Elevation of Waiting Area and Dining Area 1

SCALE: $\frac{1}{8}" = 1'-0"$ 01



Interior Elevation of Entry and Dining Areas 1 and 2

SCALE: $\frac{1}{8}" = 1'-0"$ 02

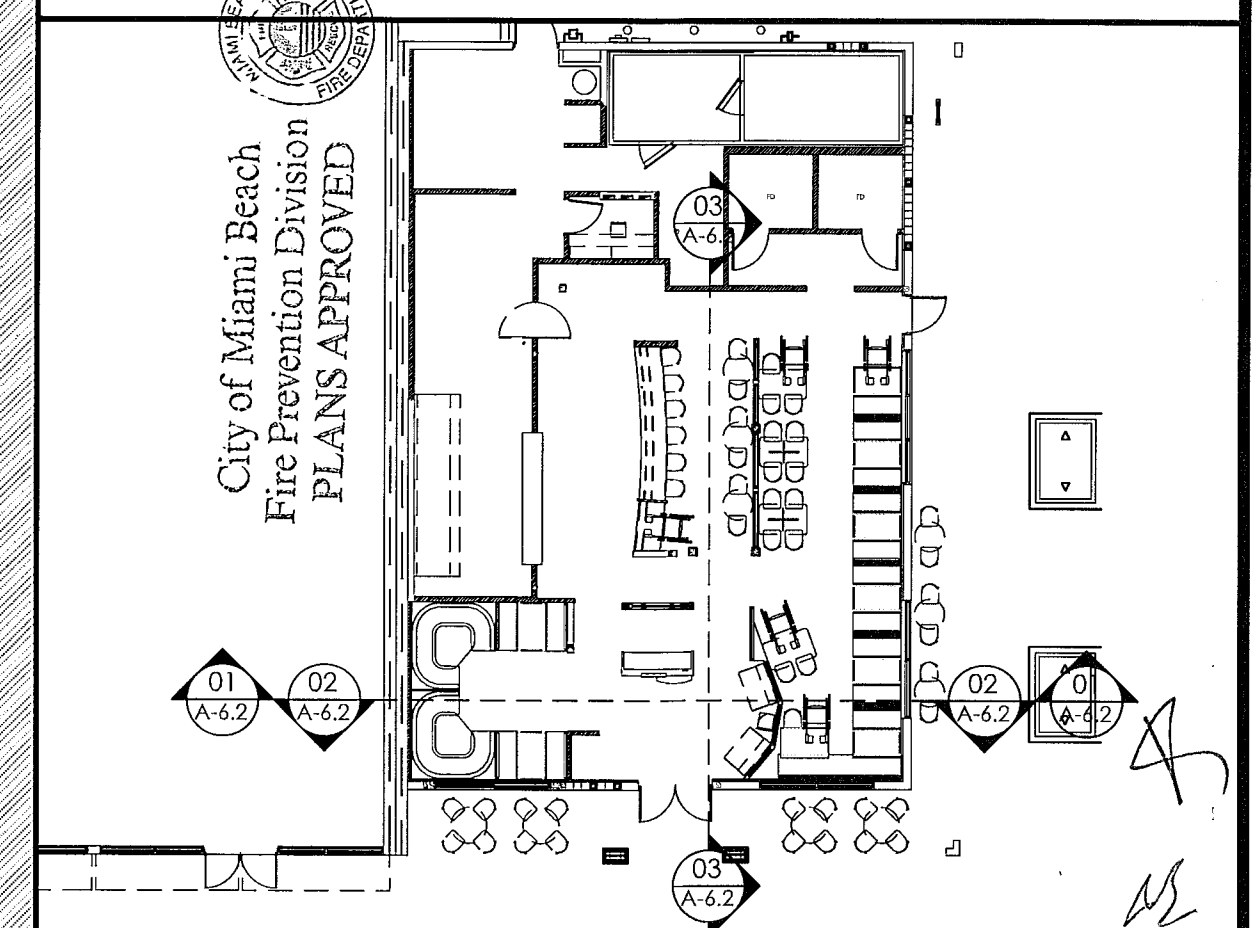


Interior Elevation of Waiting Area and Dining Area 2

SCALE: $\frac{1}{8}" = 1'-0"$ 03

PAINT		
MARK	ITEM	DESCRIPTION
IP-1	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: IVORY 80621 FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 823-8185 LOCATION: MAIN WALLS - SEE INTERIOR ELEVATIONS
IP-4	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: PROCOAT ANTI-ABR 80621 FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 823-8185 LOCATION: ACCENT WALLS - SEE INTERIOR ELEVATIONS
IP-5	INTERIOR PAINT	MFR: PROCOAT COLOR: MATCH SHERWIN WILLIAMS 80621 FINISH: FLAT CONTACT: PROCOAT PRODUCTS (781) 767-2210 LOCATION: COFFER WALLS AND CEILING - SEE INTERIOR ELEVATIONS
WOOD STAIN		
MARK	ITEM	DESCRIPTION
WS-1	INTERIOR WOOD STAIN	MFR: MINWAX COLOR: MATCH WILSONART MONTICELLO MAPLE FINISH: INTERIOR STAIN, 250 VOC COMPLIANT W/ ALKYD VARNISH CONTACT: MILLWORK - SEE INTERIOR ELEVATIONS
CERAMIC TILE		
MARK	ITEM	DESCRIPTION
CT-1	INTERIOR WALL TILE	MFR: DAL TILE PRODUCT: DAL TILE COLOR BODY PORCELAIN BISQUIT 3382 COLOR: 5-1 SIZE: 6" X 12" GROUT: DAL TILE, JONATHAN STUDIO 80 (704) 515-6310 CONTACT: SERVICE AREA - SEE INTERIOR ELEVATIONS
CT-7	INTERIOR WALL TILE	MFR: DAL TILE PRODUCT: DAL TILE COLOR BODY PORCELAIN BISQUIT 3382 COLOR: 5-1 SIZE: 6" X 12" GROUT: DAL TILE, JONATHAN STUDIO 80 (704) 515-6310 CONTACT: BATHROOM WALL WAINSCOT
FT-1	INTERIOR FLOOR TILE	MFR: DAL TILE PRODUCT: DAL TILE COLOR BODY PORCELAIN TILE STYLE: TERRA ANTICA SIZE: 18" X 18" GROUT: DAL TILE, JONATHAN STUDIO 80 (704) 515-6310 CONTACT: LOBBY, DINING AREA, SERVICE AREA
FT-4	INTERIOR FLOOR TILE	MFR: TO BE SELECTED PRODUCT: QUARRY TILE WITH ABRASIVE FINISH, AND COVE BASE COLOR: 8" X 8" SIZE: TO BE SELECTED GROUT: RAVEN (DARK GREY) CONTACT: BACK COOK LINE, FOOD PREP, DRY STORAGE, & OFFICE NOTE: PROVIDE MATCHING COVE TILE BASE
G-1	FLOOR TILE GROUT	MFR: CUSTOM BUILDING PRODUCTS PRODUCT: POLYBLEND Banded Grout COLOR: 75 BADE BROWN NOTE: USE WITH FT-1 AND FT-2
G-2	WALL TILE GROUT	MFR: HYDROMENT PRODUCT: UNBANDIED GROUT COLOR: BEDONIA HIND NOTE: USE WITH CT-1 THRU CT-6
HIGH PRESSURE LAMINATE		
MARK	ITEM	DESCRIPTION
HPL-1	LAMINATE	MFR: WILSONART PATTERN: KENNINGTON MAPLE 10716 HW CONTACT: WILSONART, DAN CHICKVARRA (710) 335-3382 LOCATION: LOW WALLS, CASH AREA, SERVICE DOOR
HPL-2	LAMINATE	MFR: PIONTE PATTERN: SHAKER CHERRY WCB31 SWIDE HW CONTACT: CLEVELAND FLYWOOD, INC, JUDY SHANER (716) 538-5911 NOTE: USE WITH T-2
HPL-3	LAMINATE	MFR: WILSONART PATTERN: TUNGSTEN EV4814-60 HW CONTACT: WILSONART, DAN CHICKVARRA (710) 335-3382 NOTE: BARK COUNTERTOP USE WITH T-1
WINDOW TREATMENTS		
MARK	ITEM	DESCRIPTION
WT-1	VINYL WEAVE ROLLER SHADE	MFR: WINDOW INTERIORS OR MAS RESOURCES PRODUCT: VINYL WEAVE ROLLER SHADES - FINER SHEARWEAVE 4400 COLOR: REEB, ESTONE, Q2 CONTACT: DARCY DANIELS (800) 654-3818 daniels@windowinteriors.com JOE GIOVANNI (330) 254-2434
WALL BASE		
MARK	ITEM	DESCRIPTION
WB-4	CERAMIC TILE COVE BASE	MFR: DAL TILE PRODUCT: DAL TILE COLOR BODY PORCELAIN TILE COVE BASE STYLE: TERRA ANTICA 8-36CST SIZE: 6" X 12" COLOR: 5-1 GROUT: DAL TILE, JONATHAN STUDIO 80 (704) 515-6310 CONTACT: LOBBY, DINING AREA, SERVICE AREA, RESTROOMS NOTE: PROVIDE OUTSIDE COVE CORNERS, SHAPE SC-36CST
WALL MURAL (Wall Paper)		
MARK	ITEM	DESCRIPTION
WM-1	HERITAGE GRAPHICS WALL MURAL	MFR: CHRISTOPHER'S PRODUCT: HERITAGE GRAPHICS MURAL NUMBER: HQ 201 LOCATION: SOUTH WALL AT DINING AREA 2, BEHIND CURVED BOOTHS
FRP (Fiberglass Reinforced Panels)		
MARK	ITEM	DESCRIPTION
FRP-1	FIBER-GLASS REINFORCED PANELS	MFR: CRANE (OR MARLITE) PRODUCT: FIBERGLASS REINFORCED PANELS (FRP) COLOR: WHITE LOCATION: BACK WALL OF SEATING COUNTER, COOK LINE, FOOD PREP AREA, OFFICE, DRY STORAGE, AND SCULLERY

Interior Finish Schedule



Key Plan

PROFESSIONAL SEAL

05.14.13

RON FAIRCHILD
AR0018263

Ron Fairchild
ARCHITECT

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Renovation for:
Denny's at Collins Avenue
7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

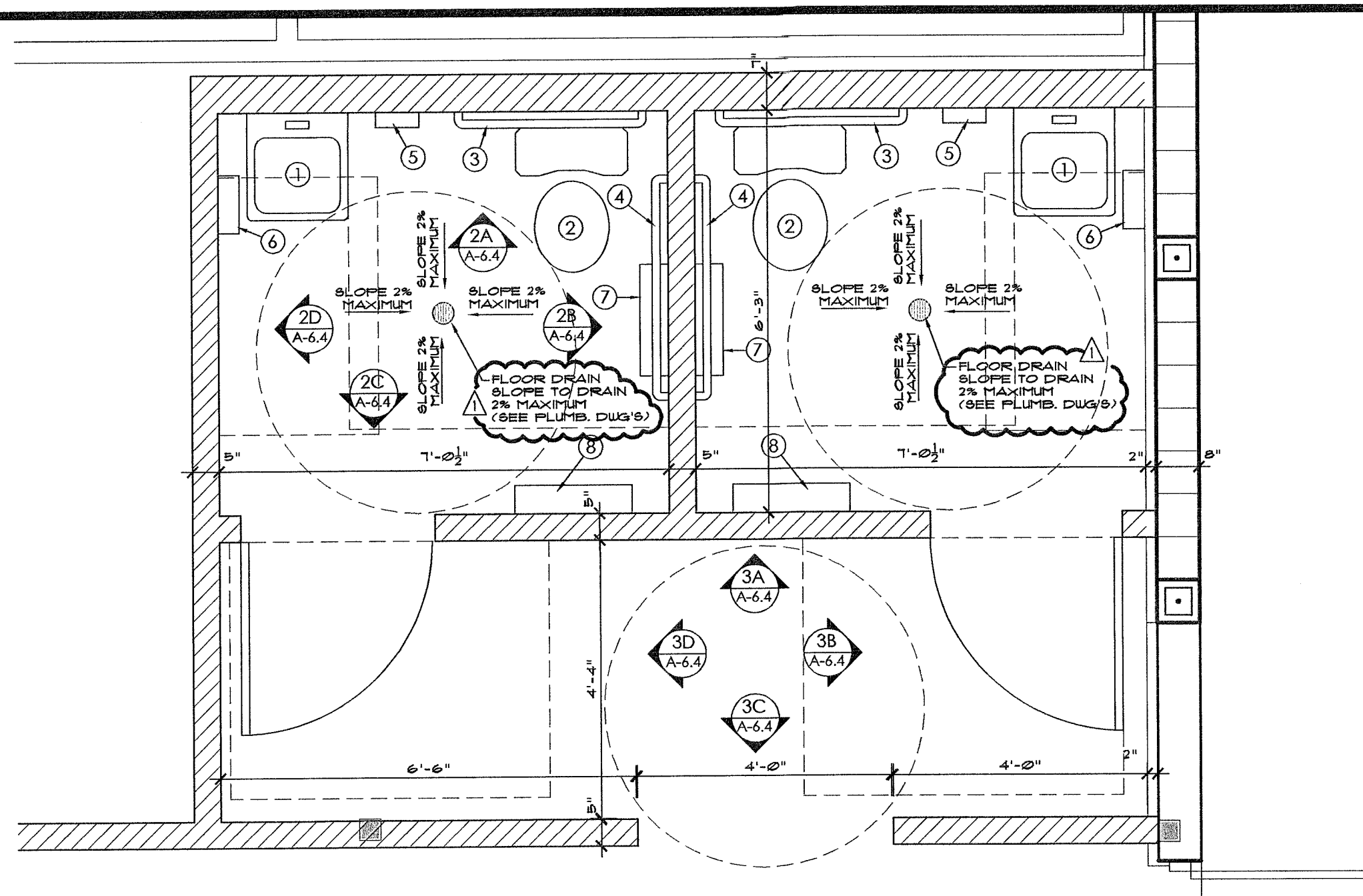
DRAWING REVISION DATES:
DENNY'S REVISIONS
03/25/2013
PERMIT REVISIONS
04/11/2013

INTERIOR
ELEVATIONS of
DINING AREA

SHEET

A-6.2

PROJECT: 12008
DATE: 01-31-13
A-6.2 (INT. ELEV. DINING AREA) (DENNY'S)



- ### RESTROOM EQUIPMENT KEYNOTES:
- ① HANDICAP ACCESSIBLE WALL MOUNTED LAVATORY
(SEE PLUMBING DRAWINGS)
 - ② HANDICAP ACCESSIBLE FLOOR MOUNTED TOILET
(SEE PLUMBING DRAWINGS)
 - ③ HANDICAP GRAB BAR - REAR WALL BEHIND WATER CLOSET
36" LONG (SEE BATHROOM ELEVATIONS)
 - ④ HANDICAP GRAB BAR - SIDE WALL ALONGSIDE WATER
CLOSET. 42" LONG (SEE BATHROOM ELEVATIONS)
 - ⑤ WALL MOUNTED SOAP DISPENSER - BOBRICK B-212
(OR APPROVED EQUIVALENT)
 - ⑥ WALL MOUNTED PAPER TOWEL DISPENSER - BOBRICK B-262
(OR APPROVED EQUIVALENT)
 - ⑦ WALL MOUNTED TOILET BRUSH DISPENSER - BOBRICK B-2892
(OR APPROVED EQUIVALENT)
 - ⑧ WALL MOUNTED DIAPER CHANGING STATION
BOBRICK KB-101-00 (OR APPROVED EQUIVALENT)

PAINI		
MARK	ITEM	DESCRIPTION
IP-1	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: VOICE 8062T FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 829-8185 LOCATION: MAIN WALLS - SEE INTERIOR ELEVATIONS
IP-4	INTERIOR PAINT	MFR: SHERWIN WILLIAMS COLOR: ROCKWOOD AMBER 8081T FINISH: KNOCK-DOWN FINISH, DURATION ACRYLIC, SEMI-GLOSS CONTACT: SHERWIN WILLIAMS, JASON DICKSON (864) 829-8185 LOCATION: ACCENT WALLS - SEE INTERIOR ELEVATIONS
IP-5	INTERIOR PAINT	MFR: PROCOAT MATCH: SHERWIN WILLIAMS SMOKY TOPAZ 8061T FINISH: FLAT CONTACT: PROCOAT PRODUCTS (181) 151-2219 LOCATION: GYM WALLS AND CEILING - SEE INTERIOR ELEVATIONS

WOOD STAIN		
MARK	ITEM	DESCRIPTION
WS-1	INTERIOR WOOD STAIN	MFR: MINWAX COLOR: MATCH WILSONART MONTICELLO MAPLE FINISH: INTERIOR STAIN, 250 VOC COMPLIANT W/ ALKYD VARNISH CONTACT: MILLWORK - SEE INTERIOR ELEVATIONS LOCATION:

CERAMIC TILE		
MARK	ITEM	DESCRIPTION
CT-1	INTERIOR WALL TILE	MFR: DALTILE PRODUCT: COLOR BODY PORCELAIN COLOR: BISQUIT 9323 SIZE: 6" X 12" GROUT: G-1 CONTACT: DALTILE, JONATHAN STUDIO80 (704) 515-6310 LOCATION: SERVICE AREA - SEE INTERIOR ELEVATIONS

CT-7	INTERIOR	MFR:	DALTILE
	WALL	PRODUCT:	COLOR BODY PORCELAIN
	TILE	COLOR:	
		SIZE:	6" X 12"
		GROUT:	
	CONTACT:	DALTILE, JONATHAN STUDIO80 (704) 515-6310	
	LOCATION:	BATHROOM WALL WAINSCOT	

F-1	INTERIOR	MFR:	DALTILE
	FLOOR	PRODUCT:	COLORBODY PORCELAIN TILE
	TILE	STYLE:	TERRA ANTICA
		SIZE:	18" X 18"
		COLOR	TA20 ORO
		GROUT:	G-1
		CONTACT:	DALTILE, JONATHAN STUDIO80 (724) 515-6310
		LOCATION:	LOBBY, DINING AREA, SERVICE AREA

FT-4	INTERIOR FLOOR TILE	MFR: PRODUCT: STYLE: SIZE: COLOR: GROUT: CONTACT: LOCATION: NOTE:	TO BE SELECTED QUARRY TILE WITH COVE TILE BASE 8" X 8" TO BE SELECTED TO BE SELECTED BACK COOK LINE, FOOD PREP, DRY STORAGE, 4 OFFICE PROVIDE MATCHING COVE TILE BASE
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G-1	FLOOR TILE GROUT	MFR. PRODUCT: COLOR: NOTE:	CUSTOM BUILDING PRODUCTS POLYBLEND SANDED GROUT #95 SABLE BROWN USE WITH FT-1 AND FT-2
G-2	WALL TILE GROUT	MFR. PRODUCT: COLOR: NOTE:	HYDROMENT UNSANDED GROUT SEDONA H100 USE WITH CT-1 THRU CT-6

HIGH PRESSURE LAMINATE		
MARK	ITEM	DESCRIPTION
HPL-1	LAMINATE PFR: PATTERN: CONTACT: LOCATION:	WILBOHART KENSINGTON MAPLE 12T16H HW WILBOHART, DAN CHICKVARYA (716) 338-3982 LOW WALLS, CASH AREA, SERVICE DOOR
HPL-2	LAMINATE PFR: PATTERN: CONTACT: LOCATION: NOTE:	PIONITE SHAKER CHERRY WCB21 SUEDE HW CHAKELAND PLYWOOD, INC. JUDY SHANER (216) 538-5917 USE WITH T-2
HPL-3	LAMINATE PFR: PATTERN: CONTACT: LOCATION: NOTE:	WILBOHART TUNBORG BV48H-60 HW WILBOHART, DAN CHICKVARYA (716) 338-3982 BANK COUNTERTOP USE WITH T-1

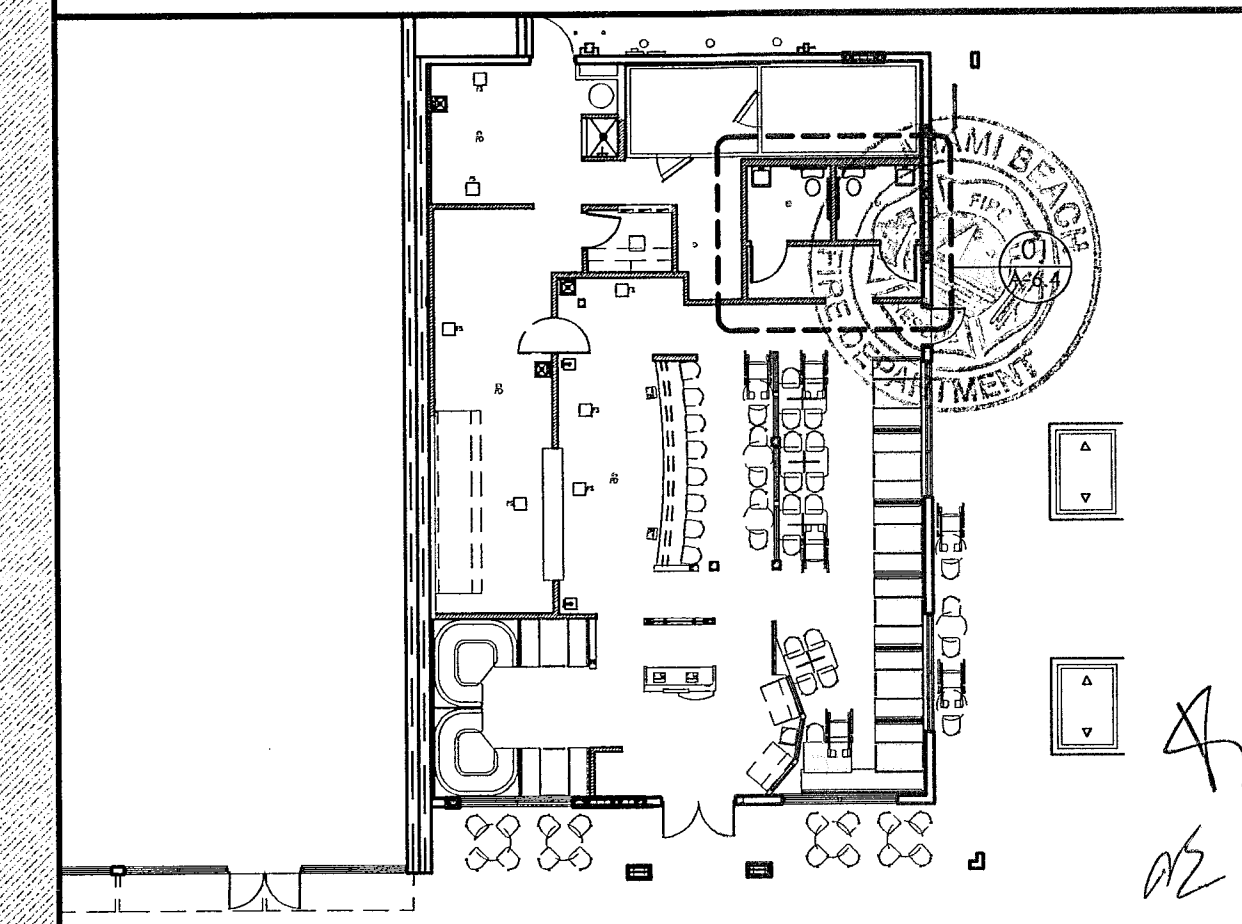
WINDOW TREATMENTS			
MARK	ITEM	DESCRIPTION	
WT-1	VINYL WEAVE ROLLER SHADE	MFR. PRODUCT:	WINDOW INTERIORS OR MAG RESOURCES
		COLOR:	VINYL WEAVE ROLLER SHADES - PHIFER SHEARWEAVE 4420
		CONTACT:	TEBESBLOTE, Q12
			DARCY DANIELS (800) 654-3818
			cdaniel@windcountertreat.com
			JOE GIOVANNI (330) 294-0494

WALL BASE			
MARK	ITEM	DESCRIPTION	
WB-4	CERAMIC TILE 3"X 6"Z BASE	HFBR: PRODUCIT: STYLE: SIZE: COLOR: GROUT: CONTACT: LOCATION: NOTE:	DALTILE COLORBODY PORCELAIN TILE COVE BASE TERRA ANTICA 8-36CST 6"X TAQ1 ORO D-1 DALTILE JONATHAN STUDIO80 (764) 516-6310 LOBBY, DINING AREA, SERVICE AREA, RESTROOMS PROVIDE OUTSIDE COVE CORNERS, SHADE 8C-36CST

WALL MURAL (Wall Paper)			
MARK	ITEM	DESCRIPTION	
WM-1	HERITAGE GRAPHICS WALL MURAL	MFR. PRODUCT: HERITAGE GRAPHICS MURAL #43 001	CHRISTOPHER'S HERITAGE GRAPHICS MURAL #43 001 SOUTH WALL AT DINING AREA 01, BEHIND CURVED BOOTH

FRP (Fiberglass Reinforced Panels)			
MARK	ITEM	DESCRIPTION	
FRP-1	FIBER-GLASS REINFORCED PANELS	MFR. PRODUCT, CORR. RESIST. LOCATION:	TO BE SELECTED FIBERGLASS REINFORCED PANELS (FRP) TO BE SELECTED BACK WALL OF SEATING COUNTER, COOK LINE, FOOD PREP AREA, OFFICE, DRY STORAGE, AND SCULLERY

Interior Finish Schedule



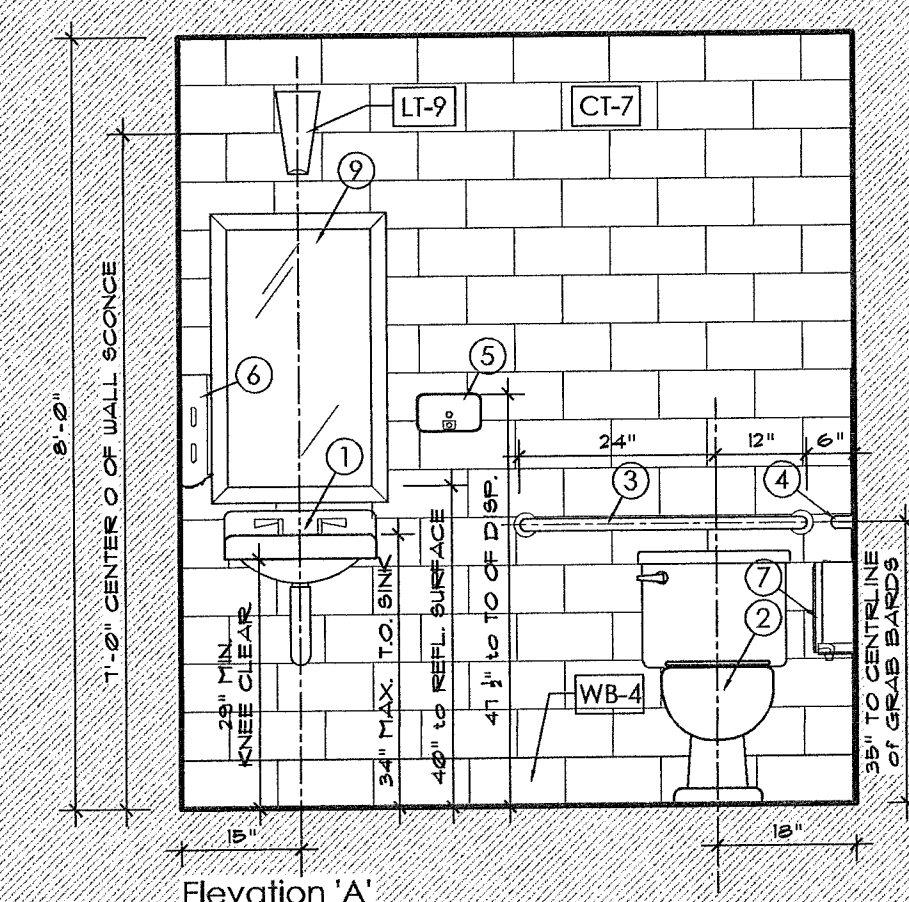
3	Key Plan
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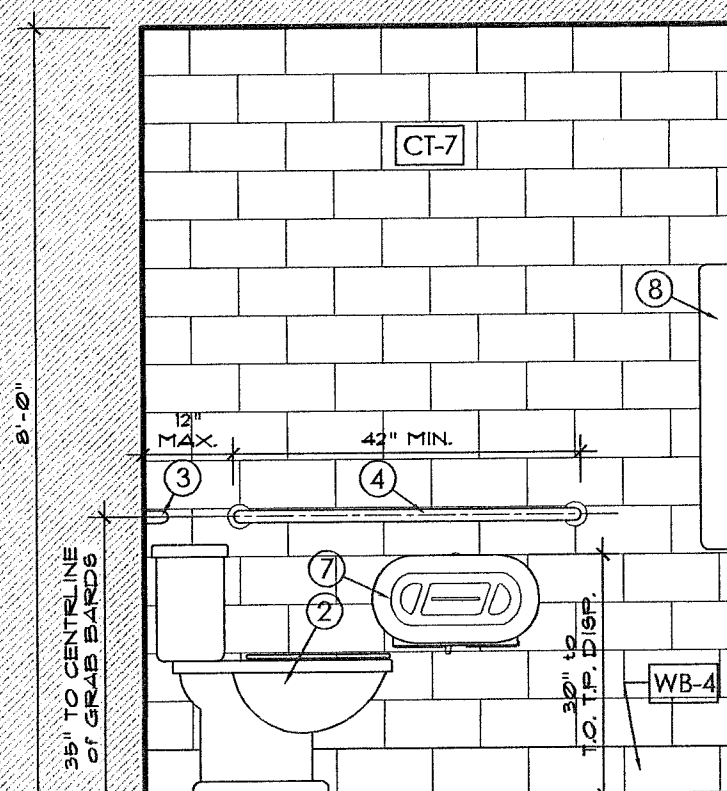
Enlarged Plan of Restrooms

SCALE: $\frac{1}{2}'' = 1'-0''$

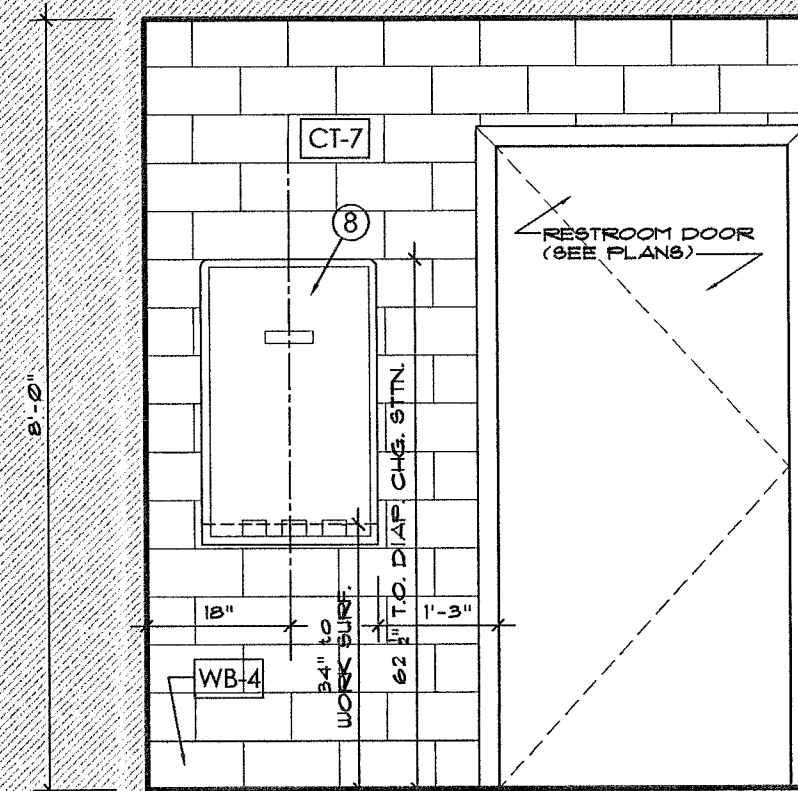
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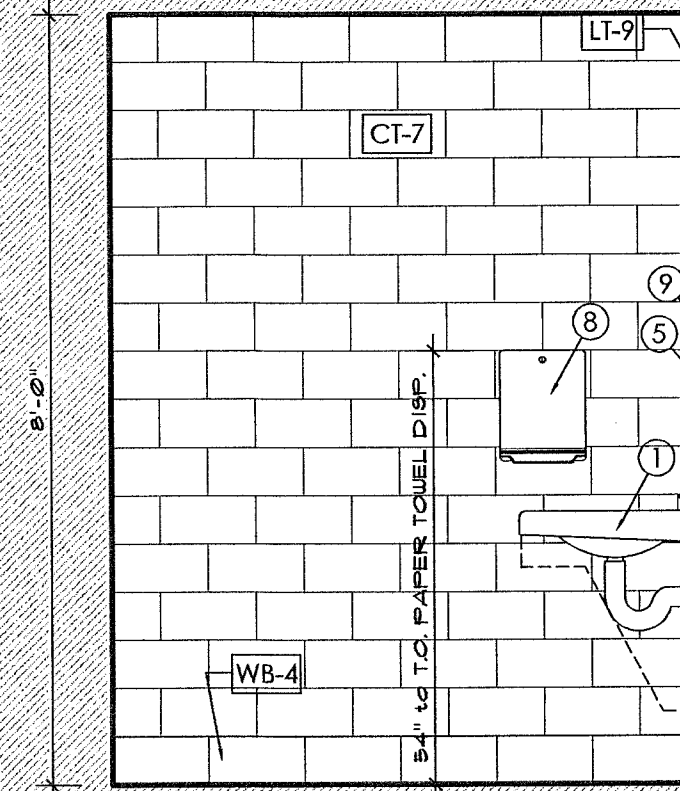
Elevation 'A'



Elevation 'B'



Elevation 'C'

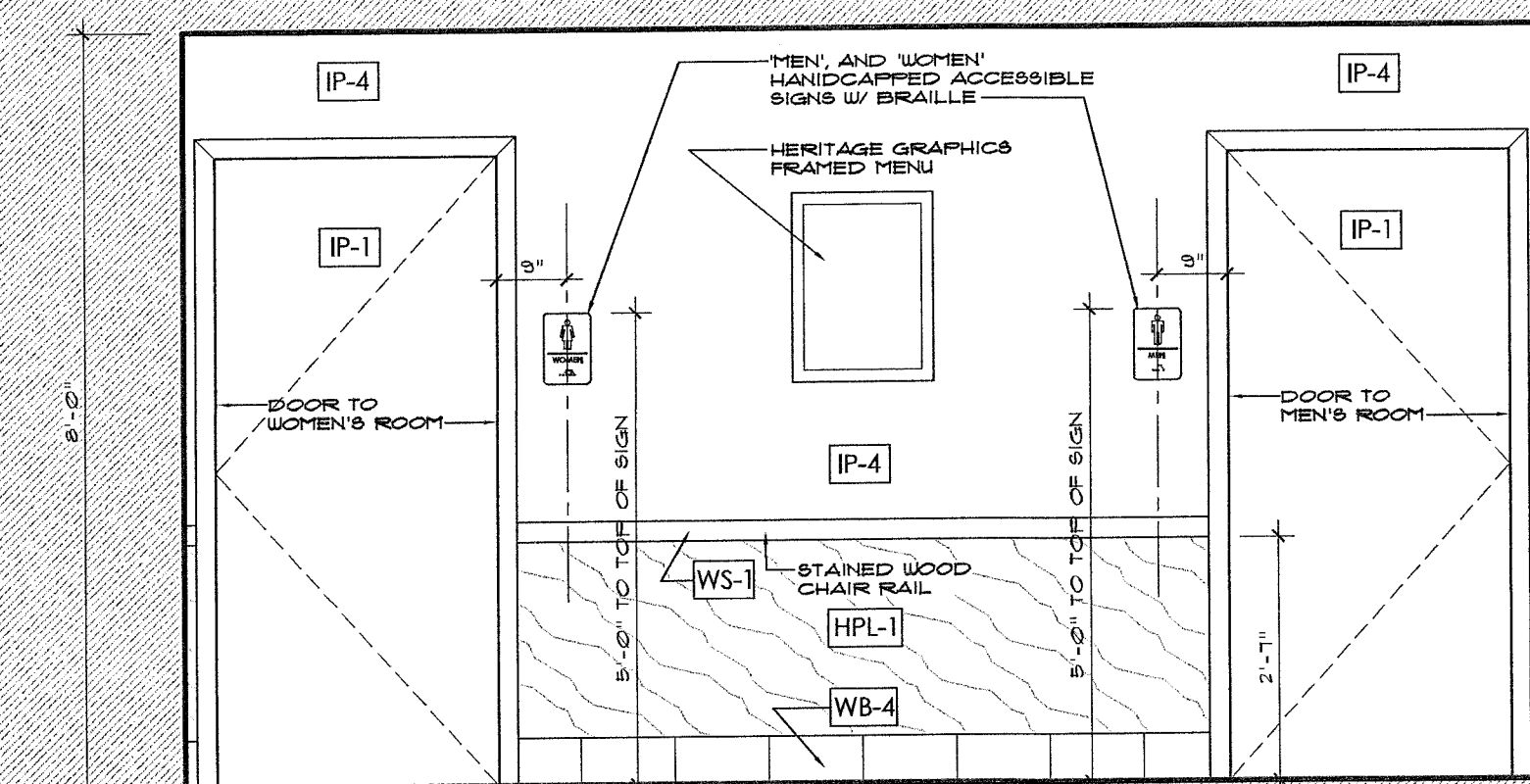


Elevation 'D'

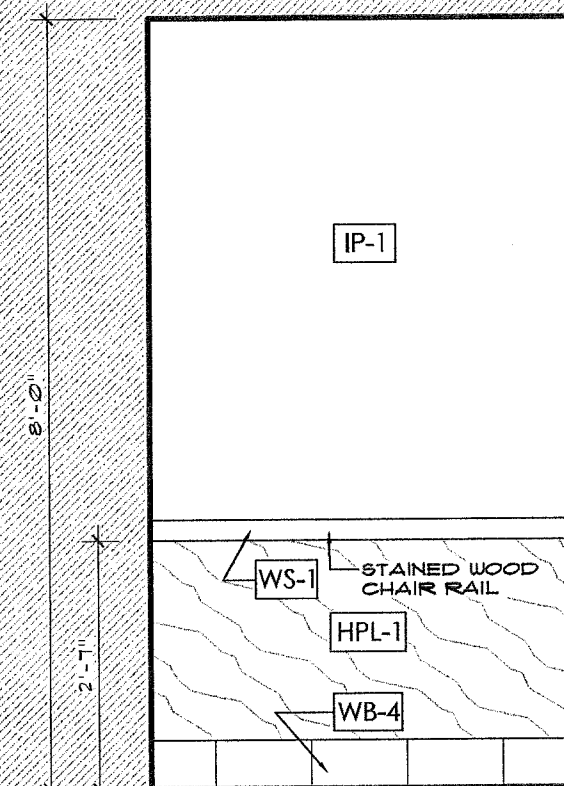
Interior Elevations of Restrooms

SCALE: $\frac{1}{2}'' = 1'-0''$

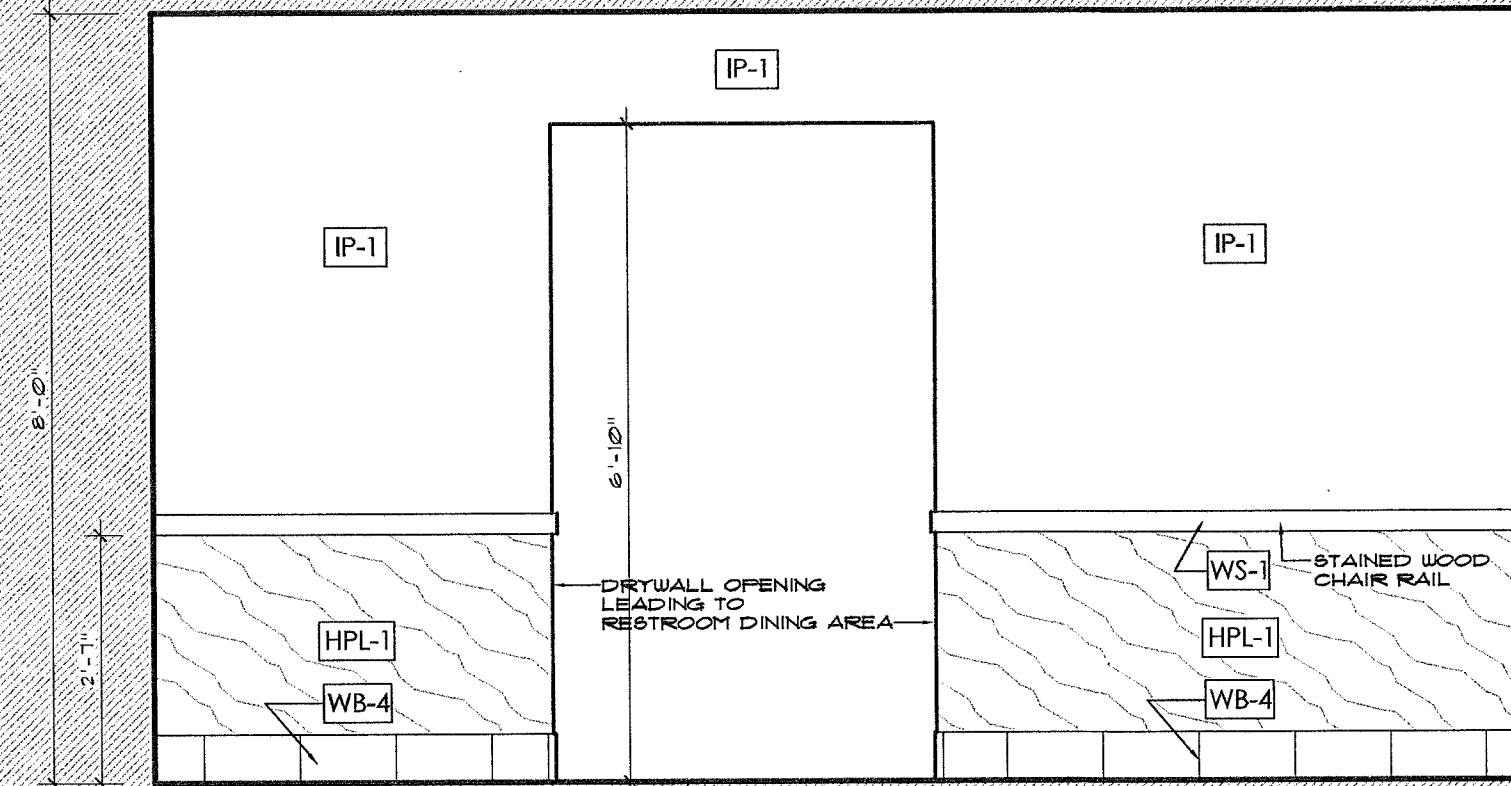
05



Elevation 'A'



Elevation 'B' and 'D'



Elevation 'C'

Interior Elevations of Restroom Vestibule

SCALE: $\frac{1''}{2} = 1'-0''$

0

[illegible]

MARK	ROOM / AREA	ROUGH MASONRY OPENING SIZE	DOOR SIZE	DOOR DESCRIPTION	Required Wind Pressures	PRODUCT APPROVAL [N.G.A.]	Provided Wind Pressures
(ED-01)	LOBBY	16'-2" W. X 7'-2" H. EXISTING MASONRY OPENING	6'-0" W. X 7'-0" H.	IMPACT RESISTANT DOUBLE STOREFRONT DOORS W/ ANNOZIDIZED (SILVER) FINISH. MG500 STOREFRONT DOOR BY MR. GLASS DOORS & WINDOWS, INC. PROVIDE EGRESS HARDWARE TO MEET NFPA REQUIREMENTS.	+42.5 PSF -46.2 PSF	12-0517.23	+80.0 PSF -80.0 PSF
(ED-02)	DINING	3'-4" W. X 7'-2" H. NEW MASONRY OPENING	3'-0" W. X 7'-0" H.	IMPACT RESISTANT STOREFRONT DOOR W/ ANNOZIDIZED (SILVER) FINISH. MG500 STOREFRONT DOOR BY MR. GLASS DOORS & WINDOWS, INC. PROVIDE EGRESS HARDWARE TO MEET NFPA REQUIREMENTS.	+42.5 PSF -46.2 PSF	12-0517.23	+80.0 PSF -80.0 PSF
(ED-03)	SCULLERY	13'-10" W. X 7'-2" H. EXISTING MASONRY OPENING	3'-6" W. X 7'-0" H.	IMPACT RESISTANT HOLLOW METAL DOOR, PAINTED TO MATCH BASE BUILDING COLOR. A85A ABLOY DOOR GROUP, INC, SERIES D18/F16 OUTSWING STEEL DOOR	+42.5 PSF -46.2 PSF	11-0322.01	+100 PSF -100 PSF
(ED-04)	EXISTING GARBAGE ROOM	6'-4" W. X 7'-2" H. EXISTING MASONRY OPENING	6'-0" W. X 7'-0" H.	IMPACT RESISTANT HOLLOW METAL DOUBLE DOORS, PAINTED TO MATCH BASE BUILDING COLOR. A85A ABLOY DOOR GROUP, INC, SERIES D18/F16 OUTSWING STEEL DOORS.	+42.5 PSF -55.4 PSF	11-0322.01	+100 PSF -100 PSF

[illegible]

Window and Door Schedules

THE FOLLOWING WIND LOAD DESIGN CRITERIA WERE USED TO CALCULATE THE REQUIRED WIND PRESSURES FOR THE WINDOWS AND DOORS SPECIFIED IN THESE PLANS:

FBC 2010 (ASCE 7-10)

WIND SPEED 'V' ■ 115 M.P.H.

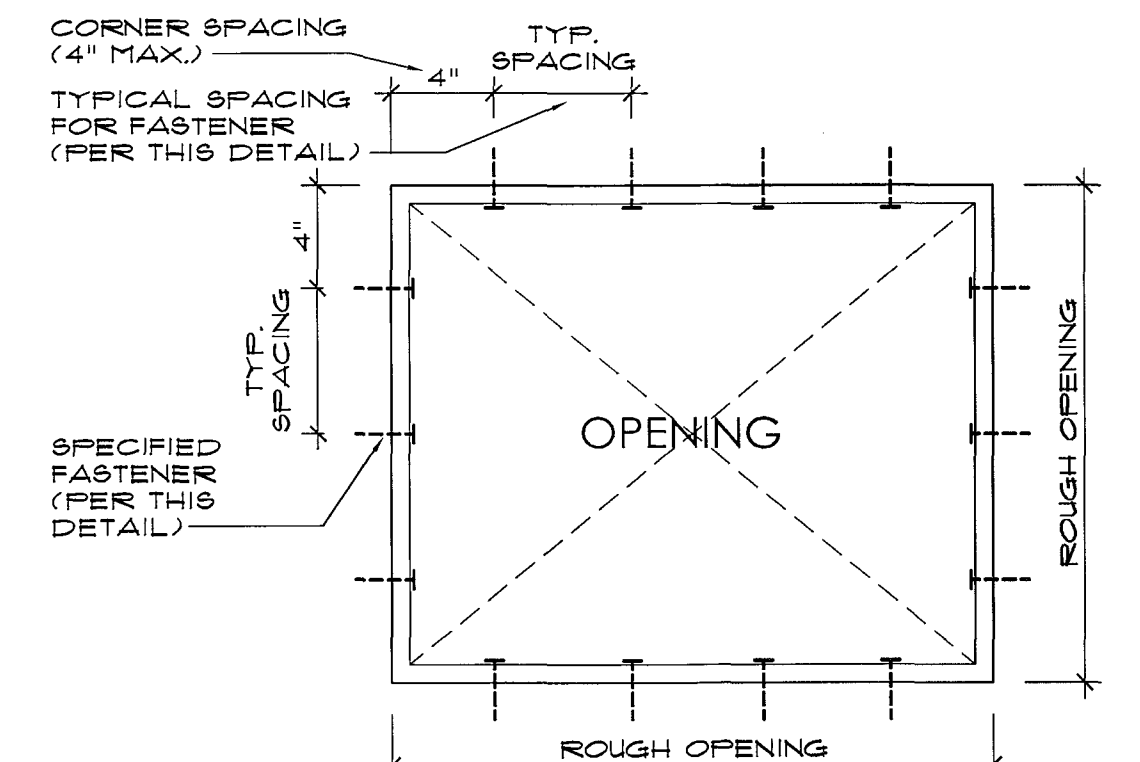
RISK CATEGORY ■ II

EXPOSURE ■ D

GcP1 ■ ±0.18

END ZONE DISTANCE 'a' ■ 430'

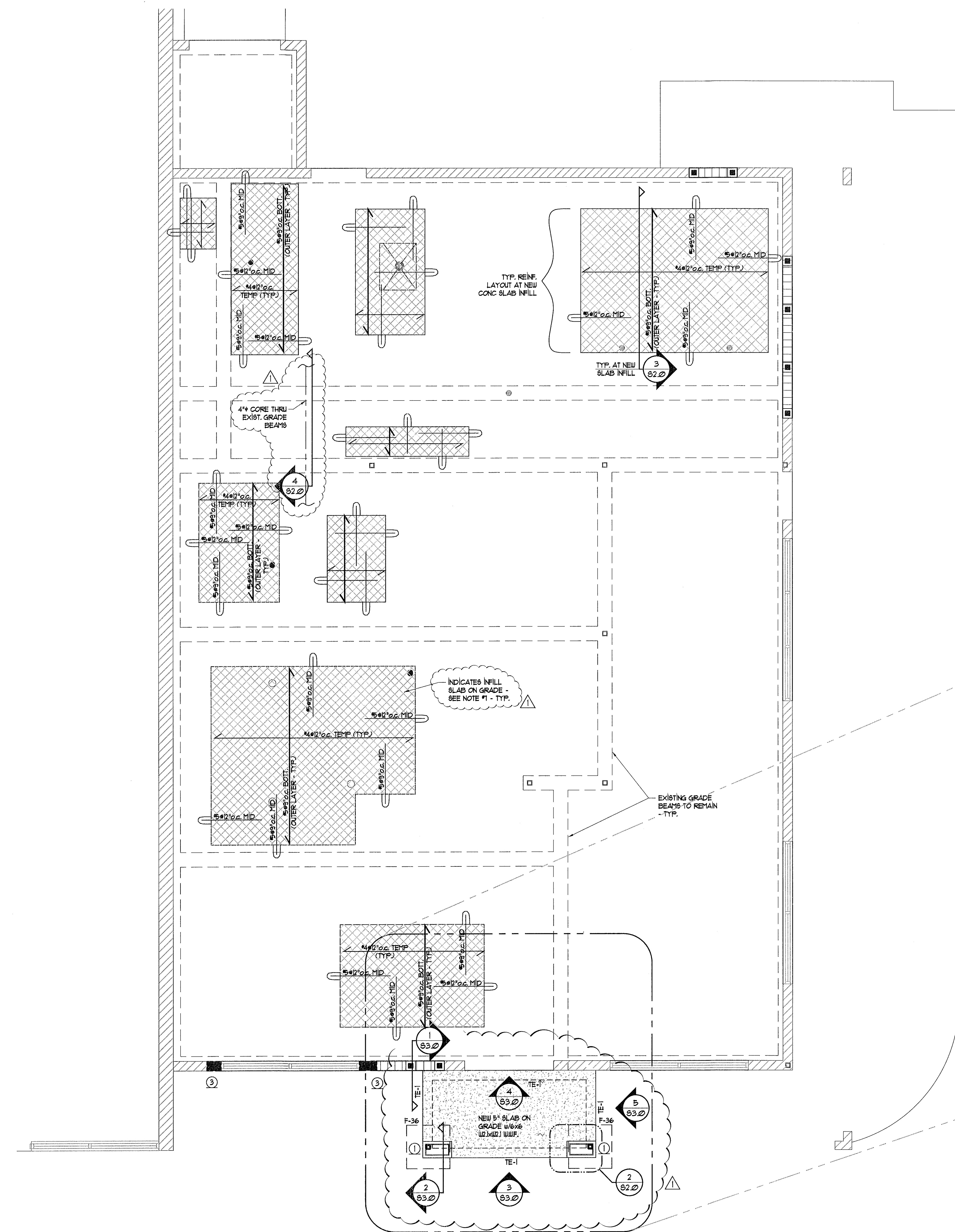
02



NOTE:
EACH WINDOW/DOOR SHALL BE INSTALLED WITH SPECIFIED FASTENERS (AS PER PRODUCT APPROVAL, APPROVED BY DESIGNER OF RECORD) INTO F.T. WOOD BUCK, ADJACENT CONC./MASONRY, OR INTO ADJACENT 2" SOLID WOOD STRUCTURE.

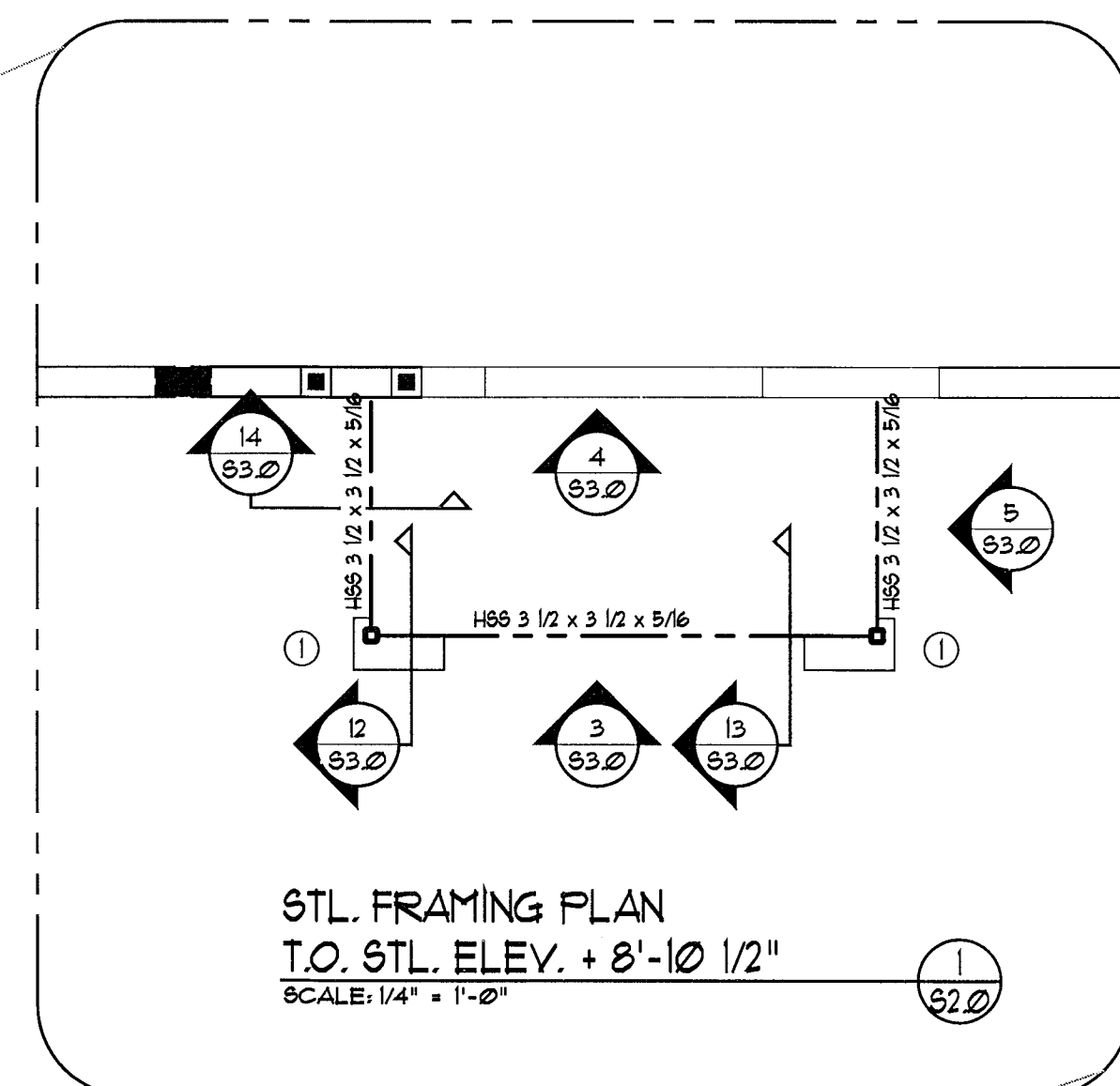
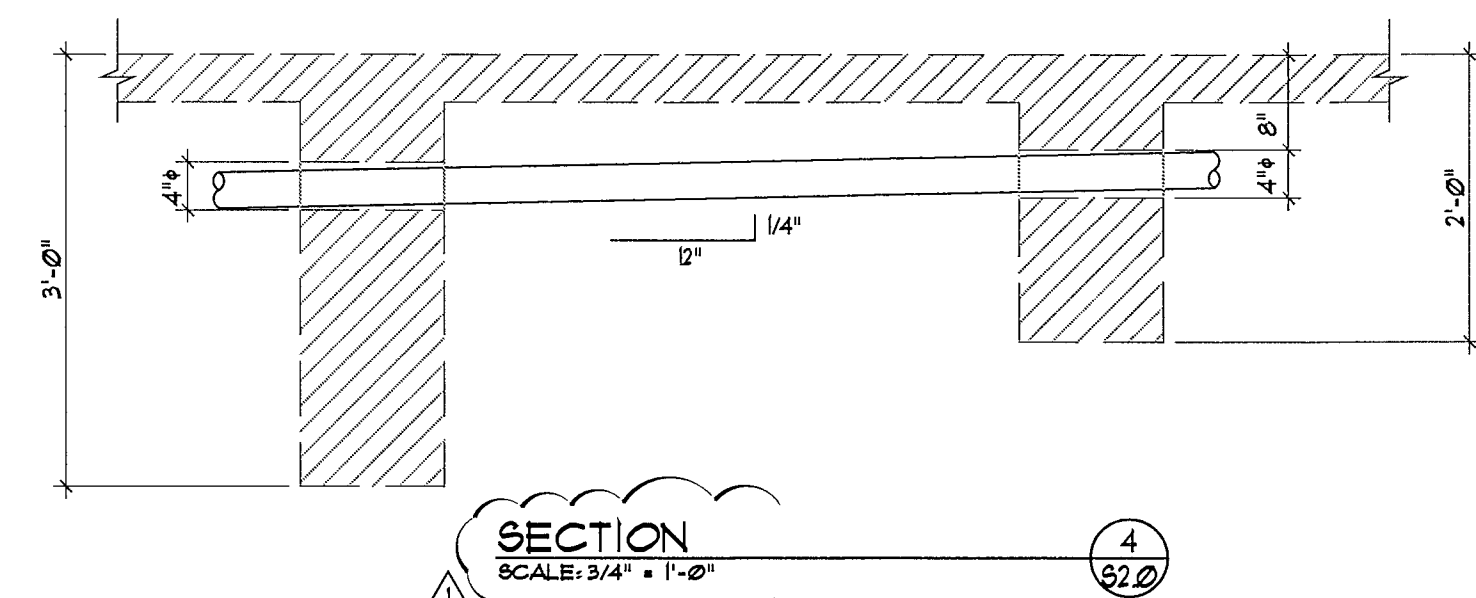
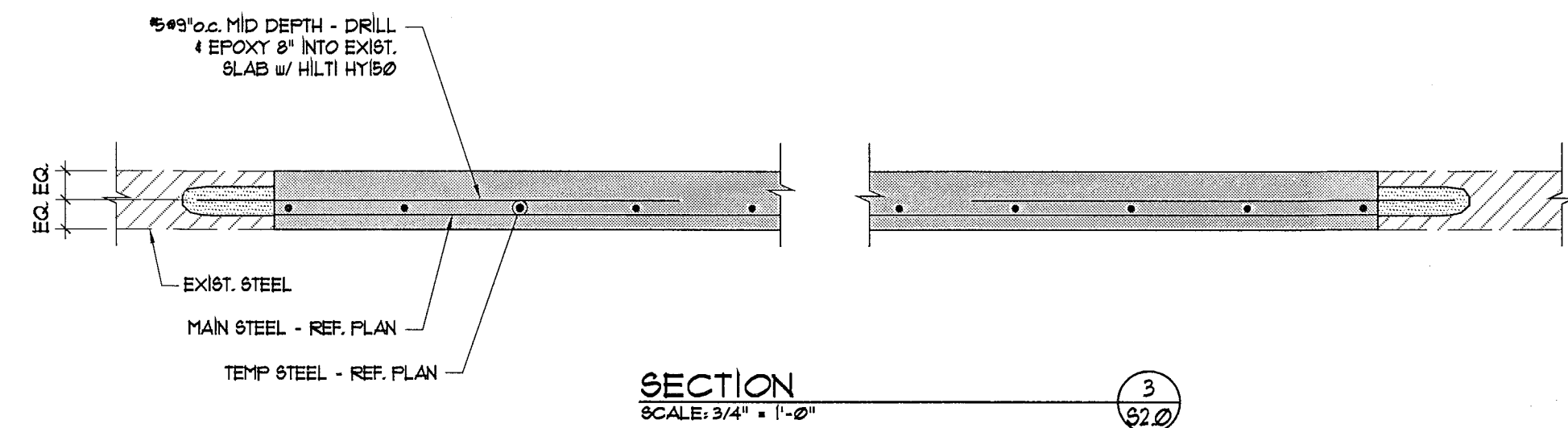
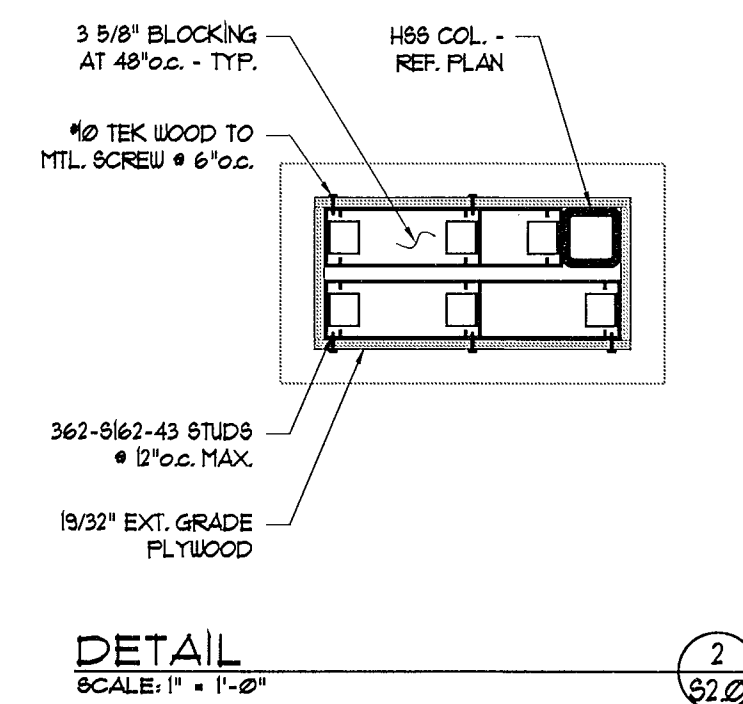
ITEM	WD. BUCK	FASTENERS	SPACING
WINDOW	1X FT. WOOD BUCK (VERIFY SIZE W/ N.O.A.S)	CONCRETE: USE 2" L., 1/4" DIAM. TAPCONS (OR EQUIVALENT CONC. FASTENER)	4" FROM CORNERS (MAX.) AND 6" O.C. (MAX.) TYPICAL
DOOR	2X FT. WOOD BUCK (VERIFY SIZE W/ N.O.A.S)	CONCRETE: USE 2" L., 1/4" DIAM. TAPCONS (OR EQUIVALENT CONC. FASTENER)	HEAD: 4" FROM CORNERS (MAX.), 12" O.C. (MAX.) AND (2) AT EACH HINGE POINT JAMBS: 4" FROM CORNERS (MAX.), 12" O.C. (MAX.) AND (2) AT EACH HINGE POINT

Buck Detail



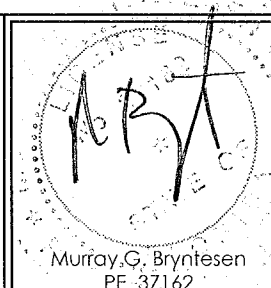
FOUNDATION PLAN NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
- COORDINATE THIS DRAWING w/ ARCHITECTURAL DRAWINGS FOR DOOR AND WINDOW ROUGH OPENINGS DIMENSIONS & LOCATIONS.
- INDICATES NEW 8" MASONRY INFILL IN EXISTING 8" CMU WALL - REF TO SHT. S32 & S31 FOR ADDITIONAL INFORMATION
- PROVIDE #3 LADDER TYPE JOINT REINFORCING @ 16" o.c. (EVERY 2ND COURSE) FOR NEW CONCRETE MASONRY UNIT WALL.
- INDICATES NEW CONC. COL. - SEE COL. SCHED ON SHT S32 FOR SIZE & REINF.
- INDICATES NEW 6" SLAB (f'c = 4000 PSI) ON 10 MIL VAPOR BARRIER - REF. PLAN FOR REINF.
- INDICATES NEW 8" SLAB INFILL (f'c = 4000 PSI) ON 10 MIL VAPOR BARRIER - REF. PLAN FOR REINF.
- GENERAL CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL GRADE BEAMS IN VICINITY OF NEW SLAB SPECIFICALLY THE DIRECTION AND SPACING
- UNDER NO CIRCUMSTANCES SHALL NEW UNDERGROUND UTILITIES PENETRATE EXISTING GRADE BEAMS WITHOUT WRITTEN APPROVAL FROM ENGINEER OF RECORDS - ALL UTILITIES SHALL PASS UNDER EXISTING GRADE BEAMS
- INDICATES EXISTING
- TOP OF NEW FOOTING AT -1'-4" TYP.



PERMIT SET

BRYNTESEN
STRUCTURAL ENGINEERS
E.B. 5099
3045 North Federal Highway - Building #80
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TEL: (954) 568-1411 FAX: (954) 568-7367
Project No. 19316 DATE: 01/30/13
Email: bryntesen@bryntesen.com



PROFESSIONAL SEAL

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Renovation for:

Denny's at Collins Avenue

7140 Collins Avenue
Miami Beach, Florida, 33141 - 3212

DRAWING REVISION DATES:

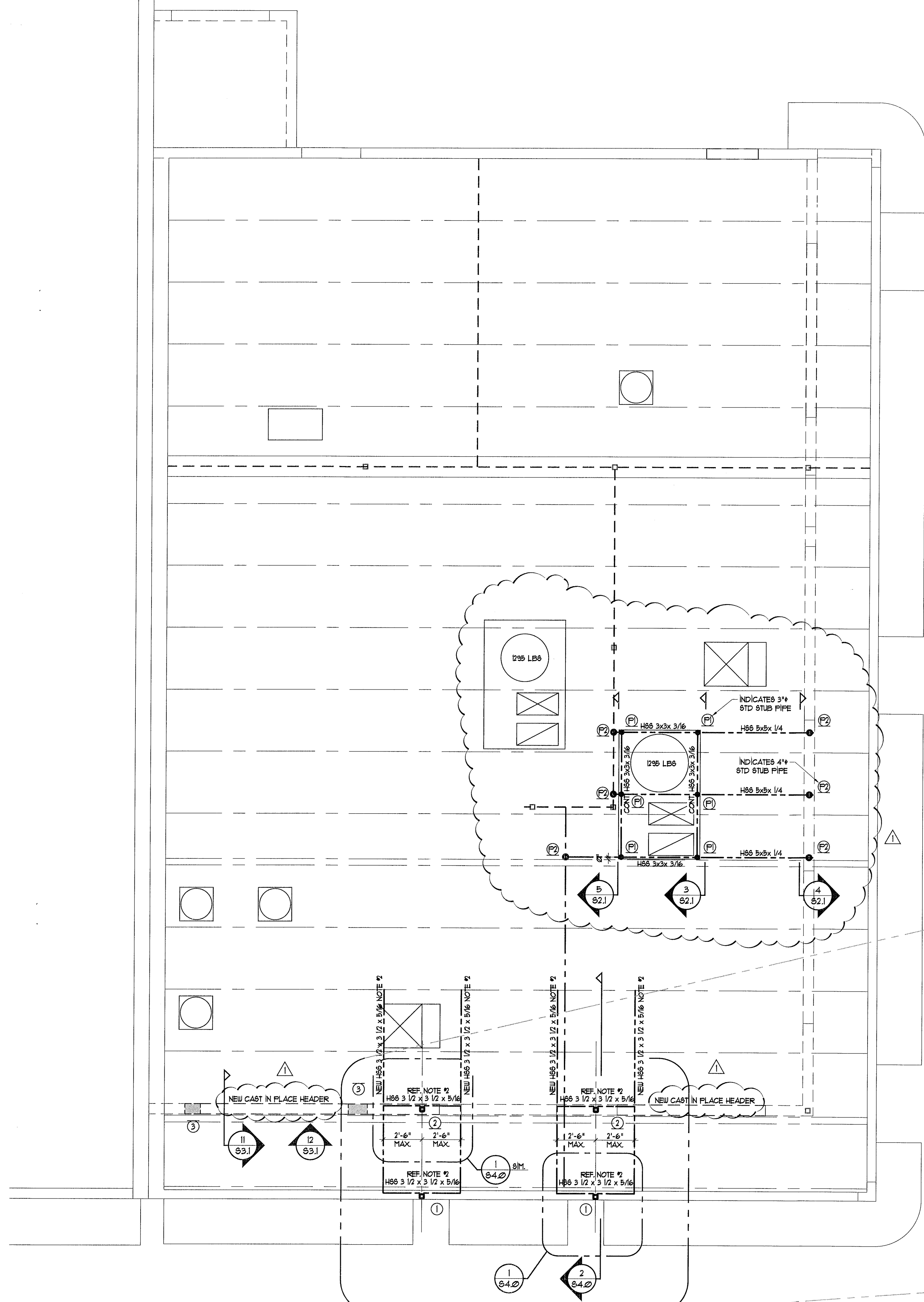
PERMIT REVISIONS
03-14-13

FOUNDATION
PLAN

SHEET

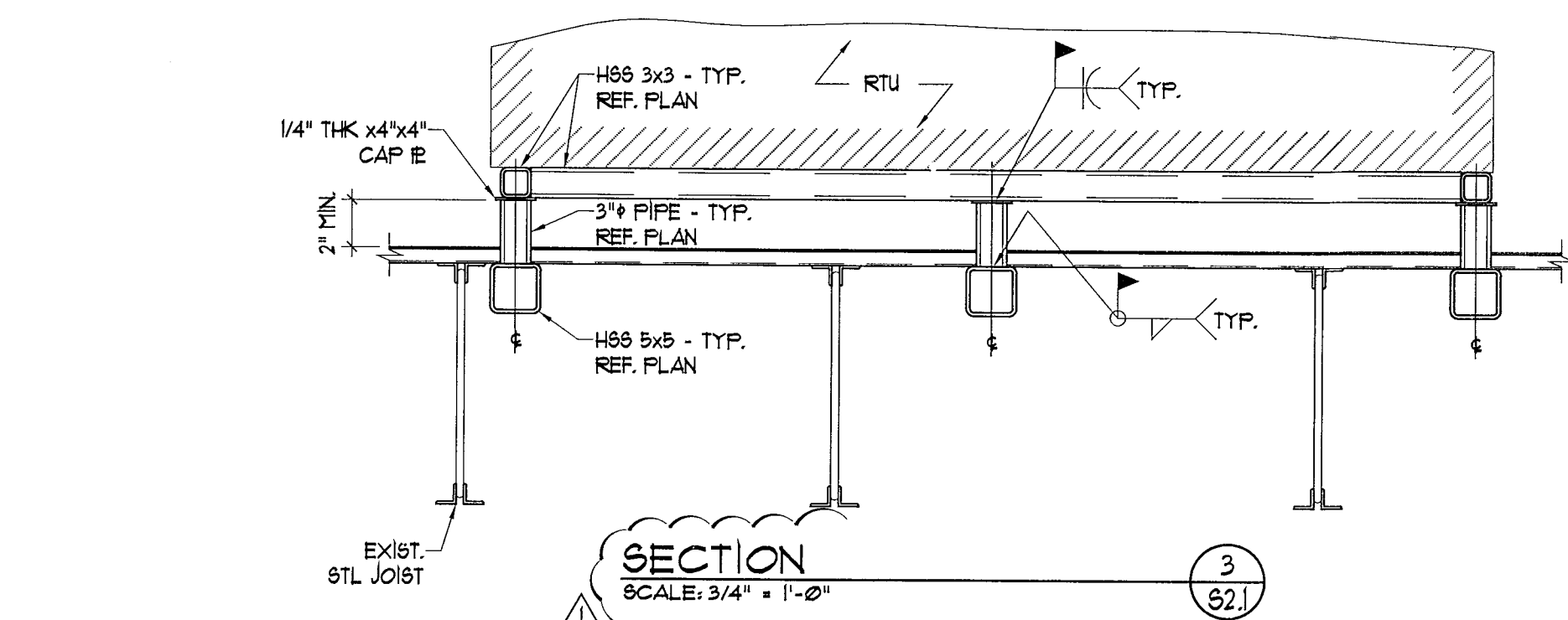
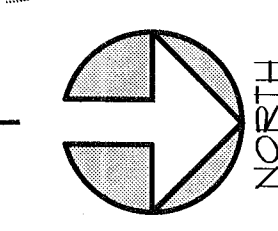
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PROJECT: 12008
DATE: 01-30-13

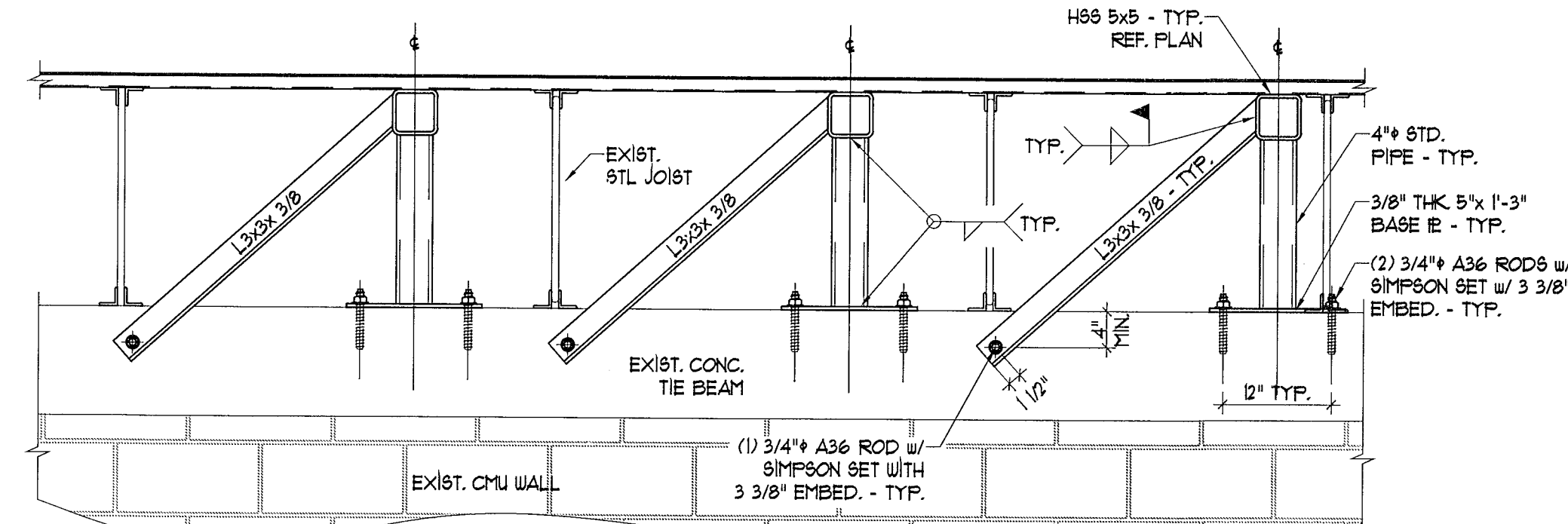


ROOF FRAMING PLAN

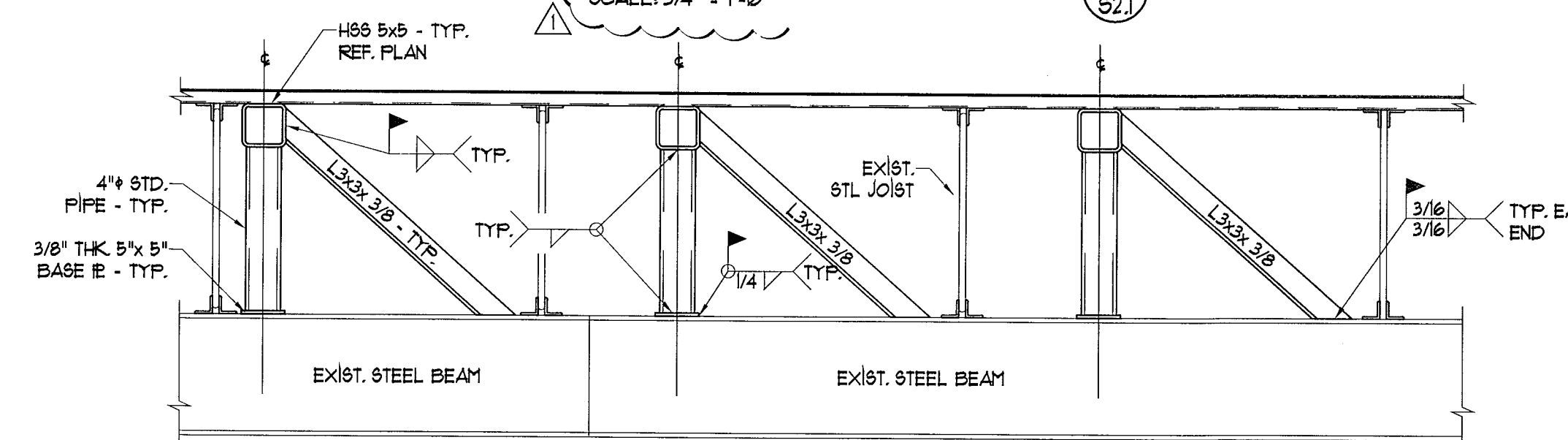
SCALE: 1/4" = 1'-0"



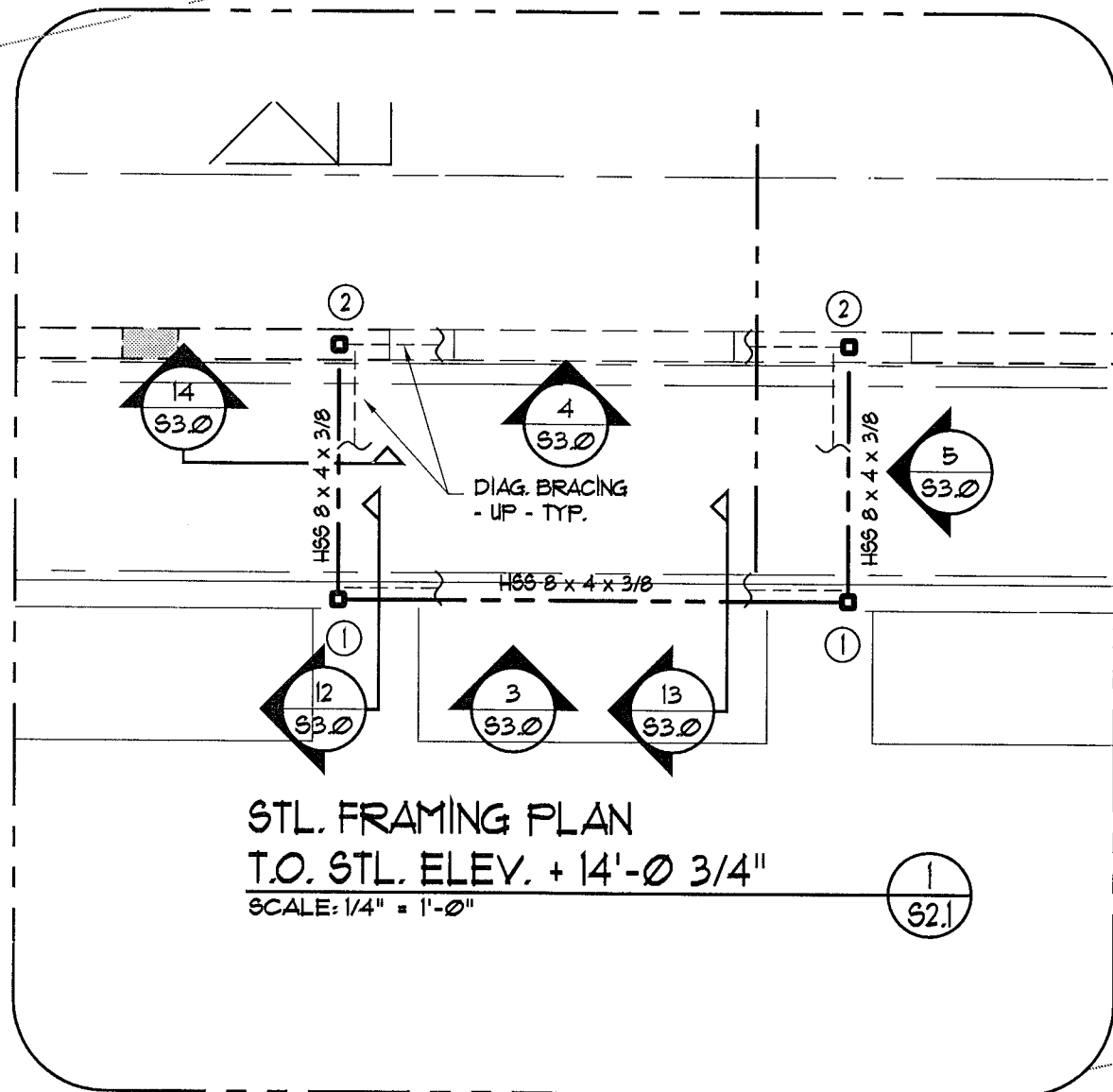
SECTION 3
SCALE: 3/4" = 1'-0"



SECTION 4
SCALE: 3/4" = 1'-0"

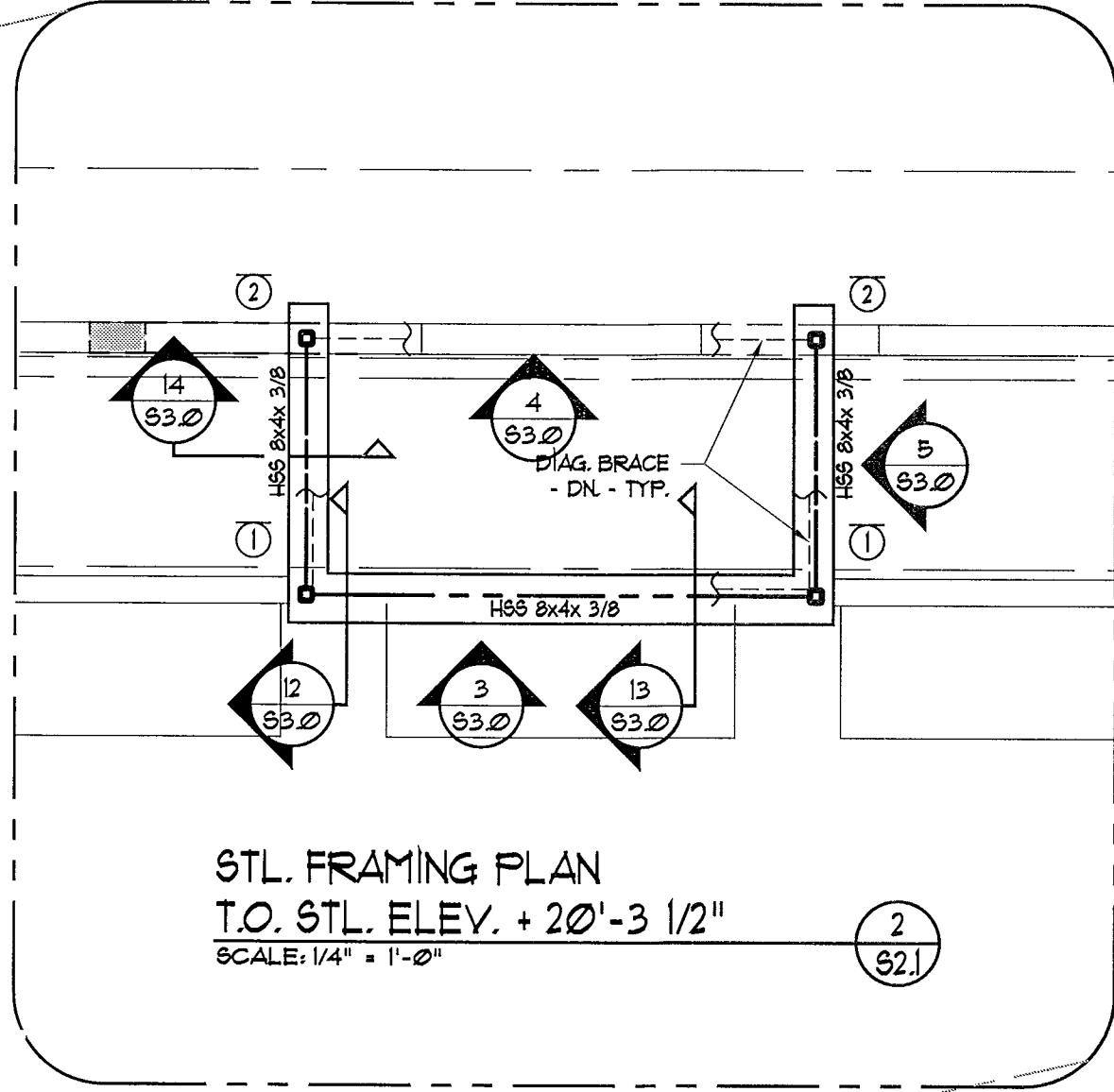


SECTION 5
SCALE: 3/4" = 1'-0"



STL. FRAMING PLAN
T.O. STL. ELEV. + 14'-0 3/4"

SCALE: 1/4" = 1'-0"



STL. FRAMING PLAN
T.O. STL. ELEV. + 20'-3 1/2"

SCALE: 1/4" = 1'-0"

ROOF FRAMING PLAN NOTES:

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION
- HSS 3 1/2 x 3 1/2 INDICATED TO BE LOCATED IN FIELD TO M88 INTERFERING WITH EXISTING JOIST PANEL POINTS AND TO SATISFY BRACING LIMITS SHOWN. HSS TO PASS THRU UNDERSIDE OF JOIST TOP CHORD PER DETAILS AND SHALL BE LOCATED TO PERMIT CONSTRUCTION OF DETAILS

PERMIT SET

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