

# **MILLER RESIDENCE**

1515 W 22<sup>nd</sup> ST. Miami Beach FL.

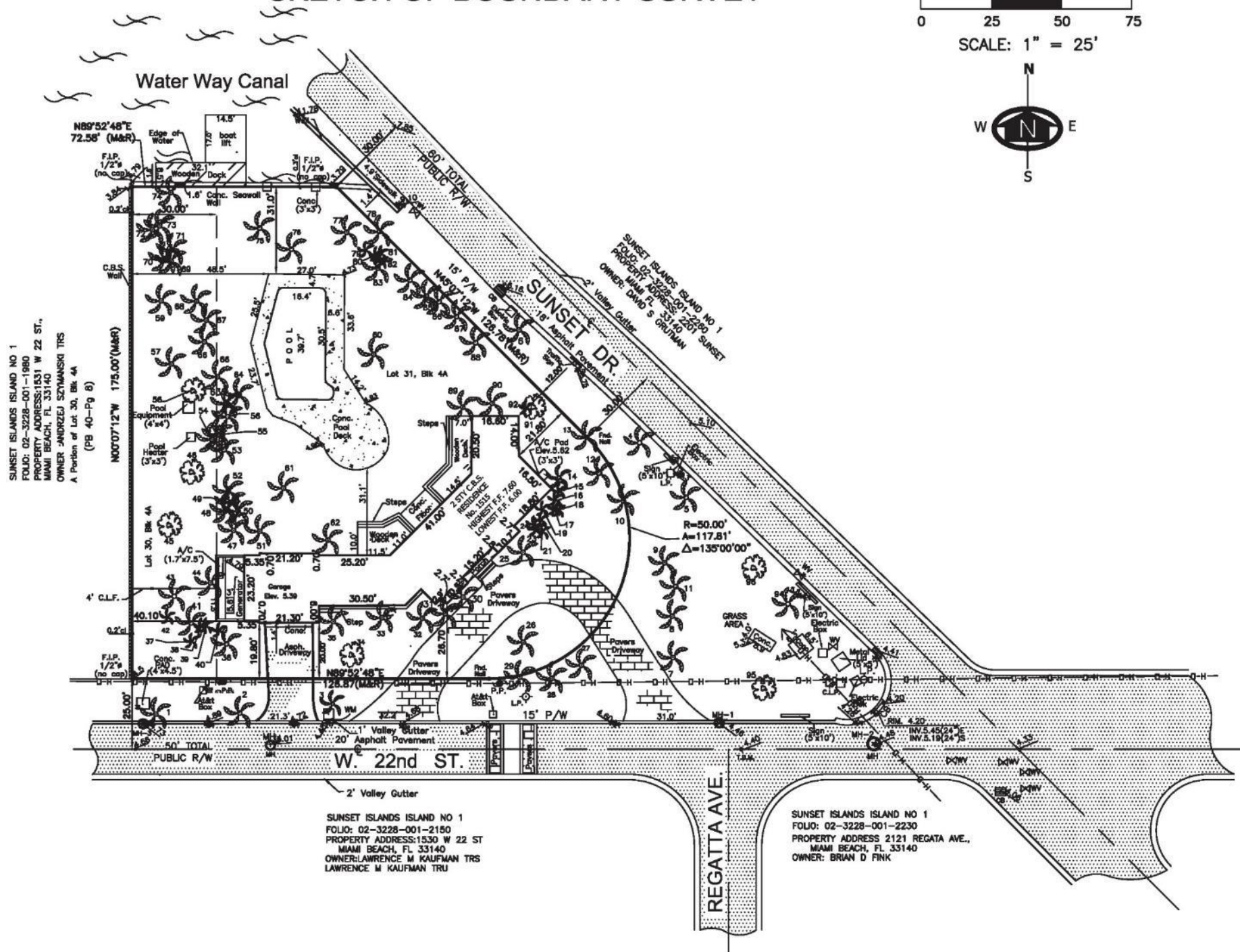
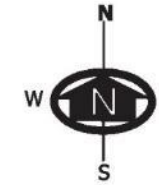
## **EXISTING SITE**

# ALTA/NSPS LAND TITLE SURVEY SKETCH OF BOUNDARY SURVEY

GRAPHIC SCALE



SCALE: 1" = 25'


















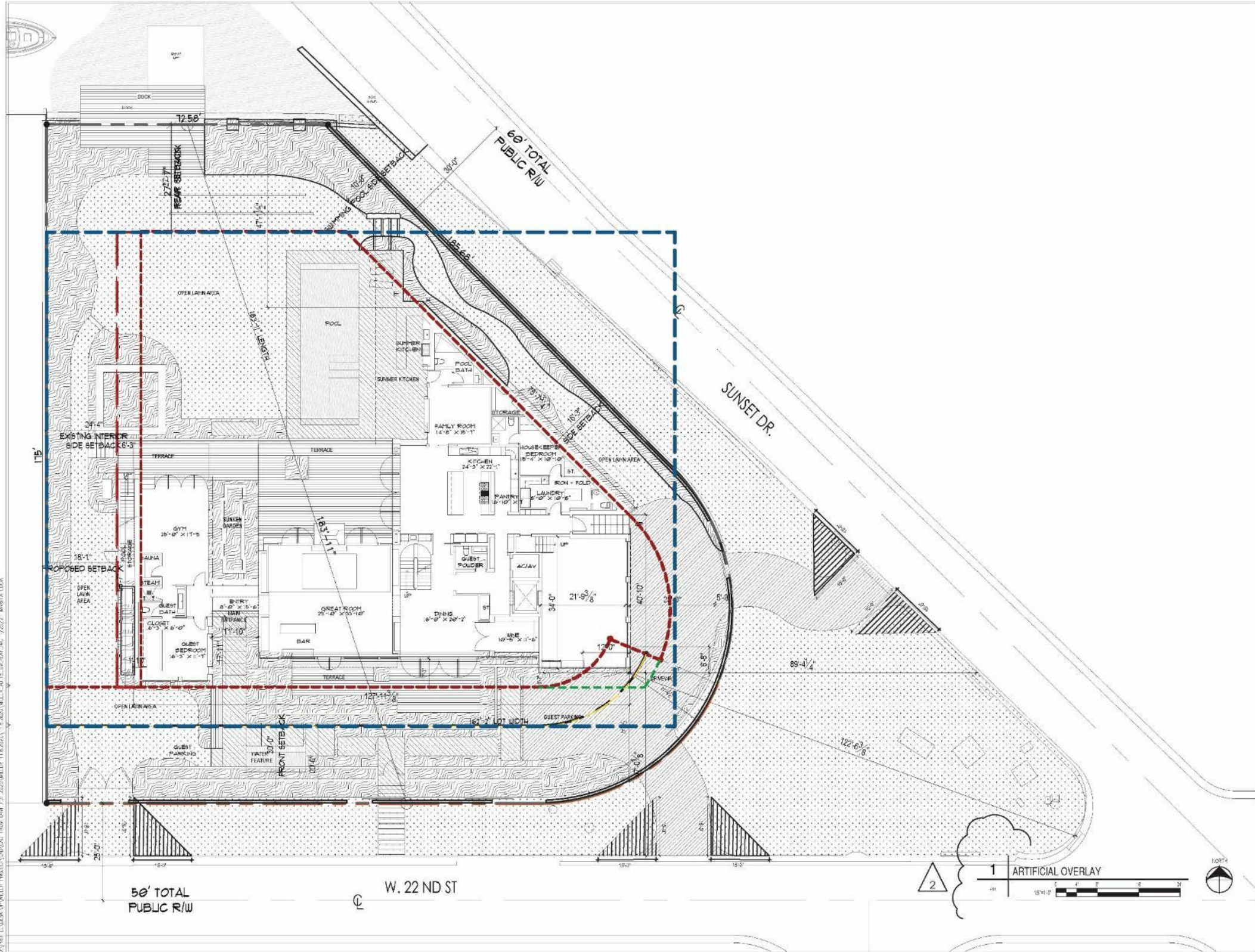


 = Location of support letters (21 letters shown)



1. 2130 Regatta Ave – Brian Fink
2. 2121 Regatta Ave – Michael and Alexandra Neff Allenberg
3. 2110 Lucerne Avenue – Elyse and Alan Khoudari
4. 1401 W 22<sup>nd</sup> St – Benjamin Wander
5. 2135 Lake Ave – Oren Alexander
6. 1440 W 21<sup>st</sup> St – Alejandro Nestares and Yaquelin Gomes
7. 2125 Lake Ave – Peter Rahal
8. 1500 W 21<sup>st</sup> St – Todd Glaser
9. 2142 Bay Ave – Darren Zakreski
10. 1440 W 23<sup>rd</sup> St – Claudia Neary
11. 2138 Bay Ave – Ron Schmeichel
12. 2122 Bay Ave – Ross Partrich
13. 2324 Bay Ave – Susan and Dennis Richard
14. 2301 Lake Ave – Rony Seikaly
15. 1836 W 23<sup>rd</sup> St – David Berger
16. 2300 Bay Ave – George Lindemann
17. 1434 W 24<sup>th</sup> St – Andrew Moriber
18. 2300 Lake Ave – Carl Gambino
19. 1441 W 24<sup>th</sup> St – Tonino Doino
20. 1800 W 24<sup>th</sup> St – Scott & Deborah Robins
21. 1825 W 24<sup>th</sup> St – Julian Cohen





CLIENT

**MILLER RESIDENCE**

1515 W 22ND ST  
MIAMI BEACH, FL 33140

DESIGNER

**jenifer briley + associates**  
architecture . interior design . planning

3500E 1st Avenue, Suite 315, Miami, Florida 33131  
T. 305.457.9322  
JBriley@jba.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#AR0011558

TO THE BEST OF THE ARCHITECT'S OR  
ENGINEER'S KNOWLEDGE, THE PLANS AND  
SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE-SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
▲	10/9/2020	DRB SUBMITTAL
▲	1/19/2020	
▲	12/7/2020	

PROJECT NO:	DE / MC / MS
DRAWN BY:	JB
CHECKED BY:	
PHASE:	PLO DATE:
<b>SCHEMATIC DESIGN</b>	12.07.2020

SHEET TITLE

**ARTIFICIAL OVERLAY**

SHEET NUMBER

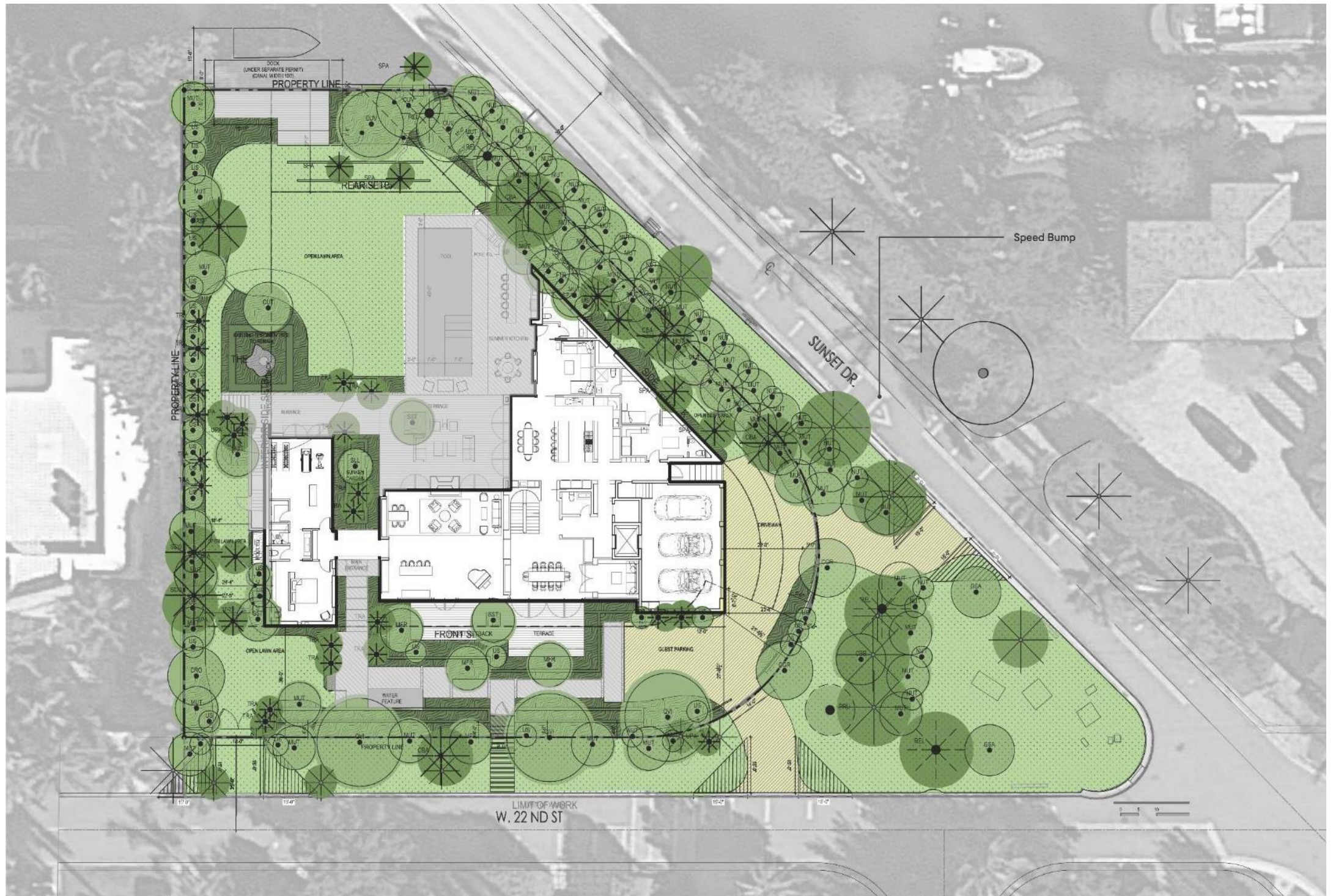
**A0.18**

PROJECT: CLIENT: JENIFER BRILEY + ASSOCIATES ARCHITECTURE, INTERIOR DESIGN, PLANNING  
 DRAWN BY: JENIFER BRILEY  
 CHECKED BY: JENIFER BRILEY  
 DATE: 12/7/2020  
 SCALE: AS SHOWN  
 SHEET: A0.18  
 PROJECT NO: 2020-001  
 CLIENT: MILLER RESIDENCE  
 ADDRESS: 1515 W 22ND ST, MIAMI BEACH, FL 33140  
 ARCHITECT: JENIFER BRILEY + ASSOCIATES ARCHITECTURE, INTERIOR DESIGN, PLANNING  
 LICENSE NO: AR0011558  
 STATE: FLORIDA

# ARCHITECTURE

Jenifer Briley + Associates





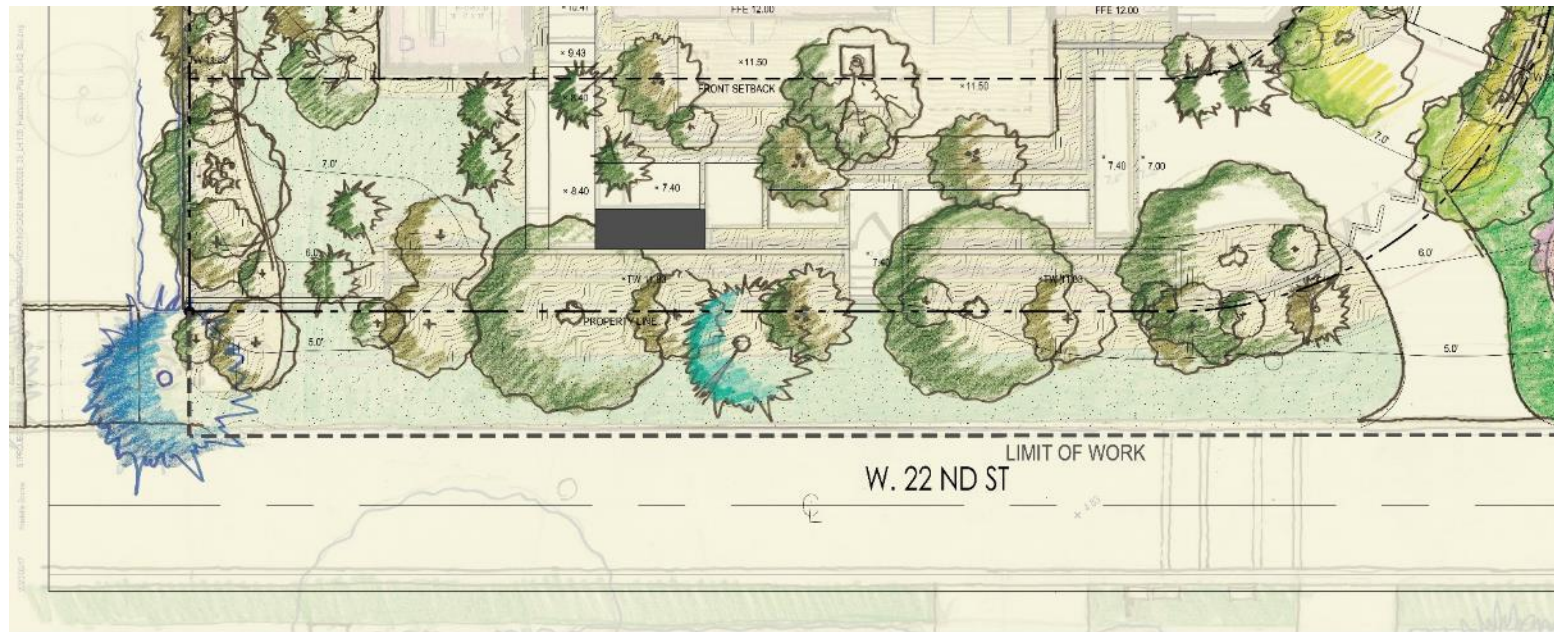












South Elevation



CLIENT

MILLER RESIDENCE

1515 W 22ND ST  
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates  
architecture . interior design . planning

200 N.W. 10TH AVE., SUITE 805, MIAMI, FL 33136  
TEL: 305.557.4320  
WWW.JENIFERBRILEY.COM

COMMITMENTS

REGISTRATION

JEAN-PIERRE HENRI, AIA  
ARCHITECT OF RECORD  
S.W. OF FLORIDA COUNCIL  
#00071358

TO THE BEST OF THE ARCHITECT'S OR  
FABRICATOR'S KNOWLEDGE, THE PLANS AND  
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APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE SAFETY STANDARDS.

ISSUE

MARK	DATE	DESCRIPTION
1	10/9/2020	DRG SUBMITTAL
2	11/9/2020	
3	12/7/2020	

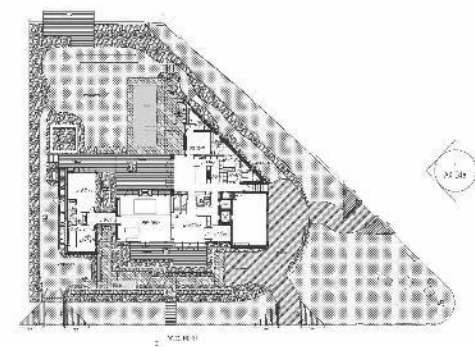
PROJECT NO:  
DRAWN BY: DE / MC / MS  
CHECKED BY: JE  
PROJECT: SCHEMATIC DESIGN PLOT DATE: 12.07.2020

SHEET TITLE

EAST COLORED ELEVATION

SHEET NUMBER

A4.04a



PROPERTY LINE

SETBACK LINE

SETBACK LINE

TOP OF PARAPET  
ELEV. 128' 0"  
(+42' 0" NGVD)

TOP OF PARAPET  
ELEV. 128' 0"  
(+38' 0" NGVD)

1-VE SECOND FLOOR  
ELEV. 4'-0"  
(+28' 0" NGVD)

LEVEL OF GROUND  
ELEV. 10'-0"  
(+12' 0" NGVD)

GRADE  
(15.01' NGVD)

DRIVEWAY  
98'-3"

PLANTING  
5'-7 1/2"

WALL  
86'-1"



1 EAST ELEVATION

MATERIALS ARE SUBJECT TO CHANGE.  
FINAL SELECTION WILL BE MADE @  
TIME OF PERMITTING.



1. WOOD

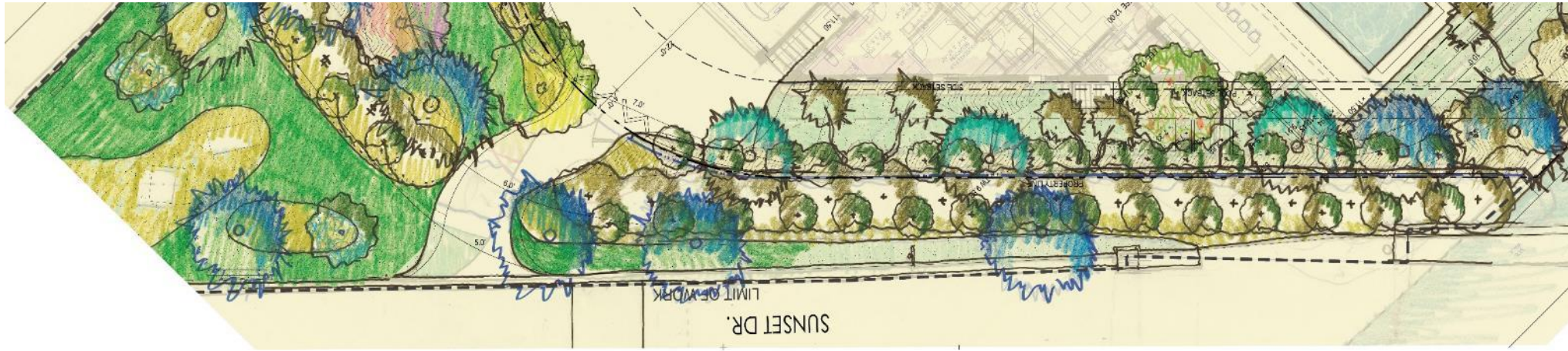
2. STONE

3. METAL PANELS

4. STONE 2

P:\PROJECTS\2020\1515 W 22ND ST\1515 W 22ND ST\_04\_04\_04.dwg 12/07/2020 10:52:00 AM



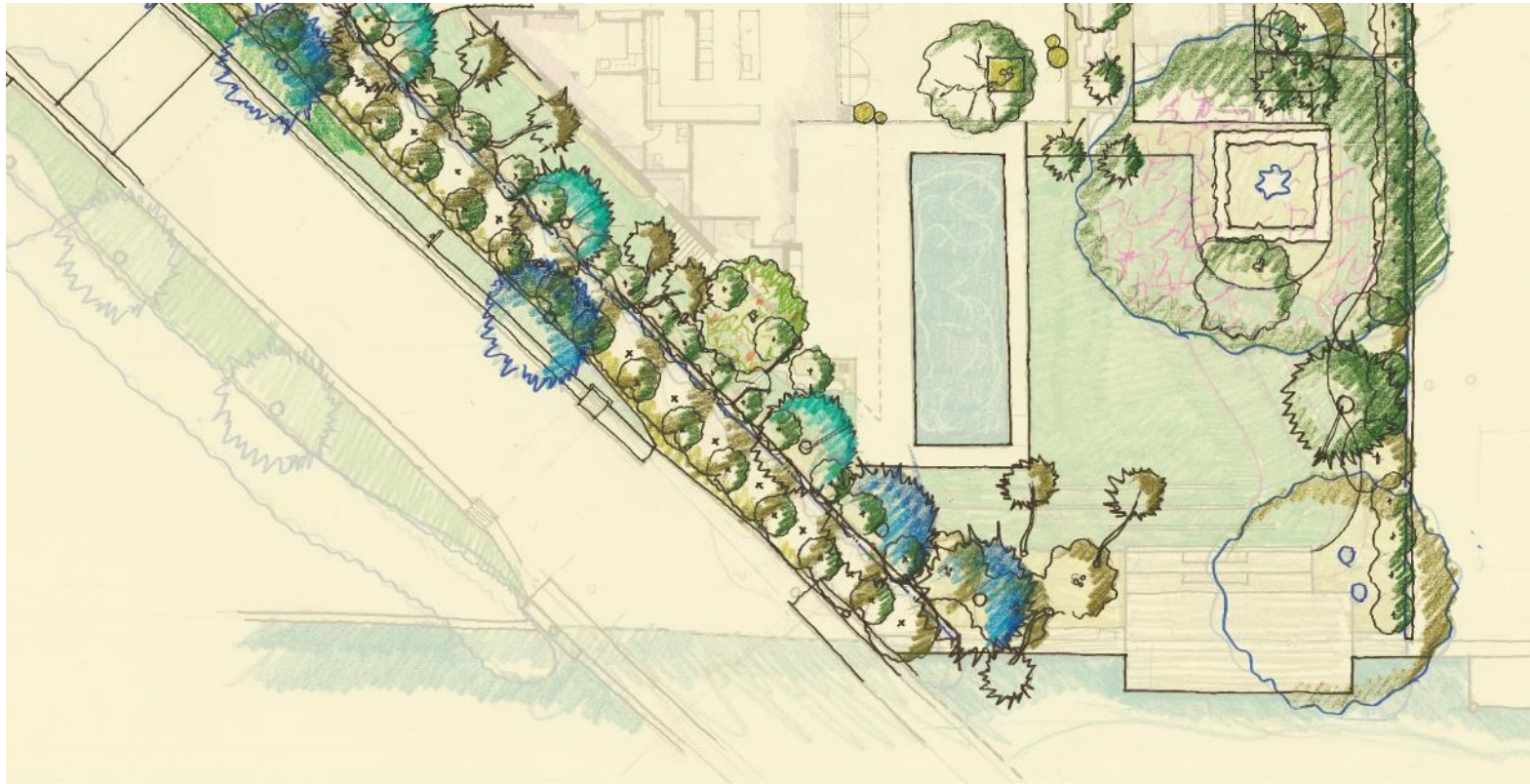


East Elevation







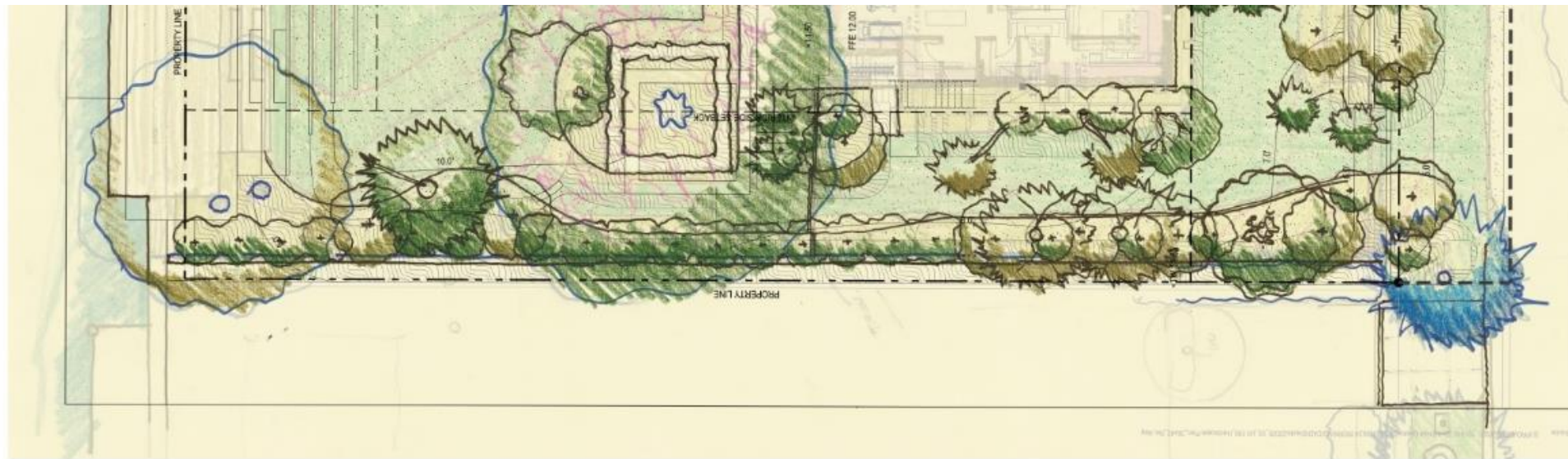


North Elevation









West Elevation











# LANDSCAPE

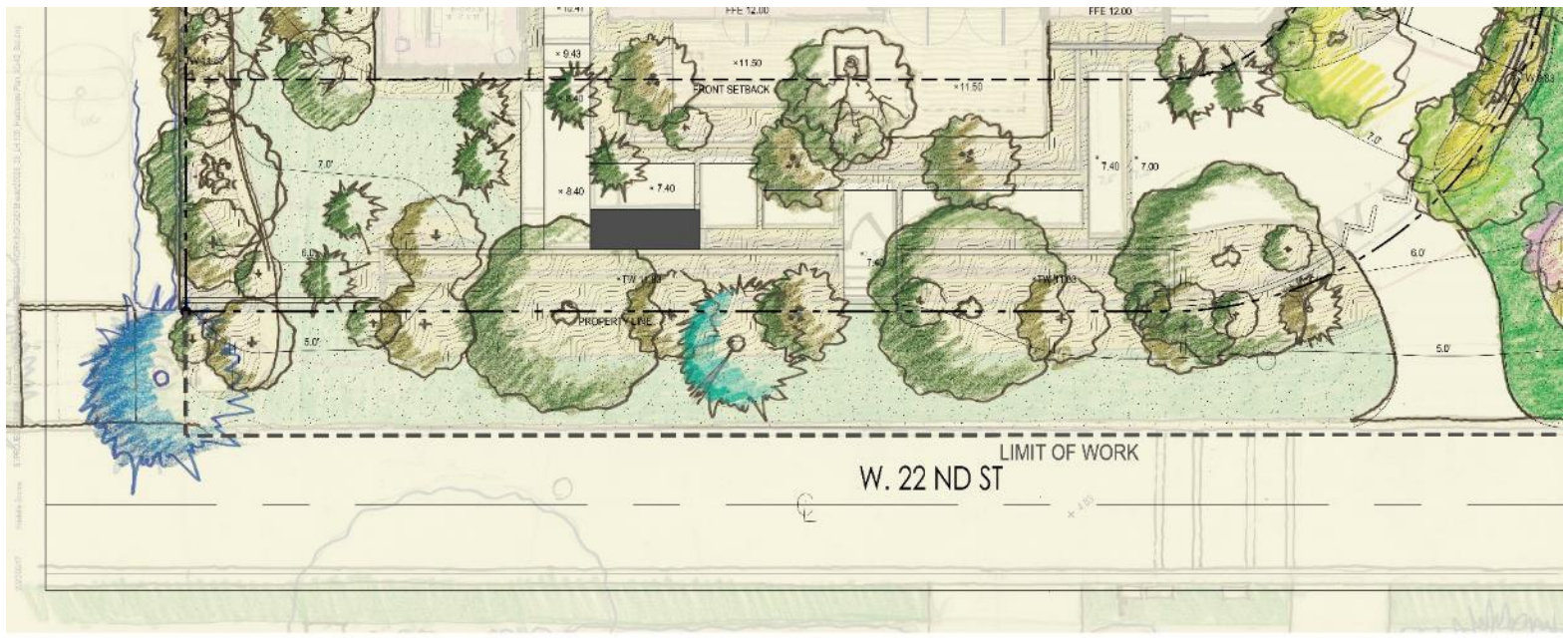
Raymond Jungles Inc.



CANOPY PLAN

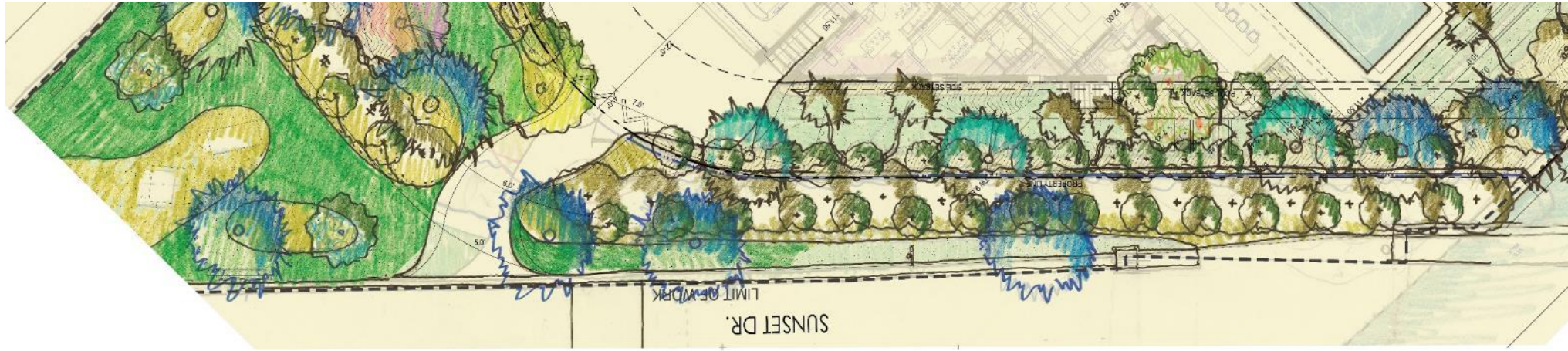




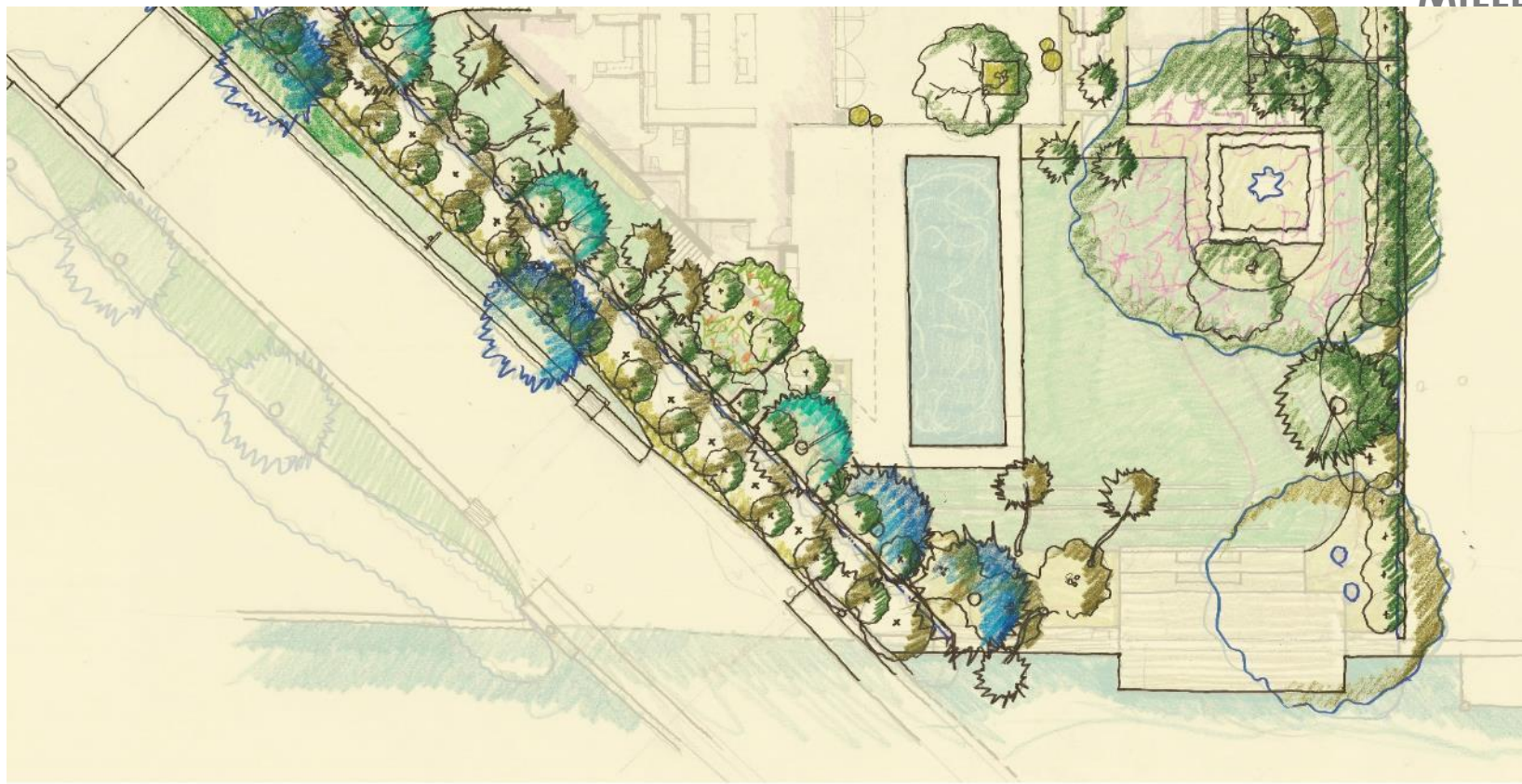


South Elevation









North Elevation









Concrete Driveway with Exposed Aggregate



Concrete Stepping Pads with Exposed Aggregate



Dominican Coralina Steps



Terraced Lawn with Oolite Steps



Exposed Concrete Walls





Dominican Coralina Deck



IPE Wood Deck



Dominican Coralina Slats





*Guaiacum sanctum*, Lignum Vitae



*Quercus virginiana*, Live Oak



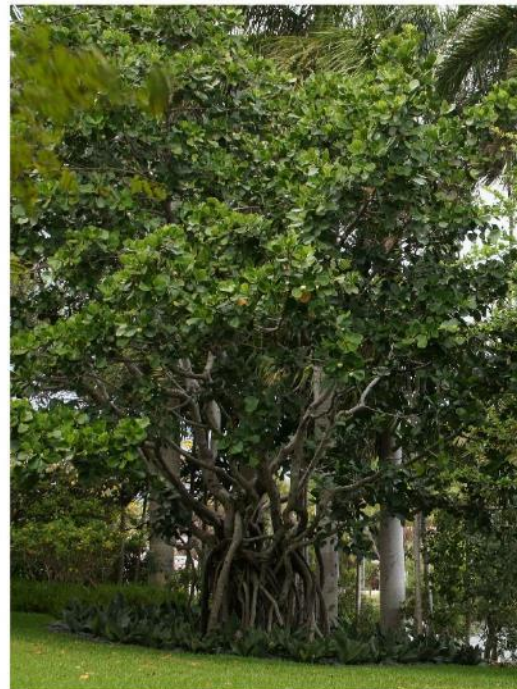
*Copernicia baileyana* Bailey Palm



*Thrinax radiata*, Florida Thatch Palm



*Sabal palmetto*, Sabal Palm



*Clusia rosea*, Autograph Tree



*Attalea cohune*, American Oil Palm



*Myrcianthes fragrans*, Simpson's Stopper





*Coccoloba uvifera*, Seagrape



*Caesalpinia granadillo*, Bridalveil Tree

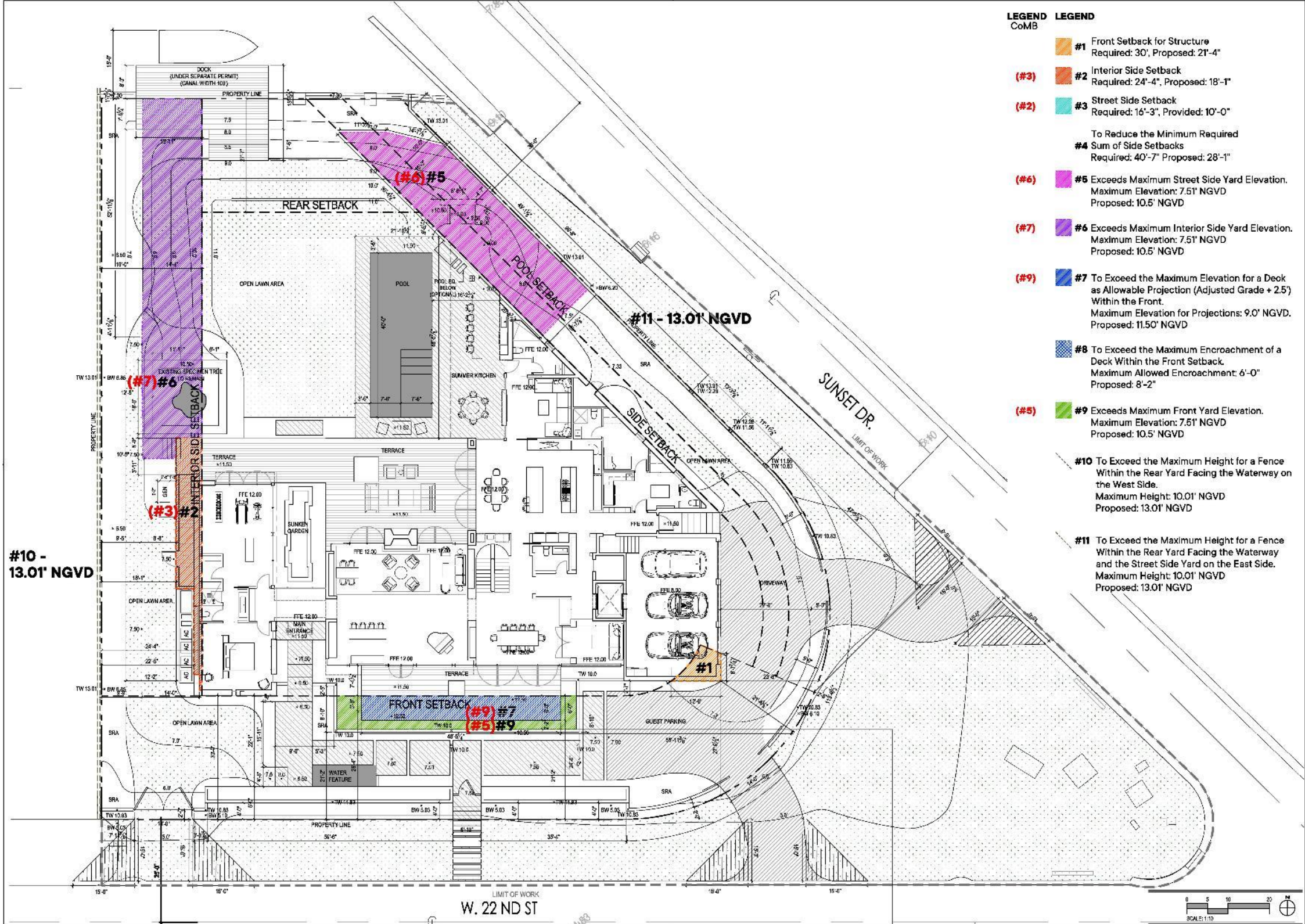


*Cassia bakeriana*, Pink Shower Cassia



# VARIANCES





- LEGEND CoMB**
- #1 Front Setback for Structure Required: 30', Proposed: 21'-4"
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  - (#2) #3 Street Side Setback Required: 16'-3", Provided: 10'-0"  
To Reduce the Minimum Required  
#4 Sum of Side Setbacks Required: 40'-7" Proposed: 28'-1"
  - (#6) #5 Exceeds Maximum Street Side Yard Elevation. Maximum Elevation: 7.51' NGVD Proposed: 10.5' NGVD
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  - #8 To Exceed the Maximum Encroachment of a Deck Within the Front Setback. Maximum Allowed Encroachment: 6'-0" Proposed: 8'-2"
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  - #10 To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway on the West Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD
  - #11 To Exceed the Maximum Height for a Fence Within the Rear Yard Facing the Waterway and the Street Side Yard on the East Side. Maximum Height: 10.01' NGVD Proposed: 13.01' NGVD

Miller Residence  
**1515 W. 22nd Street**  
**Miami Beach, FL**  
1515 W. 22nd Street, Miami Beach, FL

REVISIONS

1	ISSUES	DATE	BY
2	CONVERTS		
3	SMA		
4	REVISIONS		
5			
6			
7			
8			
9			
10			

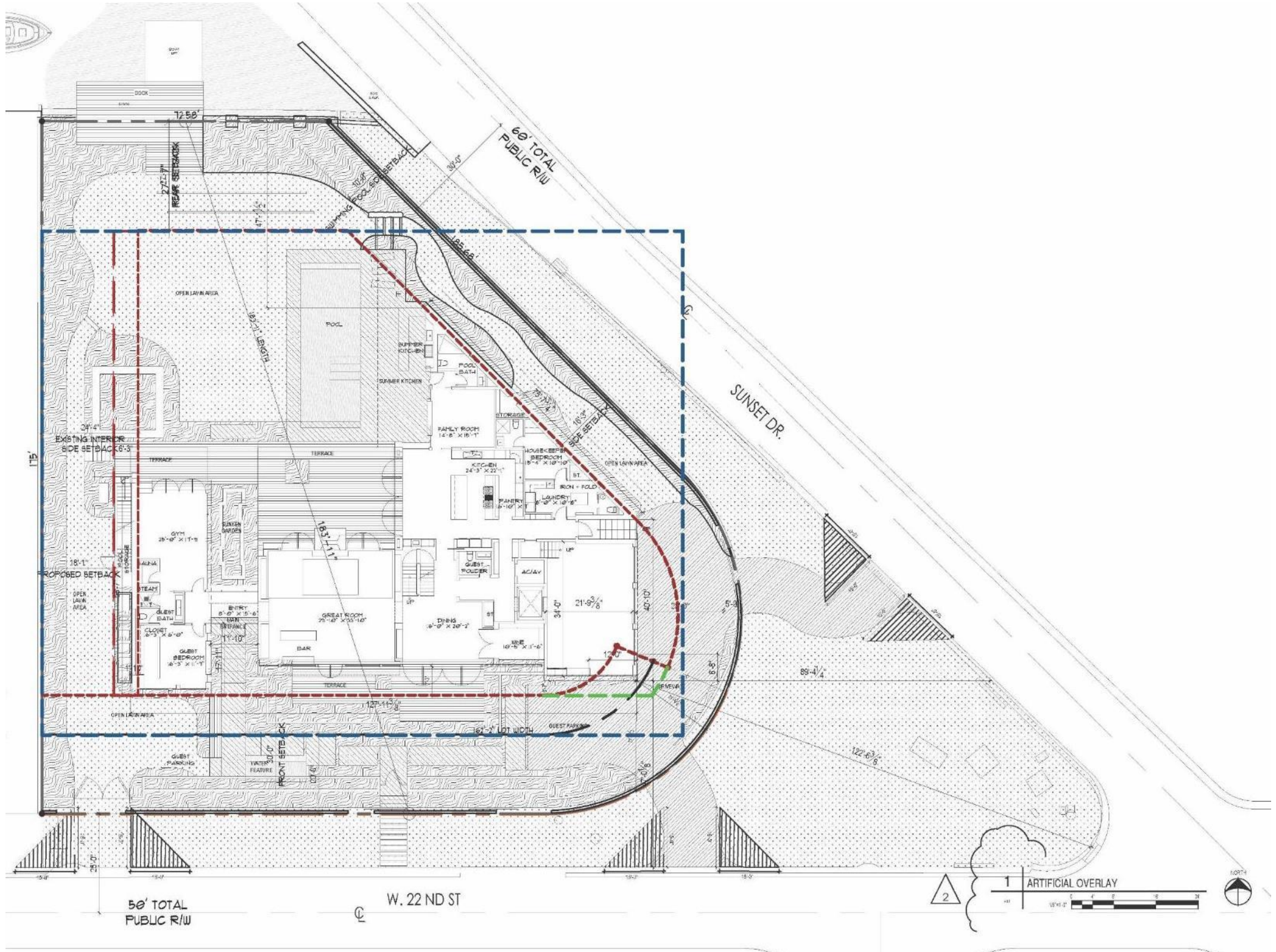
SCALE: 1"=10'

SHEET NUMBER: **GI-005**











**Sec. 142-106. - Setback requirements for a single-family detached dwelling.**

(a) The setback requirements for a single-family detached dwelling in the RS-1, RS-2, RS-3, RS-4 single-family residential districts are as follows:

(1) *Front yards:* The minimum front yard setback requirement for these districts shall be 20 feet.

a. One-story structures may be located at the minimum front yard setback line.

b. Two-story structures shall be set back a minimum of ten additional feet from the required front yard setback line.

c. [Reserved.]

d. At least 50 percent of the required front yard area shall be sodded or landscaped pervious open space. With the exception of driveways and paths leading to the building, paving may not extend any closer than five feet to the front of the building.

.....

(2) *Side yards:*

a. The sum of the required side yards shall be at least 25 percent of the lot width.  $[162'2" \times 25\% = 40' 6.5"]$

b. Side, facing a street. Each required side yard facing a street shall be no less than ten percent of the lot width or 15 feet, whichever is greater.  $[162'2" \times 10\% = 16' 3"]$

$40'6.5" - 16'3" = 20' 4"$  we are providing 18'1" exceeds the minimum side yard of 16'3"

....

c. Interior sides.

1. For lots greater than 60 feet in width each interior side yard shall have a minimum of ten percent of the lot width or ten feet, whichever is greater.  $[162'2" \times 10\% = 16'3"]$

(3) *Rear:* The rear setback requirement shall be 15 percent of the lot depth, 20 feet minimum, 50 feet maximum. At least 70 percent of the required rear yard shall be sodded or landscaped pervious open space; when located at or below adjusted grade, the water portion of a swimming pool may count toward this requirement, when located above adjusted grade, the water portion of a swimming pool may count towards 50 percent of this requirement, provided adequate infrastructure is incorporated into the design of the pool to fully accommodate on-site stormwater retention.

(b) Allowable encroachments within required yards.

(5) *Central air conditioners, emergency generators, swimming pool equipment, and other mechanical equipment.* Accessory central air conditioners, generators, swimming pool equipment, and any other mechanical equipment, including attached screening elements, may occupy a required side or rear yard, provided that:

a. They are not closer than five feet to a rear or interior side lot line, or ten feet to a side lot line facing a street.

b. The maximum height of the equipment, including attached screening elements, shall not exceed five feet above current flood elevation, with a maximum height not to exceed ten feet above grade, as defined in [section 114-1](#), of the lot on which it is located.



**Sec. 142-106. - Setback requirements for a single-family detached dwelling. (continued)**

c. If visible from the right-of-way, physical and/or landscape screening shall be required.

d. Any required sound buffering equipment shall comply with the setback requirements established in subsection (5)a., above.

e. If the central air conditioning and other mechanical equipment do not conform to subsections (1), (2), (3), and (4) above, then such equipment shall follow the setbacks of the main structure.

(7) *Fences, walls, and gates.* Regulations pertaining to materials and heights for fences, walls and gates are as follows:

a. Within the required front yard, fences, walls and gates shall not exceed five feet, as measured from grade. The height may be increased up to a maximum total height of seven feet if the fence, wall or gate is set back from the front property line. Height may be increased one foot for every two feet of setback.

b. Within the required rear or side yard, fences, walls and gates shall not exceed seven feet, as measured from grade, except when such yard abuts a public right-of-way, waterway, or golf course, the maximum height shall not exceed five feet. In the event that a property has approval to be improved at adjusted grade, the overall height of fences, walls and gates may be measured from adjusted grade, provided that the portion of such fences, walls or gates above four feet in height consists of open pickets with a minimum spacing of three inches, unless otherwise approved by the design review board or historic preservation board, as applicable.

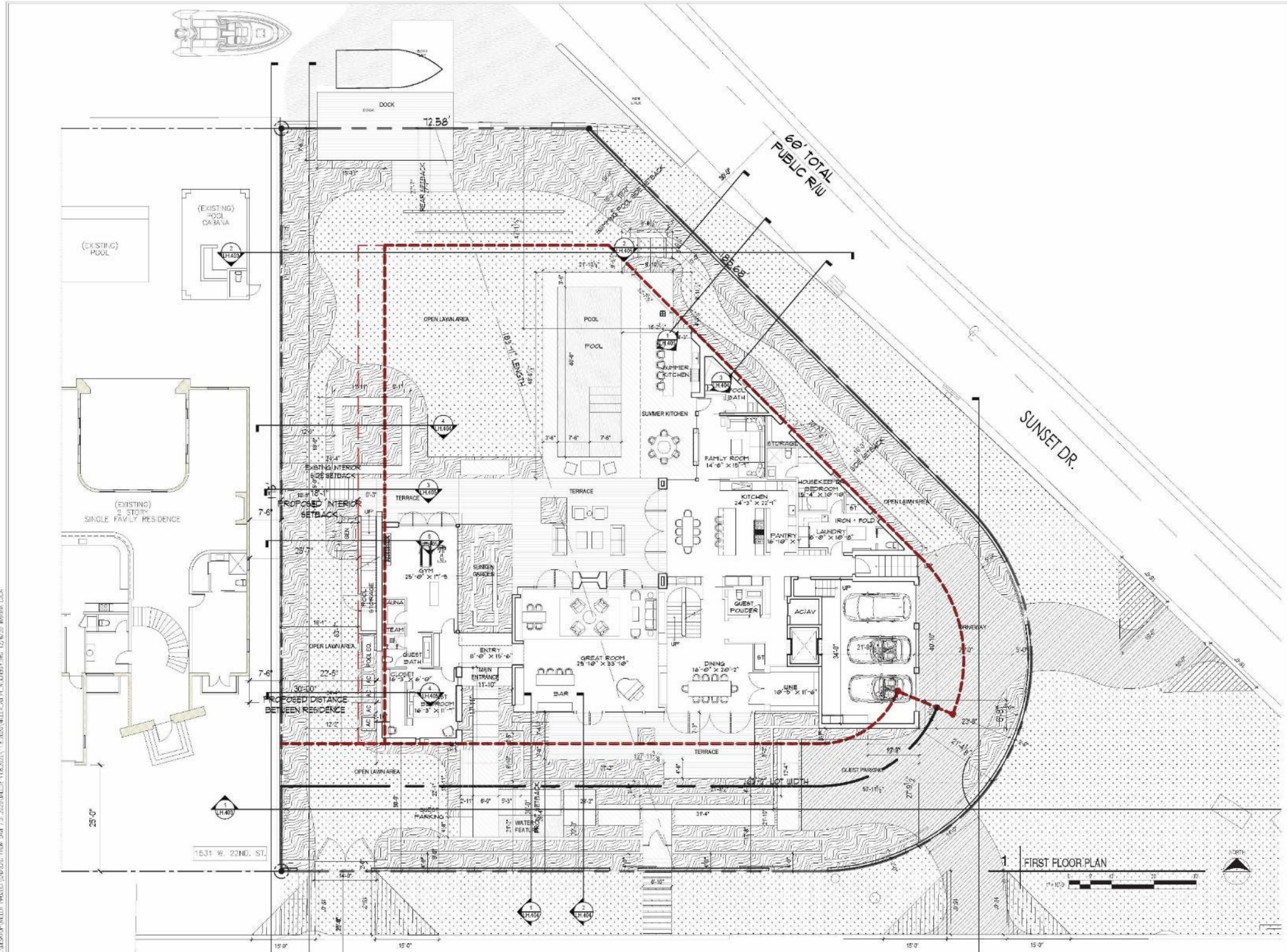
c. All surfaces of masonry walls and wood fences shall be finished in the same manner with the same materials on both sides to have an equal or better quality appearance when seen from adjoining properties. The structural supports for wood fences, walls or gates shall face inward toward the property.

d. Chain link fences are prohibited in the required front yard, and any required yard facing a public right-of-way or waterway (except side yards facing on the terminus of a dead end street in single-family districts) except as provided in this section and in [section 142-1134](#).

e. Barbed wire or materials of similar character shall be prohibited.

(8) *Hedges.* There are no height limitations on hedges. Hedge material must be kept neat, evenly trimmed and properly maintained. Corner visibility regulations are set forth in [section 142-1135](#).





CLIENT

**MILLER RESIDENCE**

1515 W 22ND ST  
MIAMI BEACH, FL 33140

DESIGNER

**jenifer briley + associates**  
architecture . interior design . planning

3500E 10 Avenue, Suite 315, Miami, Florida, 33133  
T. 305.457.9323  
JBriley@jba.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#AR0011358

TO THE BEST OF THE ARCHITECT'S OR  
ENGINEER'S KNOWLEDGE, THE PLANS AND  
SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
10	10/9/2020	DRB SUBMITTAL
11	1/9/2020	
12	12/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

PLO DATE: 12.07.2020

SHEET TITLE

**FIRST FLOOR PLAN  
NEIGHBOR  
CONTEXT**

SHEET NUMBER

**A0.14**

PROJECT LOCATION: MILLER RESIDENCE, 1531 W. 22ND ST., MIAMI BEACH, FL 33140. PROJECT NO. 1531-22ND-01. DATE: 12/07/2020. ARCHITECT: JENIFER BRILEY + ASSOCIATES.

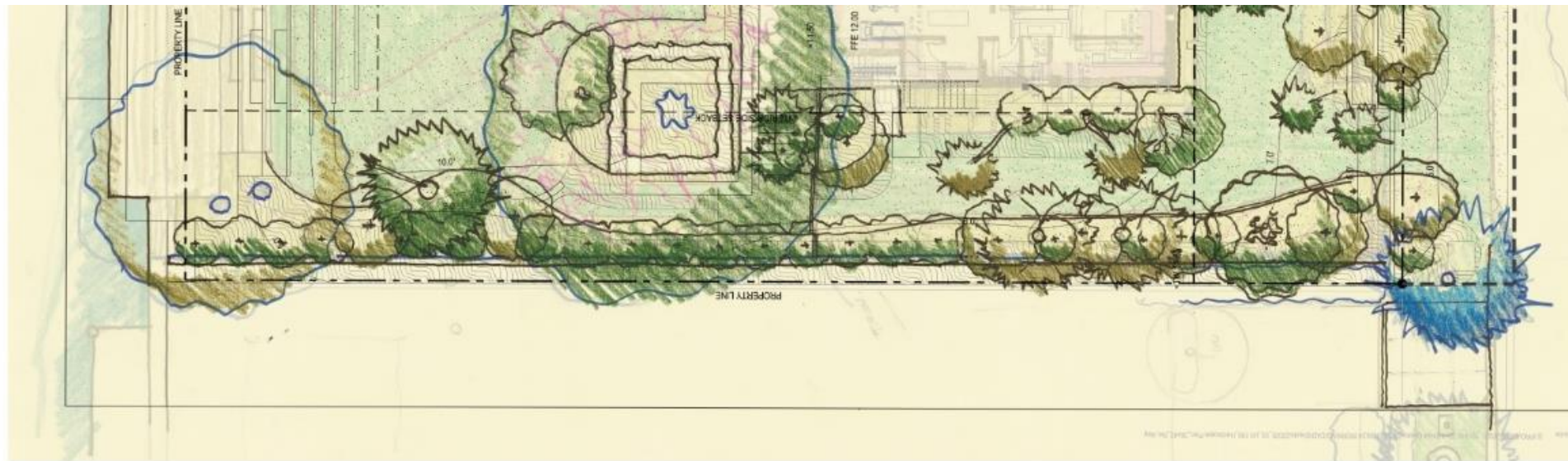






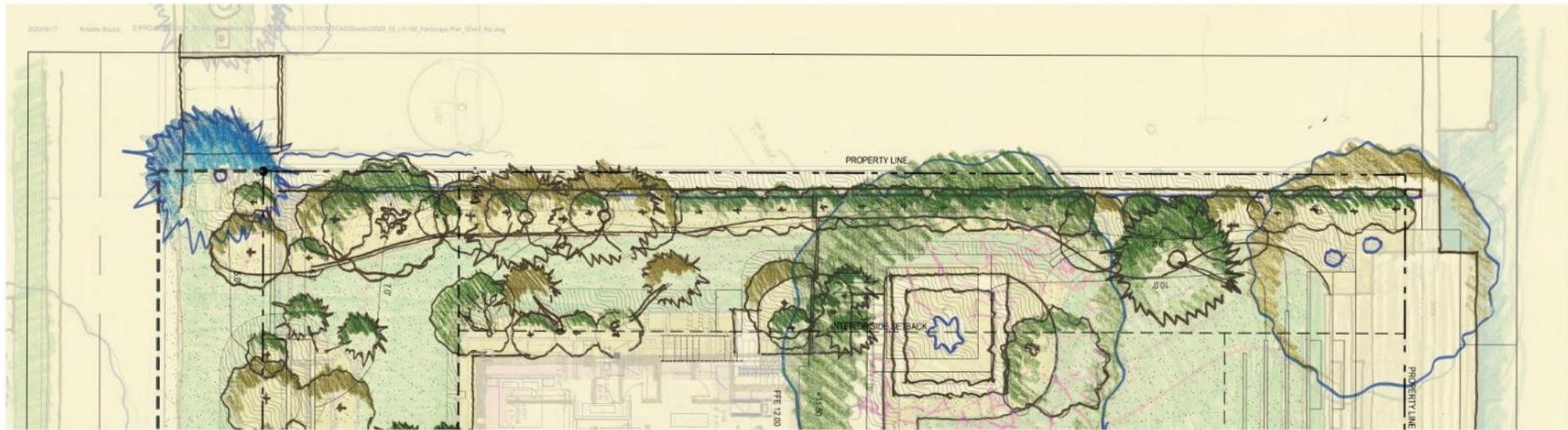






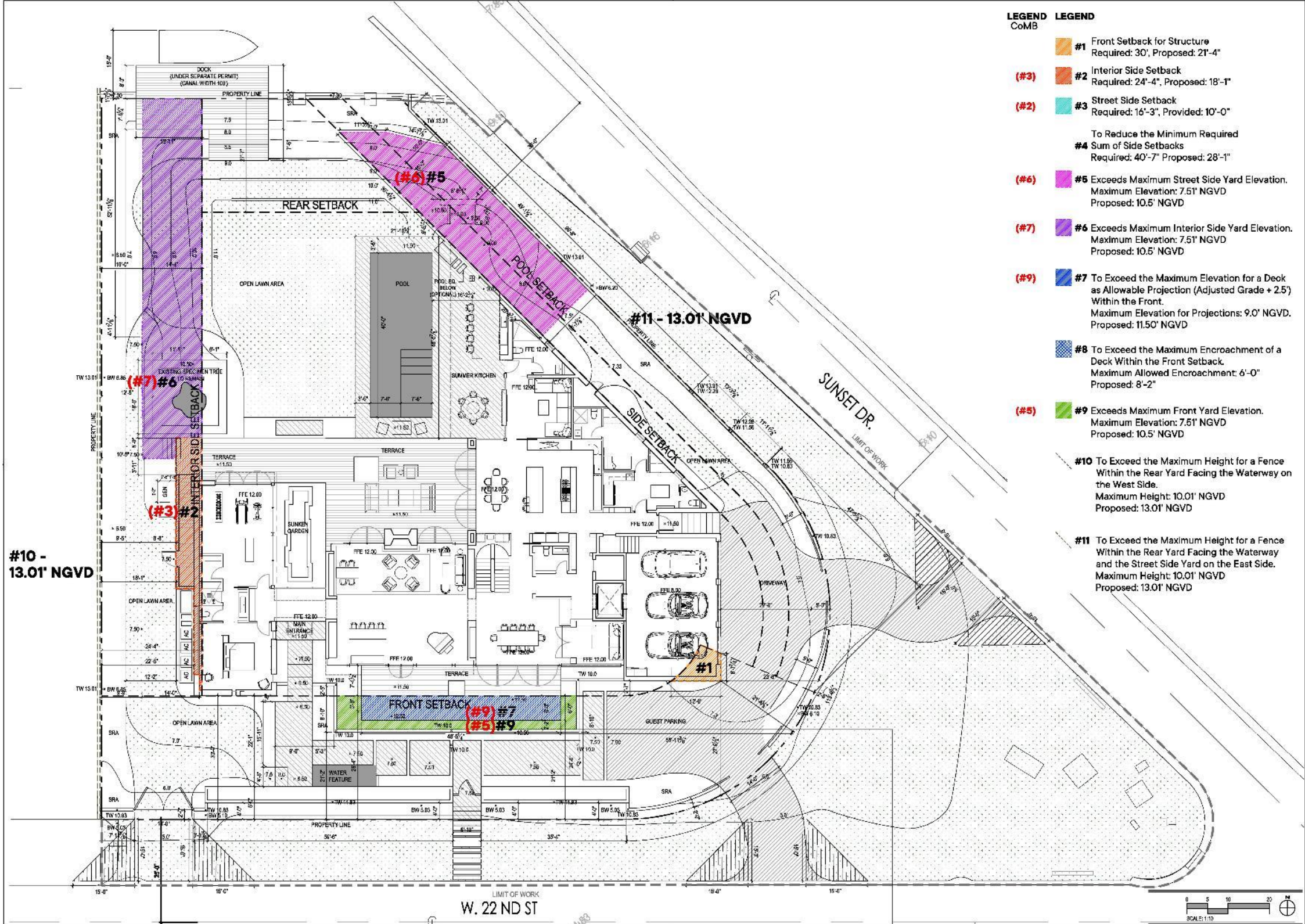
West Elevation





1531 22nd St. – East Elevation





- LEGEND**
- CoMB**
  - #1** Front Setback for Structure  
Required: 30'-4", Proposed: 21'-4"
  - (#3) #2** Interior Side Setback  
Required: 24'-4", Proposed: 18'-1"
  - (#2) #3** Street Side Setback  
Required: 16'-3", Provided: 10'-0"  
To Reduce the Minimum Required  
**#4** Sum of Side Setbacks  
Required: 40'-7" Proposed: 28'-1"
  - (#6) #5** Exceeds Maximum Street Side Yard Elevation.  
Maximum Elevation: 7.51' NGVD  
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Maximum Height: 10.01' NGVD  
Proposed: 13.01' NGVD
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Miller Residence  
**1515 W. 22nd Street**  
**Miami Beach, FL**  
 1515 W. 22nd Street, Miami Beach, FL

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1	ISSUES	DATE
2	CONVERTS	
3	SMA	10/18/2020
4	REVISITTA	

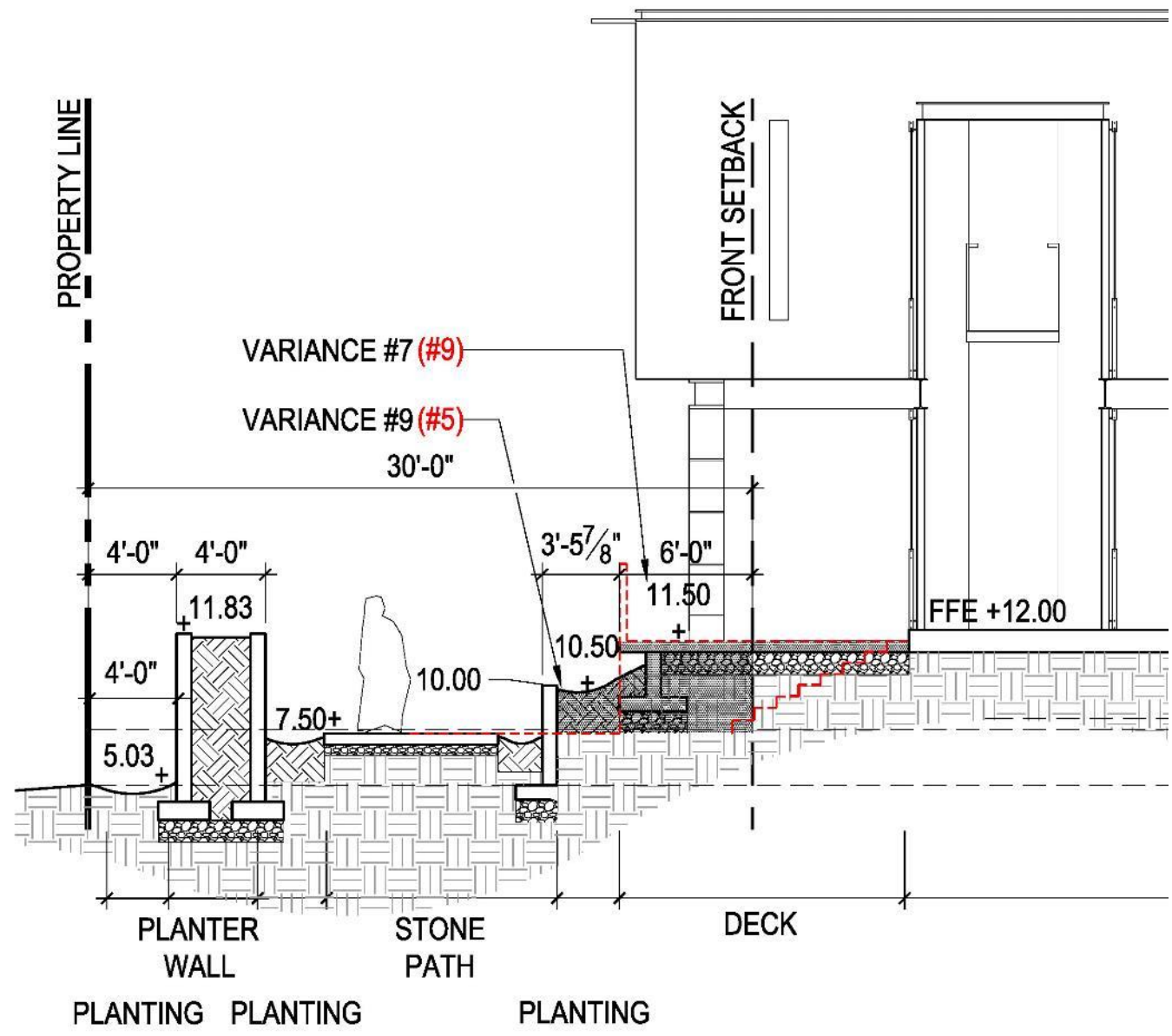
SCALE: LANDSCAPE ARCHITECT, Raymond Jungles

SHEET TITLE:  
**VARIANCE DIAGRAM**

Scale: 1"=10'  
 Drawn By: KJ, PB  
 Checked By: GCH  
 Date: 10/18/2020

SHEET NUMBER:  
**GI-005**



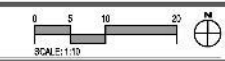
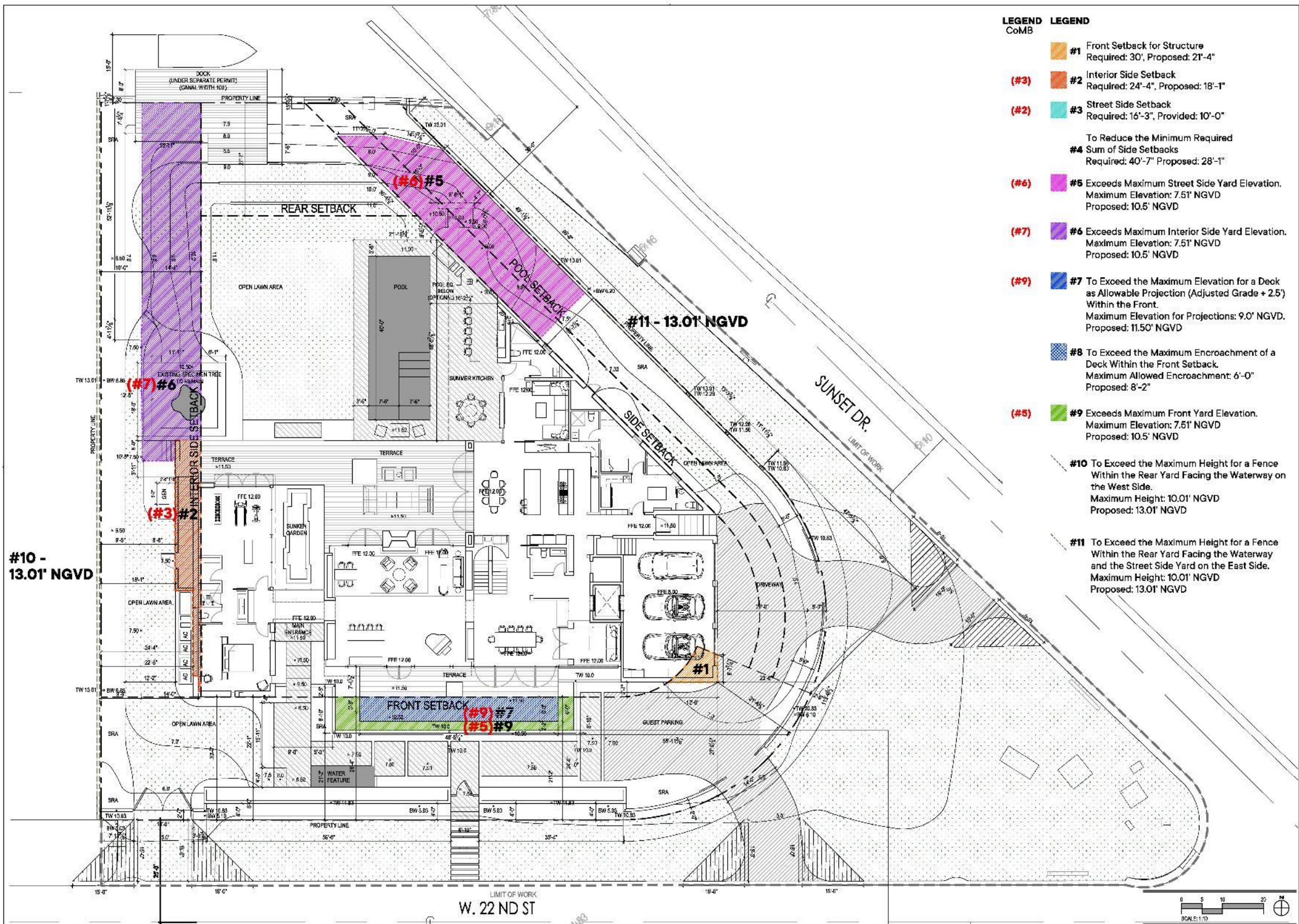


Front Deck Section

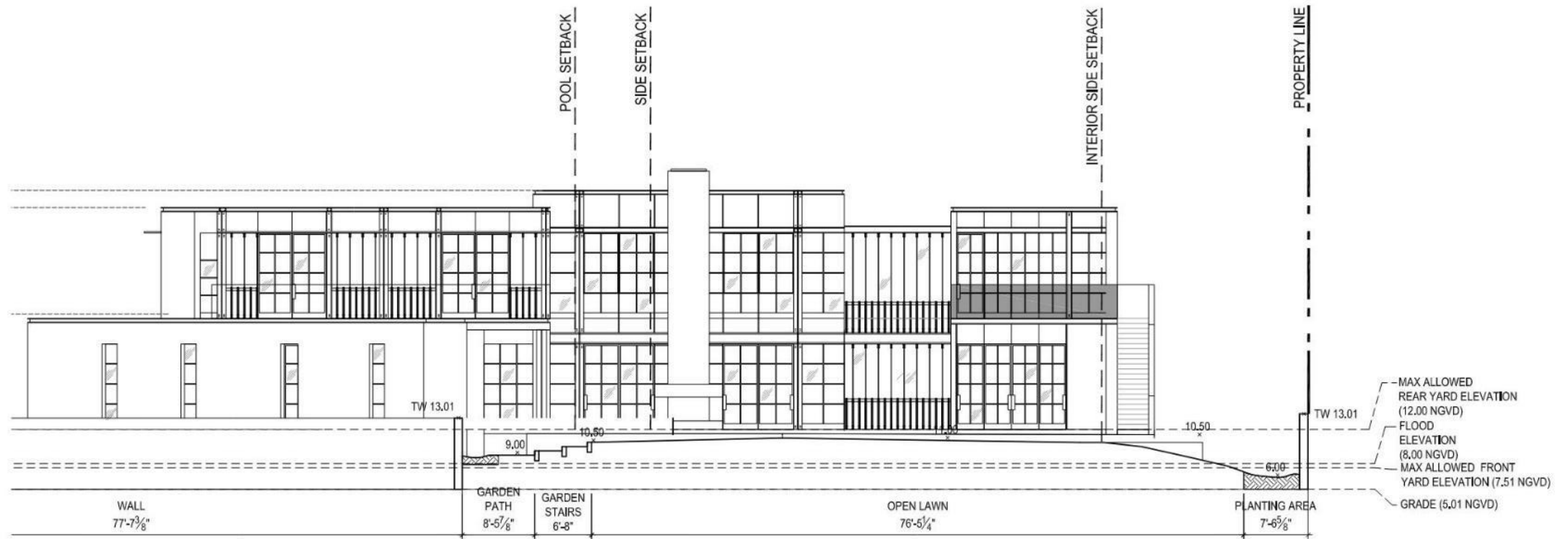




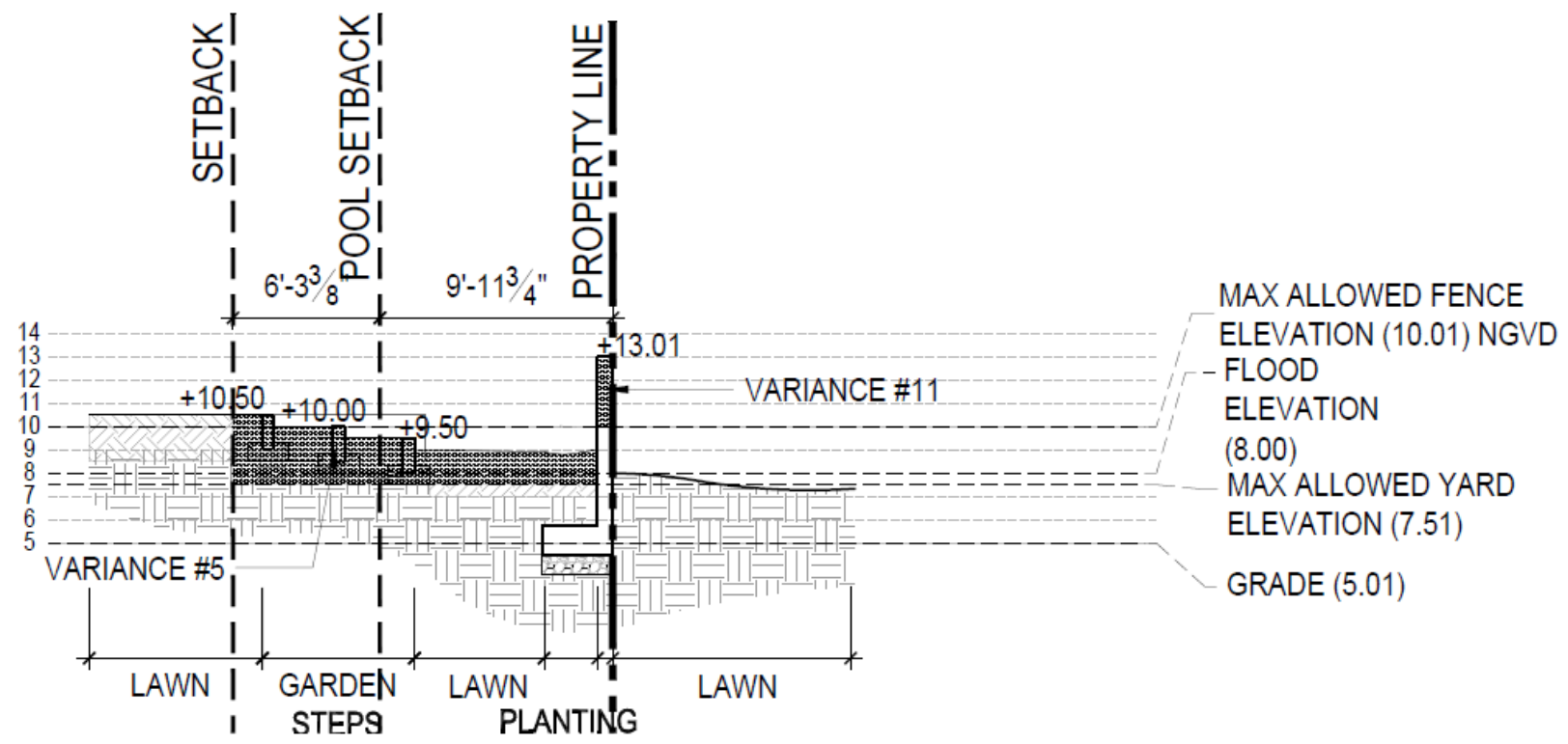
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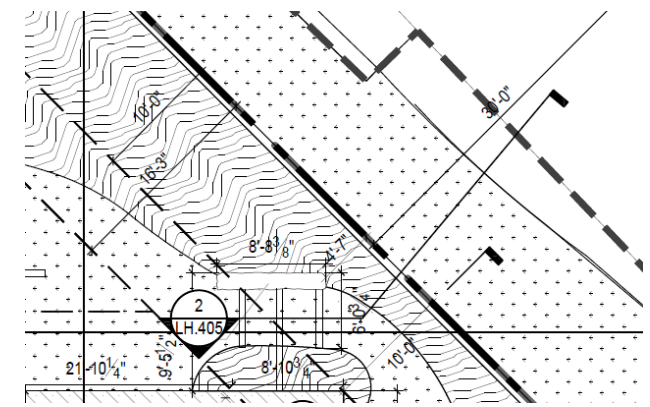




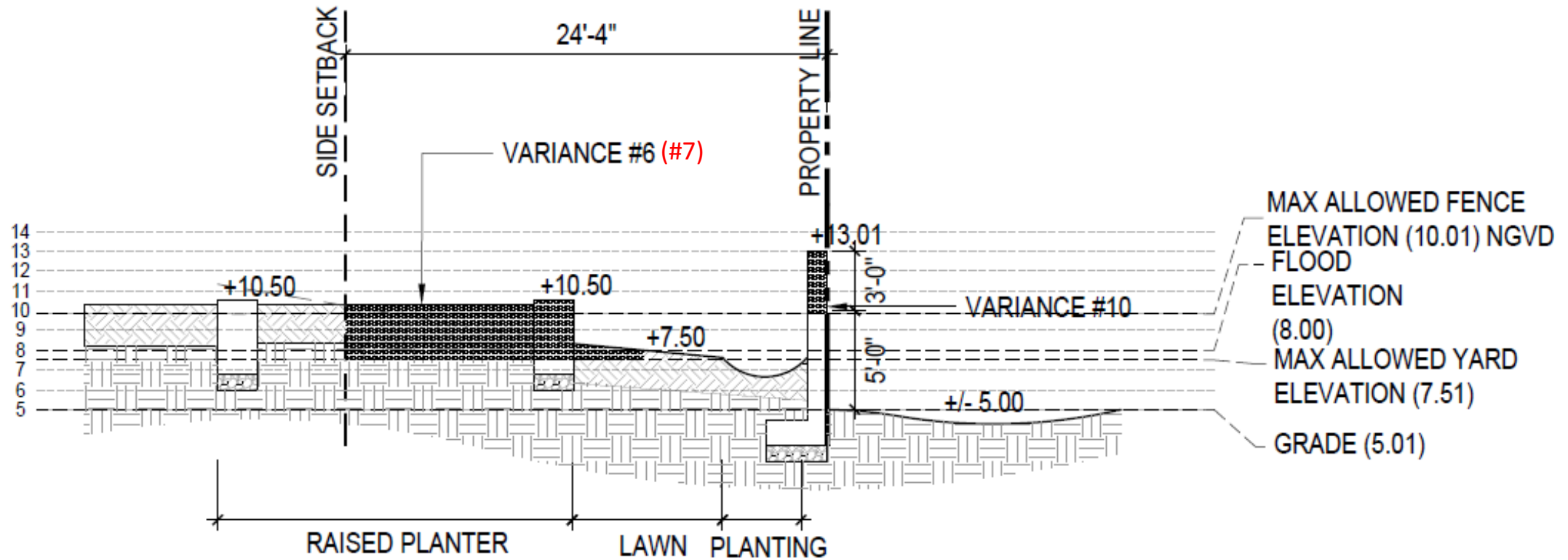




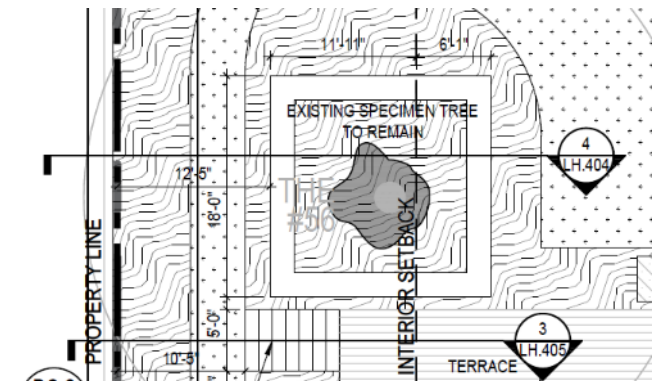
East Side Yard Section



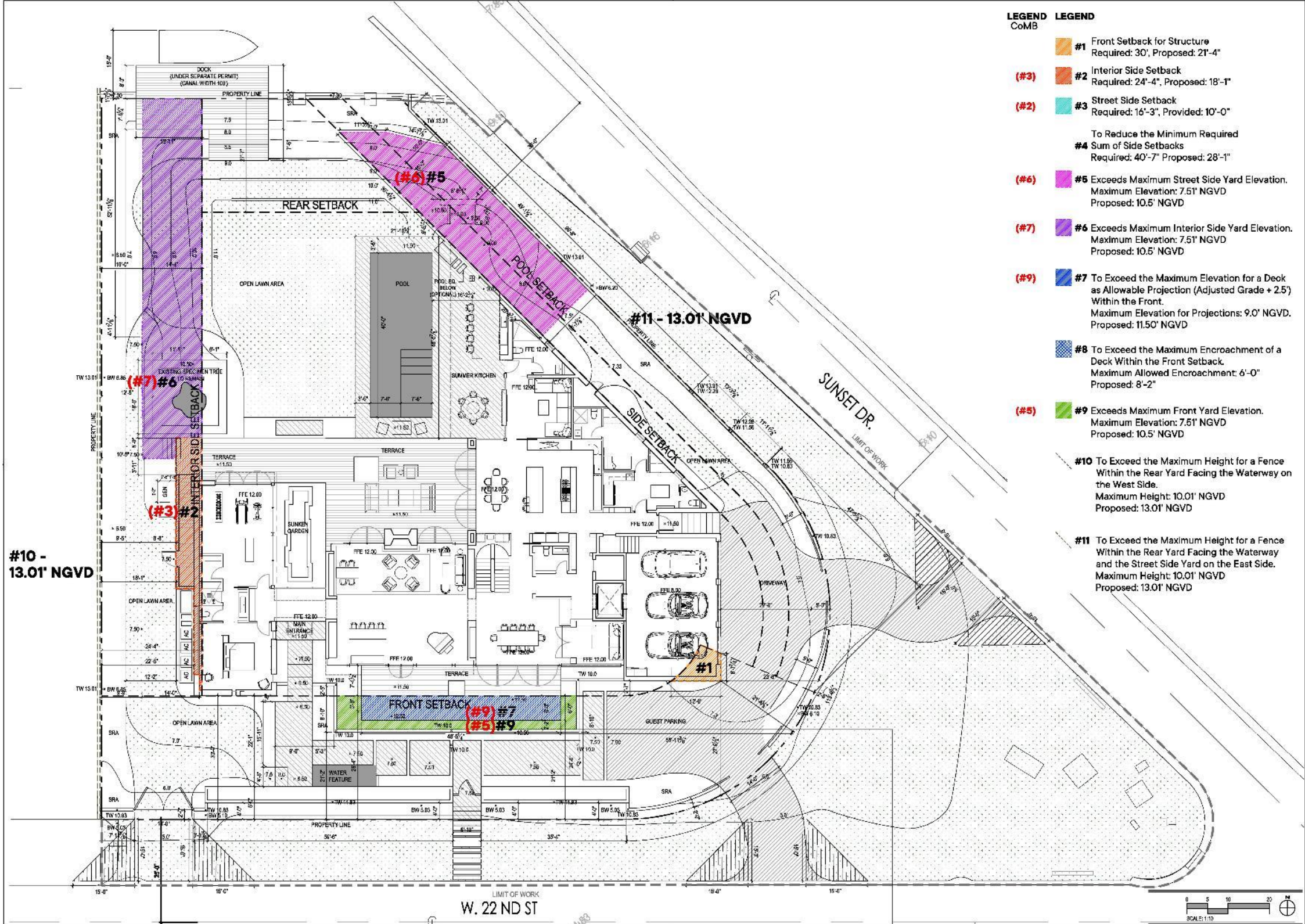




West Side Yard Section







- LEGEND CoMB**
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Miller Residence  
 1515 W. 22nd Street  
 Miami Beach, FL  
 1515 W. 22nd Street, Miami Beach, FL

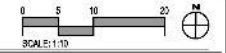
REVISIONS  
 1. 12/2022 DRE CORRECTS  
 2. 10/2022 SRA SUBMITTA

SCALE  
 LANDSCAPE ARCHITECT, Registered Professional

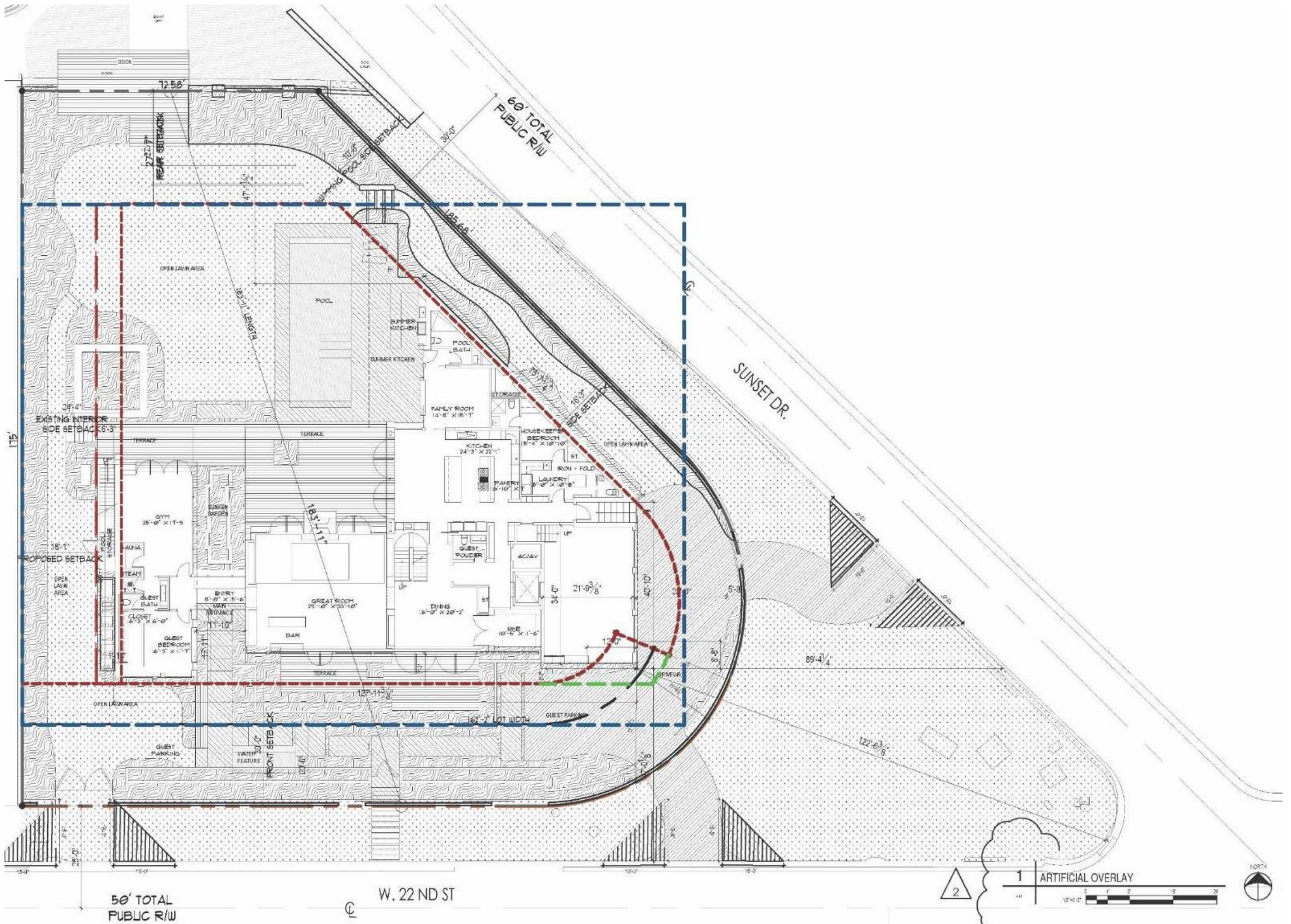
SHEET TITLE:  
 VARIANCE DIAGRAM

Scale: 1"=10'  
 Drawn By: KJ, PB  
 Checked By: GCH  
 Date: 10/18/2020

SHEET NUMBER  
 GI-005







50' TOTAL PUBLIC R/W

W. 22 ND ST

1 ARTIFICIAL OVERLAY

2









CANOPY PLAN



LEGEND

- Property Line
- Setbacks
- Planting Area
- Water
- Lawn
- Interior
- Shallow Retention Area
- Existing Planting to Remain (Blue Line, Typical)

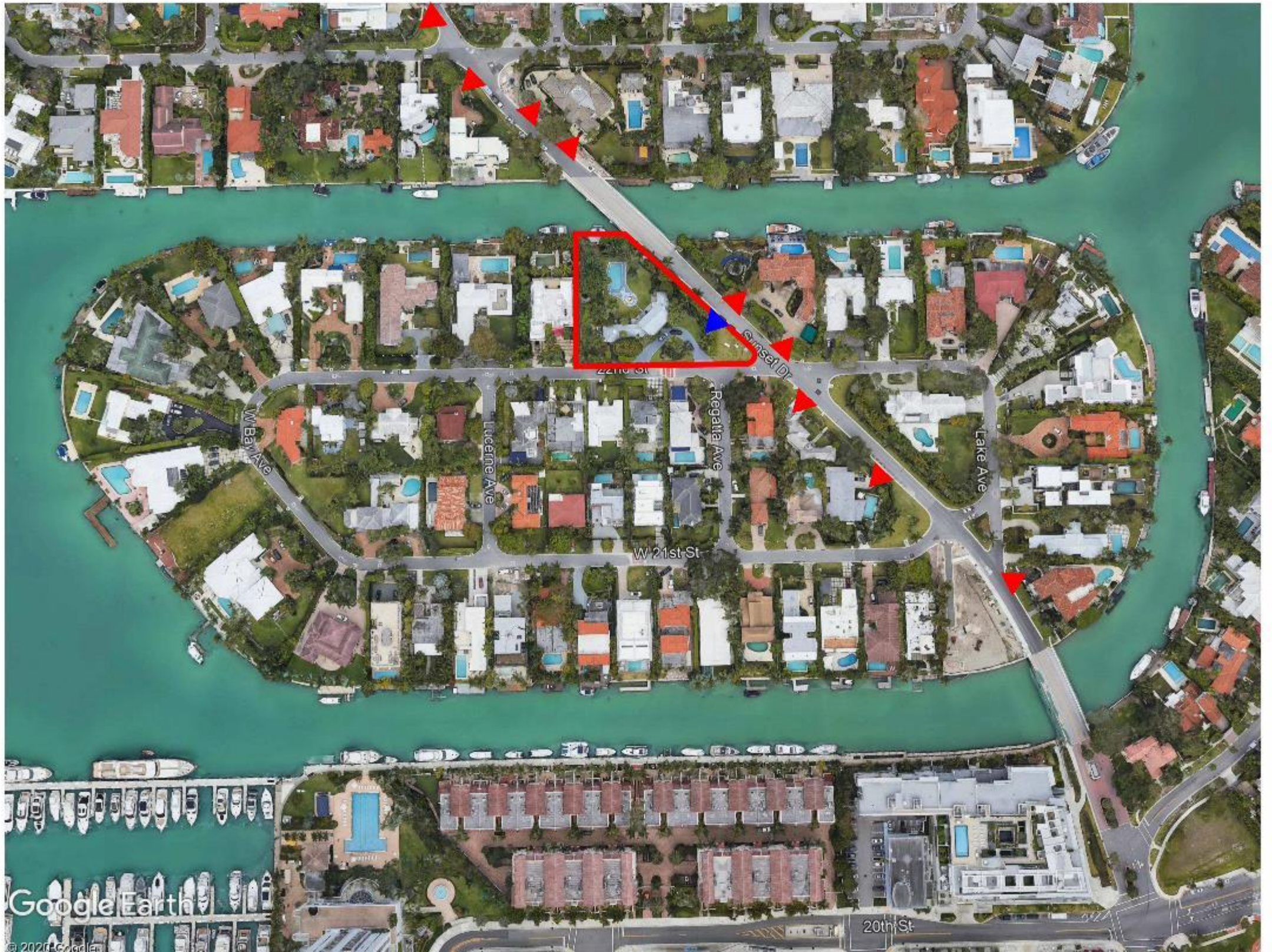
NOTES

- 1 Existing mature Live Oaks
- 2 Existing mature Royal Palms
- 3 Replace Dwarf Clusia with Lignum vitae
- 4 Existing mature Sea Grape
- 5 Existing Champion Tabebuia rosea
- 6 Relocated Mature Royal Palms from on site.
- 7 Mature Live Oak
- 8 Copernicia baileyana
- 9 Specimen sculptural trees TBD
- 10 1Caesalpinia granadillo
- 11 Casia bakeriana
- 12 Mature Thrinax radiata
- 13 Character Sabal Palms
- 14 Sabal domingensis
- 15 Clusia rosea specimen
- 16 Specimen American Oil Palm
- 17 Character Understory Tree TBD
- 18 Misc. Understory Trees TBD
- 19 Relocated Mature Plumeria rubra from on site
- 20 Character Simpson Stopper
- 21 Misc. understory Shrubs TBD
- 22 Fruit Tree TBD
- 23 Character multi-trunk, Sea Grape
- 24 Understory palms
- 25 Existing Mature Ficus benjamina hedge
- 26 Mature Existing Black Olive Tree
- 27 Existing Mature Coconut Palm
- 28 Sculptural low light understory tree
- 29 Grasses and Wild Flowers







































# PLANS.ELEVATIONS.SECTIONS











CLIENT

MILLER RESIDENCE

1515 W 29TH ST  
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates  
architecture . interior design . planning

2850 N E Avenue, Suite 315, Miami, Florida 33137  
T. 305.657.9323  
jbriley@jba.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#AR2011358

TO THE BEST OF THE ARCHITECT'S OR  
ENGINEER'S KNOWLEDGE, THE PLANS AND  
SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
10	9/2020	DRB SUBMITAL
1	9/2020	
2	12/7/2020	

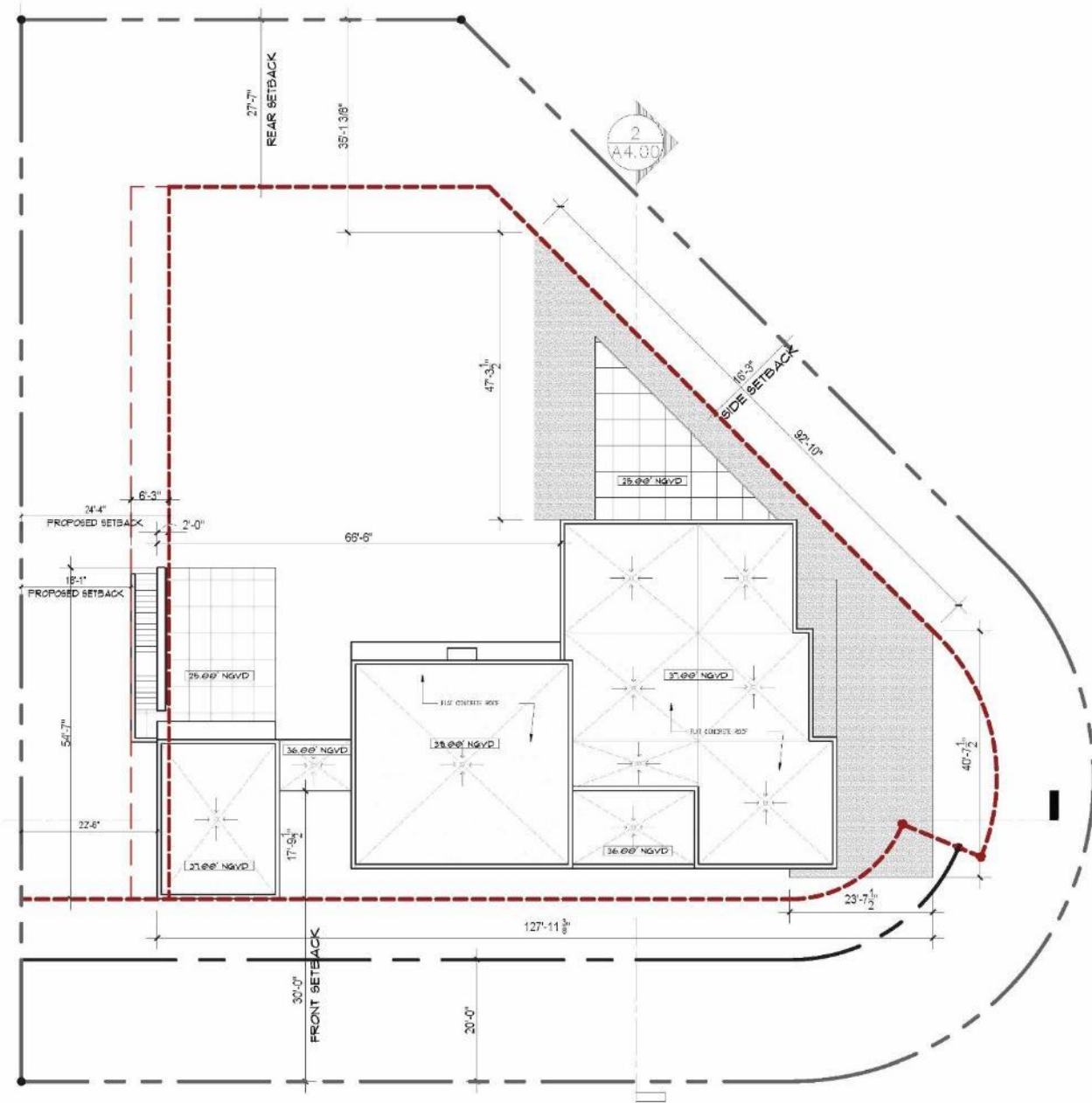
PROJECT NO:  
DRAWN BY: DE / MC / MS  
CHECKED BY: JB  
PHASE: SCHEMATIC DESIGN  
P.L.O. DATE: 12.07.2020

SHEET TITLE

ROOF PLAN

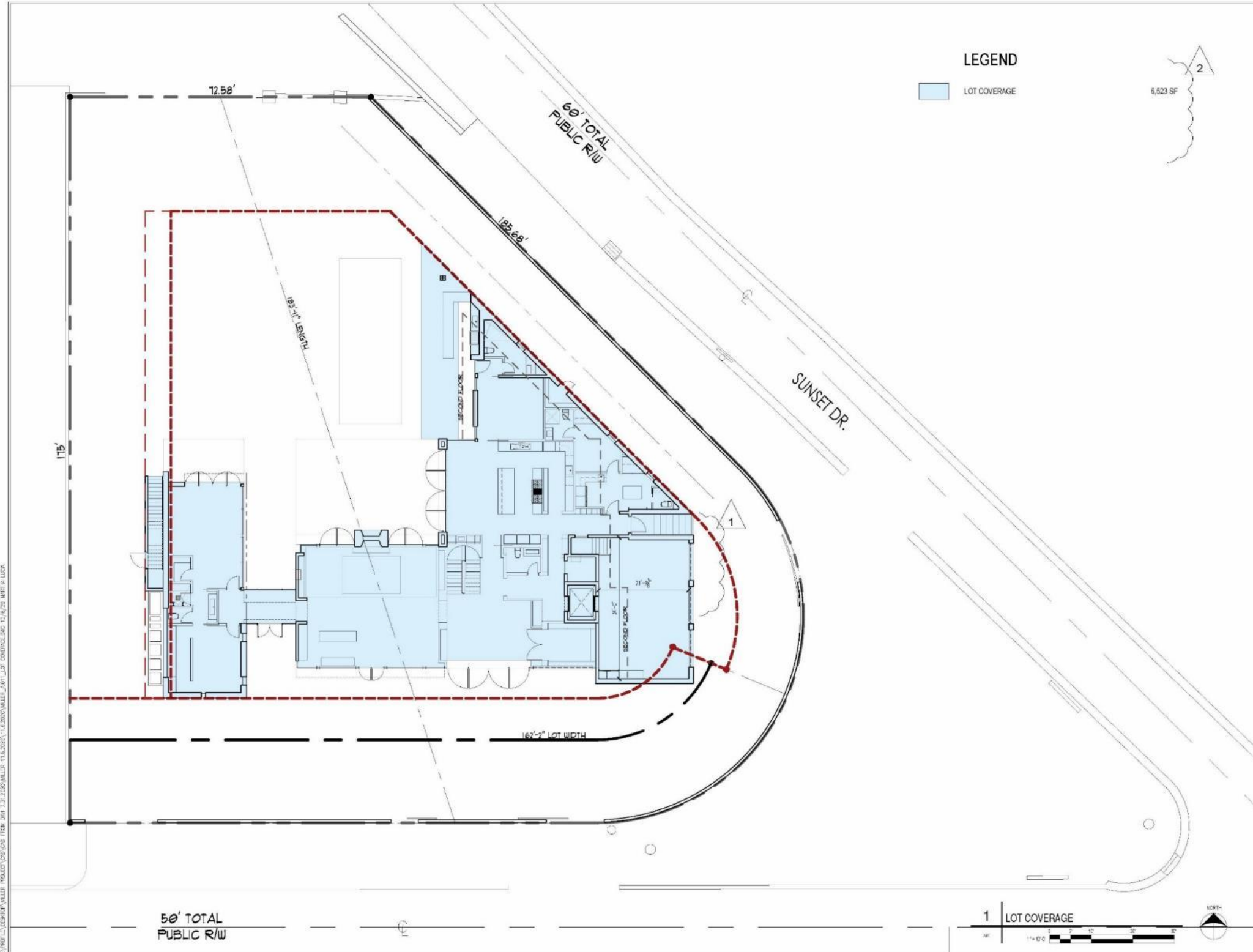
SHEET NUMBER

A3.02



PROJECT LOCATION: MILLER RESIDENCE, 1515 W 29TH ST, MIAMI BEACH, FL 33140. DATE: 12/7/2020. DRAWN BY: DE/MC/MS. CHECKED BY: JB.





**CLIENT**

**MILLER RESIDENCE**  
1515 W 29TH ST  
MIAMI BEACH, FL 33140

---

**DESIGNER**

**jenifer briley + associates**  
architecture . interior design . planning  
3800 W 10 AVENUE, SUITE 301, MIAMI, FLORIDA, 33135  
7.022.457.4323  
jen@jenbriley.com

---

**CONSULTANTS**

---

**REGISTRATION**

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#ARD011358

---

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS CONFORM WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.

---

**ISSUE**

MARK	DATE	DESCRIPTION
	10/19/2020	DRB SUBMITTAL
▲	11/9/2020	
▲	12/7/2020	

---

**PROJECT NO.:** \_\_\_\_\_  
**DRAWN BY:** DE / MC / MS  
**CHECKED BY:** JB  
**PHASE:** SCHEMATIC DESIGN  
**PLOT DATE:** 12.07.2020

---

**SHEET TITLE**

**LOT COVERAGE**

---

**SHEET NUMBER**

**A0.11**

D:\PROJECTS\RESIDENTIAL\MILLER RESIDENCE\PROJECT\CAD\200 - PLOT - 2020\MILLER 11.6.2020\11.6.2020\MILLER\_0011 LOT COVERAGE.dwg 12/16/20 10:40:16 AM J.B.



## PROJECT UNIT SIZE CALCULATIONS

MAXIMUM ALLOWED 50%	12,826 SF
MAXIMUM PROPOSED :	
GROUND FLOOR	5,617 SF
SECOND FLOOR	3,926 SF
<b>TOTAL PROPOSED</b>	<b>9,543 SF</b>

CLIENT

### MILLER RESIDENCE

1515 W 29TH ST  
MIAMI BEACH, FL 33140

DESIGNER

**jenifer briley + associates**  
architecture . interior design . planning

3800 FT 10 Avenue, Suite 101, Miami, Florida, 33133  
7.336.447.9033  
jenifer@jba.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#ARD011358

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ISSUE

MARK	DATE	DESCRIPTION
10/19/2020	DRB SUBMITAL	
11/9/2020		
12/7/2020		

PROJECT NO:

DRAMA BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

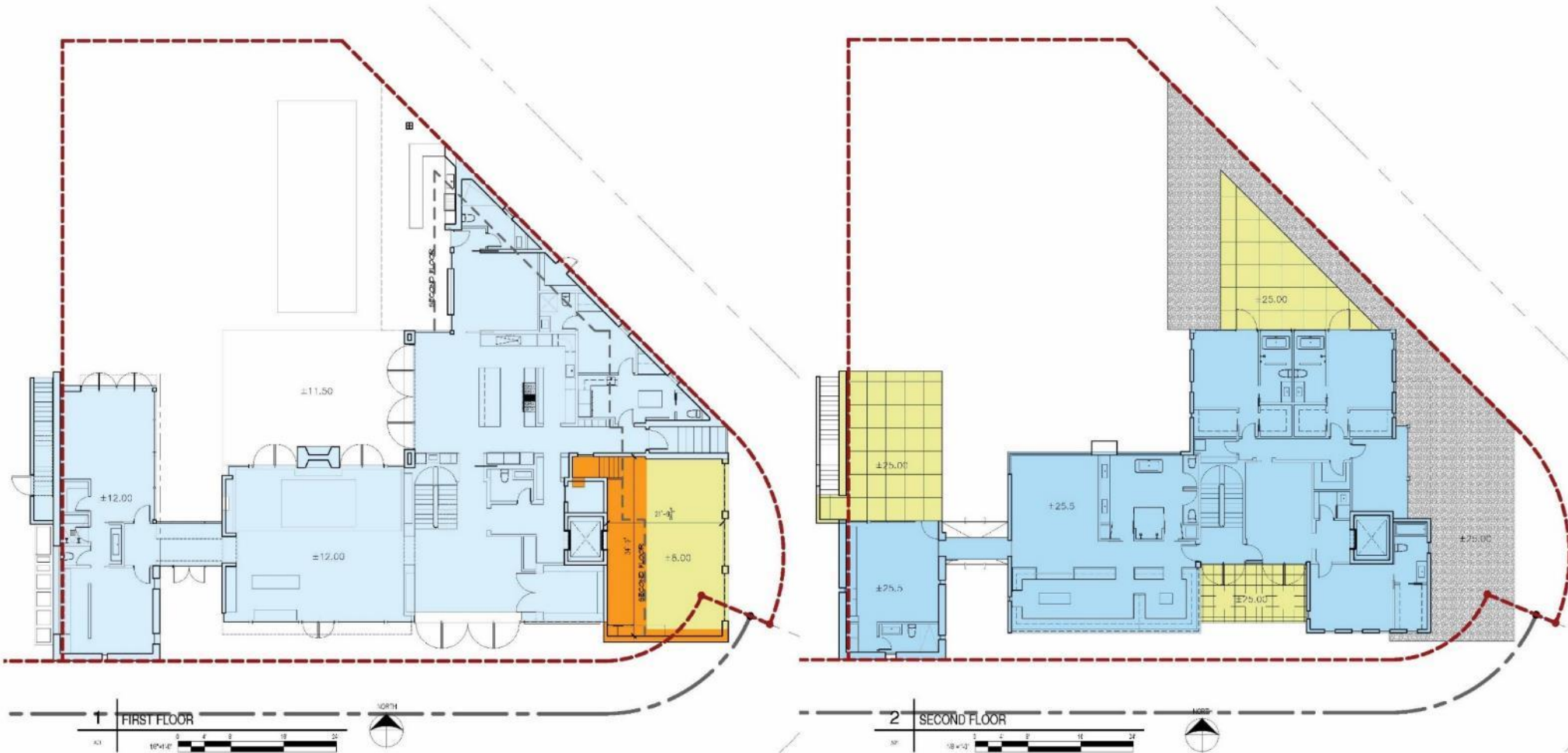
PLG DATE: 12.07.2020

SHEET TITLE

### UNIT SIZE DIAGRAMS

SHEET NUMBER

# A0.12



### LEGEND

<span style="color: lightblue;">■</span>	MAIN HOUSE	5,285 SF
<span style="color: orange;">■</span>	GARAGE PORTION COUNTED	332 SF
<b>TOTAL PROPOSED</b>		<b>5,617 SF</b>

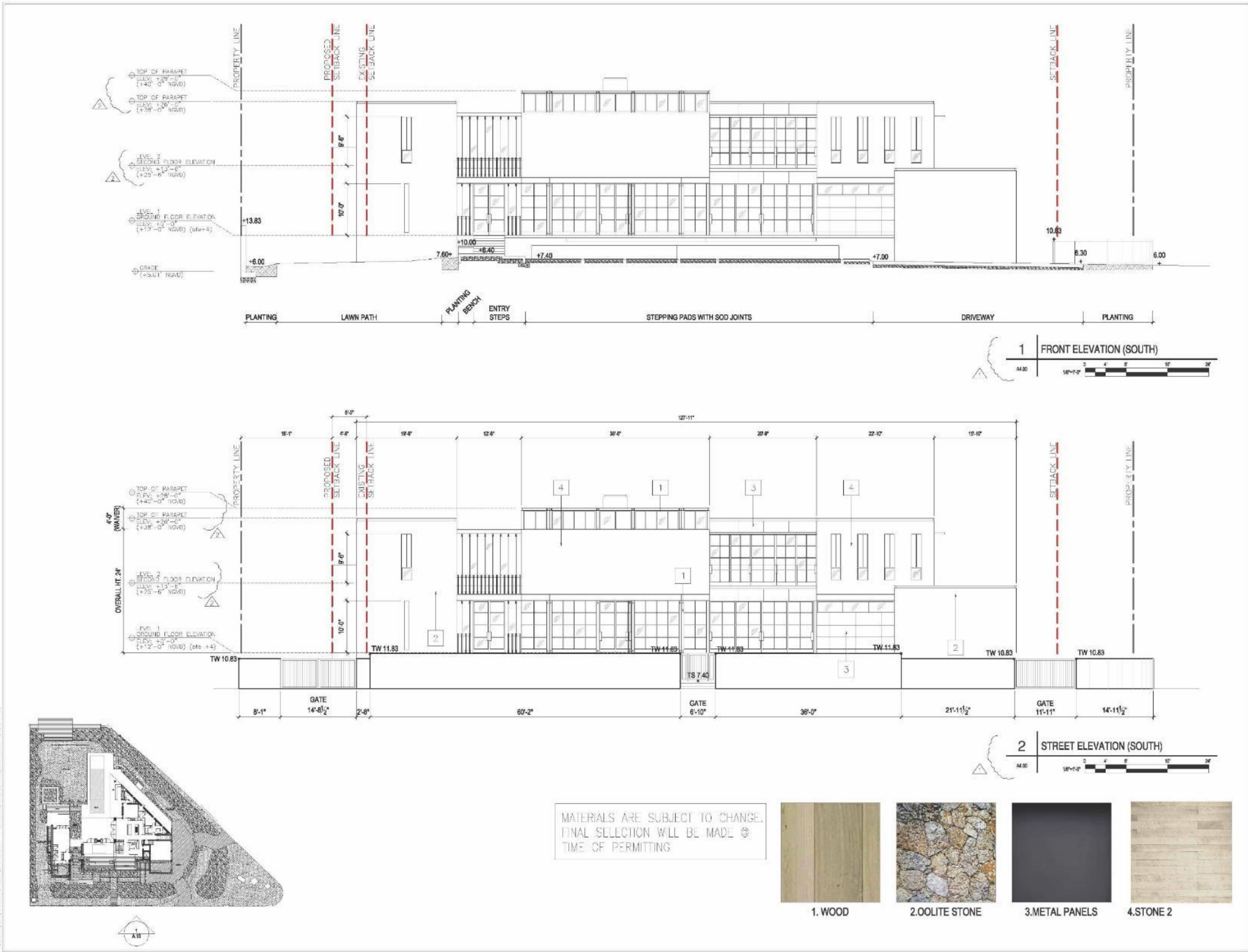
### GARAGE CALCULATION

GARAGE TOTAL	832 SF
INCLUDED IN AREA	332 SF

### LEGEND

<span style="color: lightblue;">■</span>	MAIN - 2ND FLOOR	3,926 SF
<span style="color: yellow;">■</span>	TERRACES NOT COUNTED IN LOT COVERAGE	1,254 SF
<b>TOTAL PROPOSED</b>		<b>5,180 SF</b>





CLIENT

## MILLER RESIDENCE

1515 W 89th ST  
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates  
architecture . interior design . planning

7000 NE 14 Avenue, Suite 305, Fort Lauderdale, FL 33304  
Tel: 954.567.9100  
JBriley@jba.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#ARCO11358

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ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	1/9/2020	
△	2/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

PROJECT DATE: 11.09.2020

SHEET TITLE

## SOUTH ELEVATION

SHEET NUMBER

# A4.00

MATERIALS ARE SUBJECT TO CHANGE.  
FINAL SELECTION WILL BE MADE @  
TIME OF PERMITTING



1. WOOD



2. OOLITE STONE



3. METAL PANELS



4. STONE 2

C:\Users\mbriley\OneDrive\Documents\11-3-2020\MILLER\_A4.00\_SOUTH ELEVATION 12/9/20 MC



CLIENT:

## MILLER RESIDENCE

1515 W 80th ST  
MIAMI BEACH, FL 33140

DESIGNER:

jenifer briley + associates  
architecture · interior design · planning

10950 NE AVENUE, SUITE 205, GARDEN CITY, FL 33450  
TEL: 561-532-1100  
WWW.JENIFERBRILEY.COM

CONSULTANTS:

REGISTRATION:

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#ARCO11358

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ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	1/19/2020	
△	2/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

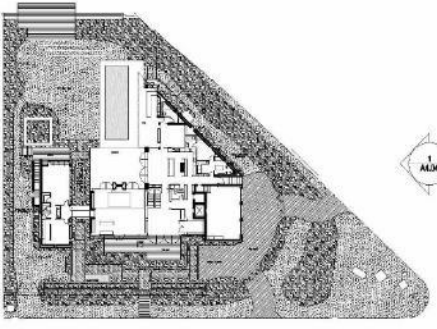
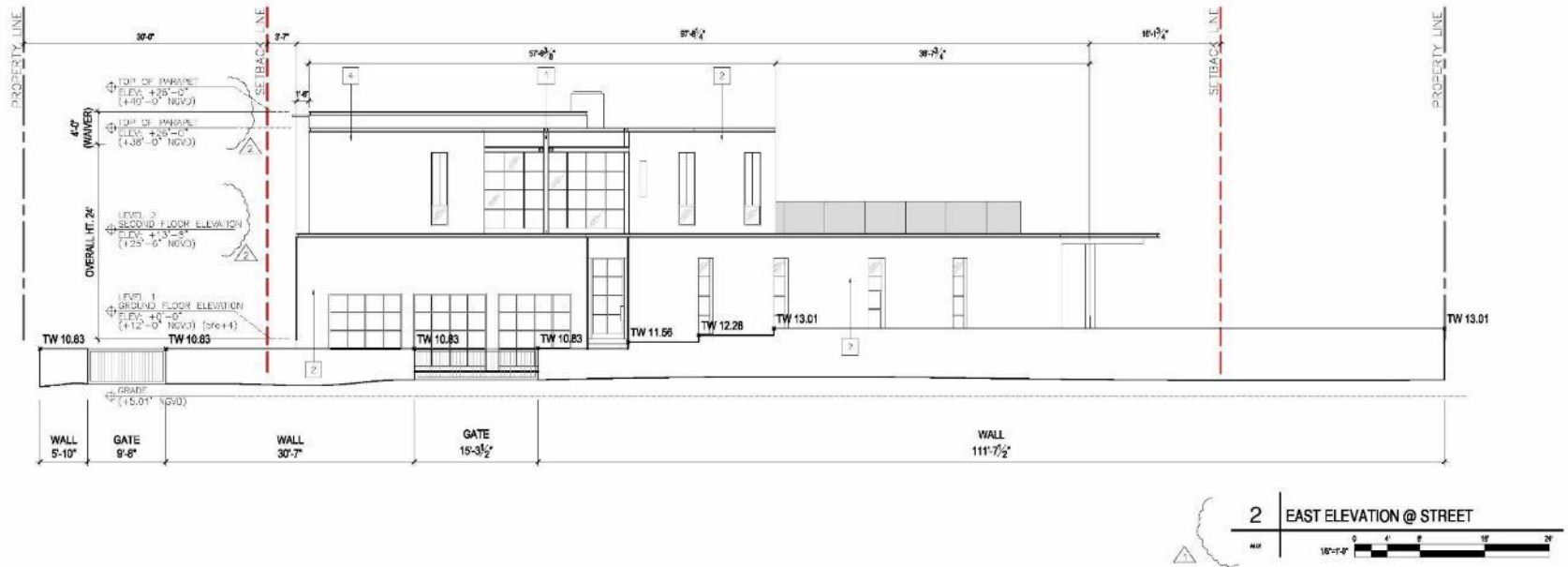
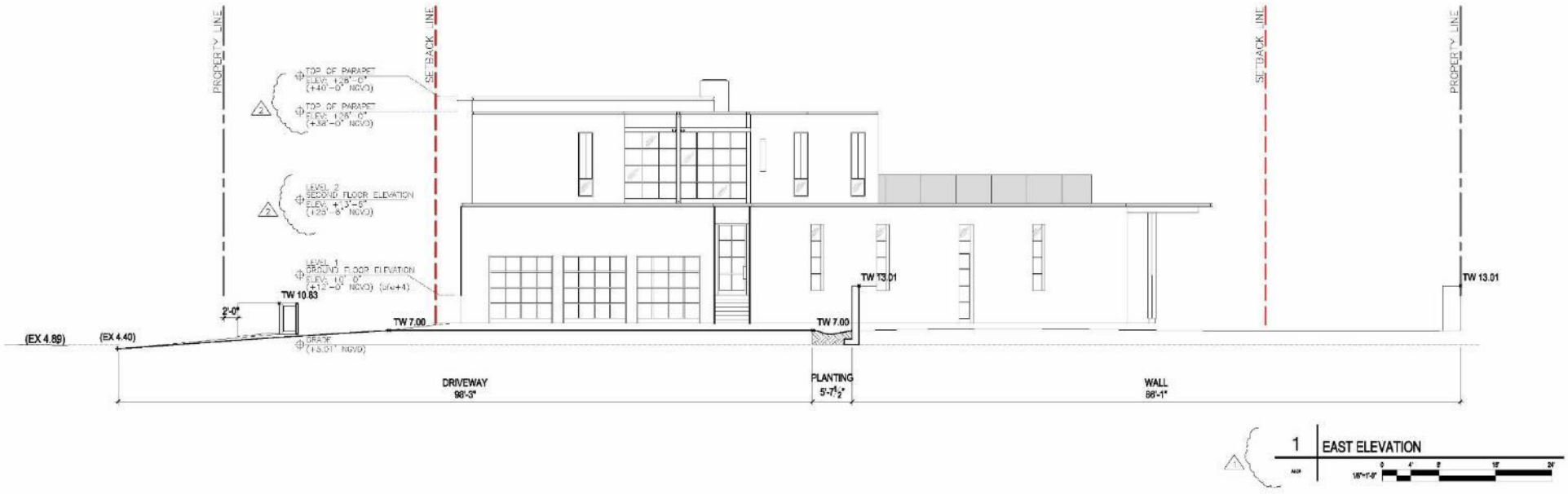
PHASE: SCHEMATIC DESIGN

PILOT DATE: 11.09.2020

SHEET TITLE:

SHEET NUMBER:

# A4.04



MATERIALS ARE SUBJECT TO CHANGE.  
FINAL SELECTION WILL BE MADE @  
TIME OF PERMITTING



1. WOOD



2. OOLITE STONE

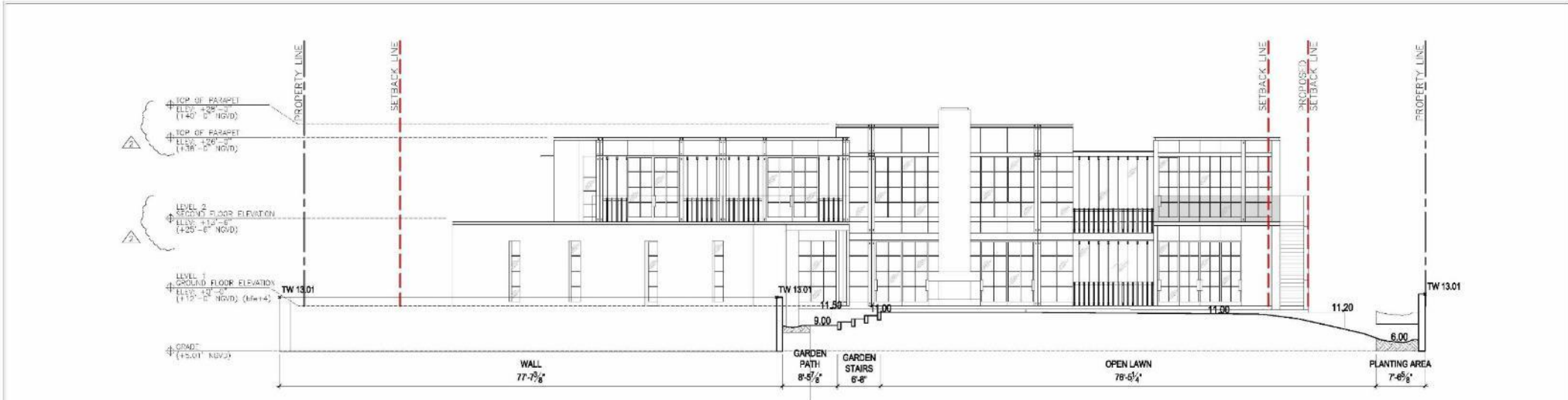


3. METAL PANELS

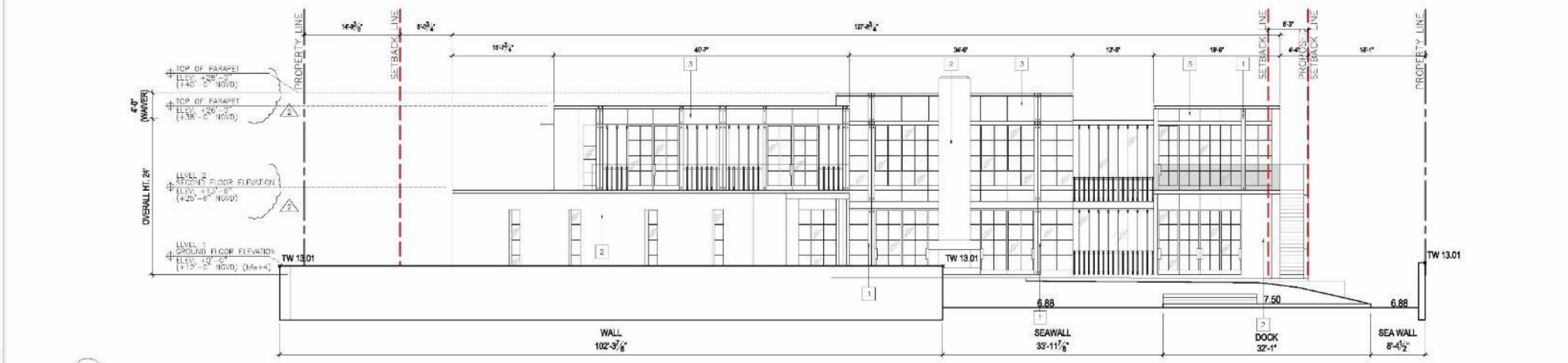


4. STONE 2

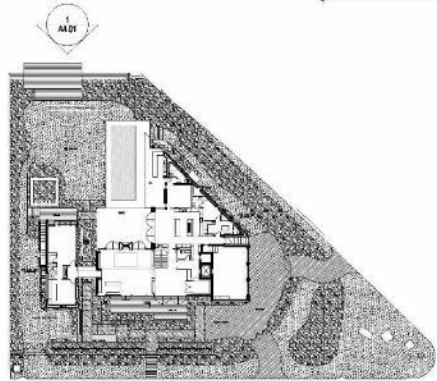




1 REAR ELEVATION (NORTH)



2 REAR ELEVATION (NORTH) FROM SEA WALL



MATERIALS ARE SUBJECT TO CHANGE.  
FINAL SELECTION WILL BE MADE @  
TIME OF PERMITTING



CLIENT:

## MILLER RESIDENCE

1515 W 92ND ST  
MIAMI BEACH, FL 33140

DESIGNER:

jenifer briley + associates  
architecture · interior design · planning

1000 NE 114th Avenue, Suite 205, Aventura, Florida 33154  
Tel: 305.557.1100  
www.jeniferbriley.com

CONSULTANTS:

REGISTRATION:

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#AR0011358

TO THE BEST OF THE ARCHITECT'S OR  
ENGINEER'S KNOWLEDGE, THE PLANS AND  
SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE-SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRG SUBMITTAL
▲	1/19/2020	
△	2/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

PILOT DATE: 11.09.2020

SHEET TITLE:

## NORTH ELEVATION

SHEET NUMBER:

# A4.01







CLIENT

## MILLER RESIDENCE

1515 W 22ND ST  
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates  
architecture . interior design . planning

3827 NE 1st Avenue, Suite 302, Miami, Florida, 33132  
1-305-367-0022  
office@briley.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE:  
#AR0011358

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SPECIFICATIONS COMPLY WITH THE  
APPLICABLE MINIMUM BUILDING CODES AND  
THE APPLICABLE FIRE-SAFETY STANDARDS

ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRR SUBMITTA.
▲	11/9/2020	
▲	12/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / MS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

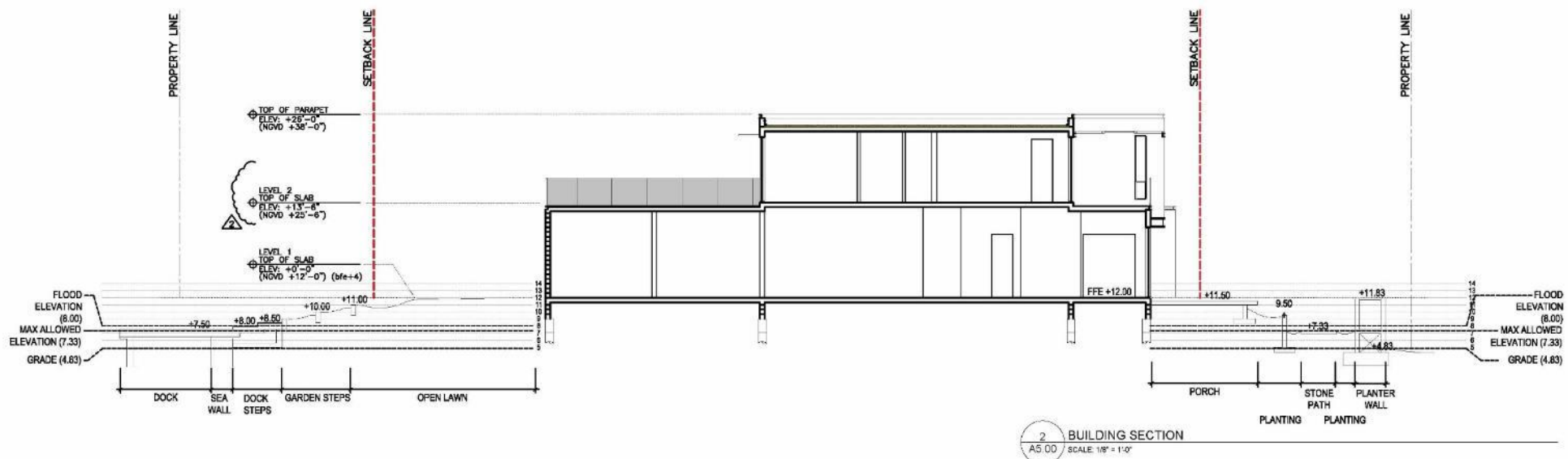
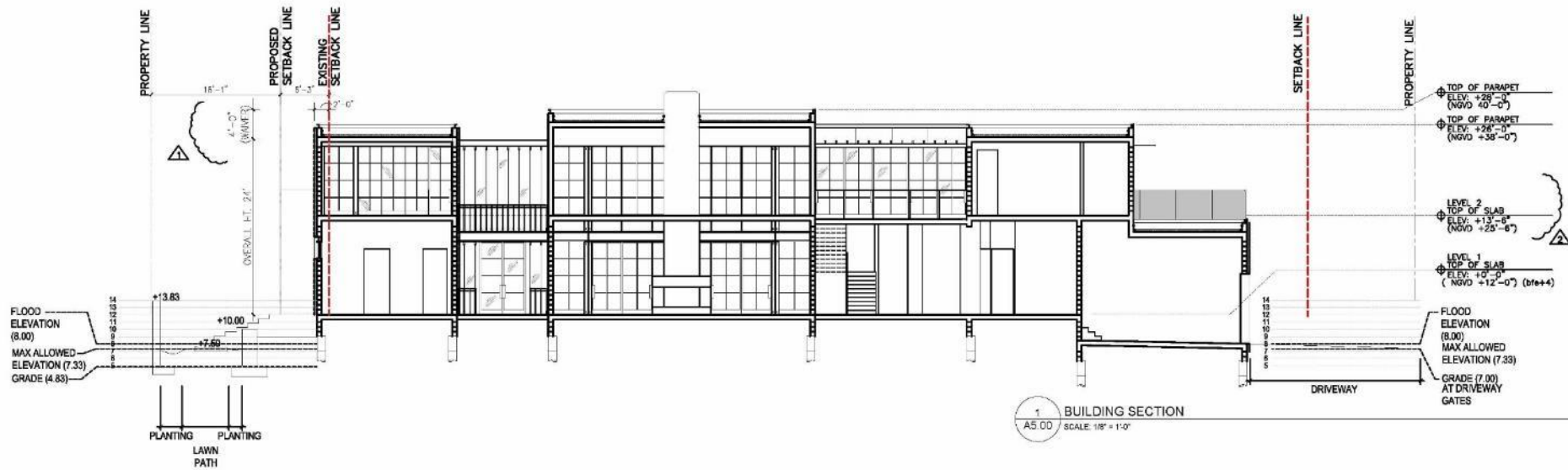
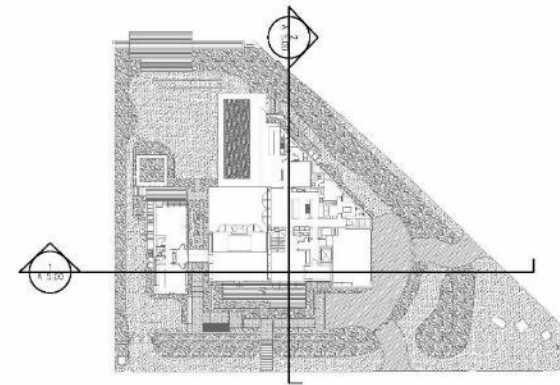
PLOT DATE: 11.09.2020

SHEET TITLE:

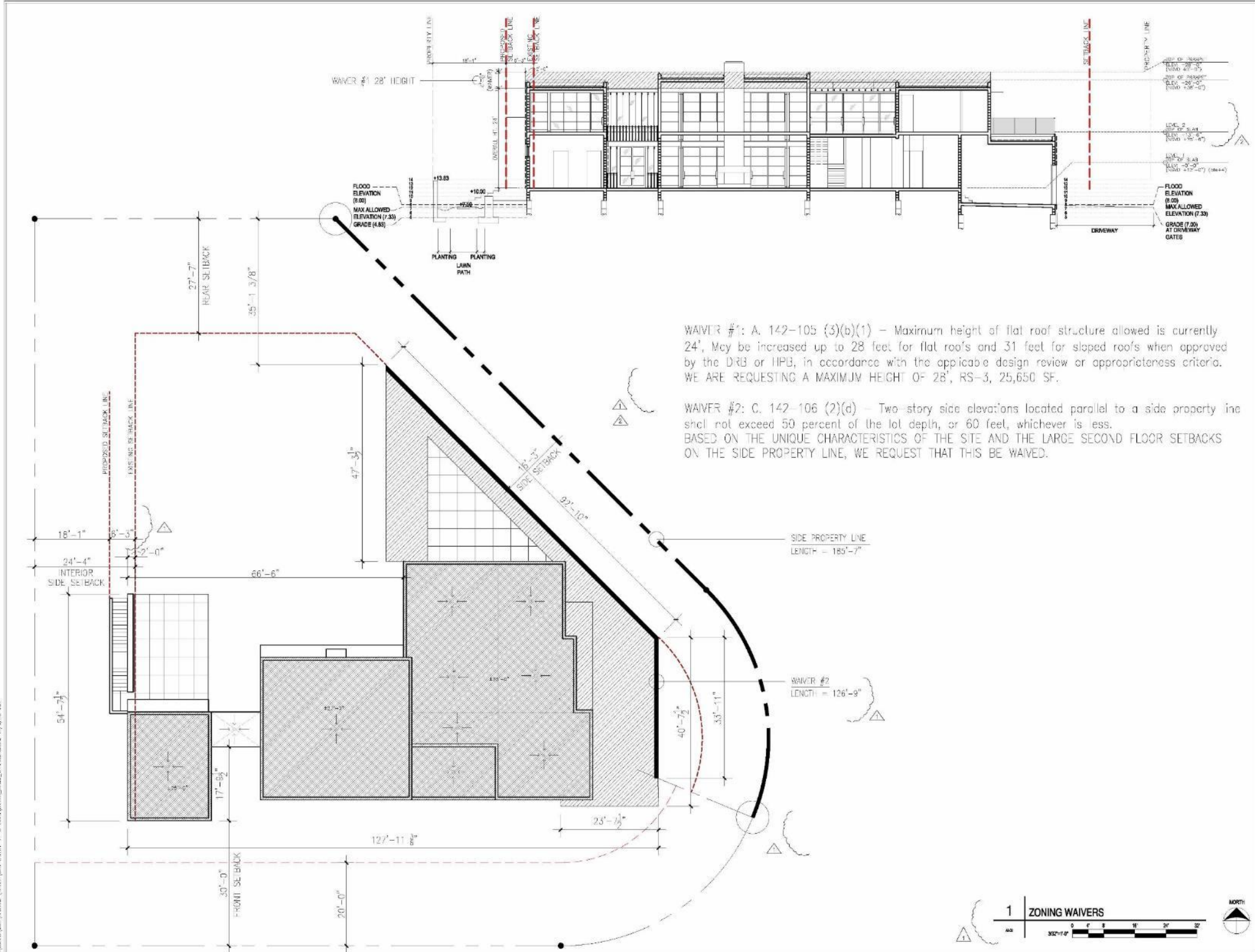
BUILDING SECTIONS

SHEET NUMBER

A5.00







WAIVER #1: A. 142-105 (3)(b)(1) – Maximum height of flat roof structure allowed is currently 24'. May be increased up to 28 feet for flat roofs and 31 feet for sloped roofs when approved by the DRB or HPG, in accordance with the applicable design review or appropriateness criteria. WE ARE REQUESTING A MAXIMUM HEIGHT OF 28', RS-3, 25,650 SF.

WAIVER #2: C. 142-106 (2)(d) – Two-story side elevations located parallel to a side property line shall not exceed 50 percent of the lot depth, or 60 feet, whichever is less. BASED ON THE UNIQUE CHARACTERISTICS OF THE SITE AND THE LARGE SECOND FLOOR SETBACKS ON THE SIDE PROPERTY LINE, WE REQUEST THAT THIS BE WAIVED.

CLIENT

**MILLER RESIDENCE**

1515 W 22ND ST  
MIAMI BEACH, FL 33140

DESIGNER

jenifer briley + associates  
architecture . interior design . planning

3202 NE 1st Avenue, Suite 202, Miami, Florida, 33132  
1-305-367-0022  
office@jbriley.com

CONSULTANTS

REGISTRATION

M. JENIFER BRILEY, AIA  
ARCHITECT OF RECORD  
STATE OF FLORIDA LICENSE  
#AR0011358

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ISSUE

MARK	DATE	DESCRIPTION
	10/19/2020	DRB SUBMITTA
▲	11/9/2020	
▲	12/7/2020	

PROJECT NO:

DRAWN BY: DE / MC / WS

CHECKED BY: JB

PHASE: SCHEMATIC DESIGN

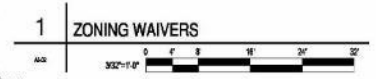
PLOT DATE: 11.09.2020

SHEET TITLE:

**ZONING WAIVERS**

SHEET NUMBER

**A7.00**



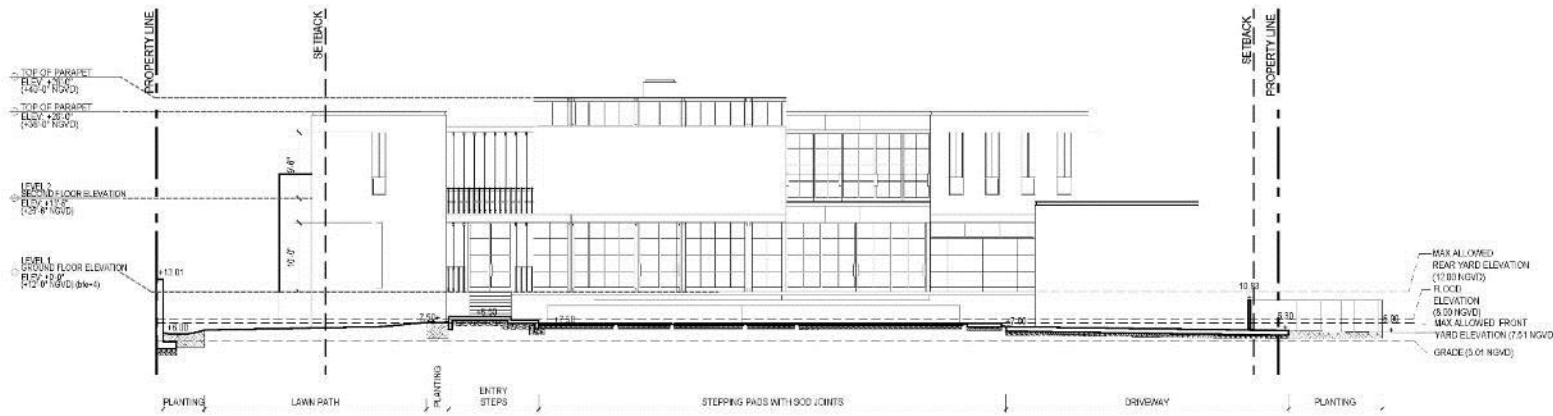




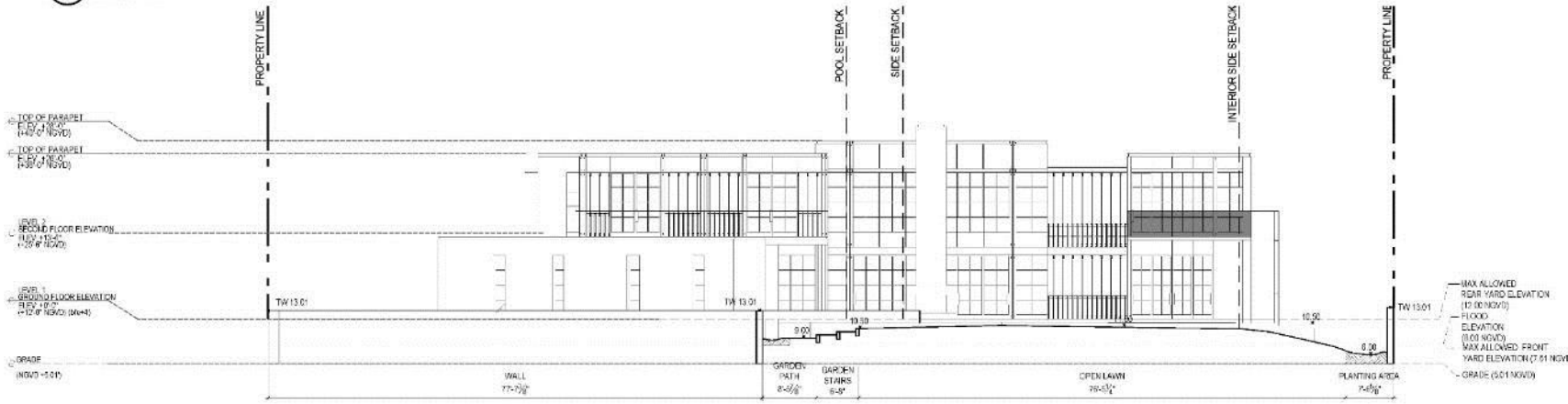




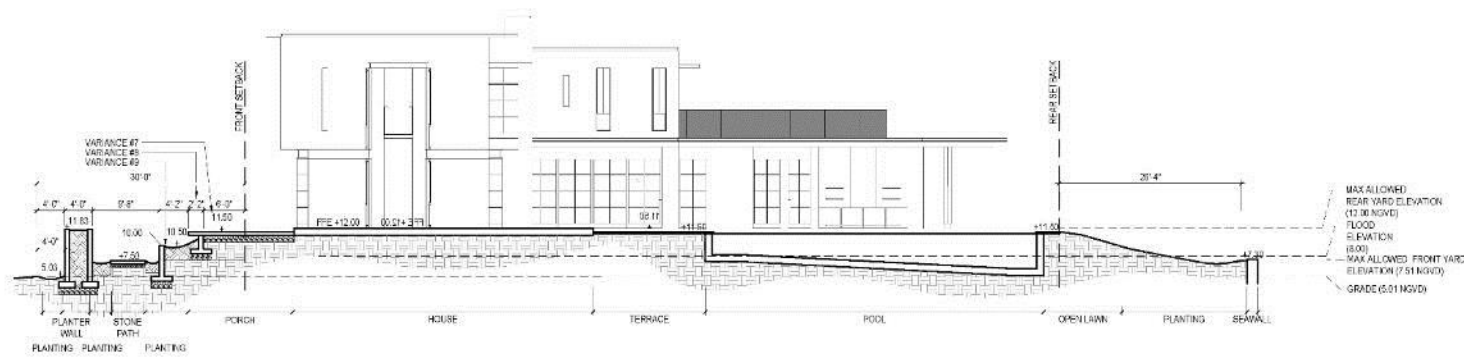




**1 FRONT SECTION**  
 Scale: 1"=10'-0"



**2 REAR SECTION**  
 Scale: 1"=10'-0"



**3 SITE SECTION CUT THROUGH PORCH AND POOL**  
 Scale: 1"=10'-0"

Miller Residence  
 1515 W. 22nd Street  
 Miami Beach, FL  
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS	DATE	BY	DESCRIPTION
11/09/2020			ORIG COMMENTS
12/01/2020			FINAL SUBMITTAL

SEAL: \_\_\_\_\_

SHEET TITLE  
**HARDSCAPE SECTIONS**

Scale: 1/8" = 1'-0"  
 Drawn By: JBL/PE  
 Checked By: SCH  
 Date: 10/19/2020

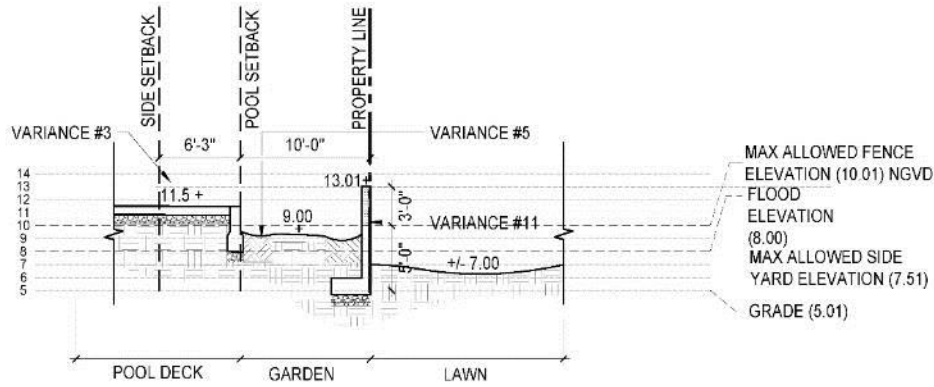
SHEET NUMBER  
**LH.403**

10/19/2020 10:00 AM JBL/PE 1515 W. 22nd Street, Miami Beach, FL 33130 1515 W. 22nd Street, Miami Beach, FL 33130

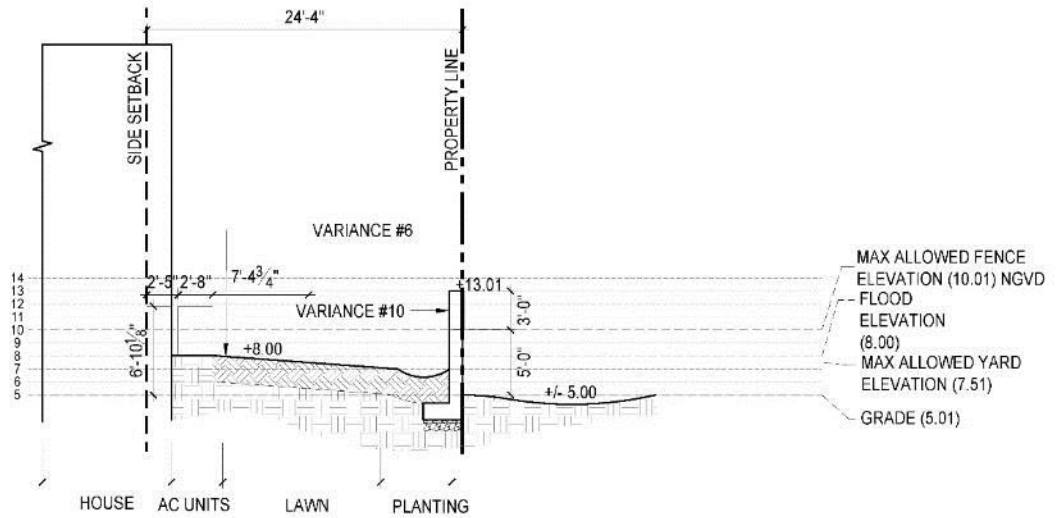




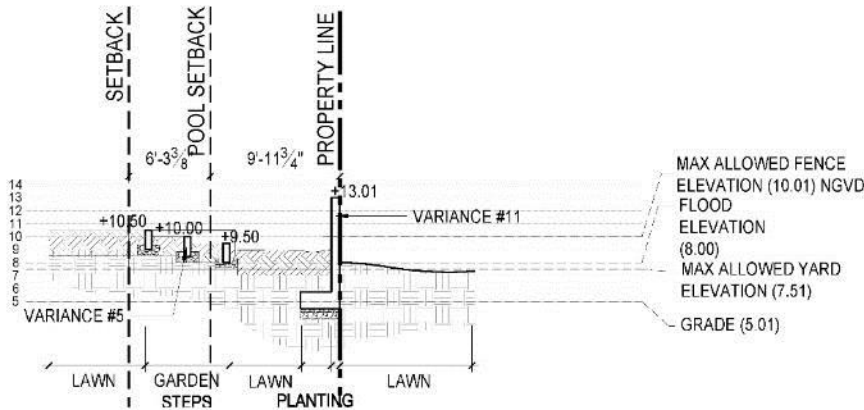




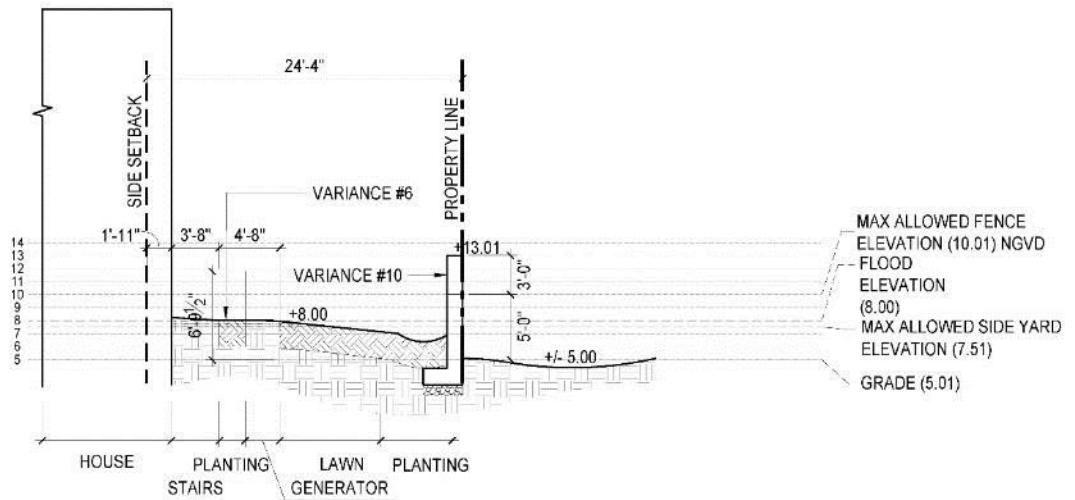
**1 EAST SECTION**  
 Scale: 3/16"=1'-0"



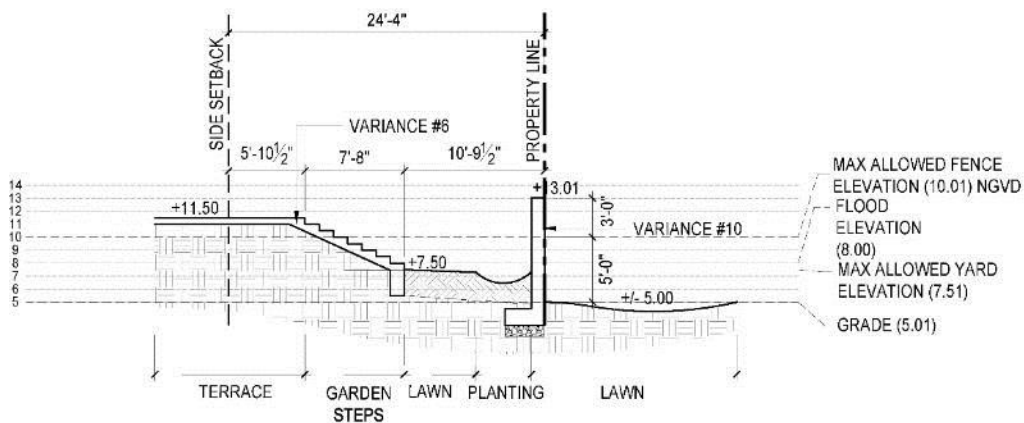
**4 WEST SECTION**  
 Scale: 3/16"=1'-0"



**2 EAST SECTION**  
 Scale: 3/16"=1'-0"



**5 WEST SECTION**  
 Scale: 3/16"=1'-0"



**3 WEST SECTION**  
 Scale: 3/16"=1'-0"

Miller Residence  
**1515 W. 22nd Street**  
**Miami Beach, FL**  
 1515 W. 22nd Street, Miami Beach, FL

REVISION	DATE	DESCRIPTION
1	11/19/2020	ORIG COMMENTS
2	12/01/2020	FINAL SUBMITTAL

SCALE:  
 1/8"=1'-0"

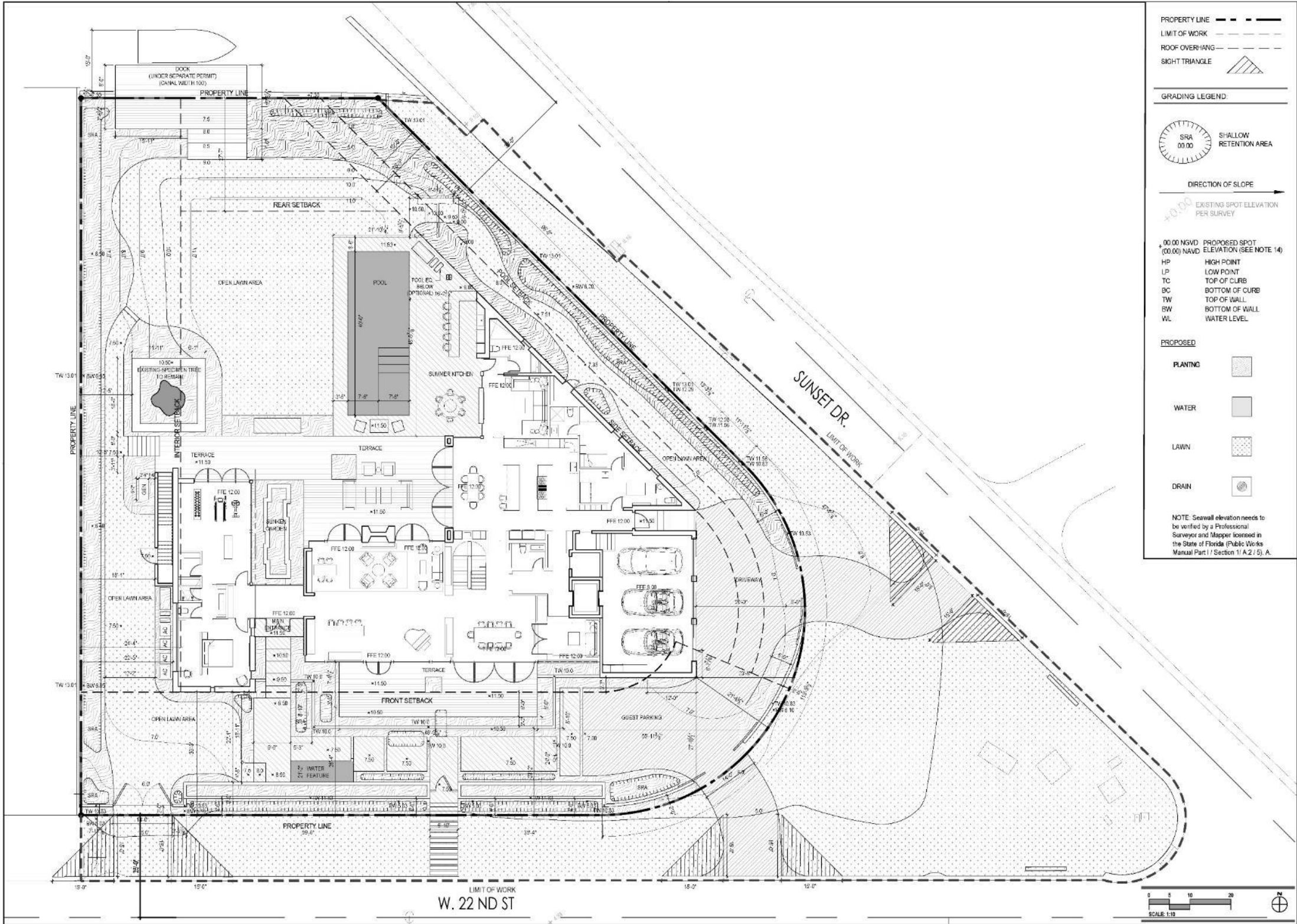
SHEET TITLE:  
**HARDSCAPE SECTIONS**

Scale: 1/8"=1'-0"  
 Drawn By: JBL/FE  
 Checked By: SCH  
 Date: 10/19/2020

SHEET NUMBER:  
**LH.405**

10/19/2020 JBL/FE SCH 10/19/2020 10:15 AM 1515 W. 22nd Street, Miami Beach, FL 33133





- PROPERTY LINE
- LIMIT OF WORK
- ROOF OVER-HANG
- SIGHT TRIANGLE

GRADING LEGEND:



DIRECTION OF SLOPE

+0.00 EXISTING SPOT ELEVATION PER SURVEY

- 00.00 NGVD PROPOSED SPOT ELEVATION (SEE NOTE 14)
- HP HIGH POINT
- LP LOW POINT
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- WL WATER LEVEL

PROPOSED

- PLANTING
- WATER
- LAWN
- DRAIN

NOTE: Seawall elevation needs to be verified by a Professional Surveyor and Mapper licensed in the State of Florida (Public Works Manual Part I / Section 1 A.2 / 5), A.

**jungles**  
 RAYMOND JUNGLES INC  
 Landscape Architect / FASLA  
 2164 Aviation Ave., Miami, FL 33110  
 PH: 305.533.5777  
 www.rjungles.com  
 PROJECT NO.: 20029

Miller Residence  
 1515 W. 22nd Street  
 Miami Beach, FL  
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS

1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT

DATE: 10/19/2025  
 SCALE: 1/8" = 1'-0"

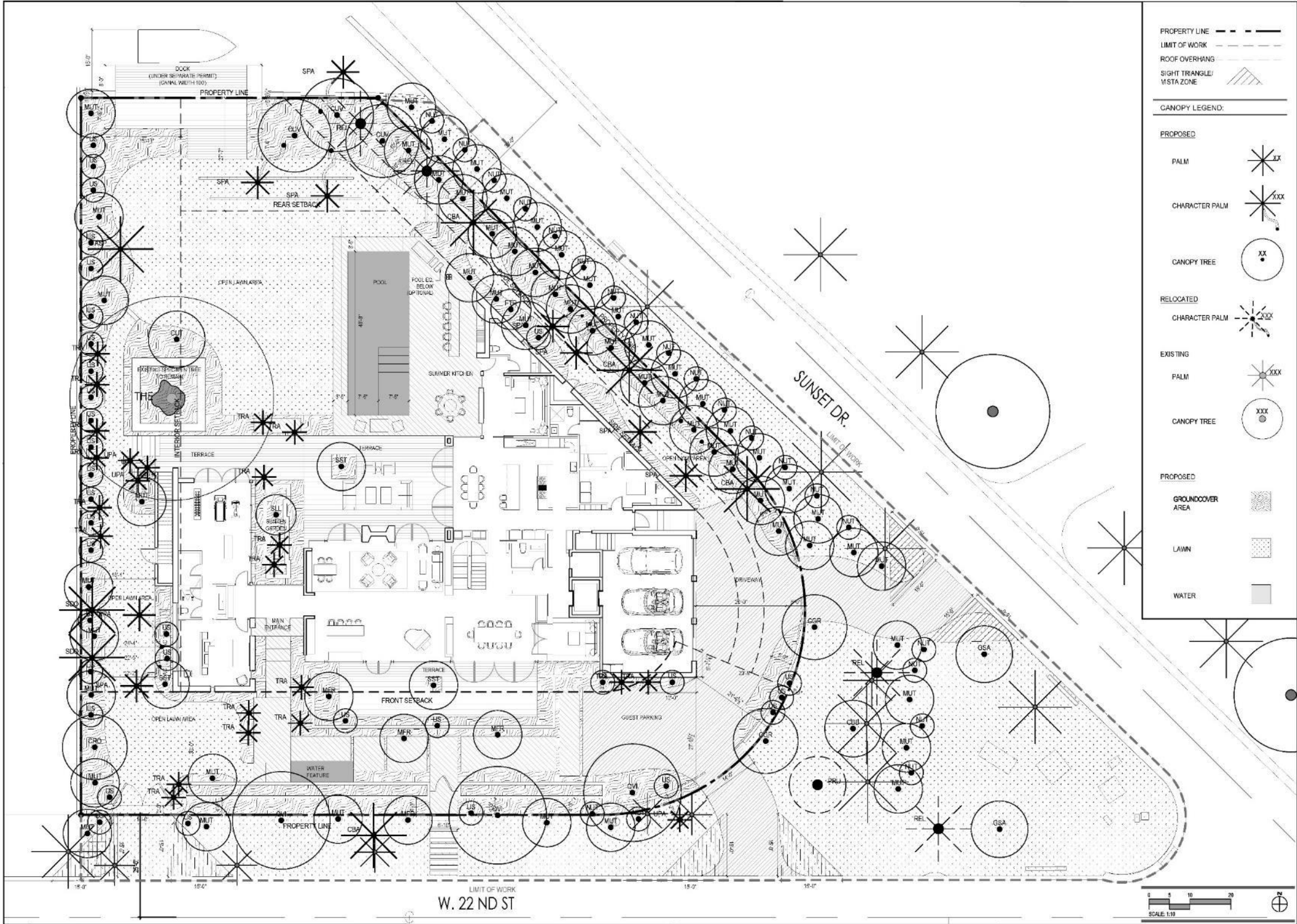
GRADING PLAN

Scale: 1/8" = 1'-0"  
 Drawn By: JLF, FE  
 Checked By: SCH  
 Date: 10/19/2025

SHEET NUMBER:  
**LG.100**

JLF: JLF  
 FE: FE  
 SCH: SCH  
 DATE: 10/19/2025  
 SCALE: 1/8" = 1'-0"





PROPERTY LINE - - - -  
 LIMIT OF WORK - - - -  
 ROOF OVERHANG - - - -  
 SIGHT TRIANGLE/ VISTA ZONE

CANOPY LEGEND:

PROPOSED

- PALM \*XX
- CHARACTER PALM \*XXX
- CANOPY TREE (XX)

RELOCATED

- CHARACTER PALM \*XXX

EXISTING

- PALM \*XXX
- CANOPY TREE (XXX)

PROPOSED

- GROUNDCOVER AREA [stippled pattern]
- LAWN [dotted pattern]
- WATER [solid grey]

**jungles**  
 RAYMOND JUNGLES INC  
 Landscape Architect FABLA  
 2954 Audubon Ave., Miami, FL 33133  
 PH: 305.458.6777  
 www.raymondjungles.com  
 PROJECT NO.: 20025

Miller Residence  
 1515 W. 22nd Street  
 Miami Beach, FL  
 1515 W. 22nd Street, Miami Beach, FL

REVISIONS:  
 1. HATCHING: DISCREPANCY  
 2. SYMBOL: FINAL SUBMITTAL

DATE: 10/19/2020  
 SCALE: 1/8"=1'-0"  
 1/8"=1'-0" (VERTICAL) 1/8"=1'-0" (HORIZONTAL)

SHEET TITLE  
 CANOPY PLAN

Scale: 1"=10'-0"  
 Drawn By: AS, PB  
 Checked By: OCH  
 Date: 10/19/2020

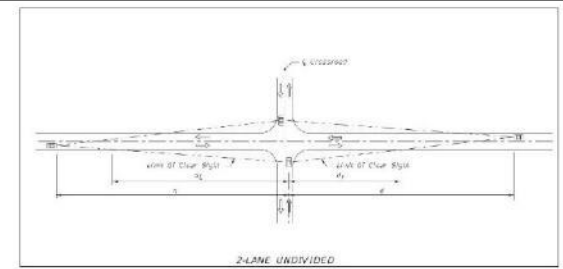
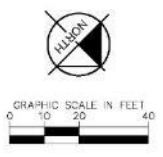
LP.100

10/19/2020 10:15 AM W. 22ND ST. MILLER RESIDENCE L.P. 100 (CANOPY PLAN) 10/19/2020 10:15 AM W. 22ND ST. MILLER RESIDENCE L.P. 100 (CANOPY PLAN)

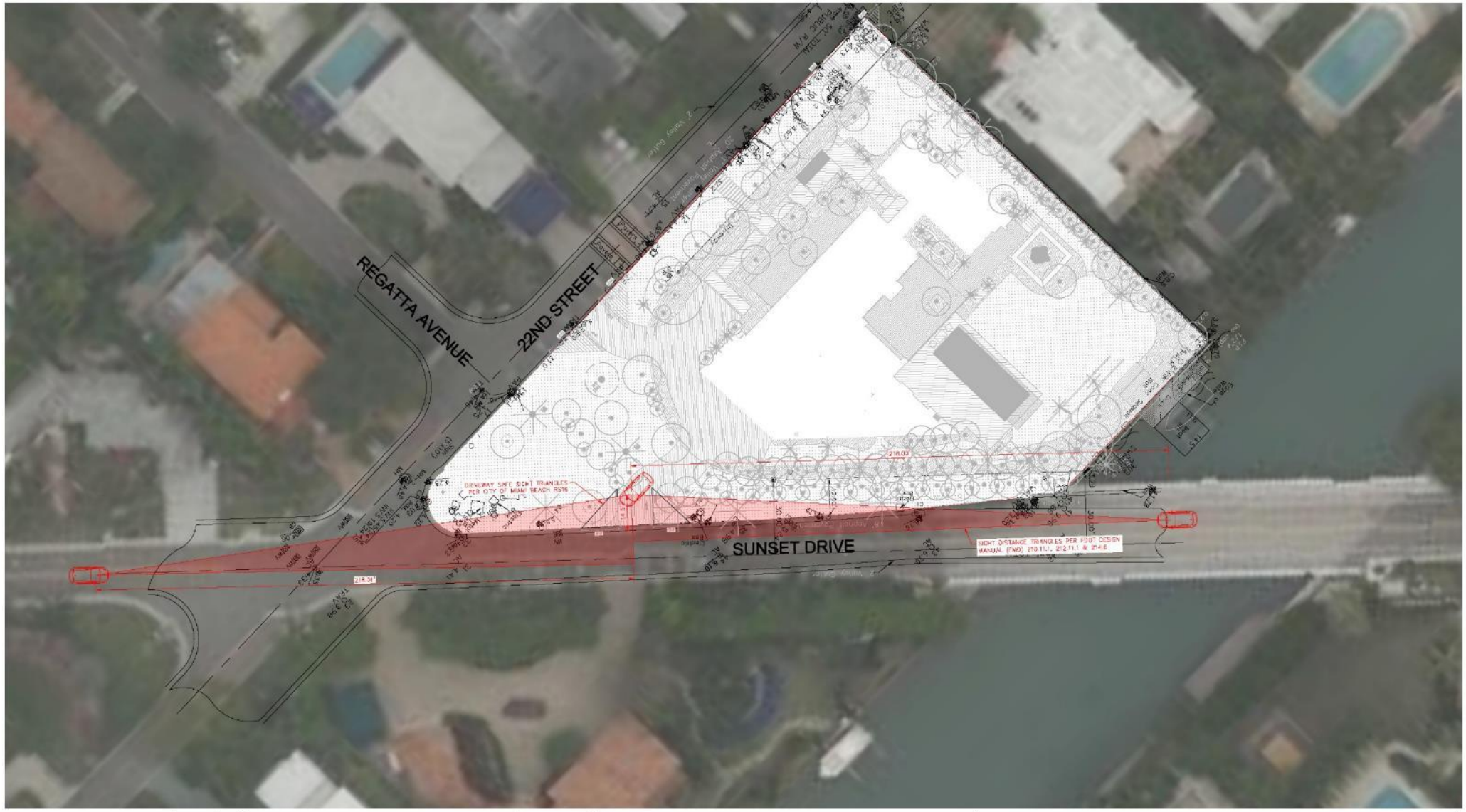








FDM 212.11.1 EXHIBIT 212-4



Project: 143315000 - Miller Residence - 1515 22nd Street - 08/11/2019 - 143315000 - 1515 22nd Street - 08/11/2019 - 143315000 - 1515 22nd Street - 08/11/2019  
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No.	REVISIONS	DATE	BY

**Kimley»Horn**  
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 365 ALHAMBRA CIRCLE, SUITE 1400, CORAL GABLES, FL 33134  
 PHONE: 305-673-3325  
 WWW.KIMLEY-HORN.COM REGISTRY 696

KHA PROJECT  
 143315000  
 DATE  
 01/26/2021  
 SCALE AS SHOWN  
 DESIGNED BY AJL  
 DRAWN BY MIG  
 CHECKED BY AJL  
**1515 22ND STREET  
 SIGHT DISTANCE ANALYSIS**  
 PREPARED FOR  
**MR. AND MRS. BRAD MILLER**  
 CITY OF MIAMI BEACH FL

**SIGHT DISTANCE EXHIBIT**

SHEET NUMBER  
**EX. 1**





### **Memorandum**

January 26, 2021

Mr. & Mrs. Brad Miller  
1515 22<sup>nd</sup> Street  
Miami Beach, FL 33140

#### **Re: 1515 W 22 St. - Sight Distance Analysis**

Mr. & Mrs. Miller,

Kimley-Horn and Associates, Inc. has prepared a sight distance analysis for the single-family home redevelopment located at 1515 22<sup>nd</sup> Street Miami Beach, FL 33140. The sight distance analysis was completed according to the FDOT Design Manual (FDM) sections 210.11.1, 212.11.1, & 214.6 for an unsignalized two (2) lane road and the City of Miami Beach (CMB) driveway safe sight triangle detail RS16.

According to the Miami Dade County GIS system the roadway section of Sunset Drive that fronts the property has a speed limit 20 mph. Therefore, a design speed of 30 mph was used for the analysis. Per FDM 214.6, sight distances at driveways when intersecting roadway with a design speed equal or less than 35 mph must meet the minimum stopping sight distance values in FDM 210.11.1. Based on field observations and measurements the average grade of Sunset Drive north of the driveway connection is 6.19%, therefore a grade of 7% was used for the analysis. Per FDM table 210.11.1, the minimum stopping sight distance is 218 feet.

Based on the analysis the proposed driveway location onto Sunset Drive is in compliance with the FDM with the removal or relocation of two (2) existing palm trees and three (3) proposed trees located within the sight distance triangle as shown on the attached sight distance exhibit. Based on the CMB engineering manual the proposed driveway is in compliance with CMB driveway safe sight triangle detail RS16.

Very truly yours,

A handwritten signature in blue ink, appearing to read "Armando J. Lopez".

Armando J. Lopez P.E.  
**Kimley-Horn and Associates, Inc.**