

# THE HOHAUSER HOTEL

1030 6<sup>th</sup> Street, Miami Beach, Florida

## HISTORIC PRESERVATION BOARD

### FINAL SUBMISSION

December 14th, 2020

2010

PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

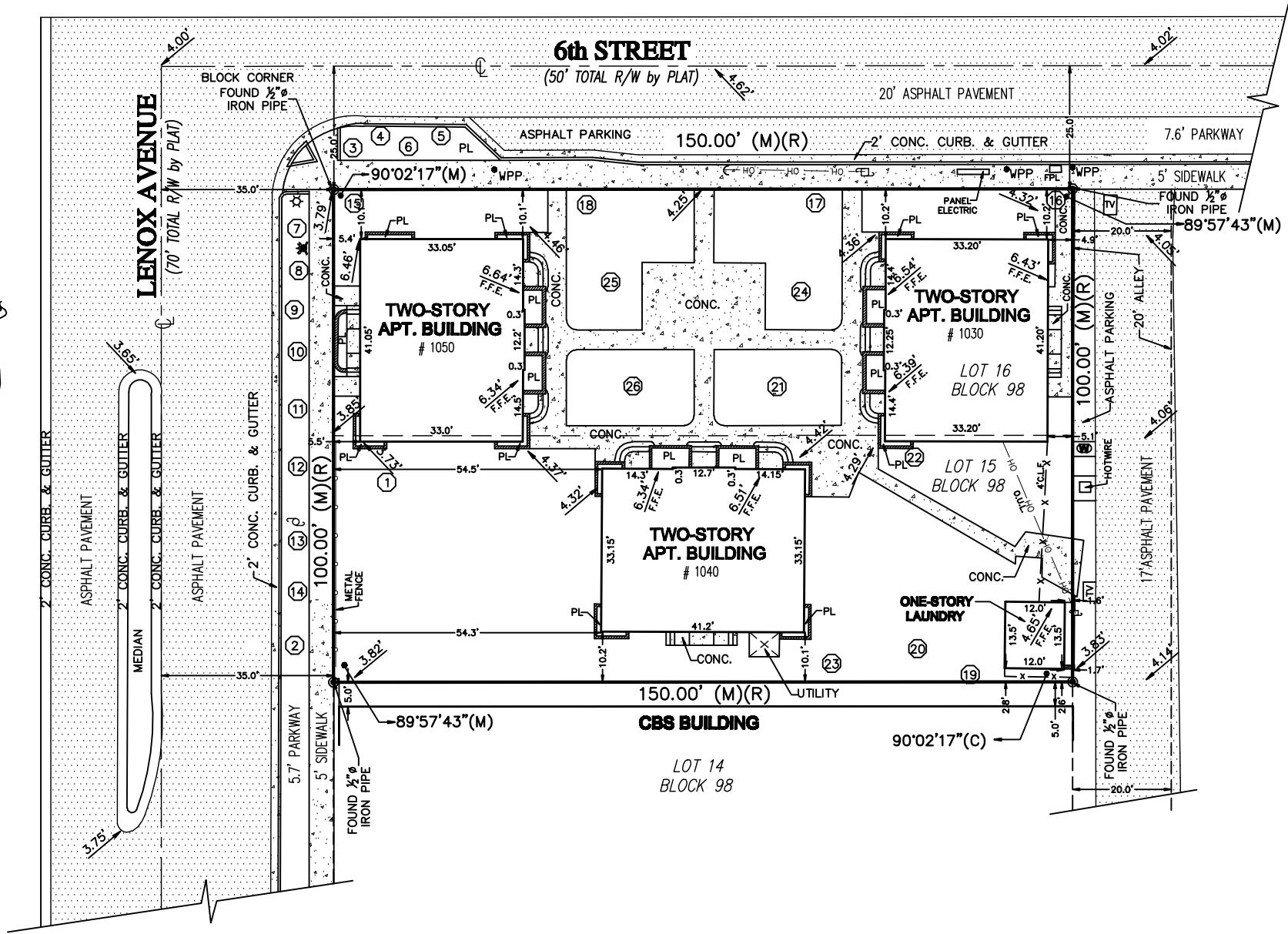
DRAWING:

COVER SHEET



### Scope of Work

- Restoration of two Historic 2-story structures and the adjoining courtyard.
- Partial demolition of 1 Contributing 2-story structure on the south side of the lot
- New construction of a 6-story Hotel
- 51 units in new proposed building and 14 units in existing buildings.



LAND AREA = 15,000 SQ. FEET (0.344 ACRES)

## BOUNDARY SURVEY

### LEGEND & ABBREVIATIONS:

= CONCRETE  
 = CONC. BLOCK WALL  
 = WOOD DECK  
 = COVERED AREA  
 = ASPHALT  
 = CHAIN LINK FENCE (CLF)  
 = WOOD FENCE (WF)  
 = IRON FENCE (IF)  
A = ARC DISTANCE  
L = LENGTH  
Δ = CENTRAL ANGLE / DELTA  
R = RADIUS  
T = TANGENT  
P.T. = POINT OF TANGENCY  
P.C. = POINT OF CURVATURE  
P.C.C. = POINT OF COMPOUND CURVE  
C.B. = CATCH BASIN  
CATV = CABLE UTILITY BOX

B.C. = BLOCK CORNER  
P = PROPERTY LINE  
C = CENTER LINE  
M = MONUMENT LINE  
CALC. = CALCULATED  
M. = FIELD MEASURED  
P. = PER PLAT  
TYP. = TYPICAL  
P.R.M. = PERMANENT REFERENCE MONUMENT  
P.C.P. = PERMANENT CONTROL POINT  
FD. NAIL = FOUND NAIL  
FD. D/H = FOUND DRILL HOLE  
FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER  
C.M. = CONCRETE MONUMENT  
W.M. = WATER METER  
R/W = RIGHT OF WAY

U.E. = UTILITY EASEMENT  
A.E. = ANCHOR EASEMENT  
D.E. = DRAINAGE EASEMENT  
ENCR. = ENCROACHMENT  
F.F. ELEV. = FINISHED FLOOR ELEVATION  
N.T.S. = NOT TO SCALE  
P.B. = PLAT BOOK  
O.R.B. = OFFICIAL RECORD BOOK  
M.H. = MAN HOLE  
C.B.S. = CONCRETE BLOCK STRUCTURE  
BLDG = BUILDING  
O.H.L. = OVERHEAD UTILITY LINES  
TEL. = TELEPHONE FACILITIES

P.R.C. = POINT OF REVERSE CURVE  
CH = CHORD  
CH. BRG. = CHORD BEARING  
B.M. = BENCH MARK  
B.R. = BEARING REFERENCE  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
T.B.M. = TEMPORARY BENCH MARK  
P.O.B. = POINT OF BEGINNING  
T.B.M. = TEMPORARY BENCH MARK  
FD. I.R. = FOUND IRON REBAR  
FD. P.K.NAIL = FOUND PARKER-KALON NAIL  
P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER  
A/C = AIR CONDITIONER PAD  
TX = TRANSFORMER  
P.P. = POWER POLE  
D.M.E. = DRAINAGE & MAINTENANCE EASEMENT  
+ 0.0' = EXISTING ELEVATION

ELEV. = ELEVATION  
SEC. = SECTION  
TWS. = TOWNSHIP  
RG. = RANGE  
SWK = SIDEWALK

I HEREBY CERTIFY THAT THE SURVEY REPRESENTED THEREON MEETS THE MINIMUM TECHNICAL REQUIREMENTS ADOPTED BY THE STATE OF FLORIDA BOARD OF LAND SURVEYORS PURSUANT TO SECTION 472.027 FLORIDA STATUTES. THERE ARE NO ENCROACHMENTS, OVERLAPS, EASEMENTS APPEARING ON THE PLAT OR VISIBLE EASEMENTS OTHER THAN AS SHOWN HEREON.

ADIS N. NUNEZ  
REGISTERED LAND SURVEYOR  
STATE OF FLORIDA #5924

SINCE 1987  
**BLANCO SURVEYORS INC.**

Engineers • Land Surveyors • Planners • LB # 0007059  
555 NORTH SHORE DRIVE  
MIAMI BEACH, FL 33141

(305) 865-1200

Email: blancosurveyorsinc@yahoo.com

Fax: (305) 865-7810

FLOOD ZONE: AE

PANEL: 0319

DATE:

07/07/2020

SUFFIX: L

COMMUNITY #

120651

SCALE:

1" = 30'

FEMA DATE: 09 / 11 / 09

BASE: 8'

DWN. BY:

R.BELLO

JOB No.

20 - 428

PROPERTY ADDRESS: 1030 6 ST., MIAMI BEACH, FL. 33139

LEGAL DESCRIPTION: LOT 15 AND 16, BLOCK 98, OF OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 2, PAGE 81, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

### SURVEYOR'S NOTES:

- 1) OWNERSHIP SUBJECT TO OPINION OF TITLE.
- 2) NOT VALID WITHOUT THE SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 3) THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE.
- 4) LEGAL DESCRIPTION PROVIDED BY CLIENT.
- 5) UNDERGROUND ENCROACHMENTS NOT LOCATED.
- 6) ELEVATIONS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- 7) OWNERSHIP OF FENCES ARE UNKNOWN.
- 8) THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
- 9) CONTACT THE APPROPRIATE AUTHORITY PRIOR TO ANY DESIGN WORK FOR BUILDING AND ZONING INFORMATION.
- 10) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THIS PROPERTY.
- 11) ELEVATIONS BASED OFF OF BM# D-151 LOC# 4203 W ELEV. 3.63' NGVD

ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES  
BEARINGS WHEN SHOWN ARE REFERRED TO AN ASSUMED VALUE OF SAID PB: 2 PG: 81

LOCATION MAP  
NOT TO SCALE

PROJECT SITE











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SCALE:

CHECK:

JMcG

DATE:

12/14/2020

SHEET NUMBER

VIEW INTO COURTYARD FACING SOUTH ON  
6TH STREET



PARKING CALCULATIONS				
Hotel units in new construction		51 units X 0.5 parking space		26 P.S.
RESTAURANT/CAFÉ		Restaurant is located inside historic structure and historic courtyard space		0 P.S.
ALTERNATIVE PARKING (reduction up to 50% of required parking)		10 parking spaces of required parking * 5 bike racks/parking space		MINUS 10 P.S.
FEE in lieu of providing parking spaces. Sec.130-132(a,b)		15 parking spaces		
TOTAL				16 P.S.

Unit Number	300-335sf	335+ sf	Part of Existing Bldg	Area
Level 1				
101	I			315 SF
102	I			300 SF
103	I			300 SF
104	I			300 SF
105		I	yes	336 SF
XX				
107		I	yes	336 SF
108		I		387 SF
XX				
XX				
XX				
XX				
XX				
115		I	yes	336 SF
116	I		yes	307 SF
117		I	yes	516 SF
Floor Total	10 units			3,433 SF
Level 2				
201	I			314 SF
202	I			300 SF
203	I			300 SF
204	I			300 SF
205		I	yes	390 SF
206		I	yes	369 SF
207		I	yes	390 SF
208	I			300 SF
209	I			300 SF
210	I			300 SF
211	I			314 SF
212		I	yes	435 SF
213		I	yes	379 SF
214		I	yes	350 SF
215		I	yes	379 SF
216		I	yes	350 SF
217		I	yes	435 SF
Floor Total	17 units			5,905 SF
Level 3				
301	I			315 SF
302	I			300 SF
303	I			300 SF
304	I			300 SF
305		I		336 SF
XX				
307		I		336 SF
308	I			300 SF
309	I			300 SF
310	I			300 SF
311	I			315 SF
Floor Total	10 units			3,102 SF
Level 4				
401	I			315 SF
402	I			300 SF
403	I			300 SF
404	I			300 SF
405		I		336 SF
XX				
407		I		336 SF
408	I			300 SF
409	I			300 SF
410	I			300 SF
411	I			315 SF
Floor Total	10 units			3,102 SF
Level 5				
501	I			315 SF
502	I			300 SF
503	I			300 SF
504	I			300 SF
505		I		336 SF
XX				
507		I		336 SF
508	I			300 SF
509	I			300 SF
510	I			300 SF
511	I			315 SF
Floor Total	10 units			3,102 SF
Level 6				
602		I		396 SF
603	I			300 SF
604	I			300 SF
605		I		336 SF
XX				
607		I		336 SF
608	I			300 SF
609	I			300 SF
610		I		396 SF
Floor Total	8 units			2,664 SF
Level 7				
Floor Total	0 units			0 SF
Grand Subtotal	41 units	24 units	14 units	42,616 SF
Ratio	63.08%	36.92%		
Grand Total	65 units			

GUEST ROOMS PER LEVEL	
Level 1	10 units
Level 2	17 units
Level 3	10 units
Level 4	10 units
Level 5	10 units
Level 6	8 units
Level 7	0 units
TOTAL	65 units

Building height	63'-10"	or 766"
10% of height	6'-5"	or 77"

Tower Setbacks Calculations			
East Tower Setback	Pedestal+10% height	7'-6" + 6'-5"=	13'-11"
West Tower Setback	Pedestal+10% height	5'-0" + 6'-5"=	11'-5"

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Level 1	10 units
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West Tower Setback	Pedestal+10% height	5'-0" + 6'-5"= 11'-5"

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET				
ITE M #	Zoning Information			
1	Address:	1030-1050 6 Street, Miami Beach FL 33139		
2	Board and File numbers:	HPB20-0420.		
3	Folio number(s):	02-4203-009-7860		
4	Year constructed:	1938	Zoning District:	CPS-2 w/ RPS-3 setbacks
5	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD:	4.25' NGVD
6	Adjusted grade (Flood+Grade/2)	N/A	Lot Area:	15,000 SF
7	Lot Width	150'-0"	Lot Depth:	100'-0"
8	Minimum Unit Size	300SF	Average Unit Size:	N/A
9	Existing User	Residential Multi-Family	Proposed Use:	Hotel
		Maximum	Existing	Proposed
10	Height	75'-0"	N/A	63'-10"
11	Number of Stories	N/A	2	6
12	FAR	2.0	N/A	2.0
13	FLOOR AREA Square Footage	30,000 SF	N/A	29,629 SF
14	Square Footage by use	N/A	N/A	N/A
15	Number of Units Residential	N/A	N/A	0
16	Number of Units Hotel	N/A	15	65
17	Number of Seats	N/A	N/A	80
18	Occupancy Load	N/A	N/A	-
	Setbacks	Required	Existing	Proposed
At Grade Parking:				
19	Front Setback (NORTH):	5'-0"	N/A	N/A
20	Rear Setback (SOUTH):	5'-0"	N/A	N/A
21	Side Setback interior (alley) (EAST):	5'-0"	N/A	0'
22	Side Setback facing Lennox Ave (WEST):	5'-0"	N/A	N/A
Pedestal LEVEL 1 (RPS-3)				
23	Front Setback (NORTH):	5'-0"	10'-2"	10'-2"
24	Rear Setback (SOUTH):	10'-0"	10'-1"	1'-0" (VARIANCE REQUIRED)
25	Side Setback interior (alley) (EAST):	7'-6"	5'-0	5'-0" (VARIANCE REQUIRED)
26	Side Setback facing Lennox Ave (WEST):	5'-0"	5'-5"	5'-0"
Tower (RPS-3)				
27	Front Setback (NORTH):	50'-0"	N/A	58'-6"
28	Rear Setback (SOUTH):	15'-0"	N/A	1'-0" (VARIANCE REQUIRED)
29	Side Setback Interior (alley) (EAST):	13'-11"	N/A	5'-0" (VARIANCE REQUIRED)
30	Side Setback facing Street (WEST):	11'-5"	N/A	5'-0" (VARIANCE REQUIRED)
	Parking	Required	Existing	Proposed
31	Parking District	I	I	I
32	Total # of parking spaces	0.5 P.S. PER UNIT TILL 100	N/A	0
33	# of parking spaces required	51 NEW CONSTRUCTION UNITSX0.5 SPACE=25PS.	N/A	0
34	Parking Space Dimensions	8.5' X 18'		N/A
35	Parking Space Configurations (45°,60°,90°,Parallel)	90 DEGREE		N/A
36	ADA Spaces	0	N/A	0
37	Tandem Spaces	N/A	N/A	N/A
38	Drive Aisle Width	22'	N/A	N/A
39	Valet Drop off and pick up	11'	N/A	N/A
40	Loading zones and Trash collection areas	3	0	3
41	Bike Racks (15% of required parking)	25 p.s.*15%=4 BIKE RACKS REQUIRED	N/A	50 BIKE RACKS
	Restaurants, Cafes, Bars, Lounges,	Required	Existing	Proposed
42	Type of use	N/A	RESIDENTIAL	HOTEL/COMMERCIAL
43	Total # of Seats	N/A	N/A	80
44	Total # of Seats per venue	N/A	N/A	80
45	Total Occupant Content	N/A	N/A	N/A
46	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A
47	Is this a contributing building?	YES		
48	Located within a Local Historic District?	YES		
Notes: If not applicable write N/A				
All other data information may be required and presented like the above format.				
* SEE PARKING REQUIREMENTS (A)				

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S T U D I O

MCG

ARCHITECTURE

7500 NE 4th Court  
Studio 103  
Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

INDEX AND DATA

JENNIFER McCONNERY FLORIDA LIC# AR93044

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A0.01





STATE AERIAL



AERIAL OF 1/2 MILE RADIUS



AERIAL PLAN

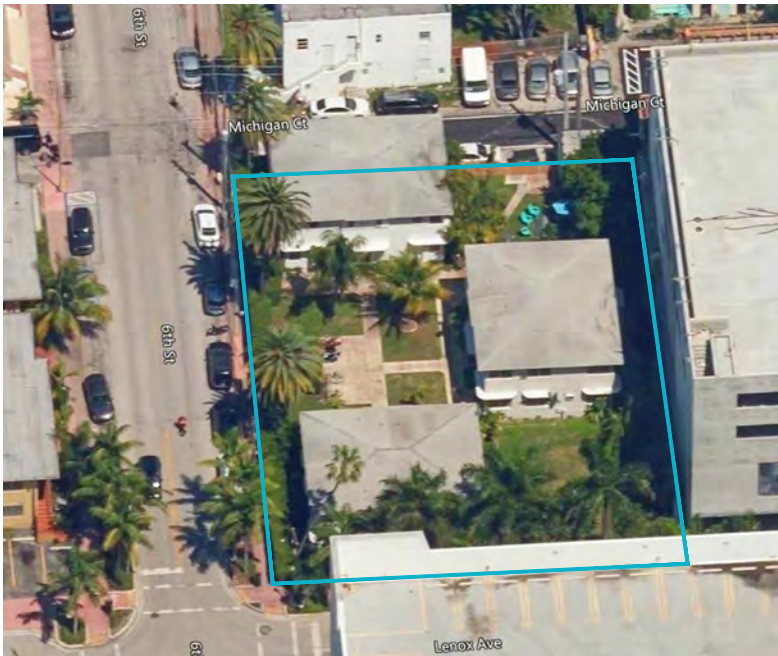




SITE AERIAL - NORTH



SITE AERIAL - SOUTH



SITE AERIAL - WEST



SITE AERIAL - EAST



SITE AERIAL - NORTH

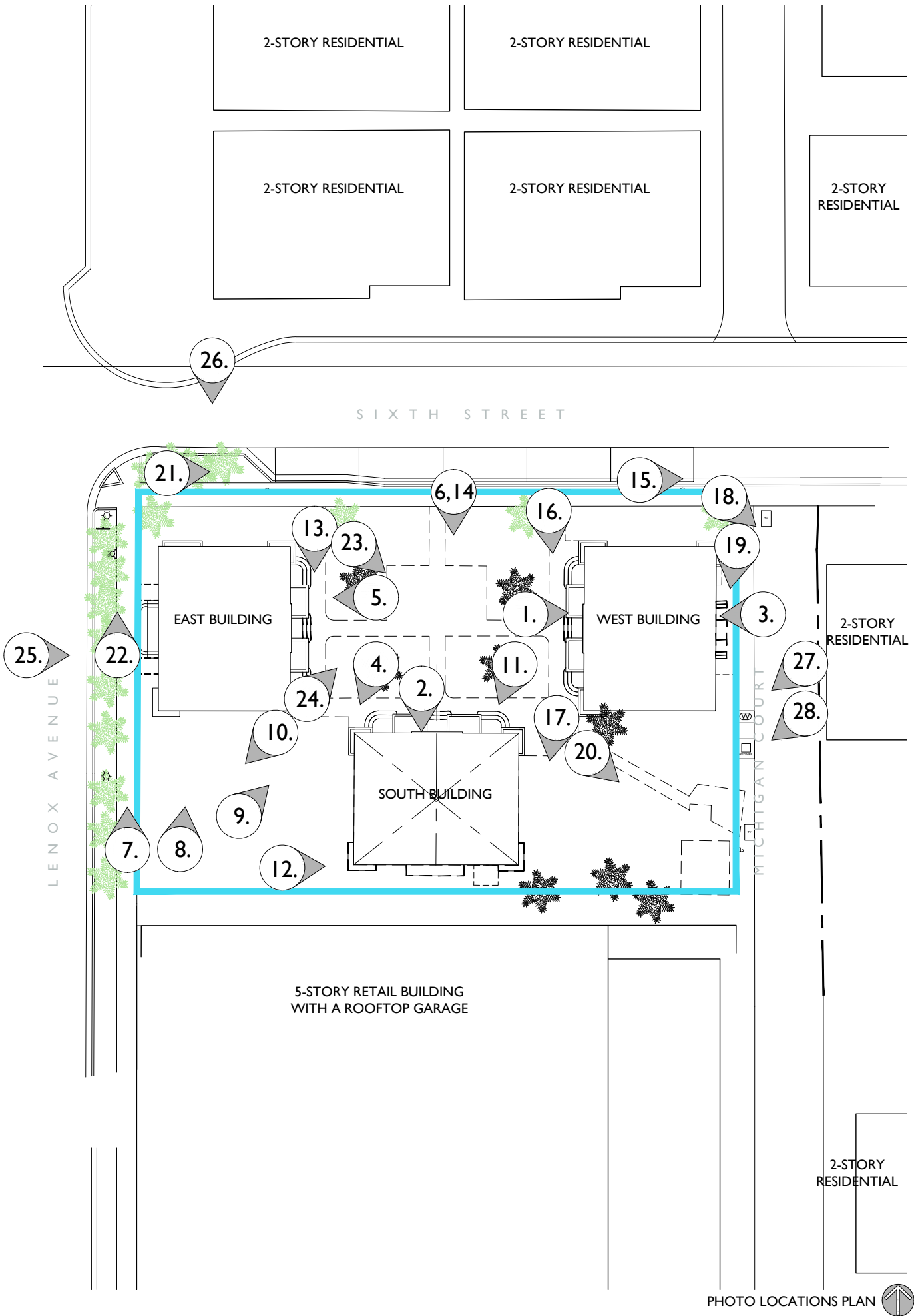




1. EAST BUILDING



2. SOUTH BUILDING



THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

SITE  
PHOTO  
LOCATIONS

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3. OVERLAPPING ROUNDED CANOPIES



4. STRIPS OF WINDOWS WITH STREAMLINE SPANDREL



5. CIRCULAR ORNAMENTAL  
SCREENS



6. SYMMETRICAL SITE PLAN  
WITH ALIGNED VIEWS





7. SIDEWALK ALONG LENOX AVENUE



8. GREEN SPACE ALONG EAST SIDE OF THE SITE



9. GREEN SPACE BETWEEN EAST AND SOUTH BUILDINGS



10. SOUTH SIDE OF THE SITE FACING THE RETAIL BUILDING





11. EXISTING SOUTH BUILDING



12. BACK OF SOUTH BUILDING AND ADJACENT RETAIL BUILDING



13. ENTRANCE OF EAST BUILDING



14. COURTYARD ENTRANCE

THE HOHAUSER

SITE  
PHOTOS



THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

SITE  
PHOTOS



15. SIDEWALK ALONG 6<sup>TH</sup> STREET



16. EAST BUILDING ENTRANCE



17. SIDE OF THE SOUTH BUILDING





18. VIEW FROM THE SITE TOWARDS MICHIGAN COURT



19. EAST BUILDING'S SIDE FACING MICHIGAN COURT



20. ACCESSORY BUILDING WITH LAUNDRY MACHINES



THE HOHAUSER



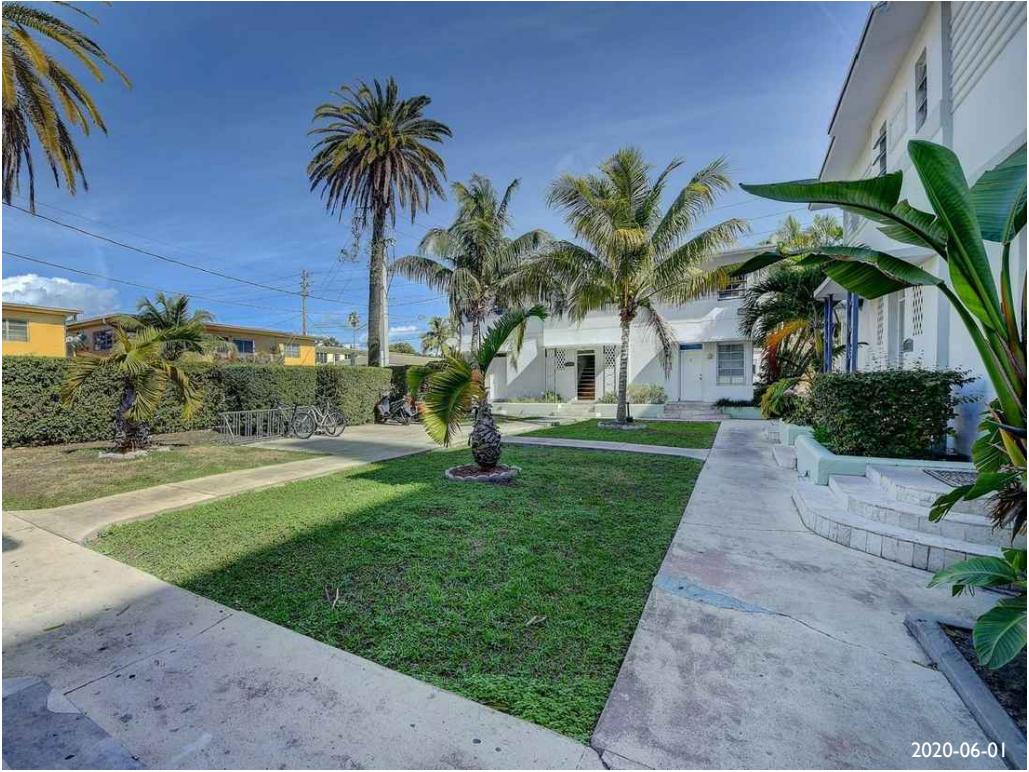
21. WEST BUILDING FACING SIDEWALK ALONG 6<sup>TH</sup> STREET



22. WEST BUILDING FACING LENOX AVENUE



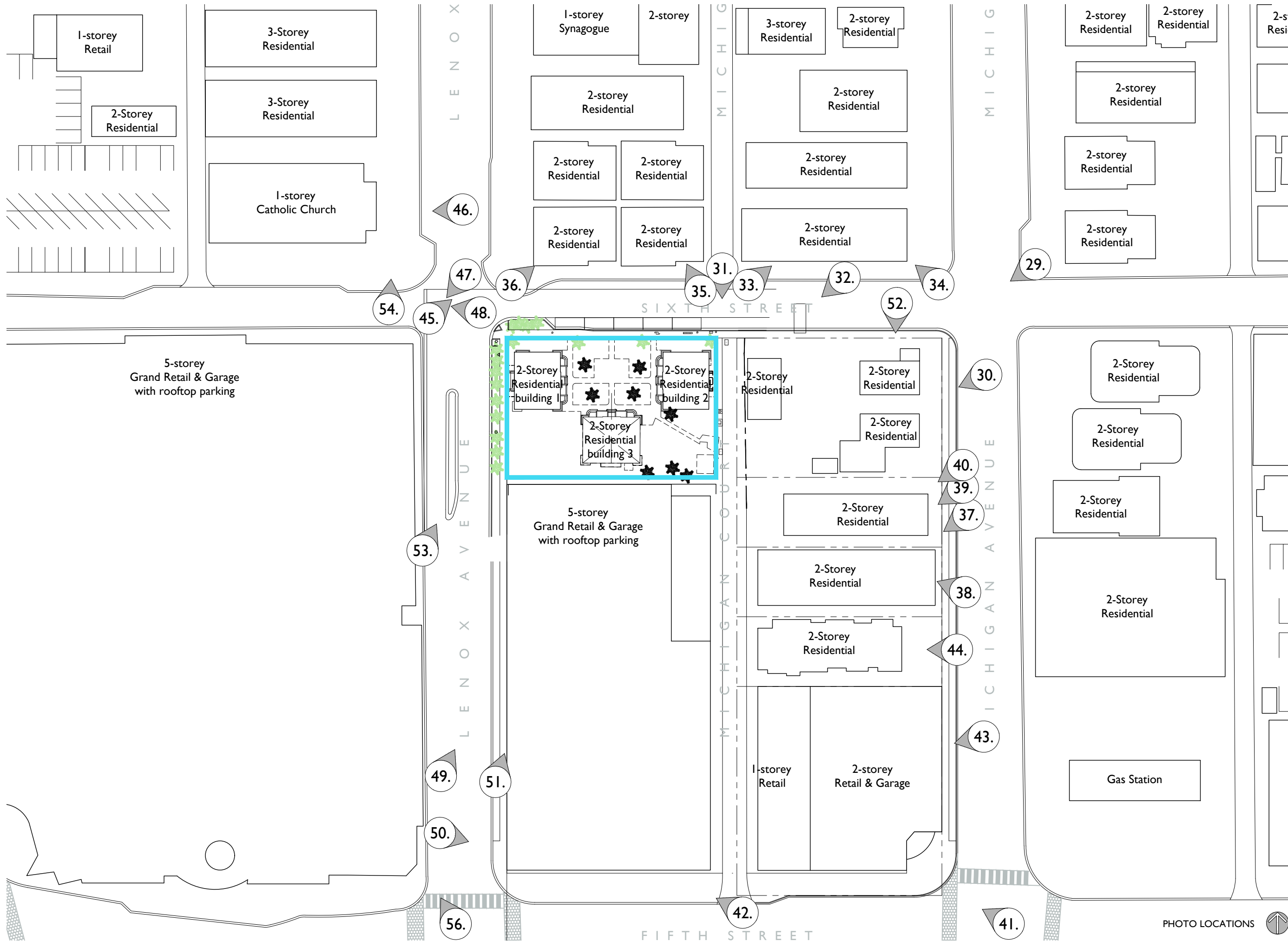
23. BICYCLE RACKS IN THE COURTYARD



24. COURTYARD

SITE  
PHOTOS









25.VIEW TOWARDS THE SITE FROM LENOX AVENUE



26.VIEW TOWARDS THE SITE FROM 6<sup>TH</sup> STREET



27.VIEW TOWARDS THE SITE FROM MICHIGAN COURT



28.VIEW TOWARDS THE SITE FROM MICHIGAN COURT

SITE  
PHOTOS





30. 550-562 MICHIGAN AVENUE



31. 1020 6<sup>TH</sup> STREET



29. 550-562 MICHIGAN AVENUE



32. 1020 6<sup>TH</sup> STREET





34. 1007 6TH STREET



35. 1035 6TH STREET



33. 1007 6TH STREET



36. 1035 6TH STREET

**SURROUNDING  
BUILDING  
PHOTOS**

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38. 532 MICHIGAN AVENUE



39. 544 MICHIGAN AVENUE



37. 532 MICHIGAN AVENUE



40. 544 MICHIGAN AVENUE





42.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



43.VIEW OF GARAGE/RETAIL BUILDING FACING SOUTHWEST



41.VIEW OF GARAGE/RETAIL BUILDING FACING NORTHWEST



44.VIEW OF RESIDENTIAL BUILDING FACING WEST





46.VIEW OF CHURCH FACING WEST



47.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHWEST



45.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



48.VIEW OF CHURCH FACING NORTHWEST

SURROUNDING  
BUILDING  
PHOTOS





50.VIEW OF RETAIL/GARAGE BUILDING FACING SOUTHEAST



51.VIEW OF GARAGE/RETAIL BUILDING FACING NORTH



49.VIEW OF RETAIL/GARAGE BUILDING FACING NORTHEAST



52.VIEW OF RESIDENTIAL BUILDING FACING SOUTH

**SURROUNDING  
BUILDING  
PHOTOS**





54.VIEW OF CHURCH FACING NORTH



55.VIEW OF RETAIL/GARAGE BUILDING NORTHEAST



53.VIEW OF RESIDENTIAL BUILDING FACING NORTHEAST



56.VIEW OF RETAIL/GARAGE BUILDING NORTHWEST

**SURROUNDING  
BUILDING  
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EXISTING EAST AND WEST BUILDINGS  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



EXISTING EAST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



EXISTING LAUNDRY ACCESSORY STRUCTURE  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED NOVEMBER 24<sup>TH</sup>, 1993



EXISTING EAST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963



EXISTING SOUTH BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963

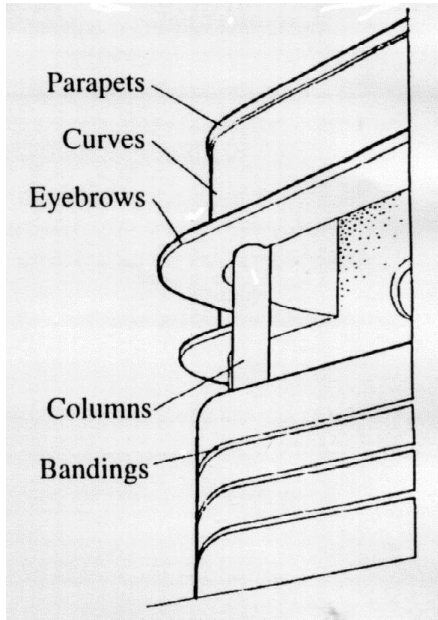


EXISTING WEST BUILDING  
PHOTOGRAPHS FROM PROPERTY APPRAISER TAX RECORDS OF MIAMI - DADE.  
DATED FEBRUARY 15<sup>TH</sup>, 1963





CONCEPTUAL  
IMAGES





7500 NE 4th Court  
Studio 103  
Miami, FL 33138

2010

PROJECT NUMBER

PROJECT:

**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

DRAWING:



CONCEPTUAL  
IMAGES

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BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTH



BUILDING MASSING VIEW FACING SOUTHEAST



BUILDING MASSING VIEW FACING SOUTHWEST







EXISTING  
SITE  
ELEVATIONS

JENNIFER McCONNERY FLORIDA LIC# AR93044

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SCALE: 1"=40'-0"

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DATE: 12/14/2020

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PROPOSED  
SITE  
ELEVATIONS

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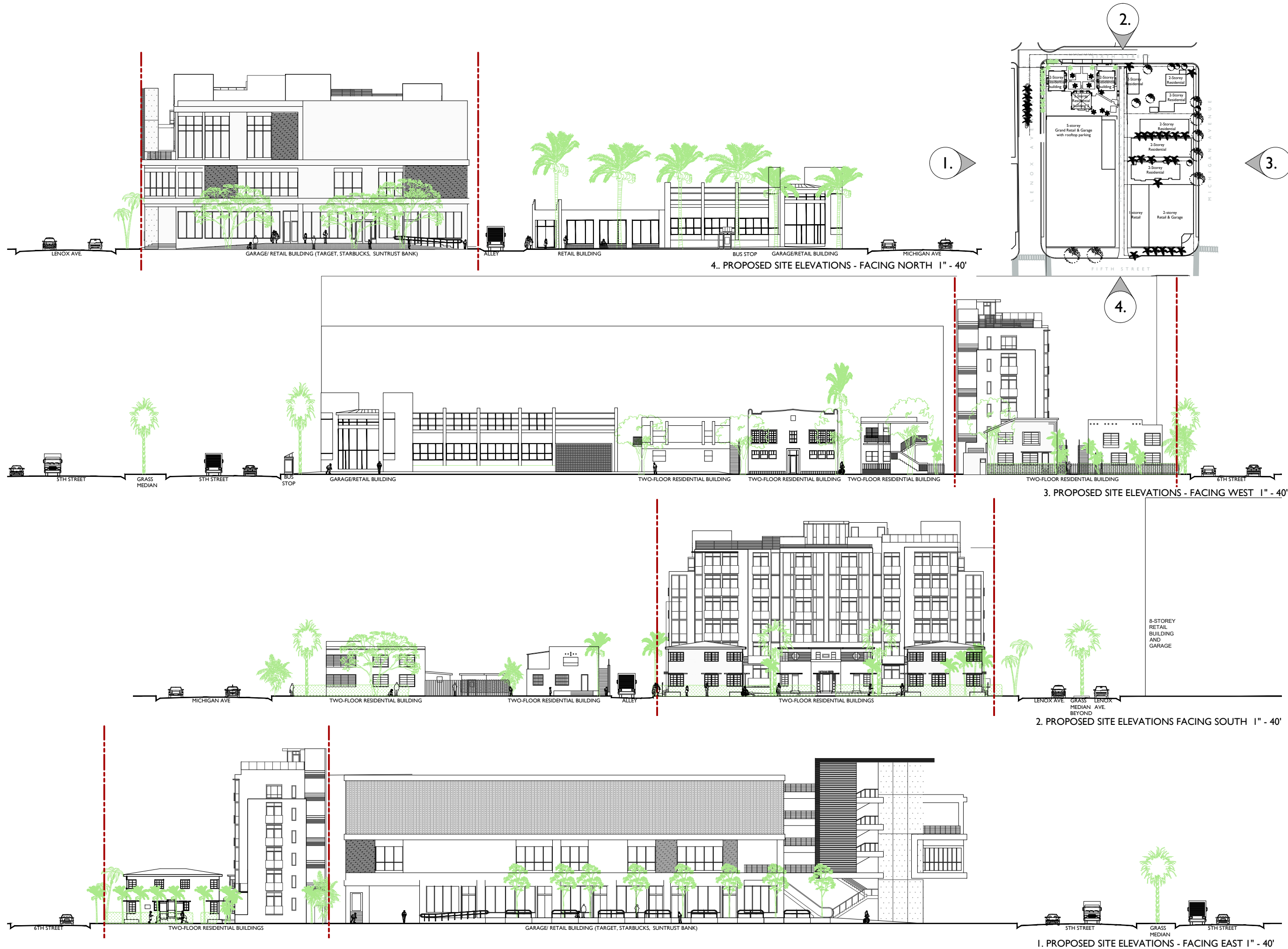
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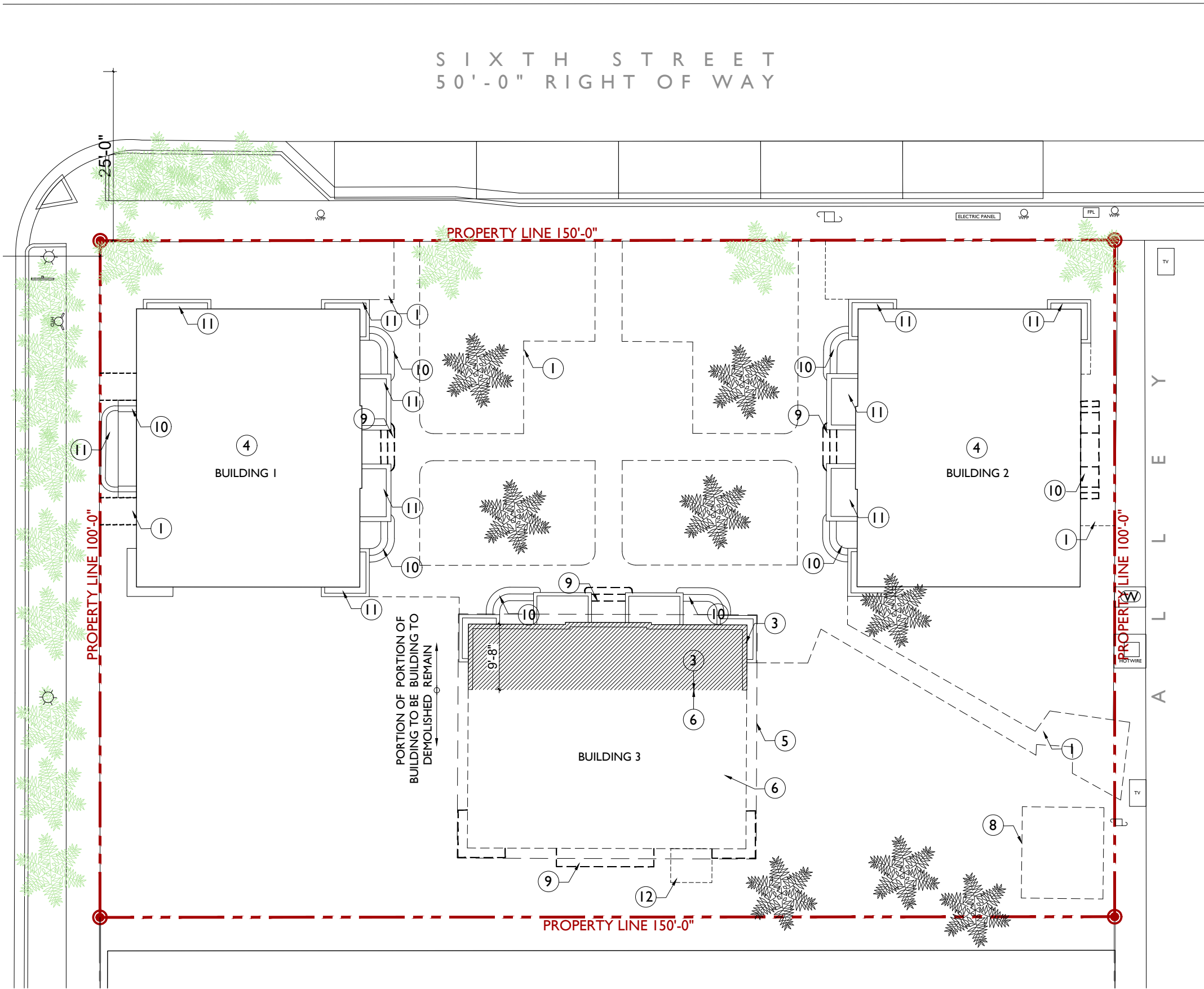
CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER







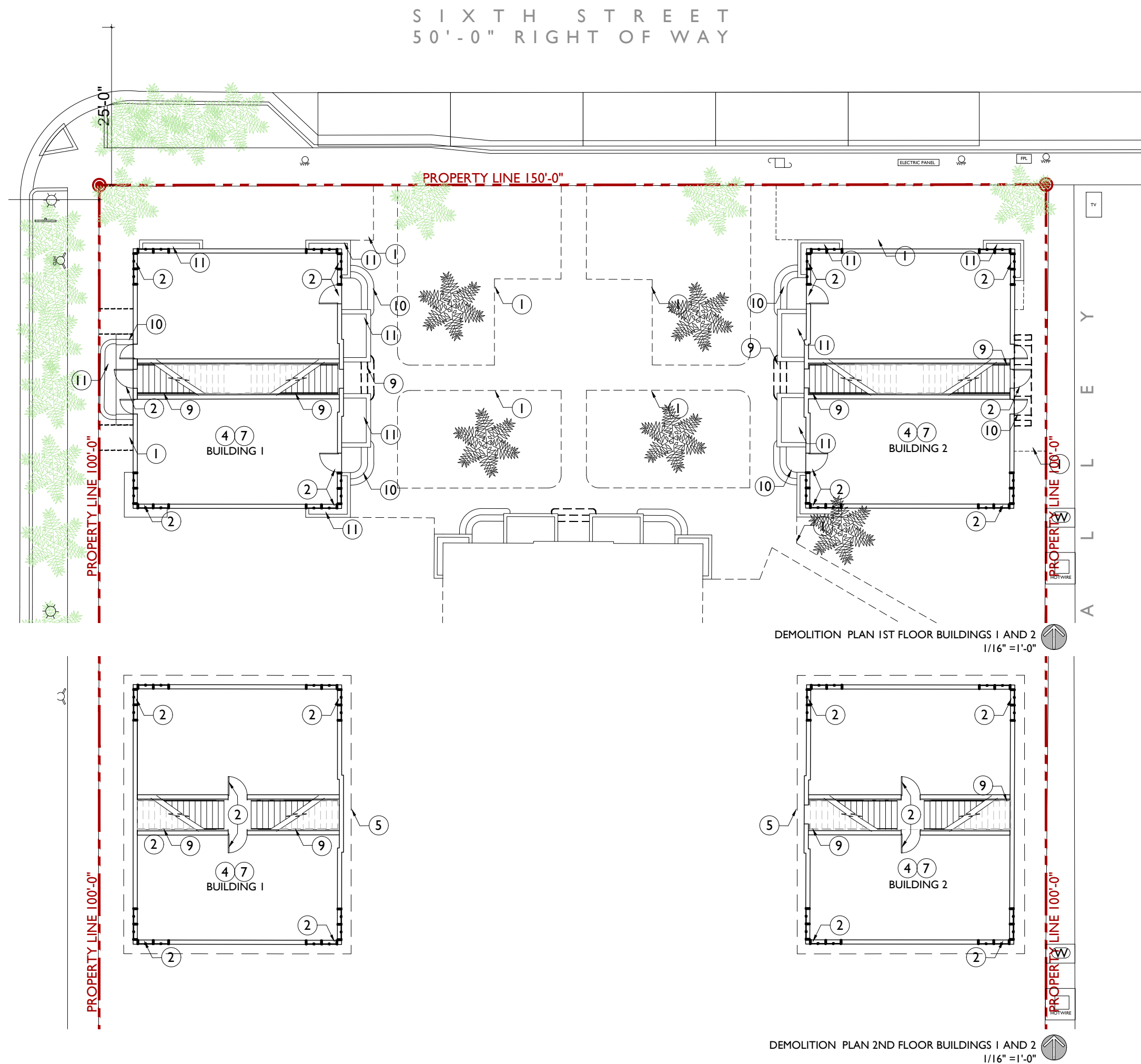
- DEMOLITION LEGEND
- ① HARDSCAPE TO BE REMOVED
  - ② (LEFT BLANK)
  - ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
  - ④ BUILDING TO REMAIN
  - ⑤ ROOF ABOVE TO BE REMOVED
  - ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
  - ⑦ (LEFT BLANK)
  - ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
  - ⑨ STAIRS TO BE REMOVED
  - ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
  - ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
  - ⑫ UTILITY BOX/SHED TO BE REMOVED



### DEMOLITION LEGEND

- ① HARDSCAPE TO BE REMOVED
- ② NON-HISTORIC WINDOWS AND DOORS TO BE REMOVED
- ③ PORTION OF EXISTING BUILDING TO REMAIN (SHADED)
- ④ BUILDING TO REMAIN
- ⑤ ROOF ABOVE TO BE REMOVED
- ⑥ PORTION OF EXISTING BUILDING TO BE REMOVED
- ⑦ INTERIOR WALLS AND FLOORS TO BE REMOVED
- ⑧ LAUNDRY ROOM STRUCTURE TO BE REMOVED
- ⑨ STAIRS TO BE REMOVED
- ⑩ STAIRS TO REMAIN, REPAIR AS NEEDED
- ⑪ PLANTER TO REMAIN, REPAIR AS NEEDED
- ⑫ UTILITY BOX/SHED TO BE REMOVED

SHEET NUMBER





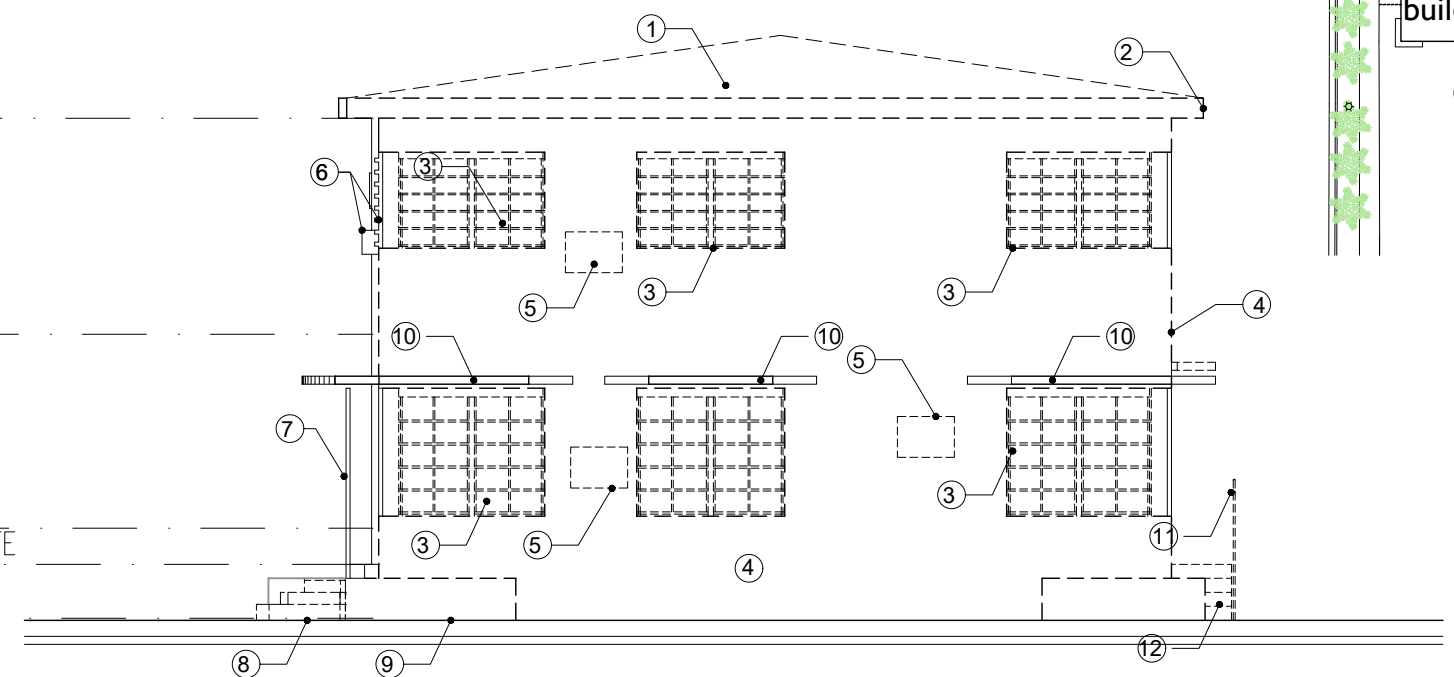
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



1. BUILDING 1 NORTH AND BUILDING 2 SOUTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

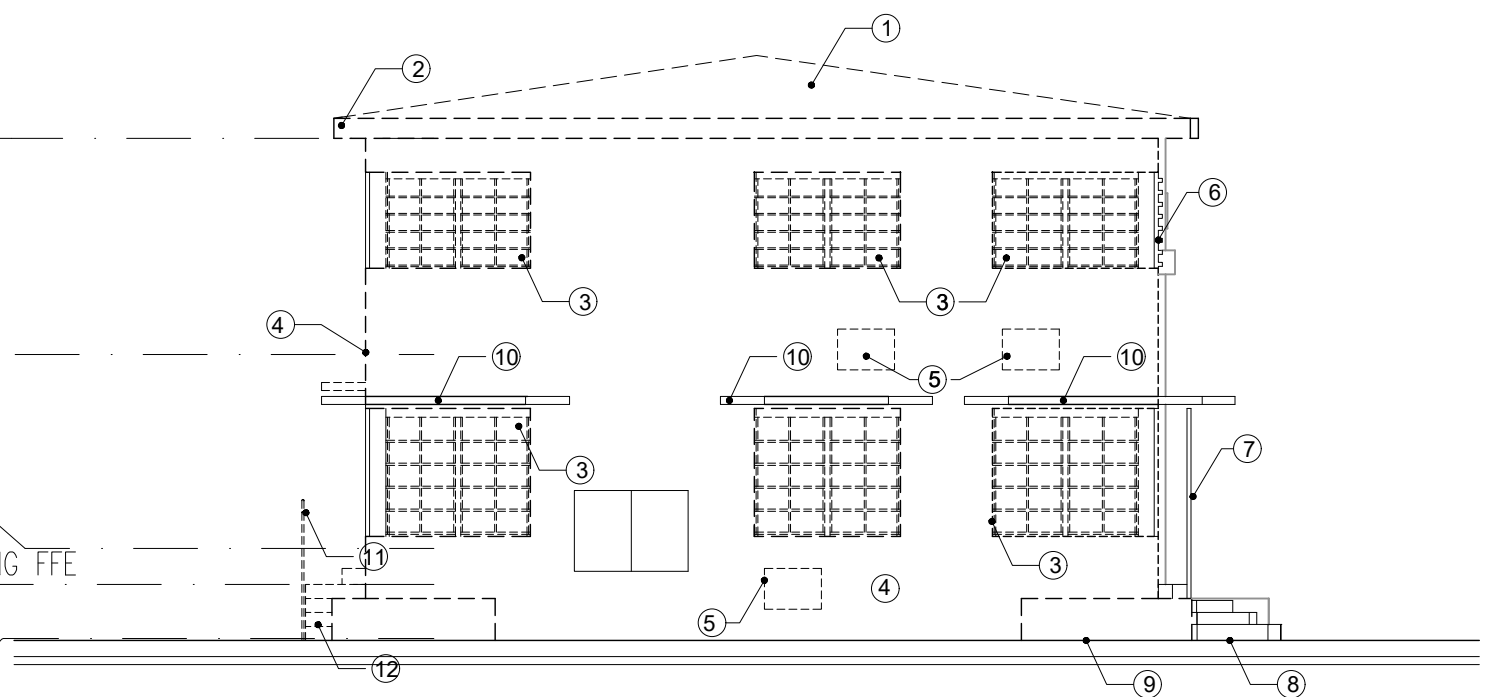
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



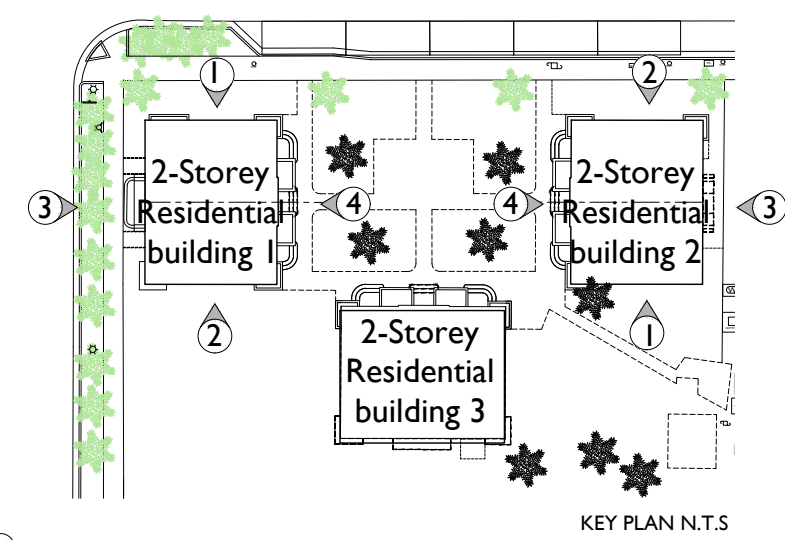
2. BUILDING 1 SOUTH AND BUILDING 2 NORTH DEMOLITION ELEVATIONS 1/8" = 1'-0"

**DEMOLITION LEGEND:**

- ① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.
- ② REMOVE AND REPLACE FASCIA
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED
- ⑩ STUCCO EYEBROW TO BE REPAIRED
- ⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE
- ⑫ CONCRETE STAIRS TO BE REPAIRED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

**NOTES:**

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO



KEY PLAN N.T.S



**BUILDINGS 1  
AND 2  
DEMOLITION  
ELEVATIONS  
AND NOTES**

JENNIFER McCONNEY FLORIDA LIC# AR93044

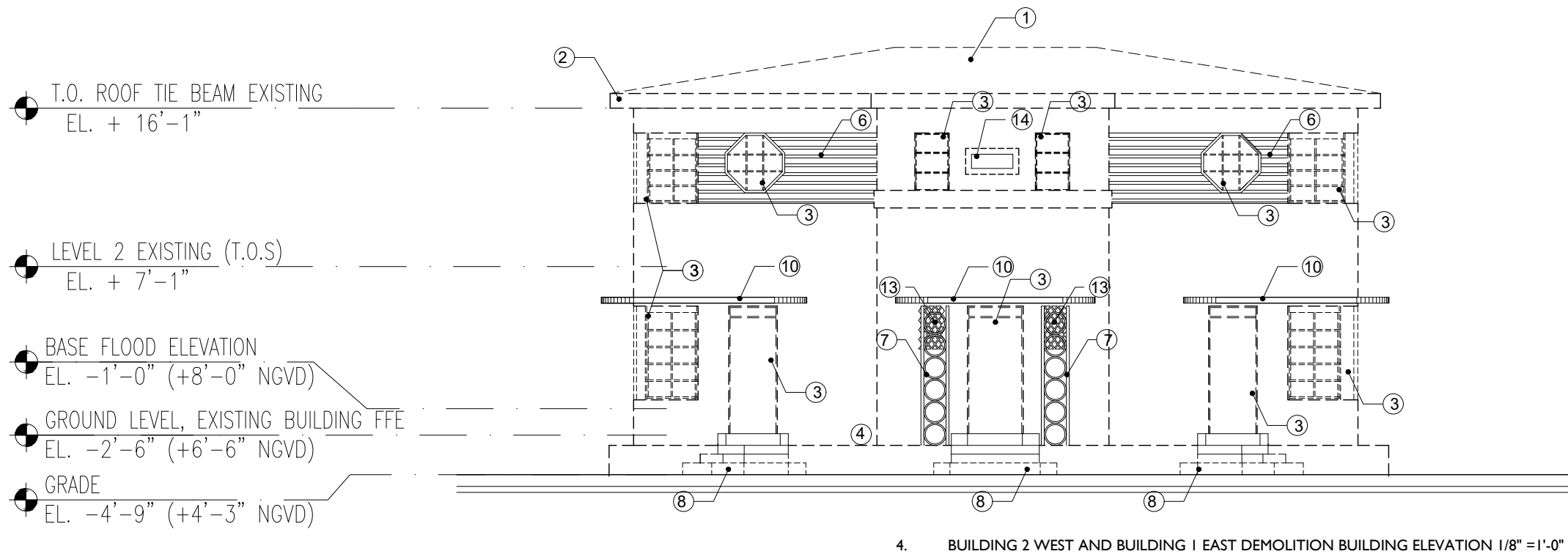
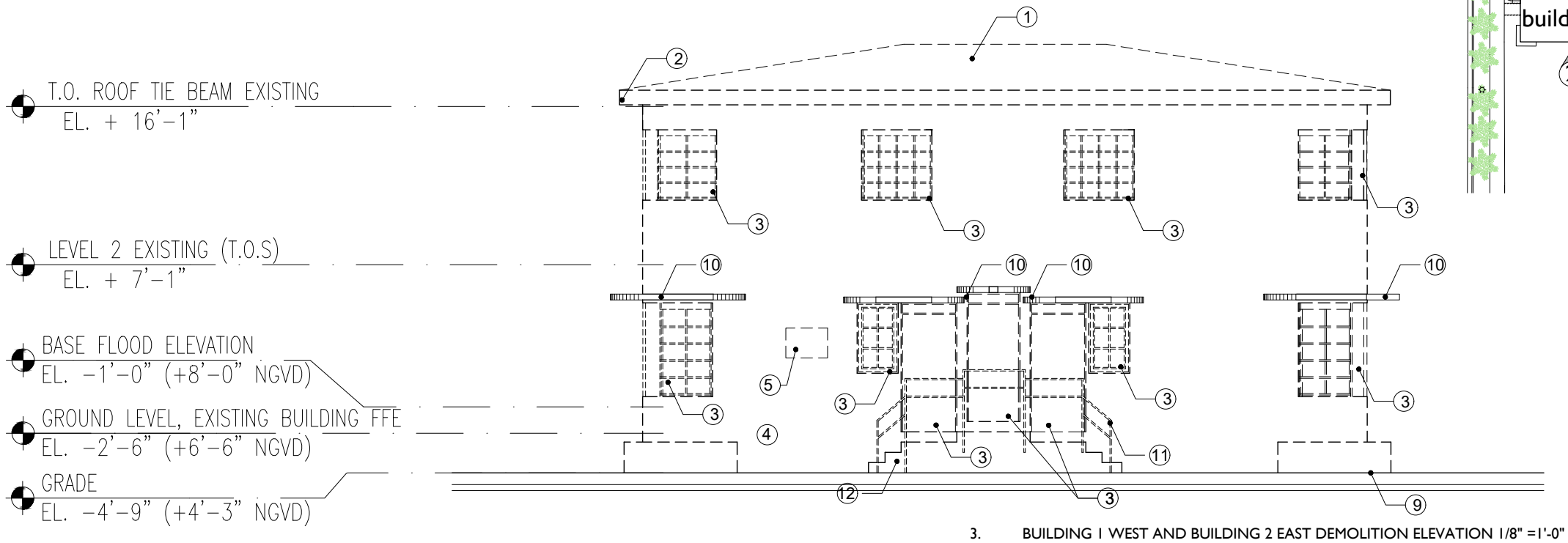
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CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



**DEMOLITION LEGEND:**

① REMOVE EXISTING ASPHALT TILES. REMOVE PLYWOOD. REMOVE AND REPAIR ANY DAMAGED ROOF TRUSSES. ROOF TO BE REPLACED TO MATCH HISTORIC PHOTOS.

② REMOVE AND REPLACE FASCIA

③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION

④ ALL STUCCO TO BE PATCHED AND REPAIRED

⑤ REMOVE THRU-WALL A/C UNITS

⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL

⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD

⑨ STUCCO PLANTER TO BE REPAIRED

⑩ STUCCO EYEBROW TO BE REPAIRED

⑪ STEEL GUARDRAILS TO BE REPLACED TO MEET CODE

⑫ CONCRETE STAIRS TO BE REPAIRED

⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING

⑭ ORNAMENTAL MEDALLION TO BE REPAIRED

**NOTES:**

PREPARE FACADES FOR PAINTING, PRESSURE CLEANING, WATERPROOFING AROUND WINDOWS, AND FOR ANY REPAIR OF LOOSE STUCCO



EXISTING  
BUILDING 3  
DEMOLITION  
ELEVATIONS  
AND NOTES

JENNIFER McCONNEY FLORIDA LIC# AR93044

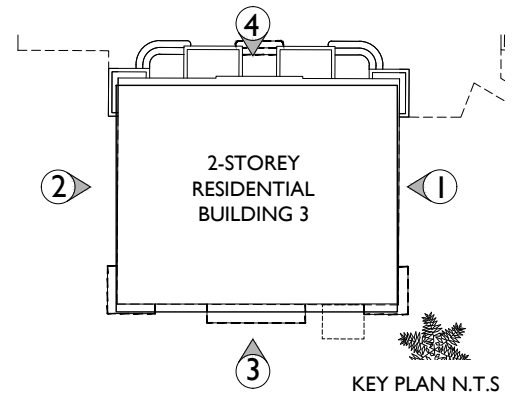
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SCALE: 1/32"=1'-0"

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DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

NOTES:  
PREPARE FACADES FOR PAINTING, PRESSURE  
CLEANING, WATERPROOFING AROUND  
WINDOWS, AND FOR ANY REPAIR OF LOOSE  
STUCCO

 DENOTES PORTION OF BUILDING  
TO BE DEMOLISHED

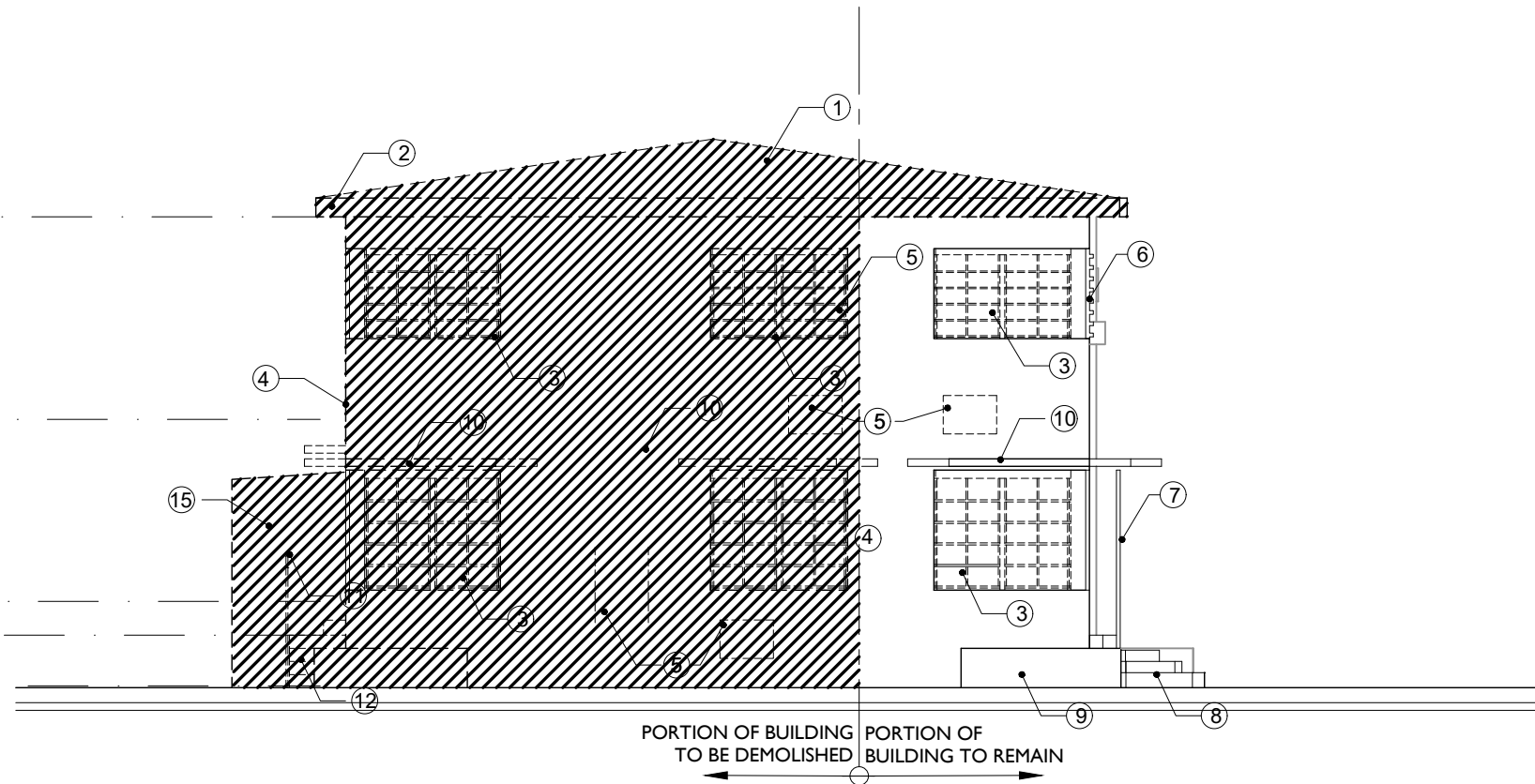
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



I. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

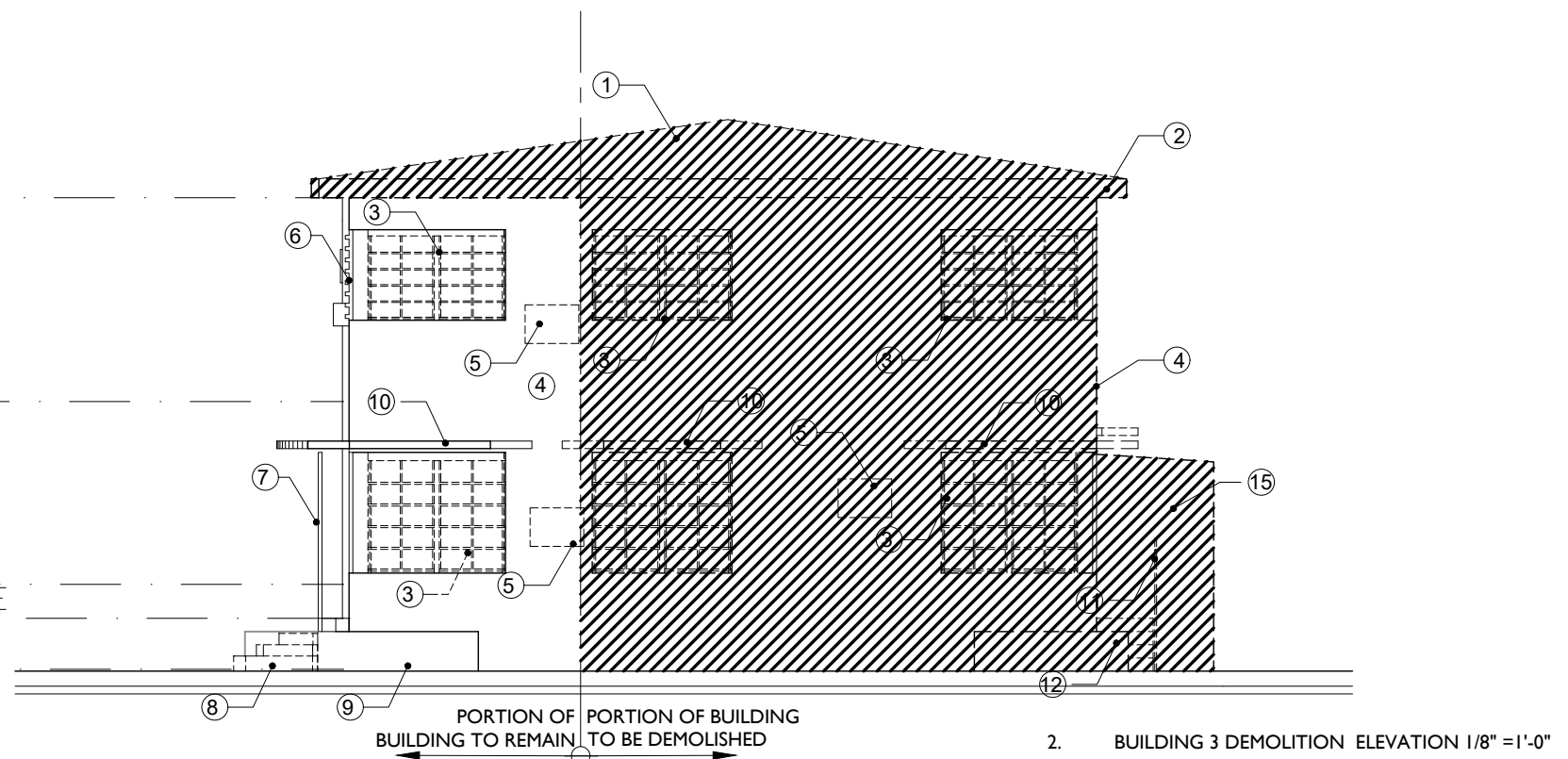
T.O. ROOF TIE BEAM EXISTING  
EL. + 16'-1"

LEVEL 2 EXISTING (T.O.S)  
EL. + 7'-1"

BASE FLOOD ELEVATION  
EL. -1'-0" (+8'-0" NGVD)

GROUND LEVEL, EXISTING BUILDING FFE  
EL. -2'-6" (+6'-6" NGVD)

GRADE  
EL. -4'-9" (+4'-3" NGVD)



2. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"



EXISTING  
BUILDING 3  
DEMOLITION  
ELEVATIONS  
AND NOTES

JENNIFER McCONNERY FLORIDA LIC# AR93044

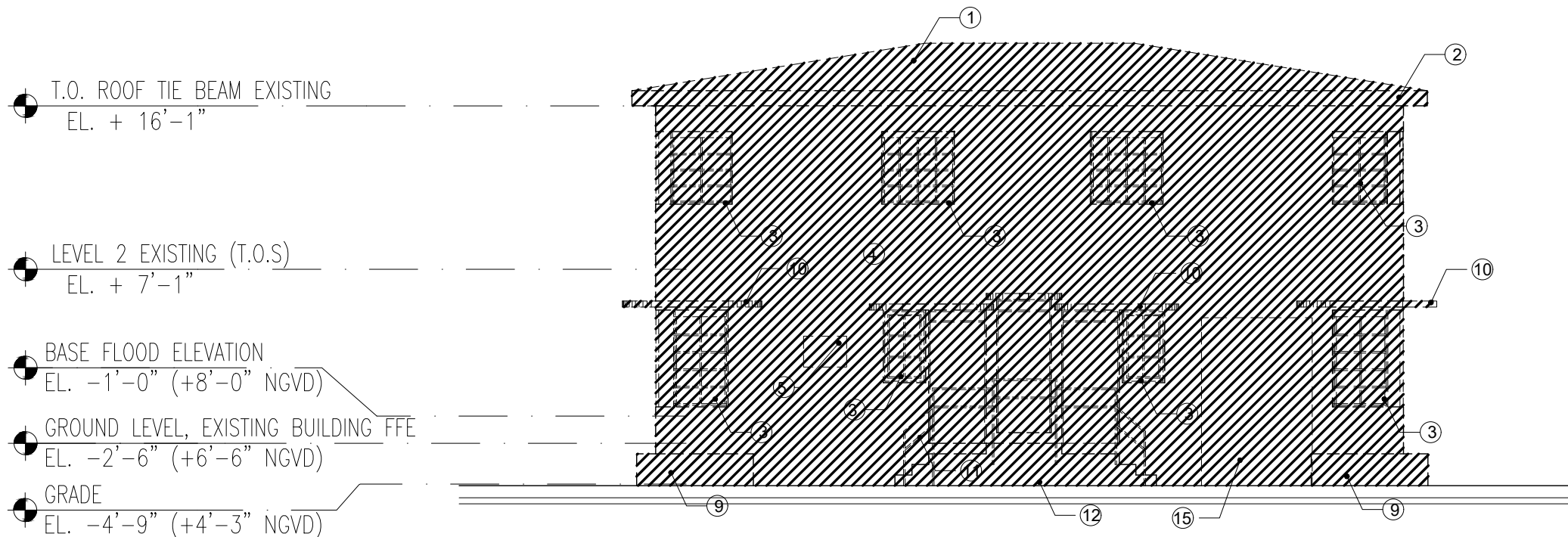
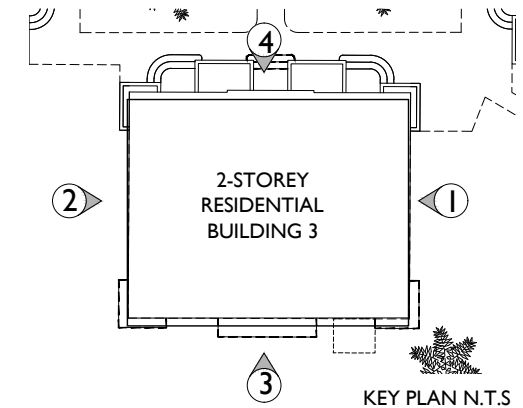
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SCALE: 1/32"=1'-0"

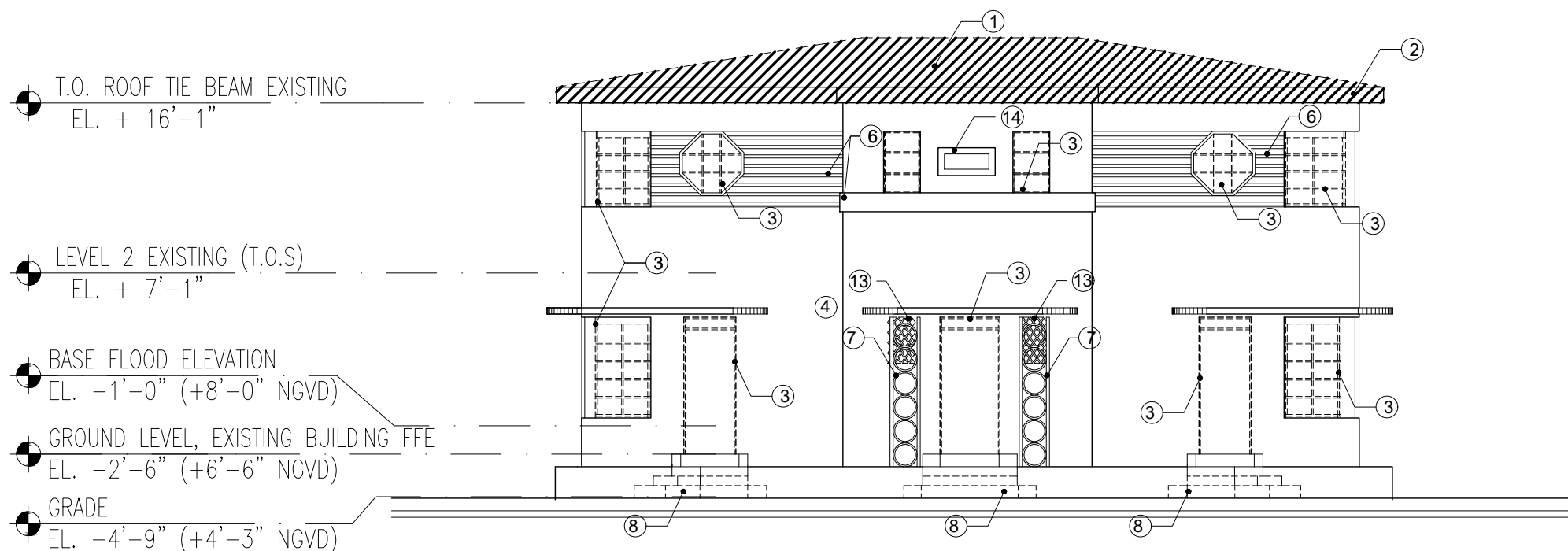
CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER



3. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"




4. BUILDING 3 DEMOLITION ELEVATION 1/8" = 1'-0"

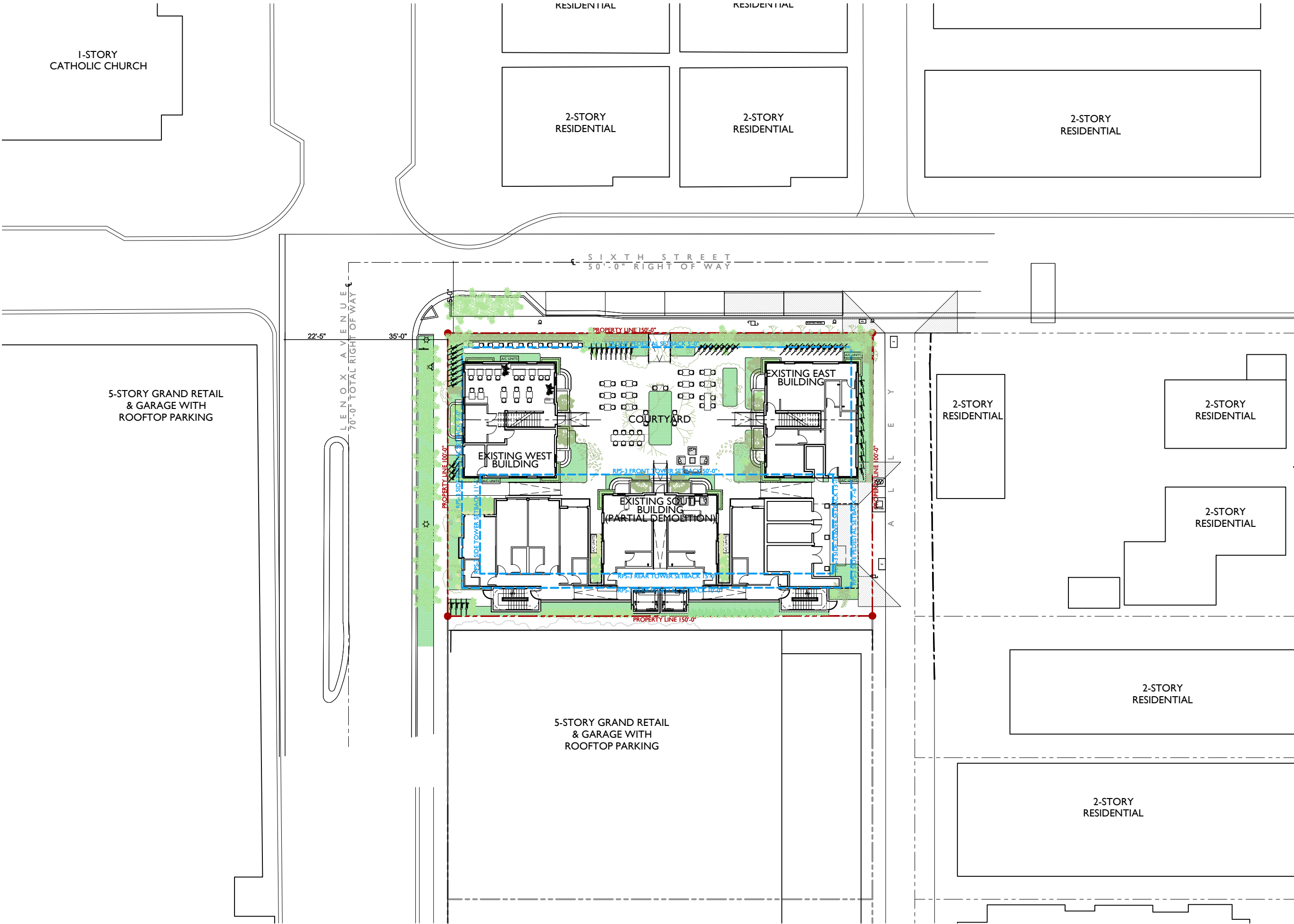
DEMOLITION LEGEND:

- ① REMOVE ROOF
- ② REMOVE AND REPLACE FASCIA PORTION AS DENOTED
- ③ REMOVE AND REPLACE NON-HISTORIC WINDOWS AND DOORS. NEW WINDOWS AND DOORS TO MATCH HISTORIC CONFIGURATION V
- ④ ALL STUCCO TO BE PATCHED AND REPAIRED
- ⑤ REMOVE THRU-WALL A/C UNITS
- ⑥ STUCCO ORNAMENTAL REVEALS TO BE REPAIRED TO MATCH ORIGINAL
- ⑦ ORNAMENTAL SCREEN TO BE REPAIRED OR REPLACED TO MATCH ORIGINAL
- ⑧ PORTIONS OF STAIRS TO BE REMOVED OR BURIED DUE TO RAISING OF COURTYARD
- ⑨ STUCCO PLANTER TO BE REPAIRED / REMOVED AS DENOTED
- ⑩ STUCCO EYEBROW TO BE REPAIRED AS DENOTED
- ⑪ STEEL GUARDRAILS TO BE REMOVED AS DENOTED
- ⑫ CONCRETE STAIRS TO BE REMOVED AS DENOTED
- ⑬ BREEZEBLOCK TO BE REPLACED OR REPAIRED TO MATCH EXISTING
- ⑭ ORNAMENTAL MEDALLION TO BE REPAIRED
- ⑮ UTILITY STRUCTURE TO BE REMOVED

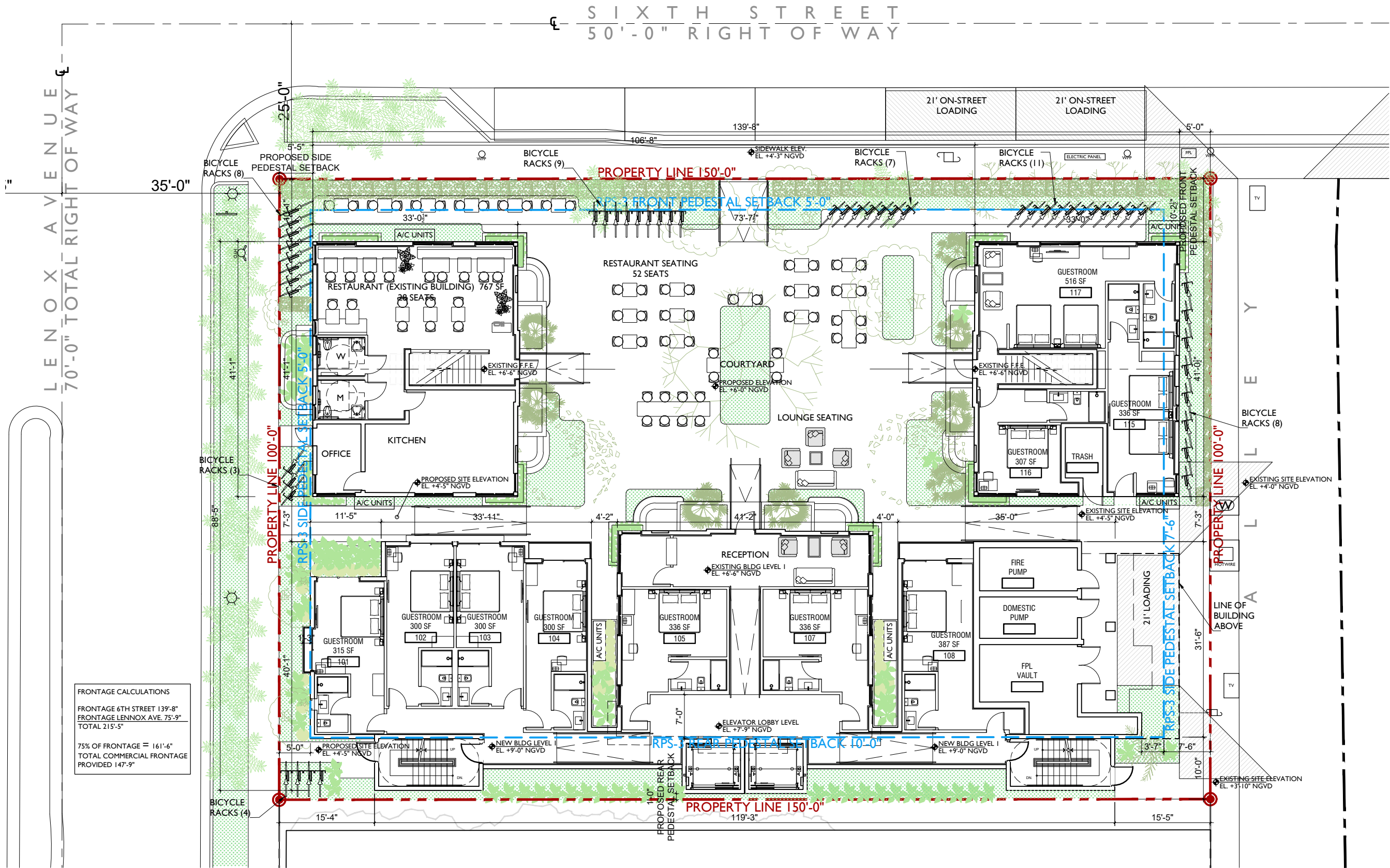
NOTES:  
PREPARE FACADES FOR PAINTING, PRESSURE  
CLEANING, WATERPROOFING AROUND  
WINDOWS, AND FOR ANY REPAIR OF LOOSE  
STUCCO

 DENOTES PORTION OF BUILDING  
TO BE DEMOLISHED







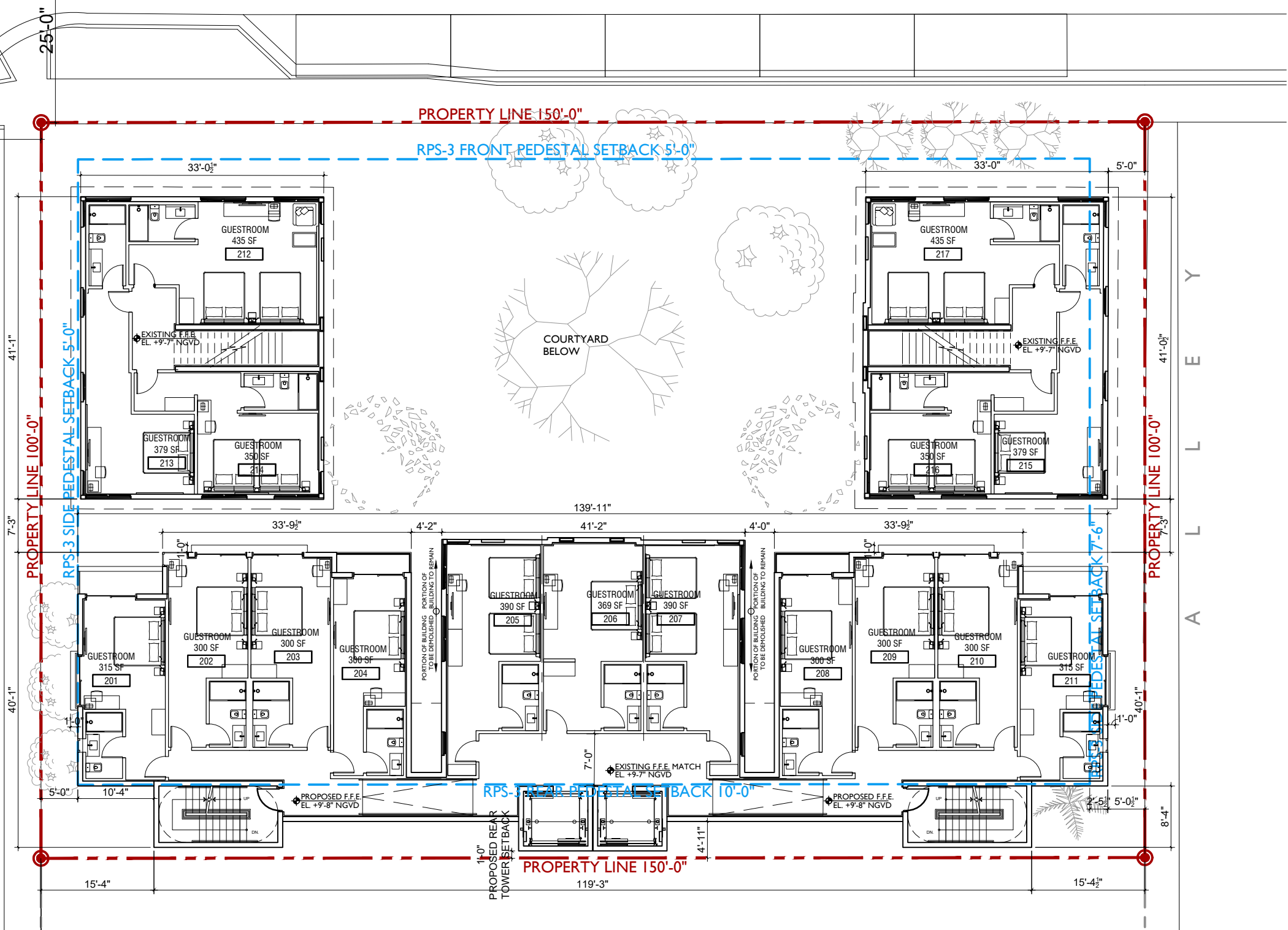




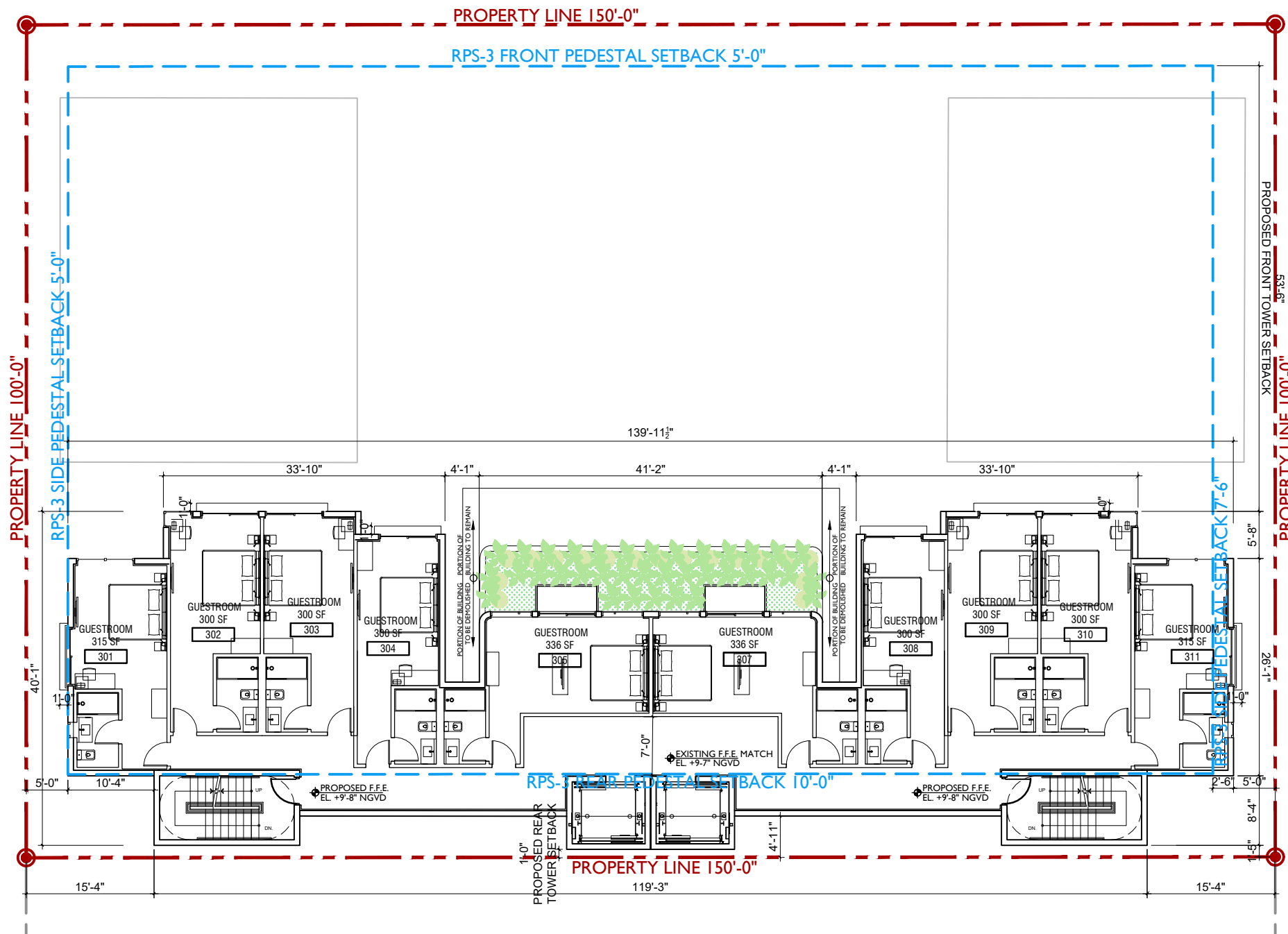
SIXTH STREET  
50'-0" RIGHT OF WAY

LENOX AVENUE  
70'-0" TOTAL RIGHT OF WAY

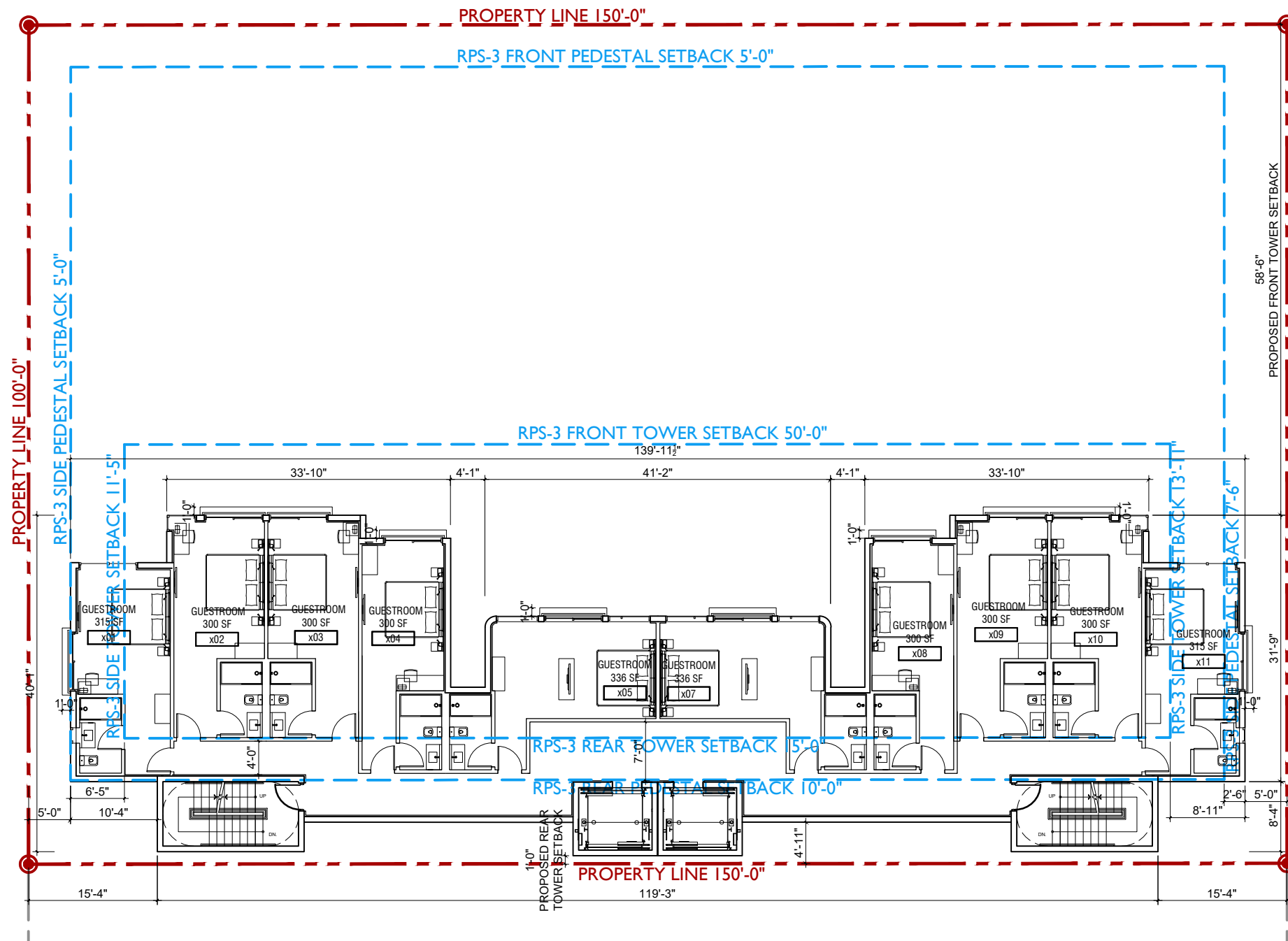
ALLEY













PROJECT:

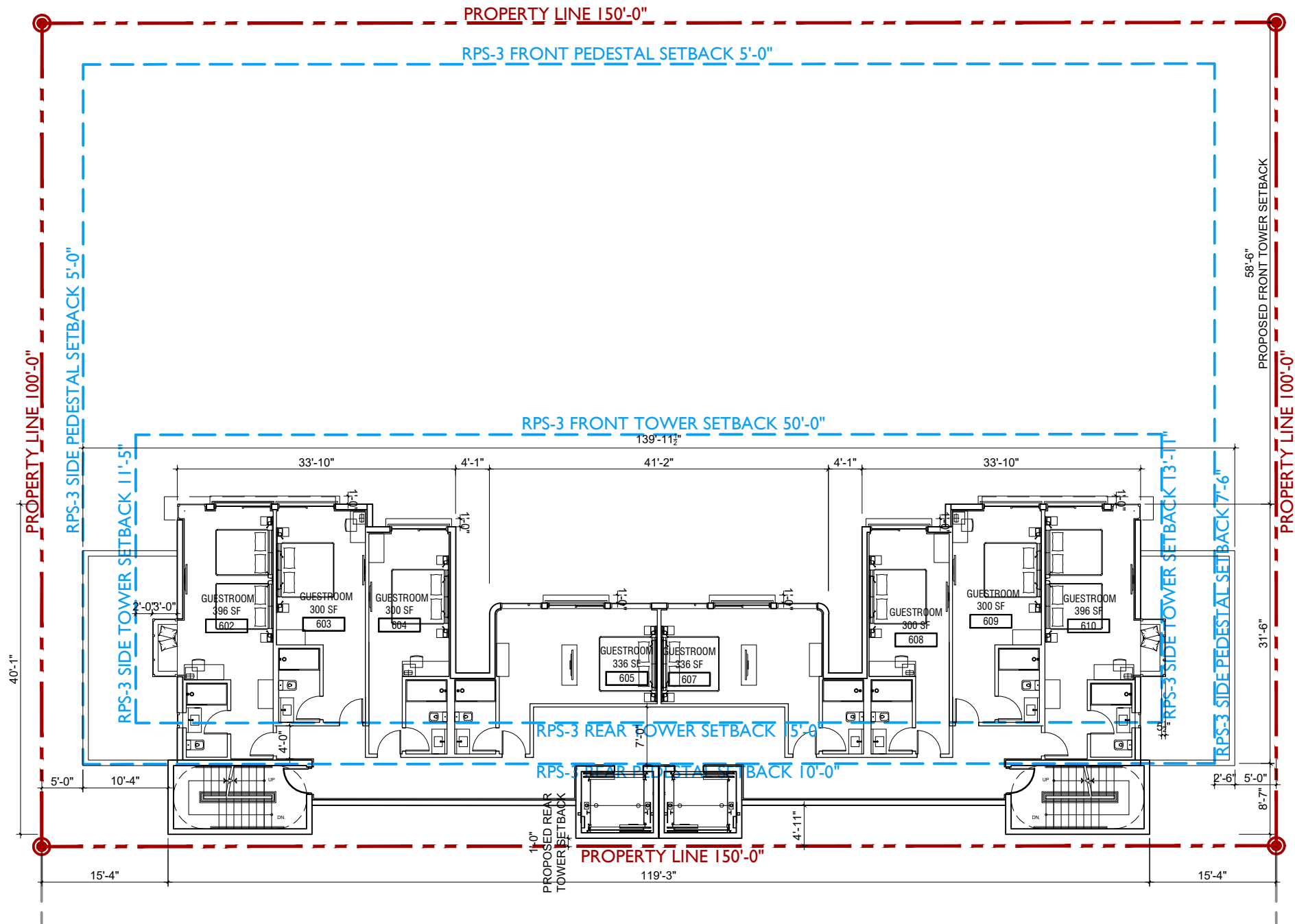
THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

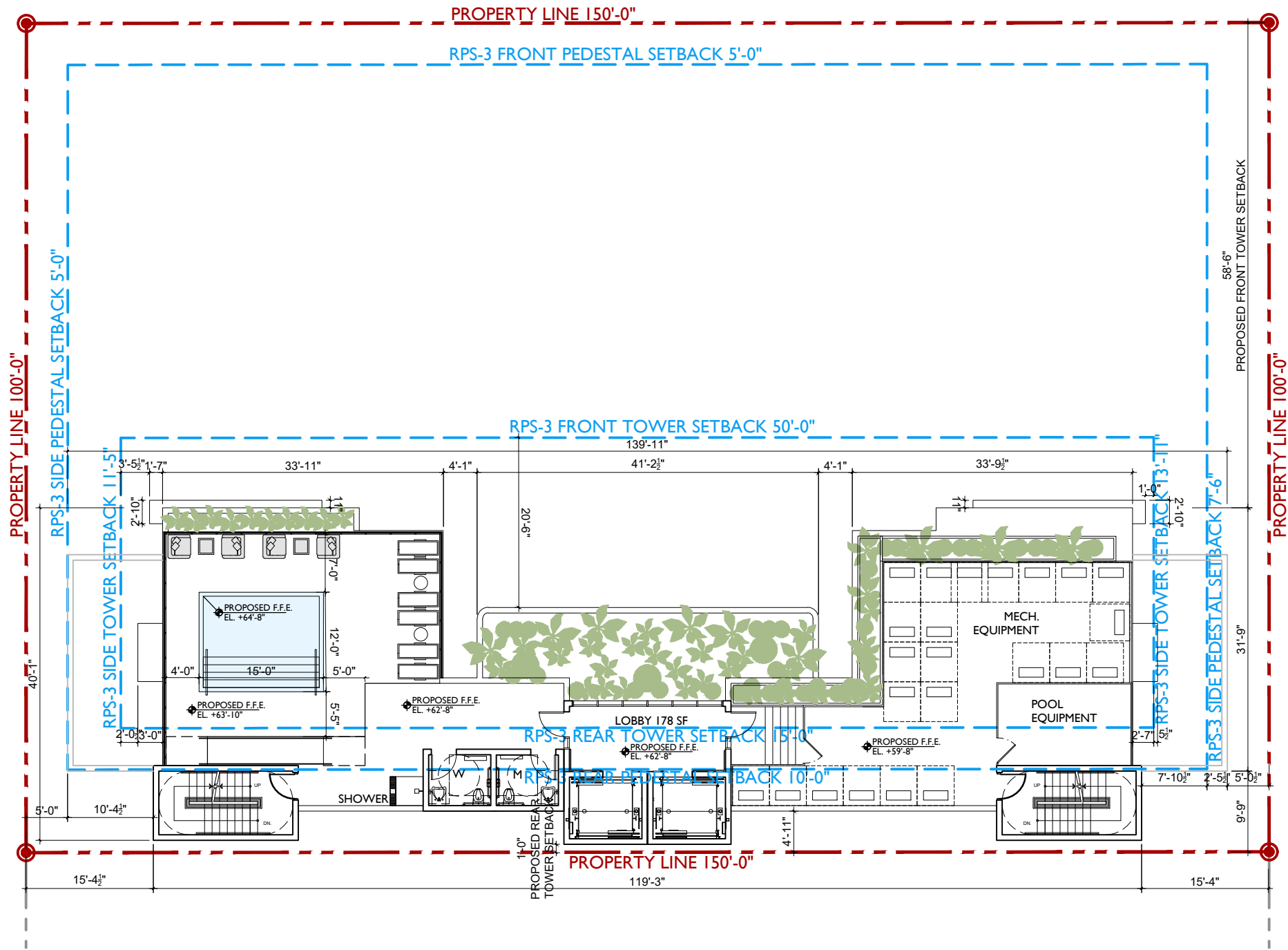
DRAWING:

PROPOSED  
LEVEL 6 PLAN

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SCALE: 1/8"=1'-0"  
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DATE: 12/14/2020  
SHEET NUMBER









PROJECT:

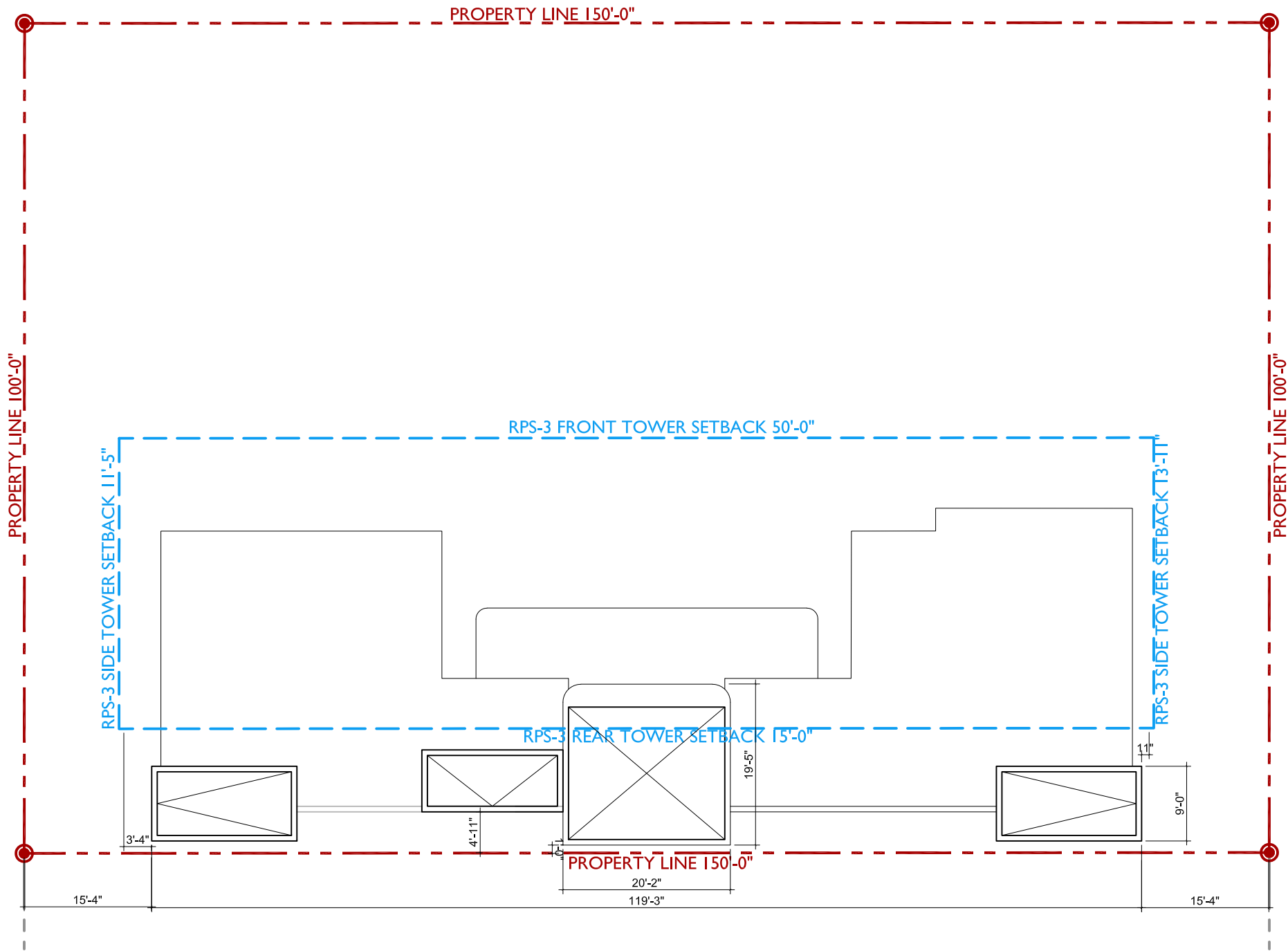
THE HOHAUSER

1030 6th Street  
Miami Beach, FL 33139

DRAWING:

PROPOSED  
ROOF PLAN

JENNIFER MCCONNEY FLORIDA LIC# AR93044  
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SCALE: 1/16"=1'-0"  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER





ELEVATION LEGEND:

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.  
② WOOD FASCIA  
③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION  
④ WHITE STUCCO  
⑤ STUCCO FASCIA  
⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL  
⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL  
⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER  
⑩ STUCCO EYEBROW  
⑪ STEEL GUARDRAILS  
⑫ CONCRETE STAIRS  
⑬ BREEZEBLOCK TO MATCH ORIGINAL  
⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL  
⑮ PAINTED STUCCO  
⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING  
⑰ ALUMINUM SCREEN  
⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS  
⑳ GLASS JULIET BALCONIES  
㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM  
㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING  
㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS  
㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS  
㉕ STUCCO SCORING  
㉖ BACKLIT ALUMINUM SIGN



NORTH ELEVATION  $\frac{1}{8}'' = 1'-0''$

A3.00

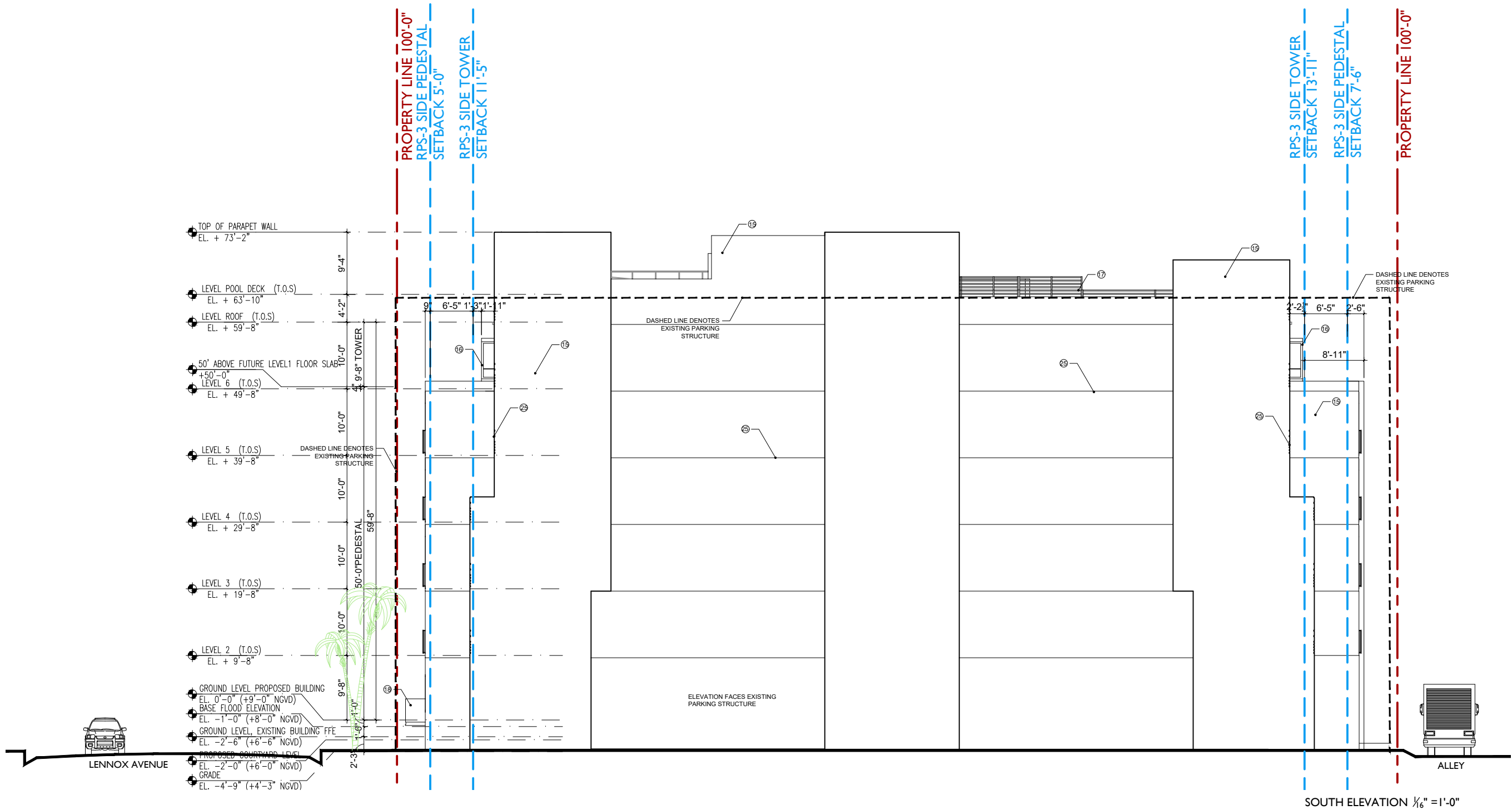


ELEVATION LEGEND:

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.  
② WOOD FASCIA  
③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION  
④ WHITE STUCCO  
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- ⑨ STUCCO PLANTER  
⑩ STUCCO EYEBROW  
⑪ STEEL GUARDRAILS  
⑫ CONCRETE STAIRS  
⑬ BREEZEBLOCK TO MATCH ORIGINAL  
⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL  
⑮ PAINTED STUCCO  
⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING  
⑰ ALUMINUM SCREEN  
⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS  
⑳ GLASS JULIET BALCONIES  
㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM  
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㉖ BACKLIT ALUMINUM SIGN





ELEVATION LEGEND:

① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.

② WOOD FASCIA

③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION

④ WHITE STUCCO

⑤ STUCCO FASCIA

⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL

⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL

⑧ RENOVATED STAIRS TO MATCH ORIGINAL

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⑩ STUCCO EYEBROW

⑪ STEEL GUARDRAILS

⑫ CONCRETE STAIRS

⑬ BREEZEBLOCK TO MATCH ORIGINAL

⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL

⑮ PAINTED STUCCO

⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

⑰ ALUMINUM SCREEN

⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS

⑳ GLASS JULIET BALCONIES

㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM

㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING

㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS

㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS

㉕ STUCCO SCORING

㉖ BACKLIT ALUMINUM SIGN



6TH STREET

EAST ELEVATION 1/8" = 1'-0"

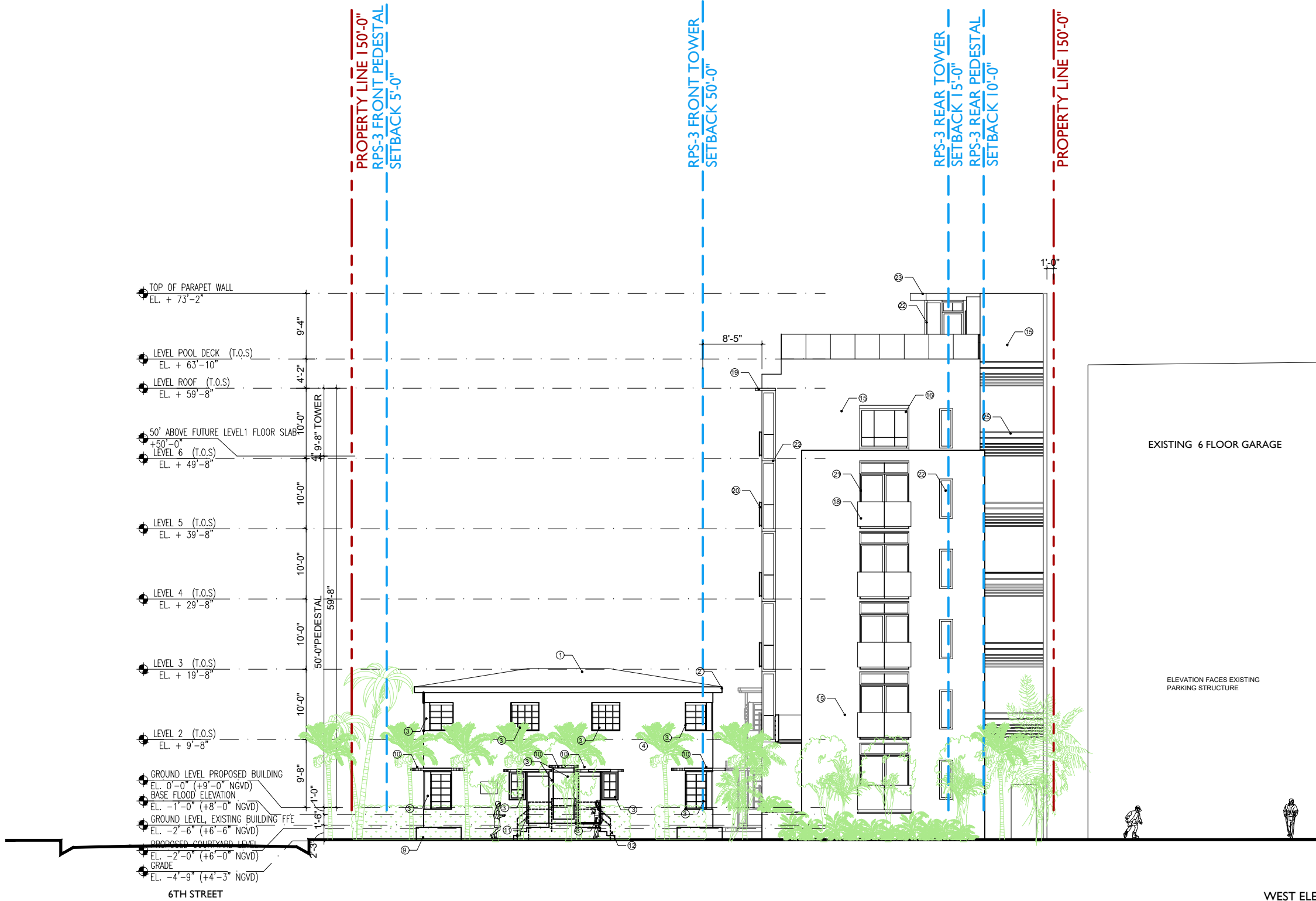


ELEVATION LEGEND:

- ① SPANISH TILE ROOF TO MATCH HISTORIC PHOTOS.  
② WOOD FASCIA  
③ NEW CLEAR ANODIZED ALUMINUM WINDOW FRAMES AND DOORS TO MATCH HISTORIC CONFIGURATION  
④ WHITE STUCCO  
⑤ STUCCO FASCIA  
⑥ STUCCO ORNAMENTAL REVEALS TO MATCH ORIGINAL  
⑦ ORNAMENTAL SCREEN TO MATCH ORIGINAL  
⑧ RENOVATED STAIRS TO MATCH ORIGINAL

- ⑨ STUCCO PLANTER  
⑩ STUCCO EYEBROW  
⑪ STEEL GUARDRAILS  
⑫ CONCRETE STAIRS  
⑬ BREEZEBLOCK TO MATCH ORIGINAL  
⑭ ORNAMENTAL MEDALLION TO MATCH ORIGINAL  
⑮ PAINTED STUCCO  
⑯ BAY WINDOW: FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING  
⑰ ALUMINUM SCREEN  
⑱ GLASS GUARDRAILS TO MATCH TOWER GLASS

- ⑲ POWDER COATED ALUMINUM BRIS SOLEIL. COLOR TO MATCH MULLIONS  
⑳ GLASS JULIET BALCONIES  
㉑ FLUSH GLASS SLIDING DOOR WITH POWDER COATED ALUMINUM AND GLASS TRANSOM  
㉒ FLUSH GLAZING WITH POWDER COATED ALUMINUM FRAMING  
㉓ POWDER COATED CLADDING. COLOR TO MATCH MULLIONS  
㉔ BACKLIT TRANSLUCENT OFF-WHITE GLASS  
㉕ STUCCO SCORING  
㉖ BACKLIT ALUMINUM SIGN



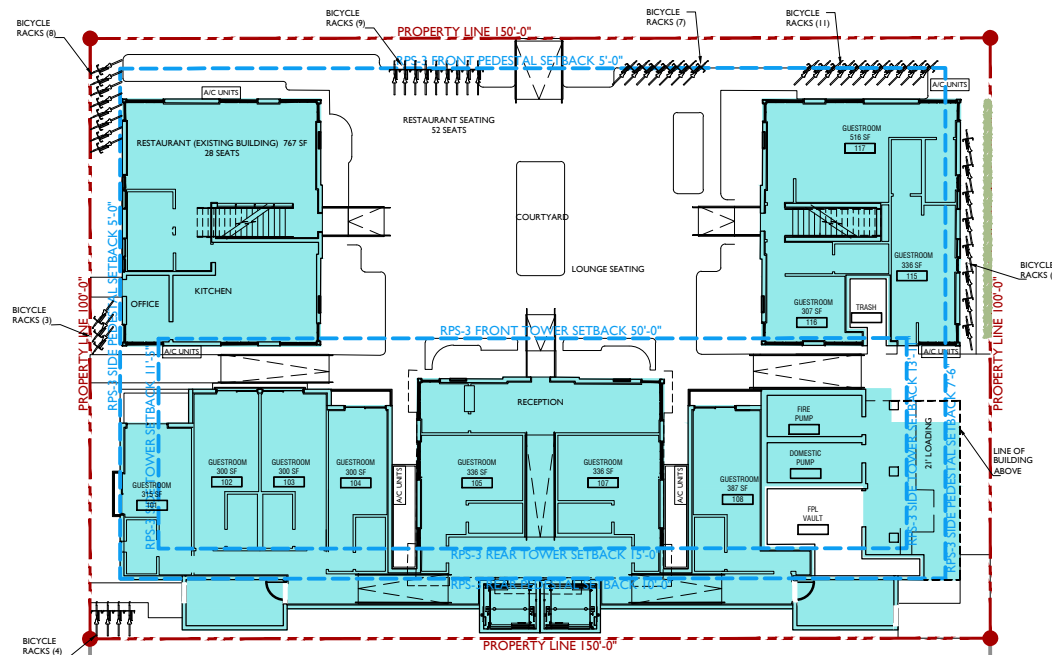




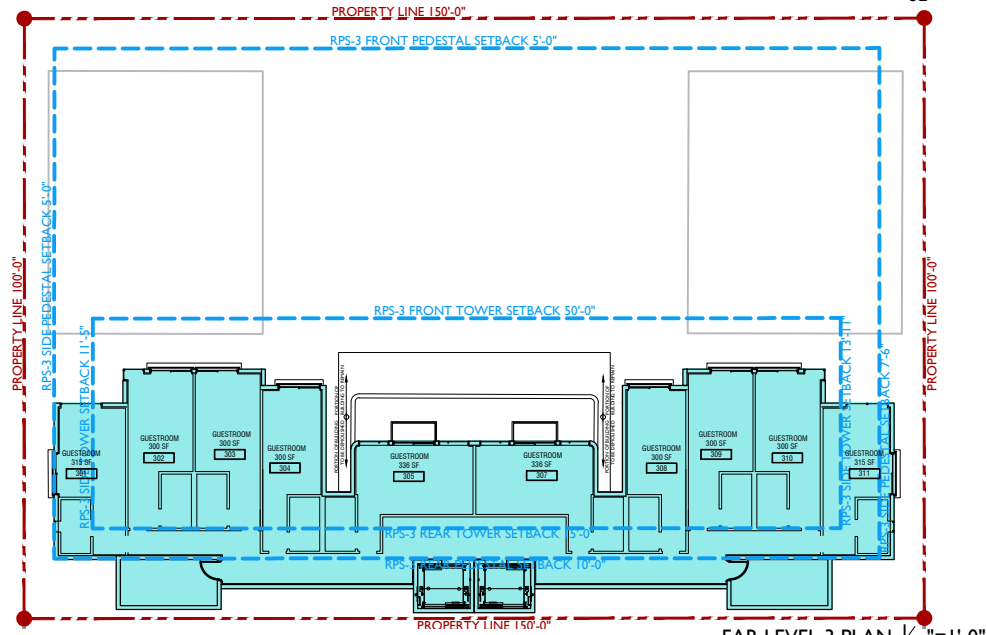




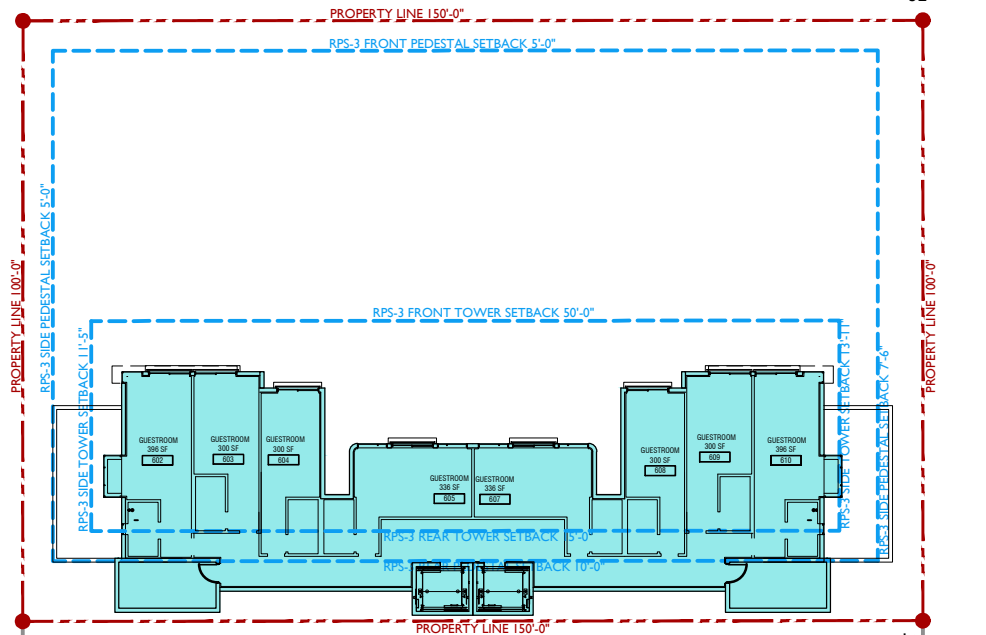




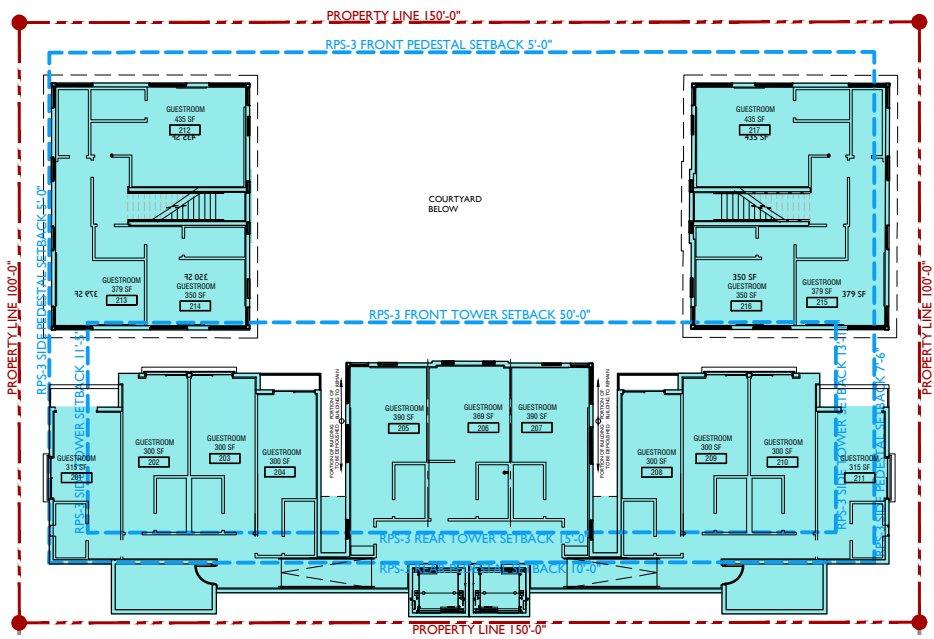
FAR LEVEL 1 PLAN 1/32"=1'-0"



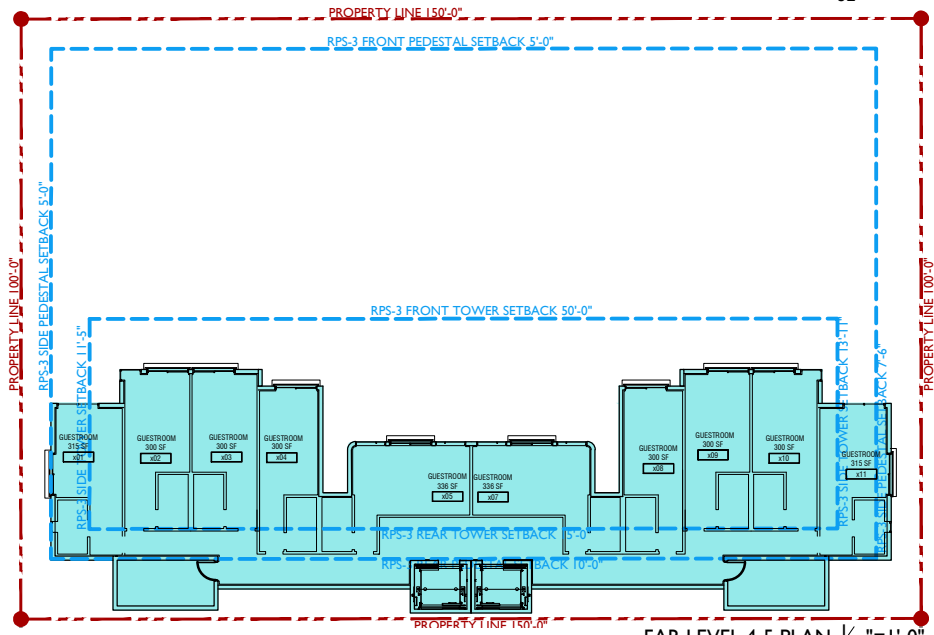
FAR LEVEL 3 PLAN 1/32"=1'-0"



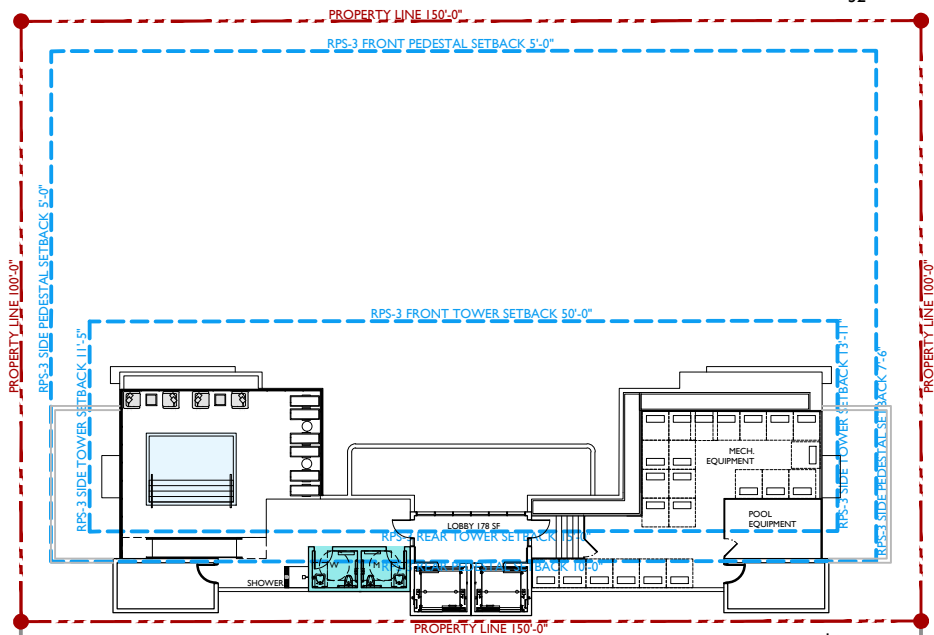
FAR LEVEL 6 PLAN 1/32"=1'-0"



FAR LEVEL 2 PLAN 1/32"=1'-0"



FAR LEVEL 4-5 PLAN 1/32"=1'-0"

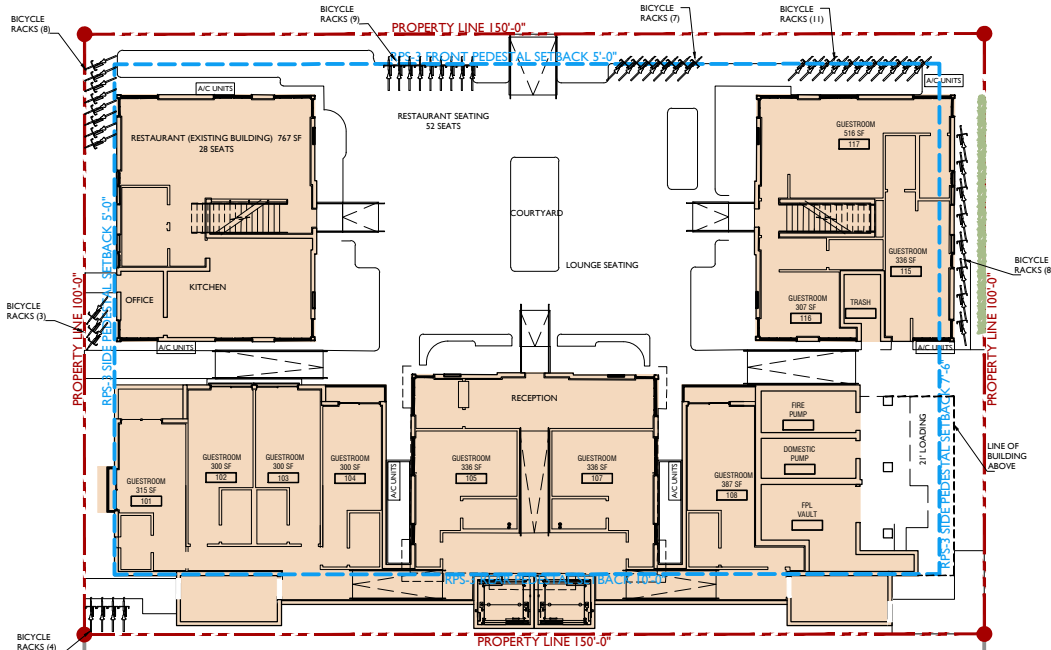


FAR LEVEL POOLDECK, MECH PLAN 1/32"=1'-0"

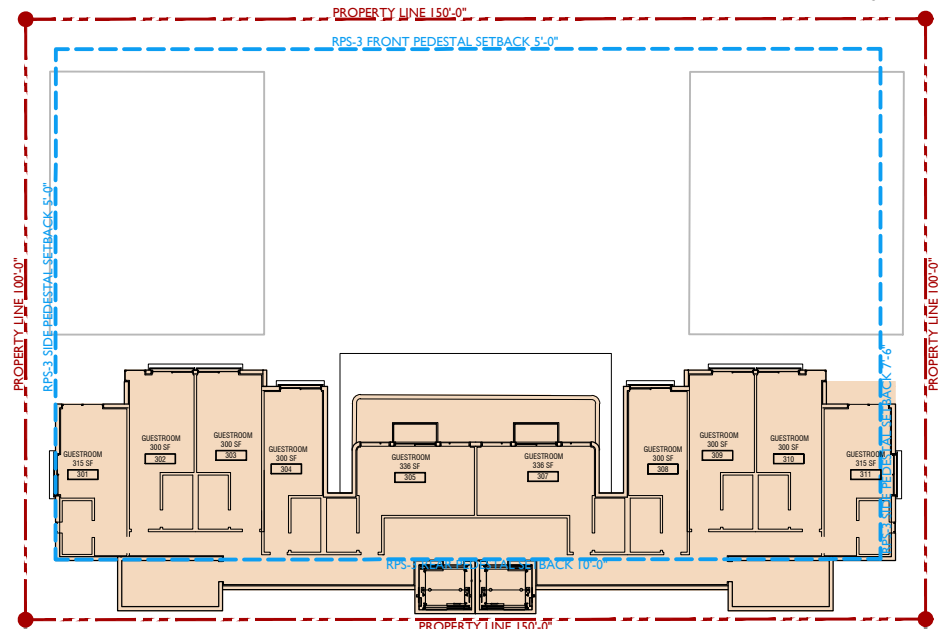
FAR AREA CALCULATIONS

LEVEL	FAR AREA
<b>LEVEL 1</b>	
NEW BUILDING	4,601 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,289 SF
<b>LEVEL 1 TOTAL</b>	<b>7,251 SF</b>
<b>LEVEL 2</b>	
NEW BUILDING	4,943 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,358 SF
<b>LEVEL 2 TOTAL</b>	<b>7,662 SF</b>
<b>LEVEL 3</b>	3,740 SF
<b>LEVEL 4</b>	3,740 SF
<b>LEVEL 5</b>	3,740 SF
<b>LEVEL 6</b>	3,376 SF
<b>LEVEL 7 POOL DECK</b>	120 SF
<b>GRAND TOTAL</b>	<b>29,629 SF</b>

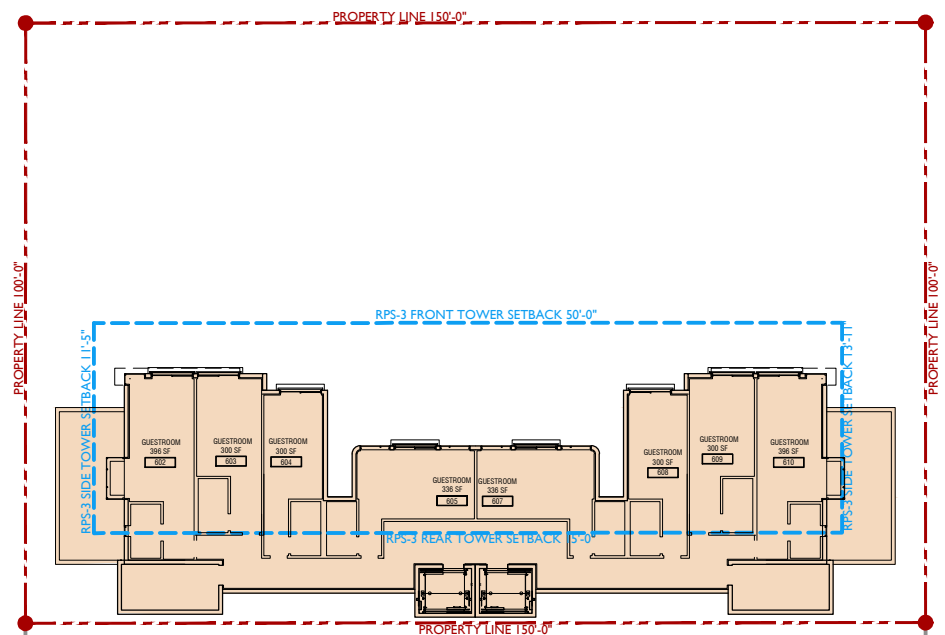




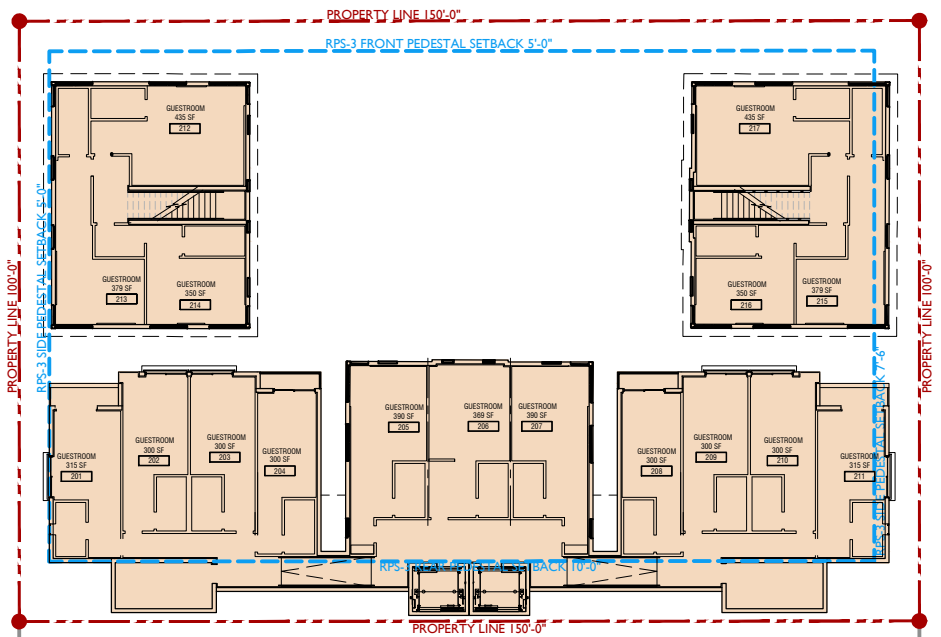
FAR LEVEL 1 PLAN 1/32"=1'-0"



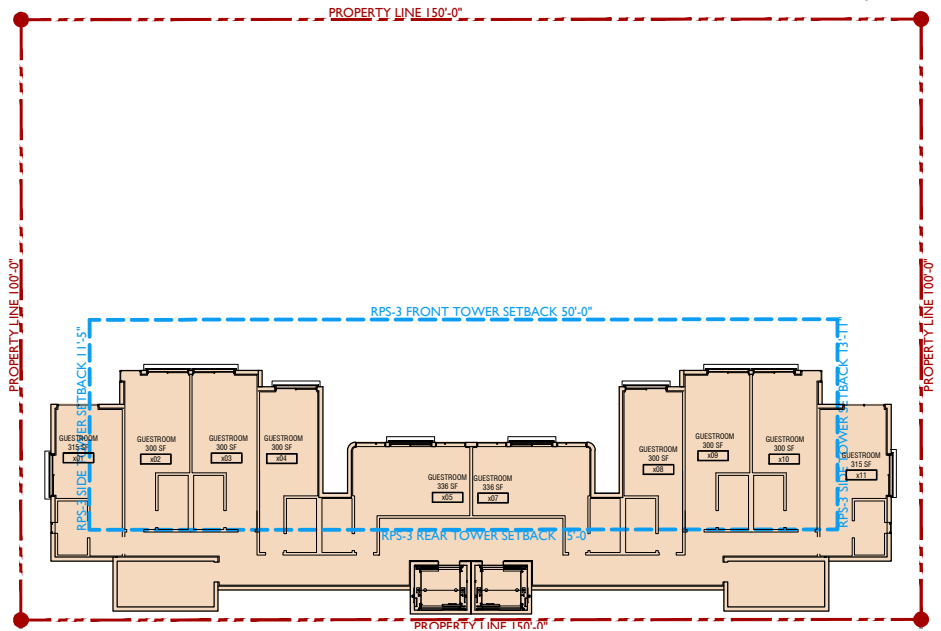
FAR LEVEL 3 PLAN 1/32"=1'-0"



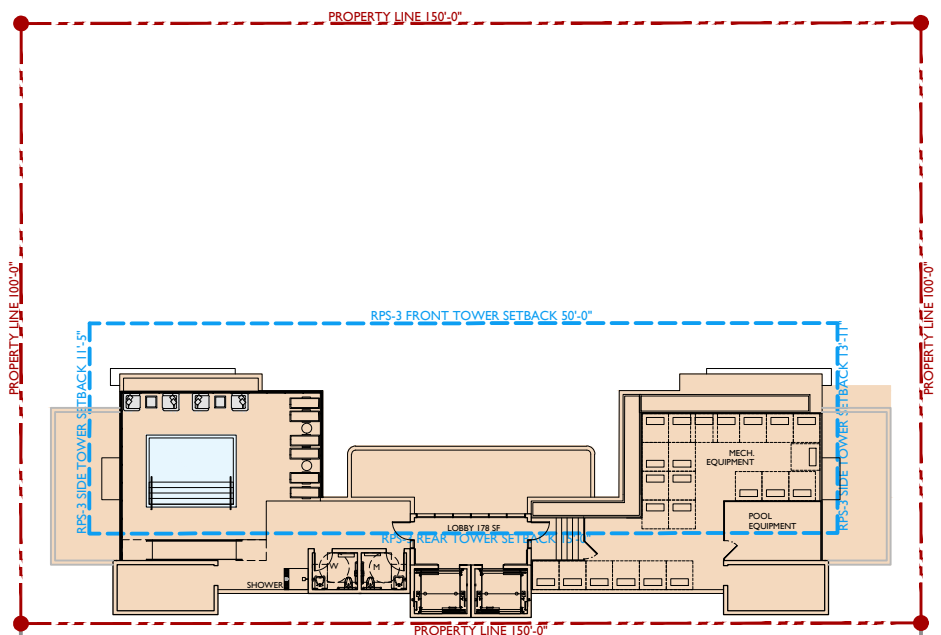
FAR LEVEL 6 PLAN 1/32"=1'-0"



FAR LEVEL 2 PLAN 1/32"=1'-0"



FAR LEVEL 4-5 PLAN 1/32"=1'-0"



FAR LEVEL 7 POOLDECK, MECH PLAN 1/32"=1'-0"

GROSS AREA CALCULATIONS

LEVEL	GROSS AREA
<b>LEVEL 1</b>	
NEW BUILDING	4,677 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,358 SF
<b>LEVEL 1 TOTAL</b>	<b>7,396 SF</b>
<b>LEVEL 2</b>	
NEW BUILDING	5,008 SF
EXISTING WEST BUILDING	1,361 SF
EXISTING EAST BUILDING	1,358 SF
<b>LEVEL 2 TOTAL</b>	<b>7,727 SF</b>
<b>LEVEL 3</b>	<b>3,740 SF</b>
<b>LEVEL 4</b>	<b>3,740 SF</b>
<b>LEVEL 5</b>	<b>3,740 SF</b>
<b>LEVEL 6</b>	<b>3,376 SF</b>
<b>ROOF LEVEL</b>	<b>3,777 SF</b>
<b>GRAND TOTAL</b>	<b>33,496 SF</b>

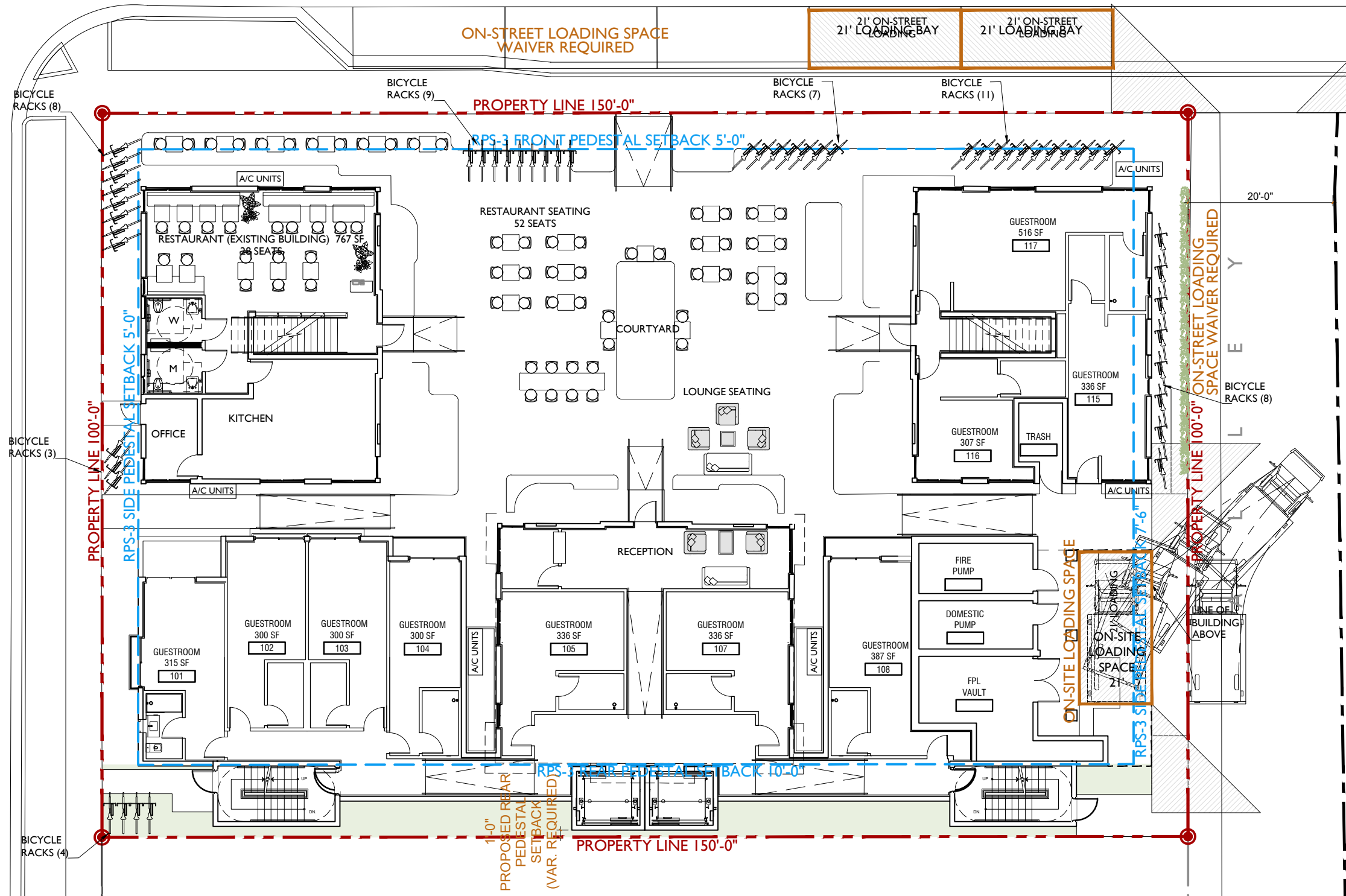


NOTE: THE LOADING  
SPACE COUNT AND  
DIMENSIONS CAN BE  
ADDED OR MODIFIED  
AS NEEDED BASED ON  
THE SIZE OF VEHICLE

REAR YARD (1,500 SF)  
LANDSCAPED REAR YARD  
(518 SF OR 34.53%)

VARIANCE REQUIRED - 65.47%  
ENCROACHMENTS WITHIN THE  
REQUIRED REAR YARD WHEN 30%  
IS PERMITTED

JENNIFER McCONNEY FLORIDA LIC# AR93044  
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ARCHITECTURE, INC. (c) 2020  
SCALE: 1/8"=1'-0"  
CHECK: JMcG  
DATE: 12/14/2020  
SHEET NUMBER











VIEW FACING SOUTH ON 6TH STREET-PROPOSED



VIEW FACING SOUTH ON 6TH STREET-EXISTING

**THE HOHAUSER**

1030 6th Street  
Miami Beach, FL 33139

**PERSPECTIVE  
COMPARISON**

JENNIFER McCONNERY FLORIDA LIC# AR93044  
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SCALE: N.T.S.

CHECK: JMcG

DATE: 12/14/2020

SHEET NUMBER