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2950 SW 27TH AVE.
SUITE 110
MIAMI, FL 33133
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DENNISTON

KKAA KENGO KUMA & ASSOCIATES
隈研吾建築都市設計事務所

IPC

FINAL & FORMAL SUBMITTAL 01-04-2021
APPLICATION HPB No.20-0441

REVISION TO:
HPB ORDER No. 7490
HPB ORDER No. 20-0376
HPB ORDER No.20-0389
HPB ORDER No. 20-0430

PROPOSED SCOPE UNDER THIS REVISION:

POOL DECK AND BEACH CLUB DESIGN

LANDSCAPE DESIGN OVERALL SITE

AMAN

AMAN HOTEL & RESIDENCES

3425 COLLINS AVE.
MIAMI BEACH, FLORIDA

HISTORIC PRESERVATION BOARD
MARCH 8th, 2021

NOT FOR CONSTRUCTION

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Project

Owner Information

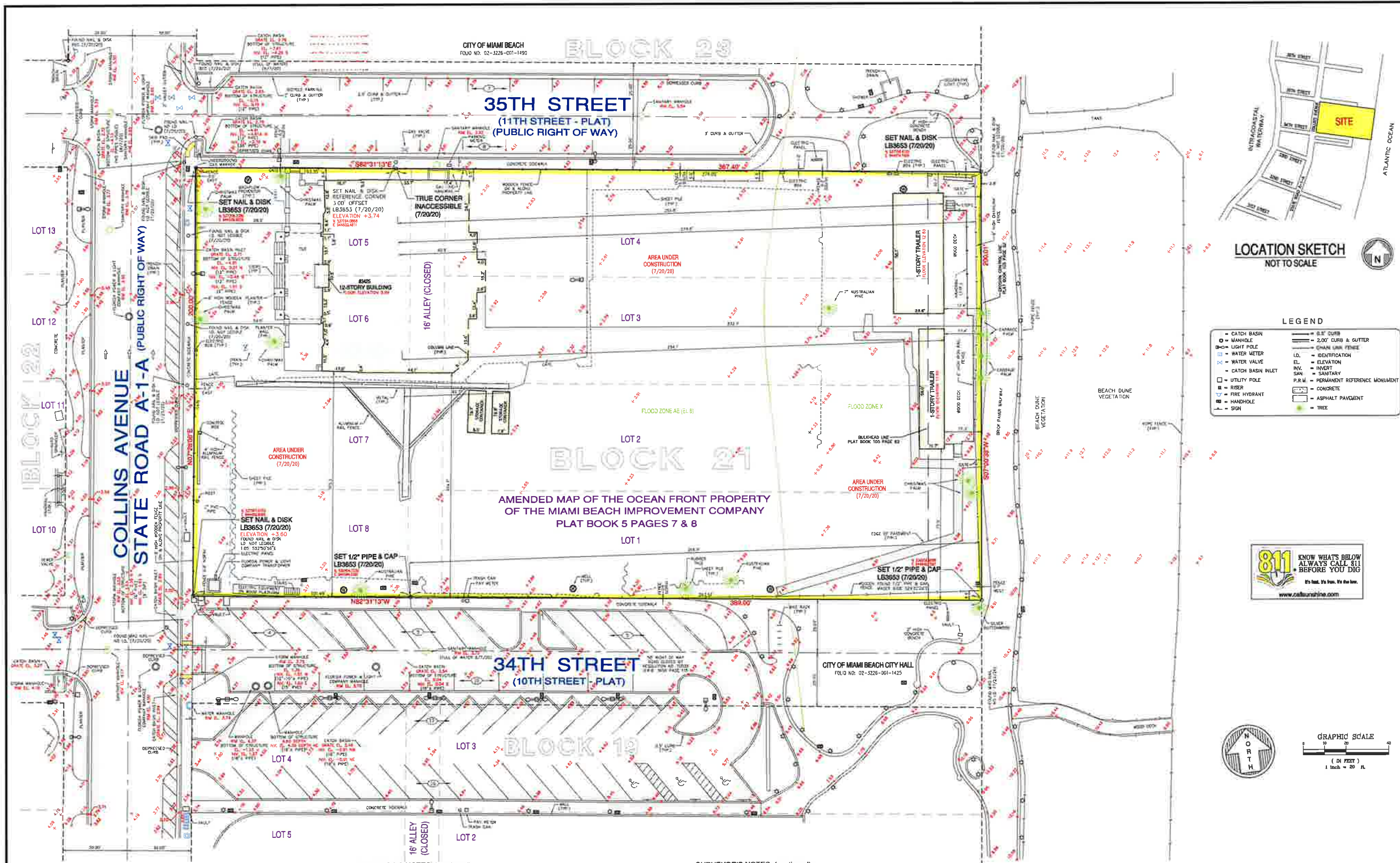
4100 N.E. 2ND AVENUE
MIAMI, FL 33137
(305) 573-1158



HPB - March 8, 2021

Date _____

Sheet No.



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SL	SH	DUE	LOCATION	DATE	DESCRIPTION
2	200357				
1	200862				
1	200862				
1	200862				

FORTIN, LEAVY, SKILES, INC.
CONSULTING ENGINEERS, SURVEYORS & MAPPERS
FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 0000563
180 Northeast 168th Street / North Miami Beach, Florida 33162
Phone 305-453-4493 / Fax 305-451-7152 / Email fls@leavy.com

BOUNDARY & TOPOGRAPHIC SURVEY
AMAN - 3425 COLLINS AVENUE
CITY OF MIAMI BEACH, MIAMI-DADE COUNTY, FLORIDA

Original Date	7/20/20
Scale	1"=20'
Drawn by	MAP
CAD No.	200450
Plotted	11/20/20 12:07a
Ref. Dwg.	
Field Book	565/40-51 RLL
Job No.	200450
Dwg. No.	2020-071-AMND
Sheet	1 of 1

LEGAL DESCRIPTION:
Lots 1 through 8 and the 16 foot alley, Block 21, AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT COMPANY, according to the plat thereof, as recorded in Plat Book 5 at Pages 7 and 8, of the Public Records of Miami-Dade County, Florida.

SURVEYOR'S NOTES:

- This site lies in Section 34, Township 53 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida.
- All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.
- Lands shown hereon were NOT obstructed for restrictions, easements and/or rights-of-way of records.
- Bearings hereon are referred to an assumed value of N 07°28'05" E for the East right of way line of Collins Avenue, and evidenced by (2) set nail & disk.

SURVEYOR'S NOTES: (continued)

- Elevations shown hereon are relative to the National Geodetic Vertical Datum of 1929, based on Miami-Dade County Bench Mark No. 8-313, Elevation +4.33 and located by US C&G brass disk on top of concrete ramp directly over a catch basin at 36th Street (81.7' South of South curb) and Collins Avenue (57.6' East of East curb).
- Lands shown hereon are located within an area having a Zone Designation X and AE (EL 8) by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 1208060336L for Community No. 120803, dated September 11, 2008, and index map revised September 11, 2009, and is relative to the National Geodetic Vertical Datum of 1929.
- Dimensions indicated hereon are field measured by electronic measurement, unless otherwise noted.
- Lands shown hereon containing 73,640 square feet, or 1.691 acres, more or less.
- All horizontal control measurements are within a precision of 1:10,000.
- This map is intended to be displayed at the graphic scale shown hereon or smaller.
- Roof overhang not located unless otherwise shown.

SURVEYOR'S NOTES: (continued)

- Trees shown are surveyed for their horizontal location and/or size. Identification and/or name verification of all trees should be confirmed by the Division of Forestry, a certified Arborist or a professional in that field.
- The State Plane Coordinates shown hereon are relative to the North American Datum of 1983 (NAD83), using Real Time Kinematic (RTK) Equipment and real-time adjustment software connected through Florida Department of Transportation (FDOT) is the Florida Permanent Reference Network (FPRN).
- Underground improvements and/or underground encroachments not shown unless otherwise indicated.
- The approximate location of all utilities shown hereon were determined from As-Built plans and/or on-site locations and should be verified before construction.
- Legal description shown hereon furnished by client and no claims as to ownership are made or implied.
- Pursuant to Florida Statutes in Chapter 161.141, it designates that an upland property landward of the established Erosion Control Line shall remain the property of the upland owner.
- Tax Folio No. 02-3226-001-1440

SURVEYOR'S CERTIFICATION:

I hereby certify that this "Boundary and Topographic Survey" was made under my responsible charge on July 20, 2020, and meets the applicable codes as set forth in the Florida Administrative Code, pursuant to Section 472.027, Florida Statutes. The fieldwork was completed on July 20, 2020.

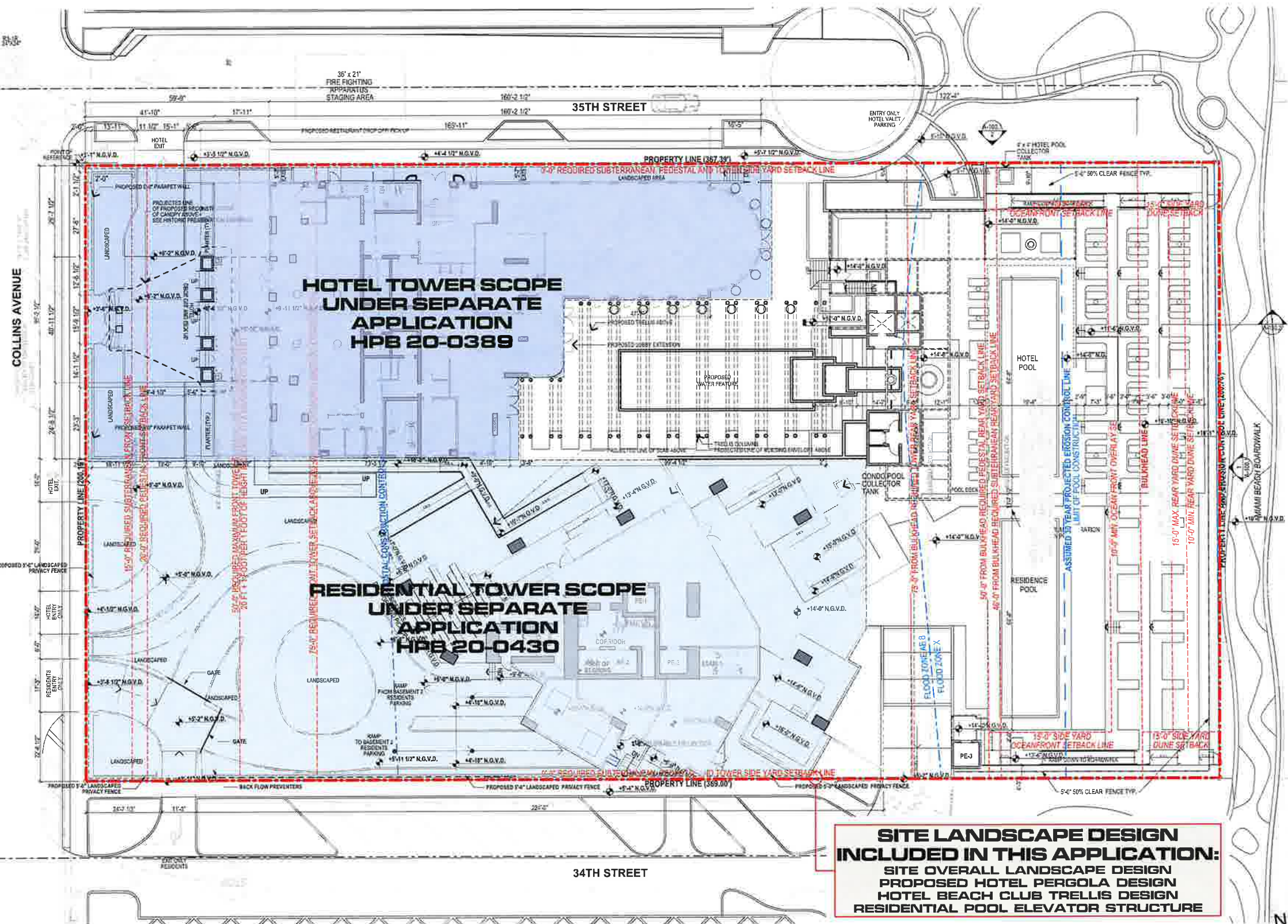
"Not valid without the signature and original raised seal or a digital signature of the Florida Licensed Surveyor and Mapper shown below"

FORTIN, LEAVY, SKILES, INC., LB3653
Digitally signed by Daniel C. Fortin
DN: cn=US, o=unaffiliated,
ou=A0141050000017402A28F4200042958,
cn=Daniel C. Fortin
Date: 2020.11.20 12:19:31 -0500

By: Daniel C. Fortin, Jr., For The Firm
Surveyor and Mapper, 156435
State of Florida.

PROPERTY OWNER: 3425 COLLINS LLC

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SITE LANDSCAPE DESIGN INCLUDED IN THIS APPLICATION:
SITE OVERALL LANDSCAPE DESIGN
PROPOSED HOTEL PERGOLA DESIGN
HOTEL BEACH CLUB TRELLIS DESIGN
RESIDENTIAL POOL ELEVATOR STRUCTURE

SCOPE OF WORK

SCALE: 1/16" = 1'-0"

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MIAMI, FL 33140

Owner Information
OKO GROUP
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(305) 573-1158

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Date
01-04-2021
Scale
AS SHOWN
Project No.
1933
Sheet Name
SCOPE OF WORK
Sheet No.

A-001

ZONING DATA

SITE ADDRESS

3425 COLLINS AVENUE, MIAMI BEACH, FL. 33140

SITE DATA

ZONING DESIGNATION: RM-3 (RESIDENTIAL MULTIFAMILY, HIGH INTENSITY)
FLOOD ZONE: "AE" (ELEV. 8 NGVD29)
"X" (FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP NUMBER 12086C0336 L COMMUNITY NUMBER 120635, MIAMI-DADE COUNTY UNINCORPORATED AREAS, EFFECTIVE DATE SEPTEMBER 11, 2009
BASE FLOOD ELEVATION: 8.0', N.G.V.D. 1929

BLDG. DATA

BUILDING HEIGHT: 250'-0" ABOVE BFE + 5'-0" FREEBOARD 13'-0" N.G.V.D.
ESTABLISHED BFE: 8'-0"
PROPOSED: 220'-3" NEW BUILDING (233'-3" N.G.V.D.)
EXISTING TOWER: 161'-0" T.O. ROOF SLAB N.G.V.D.
EXISTING TOWER: 200'-0" T.O. CUPOLA N.G.V.D.
PROPOSED NEW TOWER
EXISTING TOWER 23 RESIDENTIAL UNITS
56 HOTEL GUESTROOMS

OVERLAY AREAS

DUNE PRESERVATION OVERLAY: RECREATIONAL AND OPEN SPACE
WEST OF THE EROSION CONTROL LINE (ECL)
EAST OF THE BULKHEAD LINE
REQUIRED: 80%
TOTAL AREA: 5,073 SF
IMPERVIOUS AREA: 6.18%
MAX.PER CODE: 20%
PERVIOUS AREA: 93.82%
MINIMUM YARDS
BULKHEAD LINE 0 FT
SIDE PROPERTY LINE 15 FT
MUNICIPAL PARK 15 FT
STREET END 15 FT
ROW 15 FT
EROSION CONTROL LINE 10-15 FT STRUCTURES W/ FIN. FLR. ELEV. 3 FT OR LESS ABOVE T.O. DUNE
ADD 1 FT FOR EVERY FOOT INCREASE IN FIN. FLR. ELEV.
MAX 2.5 FT ABOVE DUNE
ONE STORY OR 12 FT
ZERO
NO PARKING REQUIREMENT
FINISHED FLOOR ELEVATION
MAX. BUILDING HEIGHT
MAX. DENSITY
PARKING REGULATIONS
OCEANFRONT OVERLAY: WEST OF BULKHEAD LINE
SETBACKS
REAR 50 FT FRONT BULKHEAD LINE - DWELLING CONSTRUCTION AT GRADE AND SUBTERRANEAN LEVELS
SIDE LOT LINE 15 FT
BULKHEAD LINE 10 FT
MAX HEIGHT 30 FT ABOVE GRADE
FINISHED FLOOR ELEVATION 2.5 FT ABOVE T.O. DUNE
FAR 0.5 OF SETBACK AREA
LOT COVERAGE 50 % OF REQUIRED REAR YARD SETBACK OPEN TO SKY
VIEW CORRIDOR 50 % OF REQUIRED REAR YARD SETBACK OPEN APART FROM LANDSCAPE FROM E.C.L. TO REAR SETBACK LINE
RM-3 OVERLAY ZONE: TOTAL AREA: 58,680 SF

LOT AREA

AREA PARCEL 1 : 68,736 S.F. (1.5780 ACRES)
AREA PARCEL 2 : 5,078 S.F. (0.1165 ACRES)
73,812 S.F (1.6945 ACRES)
MAX F.A.R. 3.0 X 73,812 S.F. = 221,436 S.F.
MAX LOT WIDTH REQUIRED 50 FT
EXCEEDS CRITERIA AT 200 FT

MIN. LOT AREA

REQUIRED 7000 S.F. - EXCEEDS CRITERIA AT 73,812 SF

MINIMUM UNIT SIZE

NEW CONSTRUCTION 800 SF - MEETS CRITERIA
HISTORIC TOWER AVERAGE UNIT SIZE=1897 SF
NEW TOWER AVERAGE UNIT SIZE= 2450 SF

MAXBUILDING HEIGHT

OCEANFRONT LOTS 200 FT
HISTORIC TOWER = 200 FT TO T.O. ROOF SLAB + MECHANICAL ROOF
NEW TOWER= 233'-3" FT (NGVD) TO TOP OF OUTDOOR KITCHEN COUNTER

MAX NUMBER OF STORIES

OCEANFRONT LOTS 22 STORIES - MEETS CRITERIA
HISTORIC TOWER - 10 GUESTROOM LEVELS + ROOF TOP REST.+LOBBY+ MEZZ.+ BASEMENT
NEW TOWER - 13 RESIDENTIAL LEVELS + LOBBY + MEZZANINE + 3 LEVELS OF BASEMENT

NEW CONSTRUCTION ADDITIONAL REGULATIONS

ALL FLOORS OF A BUILDING CONTAINING PARKING SPACES SHALL INCORPORATE RESIDENTIAL OR COMMERCIAL USES AT THE FIRST LEVEL ALONG EVERY FACADE FACING A STREET, SIDEWALK OR WATERWAY.

SETBACK REQUIREMENTS

	FRONT (WEST-COLLINS AVE.)			NORTH - SIDE FACING A STREET SOUTH - SIDE INTERIOR			REAR (EAST- BEACH)		
	REQUIRED	PROVIDED	PROVIDED	REQUIRED	PROVIDED (N)	PROVIDED (S)	REQUIRED	PROVIDED	PROVIDED
		HIST. TOWER	NEW TOWER		HIST. TOWER	NEW TOWER		HIST. TOWER	NEW TOWER
SUB TERRANEAN	15'-0"	41'-8"	20'-0"	0'-0"	0'-0"	0'-0"	46'-0" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE	47'-11" FROM BULKHEAD LINE
PEDESTAL	20'-0" up to 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	41'-5"	106'-8"	0'-0"	0'-0" AT NORTH SIDE	8" AT SOUTH SIDE	50'-0" FROM BULKHEAD LINE	122'-4" FROM BULKHEAD LINE	95'-4" FROM BULKHEAD LINE
TOWER	20'-0" + 1 ft per 1ft increase in height above 50 ft to a max of 50 ft 203'-0" height 75'-0" above 203'-0" height (to the closest face of the balcony)	59'-6"	96'-10"	0'-0"	5'-8" AT NORTH SIDE	8" AT SOUTH SIDE	75'-0" FROM BULKHEAD LINE	198'-4" FROM BULKHEAD LINE	99'-10" FROM BULKHEAD LINE

PARKING DATA

SEE REVISED
PARKING AND LOADING
CALCULATIONS PAGE A-005

DESIGNATED HISTORIC BUILDING
NO OFF-STREET PARKING IS REQUIRED
FOR MAIN OR ACCESSORY USES
ASSOCIATED WITH AN INDIVIDUALLY
DESIGNATED HISTORIC BUILDING.

DESIGNATED GUEST PARKING:
DEVELOPMENTS WITH MORE THAN 20 UNITS
10% OF REQUIRED PRESIDENTIAL PARKING

OFF- STREET PARKING DESIGN STANDARDS
8.5' X 18' MULTI- FAMILY RESIDENTIAL
BUILDING 8.5 FT X 16 FT -100 % VALET ONLY
GOVERNED BY A RESTRICTIVE COVENANT
TANDEM MAXIMUM STACKING OF 2
PARKING AISLE MIN. 22 FT

TANDEM PARKING
MAY BE UTILIZED FOR SELF- PARKING IN
MULTI FAMILY RESIDENTIAL BUILDINGS
WITH RESTRICTIVE COVENANT LIMITING
USE OF EACH TANDEM PARKING SPACE
TO THE SAME UNIT OWNER.

aisle drives
TWO WAY TRAFFIC 22 FT WIDE
ONE WAY TRAFFIC 11 FT WIDE
DRIVEWAY ENTRANCE AND ENTRY
CURB CUT-MIN. 12 FT
DRIVE COLUMNS FOR 90 DEGREES
LAYOUT SET BACK 1'-6" MEASURED
FROM EDGE OF THE REQUIRED
INTERIOR DRIVE TO THE
FACE OF THE COLUMN

OFF-STREET LOADING
RESIDENTIAL BUILDING
OVER 36 UNITS BUT LESS
THAN 50 UNITS: 1 SPACE
OVER 50 UNITS BUT NOT MORE THAN
100 UNITS: 2 SPACES
DESIGN STANDARD-WITHIN THE SAME LOT
LOGICALLY AND CONVENIENTLY LOCATED
FOR BULK PICK UPS AND DELIVERIES
SCALED FOR EXPECTED DELIVERIES
10 X 20 FT

F.A.R. HISTORIC HOTEL	
LEVEL	Area (sf)
GRADE LEVEL	266
GROUND LEVEL	10,675
LEVEL 2	1,398
LEVEL 3	6,522
LEVEL 4	4,009
LEVEL 5	6,522
LEVEL 6	6,519
LEVEL 7	6,518
LEVEL 8	6,518
LEVEL 9	6,518
LEVEL 10	6,518
LEVEL 11	6,518
LEVEL 12	6,522
LEVEL 14	5,047
	80,070 sq ft

F.A.R. RESIDENTIAL BUILDING	
LEVEL	Area (sf)
GRADE LEVEL	205
GROUND LEVEL	4,523
LEVEL 2	2,466
LEVEL 3	10,693
LEVEL 4	10,693
LEVEL 5	10,693
LEVEL 6	10,693
LEVEL 7	10,693
LEVEL 8	10,693
LEVEL 9	10,693
LEVEL 10	10,693
LEVEL 11	10,693
LEVEL 12	10,693
LEVEL 14	8,585
LEVEL 15	8,585
LEVEL 16	8,585
ROOF LEVEL	677
	140,556 sq ft

TOTAL F.A.R. PROPOSED = 220,707 S.F.

MAX. F.A.R. ALLOWED: 3 X 73,812 S.F. = 221,436 S.F.

EXCLUDED AREAS PER PROPOSED MODIFICATIONS TO FAR EXCEPTIONS
UNDER PROCESS OF APPROVAL AND ADOPTION

PROPOSED MODIFICATIONS SHOWN IN RED

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AMAN HOTEL AND
RESIDENCES

3425 COLLINS AVE.
MIAMI, FL 33140

Owner Information

OKO GROUP
4100 N.E. 2ND AVENUE
MIAMI, FL 33137
(305) 573-1158



Luis O. Revuelta
AR-0007972

HPB - March 8, 2021

Date
01-04-2021

Scale
AS SHOWN

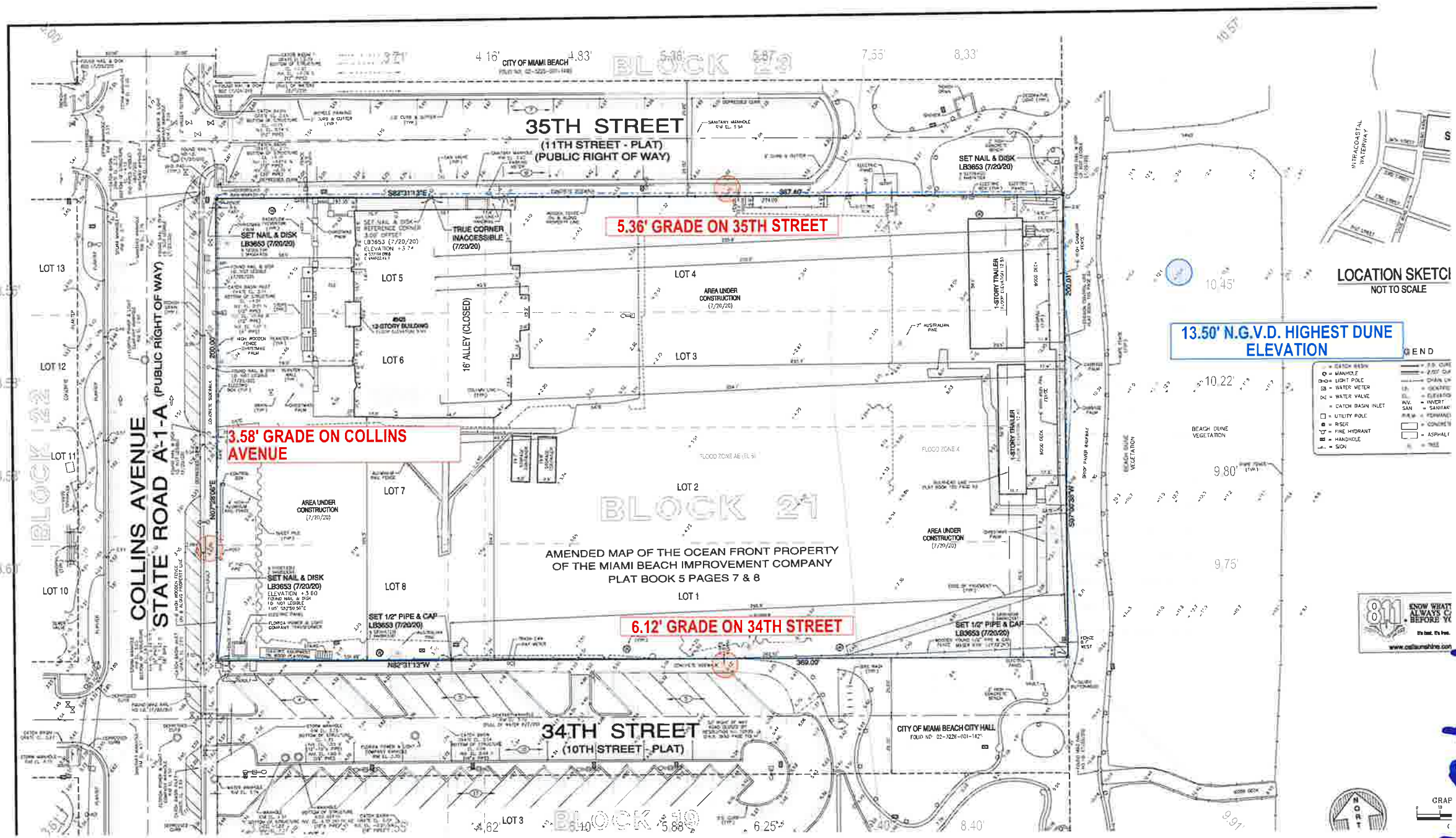
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1933

Sheet Name
PROPOSED ZONING DATA

Sheet No.

A-002

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Grade means the city sidewalk elevation at the centerline of the front of the property. If there is no sidewalk, the elevation of the crown of the road at the centerline of the front of the property shall be used.
3.58' ON COLLINS AVENUE; 5.36' ON 35TH STREET; 6.12' ON 34TH STREET

Highest Dune Elevation
13.5'

GRADE AND DUNE CALCULATION

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LOCATION SKETCH
NOT TO SCALE

- END
- GATCH BASIN
 - MANHOLE
 - +□ LIGHT POLE
 - +□ WATER METER
 - +□ WATER VALVE
 - +□ CATCH BASIN INLET
 - +□ UTILITY POLE
 - +□ RISK
 - +□ FIRE HYDRANT
 - +□ HANDHOLE
 - +□ SIGN
 - +□ P.B. CURB
 - +□ 2" X 4" S.P.
 - +□ CHAIN LINK
 - +□ GOLFTEE
 - +□ ELEVATED
 - +□ WAST.
 - +□ SAN.
 - +□ SANITARY
 - +□ PERMANENT
 - +□ CONCRETE
 - +□ ASPHALT
 - +□ TRAIL

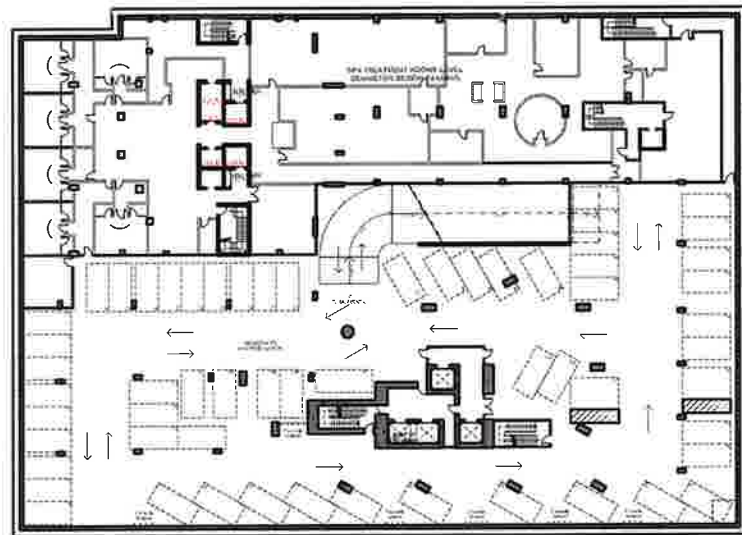
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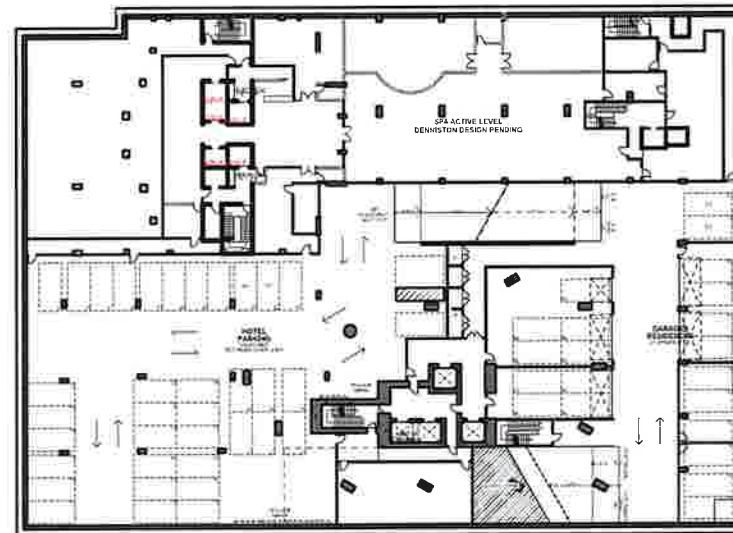
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Sheet Name
GRADE AND DUNE
CALCULATION
Sheet No.
A-003



BASEMENT LEVEL -3 BELOW GRADE

SCALE: 1/32" = 1'-0"

FAR = 0 SF

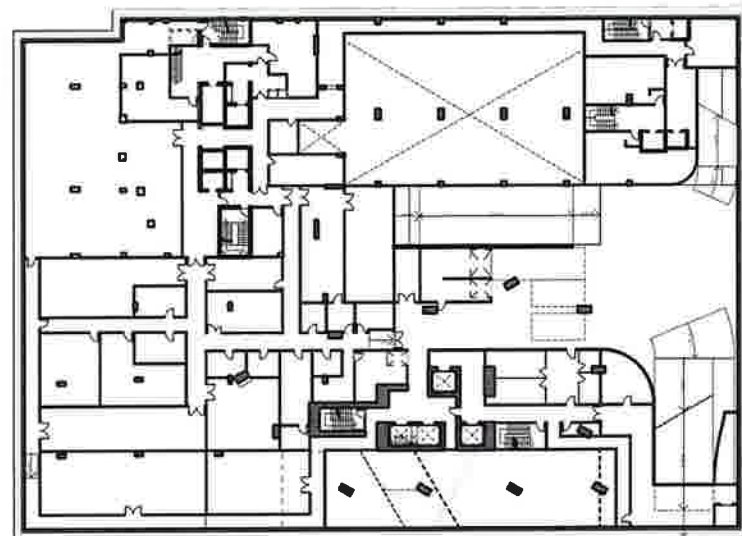


BASEMENT LEVEL -2 BELOW GRADE

SCALE: 1/32" = 1'-0"

FAR = 0 SF

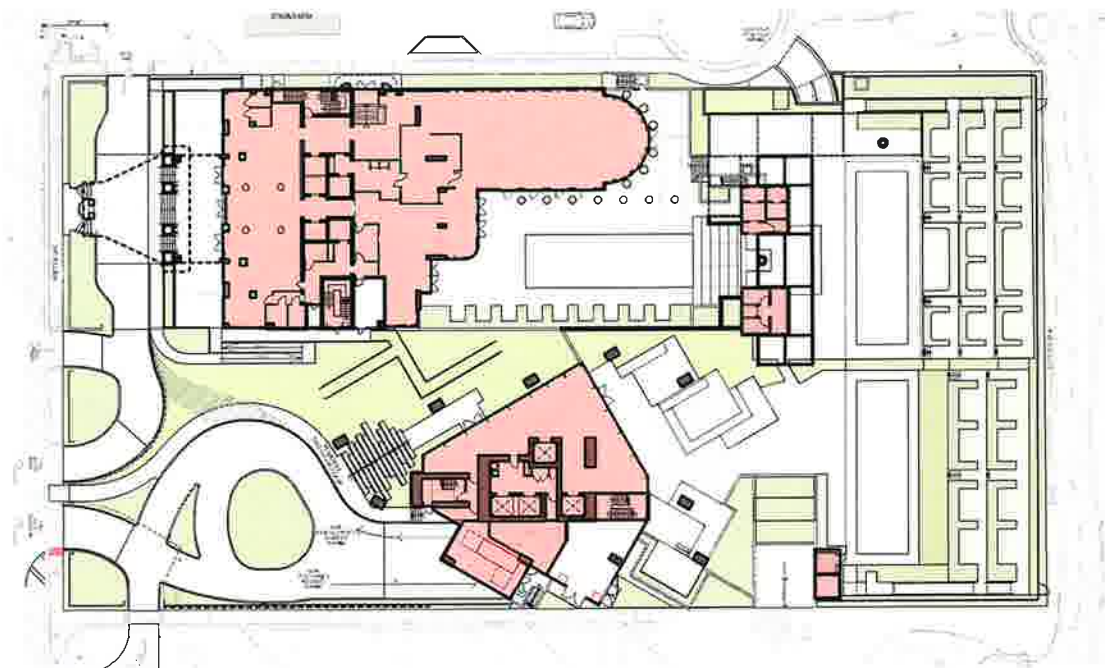
PROPOSED F.A.R.



BASEMENT LEVEL -1 BELOW GRADE

SCALE: 1/32" = 1'-0"

FAR = 0 SF



FAR HOTEL = 10,675 SF
FAR RESIDENCES = 4,433 SF

F.A.R. DIAGRAMS - PROPOSED

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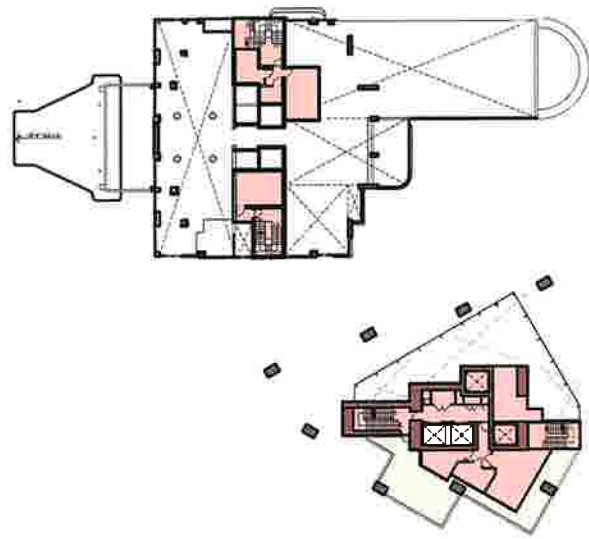
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F.A.R. DIAGRAMS - PROPOSED
Sheet No.

A-004

HPB FOR CONSTRUCTION

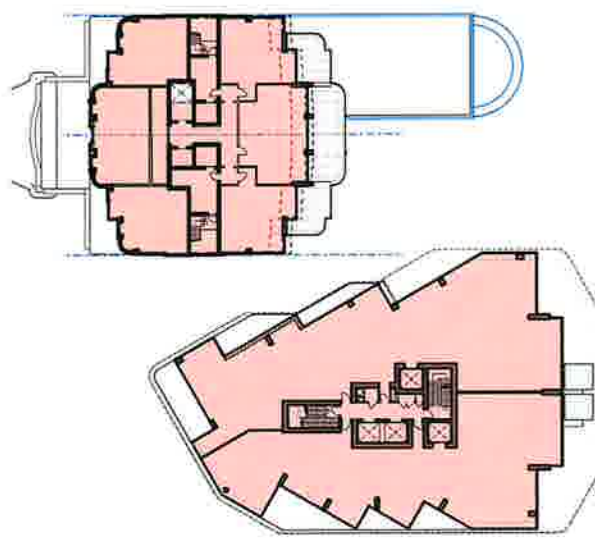
I hereby certify that the information contained herein is true and correct to the best of my knowledge and belief, and that I am a duly licensed Professional Engineer in the State of Florida. I am not providing this information for any other purpose than that for which it is intended. I am not providing this information for any other purpose than that for which it is intended.



LEVEL 2 HOTEL - LEVEL 2 RESIDENCES

SCALE: 1/32" = 1'-0"

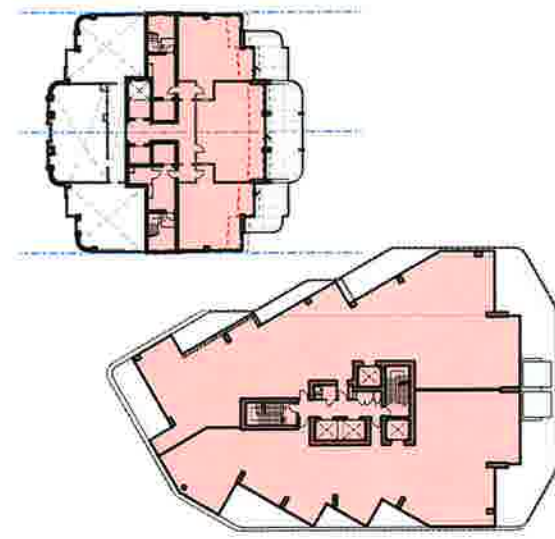
FAR HOTEL = 1,398 SF
FAR RESIDENCES = 2,466 SF



LEVEL 3 HOTEL - LEVEL 3 RESIDENCES

SCALE: 1/32" = 1'-0"

FAR HOTEL = 6,522 SF
FAR RESIDENCES = 10,693 SF



LEVELS 4 HOTEL - LEVEL 4 RESIDENCES

SCALE: 1/32" = 1'-0"

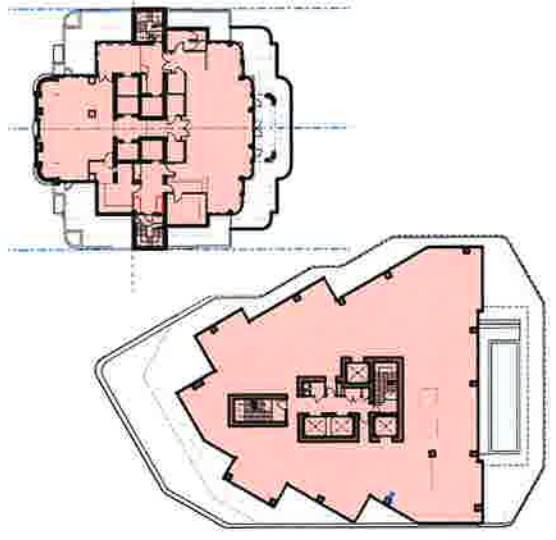
FAR HOTEL = 4,009 SF
FAR RESIDENCES = 10,693 SF



LEVELS 5 TO 12 HOTEL - LEVELS 5 TO 12 RESIDENCES

SCALE: 1/32" = 1'-0"

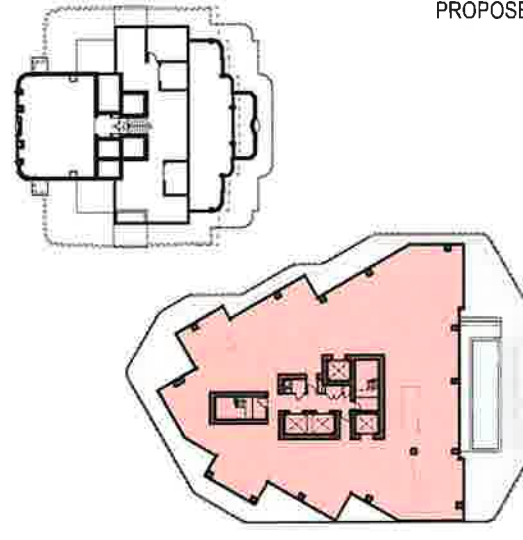
FAR HOTEL = 6,518 x 8 = 52,144 SF
FAR RESIDENCES = 10,693 x 8 = 85,544 SF



LEVEL 14 HOTEL - LEVEL 14 RESIDENCES

SCALE: 1/32" = 1'-0"

FAR HOTEL = 5,047 SF
FAR RESIDENCES = 8,585 SF



LEVEL 15 HOTEL - LEVEL 12 RESIDENCES

SCALE: 1/32" = 1'-0"

FAR HOTEL = 0 SF
FAR RESIDENCES = 8,585 SF

PROPOSED F.A.R.



F.A.R. DIAGRAMS - PROPOSED

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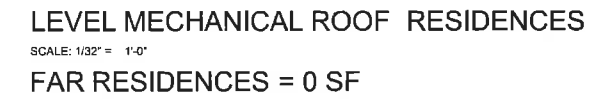
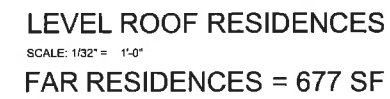
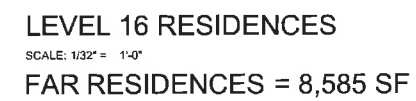
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PROPOSED F.A.R.

TOTAL F.A.R. PROPOSED = 220,707 S.F.
MAX. F.A.R. ALLOWED = 221,436 S.F.

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F.A.R. DIAGRAMS - PROPOSED

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CONTEXT SITE PLAN

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for O.P. part

STATE OF FLORIDA
LOUIS O. REVUELTA
REGISTERED ARCHITECT
AR0007972

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CONTEXT SITE PLAN

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A-007

ARCHITECTURAL PLANS

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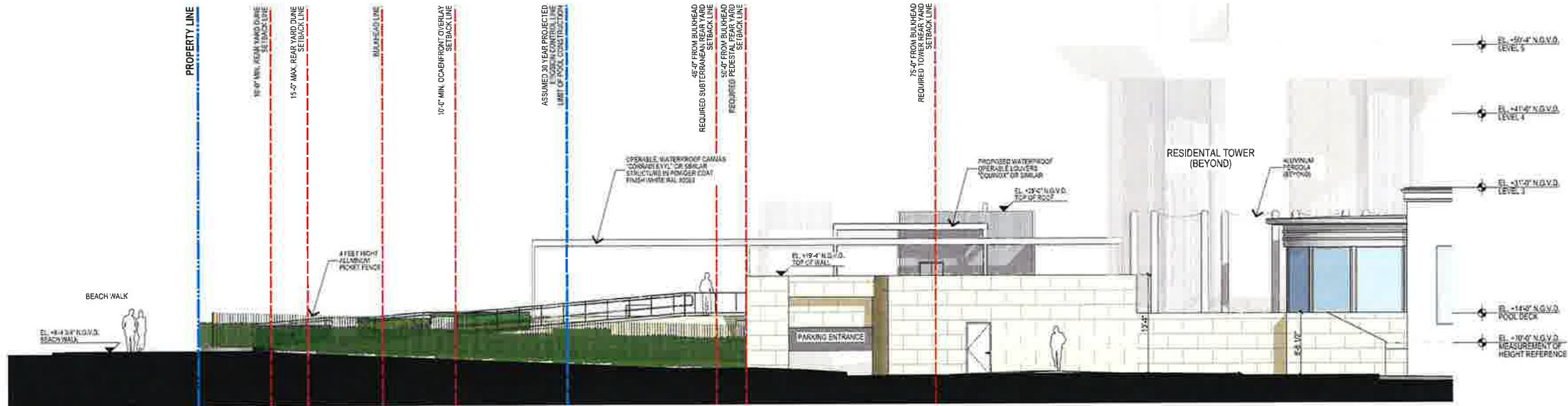
Sheet Name
OVERALL SITE

PLAN

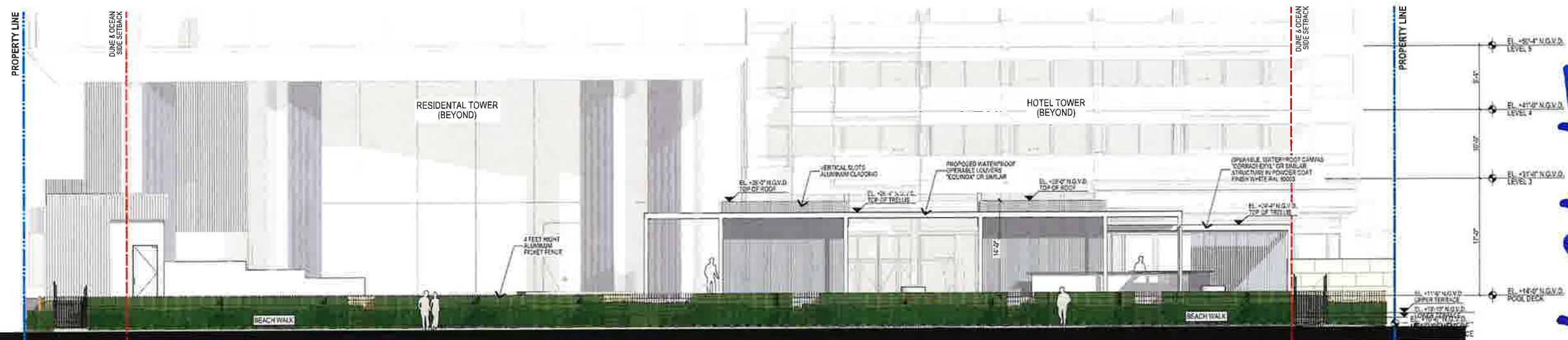
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A-100.P

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2 REAR YARD NORTH ELEVATION
SCALE 1/8" = 1'-0"



1 REAR YARD EAST ELEVATION
SCALE 1/8" = 1'-0"

REAR YARD ELEVATIONS

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REAR YARD ELEVATIONS

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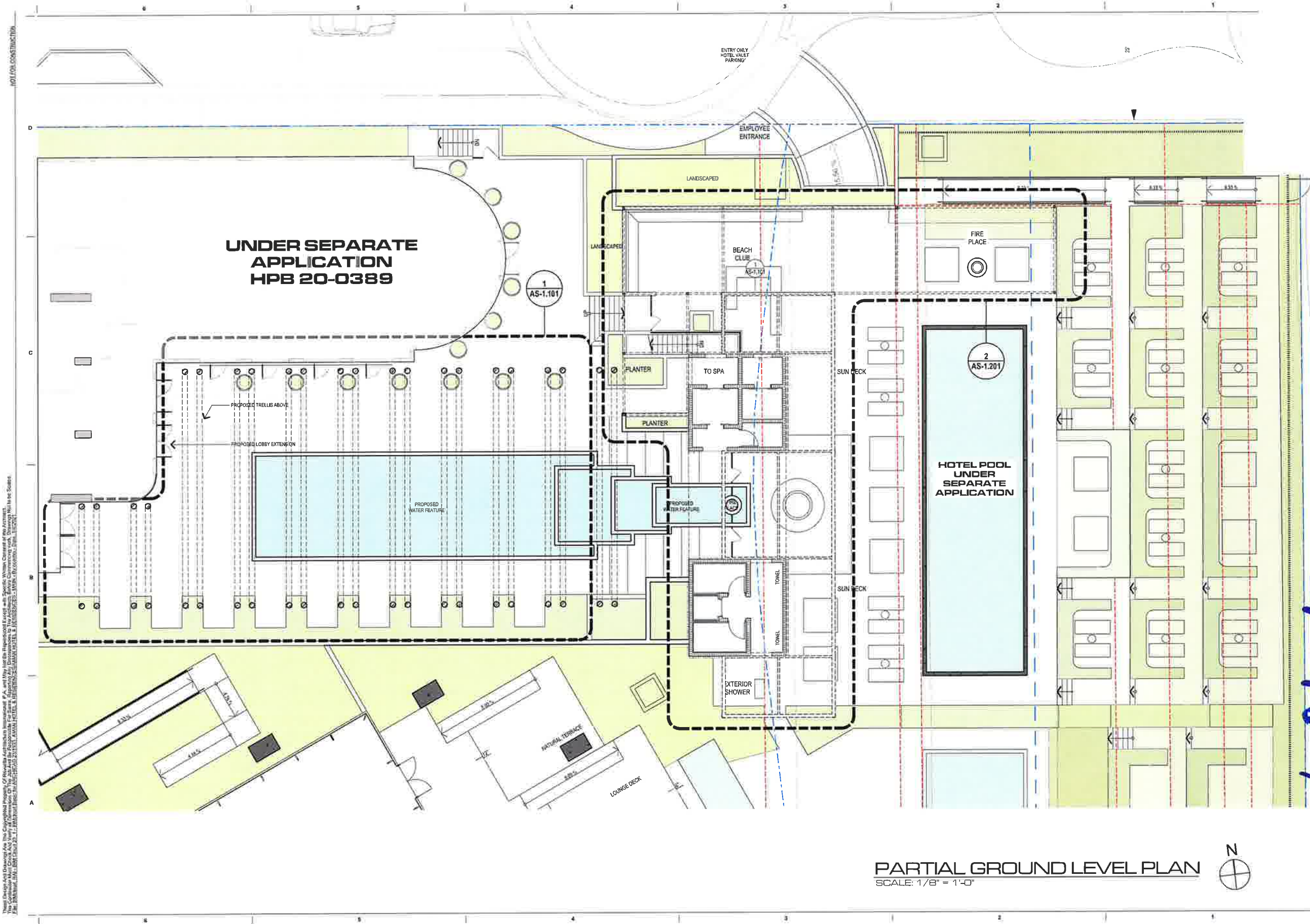
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PARTIAL GROUND LEVEL PLAN
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Sheet Name
PARTIAL CANOPY ROOF PLAN

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OVERALL VIEW AT BEACHWALK

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OVERALL VIEW AT BEACHWALK

Sheet No.
A-100.5

HISTORIC HOTEL
TRELLIS SYSTEM

[illegible]

PROPOSED - TRELLIS SYSTEM
SCALE: 1/4" = 1'-0" **FIXED PATTERN**

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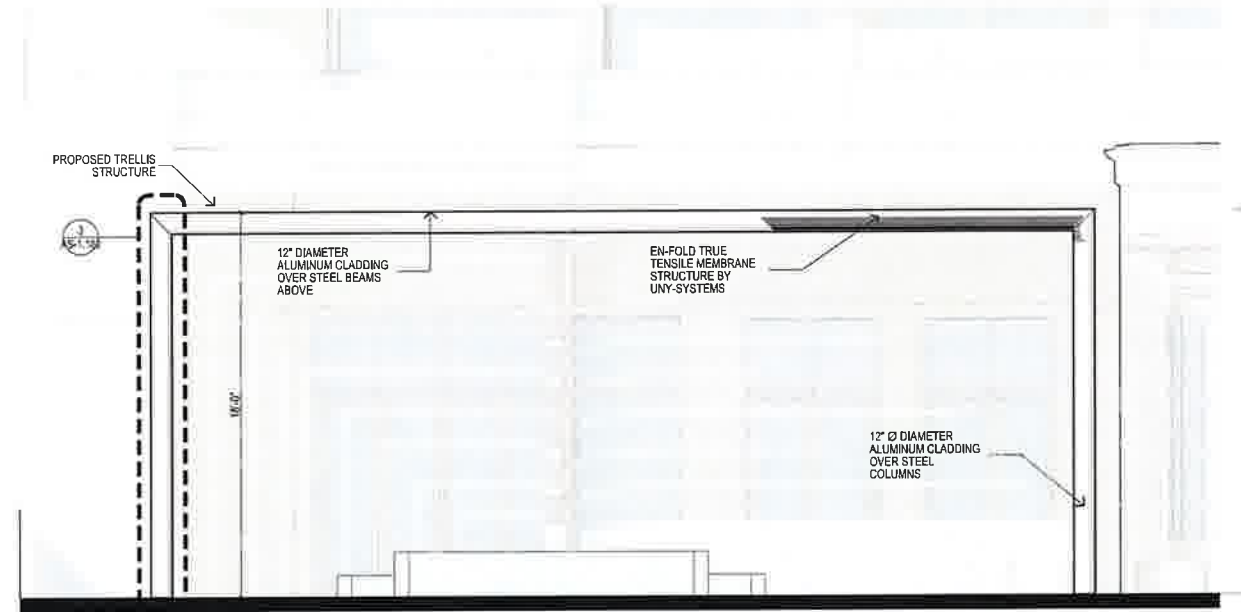
Scale
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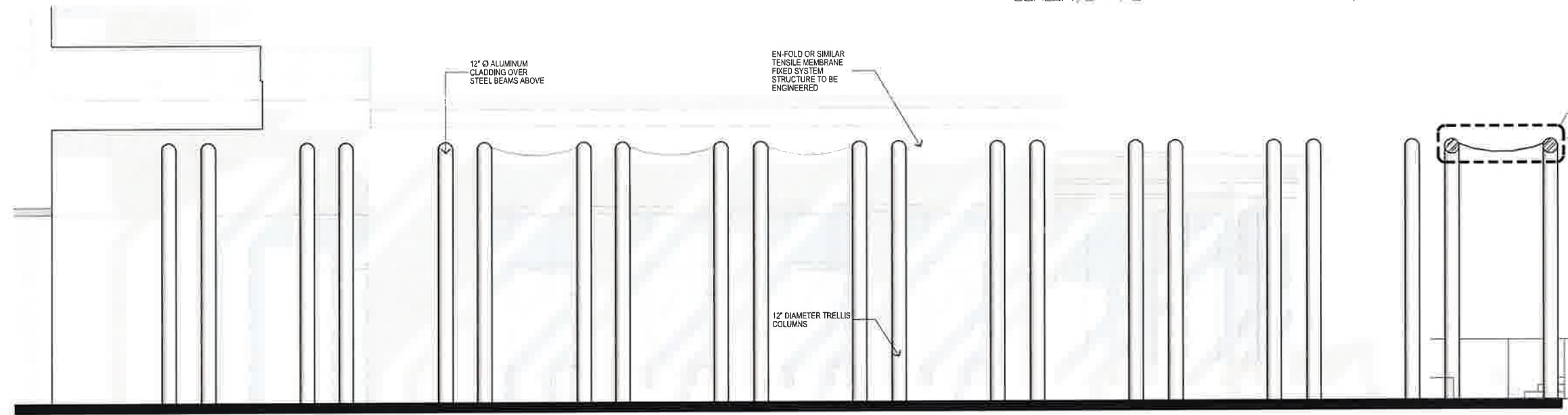
Sheet Name
PROPOSED - TRELLIS SYSTEM

Sheet No.
AS-1.101

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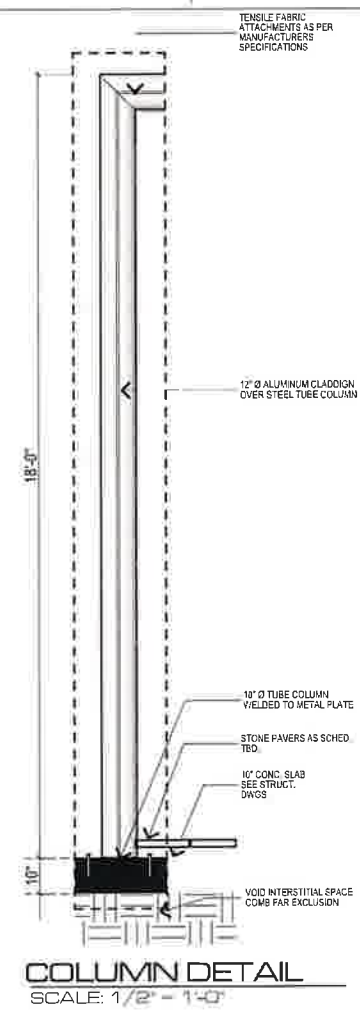
EAST ELEVATION
SCALE: 1/4" = 1'-0"



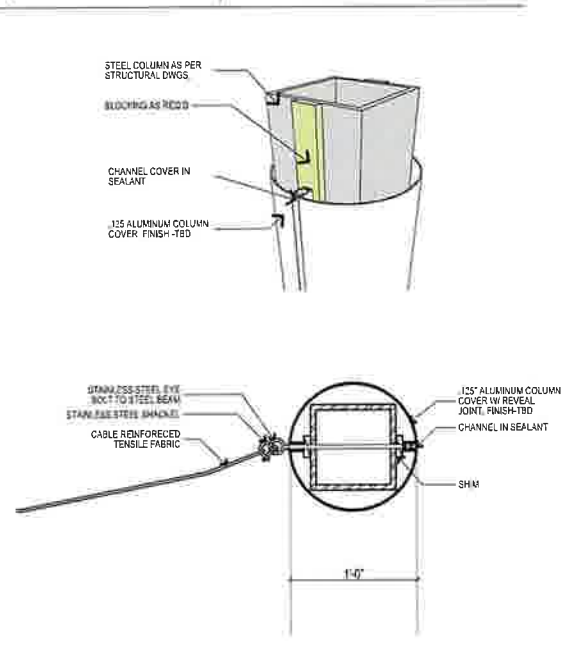
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED - TRELLIS SYSTEM ELEVATIONS & DETAIL

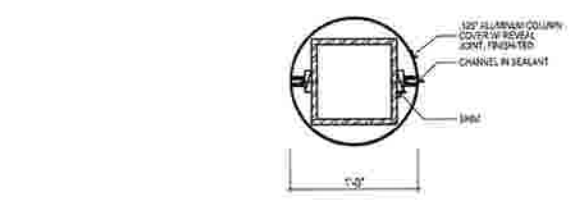
NOTE:
PROPOSED TRELLIS COLUMNS AND BEAMS DIMENSIONS ARE ESTIMATED.
VARIATION IN DIMENSIONS MAY BE REQUIRED ONCE THEY ARE PROPERLY
ENGINEERED. SHOP DRAWINGS SHALL BE PROVIDED FOR REVIEW AND
APPROVAL BY STAFF.



COLUMN DETAIL
SCALE: 1/2" = 1'-0"



SECTION VIEW DETAIL
SCALE: 1 1/2" = 1'-0"



PLAN VIEW DETAIL
SCALE: 1 1/2" = 1'-0"

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PROPOSED - TRELLIS SYSTEM
ELEVATIONS & DETAIL
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VIEW FROM HOTEL EAST LOBBY

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VIEW FROM HOTEL EAST LOBBY
Sheet No.

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HISTORIC HOTEL
BEACH CLUB PERGOLA

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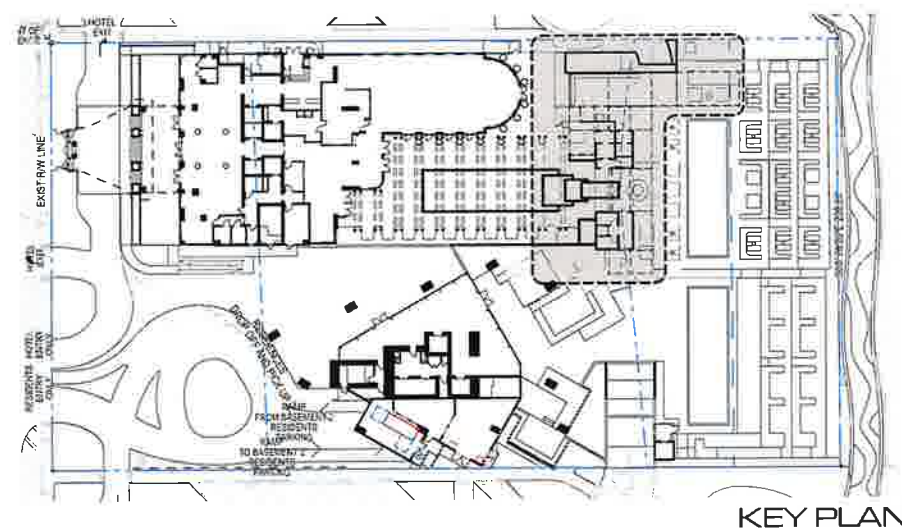
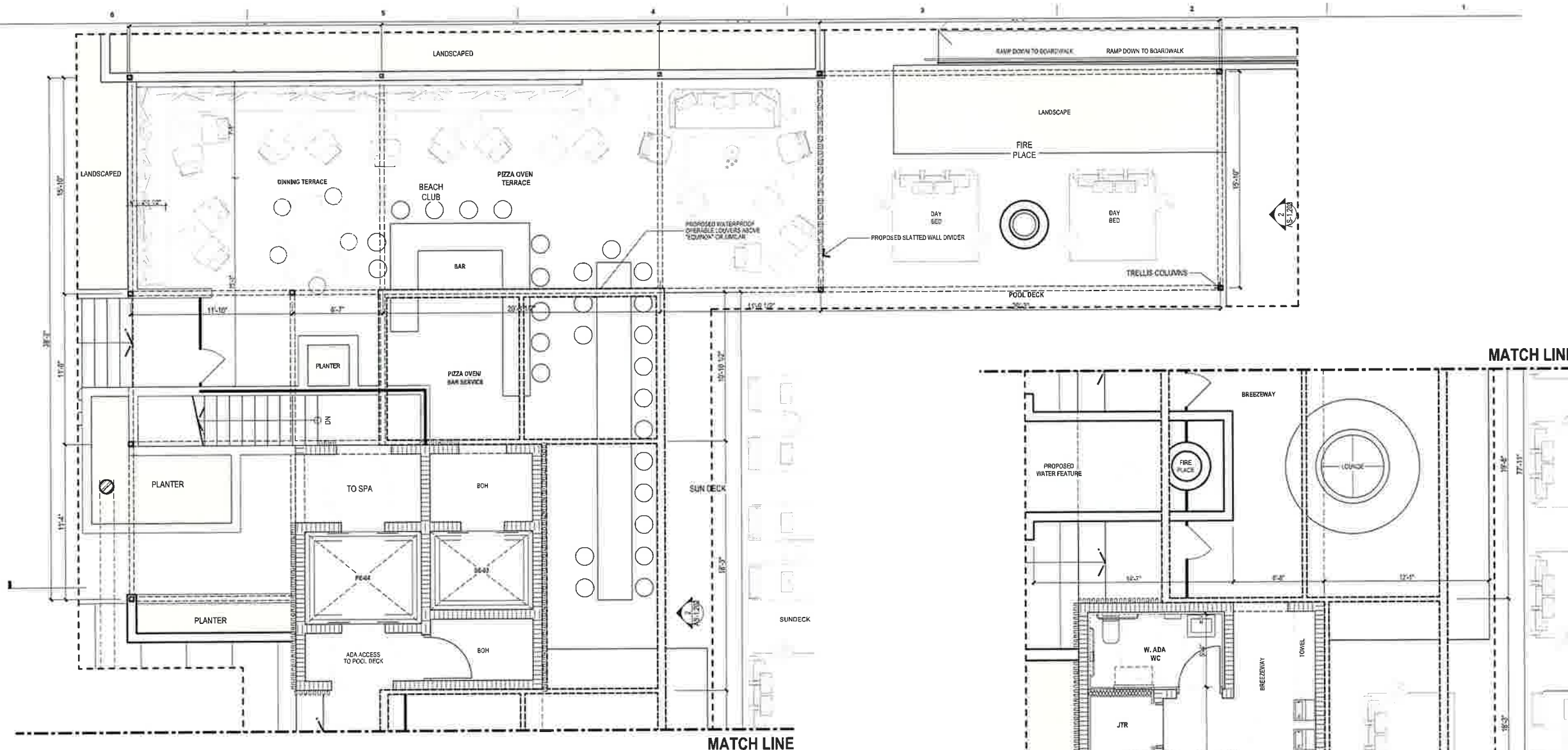
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Sheet Name
HOTEL BEACH CLUB -
ENLARGED PLAN

Sheet No.
1001

AS-1.201



HOTEL BEACH CLUB - ENLARGED PLAN



FLOOR PLAN
SCALE: 1/4" = 1'-0"

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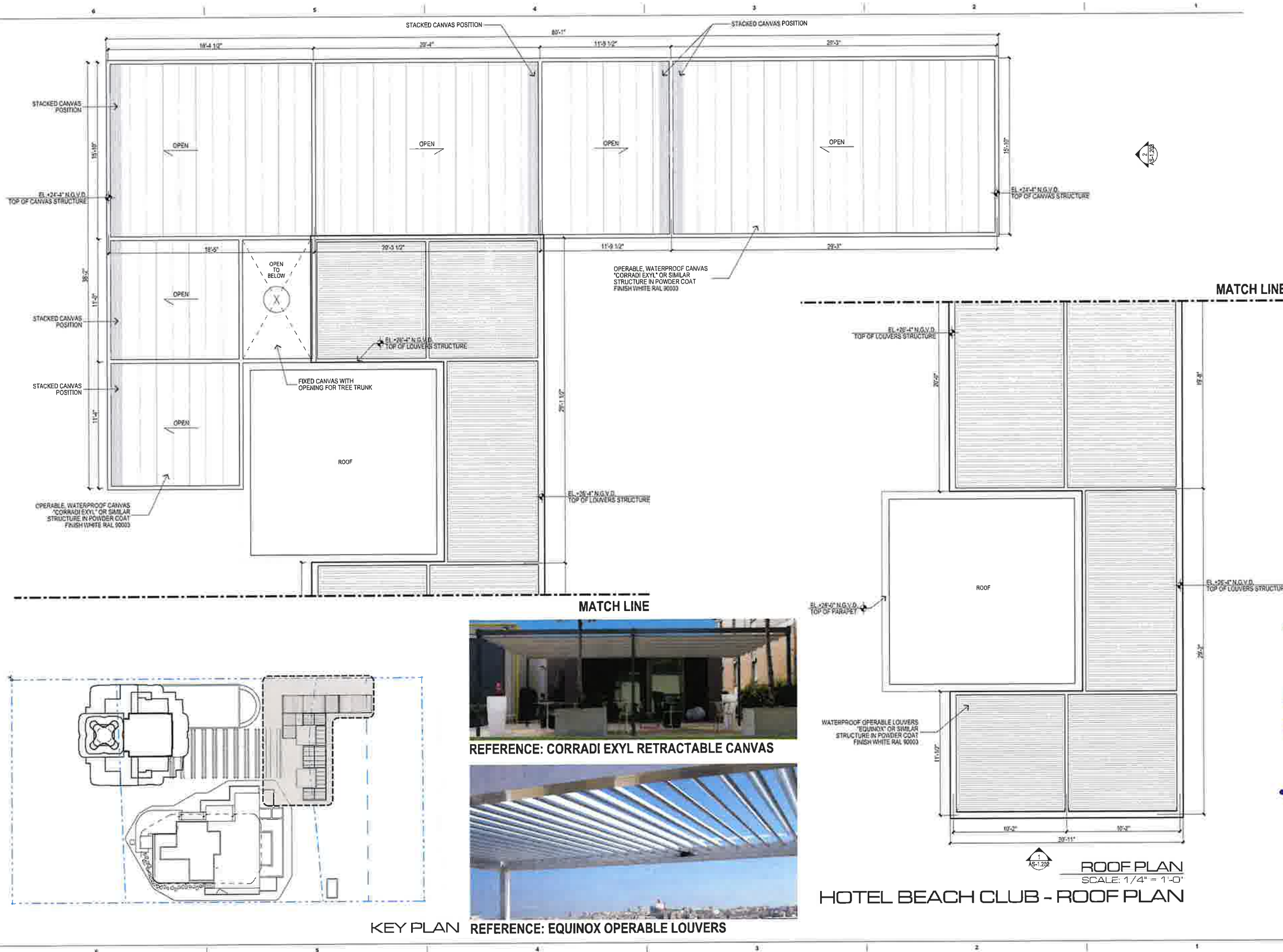
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CLUB - ROOF PLAN

Sheet No. 0000

AS-1.202



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Sheet Name
PROPOSED - BEACH CLUB
PACIFIC ELEVATIONS &
SECTION

AS-1.203

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VIEW OF HOTEL POOL DECK

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VIEW OF HOTEL POOL DECK

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RENDERED EAST ELEVATION

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t Name

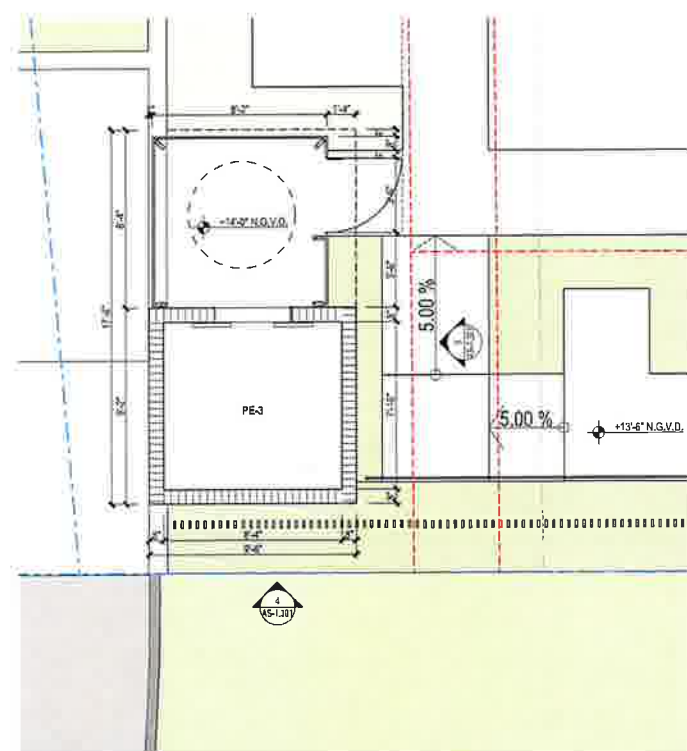
CONCLUSION

Sheet No.

Sheet No.
AS-1.206

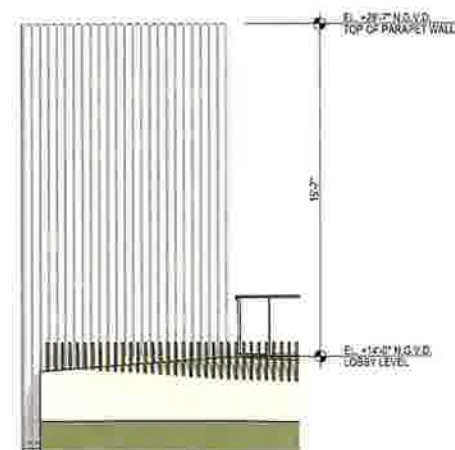
RESIDENTIAL TOWER
POOL ACCESS ELEVATOR

Journal of Management Education 35(1)



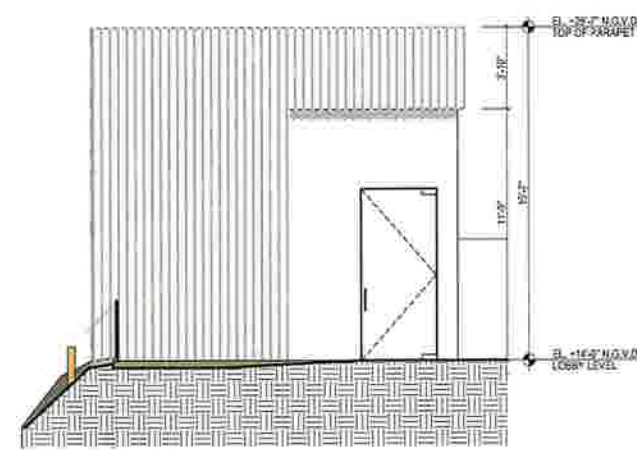
SOUTH ELEVATOR FLOOR PLAN

SCALE: 1/4" = 1'-0"



SOUTH ELEVATOR - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATOR - EAST ELEVATION

SCALE 1/4" = 1'-0"

NOTE: ELEVATOR GLASS ENCLOSURE SCREEN ELEMENT TO MATCH PROPOSED TOWER LOUVER FEATURE SHOWN BELOW:

HONEY WHITE - RESILIENT MATERIALITY
WOOD PRINT ALUMINIUM



DG013

RESIDENCES POOL ACCESS ELEVATOR

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ELEVATOR
Sheet No.

AS-1.301

LANDSCAPE ARCHITECT