

SOUTHGATE TOWERS

910 WEST AVE :: MIAMI BEACH, FL 33139

SHEET INDEX:

G-01	COVER SHEET	01/25/21
G-01	SURVEY	01/25/21
G-02	SURVEY	01/25/21
G-03	SURVEY	01/25/21
G-04	ZONING INFORMATION	01/25/21
G-05	CONTEXT LOCATION PLAN	01/25/21
G-06A	SITE PLAN A	01/25/21
G-06B	SITE PLAN B	01/25/21
G-07	RETAIL SIGNAGE PLAN	01/25/21
G-08	PHOTOGRAPHS OF EXISTING CONDITIONS	01/25/21
G-09	CONTEXT PHOTOGRAPHS	01/25/21
G-10	CONTEXT PHOTOGRAPHS	01/25/21
G-11	CONTEXT PHOTOGRAPHS	01/25/21
G-12	CONTEXT PHOTOGRAPHS	01/25/21
A-01	ENTRY SIGN PLAN	01/25/21
A-02	EXISTING SIGN	01/25/21
A-03	PROPOSED ENTRY SIGN ELEVATION	01/25/21
A-03a	PROPOSED ENTRY SIGN DETAILS	01/25/21
A-04	NORTH ELEVATION	01/25/21
A-05	RETAIL SIGNAGE	01/25/21
A-05a	RETAIL SIGNAGE DETAILS	01/25/21
A-06	NORTH ELEVATION - GREENWALL	01/25/21
A-07	NORTH ELEVATION -WATERFRONT RESTAURANT	01/25/21
A-08	DEMOLITION PLAN	01/25/21
A-09	WATERFRONT RESTAURANT FLOOR PLAN	01/25/21
A-10	WATERFRONT RESTAURANT RCP	01/25/21
A-11	WATERFRONT RESTAURANT ELEVATIONS	01/25/21
A-12	WATERFRONT RESTAURANT ELEVATIONS	01/25/21
A-14	SECTION 10th STREET	01/25/21
A-15	SECTION BAYWALK	01/25/21
L-01	LANDSCAPE PLAN	01/25/21
L-0X	LIGHTING PLAN	01/25/21
L-02	PLANTING PALETTE	01/25/21
L-03	HARDSCAPE PLAN	01/25/21
L-05	RENDERINGS	01/25/21

SCOPE OF WORK :

- ENTRY SIGNAGE
- RETAIL SIGNAGE
- FACADE IMPROVEMENTS, GREEN WALL

REVISIONS

No.	DESCRIPTION	DATE

SUBMITTAL: FINAL SUBMITTAL

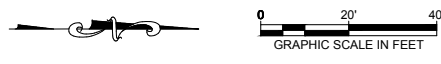
DATE: JANUARY 25, 2021

COVER SHEET

G-01

NOTE:
SEE SHEET S-1 FOR BOUNDARY INFORMATION, LEGAL DESCRIPTION & SURVEYOR'S CERTIFICATION.
SEE SHEET S-3 FOR REMAINDER OF SITE LOCATIONS.

BOUNDARY & TOPOGRAPHIC SURVEY



NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representation or warranty as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

ABBREVIATION LEGEND

FND	FOUND
F.O.P.B.	FIBER OPTIC PULL BOX
LB	LICENSE BUSINESS
(C)	CALCULATED INFORMATION
(M)	MEASURED INFORMATION
(P)	PLAT INFORMATION
PRSSJ	POST, BUCKLEY SCHUH & JERNIGAN
Q/S	OFFSET
I.P.	IRON PIPE
N/D	NAIL & DISC
(NAD)	NORTH AMERICAN DATUM
(NAD 88)	NORTH AMERICAN VERTICAL DATUM OF 1988
NGS	NATIONAL GEODETIC SURVEY
O.R.B.	OFFICIAL RECORDS BOOK
P.C.	PAGE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
FL.L.	FLORIDA POWER & LIGHT COMPANY
CONC.	CONCRETE
(TYP.)	TYPICAL
R.E.	RIM ELEVATION
CBS	CONCRETE BLOCK WALL
CLF	CHAIN LINK FENCE
ELEC.	ELECTRIC
W.I.F.	WROUGHT-IRON FENCE

SYMBOL LEGEND

BFP	BACK FLOW PREVENTOR
•	BOLLARD
○	CATV PEDESTAL
□	CATCH BASIN
⊠	CURB INLET
⊞	DECORATIVE LIGHT POLE
⊞	DOUBLE DETECTOR CHECK VALVE
○	ELECTRICAL OUTLET
⊞	ELECTRICAL PULL BOX
⊞	ELECTRICAL MANHOLE
⊞	GAS METER
⊞	GAS MANHOLE
⊞	GAS VALVE
○	HANDICAP PARKING SPACE
⊞	HOSE BIBB (SPIGOT)
⊞	IRRIGATION CONTROL VALVE
⊞	MONITORING WELL
⊞	PARKING LIGHT SINGLE
⊞	PARKING LIGHT DOUBLE
⊞	PEDESTRIAN SIGNAL
⊞	SANITARY MANHOLE
⊞	SIAMESE VALVE
⊞	SIGN
⊞	SPOT-FLOOD LIGHT
⊞	SANITARY SEWER CLEAN OUT
⊞	STORM MANHOLE
⊞	TRAFFIC PULL BOX
⊞	TRASH CAN
⊞	UNKNOWN MANHOLE
⊞	WATER METER
⊞	WATER VALVE
⊞	WATER VAULT
⊞	YARD DRAIN
⊞	NYLOPLAST 10" DRAIN BASIN
⊞	TELEPHONE MANHOLE
⊞	HARD SURFACE ELEVATION
⊞	SOFT SURFACE ELEVATION

GPS CONTROL SURVEY NOTE:

THE HORIZONTAL CONTROL SURVEY DATA SHOWN HEREON IS BASED ON THE NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE) AND WAS OBTAINED BY UTILIZING "TRIMBLE R8 GNSSOVER, AS OPERATED BY CRAVEN THOMPSON AND ASSOCIATES AND A "TRIMBLE NETRS" REAL TIME KINEMATICS GPS BASE REFERENCE STATION "MIAMI 6 (MIAMI)", AS OPERATED BY FLORIDA DEPARTMENT OF TRANSPORTATION (F.D.O.T.) STATE-WIDE PERMANENT REFERENCE NETWORK.

THE GPS DATA HAS BEEN PROCESSED AND SITE CALIBRATED USING A LEAST SQUARE ADJUSTMENT IS BASED ON A HORIZONTAL BEST FIT MODEL USING TRIMBLE BUSINESS CENTER TO THE FOLLOWING CONTROL POINTS

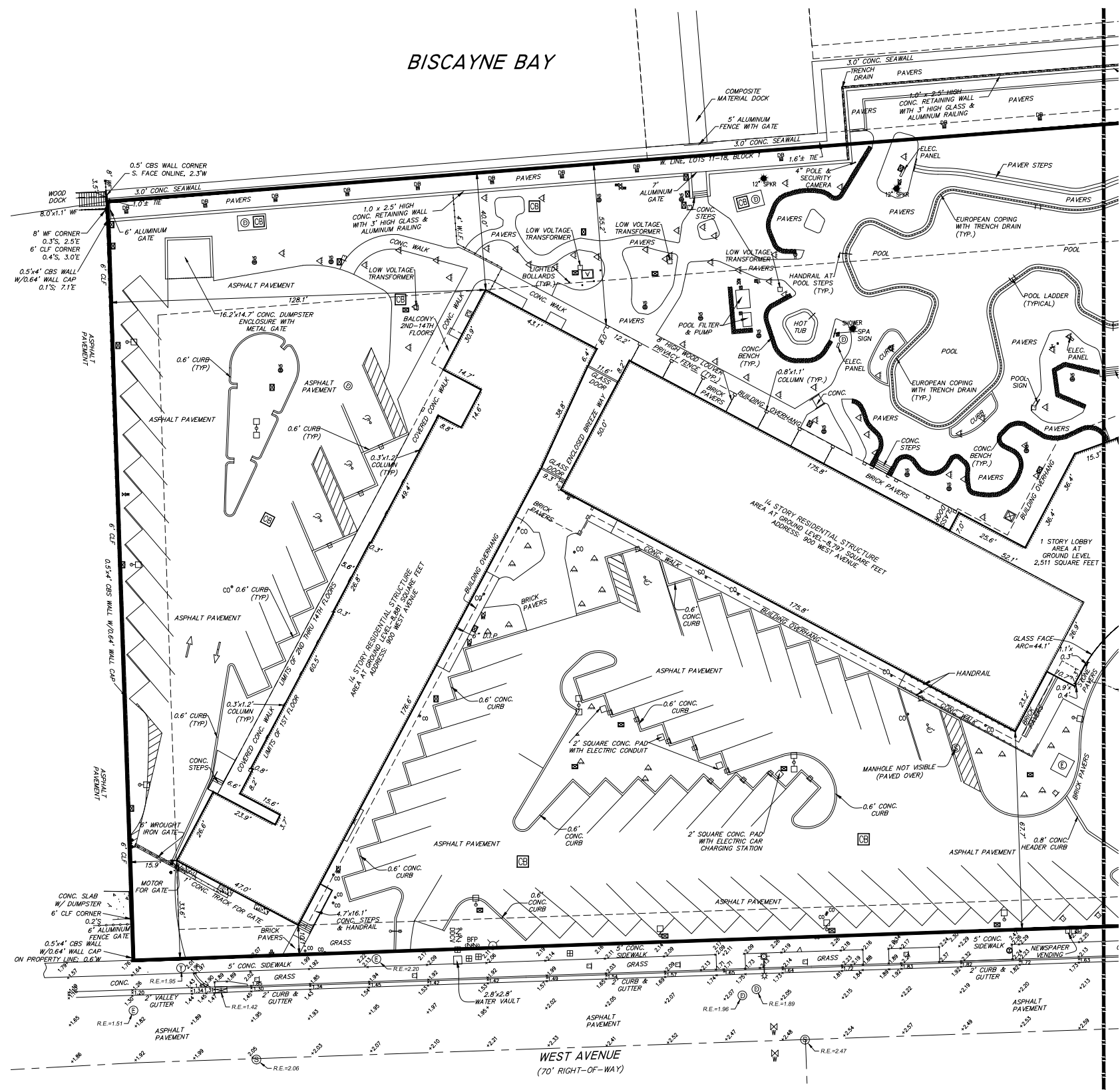
NATIONAL GEODETIC SURVEY "4 034 (DID 143514)" North: 524,167,130 East: 932,073,860 Corps of Engineers Brass Disc in Concrete Stamped "M1-18 1963"	NATIONAL GEODETIC SURVEY "TITTLE (DID 35880)" North: 537,624,140 East: 937,177,840 Brass Disc in Concrete Stamped "Tittle 1971"
--	--

THIS SITE CALIBRATION IS BASED ON A HORIZONTAL ADJUSTMENT SCALE VALUE OF 1.0000018522, A ROTATION ANGLE OF -0.0002" AND A MAXIMUM HORIZONTAL RESIDUAL ERROR OF 0.0094'— AND MEETS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED FOR COMMERCIAL/HIGH RISK CLASSIFICATION, AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (5J-17-6.003(3)(B)15.B.II., F.A.C.)

SURVEYOR'S NOTES:

- 1) THE BEARINGS SHOWN HEREON ON ARE BASED ON NORTH AMERICAN DATUM OF 1983/1990 (NAD 83/90), STATE PLANE COORDINATE SYSTEM (FLORIDA EAST ZONE). (SEE GPS CONTROL SURVEY NOTE ABOVE)
- 2) THE LEGAL DESCRIPTION SHOWN HEREON WAS FURNISHED TO THIS OFFICE BY THE CLIENT AND APPEARS IN A COMMITMENT FOR TITLE INSURANCE PREPARED BY GUMENIK TITLE INSURANCE COMPANY, ORDER NUMBER 395092. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR EXCAVATION OF CRITICAL DESIGN FUNCTIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN SHOWN HEREON MAY EXIST.
- 3) THIS SURVEY MEETS AND EXCEEDS VERTICAL AND HORIZONTAL ACCURACY REQUIREMENTS AS DEFINED IN CHAPTER (5J-17, F.A.C.).
- 4) THE PURPOSE OF THIS SURVEY IS TO SHOW THE SITE IMPROVEMENTS AND THEIR RELATIONSHIP TO THE BOUNDARY LINES AS THEY EXISTED ON THE DATE OF THE SURVEY.
- 5) FEE SIMPLE PARCEL 1 DESCRIBED HEREON CONTAINS 176,023 SQUARE FEET OR 4.041 ACRES MORE OR LESS.
- 6) THE LIMITS OF THE BOUNDARY FOR FEE SIMPLE PARCEL 4 DESCRIBED HEREON WAS NOT DETERMINED OR THE SITE IMPROVEMENTS LOCATED PER THE CLIENTS REQUEST.
- 7) THE TOPOGRAPHICAL LOCATIONS SHOWN HEREON WERE OBTAINED USING A "LEICA TC-700 SERIES" TOTAL STATION AND "SPECTRA PRECISION" SURVEY PRO DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
- 8) BUILDING TIES ARE PERPENDICULAR TO THE BOUNDARY LINES UNLESS OTHERWISE NOTED. ALL BUILDING TIES AND DIMENSIONS ARE SHOWN TO THE NEAREST 0.1 OF A FOOT.
- 9) THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED. NO EXCAVATION WAS PERFORMED BY CRAVEN THOMPSON AND ASSOCIATES, INC. TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. THIS DOCUMENT SHOULD NOT BE RELIED UPON FOR EXCAVATION OF CRITICAL DESIGN FUNCTIONS WITHOUT FIELD VERIFICATION OF UNDERGROUND UTILITY LOCATIONS. UTILITIES OTHER THAN SHOWN HEREON MAY EXIST.
- 10) ADDITIONS AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS DOCUMENT CONSISTS OF 3 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.
- 11) THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF GUMENIK PROPERTIES FOR THE EXPRESS PURPOSES STATED HEREON AND/OR CONTAINED IN THE CONTRACT WITH THE AFOREMENTIONED CLIENT FOR THIS PROJECT. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
- 12) SHEET S-1 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=40' OR SMALLER. SHEETS S-2 AND S-3 OF THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=20' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE.
- 13) ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA UNLESS OTHERWISE NOTED.
- 14) DATE OF ORIGINAL ELEVATION INFORMATION: A) COMMUNITY NUMBER-120651; B) DATE OF FIRM INDEX-SEPTEMBER 11, 2009; C) DATE OF FIRM MAP-SEPTEMBER 11, 2009; D) FIRM ZONE-AE; E) BASE FLOOD ELEVATION-B; F) PANEL NUMBER-0319; G) SUFFIX-L.
- 15) THE LIMITS SHOWN HEREON FOR PARCELS "A" & "B", SOUTHGATE APARTMENTS LEASE AREAS WAS FURNISHED TO THIS OFFICE BY JOHN GUTTMAN, CONSULTING ENGINEERING & SCIENCES, INC. THE SKETCH & DESCRIPTION WAS PREPARED BY SCHWEMKE-SHISKIN & ASSOCIATES, INC., ORDER NO. 201764, DATED 08-27-2013, LAST REVISED APRIL 7, 2016, ORDER NO. 203426.
- 16) THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD88) AND REFERENCED TO THE FOLLOWING BENCHMARK NATIONAL GEODETIC SURVEY BENCHMARK NO. 2338-A BRASS DISC NORTH SET ON THE TOP OF THE NORTH END OF EAST CONCRETE ABUTMENT OF THE McARTHUR CAUSWAY BRIDGE, 80'± WEST OF THE WEST EDGE OF PAVEMENT FOR WEST AVENUE, ELEVATION = 6.54. NOTE: THE ELEVATION CONVERSION FOR THIS BENCHMARK FROM THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAD88) TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NOVD 29) IS +1.54 FEET.

MATCH LINE SEE SHEET S-3



DATE:	03/09/16	SCALE:	1"=40'	DRAWN BY:	T.S.	CHECKED BY:	R.Y.	FIELD BOOK:	2281	DATE:	
								UPDATE SURVEY	J.D.P. 08/26/20	DATE:	
								UPDATE SURVEY	FB 3038 PGS 64-71	DATE:	
										DESCRIPTION:	
<p>SOUTHGATE TOWERS 900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA</p> <p>PREPARED FOR: Gumenik Properties</p> <p>PROJECT NO. 07-0088-001-11</p> <p>S-2</p> <p>SHEET 2 OF 3</p>											

R:\Survey\2007\07-0088-001-11 SouthGate Tower 2019\Drawings\07-0088-001-11 BaseCalc.dwg [S-2] Aug 31, 2020 12:22pm RPR/RYCE

BOUNDARY & TOPOGRAPHIC SURVEY

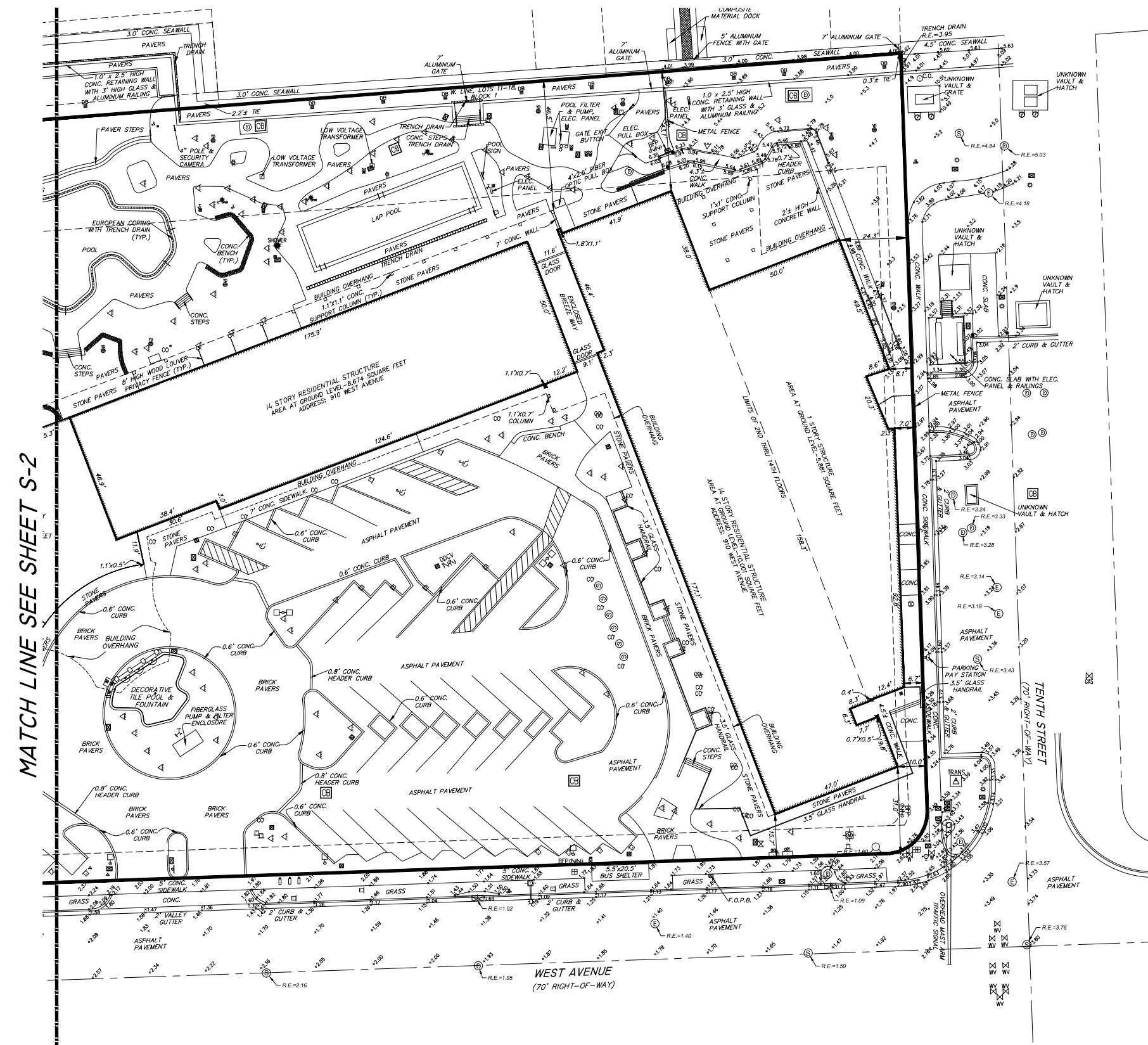
NOTE:

SEE SHEET S-1 FOR BOUNDARY INFORMATION, LEGAL DESCRIPTION & SURVEYOR'S CERTIFICATION.

SEE SHEET S-2 FOR SURVEYOR'S NOTES & REMAINDER OF SITE LOCATIONS.



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ABBREVIATION LEGEND

- FND FOUND
- F.O.P.B. FIBER OPTIC PULL BOX
- LB LICENSE BUSINESS
- (C) CALCULATED INFORMATION
- (M) MEASURED INFORMATION
- (P) PLAT INFORMATION
- PBSJ POST, BUCKLEY SCHUH & JERNIGAN
- O/S OFFSET
- IP IRON PIPE
- N/D NAIL & DISC
- (NAD 88) NORTH AMERICAN DATUM
- (NAVD 88) NORTH AMERICAN VERTICAL DATUM OF 1988
- NGS NATIONAL GEODETIC SURVEY
- O.R.B. OFFICIAL RECORDS BOOK
- PC PAGE
- RCP REINFORCED CONCRETE PIPE
- R/W RIGHT-OF-WAY
- F.P.L. FLORIDA POWER & LIGHT COMPANY
- CONC. CONCRETE
- (TYP.) TYPICAL
- R.E. RIM ELEVATION
- CBS CONCRETE BLOCK WALL
- CLF CHAIN LINK FENCE
- ELEC. ELECTRIC
- W.I.F. WROUGHT-IRON FENCE

SYMBOL LEGEND

- BFP BACK FLOW PREVENTOR
- BOLLARD
- CATV CATV PEDESTAL
- CB CATCH BASIN
- CI CURB INLET
- DLV DECORATIVE LIGHT POLE
- DDV DOUBLE DETECTOR CHECK VALVE
- EO ELECTRICAL OUTLET
- EPB ELECTRICAL PULL BOX
- EM ELECTRICAL MANHOLE
- GM GAS METER
- GMH GAS MANHOLE
- GV GAS VALVE
- HPC HANDICAP PARKING SPACE
- HBS HOSE BIBB (SPIGOT)
- ICV IRRIGATION CONTROL VALVE
- MW MONITORING WELL
- PLS PARKING LIGHT SINGLE
- PLD PARKING LIGHT DOUBLE
- PS PEDESTRIAN SIGNAL
- SMH SANITARY MANHOLE
- SV SIAMESE VALVE
- SGN SIGN
- SFL SPOT-FLOOD LIGHT
- SSC SANITARY SEWER CLEAN OUT
- SMH STORM MANHOLE
- TPL TRAFFIC PULL BOX
- TRC TRASH CAN
- UMH UNKNOWN MANHOLE
- WM WATER METER
- WV WATER VALVE
- WD WATER DRAIN
- YD YARD DRAIN
- DB NYLOPLAST 10" DRAIN BASIN
- TM TELEPHONE MANHOLE
- HE HARD SURFACE ELEVATION
- SE SOFT SURFACE ELEVATION

MATCH LINE SEE SHEET S-2

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DATE:	03/09/16
SCALE:	1"=40'
DRAWN BY:	T.S.
CHECKED BY:	R.Y.
FIELD BOOK:	2281
DATE:	
BY:	

<p>CRAVEN THOMPSON AND ASSOCIATES, INC. ENGINEERS • PLANNERS • SURVEYORS 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309 TEL.: (354) 739-6609</p> <p>FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C060114</p> <p><small>MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF CRAVEN THOMPSON & ASSOCIATES, INC. IN WRITING. CONTACT: PATTI HARRIS AT CTHASSOCIATES.COM, CTHASSOCIATES@GMAIL.COM</small></p>	<p>SOUTHGATE TOWERS 900 & 910 WEST AVENUE, MIAMI BEACH, FLORIDA</p> <p>PREPARED FOR: Gumenik Properties</p> <p>SITE LOCATIONS</p>
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PROJECT NO.	07-0088-001-11
S-3	
SHEET	3 OF 3

ITEM #	ZONING INFORMATION				
1	Address	900-910 West Ave., Miami Beach, FL 33129			
2	Board and file numbers				
3	Folio number(s)				
4	Year constructed	2016	Zoning district	RM-3	
5	Based Flood Elevation		Grade value in NGVD	VARIABLES	
6	Adjusted grade (Flood+Grade/2)		Lot area		
7	Lot width		Lot depth		
8	Minimum unite size		Average unite size	N/A	
9	Existing use		Proposed use		
		Maximum	Existing	Proposed	Deficiencies
10	Height				
11	Number of Stories		14	N/A	
12	FAR		N/A	N/A	
13	Gross square footage		N/A	N/A	
14	Square footage by use	N/A	N/A	N/A	
15	Number of units residential	N/A	N/A	N/A	
16	Number of units hotel	N/A	N/A	N/A	
17	Number of seats	N/A	N/A	N/A	
18	Occupancy load	N/A	N/A	N/A	
	Setback	Required	Existing	Proposed	Deficiencies
	Subterranean				
19	Front setback			N/A	
20	Side setback			N/A	
21	Side setback			N/A	
22	Side setback facing street			N/A	
23	Rear Setback			N/A	
	At grade parking				
24	Front setback			N/A	
25	Side setback			N/A	
26	Side setback			N/A	
27	Side setback facing street			N/A	
28	Rear setback			N/A	
	Pedestal				
29	Front setback			N/A	
30	Side setback			N/A	
31	Side setback			N/A	
32	Side setback facing street			N/A	
33	Rear Setback			N/A	
	Tower				
34	Front setback			N/A	
35	Side setback			N/A	

ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
36	Side setback			N/A	
37	Side setback facing street			N/A	
38	Rear setback			N/A	
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district			N/A	
40	Total # of parking spaces			N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)			N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)			N/A	
43	Parking space dimensions			N/A	
44	Parking space configuration (45°, 60°, 90°, Parallel)			N/A	
45	ADA spaces			N/A	
46	Tandem spaces			N/A	
47	Drive aisle width			N/A	
48	Valet drop off and pick up			N/A	
49	Loading zones and trash collection areas			N/A	
50	Racks			N/A	
	Restaurants, Cafes Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use			N/A	
52	Total # of seats			N/A	
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	
54	Total occupent content			N/A	
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)			N/A	
56	Is this a contributing building?			N/A	
57	Located within a local historic district?			N/A	

Notes:

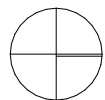
If not applicable write N/A

All other data information may be required and presented like the above format

SOUTHGATE TOWERS MIAMI BEACH			
	EXISTING	REQUIRED	PROVIDED
ZONING DISTRICT RM-3	RM-3	-	-
FAR	N/A	N/A	N/A
HEIGHT	N/A	N/A	N/A
PARKING + LOADING	N/A	N/A	N/A
SETBACKS			
AT-GRADE PARKING	N/A	N/A	N/A
TOWER	N/A	N/A	N/A
PEDESTAL			
FRONT	10' - 0"	20' - 0"	*10' - 0"
SIDE, INTERIOR	15' - 11"	51'-7" (51.6')	*15' - 11" (15.9')
SIDE, FACING A STREET	6' - 8"	51'-7" (51.6')	*6' - 8" (6.7')
REAR	40' - 0"	27' - 4" (27.3')	*40' - 0"

*EXISTING TO REMAIN





SCALE: 1" = 500'



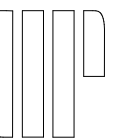
G-05

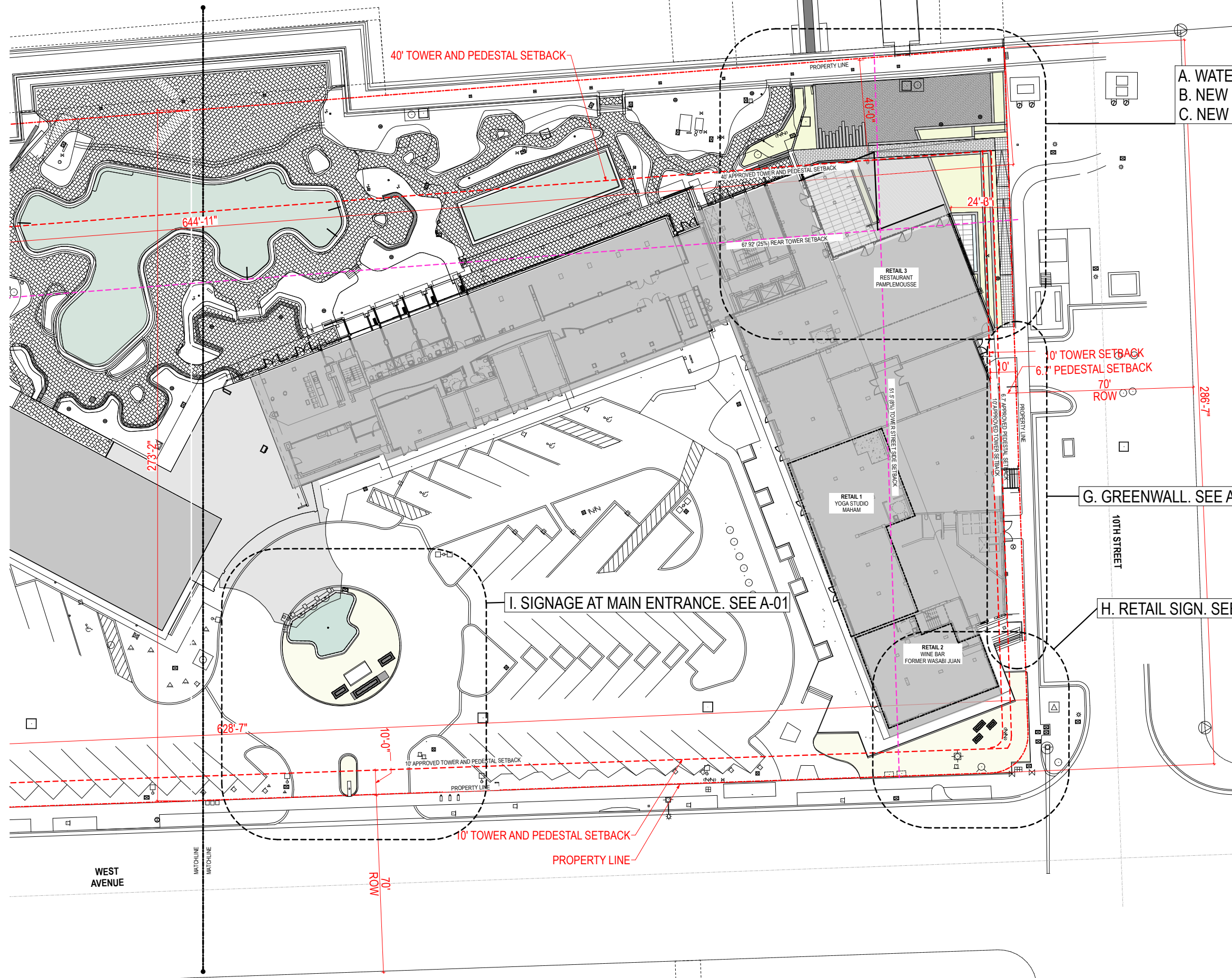
910 WEST AVENUE | SGT
DRB

CONTEXT LOCATION PLAN

01/25/21

URBAN ROBOT © 2021



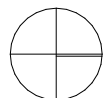


A. WATERFRONT RESTAURANT. SEE A-09
 B. NEW OPERABLE DOORS AT STOREFRONT
 C. NEW WATER FEATURE.

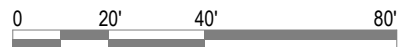
G. GREENWALL. SEE A-06

H. RETAIL SIGN. SEE A-05

I. SIGNAGE AT MAIN ENTRANCE. SEE A-01



SCALE: 1" = 40'



G-06A

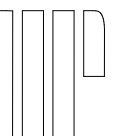
910 WEST AVENUE | SGT

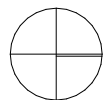
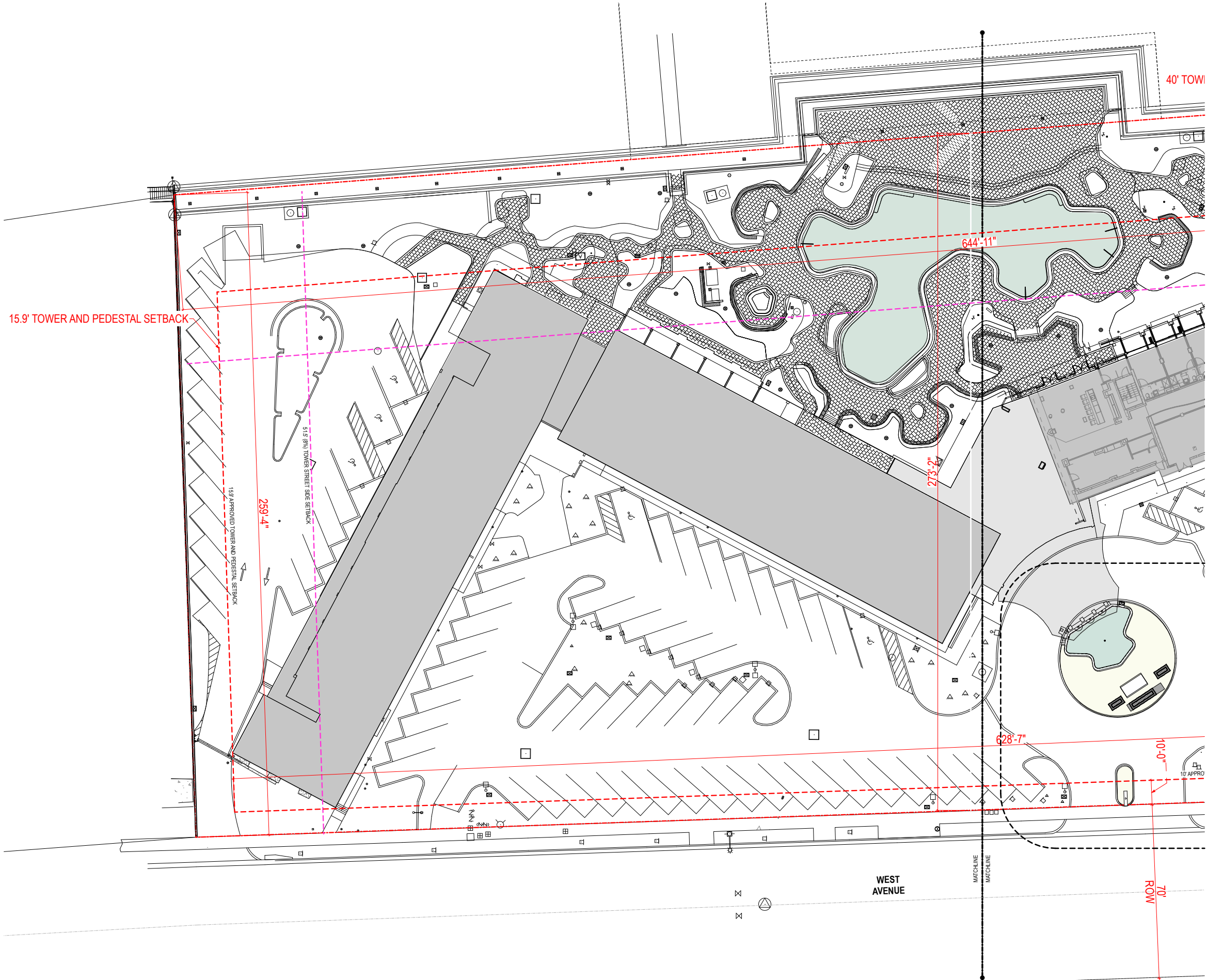
DRB

SITE PLAN A

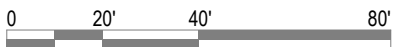
01/25/21

URBAN ROBOT © 2021





SCALE: 1" = 40'



G-06B

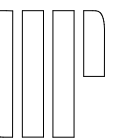
910 WEST AVENUE | SGT

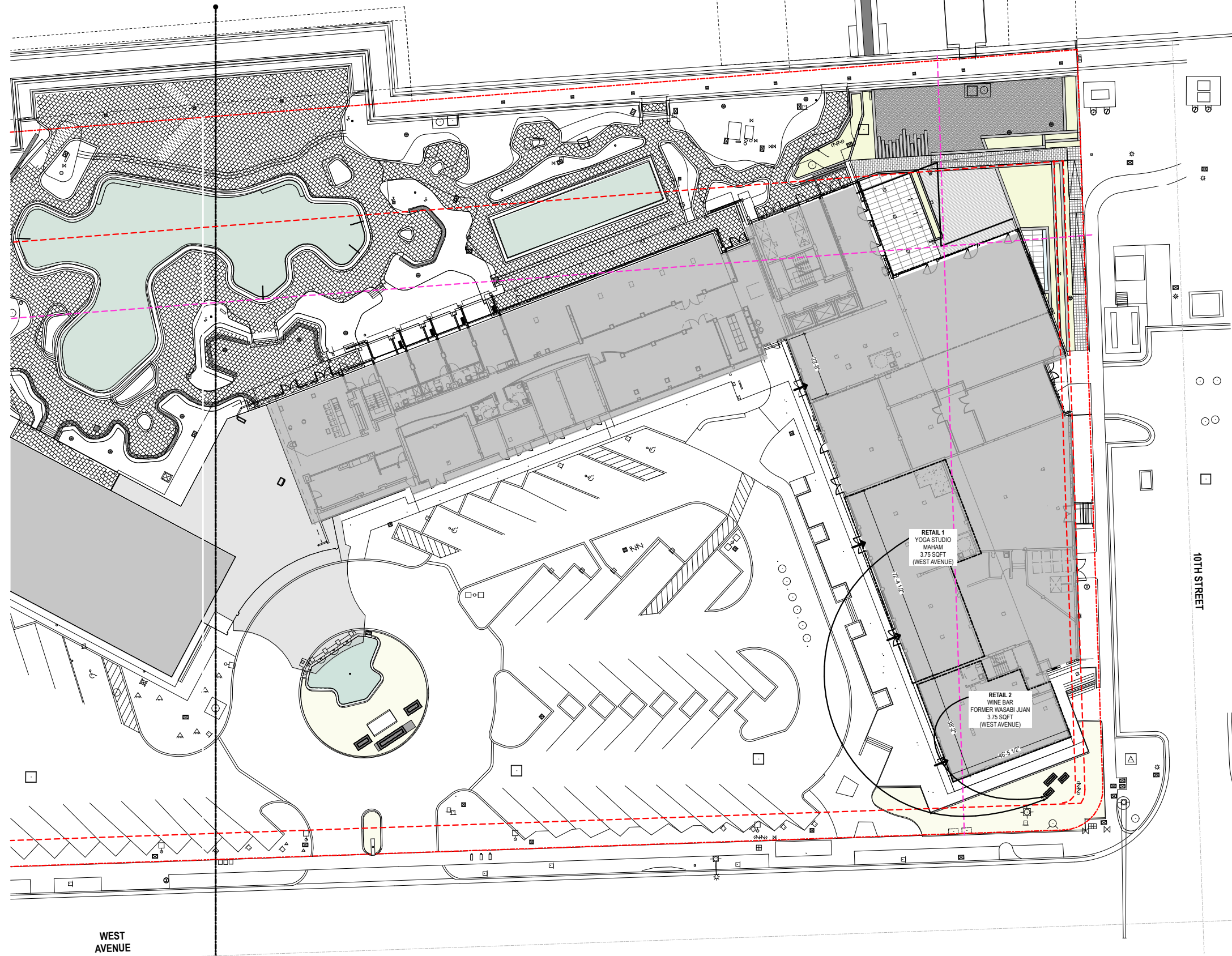
DRB

SITE PLAN B

01/25/21

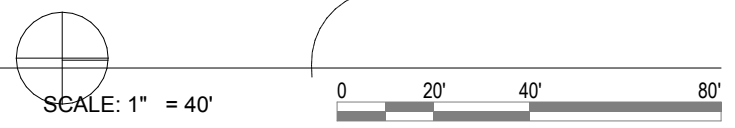
URBAN ROBOT © 2021

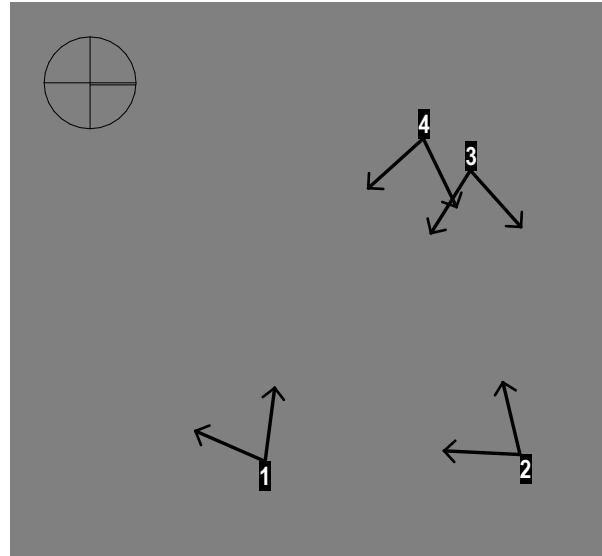




DETACHED SIGN - DESIGN STANDARDS			
	EXISTING	REQUIRED	PROVIDED
ZONING DISTRICT			
ENTRY SIGN	RM-3	-	-
RETAIL SIGN	RM-3	-	-
RESTAURANT SIGN	RM-3	-	-
MAXIMUM AREA			
EXISTING SIGN	18 SF	15 SF	-
ENTRY SIGN	-	15 SF	15 SF
RETAIL SIGN	-	15 SF	7.5 SF
RESTAURANT SIGN	-	15 SF	-
MAXIMUM QUANTITY PER FRONTAGE			
WEST AVENUE			
DETACHED SIGNS (CODE SECTION 13B-15)			
EXISTING SIGN	-	-	-
ENTRY SIGN	-	1'	1 @ 15 SF
10TH STREET			
DETACHED SIGNS (CODE SECTION 13B-15)			
RETAIL SIGN	-	1'	1 @ 15 SF
RESTAURANT SIGN	-	-	-
<small>MAXIMUM SIGNS ALLOWED AS LONG AS SIGNS DO NOT EXCEED MAX AREA ALLOWED OF 15 SF</small>			
HEIGHT RESTRICTIONS			
ENTRY SIGN	11'-2"	5 FT*	4' - 8"
RETAIL SIGN	-	5 FT*	3' - 8"
RESTAURANT SIGN	-	5 FT*	-
SETBACKS			
ENTRY SIGN			
FRONT SETBACK	0'-0"	10'-0"	±40'-0"
INTERIOR SIDE YARD	-	7'-6"	±37'-0"
SIDE YARD FACING A STREET	-	10'-0"	±250'-0"
PERIMETER WALL SIGN	-	0'-0"	±219'-0"
RETAIL SIGN			
FRONT SETBACK	TBD	10'-0"	±11'-11"
INTERIOR SIDE YARD	-	7'-6"	±82'-0"
SIDE YARD FACING A STREET	TBD	10'-0"	±11'-3"
PERIMETER WALL SIGN	-	0'-0"	±266'-5"
RESTAURANT SIGN			
FRONT SETBACK	-	10'-0"	-
INTERIOR SIDE YARD	-	7'-6"	-
SIDE YARD FACING A STREET	-	10'-0"	-
PERIMETER WALL SIGN	-	0'-0"	-

RETAIL ACCESS





KEY PLAN 1:200



1. ENTRY SIGN. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



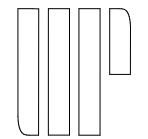
2. RETAIL SIGNAGE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

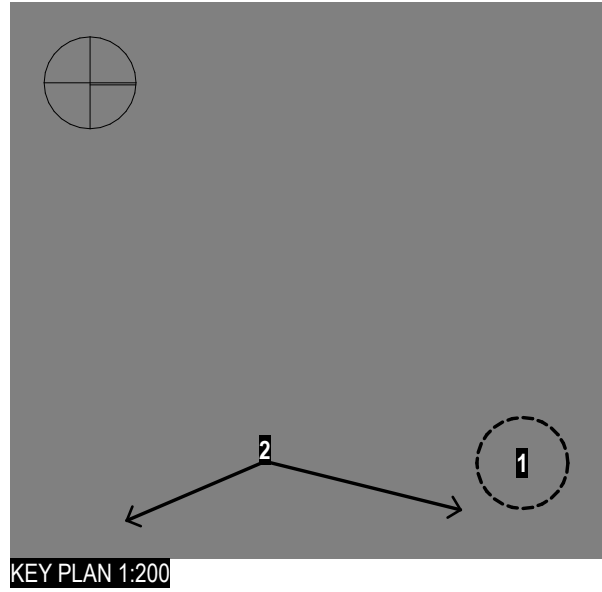


3. WATERFRONT RESTAURANT . PHOTOGRAPH TAKEN ON JULY 8TH, 2020



4. WATERFRONT RESTAURANT. PHOTOGRAPH TAKEN ON JULY 8TH, 2020

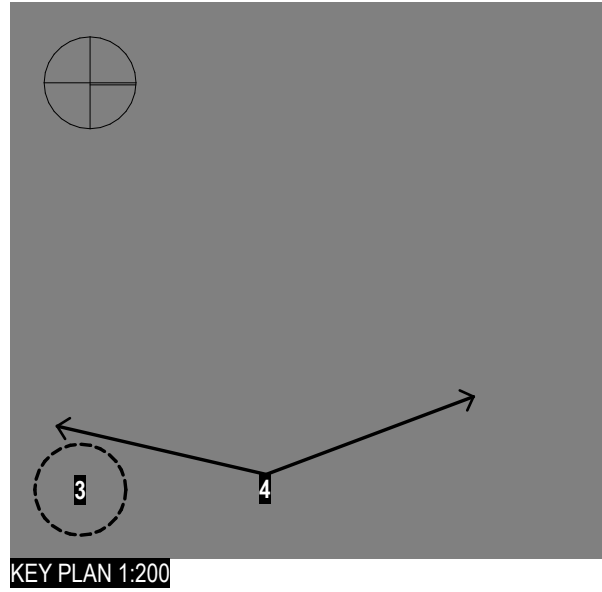




1. WEST AVE AND 10TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



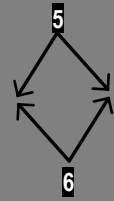
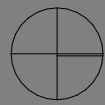
2. RETAIL ACROSS WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



3. WEST AVE AND 9TH ST INTERSECTION. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



4. EAST FACADE ALONG WEST AVENUE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



KEY PLAN 1:200

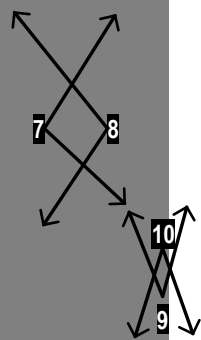
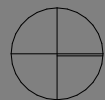


5. PARK AT 10TH STREET END LOOKING EAST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



6. PARK AT 10TH STREET END LOOKING WEST. PHOTOGRAPH TAKEN ON JULY 8TH, 2020





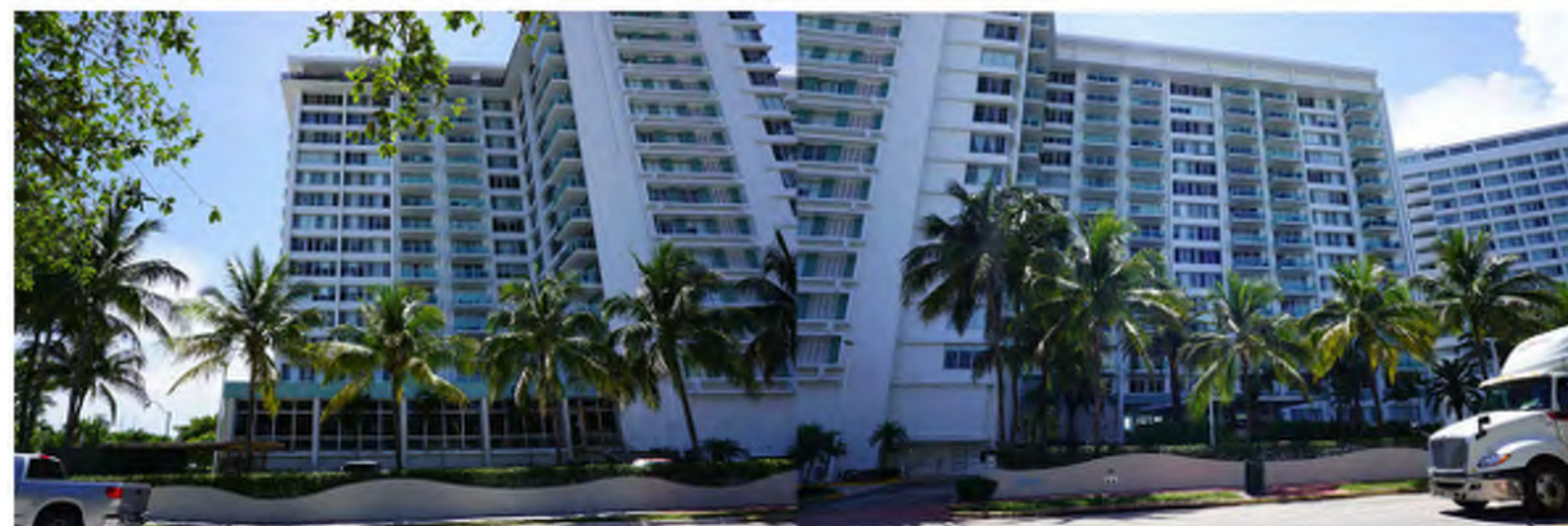
KEY PLAN 1:200



7. NEIGHBOR ACROSS 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020



8. NORTH FACADE ALONG 10TH ST. PHOTOGRAPHS TAKEN ON JULY 8TH, 2020

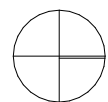
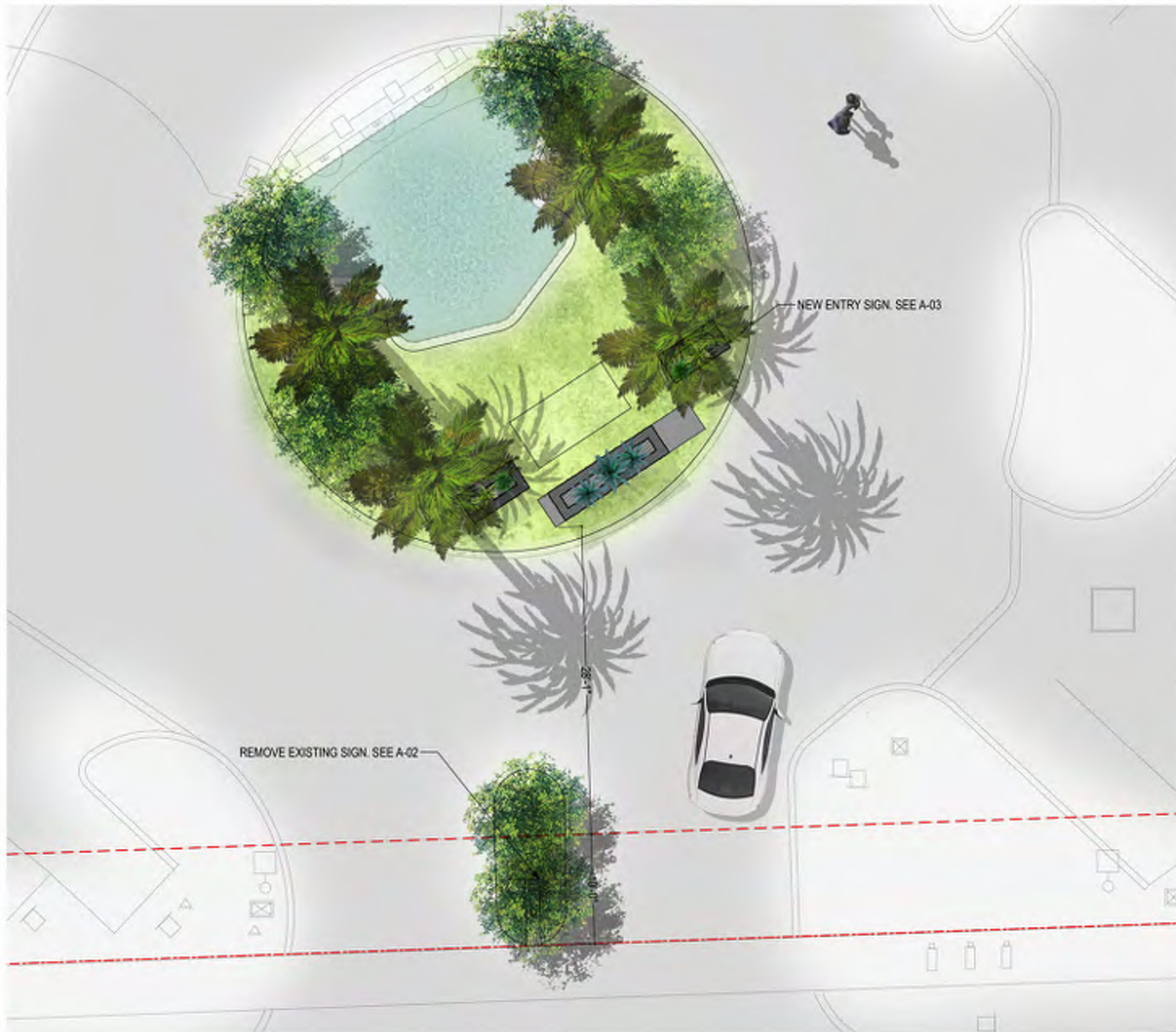


9. NEIGHBOR ACROSS 10TH ST ALONG WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020



10. WHOLEFOODS ACROSS WEST AVE. PHOTOGRAPH TAKEN ON JULY 8TH, 2020





A-01

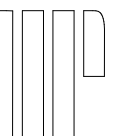
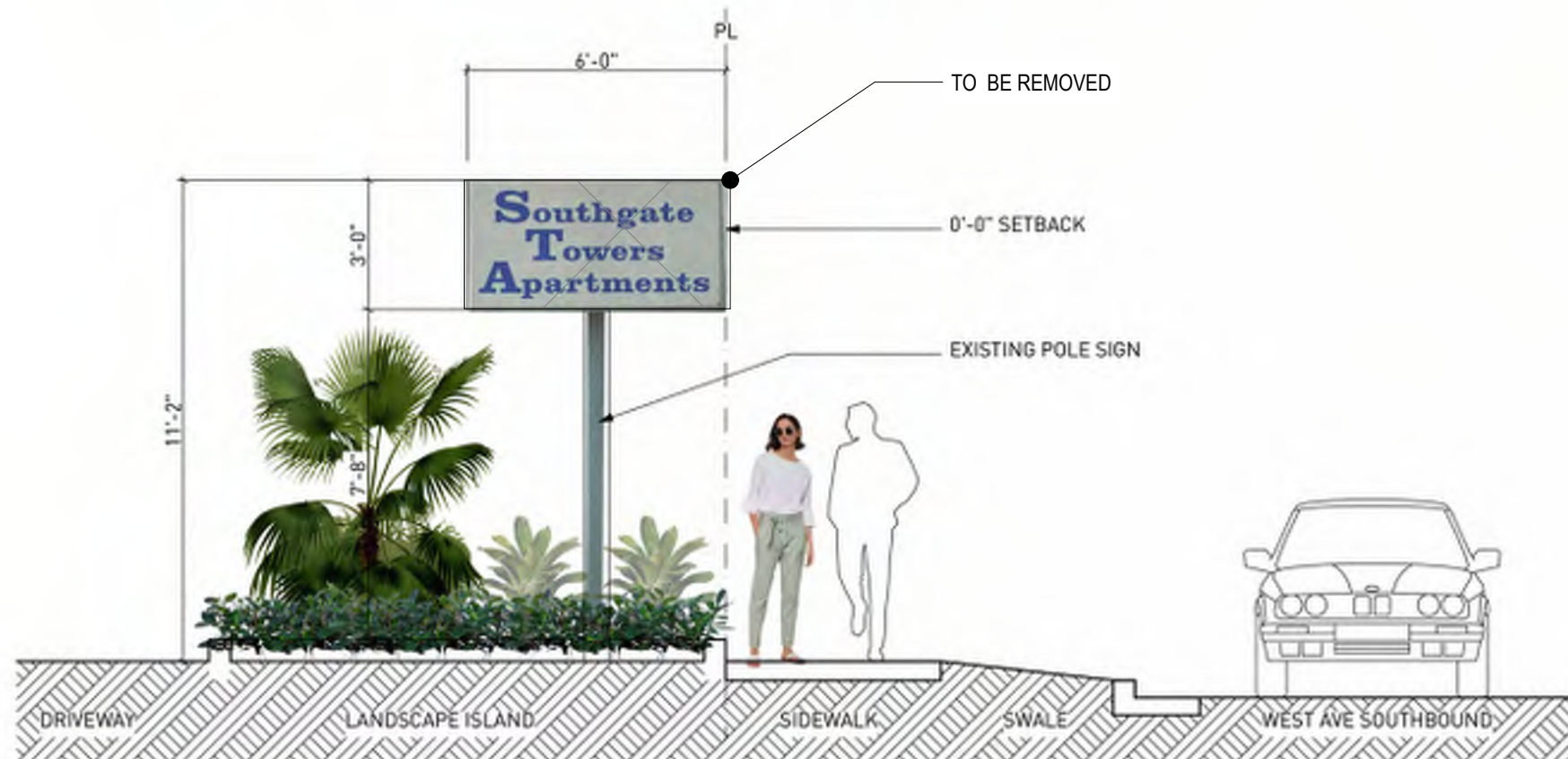
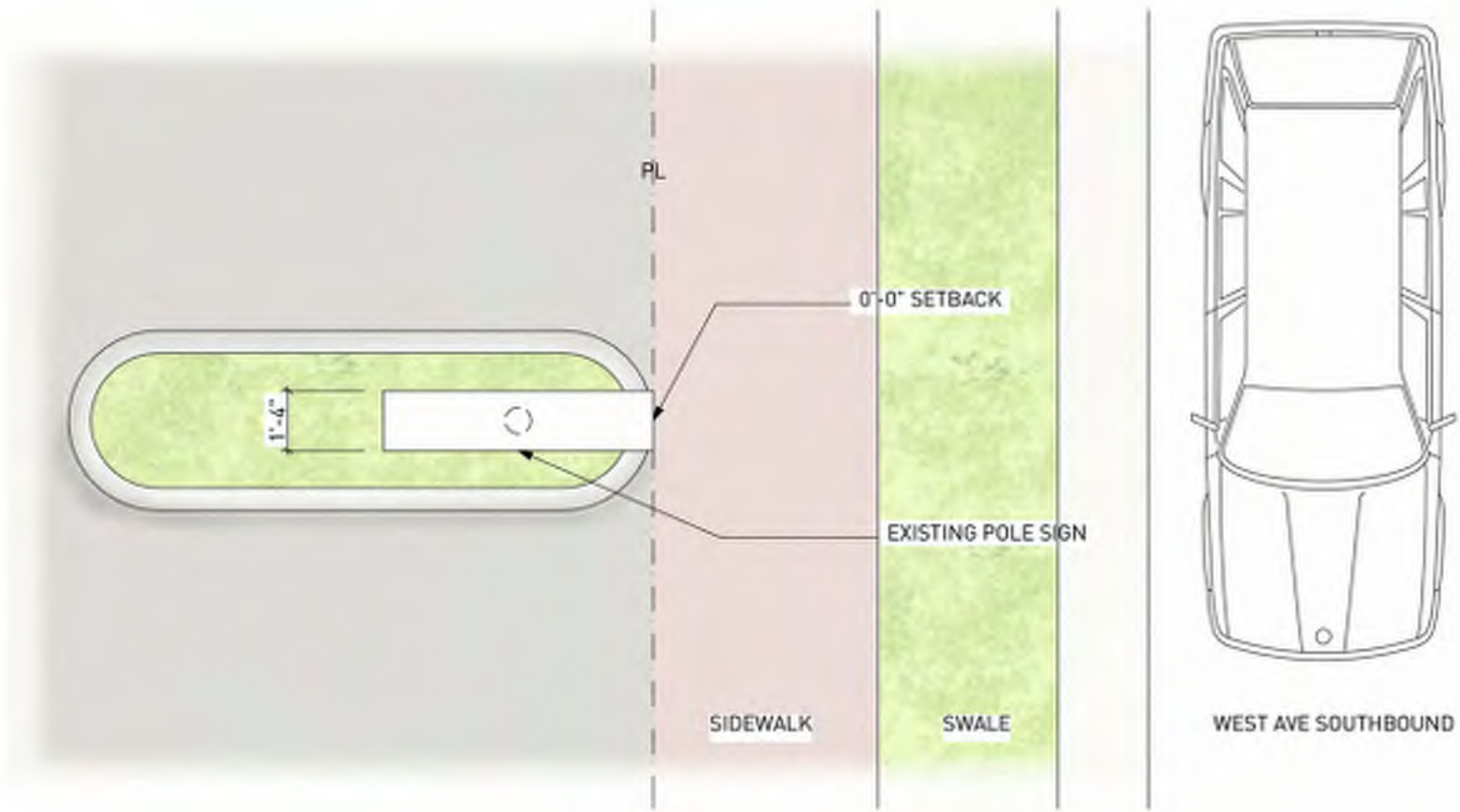
910 WEST AVENUE | SGT
DRB

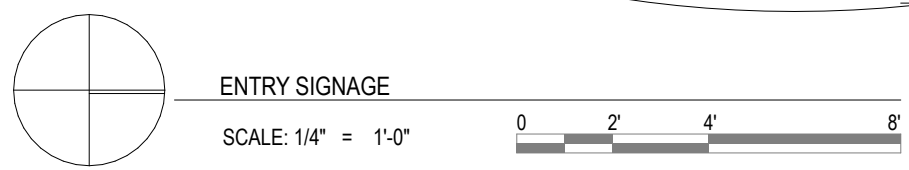
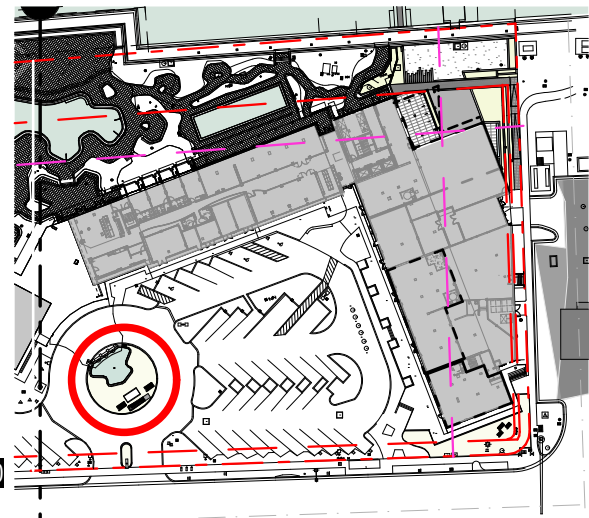
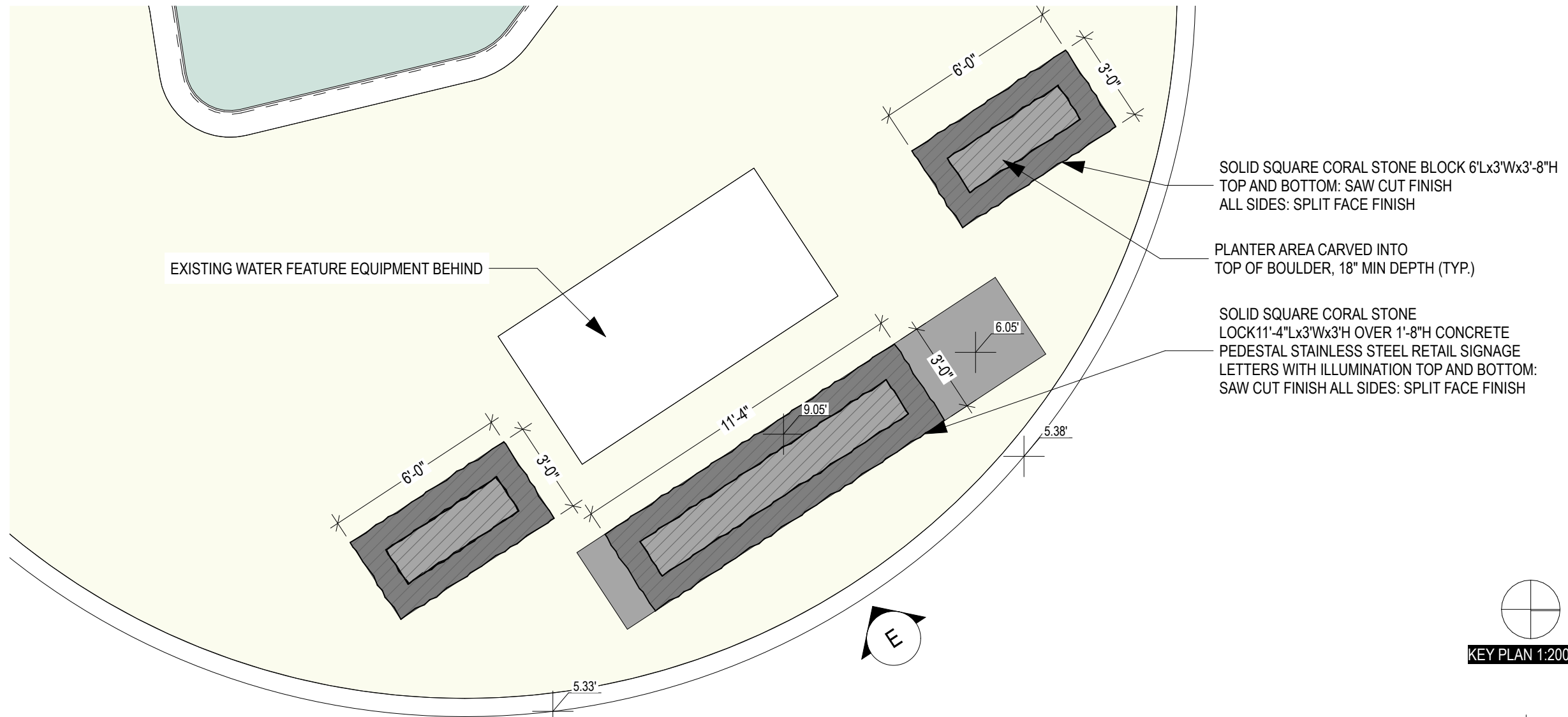
ENTRY SIGN PLAN

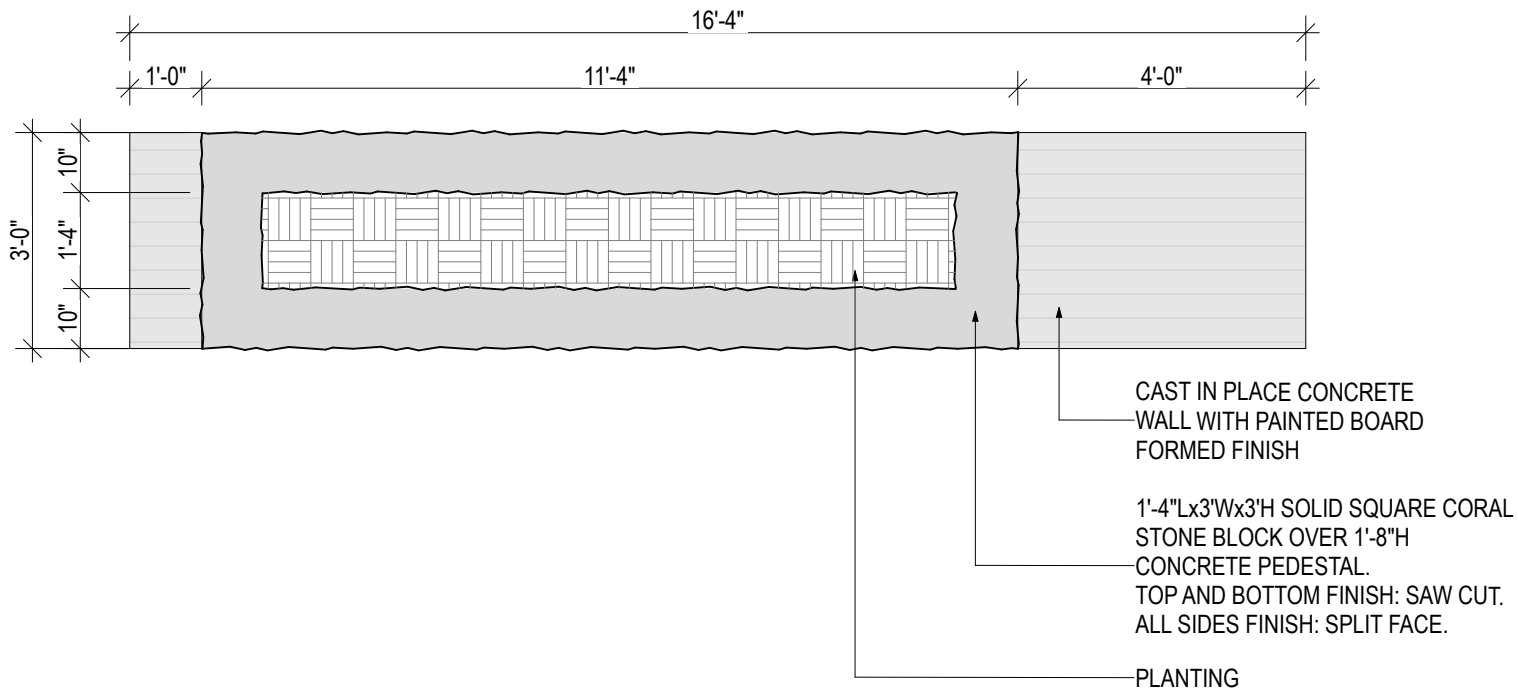
10/12/20

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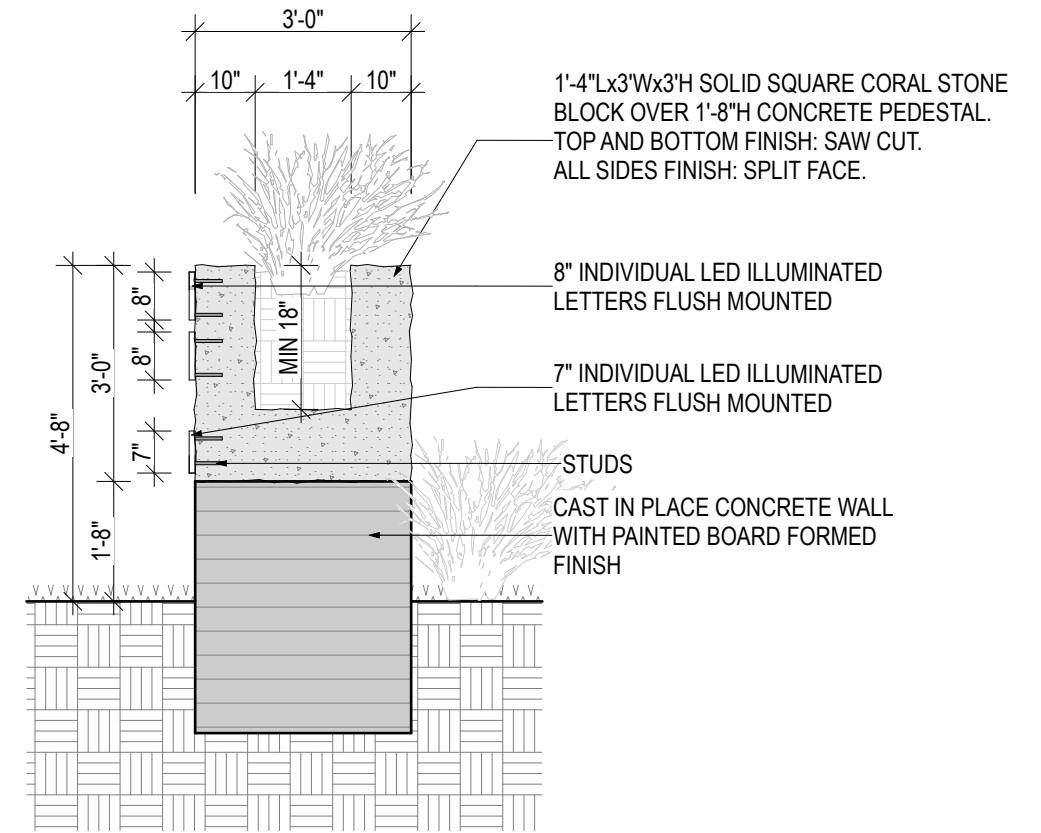




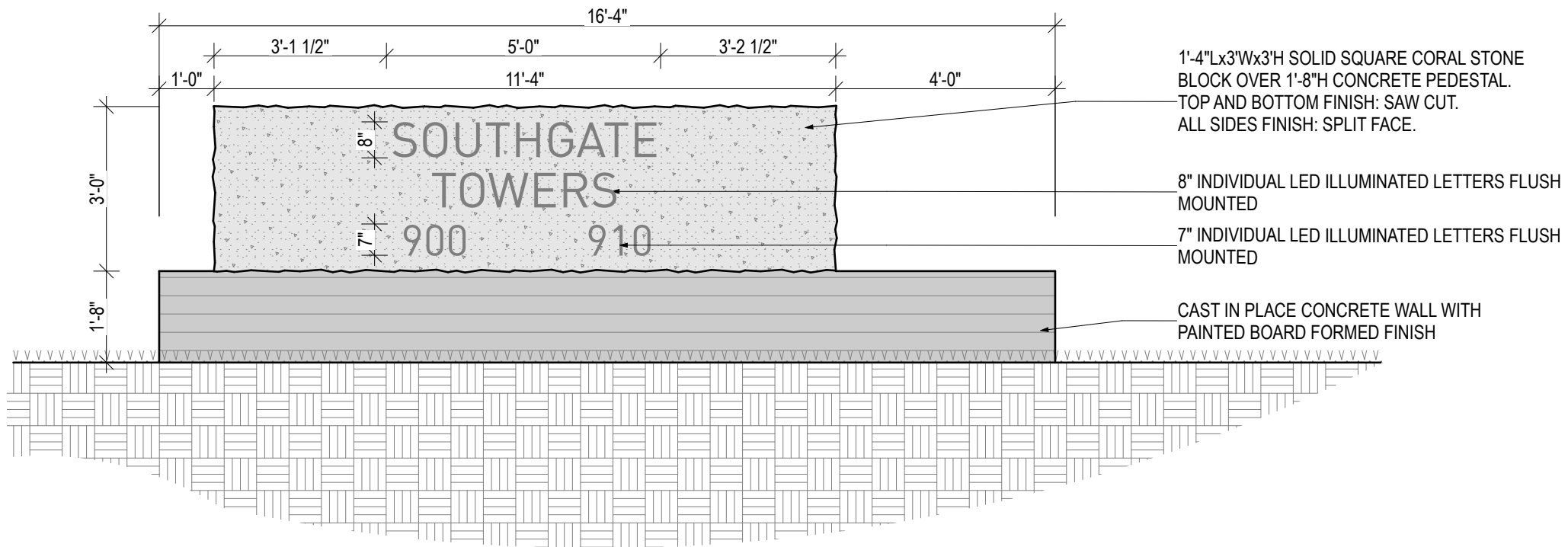




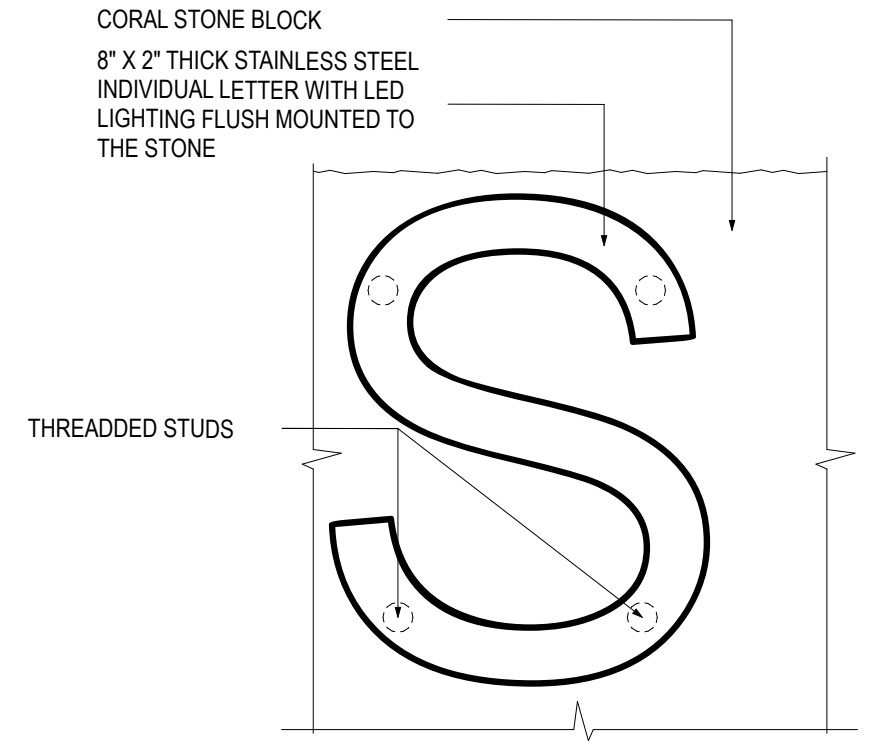
PLAN



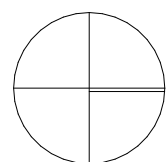
SECTION



ELEVATION



ENLARGEMENT



ENTRY SIGNAGE DETAILS

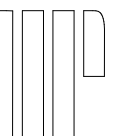
SCALE: 3/8" = 1'-0"

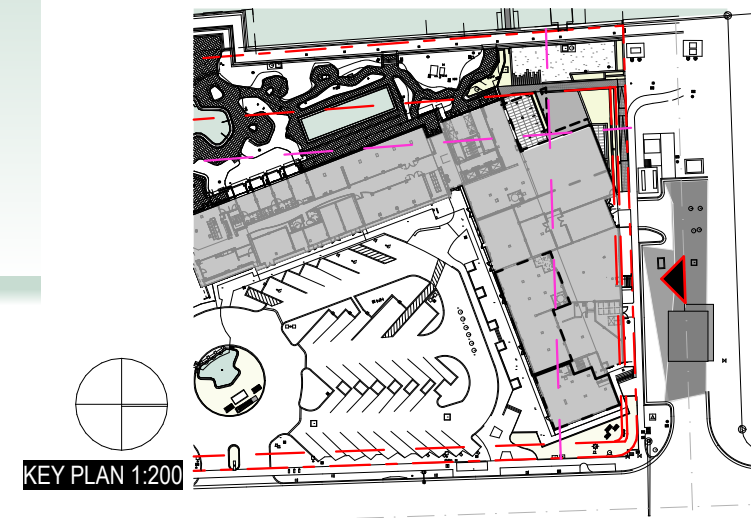


A-03a

910 WEST AVENUE | SGT

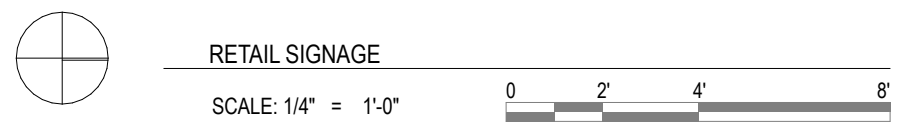
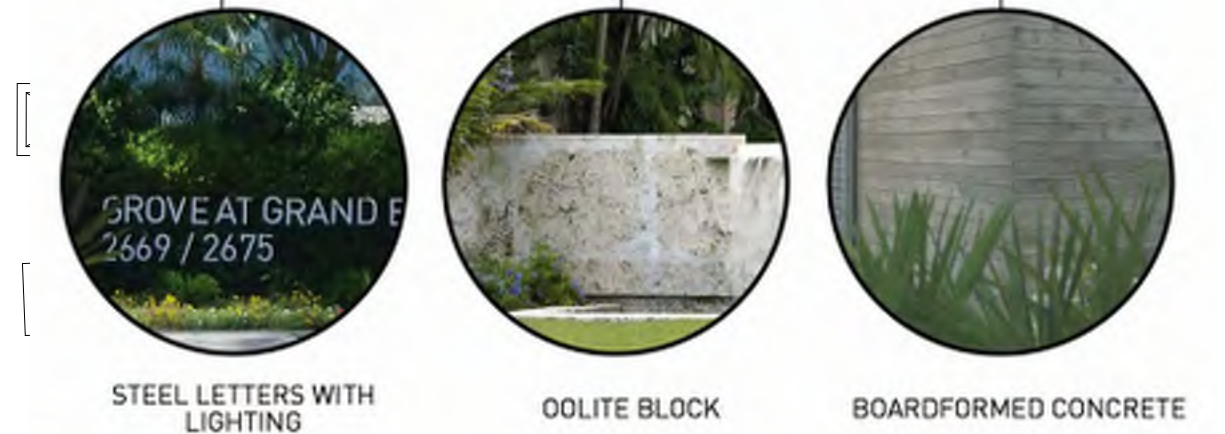
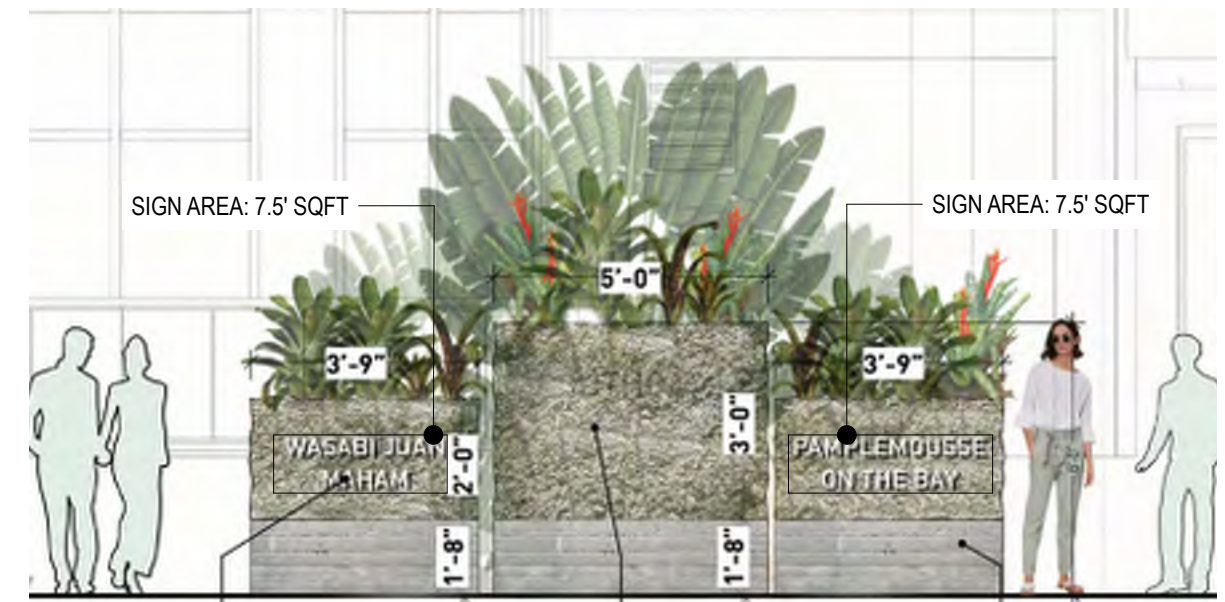
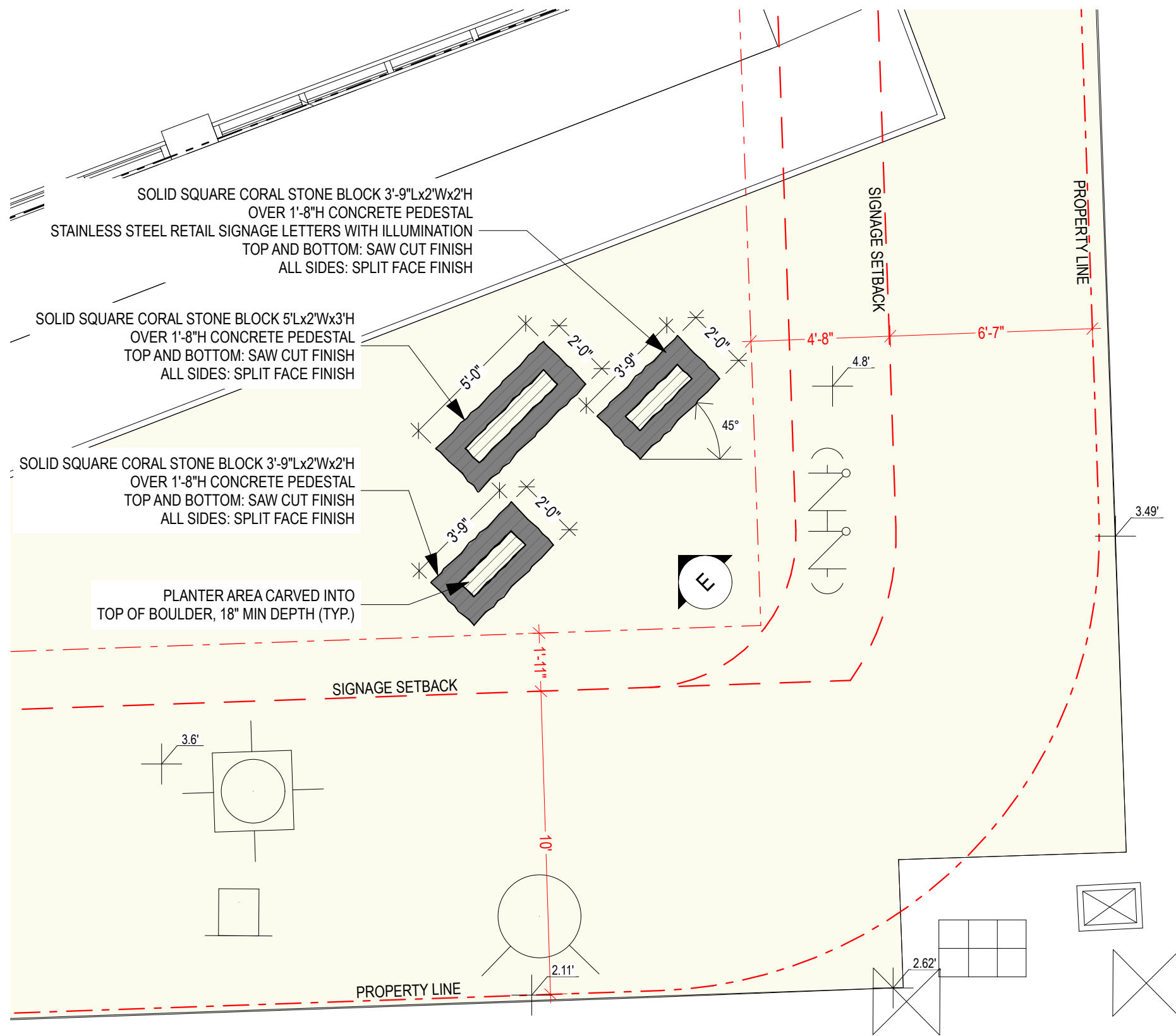
DRB

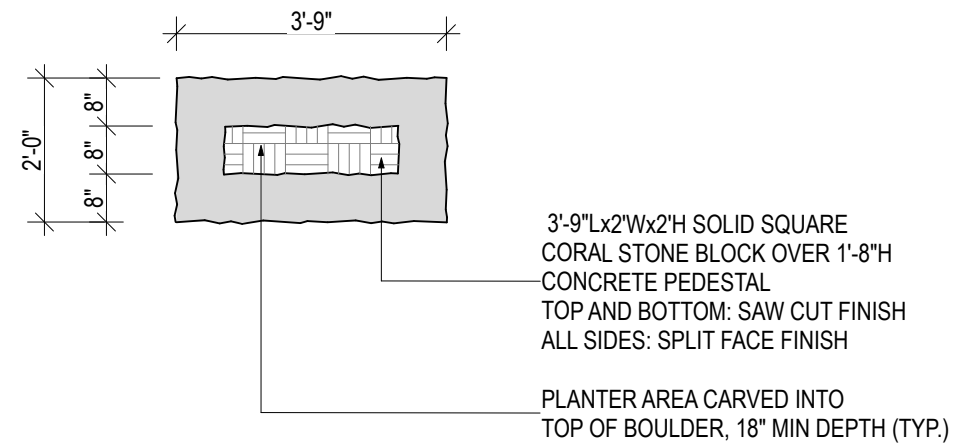




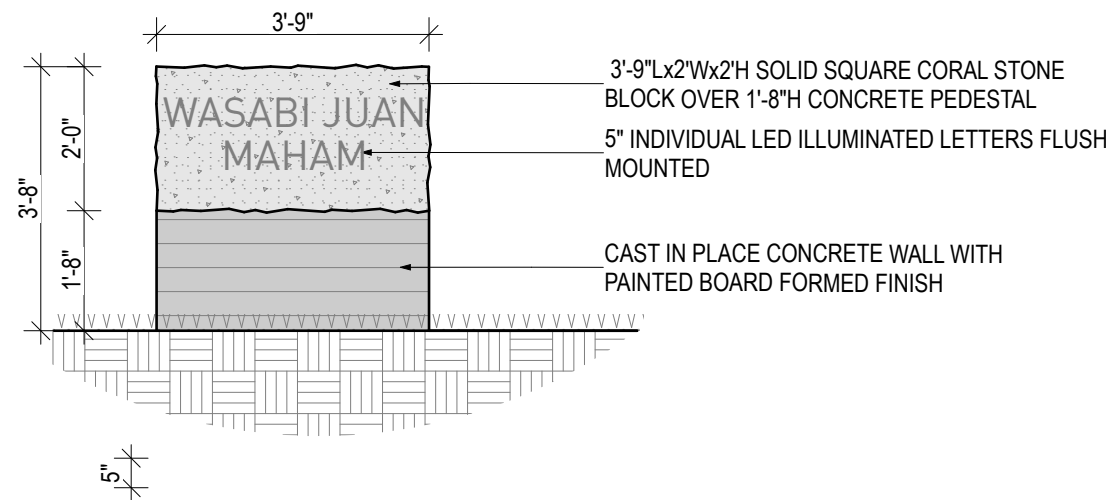
SCALE: 1/32" = 1'-0" 0 16' 32' 64'

A-04 | 910 WEST AVENUE | SGT
 DRB
 NORTH ELEVATION | 01/25/21 | URBAN ROBOT © 2021

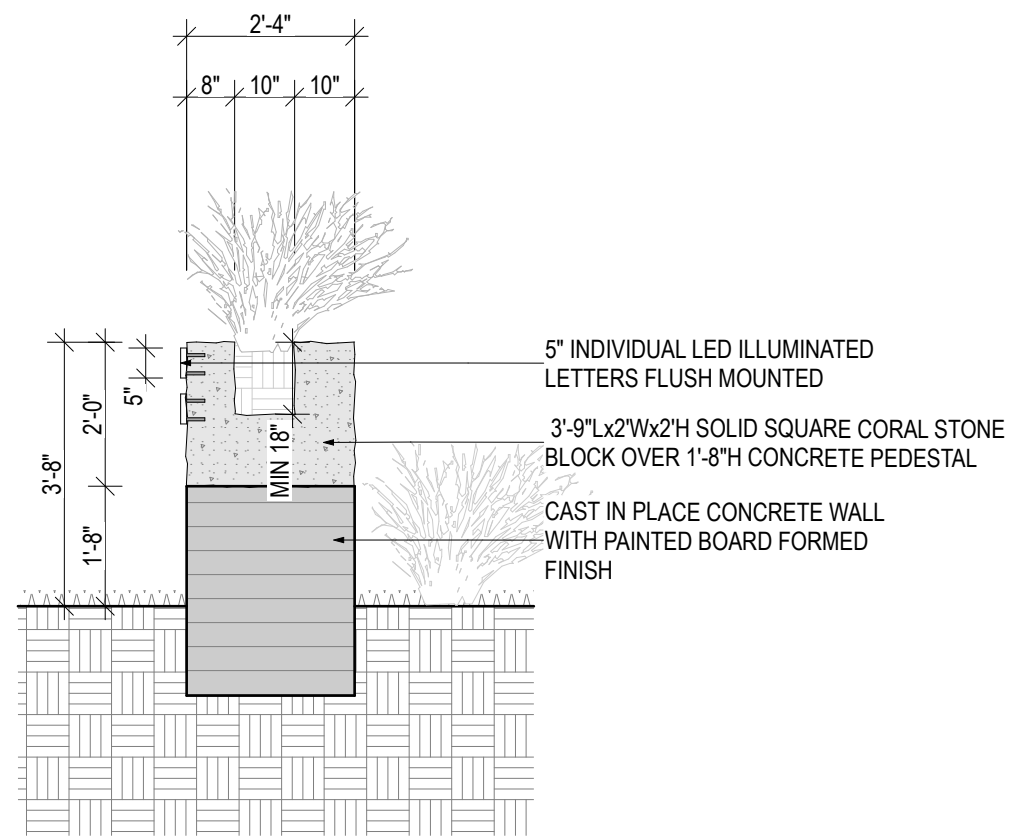




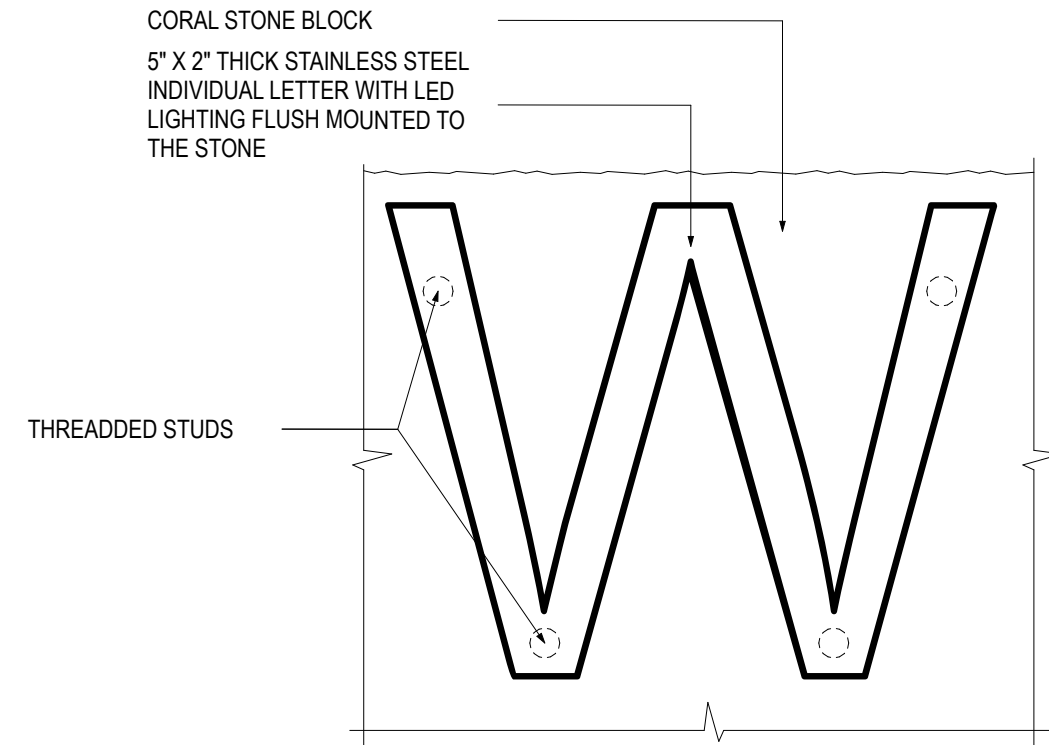
PLAN



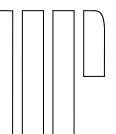
ELEVATION A

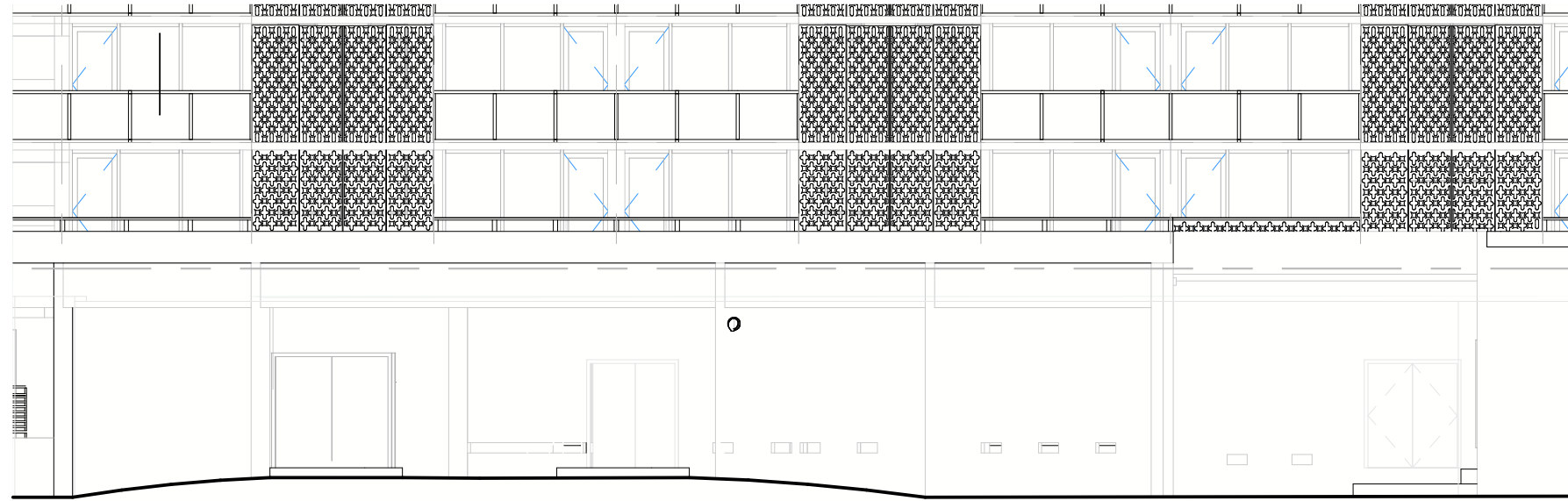


SECTION

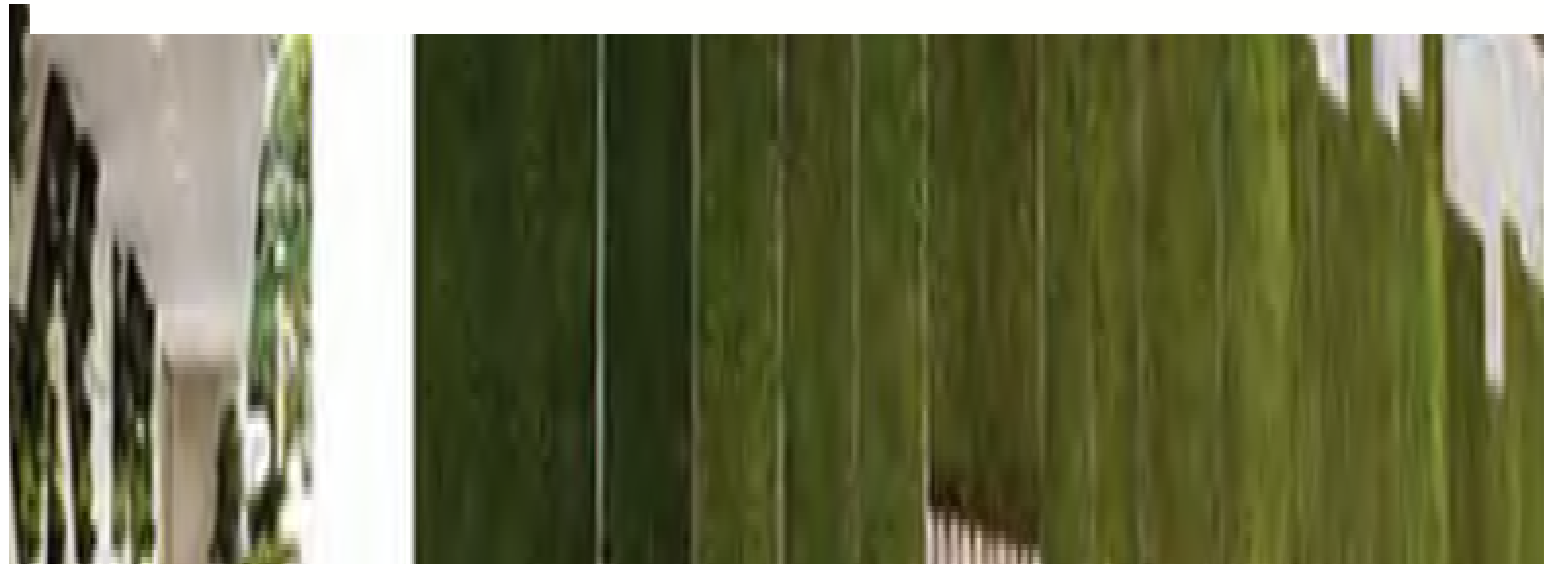


ENLARGEMENT

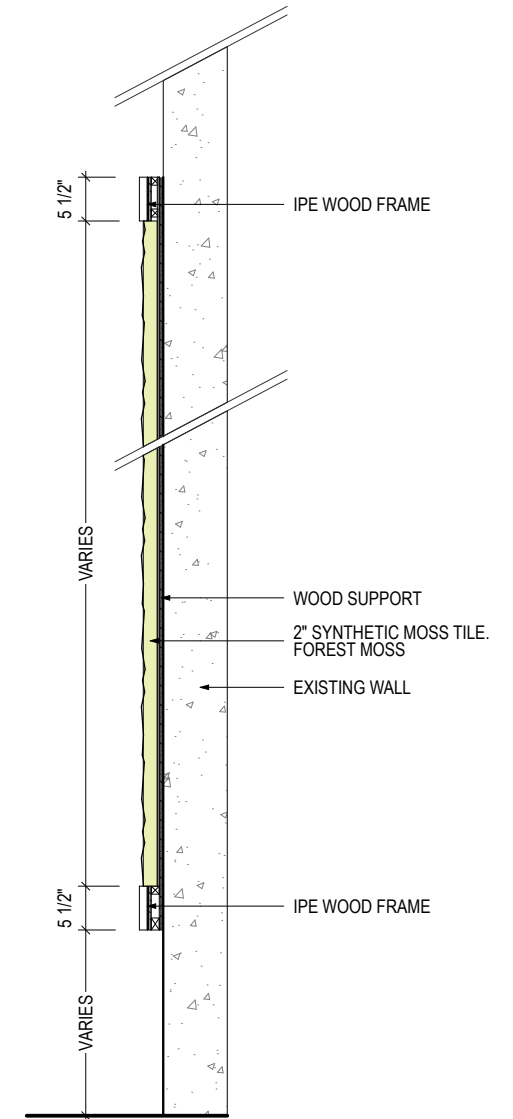




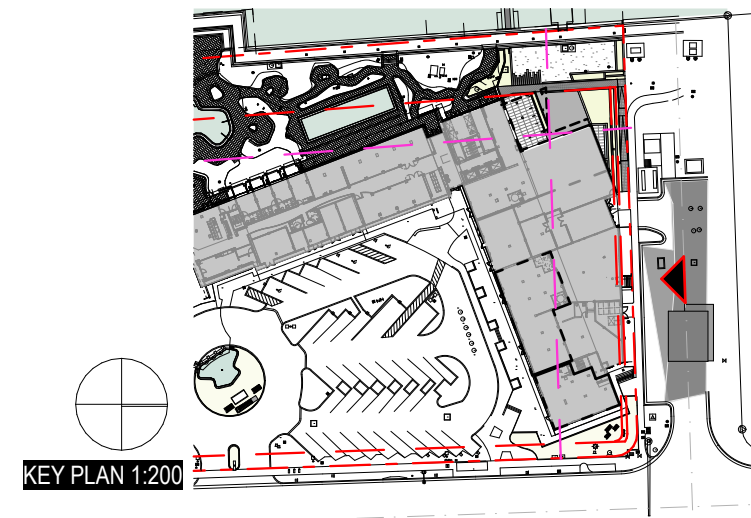
EXISTING ELEVATION



PROPOSED ELEVATION



GREEN WALL DETAIL



KEY PLAN 1:200

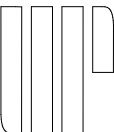
A-06

910 WEST AVENUE | SGT
DRB

NORTH ELEVATION - GREENWALL

01/25/21

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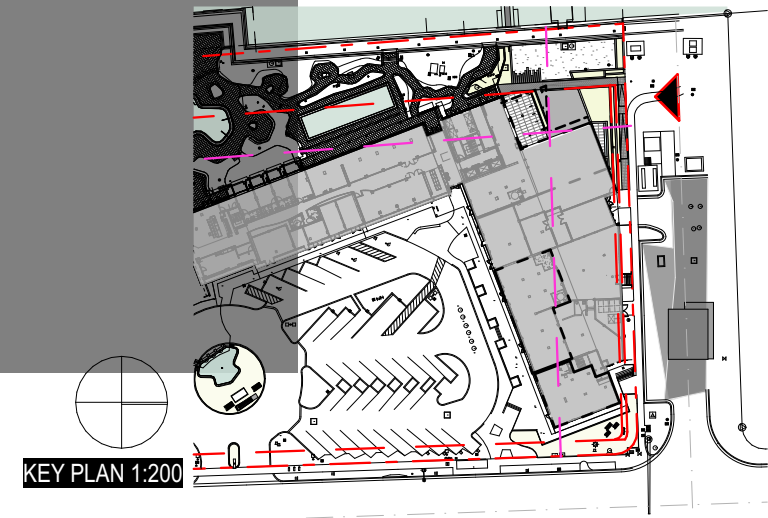
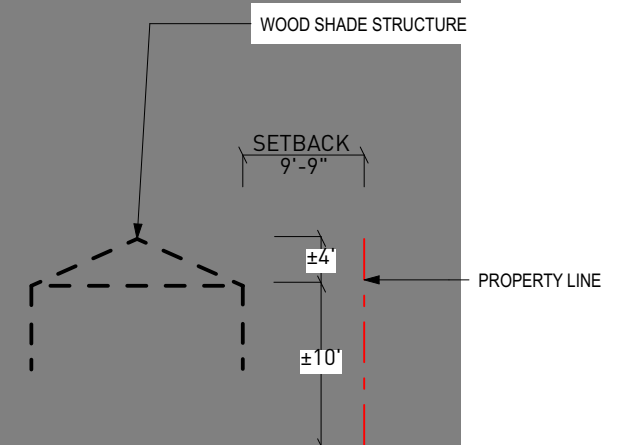
EXISTING CONDITIONS

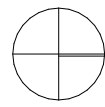
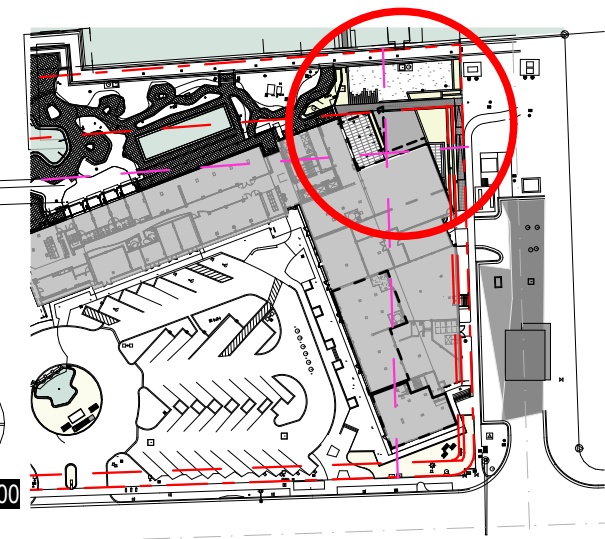
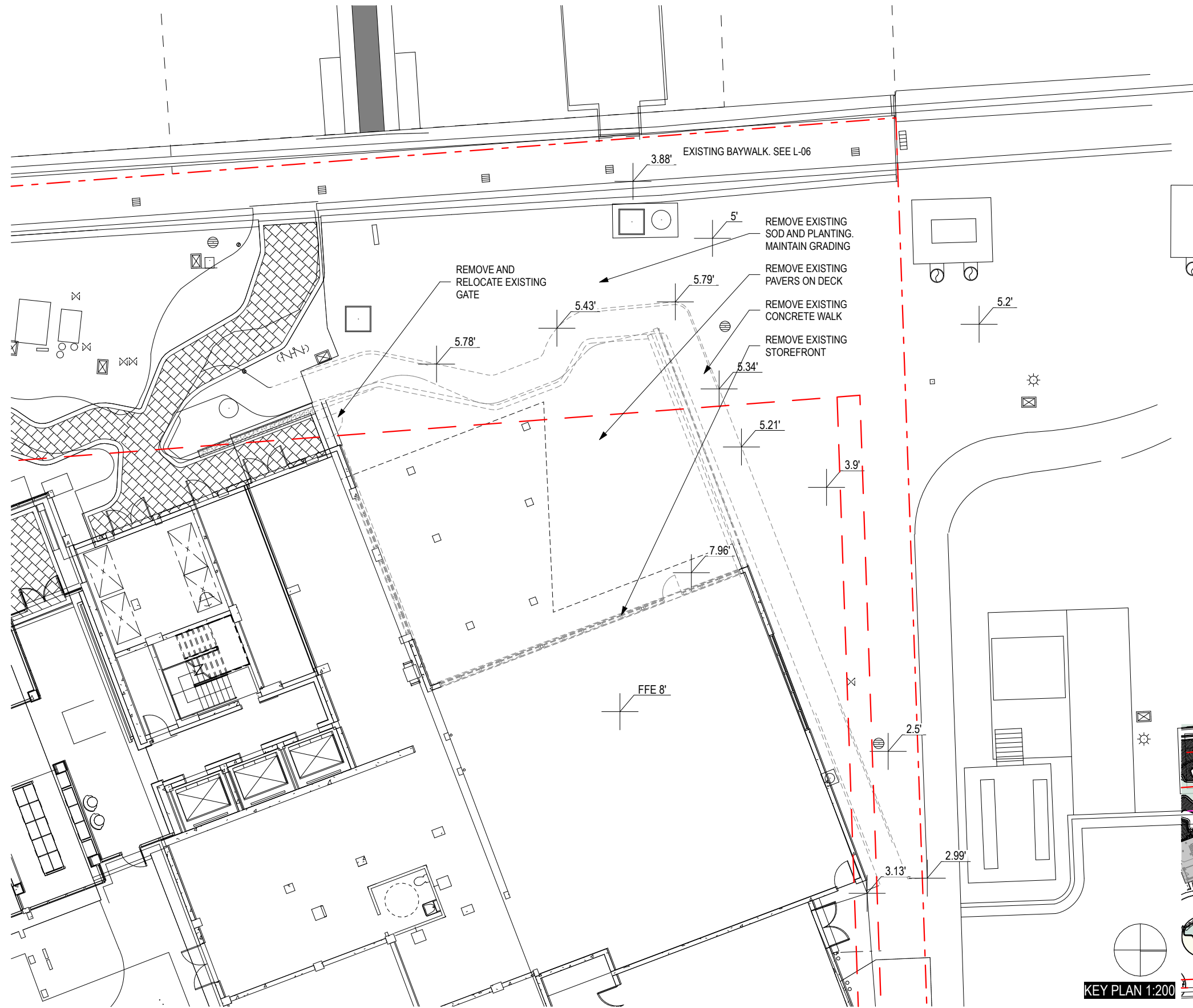


EXISTING ELEVATION



PROPOSED ELEVATION





DEMOLITION PLAN

SCALE: 1/16" = 1'-0"



A-08

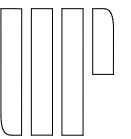
910 WEST AVENUE | SGT

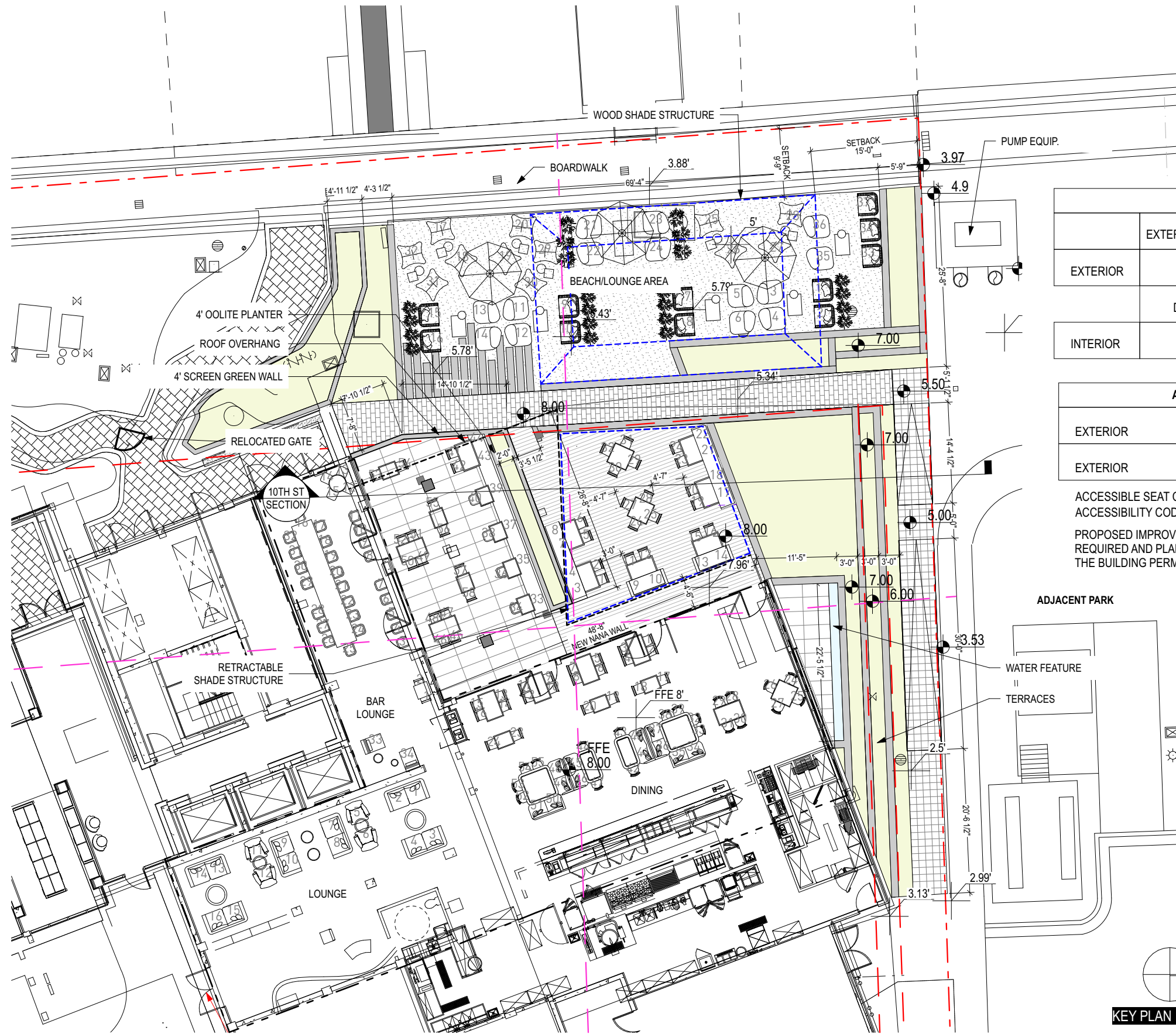
DRB

DEMOLITION PLAN

01/25/21

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SEAT COUNT				
	EXTERIOR DECK	BEACH LOUNGE	EXTERIOR BAR	TOTAL SEATS
EXTERIOR	58	37	-	95
	DINING	LOUNGE	BAR LOUNGE	
INTERIOR	55	16	34	105

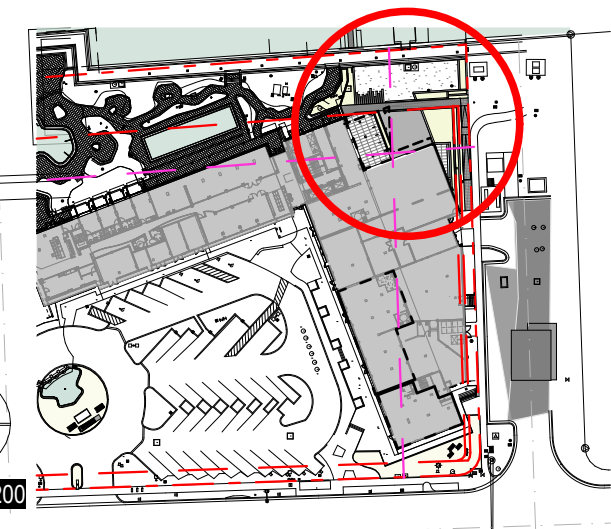
ACCESSIBLE SEAT COUNT	
EXTERIOR	95 x .05 = 5 ACCESSIBLE SEATS
EXTERIOR	105 x .05 = 6 ACCESSIBLE SEATS

ACCESSIBLE SEAT COUNT CALCULATED PER FLORIDA ACCESSIBILITY CODE (5TH ED.), SECTION 226.1

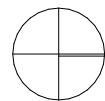
PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED AND PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.

ADJACENT PARK

WATER FEATURE
TERRACES

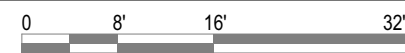


KEY PLAN 1:200



FLOOR PLAN

SCALE: 1/16" = 1'-0"

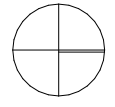
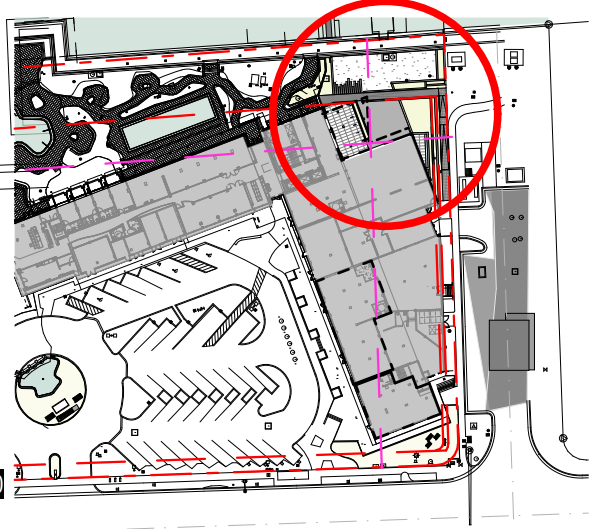
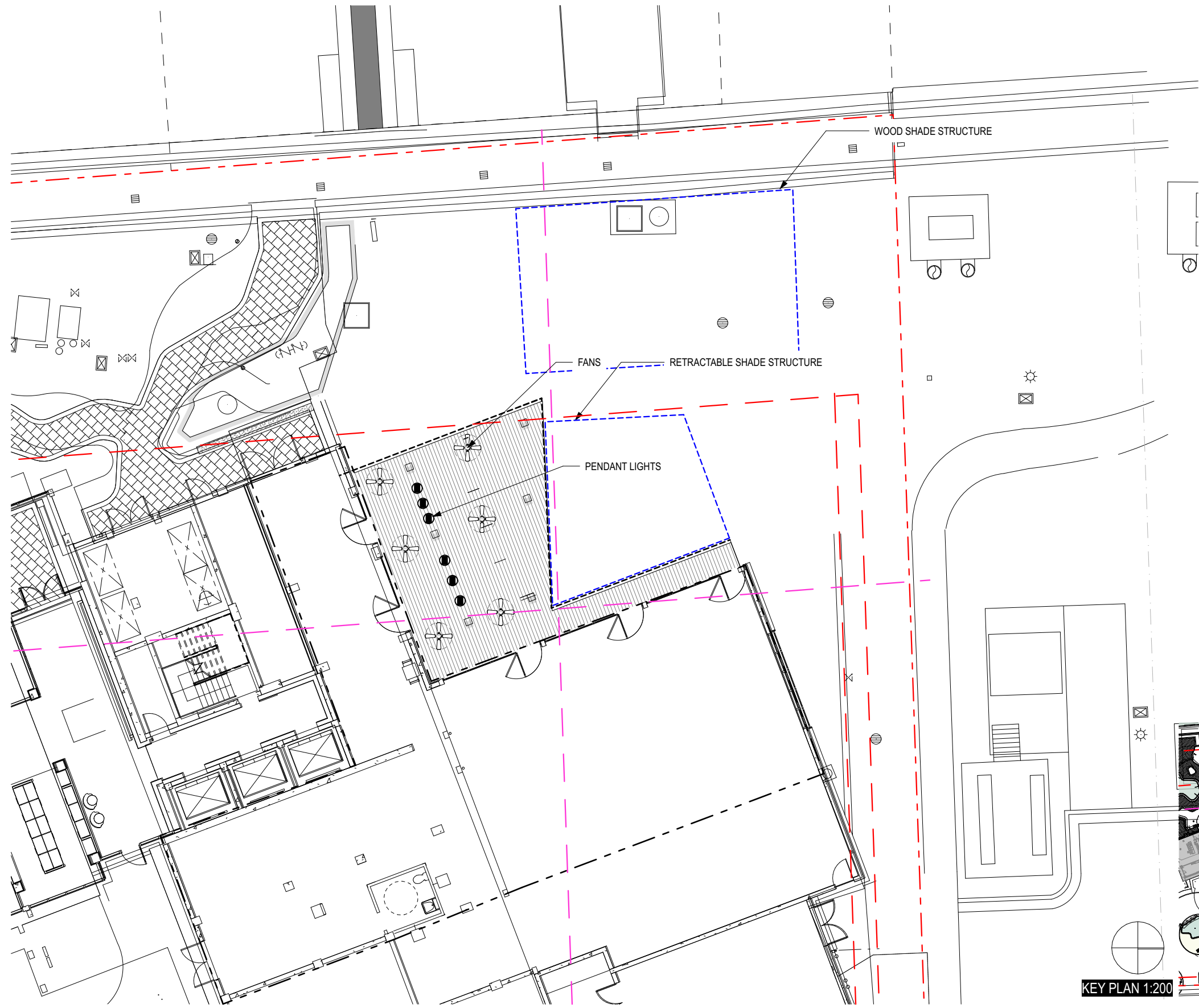


A-09

910 WEST AVENUE | SGT

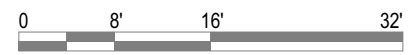
DRB





RCP

SCALE: 1/16" = 1'-0"



KEY PLAN 1:200

A-10

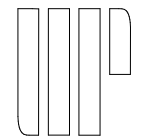
910 WEST AVENUE | SGT

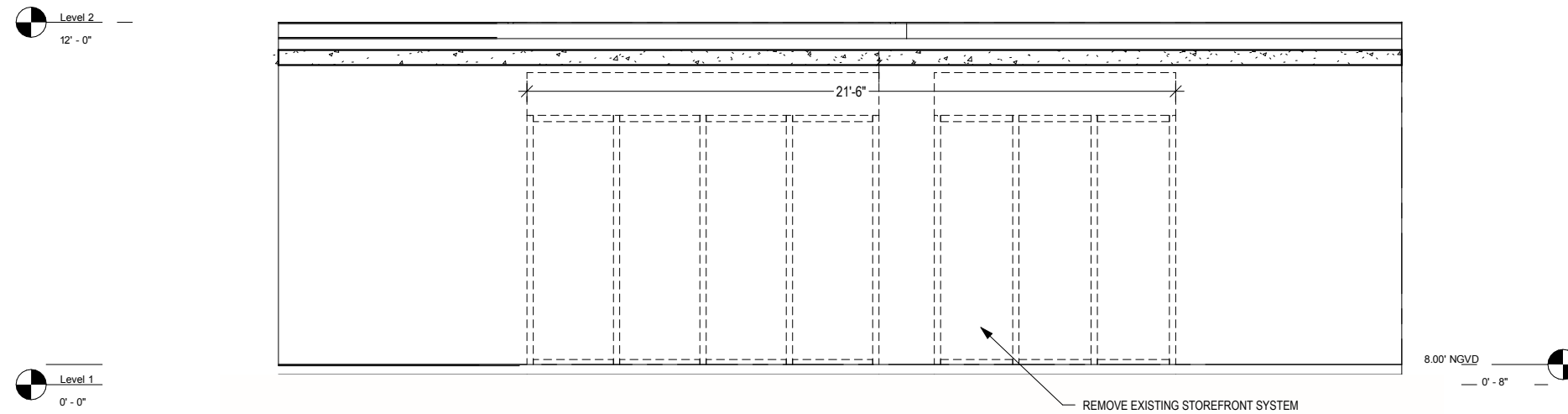
DRB

WATERFRONT RESTAURANT RCP

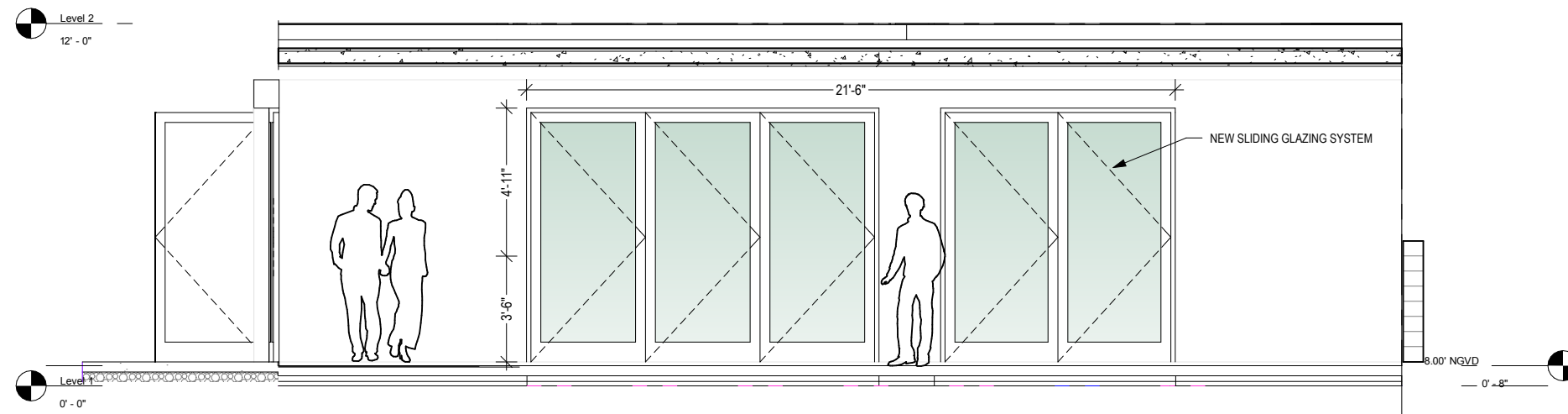
01/25/21

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EXISTING



PROPOSED

WEST ELEVATION

SCALE: 3/16" = 1'-0"



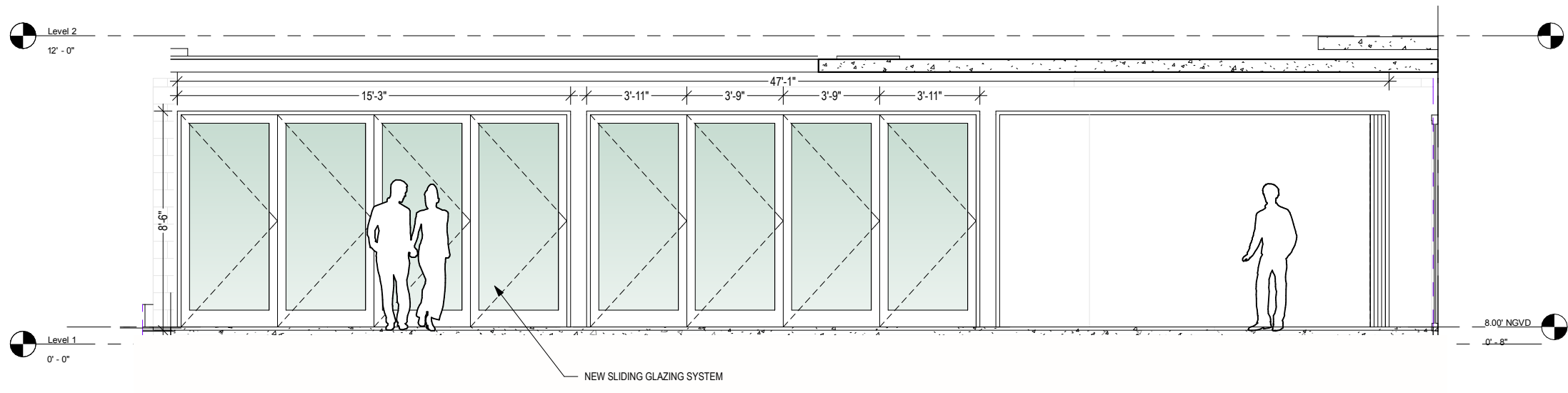
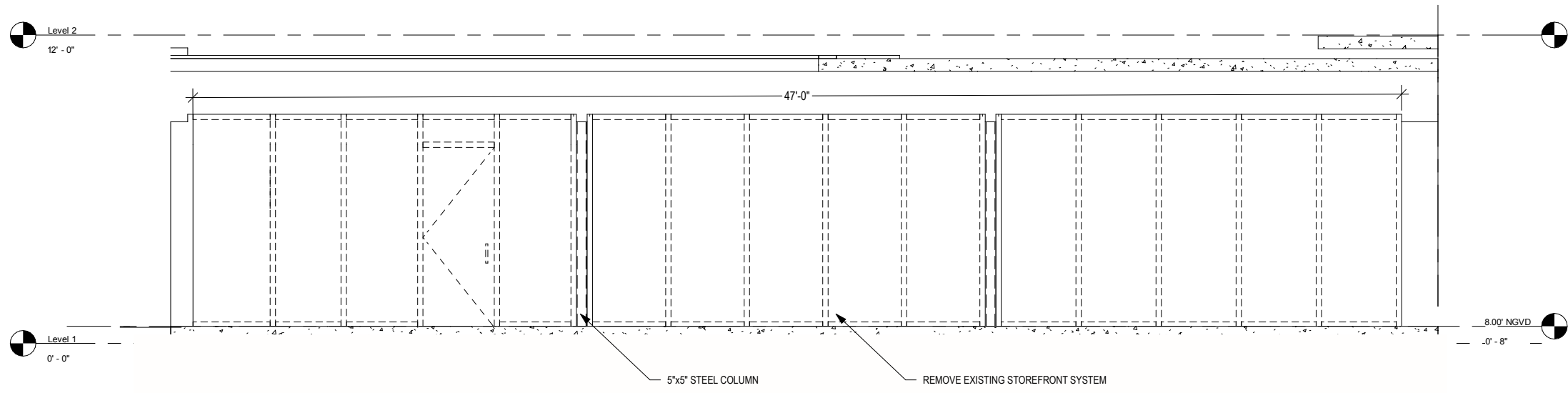
KEY PLAN 1:200

A-11

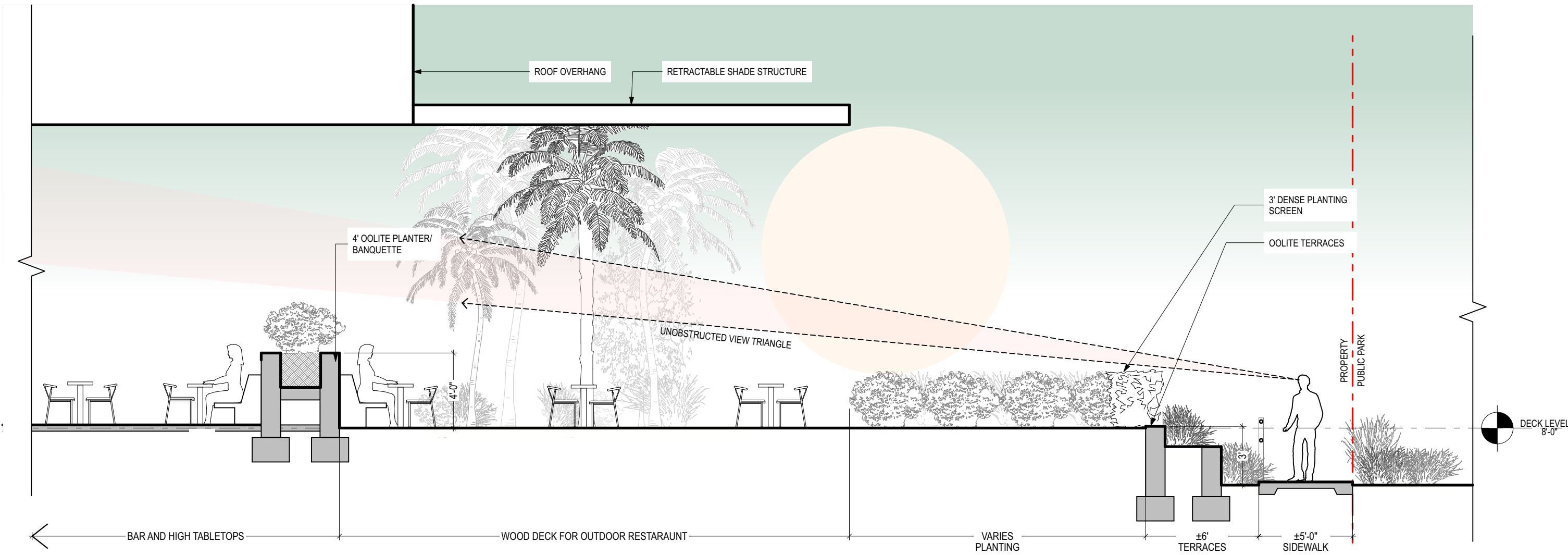
910 WEST AVENUE | SGT

DRB



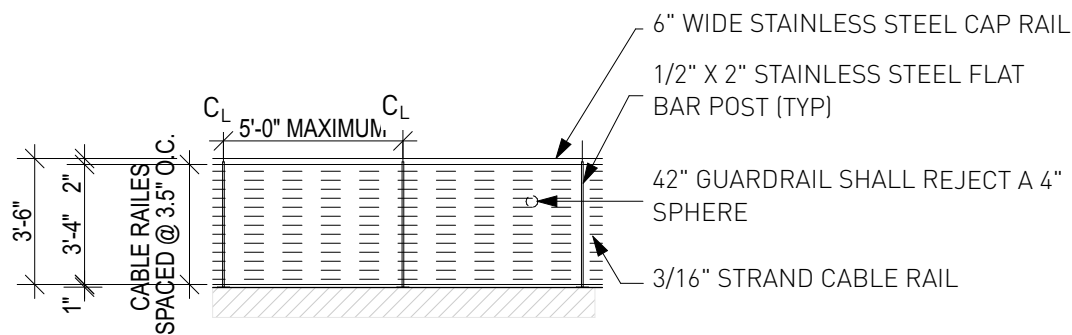


WEST ELEVATION
 SCALE: 3/16" = 1'-0"
 0 4' 8' 12'



10TH STREET SECTION

SCALE: 3/16" = 1'-0"

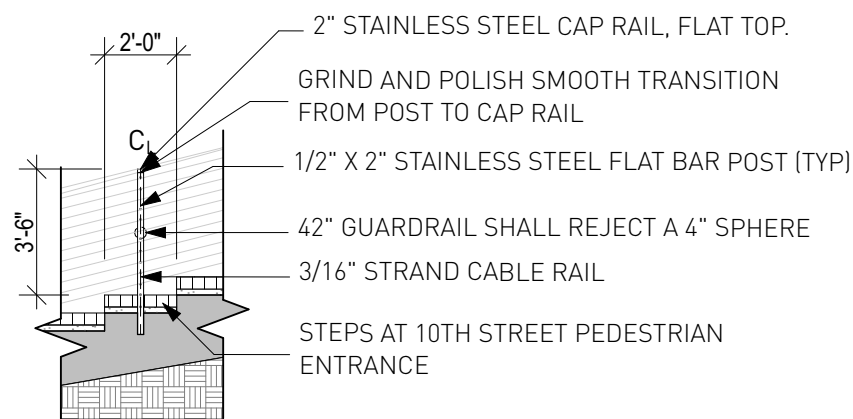


TYPICAL HANDRAIL ELEVATION

NOTE:
HANDRAILS TO INCORPORATE A FLAT PROFILE AND ANY ACCESSIBILITY RAIL TO RETURN TO THE GROUND

GUARDRAIL DETAIL

SCALE: 3/16" = 1'-0"



TYPICAL HANDRAIL SECTION



KEY PLAN 1:200

A-14

910 WEST AVENUE | SGT

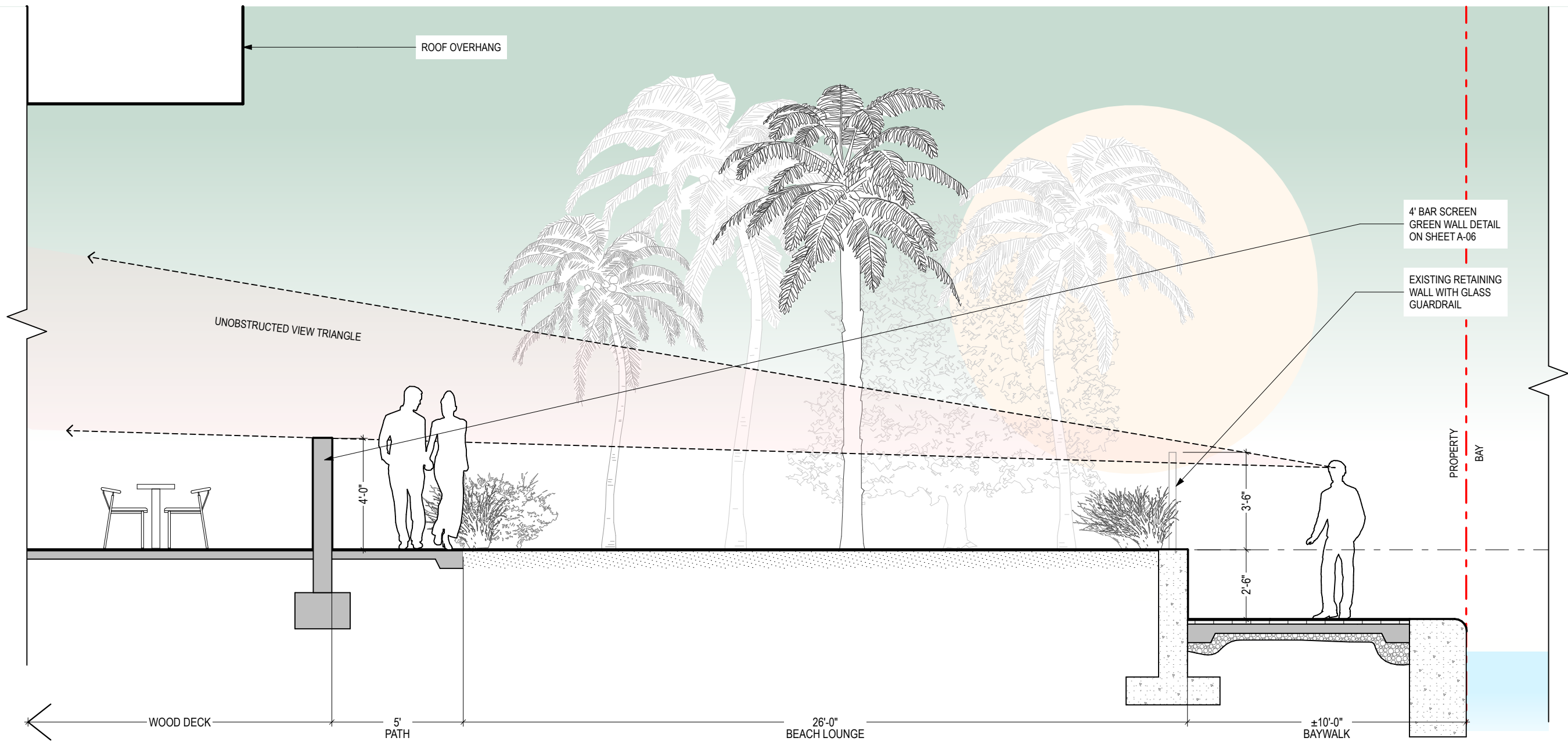
DRB

SECTION 10th STREET

01/25/21

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BAYWALK SECTION

SCALE: 1/4" = 1'-0"



KEY PLAN 1:200

A-15

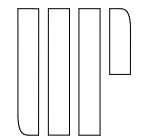
910 WEST AVENUE | SGT

DRB

SECTION BAYWALK

01/25/21

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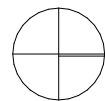




Tree Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	BS	1	Bursera simaruba 'Red Trunk Belize'	Gumbo Limbo Red Trunk
	CN	13	Cocos nucifera	Coconut
	CU	3	Coccoloba uvifera	Sea Grape
	SP	6	Sabal Palmetto	Cabbage Palm

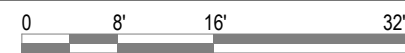
Shrub Schedule				
Symbol	ID	Qty	Botanical Name	Common Name
	Ab	3	Agave 'Blue Flame'	Agave 'Blue Flame'
	Cih	8	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum
	Pv	1	Pyrostegia venusta	Flame vine
	Src	6	Serenoa repens 'Cinerea'	Silver Saw Palmetto
	Ya	8	Yucca aloifolia	Aloe Yucca
	Zp	12	Zamia pumila	Coontie

Groundcover Schedule				
Symbol	ID	QTY	Botanical Name	Common Name
	Td		Tripsacum dactyloides	Fakahatchee Grass
	hd		Helianthus debilis	Dune sunflower
	hl		Ernodea littoralis	Golden creeper
	mc		Spartina patens	Pink muhlygrass



PLANTING PLAN

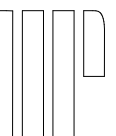
SCALE: 1/16" = 1'-0"



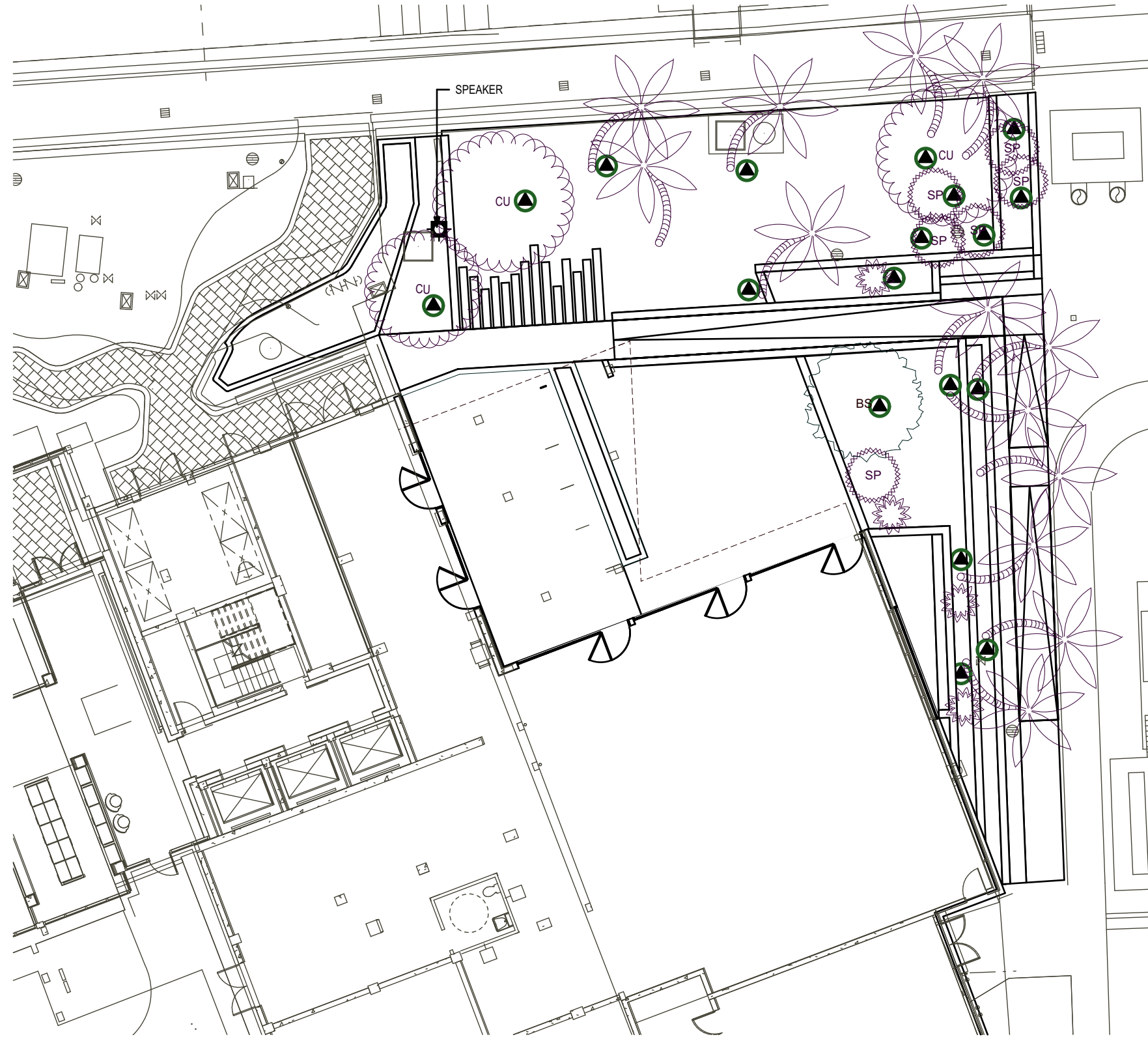
L-01

910 WEST AVENUE | SGT

DRB

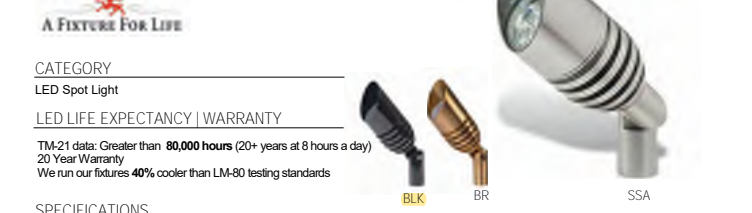


Lighting									
Symbol	Light Fixture	Manufacturer	Model	Voltage	Lamp	Watts	Color Temp	Material	Finish
	Spot Light	Garden Light	V2	12V	LED	8 WATTS	3000 K	SOLID BRASS	BRASS



VISIONARY SERIES

V2 | SPOT LIGHT



CATEGORY
LED Spot Light

LED LIFE EXPECTANCY | WARRANTY
TM-21 data: Greater than **80,000 hours** (20+ years at 8 hours a day)
20 Year Warranty
We run our fixtures **40% cooler** than LM-80 testing standards

SPECIFICATIONS

APPLICATION	CONSTRUCTION	DRIVER SYSTEM	INPUT POWER	INSTALLATION	LEAD WIRES	CRI	CERTIFICATION
Up Light Shadowing Wall Wash Silhouette Architectural Accents	6061 Aluminum C360 Solid Brass	External Driver	10.5-18 VAC	LV180 Ground Stake Included	ULECC 18 AWG Tinned Copper Wire 46 Inch Length	80	UL1838 Low Voltage Landscape Lighting

PRODUCT DIMENSIONS

EQ / W / VA / LUMENS

EQ / W / VA / LM
10 - 2W/4VA - 130lm
20 - 4W/7VA - 210lm
35 - 6W/10VA - 280lm

BEAM SPREAD & FINISH

BEAM SPREAD	FINISH
12°	Black (BLK)
25°	C360 Solid Brass (BR)
40°	Stainless Aluminum (SSA)
60°	

PHOTOMETRICS
*Complete IES files furnished upon request.

FEATURES

- Compression lens technology, no glue
- Oversized heat sink and thermal management for longevity and consistency
- Dedicated LED features
- Machined Metal Input, not Cast Material
- Proprietary design-enhanced and robust driver technology
- Remarkably tight binning process, 2-step MacAdam ellipse to ensure consistent light output and no veiling light
- Surge protection built into every driver
- Lumen levels- fixtures tested with shrouds

ADDITIONAL INFO

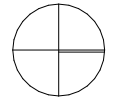
- Built in USA | Tampa, FL
- For custom light output, contact your sales associate
- **Fuchsia and Lavender require additional lead time
- *Color Temperature Amber and Red are not Turtle Friendly; see our Turtle Friendly fixtures for more information

POWER CONSUMPTION

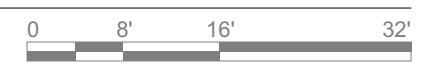
COLOR TEMPERATURE	VA	VA	VA
3000K	4	7	10
2700K	4	7	10
5000K	4	7	10
AMB*	6	10	11
BLU	6	11	11
RBL	6	10	11
GRN	6	11	11
RED*	4	8	8
FSA**	N/A	N/A	9
LVR**	N/A	N/A	10

■ INDICATES STOCKED ITEMS

Garden Light LED | A Fixture for Life | 6112 Benjamin Road | Tampa, FL 33634 | 1.800.511.2099 | 813.901.5595
*IN A CONTINUING PRODUCT IMPROVEMENT PROGRAM, GARDEN LIGHT LED RESERVES THE RIGHT TO MODIFY PRODUCT SPECIFICATIONS WITHOUT NOTICE.



L-LIGHTING PLAN
SCALE: 1/16" = 1'-0"



L-0X | 910 WEST AVENUE | SGT
DRB

GRASSES



Spartina patens



Tripsacum dactyloides



Tripsacum floridanum

WILD FLOWERS



Sesuvium portulacastrum



Seaside goldenrod



Helianthus debilis



Gaillardia pulchella

TREES



Gumbo limbo



Coccoloba uvifera

VINES AND CLIMBERS



Pyrostegia venusta



Ficus pumila



Ernodea littoralis

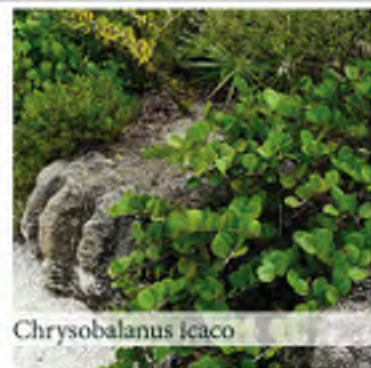
ACCENTS



Agave blue flame



Serenoa repens cinerea



Chrysobalanus icaco



Yucca aloifolia



Zamia pumila

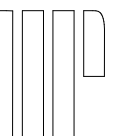
PALMS

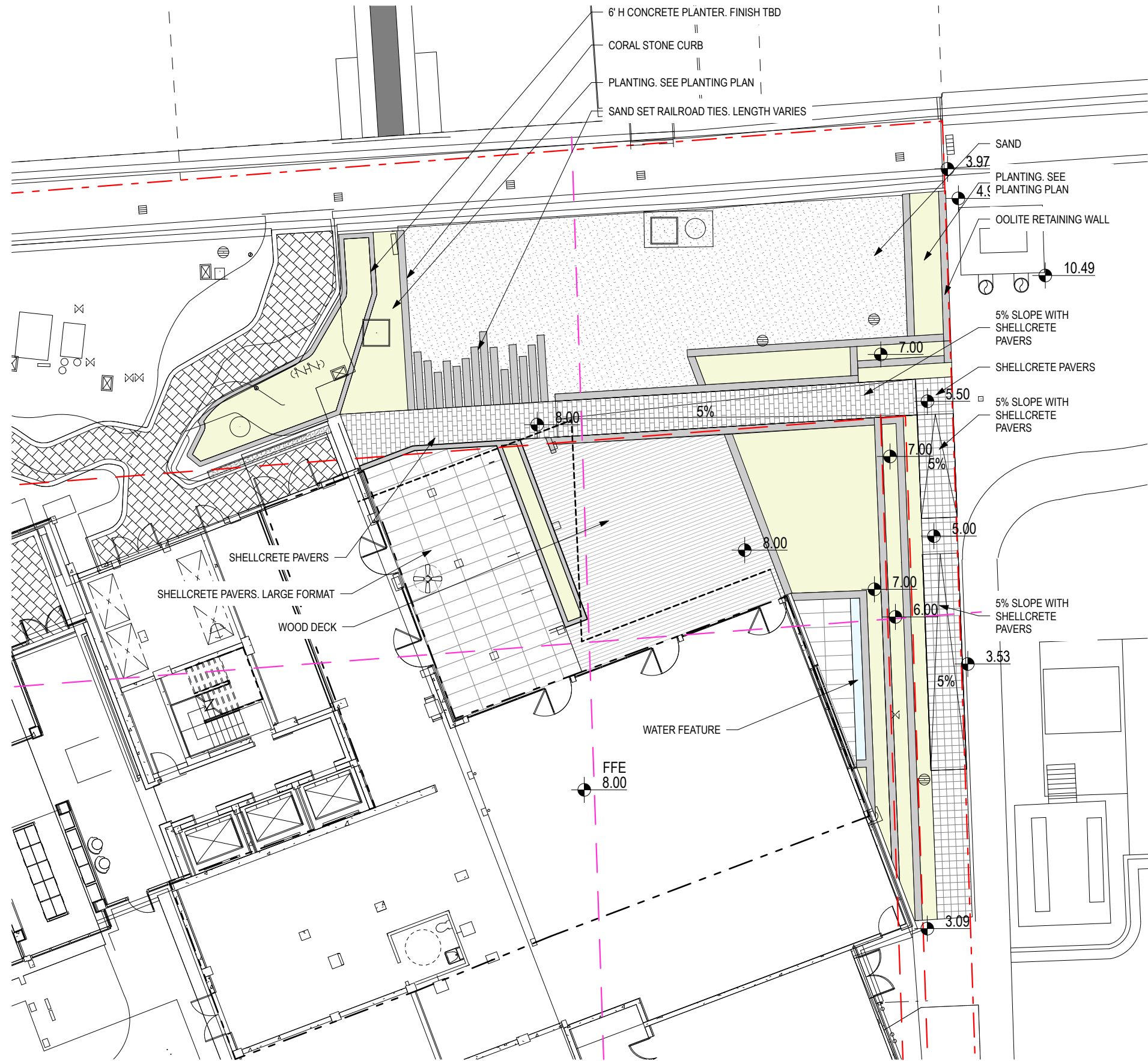


Sabal palmetto



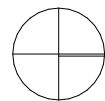
Cocos nucifera





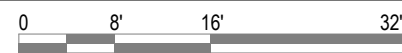
Hardscape Schedule		
Symbol	Item	Area
	APPROVED SAND	1,586
	CONCRETE RAISED PLANTER	62
	CORAL STONE PAVER	109
	OOLITE RETAINING WALL	441
	OOLITE SIGN	8
	PLANTING	1,169
	RAILROAD TIES	101
	SHELLCRETE PAVER	774
	SHELLCRETE PAVER LARGE FORMAT	908
	WATER FEATURE	30
	WOOD DECK	756

NOTE:
 - THE PROPOSED IMPROVEMENTS COMPLY WITH THE 70% OPEN SPACE REQUIRED.
 - PLANS WITH DETAILS WILL BE SUBMITTED AT THE TIME OF THE BUILDING PERMIT.



HARDSCAPE PLAN

SCALE: 1/16" = 1'-0"



L-03

910 WEST AVENUE | SGT

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HARDSCAPE PLAN

1/21/21

URBAN ROBOT © 2020





VIEW OF RESTAURANT LOOKING WEST FROM MARINA

L-05

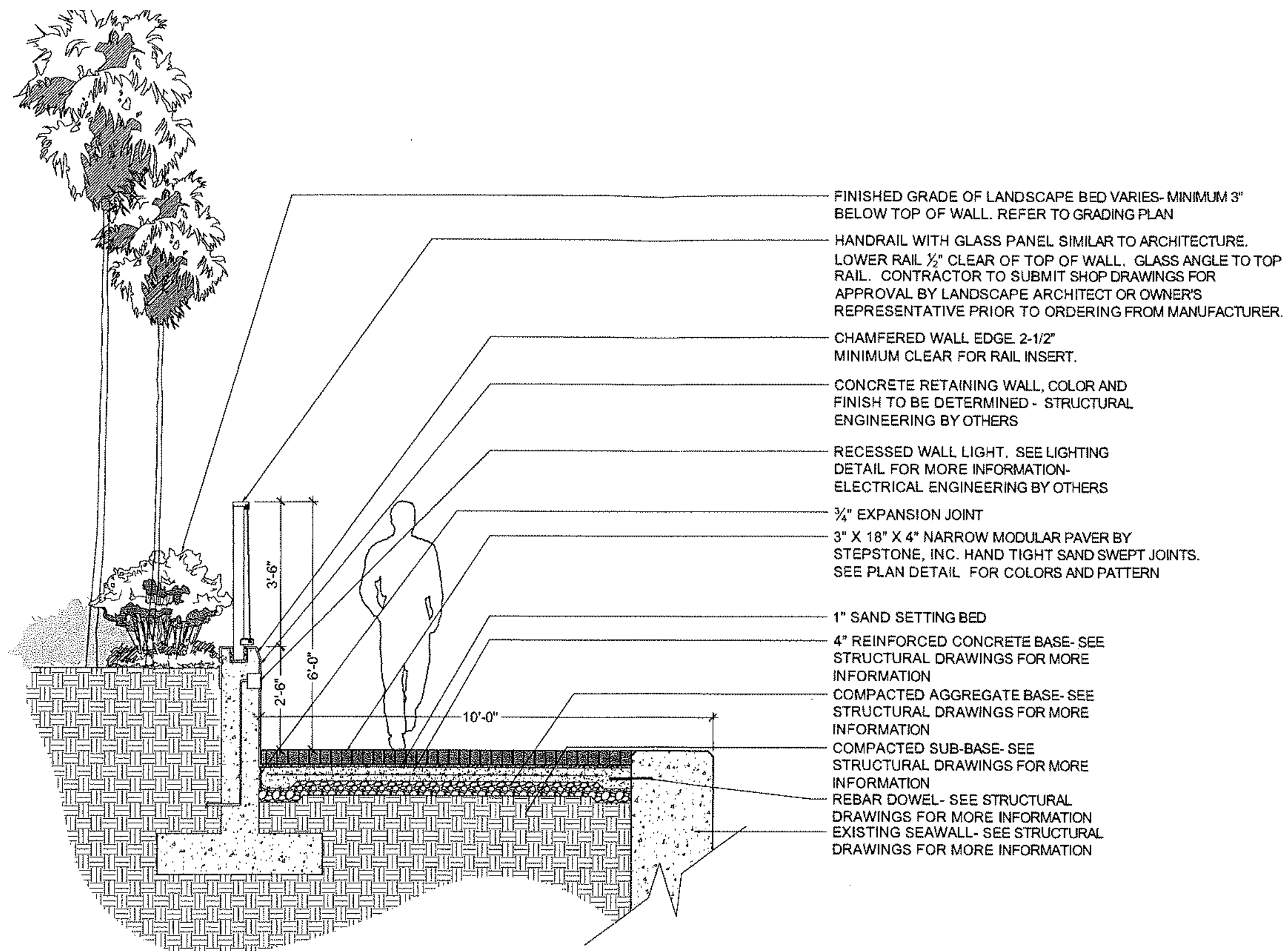
910 WEST AVENUE | SGT
DRB

RENDERINGS | 01/25/21

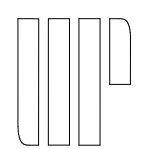
URBAN ROBOT © 2021

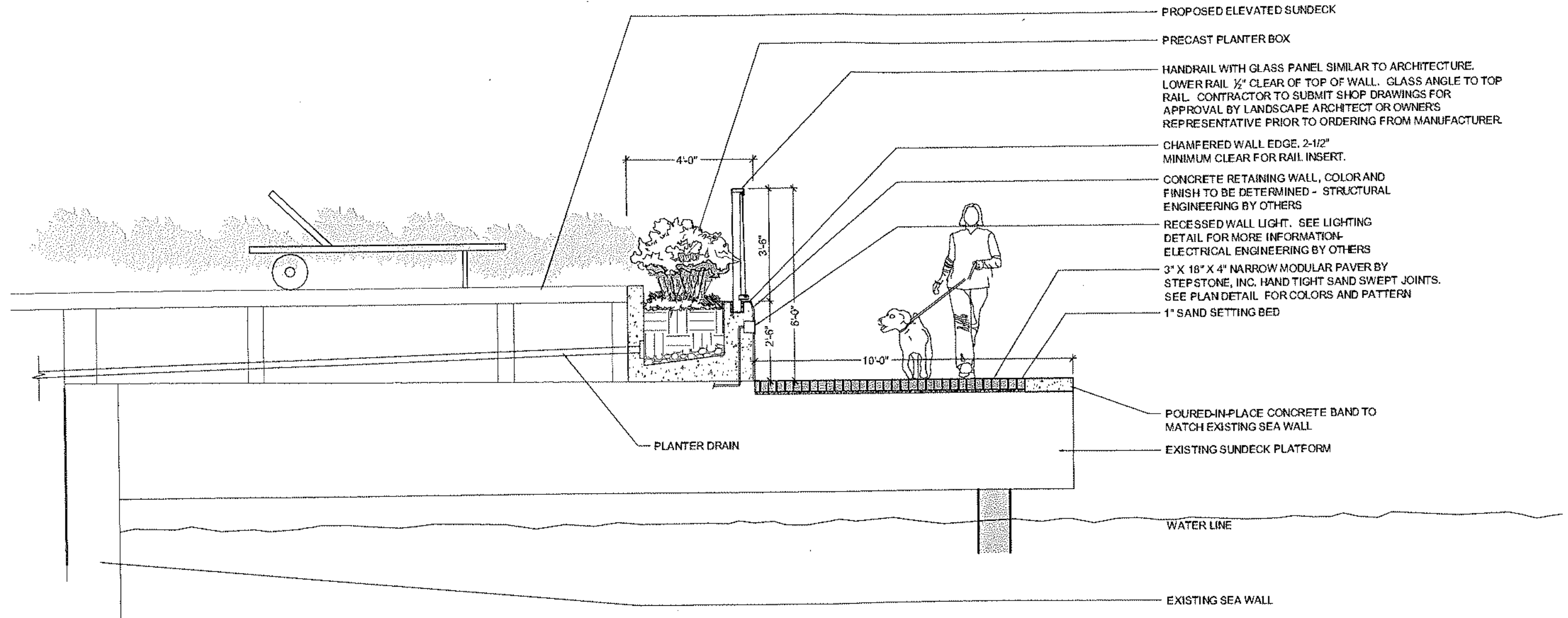


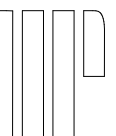
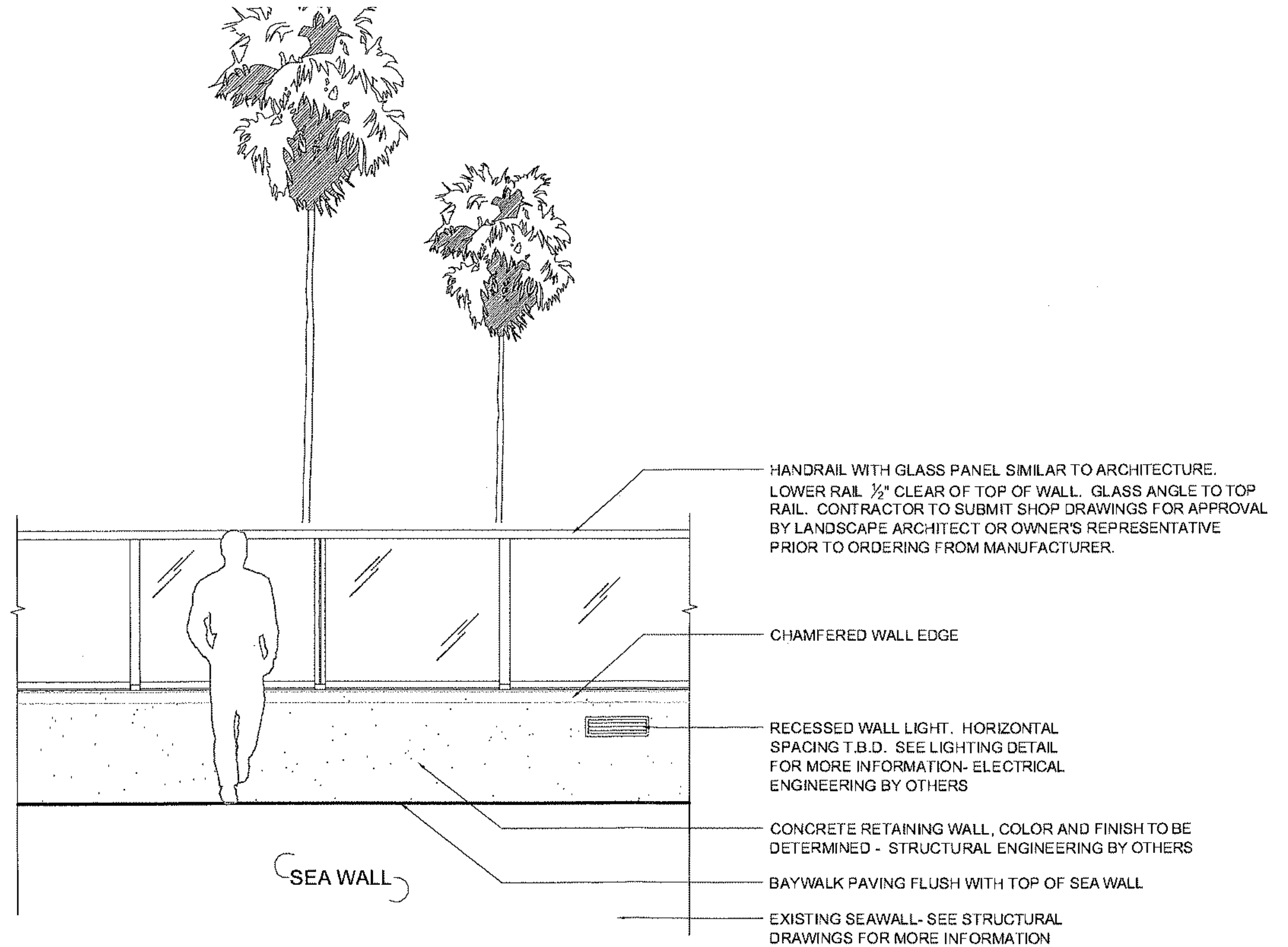


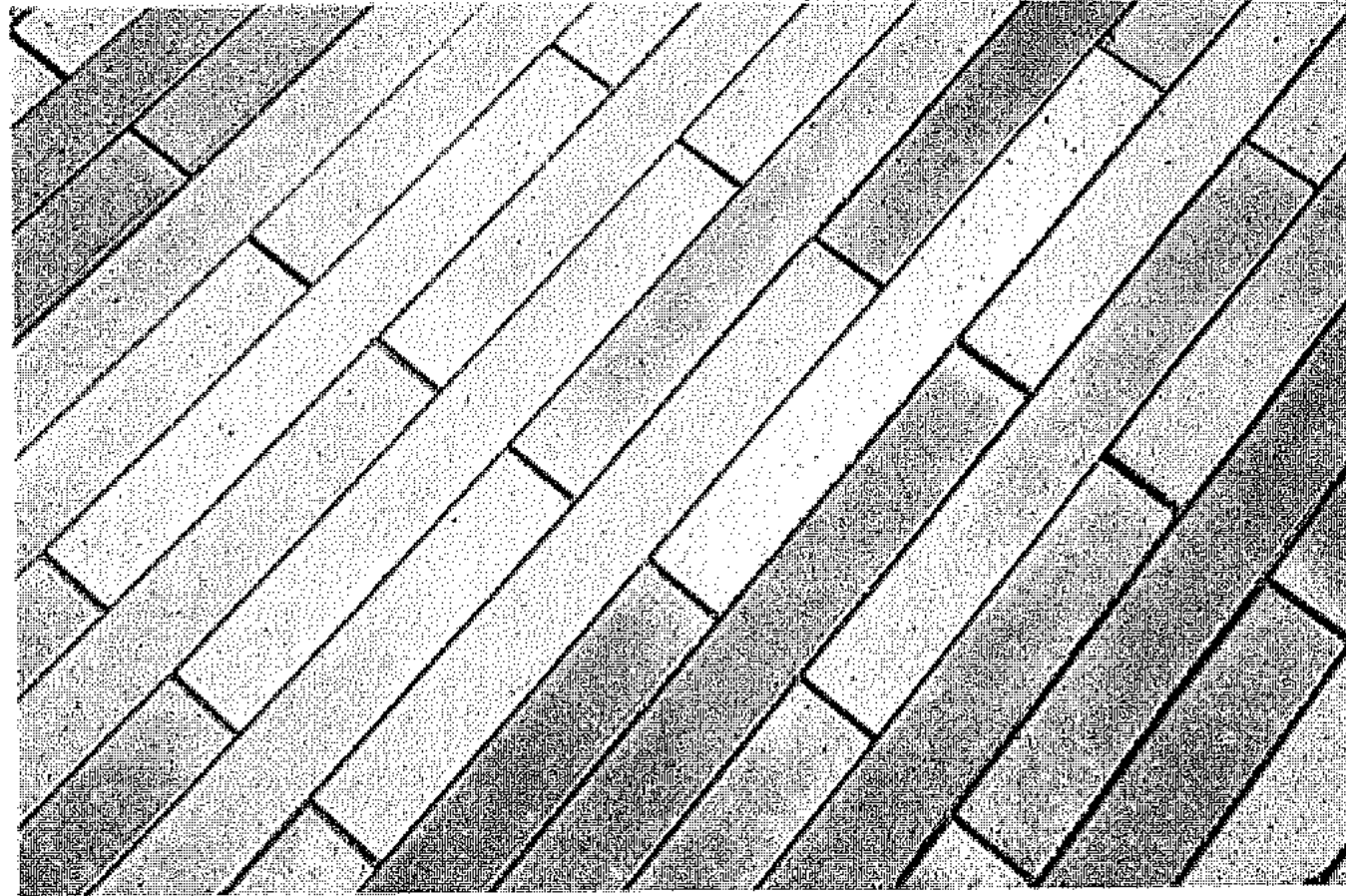


- FINISHED GRADE OF LANDSCAPE BED VARIES- MINIMUM 3" BELOW TOP OF WALL. REFER TO GRADING PLAN
- HANDRAIL WITH GLASS PANEL SIMILAR TO ARCHITECTURE. LOWER RAIL 1/2" CLEAR OF TOP OF WALL. GLASS ANGLE TO TOP RAIL. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO ORDERING FROM MANUFACTURER.
- CHAMFERED WALL EDGE 2-1/2" MINIMUM CLEAR FOR RAIL INSERT.
- CONCRETE RETAINING WALL, COLOR AND FINISH TO BE DETERMINED - STRUCTURAL ENGINEERING BY OTHERS
- RECESSED WALL LIGHT. SEE LIGHTING DETAIL FOR MORE INFORMATION- ELECTRICAL ENGINEERING BY OTHERS
- 3/4" EXPANSION JOINT
- 3" X 18" X 4" NARROW MODULAR PAVER BY STEPSTONE, INC. HAND TIGHT SAND SWEEP JOINTS. SEE PLAN DETAIL FOR COLORS AND PATTERN
- 1" SAND SETTING BED
- 4" REINFORCED CONCRETE BASE- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- COMPACTED AGGREGATE BASE- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- COMPACTED SUB-BASE- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- REBAR DOWEL- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION
- EXISTING SEAWALL- SEE STRUCTURAL DRAWINGS FOR MORE INFORMATION

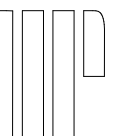




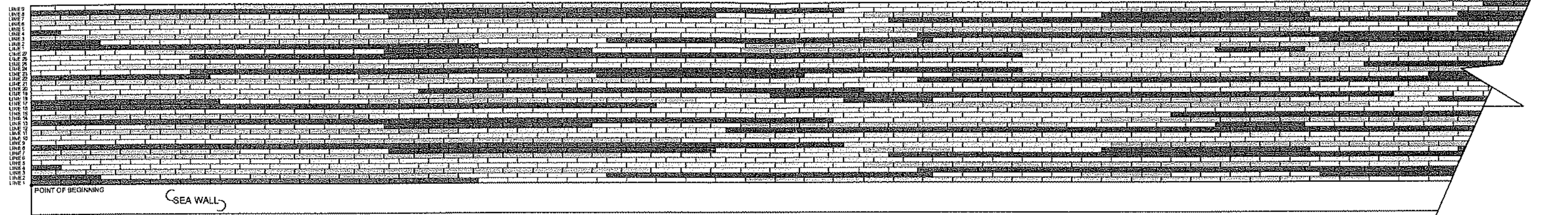




MANUFACTURER: STEPSTONE, INC.
SERIES: NARROW MODULAR PAVER
SIZE: 3" X 18" X 4"
NOTE: SEE PLAN DETAIL FOR
COLORS AND PATTERN

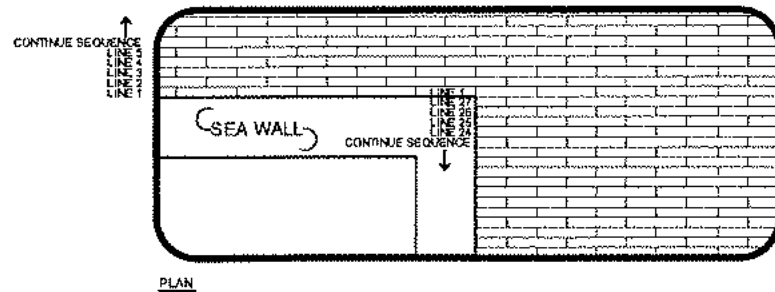


LINE 28 AND BEYOND: REPEAT PATTERN BEGINNING WITH LINE 1



NOTES:

- 1) BRICKS LAID IN RUNNING BOND PATTERN ALIGNED PARALLEL TO THE SEA WALL STARTING AT THE POINT OF BEGINNING AS SHOWN ABOVE.
- 2) FINAL ALIGNMENT OF RETAINING WALL MAY REQUIRE ADJUSTMENT TO AVOID CUT BRICK ROW AGAINST THE BACK RETAINING WALL. PRIOR TO CONSTRUCTION OF WALL OR HARDSCAPE CONTRACTOR TO MOCK-UP BRICK ROWS AND FIELD VERIFY DIMENSION OF BAYWALK BETWEEN SEA WALL AND RETAINING WALL FOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.



NOTES:

- 1) AT TURN IN BAYWALK, RUNNING BOND PATTERN CONTINUES IN STRAIGHT LINES AS SHOWN.
- 2) COLOR PATTERN AT TURN BEGINS IN REVERSE ORDER STARTING FROM THE BEGINNING OF LINE 27, AS SHOWN IN THE ENLARGEMENT ABOVE.

