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January 25, 2021

VIA ELECTRONIC SUBMITTAL

Michael Belush, Chief of Planning & Zoning
Planning Department
City of Miami Beach
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139

Re: REVISED Letter of Intent for Modifications at the Property Located at 910 West Avenue in Miami Beach, Florida

Dear Michael:

This law firm represents Southgate Towers, LLLP (the "Applicant"), the owner of the captioned property (the "Property"). Please consider this letter the Applicant's revised letter of intent for minor modifications to the Property pertaining to signage, landscaping, including a green wall, and shade structures. Notably, the Applicant has REMOVED all requests for modifications to the conditions of Design Review Board (DRB) Order #22945 approved in 2013, meaning the Applicant does NOT seek to amend the operational conditions for the existing restaurants and will NOT provide an outdoor bar counter on the Property.

Property Background. The Property is a waterfront lot on the west side of West Avenue. The Property is identified by Miami-Dade County Folio No. 02-4203-001-0080 and is located within the RM-3 Multi-Family Residential zoning district. The two (2) 14-story multifamily residential towers were built in 1958 and were most recently modified pursuant to DRB Order #22945. See Exhibit A, DRB Order #22945. The building includes two restaurant spaces. One of the restaurant spaces is located at the northeast corner of the Property fronting the intersection of West Avenue and 10th Street (the "West Avenue Restaurant"). The other restaurant space is larger and is discreetly located on the westernmost portion of the Property fronting at the dead-end of 10th Street and facing the waterfront (the "Waterfront Restaurant").

Requests. The Applicant seeks design review approval for modifications to the signage for the building and restaurants, landscaping along the north side of the Property, including a green wall at the ground

level of the existing north wall of the building, and shade structures for seating areas at northwest corner of the Property. This represents the Applicant's significantly reduced requests as the Applicant has removed all requests to modify the conditions of the prior DRB Order. Of note, the Applicant does not seek an outdoor bar counter or nana wall, and is not changing the seating count or hours of operation. See Exhibit B, Changes Summary for all requests eliminated from this Application.

Parking. The proposed minor improvements to the north and northwest area of the Property, the updated signage plan, and the general aesthetic improvements to the Property will have no impact on the entitlements or parking requirements for the Property. The Property provides for 110 on-site parking spaces. Additionally, through a Covenant in Lieu of Unity of Title executed and recorded in Miami-Dade County Official Record Book 29750, Pages 3688-3698 in 2015, 264 additional parking spaces are available for the Property's use in the parking garage located across the street at 959 West Avenue. See Exhibit C, 2015 Covenant in Lieu. Among the 364 parking spaces provided for the Property, 215 spaces are specifically assigned for the restaurant use, and there is no increase in seat count. The total contemplated seat count provided in the plans is 195 seats. As a result, there is no increase to the parking requirements in association with this application, as this parking is already accounted for. See Exhibit D, 2013 DRB Plans.

Proposed Improvements. The scope of improvements for this project consist of updated signage for the property, shade structures for outdoor areas and landscape improvements, including a green wall, along north side of the Property to beautify the area and enhance the pedestrian experience.

The updated signage plan consists of replacing the existing legally nonconforming pole sign for Southgate Apartments at the entrance of the Property with a new attractive detached sign compliant with Section 138-19 of the Code. The signage plan also provides for a replacement of the existing retail signage facing West Avenue at the corner of West Avenue and 10th Street with an updated design that will be accentuated with landscaping and match the entry sign for the Property. This detached corner sign will identify the two (2) restaurants present on the Property and will be compliant with Section 138-19.

Conclusion. The Applicant has substantially reduced the requests by removing all changes to the prior approval, which leaves only minor modifications for signage and landscaping. We believe that the approval of the revised Application will improve signage for the Property and enhance the aesthetics

of the north side of the Property along 10th Street. If you have any questions or comments, please give me a call at 305-374-5300

Sincerely,

Matthew Amster

Attachments

cc: Michael W. Larkin, Esq.
Robert Behar, Esq.

DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: August 06, 2013

FILE NO: 22945

PROPERTY: 910 West Avenue

LEGAL: Lots 11-18, Block 1, Fleetwood Subdivision, According to the Plat Thereof, as recorded in Plat Book 28 at Page 34, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for modifications to the exterior of two (2) existing 14-story apartment buildings, including design modifications to the existing facades, and new roof-top terraces, and a new hardscape and landscape plan for the site, including an outdoor dining area, and 10th Street street-end improvements in the Public right-of-way, and modifications to previously approved conditions for the construction of a public baywalk.

ORDER

The applicant, Southgate Towers, LLLP, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with Design Review Criteria in Section 118-251 of the Miami Beach Code.

B. The project would remain consistent with the criteria and requirements of section 118-251 if the following conditions are met:

1. The following conditions are pursuant to the materials, details, and design of the Baywalk (all prior conditions pursuant to Design Review Board Order No. 22945, dated March 5, 2103, remain in full force and effect):

   a. The areas identified as (1) Waste holding area shall be removed and relocated away from the seawall and the Baywalk, as long as it is still accessible to 10th Street, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or directions from the Board.

   b. The final exterior surface color scheme and material samples for the Baywalk pavers shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

   c. The final design of "operable gate(s)" (if such gates are determined to be necessary by Southgate Towers during hours when the Baywalk is not open for public use) shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

   d. The final details, including material color and finish, of the off-form concrete wall will be designed and provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

   e. Only clear glass shall be permitted for the glass panel, and a glass sample shall be provided, in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

   f. The applicant shall coordinate the location of the operable gate(s) with the City's development of the proposed 10th Street street end.

   g. The final details of the exterior handrail system, including materials, dimensions and finishes and shall be finished with a clear anodized finish or powder coated, and shall be provided in a manner to be reviewed and approved by staff consistent with the Design Review Criteria and/or the directions from the Board.

   h. The final design and details of all exterior lighting along the Baywalk shall be provided, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

   i. The public baywalk shall be open to the public from sunrise to sunset, 7 days a week. The applicant may install an operable fence, gate or other operable barrier to restrict public access ot the Public Baywalk, subject to the review and approval of staff; such operable fence, gate or barrier shall include some form of automatic timing device, in order to ensure that the Public Baywalk if open from sunrise to sunset. Access by the public to the Public Baywalk shall only be restricted between sunset and sunrise, and otherwise, as determined by the Planning Director, in the event of an emergency, dangerous condition or circumstance that would render usage of the Public Baywalk a safety risk.

2. The Final Order shall be recorded in the Public Records of Miami-Dade County, <u>prior</u> to the issuance of a Building Permit.

3. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or

required by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field inspections, prior to the issuance of a CO or CC. This shall not prohibit the issuance of a Partial or Temporary CO, or a Partial or Temporary CC.

4. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

5. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

6. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-6, inclusive) hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "Southgate Towers Renovation", as prepared by ADD Inc Architecture + Design, dated July 08, 2013., modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review Approval will expire and become null and void.

In accordance with Section 118-264 of the City Code, the violation of any conditions and

safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

Dated this 26th day of September, 2013.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: _____
THOMAS R. MOONEY, AICP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

STATE OF FLORIDA)
)SS
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 26th day of September 2013 by Thomas R. Mooney, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.

NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 12-2-13

NOTARY PUBLIC STATE OF FLORIDA
TERESA MARIA
MY COMMISSION # DD 928148
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services

Approved As To Form:
Legal Department: _____ (9-26-2013)

Filed with the Clerk of the Design Review Board on 9-26-2013 (WJR)

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DESIGN REVIEW BOARD
City of Miami Beach, Florida

MEETING DATE: March 5, 2013

CERTIFICATION
THIS IS TO CERTIFY THAT THE ATTACHED DOCUMENT IS A TRUE AND ACCURATE COPY OF THE ORIGINAL ON FILE IN THE OFFICE OF THE PLANNING DEPARTMENT. CITY OF MIAMI BEACH
(Signature of Planning Director or Designee) 4-10- (Date)
Personally known to me or Produced ID:
Notary Public, State of Florida at Large
Printed Name: TERESA MARIA
My Commission Expires: (Seal) 12-2-13
This document contains 10 pages.
TERESA MARIA MY COMMISSION # DD 928148 EXPIRES: December 2, 2013 Bonded Thru Budget Notary Services
NOTARY PUBLIC STATE OF FLORIDA

FILE NO: 22945

PROPERTY: 910 West Avenue

LEGAL: Lots 11-18, Block 1, Fleetwood Subdivision, According to the Plat Thereof, as recorded in Plat Book 28 at Page 34, of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for Design Review Approval for modifications to the exterior of two (2) existing 14-story apartment buildings, including design modifications to the existing facades, and new roof-top terraces, and a new hardscape and landscape plan for the site, including an outdoor dining area, and 10th Street street-end improvements in the Public right-of-way, and modifications to previously approved conditions for the construction of a public baywalk.

ORDER

The applicant, Southgate Towers, LLLP, filed an application with the City of Miami Beach Planning Department for Design Review Approval.

The City of Miami Beach Design Review Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

A. Based on the plans and documents submitted with the application, testimony and information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is not consistent with Design Review Criteria No. 3 in Section 118-251 of the Miami Beach Code.

B. The project would be consistent with the criteria and requirements of section 118-251 if the following conditions are met:

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1. The subject application shall not include any encroachments into City Right-of-Way. This shall include, but not be limited to, terraces, decks, ramps and walkways. Any proposed encroachments will require the review and approval of the City Commission, and such encroachments must first be authorized by the City Commission, prior to any action by the Design Review Board.

2. Revised elevation, site plan and floor plan drawings shall be submitted; at a minimum, such drawings shall incorporate the following:

   a. Roof-top mechanical screening of existing mechanical equipment shall be required, including incorporation of sound attenuation measures, and shall be further explored and may be implemented in a manner to be reviewed and approved by staff.

   b. Cladding of the existing elevator towers with decorative screening and lighting features shall be further explored and may be implemented, in a manner to be reviewed and approved by staff.

   c. Manufacturers drawings and Dade County product approval numbers for all new windows, doors and glass shall be required. All windows visible from 10th Street and West Avenue shall contain horizontal and vertical muntins to closely match the original window configurations, to the greatest extent possible, subject to the review and approval of staff.

   d. Bicycle racks shall be provided, in a manner to be reviewed and approved by staff.

   e. Prior to the issuance of a Certificate of Occupancy, the project Architect shall verify, in writing, that the subject project has been constructed in accordance with the plans approved by the Planning Department for Building Permit.

3. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and subject to the review and approval of staff. At a minimum, such plan shall incorporate the following:

   a. Street trees shall be required on the applicant's property along the north side of the north building, where feasible, in a manner to be reviewed and approved by staff.

   b. A site wall, shall be provided, so long as it can be constructed incompliance with all applicable zoning requirements, without requiring a variance, along the north side of the proposed dining terrace in order to further mitigate sound transmission, in a manner to be reviewed and approved by staff.

   c. All proposed Sylvester palms shall be replaced with Date palms, in a manner to be reviewed and approved by staff.

   d. No landscape material or planters, other than sod, shall be permitted within ten (10') feet of the rear property line, along the entire western perimeter of the site, except as approved by the Design Review Board or staff in conjunction with the design of a baywalk.

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e. Irrigation, uplighting and the City's standard bound aggregate system with fertilization trench may be required for all street trees located within the sidewalk, subject to the review and approval of staff.

f. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Right-of-way areas shall also be incorporated as part of the irrigation system.

g. The utilization of root barriers and/or structural soil, as applicable, shall be clearly delineated on the revised landscape plan.

h. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all backflow preventors and all other related devices and fixtures; such fixtures and devices shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of backflow preventors, siamese pipes or other related devices and fixtures, if any, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.

i. The applicant shall verify, prior to the issuance of a Building Permit, the exact location of all applicable FPL transformers or vault rooms; such transformers and vault rooms, and all other related devices and fixtures, shall not be permitted within any required yard or any area fronting a street or sidewalk. The location of any exterior transformers, and how they are screened with landscape material from the right-of-way, shall be clearly indicated on the site and landscape plans and shall be subject to the review and approval of staff.

j. Prior to the issuance of a Certificate of Occupancy, the Landscape Architect or the project architect shall verify, in writing, that the project is consistent with the site and landscape plans approved by the Planning Department for Building Permit.

4. The applicant has voluntarily offered, proffered and agreed to provide an easement for a public bay walk ("Public Baywalk") along the upland portion of the rear of the subject site in accord with the following conditions. This proffer and its acceptance are based on a particularized evaluation and assessment of the subject project, the rational nexus between such project and impacts to the local transportation network, and the rational nexus and rough proportionality between the project and impacts to the transportation network and the bay walk proffered.

   a. At such time that 800 West Avenue, South Bay Club, grants an easement, release of riparian rights or other document to permit a Public Baywalk, the applicant shall enter into and record a public easement, approved by the City Attorney, which runs with the land, for the construction and maintenance of an upland Public Baywalk, in perpetuity, and confirming public access to such Public Baywalk, in accordance with the conditions herein ("Public Baywalk Easement"). The easement shall be recorded in the public records, at the expense of the applicant.

   b. The Public Baywalk Easement, located on the upland portion of the applicant's property, shall commence at the northwest corner of the property, via a direct pedestrian connection to the public street-end at the western terminus of 10th

Street. The Public Baywalk Easement shall continue south along the rear of the upland portion of the applicant's property to the south west corner of the subject property, and shall be a minimum of ten (10') feet clear in width, contiguous with the rear (west) property line ("the Public Baywalk Easement area").

c. The future Public Baywalk shall be designed, permitted and built by the applicant. All costs associated with the design, permitting and construction of the Public Baywalk, as described herein, shall be borne by the applicant, as proffered by the applicant.

d. The Public Baywalk shall connect directly to any future Public Baywalk to the south of the property, as well as connect to a public baywalk segment at 10th Street.

e. The material, details and design of the Public Baywalk shall be provided, in a manner to be reviewed and approved by the Design Review Board.

f. The Public Baywalk shall become publicly accessible (open to the general public) concurrent with the completion of, and public accessibility to the Public Baywalk for 800 West Avenue (South Bay Club), and at such time when the City has completed construction of a sidewalk on the south side of 10th Street from West Avenue to the Bay.

g. The Public Baywalk may be secured and segregated from the upland portions of the site, in a manner to be reviewed and approved by the City's Planning Department design review staff and the applicant. The City has agreed to partially fund the construction of a fence separating the Public Baywalk from the applicant's property located eastward of the Public Baywalk Easement area in an amount not to exceed $195,000 (based upon $300 per linear foot for 650 linear feet).

h. The applicant shall be responsible for the maintenance, repair and, if necessary, the replacement, if destroyed in whole or part, of a future Public Baywalk on its property, as provided herein, including the seawall, and shall establish reserves and insurance to accomplish this obligation.

i. At such time that the Public Baywalk becomes open to the Public, all Public Baywalk access points shall be posted with standard "Public Baywalk" signs. The overall design, number, dimensions, placement and color of such signs shall be subject to the review and approval of Planning Department design review staff.

j. At such time that the Public Baywalk becomes open to the Public, the installation of fences, gates or other barriers, which permanently block public access to the Public Baywalk shall be prohibited.

k. If the applicant sells, leases or otherwise conveys the property, these conditions shall run with the land, and the applicant's successors and/or assigns shall be obligated to comply with these conditions.

5. All building signage shall be consistent in type, composed of flush mounted, non-plastic individual letters and shall require a separate permit. No illuminated signage shall be permitted facing north. → limit hours

6. The final exterior surface color scheme, including color samples, shall be subject to the review and approval of staff and shall require a separate permit.

7. A traffic mitigation plan, which addresses all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, if required, shall be submitted prior to the issuance of a Building Permit and the final building plans shall meet all other requirements of the Land Development Regulations of the City Code.

8. Manufacturers drawings and Dade County product approval numbers for all new windows, doors and glass shall be required, prior to the issuance of a building permit.

9. All roof-top fixtures, air-conditioning units and mechanical devices shall be clearly noted on a revised roof plan and shall be screened from view, in a manner to be approved by staff.

10. All new and altered elements, spaces and areas shall meet the requirements of the Florida Accessibility Code (FAC).

11. The applicant may be required to submit a separate analysis for water and sewer requirements, at the discretion of the Public Works Director, or designee. Based on a preliminary review of the proposed project, the following may be required by the Public Works Department:

    a. A traffic and neighborhood impact study shall be conducted as a means to measure a proposed development's impact on transportation and neighborhoods. The study shall address all roadway Level of Service (LOS) deficiencies relative to the concurrency requirements of the City Code, and if required, shall be submitted prior to the issuance of a Building Permit. The final building plans shall meet all other requirements of the Land Development Regulations of the City Code. The developer shall refer to the most recent City of Miami Beach's Traffic and Neighborhood Impact Methodology as issued by the Public Works Department.

    b. Remove/replace sidewalks, curbs and gutters on all street frontages, if applicable. Unless otherwise specified, the standard color for city sidewalks is red, and the standard curb and gutter color is gray.

    c. Mill/resurface asphalt in rear alley along property, if applicable.

    d. Provide underground utility service connections and on-site transformer location, if necessary.

    e. Provide back-flow prevention devices on all water services.

    f. Provide on-site, self-contained storm water drainage for the proposed development.

    g. Meet water/sewer concurrency requirements including a hydraulic water model analysis and gravity sewer system capacity analysis as determined by the Department and the required upgrades to water and sewer mains servicing this project.

h. Payment of City utility impact fees for water meters/services.

i. Provide flood barrier ramps to underground parking or minimum slab elevation to be at highest adjacent crown road elevation plus 8".

j. Right-of-way permit must be obtained from Public Works.

k. All right-of-way encroachments must be removed.

l. All planting/landscaping in the public right-of-way must be approved by the Public Works and Parks Departments.

12. The Applicant agrees to the following operational conditions for all permitted uses and shall bind itself, lessees, permittees, concessionaires, renters, guests, users, and successors and assigns and all successors in interest in whole or in part to comply with the following operational and noise attenuation requirements and/or limitations. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced and the applicant agrees to include the rules and regulations set forth in these conditions in any contract or assignment.

a. NOISE CONDITIONS

i. No commercial outdoor bar counters shall be permitted on the premises.

ii. The Design Review Board (DRB) or the Planning Director shall retain the right to call the owners and/or operators back before the DRB, at the expense of the owners and/ or operators, to impose and/or modify the hours of operation, or amend or impose other conditions, should there be a valid violation (as determined by Code Compliance) about loud, excessive, unnecessary, or unusual noise or other conditions of this approval. An adverse adjudication of a violation against the owner or operator is not necessary for the board to have jurisdiction over the matter under this condition. This condition vests jurisdiction independent of any other condition hereof.

iii. A violation of Chapter 46, Article IV, "Noise," of the Code of the City of Miami Beach, Florida (a/k/a "noise ordinance"), as amended, shall be deemed a violation of this approval and subject the approval to modification in accordance with the procedures for modification of prior approvals as provided for in the Code, and subject the applicant to the review provided for in the first sentence of this subparagraph.

iv. Except as may be required for fire or building code/Life Safety Code purposes, no loudspeakers shall be affixed to or otherwise located on the exterior of the premises at the northwest corner of the site in the area of the proposed outdoor dining terrace, or anywhere along 10th street.

v. No commercial outdoor live music associated with the proposed restaurant shall be permitted at any time, inclusive of percussion, musical instrument, or vocal.

vi. Special events pursuant to the Miami Beach City Code, associated with the proposed restaurant, may not be held on the premises and the applicant agrees that it will not seek or authorize applications for such permits.

b. OPERATIONAL CONDITIONS

i. Within sixty (60) days of the issuance of the TCO or CO for the project, or the date of commencement of operation of the restaurant, whichever is later, the restaurant operator shall make a progress report to the Design Review Board. The Board reserves the right to modify the conditions of this approval at the time of a progress report in a non-substantive manner, to impose additional conditions to address possible problems and to determine the timing and need for future progress reports.

ii. No valet shall be permitted at any time along 10th street. Any valet operation shall take place at the existing primary vehicular drop-off and pick-up area located on the east side of the building, or from within the existing parking lot located on the south side of the northernmost building.

iii. The applicant shall maintain a landscape buffer on the north side of the Outdoor Dining Area parallel to 10th Street, consistent with the landscape plans approved herein.

iv. The applicant shall maintain a combination of roof overhang, shade structure, awning, canopy, and/or umbrellas over the Outdoor Dining Area.

v. Any proposed outdoor seating associated with the restaurant shall be limited to a maximum of 75 seats.

vi. With the exception of any required emergency egress, no pedestrian access to the proposed restaurant shall be permitted from the north side of the site along 10th street. All pedestrian access to any restaurant located on the north side of the site shall be provided from within the existing internal building circulation, or from within the subject property from the west (bayfront) elevation.

vii. All trash containers shall have rubber tops AND all trash containers shall utilize inflated tires or the path for the trash containers shall consist of a surface finish that reduces noise, in a manner to be reviewed and approved by staff.

viii. Adequate trash room space, air conditioned and noise baffled, shall be provided, in a manner to be approved by the Planning and Public Works Departments. Sufficient interior space must be provided so that doors can remain closed while trash and trash bags are being deposited in dumpsters. Doors shall remain closed and secured when not in active use.

ix. Trash room(s)/garbage room(s) shall be large enough, or sufficient in number to accommodate enough dumpsters so that no more than one pick up of garbage per day will be necessary.

x. Garbage dumpster covers shall be closed at all times except when in active use.

xi. Garbage pickups and service deliveries shall not take place between 6PM and 8AM Monday through Friday, and shall not take place between 6PM and 10 AM Saturday and Sunday.

xii. All kitchens and other venting shall be internally chased and venting systems shall be employed as necessary to minimize or dissipate smoke, fumes and odors.

xiii. Equipment and supplies shall not be stored in areas visible from streets, alleys or nearby buildings.

xiv. Interior loudspeakers shall not be located near doors leading to outside dining areas and interior music levels shall not interfere with the normal conversation of diners.

xv. The restaurant's primary function shall be food service, and at no time shall it become a dance hall, disco or nightclub. Entertainment shall be limited to background music and the restaurant shall operate under a 2:00 AM liquor license.

xvi. The hours of operation for any food and beverage service located at the northwest corner of the site on the exterior shall be limited to:

8:00 AM to 11:00 PM, Sunday through Thursday
8:00 AM to Midnight, Friday and Saturday

Staff cleanup shall cease within one (1) hour after closing times, including closing of the outdoor restaurant dining area.

xvii. The restaurant operators shall take all steps necessary to protect nearby residents from noise, odors and other disturbances incidental to restaurant operations such as parking facilities, delivery vehicles and garbage trucks. All garbage, refuse and trash dumpsters shall be placed within an air-conditioned, fully enclosed garbage room, which satisfies the requirements of the applicable Building Code.

13. The project shall comply with any landscaping or other sidewalk/street improvement standards as may be prescribed by a relevant Urban Design Master Plan approved prior to the completion of the project and the issuance of a Certificate of Occupancy.

14. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.

15. At the time of completion of the project, only a **Final** Certificate of Occupancy (CO) or **Final** Certificate of Completion (CC) may be applied for; the staging and scheduling of the construction on site shall take this into account. All work on site must be completed in accordance with the plans approved herein, as well as any modifications approved or required by the Building, Fire, Planning, CIP and Public Works Departments, inclusive of all conditions imposed herein, and by other Development Review Boards, and any modifications required pursuant to field

inspections, prior to the issuance of a CO or CC. This shall not prohibit the issuance of a Partial or Temporary CO, or a Partial or Temporary CC.

16. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the stricken provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.

17. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.

18. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analysis, which are adopted herein, including the staff recommendations which were adopted by the Board, that the Application for Design Review approval is GRANTED for the above-referenced project subject to those certain conditions specified in Paragraph B of the Findings of Fact (Condition Nos. 1-18, inclusive) hereof, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Design Review Board, as determined by staff, entitled "Southgate Towers Renovation", as prepared by ADD Inc Architecture + Design, dated February 11, 2013., modified in accordance with the conditions set forth in this Order and staff review and approval.

No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance as set forth in this Order have been met. The issuance of Design Review Approval does not relieve the applicant from obtaining all other required Municipal, County and/or State reviews and permits, including final zoning approval. If adequate handicapped access is not provided on the Board-approved plans, this approval does not mean that such handicapped access is not required.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

If the Full Building Permit for the project is not issued within eighteen (18) months of the meeting date at which the original Design Review Approval was granted, the Design Review Approval will expire and become null and void, unless the applicant makes application to the Board for an extension of time, in accordance with the requirements and procedures of Chapter 118 of the City Code; the granting of any such extension of time shall be at the discretion of the Board. At the hearing on any such application, the Board may deny or approve the request and modify the above conditions or impose additional conditions. If the Full Building Permit should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Design Review Approval will expire and become null and void.

In accordance with Section 118-264 of the City Code, the violation of any conditions and safeguards that are a part of this Order shall be deemed a violation of the land development regulations of the City Code.

TKC

Dated this 10th day of APRIL, 2013.

DESIGN REVIEW BOARD
THE CITY OF MIAMI BEACH, FLORIDA

BY: _____
THOMAS R. MOONEY, AICP
DESIGN AND PRESERVATION MANAGER
FOR THE CHAIR

STATE OF FLORIDA)
)SS
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 10th day of APRIL 2013 by Thomas R. Mooney, Design and Preservation Manager, Planning Department, City of Miami Beach, Florida, a Florida Municipal Corporation, on behalf of the Corporation. He is personally known to me.

TERESA MARIA
MY COMMISSION # DD 928148
EXPIRES: December 2, 2013
Bonded Thru Budget Notary Services

NOTARY PUBLIC
Miami-Dade County, Florida
My commission expires: 12-2-13

Approved As To Form:
Legal Department: _____ (4-10-2013)

Filed with the Clerk of the Design Review Board on 4-10-2013 (WJR)

F:\PLAN\$DRB\DRB13\MarDRB13\22945.Mar13.FO.docx

Southgate Towers - 910 West Avenue
Summary of Changes to Previous Submittal DRB20-0528

Key
- **Original Conditions** of DRB Order #22945 to be **maintained**
- ~~Proposed Modified Conditions or Requests~~ to be **removed**
- Proposed Requests to be kept

REMOVED MODIFICATIONS AND REQUESTS:

- Original Condition: All building signage shall be consistent in type, composed of flush mounted, non-plastic individual letters and shall require a separate permit. No illuminated signage shall be permitted facing north, DRB Order #22945 Section (B)5
  ~~Proposed Condition: All building signage shall be consistent in type, composed of flush mounted, non-plastic individual letters and shall require a separate permit. Any No illuminated signage on the 10th Street elevation shall not be permitted facing north to remain illuminated after 11:00 PM~~.

- Original Condition: Except as may be required for fire or building code/Life Safety Code purposes, no loudspeakers shall be affixed to or otherwise located on the exterior of the premises at the northwest corner of the site in the area of the propose outdoor dining terrace, or anywhere along 10th Street, DRB Order #22945 Section B(12)(a)(iv)
  ~~Proposed Condition: In both the indoor and outdoor seating area, the Applicant shall be able to install speakers, provided that the speakers shall play only pre-recorded background music at a volume that does not interfere with normal conversation. Entertainment shall be prohibited. No pre-recorded background music shall be permitted to be played in the exterior seating area after 11:00 PM Sunday through Thursday and after midnight Friday and Saturday. The Applicant shall be required to install sound dampening materials to the roofing structure over the outdoor bar counter and install a sound dampening water feature that will run during all hours of operation. Additionally, the Applicant will construct a 4 feet tall barrier with organic planting materials on top to screen the outdoor bar from the north and the west.~~

- Original Condition: Special Events pursuant to the Miami Beach City Code, associated with the proposed restaurant, may not be held on the premises and the applicant agrees that it will not seek or authorize applications for such permits, DRB Order #22945 Section B(12)(a)(vi)

Southgate Towers - 910 West Avenue
Summary of Changes to Previous Submittal DRB20-0528

~~Proposed Condition: Special events shall on the Property shall be limited to six per year and only be located in the ground level waterfront restaurant area.~~

- Original Condition: Any proposed outdoor seating associated with the restaurant shall be limited to a maximum of 75 seats, DRB Order #22945 Section B(12)(b)(v)
  ~~Proposed Condition: Any proposed outdoor seating associated with the restaurant shall be limited to a maximum of 75~~95 ~~seats~~

- Original Condition: With the exception of any required emergency egress, no pedestrian access to the proposed restaurant shall be permitted from the north side of the site along 10th street. All pedestrian access to any restaurant located on the north side of the site shall be provided from within the existing internal building circulation, or from within the subject property from the west (bayfront) elevation., DRB Order #22945 Section B(12)(b)(vi)
  ~~Proposed Condition: Pedestrian access to the proposed restaurant located on the north side of the site shall be limited to one entry point as provided in the approved plans. This 10th Street access point will not serve as a primary access point and will not be advertised. This access point is intended to serve pedestrian traffic only. The Applicant shall be required to escort guests to the host stands located at the primary entrance. The Applicant shall utilize geofence to direct ride-share pick-up/drop-off to the main entrance and preclude pick-up/drop-off on 10th Street.~~

- Original Condition: Interior loudspeakers shall not be located near doors leading to outside dining areas and interior music levels shall not interfere with the normal conversation of diners, DRB Order #22945 Section B(12)(b)(xiv)
  ~~Proposed Condition: Interior speakers may be located anywhere~~

- Original Condition: No commercial outdoor bar counters shall be permitted on the premises, DRB Order #22945 Section B(12)(a)(i)
  ~~Proposed Condition: An outdoor bar counter is permitted~~
  ~~Proposed Variance Request: Outdoor bar counter will close no later than 11:00 pm~~

- ~~Proposed Request - NanaWall feature~~
  * note: there will be no NanaWall

- ~~Proposed Variance Request: Set-back variance for the Trellis/pergola~~
  * note: there will be no new trellis/pergola

Southgate Towers - 910 West Avenue
Summary of Changes to Previous Submittal DRB20-0528

REMAINING REQUESTS:

- Proposed Request: Green wall on the building facing 10th Street

- Proposed Request: New landscaping along north side of Property and shade structures for outdoor seating

- Proposed Request: Removal of the Southgate Towers sign with approval of the new signage at the entry fountain

- Proposed Request: Signage for restaurants located at northeast corner of property by intersection of 10th Street and West Avenue

CFN 2015R0548020
OR BK 29750 Pgs 3688-3698 (11Pgs)
RECORDED 08/25/2015 10:42:46
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA

This instrument was prepared by:

Name: Steven J. Wernick, Esq.
Address: 1 SE 3rd Avenue, 25th Floor, Miami, FL 33131

(Space reserved for Clerk)

AMENDED AND RESTATED COVENANT IN LIEU OF UNITY OF TITLE

WHEREAS, Southgate Towers LLLP, a Florida limited liability limited partnership, as successor in interest to Southgate Apartments, a Florida general partnership ("Southgate Owner") is the fee simple owner of that certain real property located at 900-910 West Avenue, in Miami Beach, Florida (the "City"), and more particularly described on Exhibit "A" hereto (the "Southgate Property") and Gumenick Family Investments No. 2, LTD., a Florida limited partnership ("Parking Owner," together with the Southgate Owner, the "Owners") is the owner of that certain real property located at 959 West Avenue, Miami Beach, Florida, and more particularly described on Exhibit "B" hereto (the "Parking Property", together with the Southgate Property, the "Properties"); and

WHEREAS, Southgate Owner is renovating the existing building located on the Southgate Property and commonly known as "Southgate Towers" for residential, retail and restaurant uses; and

WHEREAS, the Owners previously executed that certain Covenant in Lieu of Unity of Title recorded on March 3, 2004, in O.R. Book 22090, at Page 121 through 130 of the Public Records of Miami-Dade County, Florida ("Original Covenant"), which memorialized the parking requirements for Southgate Towers and required that the Southgate Property provide for two hundred fourteen (214) additional parking spaces on the Parking Property to comply with parking requirements of the City; and

{35754450;1}

WHEREAS, there are currently one hundred ten (110) parking spaces provided on the Southgate Property and two hundred fourteen (214) additional parking spaces provided on the Parking Property for the benefit of the Southgate Property; and

WHEREAS, pursuant to Design Review Board Orders issued on August 3, 2010 (File No. 22718), and March 5, 2013 and August 6, 2013 (File No. 22945), and Building Permit Nos. B1202489 and BREV131510, Southgate Owner is renovating the Southgate Property to provide four hundred ninety-five (495) residential apartment units, two hundred fifteen (215) restaurant seats, and two thousand three hundred eighty-eight (2,388) square feet of retail space ("Southgate Improvements"); and

WHEREAS, the City has determined that the Southgate Improvements generate an additional 50 parking spaces that must be satisfied on the Southgate Property, off-site, or through payment of fee in lieu of parking under Chapter 130 of the City Code; and

WHEREAS, based on historical information which recognized the need for two hundred fourteen (214) additional parking spaces, and the City's analysis that fifty (50) additional parking spaces are required to account for the Southgate Improvements, the Owners shall provide for two hundred sixty-four (264) parking spaces off-site at the Parking Property to benefit the Southgate Property; and

WHEREAS, Parking Owner has agreed to make available to Southgate Owner, for the benefit of the Southgate Property, two hundred sixty-four (264) individual parking spaces at the Parking Property so that the Southgate Property will be in compliance with the City's Land Development Regulations ("LDRs"); and

WHEREAS, Southgate Property will meet the current parking requirements under the LDRs with one hundred ten (110) on-site parking spaces, and two hundred sixty-four (264) off-site parking spaces located at the Parking Property for the benefit of the Southgate Property; and

WHEREAS, Southgate Owner and/or Parking Owner may wish to convey the Properties and or portions thereof from time to time, or may wish to develop same in phases or stages, or may wish to offer units as condominiums and are therefore executing this instrument to assure the City that such development will be in compliance with the LDRs when so developed and at all times thereafter; and

WHEREAS, the Owners desire to amend, restate and supersede the Original Covenant in Lieu and the terms and conditions set forth therein by entering into this Amended and Restated Covenant in Lieu of Unity of Title (this "Amended and Restated Covenant").

NOW THEREFORE, in consideration of the premises, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owners hereby freely, voluntarily and without duress covenant and agree as follows:

1. The recitals set forth above are true and correct and are hereby incorporated by reference.

2. The agreement hereunder on the part of the Owners shall constitute a covenant running with the land and will be recorded, at the Owners' expense, in the public records of Miami-Dade County, Florida, and shall remain in full force and effect and be binding upon the successors and assigns of the respective parties hereto, until such time as the same is released in writing as hereinafter provided.

3. Parking Owner shall make available to Southgate Owner, for the benefit of the Southgate Property, two hundred sixty-four (264) individual parking spaces at the Parking Property so that the Southgate Property will have sufficient parking available to be in compliance with the LDRs.

4. Any party entitled to utilize said parking spaces referred to in paragraph 3 above, shall also be entitled to reasonable vehicular and pedestrian ingress and egress to and from such parking and the public street abutting the Parking Property.

5. During all times that this Amended and Restated Covenant remains in force, two hundred sixty-four (264) parking spaces contained and/or located upon the Parking Property shall be dedicated and designated and under the sole use of the Southgate Property. The spaces shall be marked and numbered and utilized for Southgate Property's exclusive use. In addition, in the event that Parking Owner or its successor undertakes to develop the Parking Property, said designated parking spaces may be relocated to the parking facilities located at (i) the Southgate Property, or (ii) provided at another location off-site with approval by the Planning Director, or his designee, and provided the required number of parking spaces is provided.

6. As a further part of this agreement, it is hereby understood and agreed that any official inspector of the City of Miami Beach, or its agents duly authorized, may have the privilege at any reasonable time of entering and investigating the use of the Parking Property to determine whether or not the requirements of the building and zoning regulations and the conditions herein agreed to are being complied with.

7. The provisions of this instrument shall become effective upon their recordation in the public records of Miami-Dade County, Florida, and shall continue in effect for a period of thirty (30) years after the date of such recordation, after which time they shall be

extended automatically for successive periods of ten (10) years each, unless released in accordance with the provisions of paragraph 8 below.

8. The provisions of this instrument may be released, amended, or modified from time to time by recorded instrument executed by the then owner or owners of both of the Properties, with written approvals by all mortgagees, provided that the same is also approved by the Planning Director of the City, or his or her successor, which approval shall be granted only under the following circumstances:

A. Due to a change of law applicable to the Southgate Property, or reduction of parking requirements for the Southgate Property, such that the full number of spaces as specified in this Covenant are no longer required for compliance with the City's LDRs; or,

B. The required parking specified herein is provided elsewhere in compliance with the City's LDRs and the provisions hereof; or

C. The parking requirement is satisfied by participation in the City's Fee in Lieu of Parking program, to the extent same is available, provided that any such fee in lieu of parking is paid to the City in accordance with the procedure, including any payment deadlines, set forth in Chapter 130 of the City Code, as may be amended from time to time.

In addition, this instrument will be terminated by the Planning Director in the event that there is a change in use of the Southgate Property and the parking required for such use can be provided on the Southgate Property.

9. Should this Covenant in Lieu of Unity of Title be so released, amended, terminated or modified in accordance with paragraph 8 hereof, the Planning Director, or his or her successor, shall forthwith execute a written instrument effectuating and acknowledging such modification, amendment or release.

10. Enforcement shall be by action against any parties or persons violating or attempting to violate any covenants. The prevailing party to any action or suit pertaining to or arising out of this Amended and Restated Covenant shall be entitled to recover, in addition to costs and disbursements, allowed by law, such sum as the Court may adjudge to be reasonable for the services of his attorney. This enforcement provision shall be in addition to any other remedies available at law, in equity or both.

11. Invalidation of any of these covenants by judgment of Court shall not affect any of the other provisions, which shall remain in full force and effect.

12. All rights, remedies and privileges granted herein shall be deemed to be cumulative and the exercise of any one or more shall neither be deemed to constitute an election of remedies, nor shall it preclude the party exercising the same from exercising such other additional rights, remedies or privileges.

13. This Amended and Restated Covenant may be executed in any number of counterparts, each of which will for all purposes be deemed to be an original.

[Signature Page(s) Attached]

Signed, witnessed, executed and acknowledged this 18 day of AUGUST, 2015.

Witnesses:

Print Name: SKIP NASH

Print Name: James Wilvat

Southgate Towers LLLP, a Florida limited liability limited partnership

Gumenick Investment No. 1, LLC,
a Virginia limited liability company,
its general partner

By:
Name: JEFFREY GUMENICK
Title: Co-Manager

[CORPORATE SEAL]

STATE OF VA)
) SS:
COUNTY OF HENRICO)

The foregoing instrument was acknowledged before me this 18 day of Aug, 2015, by Jeff Gumenick, as Co-Manager of Gumenick Investment No. 1, LLC, a Virginia limited liability company, General Partner of Southgate Towers, LLLP, a Florida limited liability limited partnership, who executed the foregoing document on behalf of Southgate Towers, LLLP. He personally appeared before me, is personally known to me or produced _____ as identification.

[NOTARIAL SEAL]

Virginia M. Horlick
Commonwealth of Virginia
Notary Public
Commission No. 236995
My Commission Expires Mar. 31, 2016

Notary: Virginia M. Horlick
Print Name: Virginia M. Horlick
Notary Public, State of Florida
My commission expires: 3-31-2016

Witnesses

Gumenick Family Investments No. 2, LTD., a Florida limited partnership

Gumenick Investment No. 2, LLC,
a Virginia limited liability company,
its general partner

Print Name: THOMAS McN. MILLHISER

By: _____
Name: Randolph Gumenick
Title: Co-Manager

[CORPORATE SEAL]

Print Name: William E. Keenen

STATE OF FLORIDA)
) SS:
COUNTY OF MIAMI-DADE)

The foregoing instrument was acknowledged before me this 20 day of August, 2015 by Randolph Gumenick, Co-Manager of Gumenick Investment No. 2, LLC., a Virginia limited liability company, General Partner of Gumenick Family Investments No.2, Ltd., a Florida limited partnership, who executed the foregoing document on behalf of Gumenick Family investments No. 2, Ltd. He personally appeared before me, is personally known to me or produced _____ as identification.

[NOTARIAL SEAL]

Notary: _____
Print Name: Sharon Morales
Notary Public, State of Florida
My commission expires: _____

SHARON G. MORALES
Notary Public - State of Florida
My Comm. Expires Feb 24, 2017
Commission # EE 877436
Bonded Through National Notary Assn.

APPROVED AS TO
FORM & LANGUAGE
& FOR EXECUTION

8/24/2015

City Attorney Date

NK 8-24-2015

City Planning Director Date

JOINDER BY MORTGAGEE

The undersigned, being the owner and holder of that certain Consolidated, Amended and Restated Mortgage (the "Mortgage") given by Gumenick Family Investments No. 2. Ltd and Southgate Towers, LLLP in favor of Wells Fargo Bank, National Association, dated as of February 8, 2013, and recorded February 13, 2013 under Clerk's File Number 2013R0120687, in the Public Records of Miami-Dade County, Florida, covering all or a portion of the property described in the foregoing Covenant in Lieu of Unity of Title, hereby acknowledges and agrees that the lien and effect of the Mortgage shall be subject and subordinate to the terms of said Covenant in Lieu of Unity of Title.

IN WITNESS WHEREOF, these presents have been executed this 14th day of August, 2015.

Wells Fargo Bank, National Association, a national banking association

Signed, sealed and delivered in the presence of these witnesses:

By: Joseph Sturiale
Name: Joseph Sturiale
Its: Senior Vice President

Witness: Elizabeth Anderson
Print Name: Elizabeth Anderson

Witness: [illegible]
Print Name: Kanshma Pareka

Address: 1750 H Street, NW; suite 400
Washington, DC 20006

Washington DC

~~STATE OF FLORIDA~~)
) SS:
~~COUNTY OF MIAMI-DADE~~)

This instrument was acknowledged before me this 14 day of August, 2015 by Joseph Sturiale, as SVP of Wells Fargo Bank, a _____, on behalf of said _____. He/she personally appeared before me, is personally known to me or produced _____ as identification.

[NOTARIAL SEAL]

Notary: [illegible]
Print Name: Diana Becerra
Notary Public, ~~State of Florida~~ Washington DC
My commission expires: August 31, 2018

District of Columbia: SS
Subscribed and sworn to before me, in my presence, this 14 day of August, 2015
Diana P. Becerra, Notary Public, D.C.
My commission expires August 31, 2018.

Exhibit "A"
Legal Description
Southgate Property

Lots 11-18, Block 1, of Fleetwood Subdivision, according to the Plat thereof, as recorded in Plat Book 28, at page 34, of the Public Records of Miami-Dade County, Florida.

(address of 900-910 West Avenue, Miami Beach, Florida 33139; Folio No. 02-4203-001-0080)

Exhibit "B"
Legal Description
Parking Property

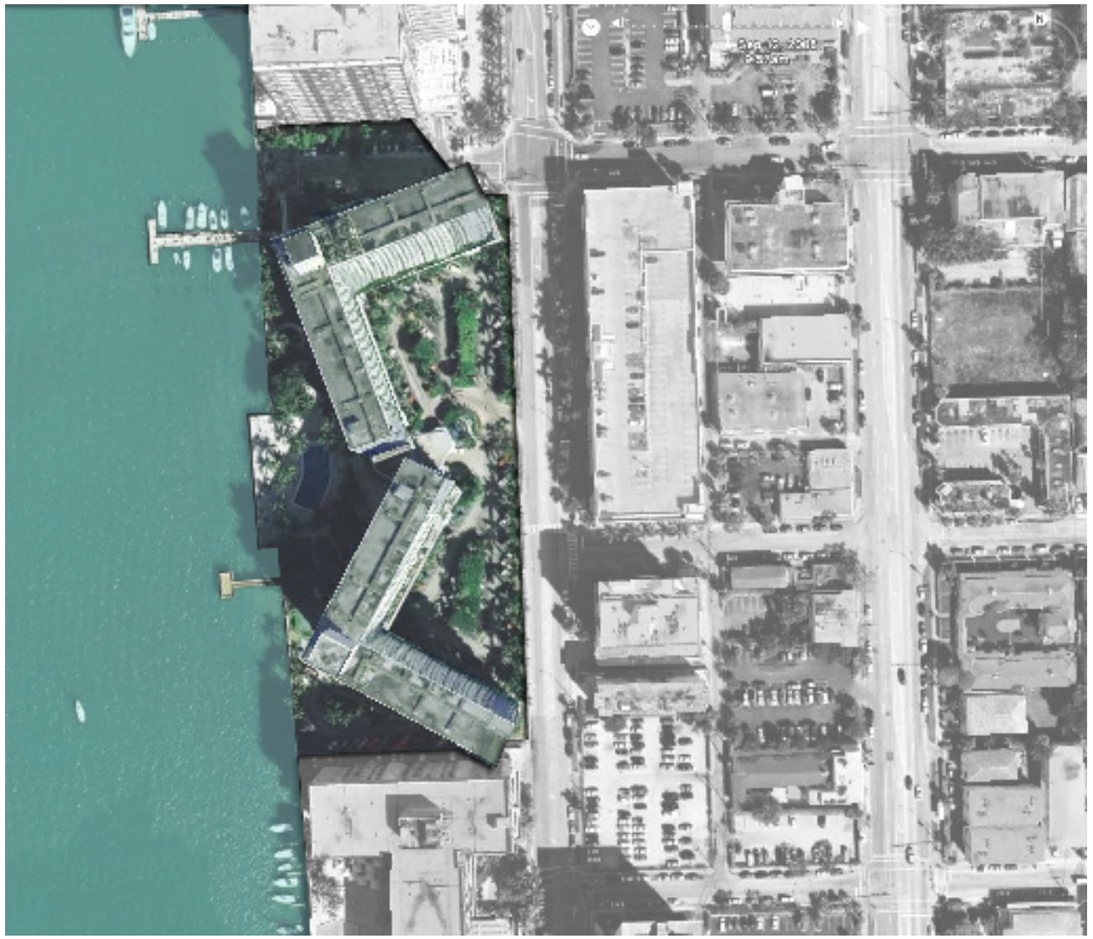
Lots 8 through 15 inclusive, Block 3, of Fleetwood Subdivision, according to the Plat thereof, as recorded in Plat Nook 28 at page 34, of the Public Records of Miami-Dade County, Florida.

(address of 959 West Avenue; Folio No. 02-4203-001-0420)

DESIGN REVIEW BOARD SUBMISSION
CITY OF MIAMI BEACH

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139



Submitted to: City of Miami Beach
Architect: ADD Inc
Owner: Gumenick Properties
11 February 2013

A-0 Location
S-1 thru S-8: Survey
A-2: Zoning Data & Locational Site Plan
A-3: Surrounding Site Photographs
A-4: Existing Building Site Photographs
A-5: F.A.R. Analysis

B-0 Site Plans
B-1: Existing Site Plan
B-2: Demolition Site Plan
B-3: Proposed Site Plan

C-0 Rooftop Modifications
C-1: Proposed Roof Plan - North Tower
C-2: Proposed Modification Elevations

D-0 Ground Floor Modifications
D-1: Proposed Restaurant Outdoor Awning
D-2: Proposed Restaurant Outdoor Awning Plan
D-3: North Tower Existing & Proposed Elevations
D-4: North Tower Existing & Proposed Elevations

L-0 Landscape
L-100: Overall Site Tree / Palm Disposition Plan
L-101: Tree / Palm Disposition Plan
L-102: Tree / Palm Disposition Plan
L-103: Tree / Palm Disposition Plan
L-104: Tree / Palm Disposition Plan
L-105: Tree / Palm Disposition Plan
L-106: Tree / Palm Disposition Plan
L-107: Tree / Palm Disposition List
L-200: Illustravtive Site Plan
L-201: Section Key Plan
L-202: Site Sections
L-203: Detail Site Plan
L-300: Overall Site Planting Plan
L-301: Planting Plan
L-302: Planting Plan
L-303: Planting Plan
L-304: Planting Plan
L-305: Planting Plan
L-306: Planting Plan
L-400: Overall Lighting Plan
L-401: Lighting Plan
L-402: Lighting Plan
L-403: Lighting Plan
L-404: Lighting Plan
L-405: Lighting Plan
L-406: Lighting Plan
L-410: Lighting Details

X-0 Previously Approved, For Refernce Only
X-1: Demoltion East Elevation - South Tower
X-2: Demoltion West Elevation - South Tower
X-3: Demoltion South Elevation - South Tower
X-4: Demoltion North Elevation - South Tower
X-5: Proposed East Elevation - South Tower
X-6: Proposed West Elevation - South Tower
X-7: Proposed South Elevation - South Tower
X-8: Proposed North Elevation - South Tower
X-9: Proposed Window Elevations
X-10: Proposed Perspective from Northwest

PROJECT # 11119.04

Southgate Towers
FOR
Gumenick Properties

INDEX

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

One Biscayne Tower
Suite 1670
Two South Biscayne Blvd
Miami, Fl 33131
T. 305.482.8700
F. 305.482.8770
www.addinc.com
Lic#: AA26001507
Jonathan Cardello
Lic#: AR93391
ADD Inc
ARCHITECTURE + DESIGN

INDEX

A-0 LOCATION

S-1 thru S-8: Survey
A-2: Zoning Data & Locational Site Plan
A-3: Surrounding Site Photographs
A-4: Existing Building Site Photographs
A-5: F.A.R. Analysis

PROJECT # 11119.04

Southgate Towers
FOR
Gumenick PROPERTIES

LOCATION

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

One Biscayne Tower
Suite 1670
Two South Biscayne Blvd
Miami, Fl 33131
T. 305.482.8700
F. 305.482.8770
www.addinc.com
Lic#: AA26001507
Jonathan Cardello
Lic#: AR93391
ADD Inc
ARCHITECTURE + DESIGN

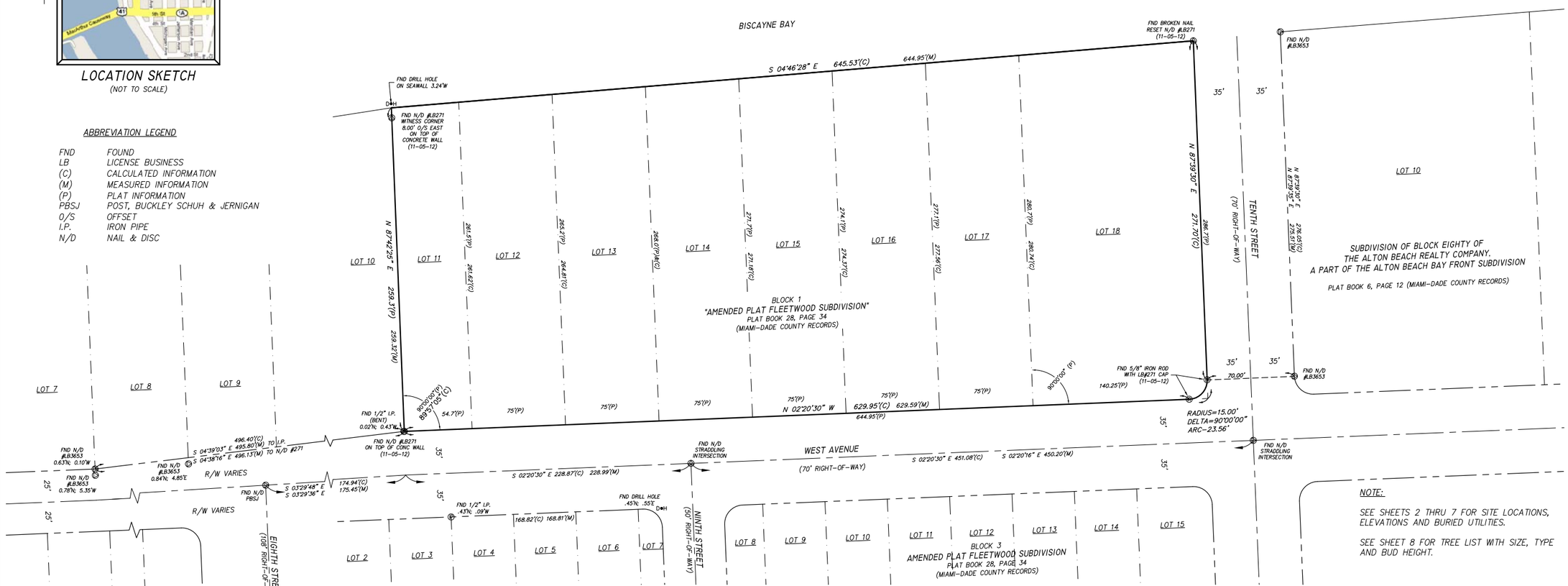
A-0

SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

LOCATION SKETCH
(NOT TO SCALE)

0 20 40 80 120 160
GRAPHIC SCALE: 1"=40'



ABBREVIATION LEGEND

FND	FOUND
LB	LICENSE BUSINESS
(C)	CALCULATED INFORMATION
(M)	MEASURED INFORMATION
(P)	PLAT INFORMATION
PBSJ	POST, BUCKLEY SCHUH & JERNIGAN
O/S	OFFSET
I.P.	IRON PIPE
N/D	NAIL & DISC

NOTE:

SEE SHEETS 2 THRU 7 FOR SITE LOCATIONS, ELEVATIONS AND BURIED UTILITIES.

SEE SHEET 8 FOR TREE LIST WITH SIZE, TYPE AND BUD HEIGHT.

SURVEYOR'S NOTES:

1) The bearings shown hereon on are based on an assumed meridian, with the East line of Block 1 Bearing North 02°20'30" West as shown on the AMENDED PLAT FLEETWOOD SUBDIVISION, Plat Book 28, Page 34.
2) The legal description shown hereon was furnished to this office by the client and appears in a Warranty Deed recorded in Official records Book 9987, Page 831.
3) All easements shown hereon are per the record plat unless otherwise noted.
4) This survey was prepared without the benefit of a title search, therefore only those easements on the record plat are shown.
5) This survey meets and exceeds the linear closure of 1 in 10,000 feet for Commercial/High Risk Surveys as defined in the Florida Minimum Technical Standards (5J-17.051 and 5J-17.052, F.A.C.). The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
6) Building ties are perpendicular to the boundary lines unless otherwise noted. All building ties and dimensions are shown to the nearest 0.1 of a foot.
7) Underground foundations or other buried encroachments were not located in connection with this survey unless otherwise noted.
8) Buried utilities were identified and painted on the ground, reviewed and approved by Ground Hound Detection Services, Inc. on October 1, 2007, said utilities were located and plotted by Craven-Thompson & Associates, Inc. Buried utilities shown hereon were not updated in November 2012.
9) The symbols reflected in the legend and on this survey may have been enlarged for clarity. The symbols have been plotted at the center of the field location and may not represent the actual size or shape of the feature.
10) The topographical measurements shown hereon were obtained using a "Leica TC-700 Series" total station and "TDS" data collection software. The accuracy of control survey data has been verified by redundant measurements or traverse closures.
11) Additions and deletions to Survey Maps and Reports by other than the signing party or parties are prohibited without written consent of the signing party or parties. This document consists of 8 sheets and each sheet shall not be considered full, valid and complete unless attached to the other.

SURVEYOR'S NOTES: (continued)

11) This survey drawing was prepared for the exclusive use of Gumenick Properties for the express purposes stated hereon and/or contained in the contract with the aforementioned client for this project. Reuse of this survey for purposes other than which it was intended, without written permission, will be at the re-users sole risk and without liability to the surveyor. Nothing shown hereon shall be construed to give any rights or benefits to anyone other than those certified to.
12) Sheet 1 of 8 sheets of this map is intended to be displayed at a scale of 1"=40' or smaller. Sheets 2 thru 7 of 8 sheets of this map are intended to be displayed at a scaale of 1"=10' or smaller. The horizontal features shown hereon are plotted to within 1/20 of the map scale. Horizontal feature locations are to the center of the symbol and may be enlarged for clarity and may not represent the actual size or shape of the feature.
13) Tree types are determined to the best of our knowledge. Exact species should be determined by a licensed botanist, dendrologist or other professional with such capacity. Trees were not updated in November 2012 at the clients request.
14) The elevations shown hereon are for the purpose of indicating the ground elevation only at the position shown and in no way indicate elevations at any other point than that shown hereon and do not determine subsurface conditions. Elevations shown hereon were not updated in November 2012 at the clients request.
15) The elevations shown hereon are based on the National Geodetic Vertical Datum of 1929 and referenced to the following benchmark, Miami-Dade County Survey Section benchmark No. 4230 (D-150), a PK nail & brass washer in concrete gutter @ SW corner of intersection of Alton Road & 10th Street, elevation = 2.82. Benchmark No. 4203W (D-151), a PK nail & brass washer in concrete slab of traffic signal control box in North bull nose of intersection of Alton Road & 5th Street, elevation = 3.63.
16) Flood Elevation Information

A) Community Number	120651
B) Date of Firm Index	N/A
C) Date of Firm Map	September 11, 2009
D) Firm Zone	AE
E) Panel Number	0319
F) Suffix	L
G) Base Flood Elevation	(EL 8)

17) All documents are recorded in the Public Records of Miami-Dade County, Florida unless otherwise noted.

DESCRIPTION:

Lots 11, 12, 13, 14, 15, 16, 17 and 18, in Block 1, of "AMENDED PLAT FLEETWOOD SUBDIVISION", according to the Plat thereof, as recorded in Plat Book 28, at page 34, of the Public Records of Miami-Dade County, Flordida.

Said lands situate, lying and being in Miami Beach, Miami-Dade County, Florida and containing 176,023 square feet or 4.041 acres more or less.

SURVEYOR'S CERTIFICATE:

I hereby certify that this sketch of survey and other pertinent data shown hereon, of the above described property was made on the ground, conforms to the Minimum Technical Standards for Land Surveying in the State of Florida, as outlined in rules 5J-17.051 and 5J-17.052, (Florida Administrative Code) as adopted by the Department of Agriculture and Consumer Services, Board of Professional Surveyors and Mappers in September, 1981, as amended, pursuant to Chapter 472.027, Florida Statutes and that said survey is true and correct to the best of our knowledge and belief as surveyed under our direction in September 2007, updated in February 2010, November 2010, December 2011 and November 2012.

Last date of field work: November 05, 2012.

CRAVEN THOMPSON & ASSOCIATES, INC.
CERTIFICATE OF AUTHORIZATION NO. LB271

THOMAS C. SHAHAN
Professional Surveyor & Mapper No. 4387
State of Florida

THIS SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

	DATE:	SCALE:	DRAWN BY:	CHECKED BY:	FIELD BOOK:	PAGE(S):
	10-1-07	1"=40'	T.S./NM	RP	2281	1-68

	BY:	DATE:	DESCRIPTION:
4	T.S.	11-05-12	UPDATE SURVEY F.B. 2560 PG. 54
3	T.S.	12-12-11	UPDATE SURVEY F.B. 2519 PG. 65
2	T.S.	11-18-10	UPDATE SURVEY
1	T.S.	02-01-10	UPDATE SURVEY F.B. 2430; PG. 16

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK PROPERTIES

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-1

SHEET 1 OF 8

G:\2007\070088 Southgate Towers\dwg\cogo.dwg [S-1] Nov 06, 2012 11:16am TSHAHAN

SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

0 5 10 20 30 40
GRAPHIC SCALE: 1" = 10'

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ABBREVATION LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
(C)	CALCULATED INFORMATION
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
F.F.	FINISHED FLOOR
FND	FOUND
I.E.	INVERT ELEVATION
I.P.	IRON PIPE
LB	LICENSE BUSINESS
(M)	MEASURED INFORMATION
N&D	NAIL & DISC
OHW	OVER HEAD WIRES
O.R.B.	OFFICIAL RECORDS BOOKS
O/S	OFFSET
(P)	PLAT INFORMATION
PBSJ	POST, BUCKLEY SCHUH & JERNIGAN
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R.E.	RIM ELEVATION
R/W	RIGHT-OF-WAY
WF	WOOD FENCE

SYMBOL LEGEND

- BFP — BACK FLOW PREVENTOR
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- CONCRETE
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- ELECTRICAL OUTLET
- ELECTRICAL PULL BOX
- (E) — ELECTRICAL MANHOLE
- GAS METER
- GAS VALVE
- HB — HOSE BIBB (SPIGOT)
- IRRIGATION CONTROL VALVE
- MAILBOX
- METAL LIGHT POLE
- MONTORING WELL
- PILE
- PARKING LIGHT SINGLE
- PARKING LIGHT DOUBLE
- PEDESTRIAN SIGNAL
- (S) — SANITARY MANHOLE
- SIAMESE VALVE
- SIGN
- 6.5 × — SPOT ELEVATION
- SPOT-FLOOD LIGHT
- SRINKLER HEAD
- SANITARY SEWER CLEAN OUT
- STORM CLEAN OUT
- (D) — STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PULL BOX
- TRAFFIC PULL BOX
- TRASH CAN CIR
- UNKNOW MANHOLE
- WATER METER
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- ELEC — ELECTRIC (RED PAINT)
- GAS — GAS MAIN (YELLOW PAINT)
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- STM — STORM DRAINAGE (GREEN PAINT)
- TEL — TELEPHONE WIRES (ORANGE PAINT)
- WM — WATER (BLUE PAINT)

GROUND HOUND DETECTION SERVICES, INC.

COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES, SEE NOTE 8, SHEET S-1.

(RED PAINT)	ELECTRIC
(YELLOW PAINT)	GAS, OIL, STEAM
(ORANGE PAINT)	COMMUNICATIONS, CATV, TELEPHONE
(BLUE PAINT)	WATER
(GREEN PAINT)	SEWER, STORM
(WHITE PAINT)	PROPOSED EXCAVATION

NOTE:

SEE SHEET 1 FOR BOUNDARY SURVEY, LEGAL DESCRIPTION, SURVEY NOTES AND CERTIFICATION.
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SEE SHEET 8 FOR TREE LIST WITH SIZE, TYPE AND BUD HEIGHT

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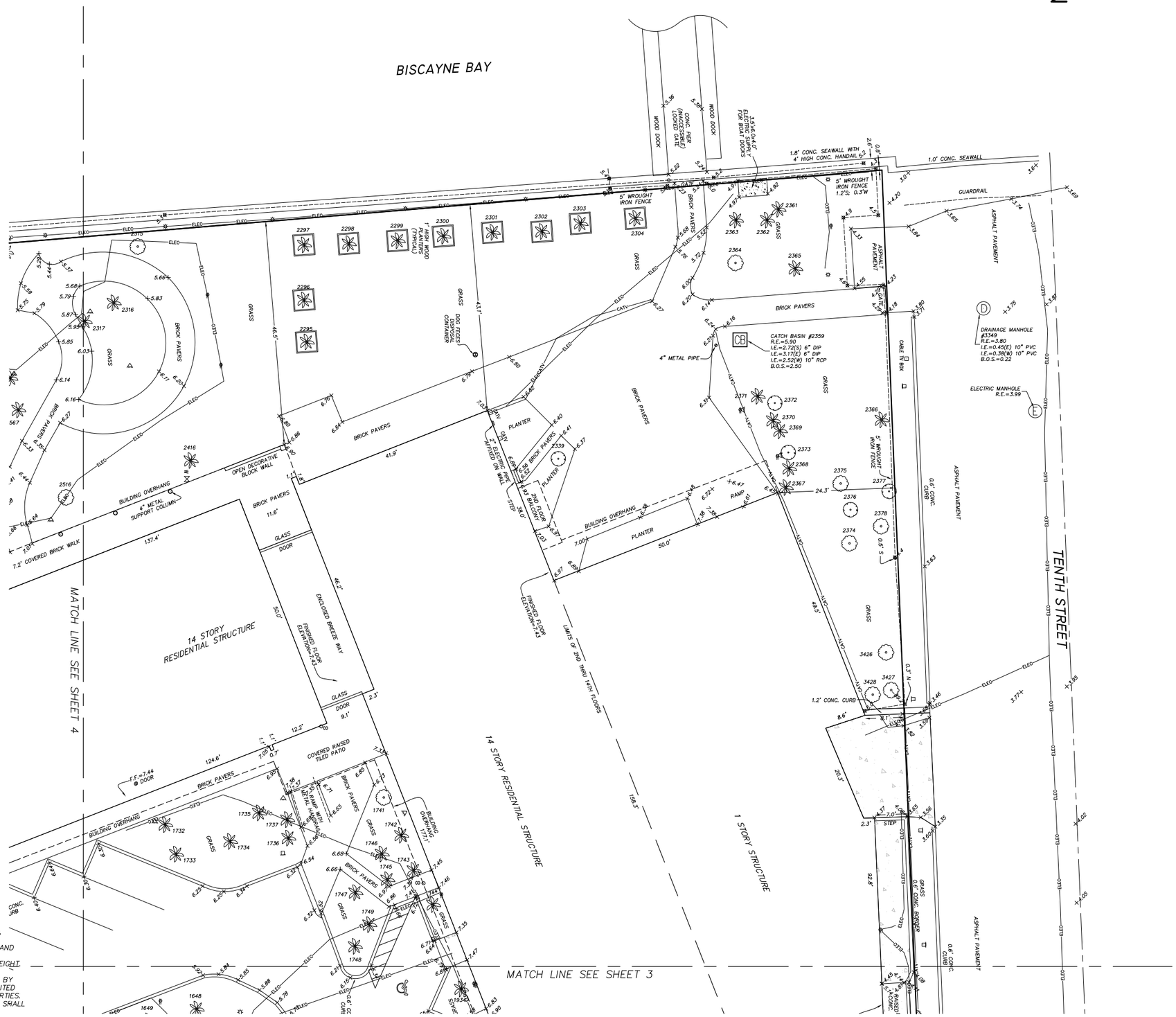

DATE:	SCALE:	DRAWN BY:	CHECKED BY:	FIELD BOOK:	PAGE(S):
	1"=10'	T.S.			

BY:	DATE:	DESCRIPTION:
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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-2

SHEET 2 OF 8

G:\2007\070088 Southgate Towers\dwg\Site Locations.dwg [S-2] Nov 06, 2012 11:33am TSHAHAN

SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

ABBREVATION LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
(C)	CALCULATED INFORMATION
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
F.F.	FINISHED FLOOR
FND	FOUND
I.E.	INVERT ELEVATION
I.P.	IRON PIPE
LB	LICENSE BUSINESS
(M)	MEASURED INFORMATION
N&D	NAIL & DISC
OHW	OVER HEAD WIRES
O.R.B.	OFFICIAL RECORDS BOOKS
O/S	OFFSET
(P)	PLAT INFORMATION
PBSJ	POST, BUCKLEY SCHUH & JERNIGAN
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R.E.	RIM ELEVATION
R/W	RIGHT-OF-WAY
WF	WOOD FENCE

SYMBOL LEGEND

- BFP — BACK FLOW PREVENTOR
- BOLLARD
- CATV — CATV PEDISTAL
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- CONCRETE
- CURB INLET
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- ELECTRICAL OUTLET
- ELECTRICAL PULL BOX
- ELECTRICAL MANHOLE
- GAS METER
- GAS VALVE
- HB — HOSE BIBB (SPIGOT)
- IRRIGATION CONTROL VALVE
- MAILBOX
- METAL LIGHT POLE
- MONTORING WELL
- PILE
- PARKING LIGHT SINGLE
- PARKING LIGHT DOUBLE
- PEDESTRIAN SIGNAL
- SANITARY MANHOLE
- SIAMESE VALVE
- SIGN
- 6.5 × — SPOT ELEVATION
- SPOT-FLOOD LIGHT
- SRINKLER HEAD
- SANITARY SEWER CLEAN OUT
- STORM CLEAN OUT
- STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PULL BOX
- TRAFFIC PULL BOX
- TRASH CAN CIR
- UNKNOW MANHOLE
- WATER METER
- WATER VALVE
- WATER VAULT
- WOOD FENCE POST
- YD — YARD DRAIN
- PALM TREE
- SHADE TREE
- UNKNOWN TREE
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NOTE:

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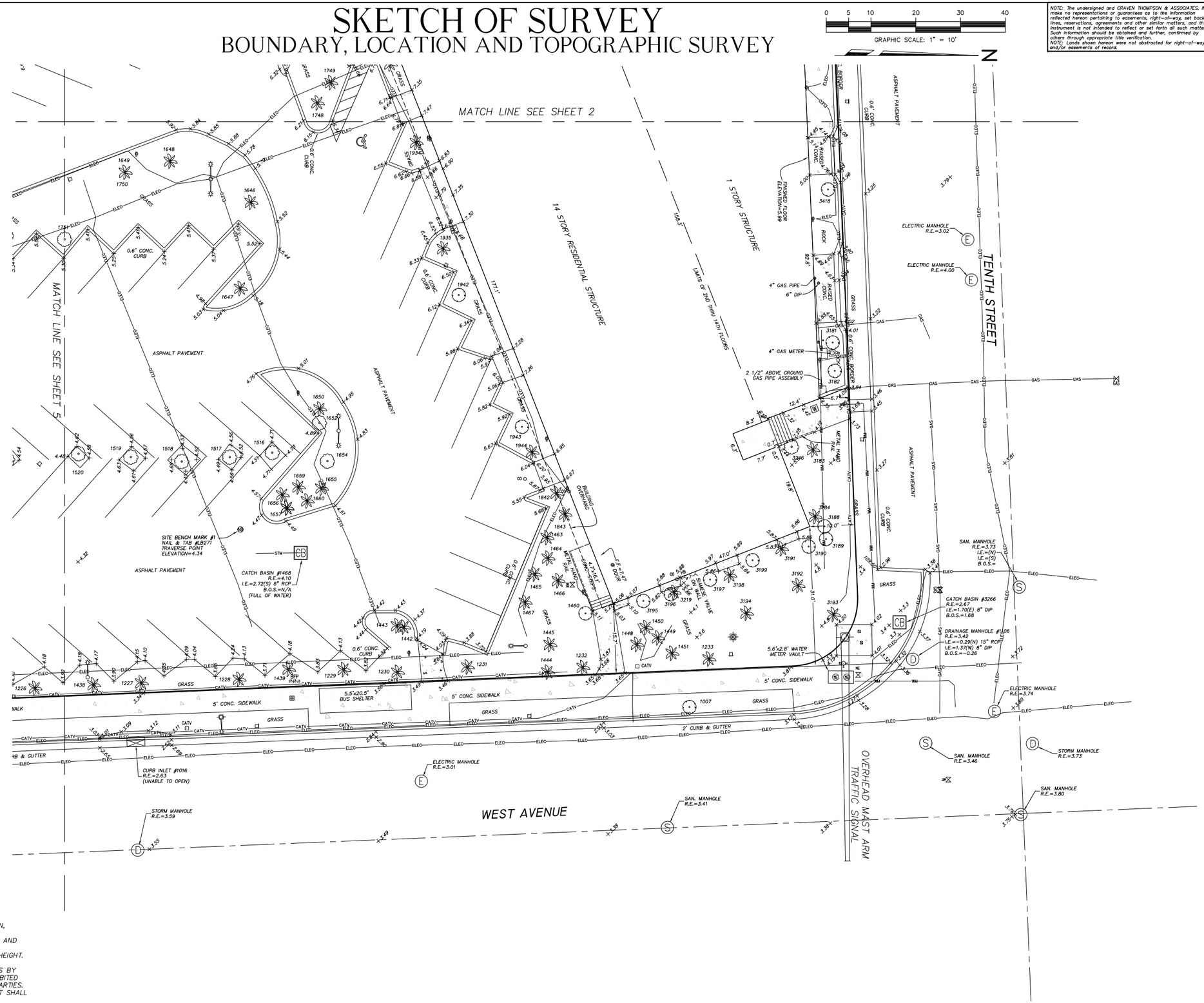

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DATE:	1"=10'
SCALE:	
DRAWN BY:	T.S.
CHECKED BY:	
FIELD BOOK:	
PAGE(S):	

DESCRIPTION:	BY:	DATE:
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UPDATE SURVEY F.B. 2519 PG. 65	T.S.	12-12-11
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UPDATE SURVEY F.B. 2430; PG. 16	T.S.	02-01-10

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910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-3

SHEET 3 OF 8

G:\2007\070088 Southgate Towers\dwg\Site Locations.dwg [S-3] Nov 06, 2012 11:33am TSHAHAN

SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

0 5 10 20 30 40
GRAPHIC SCALE: 1" = 10'

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C.B.	CATCH BASIN
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CONC.	CONCRETE
CLF	CHAIN LINK FENCE
F.F.	FINISHED FLOOR
FND	FOUND
I.E.	INVERT ELEVATION
I.P.	IRON PIPE
LB	LICENSE BUSINESS
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- GAS METER
- GAS VALVE
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- IRRIGATION CONTROL VALVE
- MAILBOX
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- MONTORING WELL
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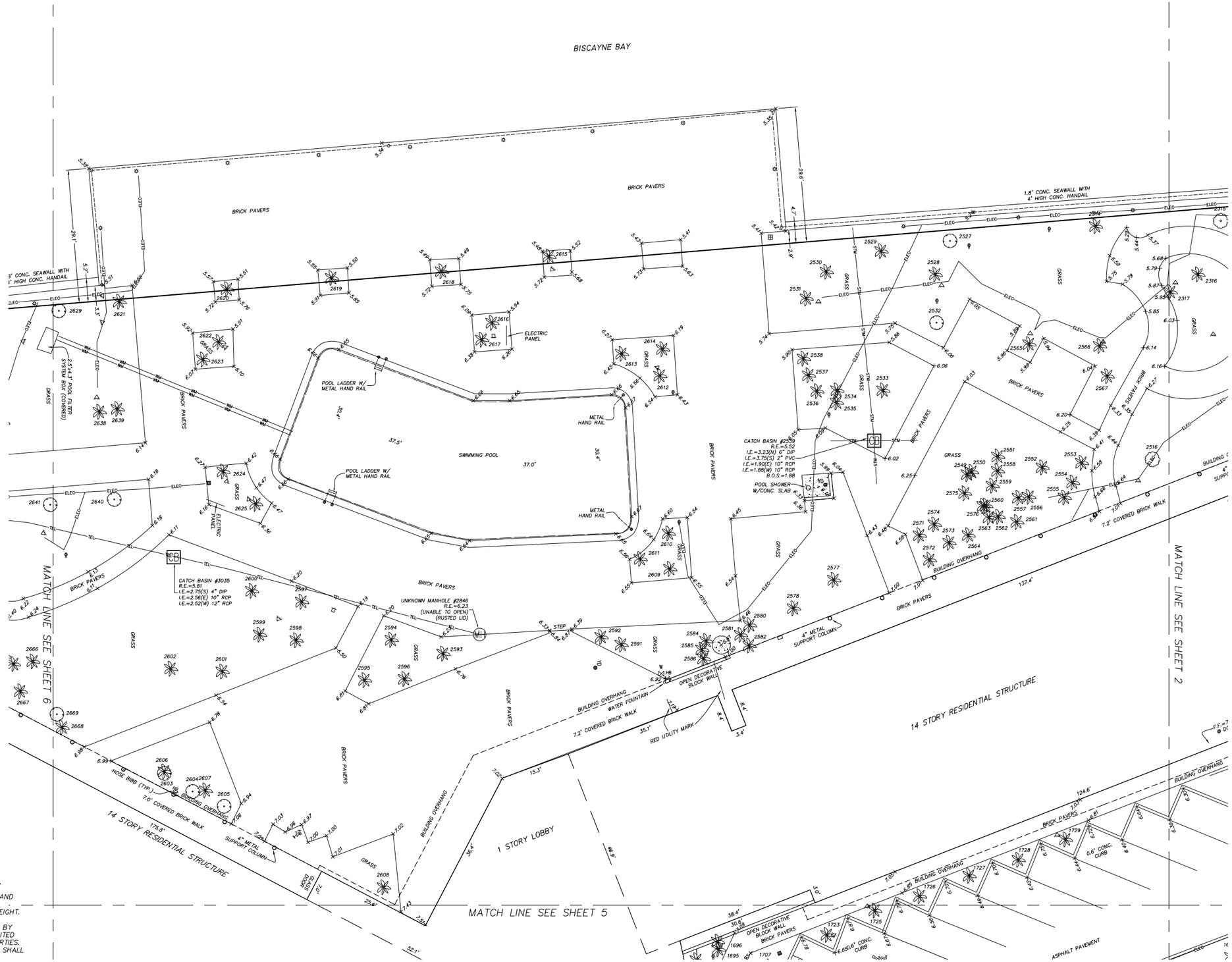

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910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-4

SHEET 4 OF 8

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SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

0 5 10 20 30 40
GRAPHIC SCALE: 1" = 10'

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- CATV — CABLE TELEVISION (ORANGE PAINT)
- ELEC — ELECTRIC (RED PAINT)
- GAS — GAS MAIN (YELLOW PAINT)
- SAN — SANITARY SEWER MAIN (GREEN PAINT)
- STW — STORM DRAINAGE (GREEN PAINT)
- TEL — TELEPHONE WIRES (ORANGE PAINT)
- WM — WATER (BLUE PAINT)

GROUND HOUND DETECTION SERVICES, INC.

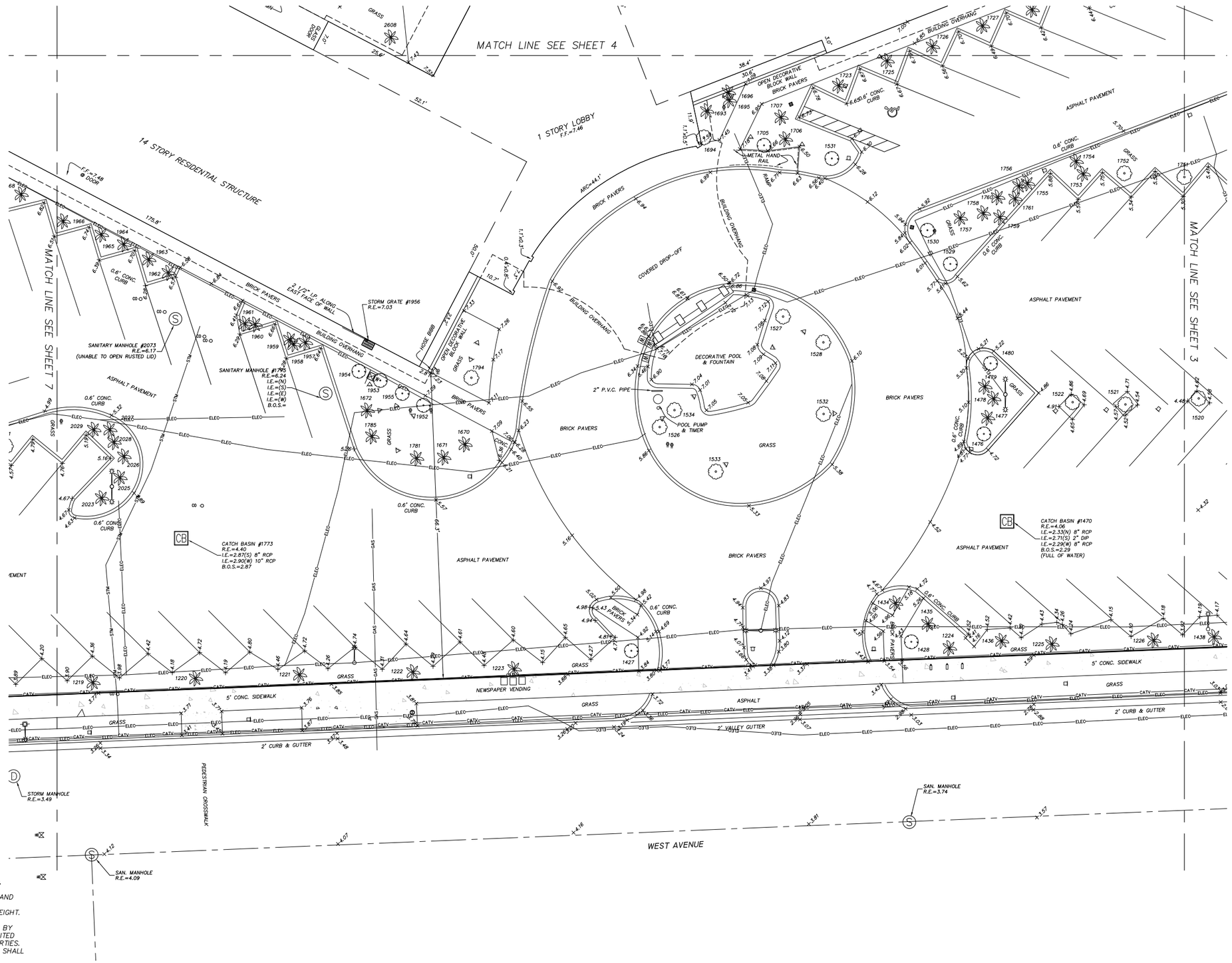
COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES, SEE NOTE 8, SHEET S-1.

(RED PAINT)	ELECTRIC
(YELLOW PAINT)	GAS, OIL, STEAM
(ORANGE PAINT)	COMMUNICATIONS, CATV, TELEPHONE
(BLUE PAINT)	WATER
(GREEN PAINT)	SEWER, STORM
(WHITE PAINT)	PROPOSED EXCAVATION

NOTE:

SEE SHEET 1 FOR BOUNDARY SURVEY, LEGAL DESCRIPTION, SURVEY NOTES AND CERTIFICATION.
SEE SHEETS 2 THRU 7 FOR SITE LOCATIONS, ELEVATIONS AND BURIED UTILITIES.
SEE SHEET 8 FOR TREE LIST WITH SIZE, TYPE AND BUD HEIGHT.

ADDITION AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS DOCUMENT CONSISTS OF 8 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.



DATE:	SCALE:	DRAWN BY:	CHECKED BY:	FIELD BOOK:	PAGE(S):
	1"=10'	T.S.			

DESCRIPTION:	BY:	DATE:
UPDATE SURVEY F.B. 2560 PG. 54	T.S.	11-05-12
UPDATE SURVEY F.B. 2519 PG. 65	T.S.	12-12-11
UPDATE SURVEY	T.S.	11-18-10
UPDATE SURVEY F.B. 2430; PG. 16	T.S.	02-01-10

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL.: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-5

SHEET 5 OF 8

G:\2007\070088 Southgate Towers\dwg\Site Locations.dwg [S-5] Nov 06, 2012 11:34am TSHAHAN

SKETCH OF SURVEY
BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

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NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

0 5 10 20 30 40
GRAPHIC SCALE: 1" = 10'

ABBREVATION LEGEND

B.O.S.	BOTTOM OF STRUCTURE
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
(C)	CALCULATED INFORMATION
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
F.F.	FINISHED FLOOR
FND	FOUND
I.E.	INVERT ELEVATION
I.P.	IRON PIPE
LB	LICENSE BUSINESS
(M)	MEASURED INFORMATION
N&D	NAIL & DISC
OHW	OVER HEAD WIRES
O.R.B.	OFFICIAL RECORDS BOOKS
O/S	OFFSET
(P)	PLAT INFORMATION
PBSJ	POST, BUCKLEY SCHUH & JERNIGAN
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R.E.	RIM ELEVATION
R/W	RIGHT-OF-WAY
WF	WOOD FENCE

SYMBOL LEGEND

- BFP — BACK FLOW PREVENTOR
- BOLLARD
- CATV — CATV PEDISTAL
- CB — CATCH BASIN
- CONCRETE
- CURB INLET
- DECORATIVE LIGHT POLE
- ELECTRICAL OUTLET
- ELECTRICAL PULL BOX
- ELECTRICAL MANHOLE
- GAS METER
- GAS VALVE
- HB — HOSE BIBB (SPIGOT)
- IRRIGATION CONTROL VALVE
- MAILBOX
- METAL LIGHT POLE
- MONTORING WELL
- PILE
- PARKING LIGHT SINGLE
- PARKING LIGHT DOUBLE
- PEDESTRIAN SIGNAL
- SANITARY MANHOLE
- SIAMESE VALVE
- SIGN
- 6.5 × — SPOT ELEVATION
- SPOT-FLOOD LIGHT
- SRINKLER HEAD
- SANITARY SEWER CLEAN OUT
- STORM CLEAN OUT
- STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PULL BOX
- TRAFFIC PULL BOX
- TRASH CAN CIR
- UNKNOW MANHOLE
- WATER METER
- WATER VALVE
- WATER VAULT
- WOOD FENCE POST
- YD — YARD DRAIN
- PALM TREE
- SHADE TREE
- UNKNOWN TREE
- HANDICAP PARKING SPACE
- CHAIN LINK FENCE
- GUARDRAIL
- METAL FENCE
- OHW — OVER HEAD WIRES
- WOOD FENCELINE
- CATV — CABLE TELEVISION (ORANGE PAINT)
- ELEC — ELECTRIC (RED PAINT)
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GROUND HOUND DETECTION SERVICES, INC.

COLOR CODE FOR MARKING UNDERGROUND UTILITY LINES, SEE NOTE 8, SHEET S-1.

(RED PAINT)	ELECTRIC
(YELLOW PAINT)	GAS, OIL, STEAM
(ORANGE PAINT)	COMMUNICATIONS, CATV, TELEPHONE
(BLUE PAINT)	WATER
(GREEN PAINT)	SEWER, STORM
(WHITE PAINT)	PROPOSED EXCAVATION

NOTE:

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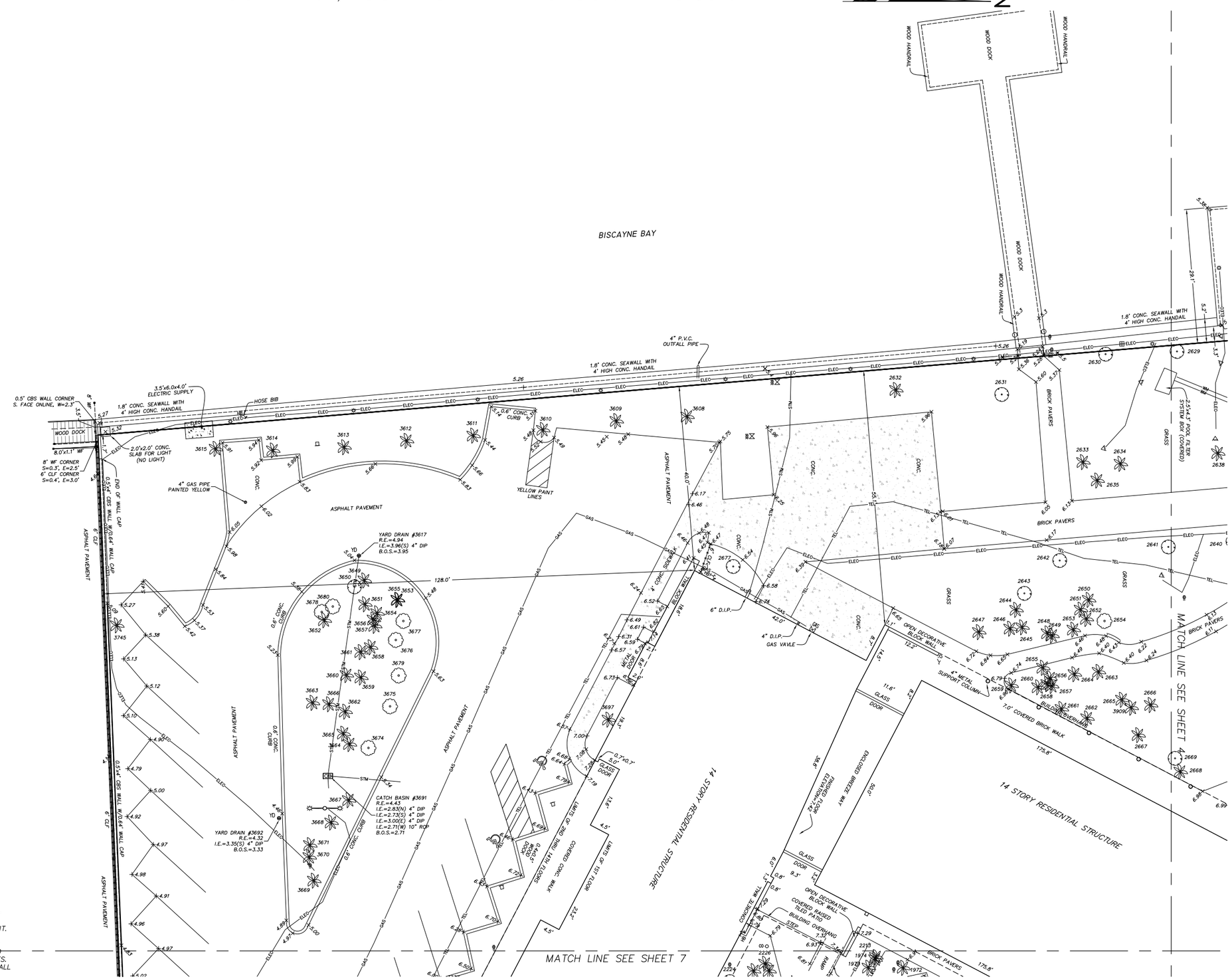

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BY:	DATE:	DESCRIPTION:
T.S.	11-05-12	UPDATE SURVEY F.B. 2560 PG. 54
T.S.	12-12-11	UPDATE SURVEY F.B. 2519 PG. 65
T.S.	11-18-10	UPDATE SURVEY
T.S.	02-01-10	UPDATE SURVEY F.B. 2430; PG. 16

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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-6

SHEET 6 OF 8

G:\2007\070088 Southgate Towers\dwg\Site Locations.dwg [S-6] Nov 06, 2012 11:35am TSHAHAN

SKETCH OF SURVEY

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

0 5 10 20 30 40

GRAPHIC SCALE: 1" = 10'

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CATV	CABLE TELEVISION
C.B.	CATCH BASIN
(C)	CALCULATED INFORMATION
CMP	CORRUGATED MANHOLE PIPE
CONC.	CONCRETE
CLF	CHAIN LINK FENCE
F.F.	FINISHED FLOOR
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- IRRIGATION CONTROL VALVE
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- MONTORING WELL
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- SANITARY SEWER CLEAN OUT
- STORM CLEAN OUT
- STORM MANHOLE
- TELEPHONE MANHOLE
- TELEPHONE PULL BOX
- TRAFFIC PULL BOX
- TRASH CAN CIR
- UNKNOW MANHOLE
- WATER METER
- WATER VALVE
- WATER VAULT
- WOOD FENCE POST
- YD — YARD DRAIN
- PALM TREE
- SHADE TREE
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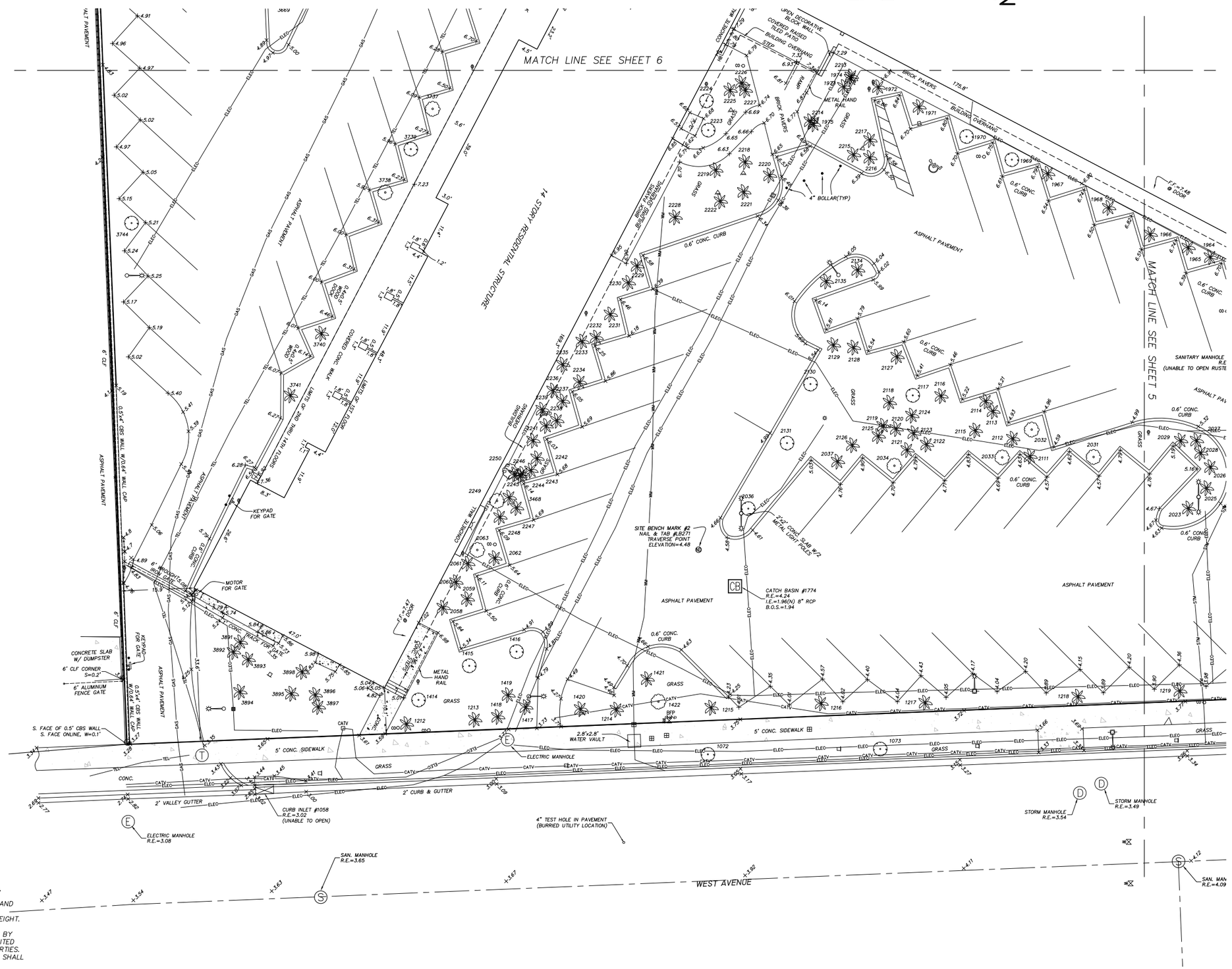

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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-7

SHEET 7 OF 8

G:\2007\070088 Southgate Towers\dwg\Site Locations.dwg [S-7] Nov 06, 2012 11:36am TSHAHAN

SKETCH OF SURVEY

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

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No.	Size	Type	Bud Height
1007	3"	YELLOW TABEBUIA	
1072	6"	PINK TABEBUIA	
1073	8"	PINK TABEBUIA	
1212	16"	ROYAL PALM	BH=36'
1213	16"	ROYAL PALM	BH=36'
1214	16"	ROYAL PALM	BH=36'
1215	16"	ROYAL PALM	BH=36'
1216	16"	ROYAL PALM	BH=36'
1217	16"	ROYAL PALM	BH=36'
1218	16"	ROYAL PALM	BH=36'
1219	16"	ROYAL PALM	BH=36'
1220	16"	ROYAL PALM	BH=36'
1221	16"	ROYAL PALM	BH=36'
1222	16"	ROYAL PALM	BH=36'
1223	16"	ROYAL PALM	BH=36'
1224	16"	ROYAL PALM	BH=36'
1225	16"	ROYAL PALM	BH=36'
1226	16"	ROYAL PALM	BH=36'
1227	16"	ROYAL PALM	BH=36'
1228	16"	ROYAL PALM	BH=36'
1229	16"	ROYAL PALM	BH=36'
1230	16"	ROYAL PALM	BH=36'
1231	16"	ROYAL PALM	BH=36'
1232	16"	ROYAL PALM	BH=36'
1233	16"	ROYAL PALM	BH=36'
1414	10"	SCHEFFLERA	
1415	4"	BLACK OLIVE	
1416	4"	BLACK OLIVE	
1417	3"	ROBELLINI PALM	BH=6'
1418	3"	ROBELLINI PALM	BH=6'
1419	3"	ROBELLINI PALM	BH=7'
1420	12"	SABAL PALM	BH=44'
1421	22"	DATE PALM	BH=34'
1422	4"	UNKNOWN TREE	
1427	12"	OAK	
1428	10"	OAK	
1434	8"	SABAL PALM	BH=34'
1435	14"	SABAL PALM	BH=9'
1436	14"	SABAL PALM	BH=9'
1438	4"	FAN PALM	BH=16'
1439	2"	ALEXANDER PALM	BH=16'
1442	12"	SABAL PALM	BH=14'
1443	4"	WASHINGTONIA PALM	BH=1'
1444	2"	ARECA BAMBOO PALM	BH=5'
1445	3"	ARECA BAMBOO PALM	BH=16'
1448	8"	SABAL PALM	BH=32'
1449	8"	SABAL PALM	BH=32'
1450	4"	ROBELLINI PALM	BH=6'
1451	3"	ROBELLINI PALM	BH=6'
1460	14"	SCHEFFLERA	
1463	8"	SABAL PALM	BH=6'
1464	10"	SABAL PALM	BH=18'
1465	10"	SABAL PALM	BH=16'
1466	10"	SABAL PALM	BH=16'
1467	10"	SABAL PALM	BH=16'
1476	6"	PONGAM TREE	
1477	3"	ROBELLINI PALM	BH=7'
1478	3"	ROBELLINI PALM	BH=7'
1479	3"	ROBELLINI PALM	BH=6'
1480	14"	POND APPLE	
1516	10"	UNKNOWN TREE	
1517	10"	UNKNOWN TREE	
1518	10"	UNKNOWN TREE	
1519	10"	UNKNOWN TREE	
1520	10"	UNKNOWN TREE	
1521	10"	UNKNOWN TREE	
1522	10"	UNKNOWN TREE	
1526	10"	UNKNOWN TREE	
1527	10"	UNKNOWN TREE	
1528	10"	UNKNOWN TREE	
1529	6"	POND APPLE	
1530	6"	POND APPLE	
1531	6"	POND APPLE	
1532	16"	UNKNOWN TREE	
1533	16"	UNKNOWN TREE	
1534	16"	UNKNOWN TREE	
1646	3"	SABAL PALM	BH=20'
1647	3"	SABAL PALM	BH=20'
1648	3"	SABAL PALM	BH=20'
1649	3"	SABAL PALM	BH=28'
1650	6"	CHRISTMAS PALM	BH=20'
1652	8"	UNKNOWN TREE	
1654	10"	UNKNOWN TREE	
1655	6"	CHRISTMAS PALM	BH=18'
1656	6"	CHRISTMAS PALM	BH=18'
1657	6"	SABAL PALM	BH=7'
1658	6"	SABAL PALM	BH=7'
1659	6"	SABAL PALM	BH=2'
1660	6"	SABAL PALM	BH=5'
1670	3"	ROBELLINI PALM	BH=6'
1671	3"	ROBELLINI PALM	BH=6'
1672	3"	ROBELLINI PALM	BH=6'
1693	4"	ARECA BAMBOO PALM	BH=12'
1694	10"	UNKNOWN TREE	
1695	6"	SABAL PALM	BH=3'
1696	6"	SABAL PALM	BH=3'
1705	12"	SCHEFFLERA	
1706	8"	SABAL PALM	BH=3'
1707	8"	SABAL PALM	BH=3'
1723	12"	SABAL PALM	BH=18'
1725	10"	SABAL PALM	BH=22'
1726	10"	SABAL PALM	BH=22'
1727	10"	SABAL PALM	BH=22'
1728	3"	ARECA BAMBOO PALM	BH=12'
1729	10"	SABAL PALM	BH=22'
1732	10"	SABAL PALM	BH=20'
1733	10"	SABAL PALM	BH=18'
1734	3"	ARECA BAMBOO PALM	BH=26'
1735	10"	SABAL PALM	BH=40'
1736	10"	SABAL PALM	BH=40'
1737	3"	ARECA BAMBOO PALM	BH=20'
1741	12"	UNKNOWN TREE	
1742	4"	ROBELLINI PALM	BH=1'
1743	4"	ROBELLINI PALM	BH=1'
1744	6"	ROBELLINI PALM	BH=2'
1745	12"	WASHINGTONIA PALM	BH=10'
1746	6"	CHRISTMAS PALM	BH=28'
1747	10"	SABAL PALM	BH=40'
1748	10"	SABAL PALM	BH=40'
1749	12"	SABAL PALM	BH=8'
1751	8"	UNKNOWN TREE	
1752	14"	UNKNOWN TREE	
1753	10"	SABAL PALM	BH=34'
1754	3"	SABAL PALM	BH=28'
1755	6"	CHRISTMAS PALM	BH=18'
1756	4"	ALEXANDER PALM	BH=40'
1757	4"	ALEXANDER PALM	BH=18'
1758	6"	CHRISTMAS PALM	BH=22'
1759	6"	SABAL PALM	BH=22'
1760	6"	SABAL PALM	BH=6'
1761	6"	SABAL PALM	BH=3'
1781	8"	SABAL PALM	BH=34'
1785	8"	SABAL PALM	BH=32'
1794	8"	UNKNOWN TREE	
1842	4"	ALEXANDER PALM	BH=30'
1843	3"	ARECA BAMBOO PALM	BH=20'
1934	3"	ARECA BAMBOO PALM	BH=24'
1935	3"	ARECA BAMBOO PALM	BH=24'
1942	18"	SCHEFFLERA	
1943	10"	SCHEFFLERA	
1944	3"	ARECA BAMBOO PALM	BH=24'
1952	14"	POND APPLE	
1953	14"	POND APPLE	
1954	14"	POND APPLE	
1955	12"	POND APPLE	
1957	4"	FAN PALM	BH=36'
1958	4"	FAN PALM	BH=28'
1959	6"	SABAL PALM	BH=14'
1960	6"	SABAL PALM	BH=14'
1961	6"	FAN PALM	BH=20'
1962	6"	SABAL PALM	BH=22'
1963	6"	SABAL PALM	BH=20'
1964	8"	SABAL PALM	BH=24'
1965	8"	SABAL PALM	BH=24'
1966	8"	SABAL PALM	BH=28'
1967	8"	SABAL PALM	BH=28'
1968	3"	ARECA BAMBOO PALM	BH=18'
1969	20"	SCHEFFLERA	
1970	10"	SCHEFFLERA	
1971	16"	SABAL PALM	BH=18'
1972	3"	ALEXANDER PALM	BH=22'
1973	6"	SABAL PALM	BH=20'
1974	6"	SABAL PALM	BH=11'
1975	6"	CHRISTMAS PALM	BH=12'
2023	3"	ARECA BAMBOO PALM	BH=18'
2025	3"	ROBELLINI PALM	BH=6'
2026	3"	ROBELLINI PALM	BH=6'
2027	3"	ROBELLINI PALM	BH=6'
2028	4"	ROBELLINI PALM	BH=9'
2029	4"	ROBELLINI PALM	BH=9'
2031	12"	UNKNOWN TREE	
2032	10"	UNKNOWN TREE	
2033	10"	UNKNOWN TREE	
2034	12"	UNKNOWN TREE	
2036	2"	SEA GRAPE	
2037	3"	ROBELLINI PALM	BH=4'
2058	6"	SABAL PALM	BH=7'
2059	14"	SABAL PALM	BH=18'
2060	4"	SABAL PALM	BH=2'
2061	4"	SABAL PALM	BH=2'
2062	4"	SABAL PALM	BH=5'
2063	6"	UNKNOWN TREE	
2111	6"	SABAL PALM	BH=6'
2112	6"	SABAL PALM	BH=3'
2113	6"	SABAL PALM	BH=3'
2114	8"	SABAL PALM	BH=6'
2115	12"	SABAL PALM	BH=3'
2116	6"	SABAL PALM	BH=24'
2117	14"	SEA GRAPE	
2118	3"	CHRISTMAS PALM	BH=16'
2119	4"	CHRISTMAS PALM	BH=28'
2120	4"	SABAL PALM	BH=3'
2121	4"	SABAL PALM	BH=3'
2122	4"	SABAL PALM	BH=3'
2123	4"	SABAL PALM	BH=3'
2124	4"	SABAL PALM	BH=3'
2125	6"	SABAL PALM	BH=5'
2126	4"	ROBELLINI PALM	BH=5'
2127	4"	ROBELLINI PALM	BH=4'
2128	4"	ROBELLINI PALM	BH=5'
2129	4"	ROBELLINI PALM	BH=5'
2130	12"	SEA GRAPE	
2131	16"	SEA GRAPE	
2134	3"	ALEXANDER PALM	BH=34'
2135	3"	ALEXANDER PALM	BH=34'
2213	8"	SABAL PALM	BH=1'
2214	5"	CHRISTMAS PALM	BH=10'
2215	9"	SABAL PALM	BH=13'
2216	10"	SABAL PALM	BH=25'
2217	10"	SABAL PALM	BH=19'
2218	10"	SABAL PALM	BH=12'
2219	10"	SABAL PALM	BH=12'
2220	10"	SABAL PALM	BH=12'
2221	11"	SABAL PALM	BH=14'
2222	11"	SABAL PALM	BH=9'
2223	3"	HIBISCUS	
2224	3"	HIBISCUS	
2225	5"	CHRISTMAS PALM	BH=27'
2226	5"	CHRISTMAS PALM	BH=13'
2227	4"	CHRISTMAS PALM	BH=9'
2228	3"	ARECA BAMBOO PALM	BH=13'
2229	11"	SABAL PALM	BH=22'
2230	11"	SABAL PALM	BH=12'
2231	10"	SABAL PALM	BH=33'
2232	8"	SABAL PALM	BH=28'
2233	7"	SABAL PALM	BH=9'
2234	7"	SABAL PALM	BH=9'
2235	4"	SABAL PALM	BH=4'
2236	4"	SABAL PALM	BH=4'
2237	11"	SABAL PALM	BH=21'
2238	6"	SABAL PALM	BH=5'
2239	3"	SABAL PALM	BH=1'
2240	9"	SABAL PALM	BH=30'
2241	4"	SABAL PALM	BH=3'
2242	7"	SABAL PALM	BH=6'
2243	5"	SABAL PALM	BH=27'
2244	4"	SABAL PALM	BH=1'
2245	4"	SABAL PALM	BH=1'
2246	6"	SABAL PALM	BH=1'
2247	4"	SABAL PALM	BH=10'
2248	12"	SABAL PALM	BH=30'
2249	3"	UNKNOWN TREE	
2250	3"	UNKNOWN TREE	
2251	6"	UNKNOWN TREE	
2295	10"	COCONUT PALM	BH=38'
2296	10"	COCONUT PALM	BH=38'
2297	10"	COCONUT PALM	BH=38'
2298	10"	COCONUT PALM	BH=38'
2299	10"	COCONUT PALM	BH=38'
2300	10"	COCONUT PALM	BH=38'
2301	10"	COCONUT PALM	BH=38'
2302	10"	COCONUT PALM	BH=38'
2303	10"	COCONUT PALM	BH=38'
2304	10"	COCONUT PALM	BH=38'
2314	8"	CHRISTMAS PALM	BH=20'
2315	8"	UNKNOWN TREE	
2316	8"	ROBELLINI PALM	BH=34'
2317	8"	ROBELLINI PALM	BH=34'
2339	4"	BLACK OLIVE	
2361	3"	ARECA BAMBOO PALM	BH=6'
2362	3"	ARECA BAMBOO PALM	BH=5'
2363	3"	ARECA BAMBOO PALM	BH=12'
2364	24"	UNKNOWN TREE	
2365	14"	SABAL PALM	BH=14'
2366	14"	SABAL PALM	BH=12'
2367	6"	CHRISTMAS PALM	BH=14'
2368	3"	ALEXANDER PALM	BH=20'
2369	3"	ALEXANDER PALM	BH=26'
2370	3"	ALEXANDER PALM	BH=20'
2371	3"	ALEXANDER PALM	BH=20'
2372	4"	HIBISCUS	
2373	4"	SCHEFFLERA	
2374	4"	UNKNOWN TREE	
2375	4"	UNKNOWN TREE	
2376	1"	CITRUS TREE	
2377	24"	TROPICAL ALMOND	
2378	12"	UNKNOWN TREE	
2416	8"	SABAL PALM	BH=40'
2516	6"	UNKNOWN TREE	
2527	14"	SEA GRAPE	
2528	5"	CHINESE FAN PALM	BH=36'
2529	12"	COCONUT PALM	BH=22'
2530	12"	COCONUT PALM	BH=26'
2531	12"	COCONUT PALM	BH=34'
2532	24"	SEA GRAPE	
2533	10"	ALEXANDER PALM	BH=40'
2534	6"	CHRISTMAS PALM	BH=26'
2535	3"	ROBELLINI PALM	BH=6'
2536	3"	ROBELLINI PALM	BH=7'
2537	3"	ROBELLINI PALM	BH=4'
2538	3"	ROBELLINI PALM	BH=5'
2549	16"	SABAL PALM	BH=26'
2550	12"	SABAL PALM	BH=2'
2551	14"	SABAL PALM	BH=24'
2552	5"	FAN PALM	BH=26'
2553	8"	ARECA BAMBOO PALM	BH=4'
2554	8"	ARECA BAMBOO PALM	BH=4'
2555	8"	ARECA BAMBOO PALM	BH=4'
2556	8"	ARECA BAMBOO PALM	BH=4'
2557	8"	SABAL PALM	BH=40'
2558	8"	SABAL PALM	BH=24'
2559	12"	SABAL PALM	BH=2'
2560	12"	SABAL PALM	BH=4'
2561	4"	CHRISTMAS PALM	BH=8'
2562	3"	CHRISTMAS PALM	BH=6'
2563	3"	CHRISTMAS PALM	BH=4'
2564	12"	SABAL PALM	BH=3'
2565	2"	FAN PALM	BH=2'
2566	3"	ROBELLINI PALM	BH=8'
2567	3"	ROBELLINI PALM	BH=8'
2571	14"	SABAL PALM	BH=2'
2572	14"	SABAL PALM	BH=2'
2573	6"	CHRISTMAS PALM	BH=30'
2574	6"	CHRISTMAS PALM	BH=30'
2575	3"	CHRISTMAS PALM	BH=4'
2576	12"	SABAL PALM	BH=3'
2577	3"	ARECA BAMBOO PALM	BH=26'
2578	6"	SABAL PALM	BH=4'
2580	8"	SABAL PALM	BH=5'
2581	5"	CHINESE FAN PALM	BH=40'
2582	6"	SABAL PALM	BH=3'
2584	5"	CHINESE FAN PALM	BH=40'
2585	5"	CHINESE FAN PALM	BH=22'
2586	5"	SABAL PALM	BH=6'
2591	10"	COCONUT PALM	BH=34'
2592	3"	ROBELLINI PALM	BH=7'
2593	3"	ROBELLINI PALM	BH=8'
2594	8"	COCONUT PALM	BH=30'
2595	10"	COCONUT PALM	BH=38'
2596	10"	COCONUT PALM	BH=38'
2597	10"	COCONUT PALM	BH=38'
2598	10"	COCONUT PALM	BH=38'
2599	10"	COCONUT PALM	BH=38'
2600	10"	COCONUT PALM	BH=38'
2601	10"	COCONUT PALM	BH=38'
2602	10"	COCONUT PALM	BH=38'
2603	8"	SEA GRAPE	
2604	6"	SEA GRAPE	
2605	6"	SEA GRAPE	
2606	4"	CHRISTMAS PALM	BH=32'
2607	4"	CHRISTMAS PALM	BH=18'
2608	8"	SABAL PALM	BH=34'
2609	8"	COCONUT PALM	BH=34'
2610	8"	COCONUT PALM	BH=34'
2611	8"	COCONUT PALM	BH=34'
2612	8"	COCONUT PALM	BH=20'
2613	8"	COCONUT PALM	BH=22'
2614	8"	COCONUT PALM	BH=26'
2615	8"	COCONUT PALM	BH=28'
2616	8"	COCONUT PALM	BH=32'
2617	8"	COCONUT PALM	BH=20'
2618	8"	COCONUT PALM	BH=22'
2619	8"	COCONUT PALM	BH=22'
2620	8"	COCONUT PALM	BH=16'
2621	8"	COCONUT PALM	BH=30'
2622	8"	COCONUT PALM	BH=30'
2623	8"	COCONUT PALM	BH=26'
2624	8"	COCONUT PALM	BH=36'
2625	8"	COCONUT PALM	BH=30'
2629	14"	POND APPLE	
2630	28"	POND APPLE	
2631	28"	BANYAN TREE	
2632	10"	COCONUT PALM	BH=34'
2633	3"	ROBELLINI PALM	BH=8'
2634	3"	ROBELLINI PALM	BH=8'
2635	3"	ROBELLINI PALM	BH=8'
2638	6"	ROBELLINI PALM	BH=18'
2639	6"	ROBELLINI PALM	BH=24'
2640	8"	POND APPLE	
2641	8"	POND APPLE	
2642	8"	POND APPLE	
2643	14"	SEA GRAPE	
2644	6"	SABAL PALM	BH=14'
2645	3"	ALEXANDER PALM	BH=24'
2646	8"	SABAL PALM	BH=40'
2647	4"	CHRISTMAS PALM	BH=18'
2648	4"	ALEXANDER PALM	BH=46'
2649	6"	SABAL PALM	BH=2'
2650	3"	ALEXANDER PALM	BH=24'
2651	3"	ALEXANDER PALM	BH=8'
2652	8"	SABAL PALM	BH=32'
2653	4"	ALEXANDER PALM	BH=30'
2654	6"	UNKNOWN TREE	
2655	3"	SABAL PALM	BH=2'
2656	4"	SABAL PALM	BH=22'
2657	4"	ALEXANDER PALM	BH=38'
2658	6"	SABAL PALM	BH=4'
2659	6"	SABAL PALM	BH=8'
2660	4"	SABAL PALM	BH=2'
2661	4"	FAN PALM	BH=28'
2662	8"	SABAL PALM	BH=3'
2663	14"	SABAL PALM	BH=14'
2664	4"	SABAL PALM	BH=8'
2665	10"	SABAL PALM	BH=22'
2666	4"	CHRISTMAS PALM	BH=8'
2667	10"	SABAL PALM	BH=24'
2668	4"	CHRISTMAS PALM	BH=12'
2669	6"	SEA GRAPE	
2670	8"	SEA GRAPE	
2677	14"	SCHEFFLERA	
3181	18"	SCHEFFLERA	
3182	18"	SCHEFFLERA	
3183	6"	CHRISTMAS PALM	BH=17'
3184	6"	CHRISTMAS PALM	BH=17'
3188	6"	SEA GRAPE	
3189	6"	SEA GRAPE	
3190	6"	SEA GRAPE	
3191	8"	CHRISTMAS PALM	BH=28'
3192	16"	ROYAL PALM	BH=50'
3193	14"	ROYAL PALM	BH=34'
3194	14"	ROYAL PALM	BH=36'
3195	6"	SEA GRAPE	
3196	6"	SEA GRAPE	
3197	6"	SEA GRAPE	
3198	2"	ALEXANDER PALM	BH=14'
3199	10"	SCHEFFLERA	
3219	8"	CHRISTMAS PALM	BH=24'
3246	3"	UNKNOWN TREE	
3418	24"	SCHEFFLERA	
3426	10"	UNKNOWN TREE	
3427	10"	UNKNOWN TREE	
3428	10"	UNKNOWN TREE	
3468	4"	ALEXANDER PALM	BH=32'
3608	12"	COCONUT PALM	BH=28'
3609	10"	COCONUT PALM	BH=34'
3610	10"	COCONUT PALM	BH=34'
3611	10"	COCONUT PALM	BH=30'
3612	10"	COCONUT PALM	BH=36'
3613	10"	COCONUT PALM	BH=36'
3614	10"	COCONUT PALM	BH=36'
3615	10"	COCONUT PALM	BH=36'
3649	12"	SABAL PALM	BH=5'
3650	18"	SCHEFFLERA	
3651	4"	CHRISTMAS PALM	BH=10'
3652	6"	CHRISTMAS PALM	BH=16'
3653	4"	ALEXANDER PALM	BH=16'
3654	4"	ALEXANDER PALM	BH=16'
3655	4"	ALEXANDER PALM	BH=24'
3656	4"	SABAL PALM	BH=20'
3657	4"	ALEXANDER PALM	BH=16'
3658	4"	ALEXANDER PALM	BH=16'
3659	4"	ALEXANDER PALM	BH=16'
3660	4"	ALEXANDER PALM	BH=16'
3661	10"	SABAL PALM	BH=16'
3662	12"	SABAL PALM	BH=9'
3663	8"	CHRISTMAS PALM	BH=40'
3664	8"	CHRISTMAS PALM	BH=40'
3665	8"	CHRISTMAS PALM	BH=24'
3666	8"	CHRISTMAS PALM	BH=30'
3667	6"	CHRISTMAS PALM	BH=20'
3668	6"	CHRISTMAS PALM	BH=20'
3669	6"	CHRISTMAS PALM	BH=20'
3670	6"	CHRISTMAS PALM	BH=20'
3671	6"	CHRISTMAS PALM	BH=20'
3674	10"	UNKNOWN TREE	
3675	10"	UNKNOWN TREE	
3676	10"	UNKNOWN TREE	
3677	10"	UNKNOWN TREE	
3678	10"	UNKNOWN TREE	
3679	6"	UNKNOWN TREE	
3680	6"	UNKNOWN TREE	
3697	2"	ARECA BAMBOO PALM	BH=5'
3737	10"	UNKNOWN TREE	
3738	10"	UNKNOWN TREE	
3739	10"	BOTTLEBRUSH	
3740	6"	CHRISTMAS PALM	BH=32'
3741	6"	CHRISTMAS PALM	BH=30'
3744	14"	MAHOGANY	
3745	14"	SABAL PALM	BH=40'
3891	10"	SABAL PALM	BH=14'
3892	10"	SABAL PALM	BH=36'
3893	10"	SABAL PALM	BH=22'
3894	8"	SABAL PALM	BH=34'
3895	8"	SABAL PALM	BH=22'
3896	10"	SABAL PALM	BH=24'
3897	12"	SABAL PALM	BH=34'
3898	12"	SABAL PALM	BH=36'
3909	2"	CHRISTMAS PALM	BH=5'

NOTE:

SEE SHEET 1 FOR BOUNDARY SURVEY, LEGAL DESCRIPTION, SURVEY NOTES AND CERTIFICATION.
SEE SHEETS 2 THRU 7 FOR SITE LOCATIONS, ELEVATIONS AND BURIED UTILITIES.
SEE SHEET 8 FOR TREE LIST WITH SIZE, TYPE AND BUD HEIGHT.

ADDITION AND DELETIONS TO SURVEY MAPS AND REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES. THIS DOCUMENT CONSISTS OF 8 SHEETS AND EACH SHEET SHALL NOT BE CONSIDERED FULL, VALID AND COMPLETE UNLESS ATTACHED TO THE OTHER.

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FIELD BOOK:	T.S. 12-12-11
PAGE(S):	T.S. 11-18-10
	T.S. 02-01-10
BY:	DATE:

DESCRIPTION:
UPDATE SURVEY F.B. 2560 PG. 54
UPDATE SURVEY F.B. 2519 PG. 65
UPDATE SURVEY
UPDATE SURVEY F.B. 2430; PG. 16

CRAVEN • THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
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FAX: (954) 739-6409 TEL.: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114

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SOUTHGATE TOWERS
910 WEST AVENUE, MIAMI BEACH, FLORIDA

PREPARED FOR:
GUMENICK FAMILY INVESTMENTS #2, LTD.

BOUNDARY, LOCATION AND TOPOGRAPHIC SURVEY

PROJECT NO.
07-0088

S-8

SHEET 8 OF 8

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Southgate Towers | Miami Beach, Florida

Zoning District

		Remarks
Zoning Designation	RM-3 (Multi-family, High Density)	

Floor Area Ratio (F.A.R.)

	Required	Approved to Remain	Remarks
Maximum FAR (lot area greater than 45,000 sq ft)	2.75	2.97	See A-5 for the F.A.R. analysis for each floor. The F.A.R. is unchanged due to the proposed design in this document.
Lot Size	176,023 sq ft	176,023 sq ft	
Floor Area	484,063 sq ft	522,614 sq ft	

Setbacks

	Required	Approved to Remain	Remarks
At-Grade Parking Lot			Non of the existing setback are changed due to the proposed design in this document.
Front	20.00 ft	2.49 ft	
Side, Interior (Greater of 5 ft or 5% of lot width)	32.25 ft	2.85 ft	
Side, Facing a Street (Greater of 5 ft or 5% of lot width)	32.25 ft	68.67 ft	
Rear, Non-Oceanfront Lots	5.00 ft	0.97 ft	
Pedestal			
Front	20.00 ft	10.0 ft	
Side, Interior (Sum of Side Yards = 16% lot width; Min of Greater of 7.5 ft or 8% of lot width)	51.60 ft	15.9 ft	
Side, Facing a Street (Sum of Side Yards = 16% lot width; Min of Greater of 7.5 ft or 8% of lot width)	51.60 ft	6.7 ft	
Rear, Non-Oceanfront Lots (10% of lot depth)	27.30 ft	40.0 ft	
Tower			
Front (20 ft plus 1 ft for every 1 ft increase in height above 50 ft, to a max of 50 ft)	50.00 ft	10.0 ft	
Side, Interior (Pedestal setback plus 0.10 of height of tower portion. Total shall not exceed 50 ft)	50.00 ft	15.9 ft	
Side, Facing a Street (Sum of Side Yards = 16% lot width; Min of Greater of 7.5 ft or 8% of lot width)	53.20 ft	10.0 ft	
Rear, Non-Oceanfront Lots (15% of lot depth)	40.95 ft	40.0 ft	

Height

	Required	Approved to Remain	Remarks
Maximum Building Height	150 ft	122.5 ft	The building height, number of stories, and the non-habitable projections are unchanged due to the proposed design in this document.
Maximum Number of Stories	16	14	
Highest Non-Habitable Projection	N/A	156.33 ft	

Unit Size

	Required	Previously Approved	Current Bldg Permit	Remarks
Total Number of Units	N/A	277+273=550 Units	242+253=495 Units	The number of units was decreased when the building was submitted for permit. The unit size remains unchanged. Nothing is altered by the proposed design in this document.
Unit/Floor (Ground Level)	N/A	33 Units/Floor	11 Units in South Tower	
Unit/Floor (Typical Tower Level)	N/A	20 Units/Floor	20 Units/Floor	
Minimum Size (For Rehabilitated Buildings)	400 sq ft	270 sq ft	270 sq ft	
Average Size (For Rehabilitated Buildings)	550 sq ft	678 sq ft	678 sq ft	

Parking Summary

	Required	Existing	Proposed	Remarks
Apartments (on lots wider than 50 ft)				Parking District No. 1 Min. Size = 8.5 ft x 18 ft
1.5 Spaces/Unit (Less than 999 sq ft)	1.5 x 442 = 663	71 Spaces	100 Spaces	This parking tabulation, which corresponds to the proposed design, was originally submitted as part of the building permit (BX120017). These numbers were approved with that permit based on a non-comforming status and the covenant for the use of spaces in the garage across the street. The change in the number of total spaces occured due to the addition of accessible spaces on the site. The tabulation is included here for reference only.
1.75 Spaces/Unit (Between 1000 & 1200 sq ft)	1.75 x 49 = 86	18 Spaces	18 Spaces	
2.0 Spaces/Unit (Over 1200 sq ft)	2.0 x 4 = 8	2 Spaces	2 Spaces	
Guest Parking (10% of Required Spaces)	0.1 x 757 = 76	0 Spaces	0 Spaces	
Restaurant				
1.0 Space / 4 Chairs	198 / 4 = 50 Spaces	25 Spaces	4 Spaces	
Retail				
1.0 Space / 300 SF	3970 / 300 = 13 Spaces	13 Spaces	4 Spaces	
Cabanas				
1.0 Space / 2 Cabanas	8 / 2 = 4 Spaces	0 Spaces	4 Spaces	Any reduction in parking to be provided off-site within 500 feet, as permitted by code
Total	899 Spaces	129 Spaces	119 Spaces	

Loading Summary

	Required	Existing	Proposed	Remarks
Residential Building				Minimum Size of Loading Area = 10 ft x 20 ft
Over 100 Units but not more than 200 Units	3 Spaces	3 Spaces	3 Spaces	The loading on the site is unchanged due to the proposed design in this document.
For each additional 100 Units or fraction thereof over 200 Units	4 Spaces	0 Spaces	0 Spaces	

Location Site Plan/ Existing Zoning Designations

PROJECT # 11119.04

Southgate Towers

FOR

Gumenick PROPERTIES

ZONING DATA & LOCATIONAL SITE PLAN

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

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Jonathan Cardello
Lic#: AR93391

ADD Inc
ARCHITECTURE + DESIGN

1 | 800 WEST AVE: LOOKING SOUTHEAST

2 | 800 WEST AVE: LOOKING SOUTHWEST

3 | 1000 WEST AVE: LOOKING SOUTHWEST

4 | 1000 WEST AVE: LOOKING WEST

5 | 833 & 899 WEST AVE: LOOKING EAST

6 | 833 & 899 WEST AVE: LOOKING SOUTH-EAST

7 | 959 WEST AVE: LOOKING SOUTHWEST

8 | 959 WEST AVE: LOOKING NORTHEAST

9 | 1001 WEST AVE (PARKING LOT): LOOKING NORTHEAST

KEY PLAN
SCALE: NONE

PROJECT # 11119.04

Southgate Towers
FOR
Gumenick PROPERTIES

SURROUNDING SITE PHOTOGRAPHS

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
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Lic#: AA26001507

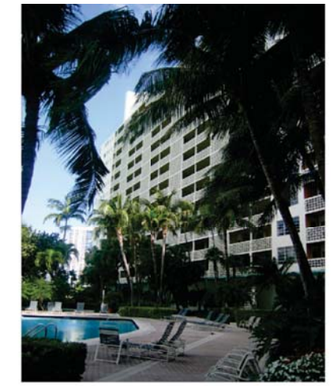
Jonathan Cardello
Lic#: AR93391

ARCHITECTURE + DESIGN

1 | BUILDING B (NORTH): LOOKING WEST

2 | BUILDING B (NORTH): LOOKING SOUTHWEST

3 | BUILDING B (NORTH): LOOKING NORTH

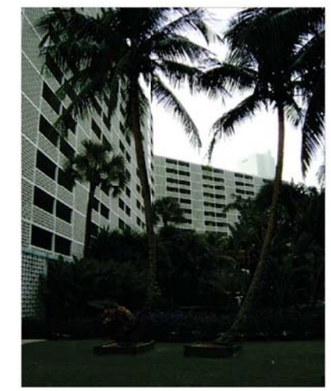


4 | BUILDING B (NORTH): LOOKING NORTHEAST

5 | BUILDING A (SOUTH): LOOKING EAST

6 | BUILDING A (SOUTH): LOOKING SOUTHWEST

7 | BUILDING A (SOUTH): LOOKING NORTHWEST



8 | BUILDING A (SOUTH): LOOKING SOUTH

KEY PLAN
SCALE: NONE

PROJECT # 11119.04

Southgate Towers
FOR
Gumenick PROPERTIES

EXISTING BUILDING PHOTOGRAPHS

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

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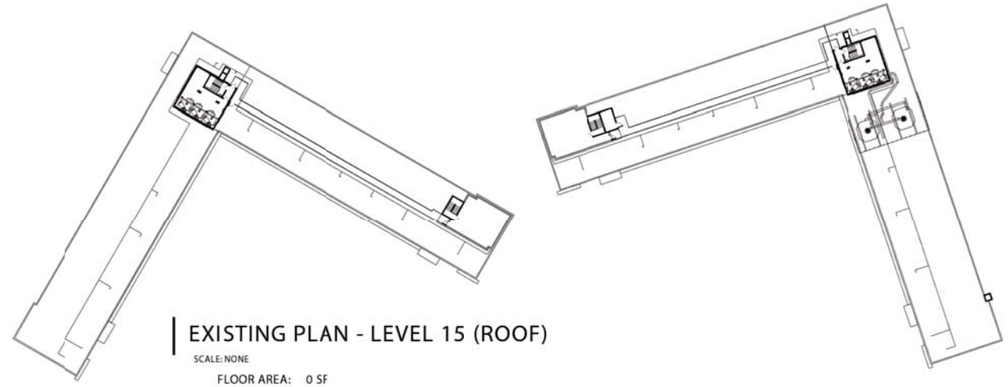
F. 305.482.8770
www.addinc.com
Lic#: AA26001507

Jonathan Cardello
Lic#: AR93391

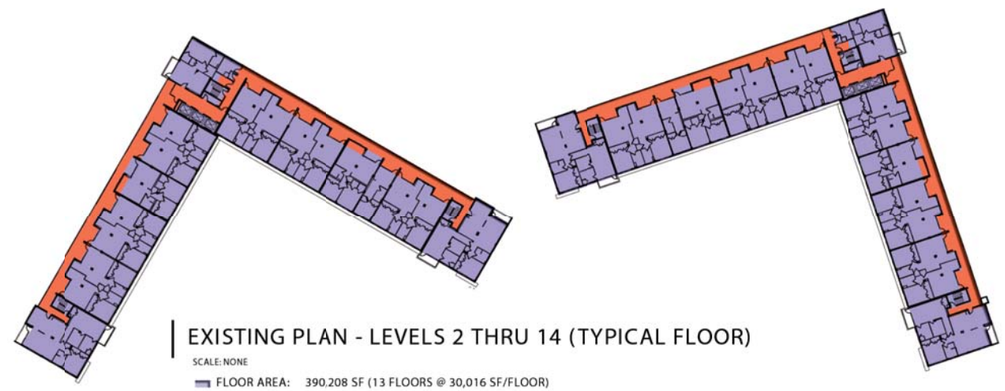
ARCHITECTURE + DESIGN



EXISTING PLAN - LEVEL 15 (ROOF)

SCALE: NONE

FLOOR AREA: 0 SF

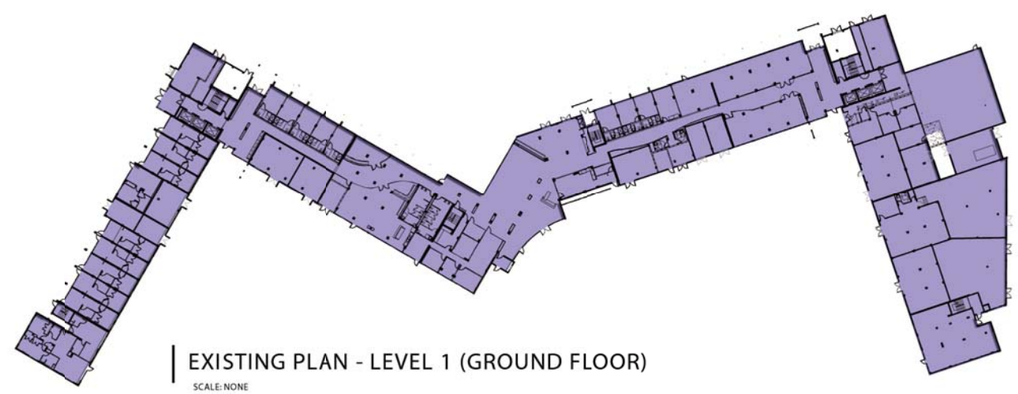


EXISTING PLAN - LEVELS 2 THRU 14 (TYPICAL FLOOR)

SCALE: NONE

FLOOR AREA: 390,208 SF (13 FLOORS @ 30,016 SF/FLOOR)

EXTERIOR CORRIDOR: 87,854 SF (13 FLOORS @ 6758 SF/FLOOR)



EXISTING PLAN - LEVEL 1 (GROUND FLOOR)

SCALE: NONE

FLOOR AREA: 44,552 SF

TOTAL AREA = 522,614 SF

PROJECT # 11119.04

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FOR

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F.A.R. ANALYSIS

11.02.2013

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B-0 SITE PLANS

B-1: Existing Site Plan
B-2: Demolition Site Plan
B-3: Proposed Site Plan

PROJECT # 11119.04

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FOR

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SITE PLANS

11.02.2013

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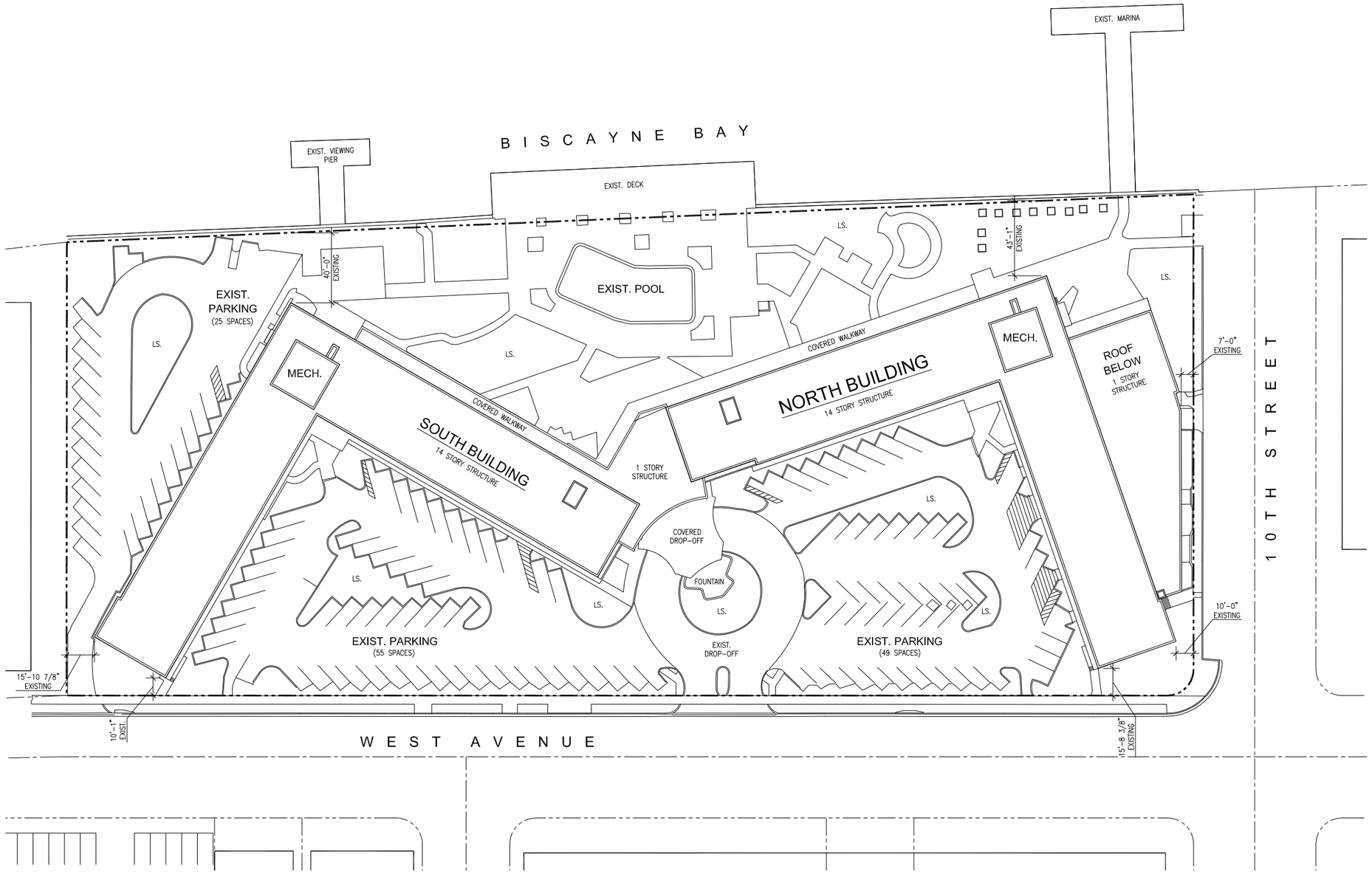
B-0



0' 32' 64'

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FOR

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EXISTING SITE PLAN

11.02.2013

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B-1

= AREA OF DEMOLITION FOR SITE RENOVATION

BISCAYNE BAY

EXIST. MARINA

EXIST. VIEWING PIER

EXIST. DECK

40'-0" EXISTING

43'-1" EXISTING

EXIST. POOL

EXIST. PARKING (25 SPACES)

LS.

MECH.

COVERED WALKWAY

SOUTH BUILDING
14 STORY STRUCTURE

NORTH BUILDING
14 STORY STRUCTURE

1 STORY STRUCTURE

ROOF BELOW
1 STORY STRUCTURE

7'-0" EXISTING

10'-0" EXISTING

COVERED DROP-OFF

FOUNTAIN

EXIST. DROP-OFF

EXIST. PARKING (55 SPACES)

EXIST. PARKING (49 SPACES)

15'-10 7/8" EXISTING

10'-1" EXIST.

15'-8 3/8" EXISTING

WEST AVENUE

10TH STREET

0' 32' 64'

PROJECT # 11119.04

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DEMOLITION SITE PLAN

11.02.2013

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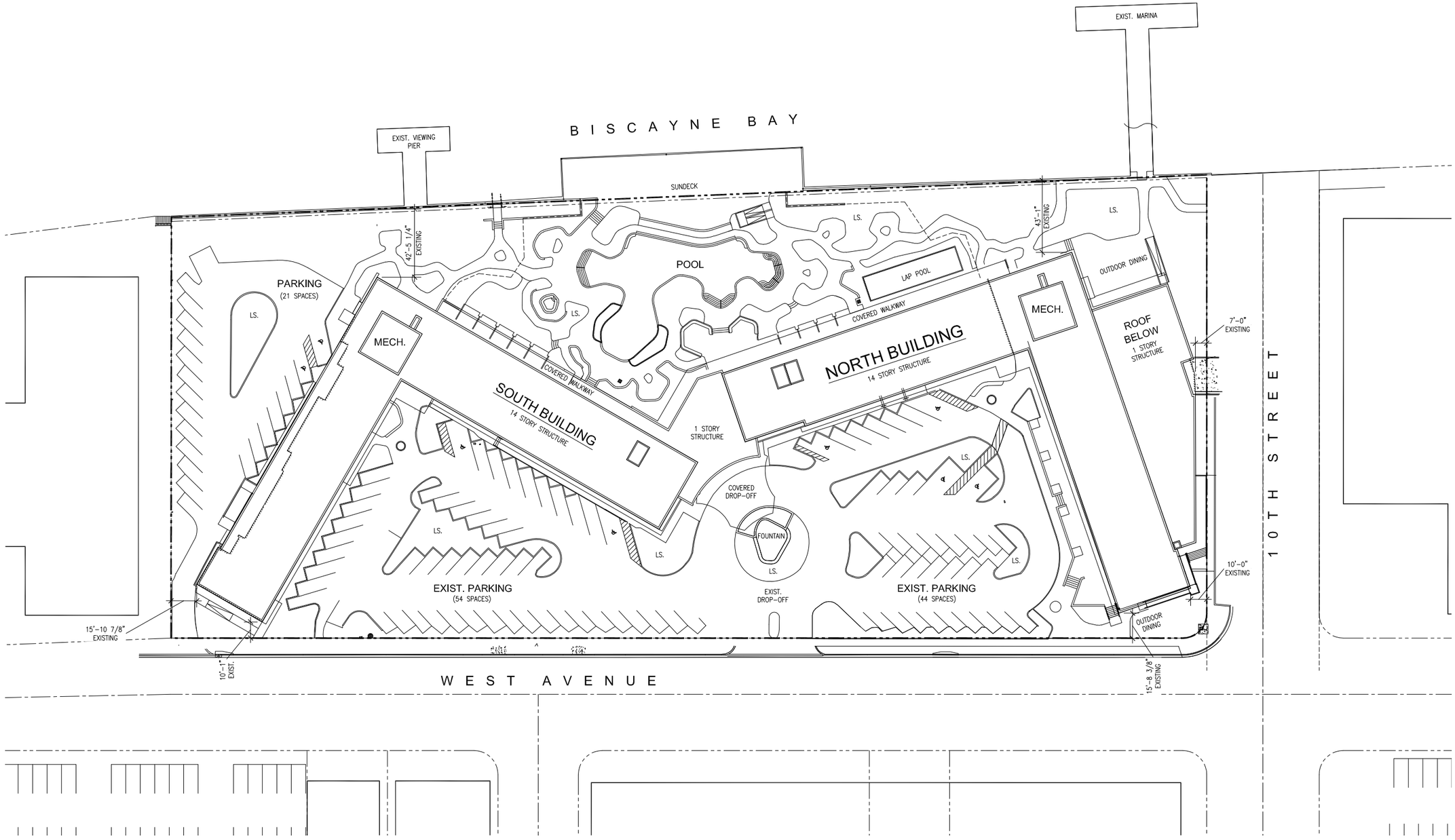
B-2



0' 32' 64'

PROJECT # 11119.04

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FOR

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PROPOSED SITE PLAN

11.02.2013

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B-3

C-0 ROOFTOP MODIFICATIONS

C-1: Proposed Roof Plan - North Tower
C-2: Proposed Modification Elevations

PROJECT # 11119.04

Southgate Towers

FOR

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ROOFTOP MODIFICATIONS

11.02.2013

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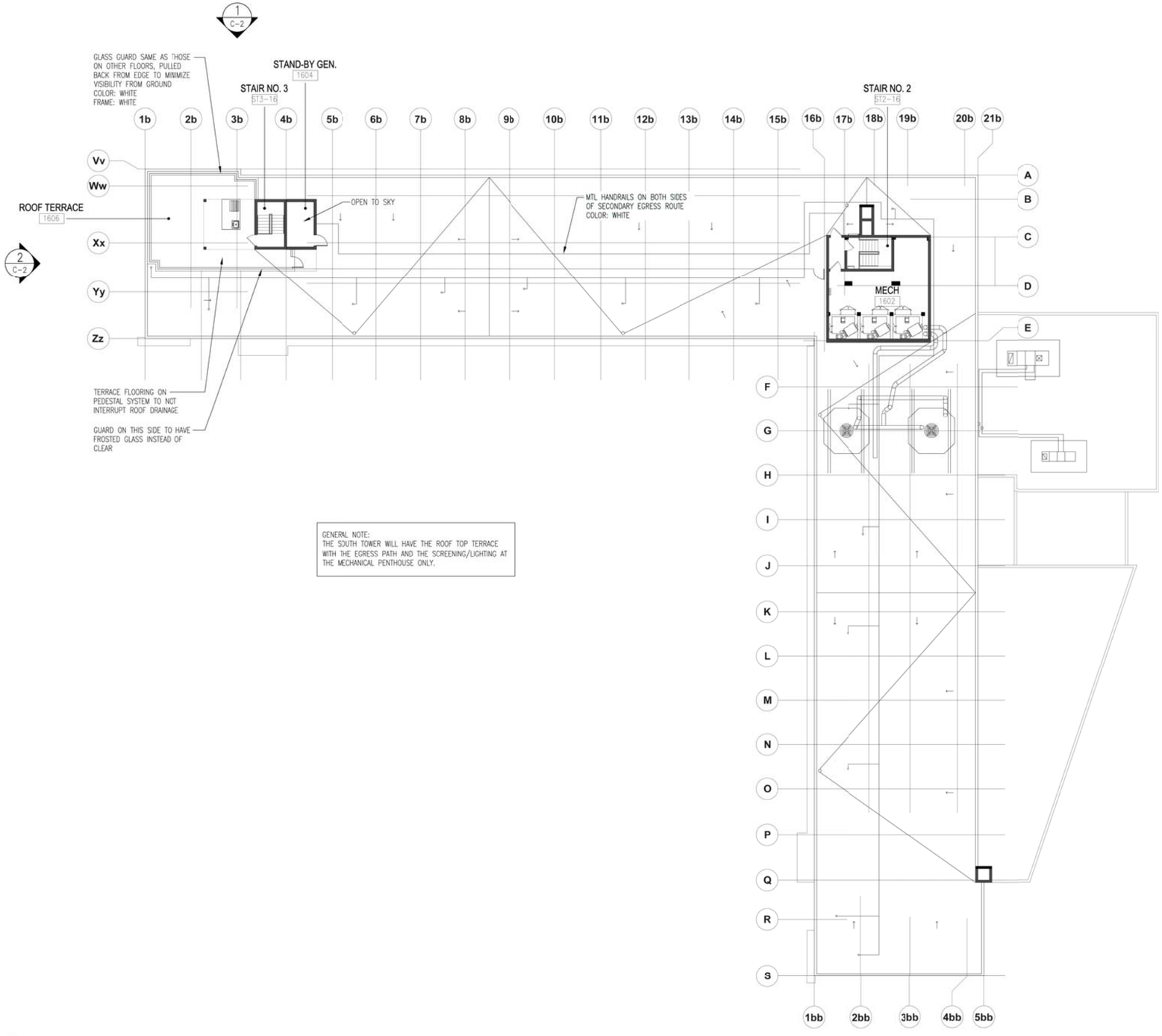
C-0



GENERAL NOTE:
THE SOUTH TOWER WILL HAVE THE ROOF TOP TERRACE WITH THE EGRESS PATH AND THE SCREENING/LIGHTING AT THE MECHANICAL PENTHOUSE ONLY.

0' 16' 32'

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PROPOSED ROOF PLAN NORTH TOWER

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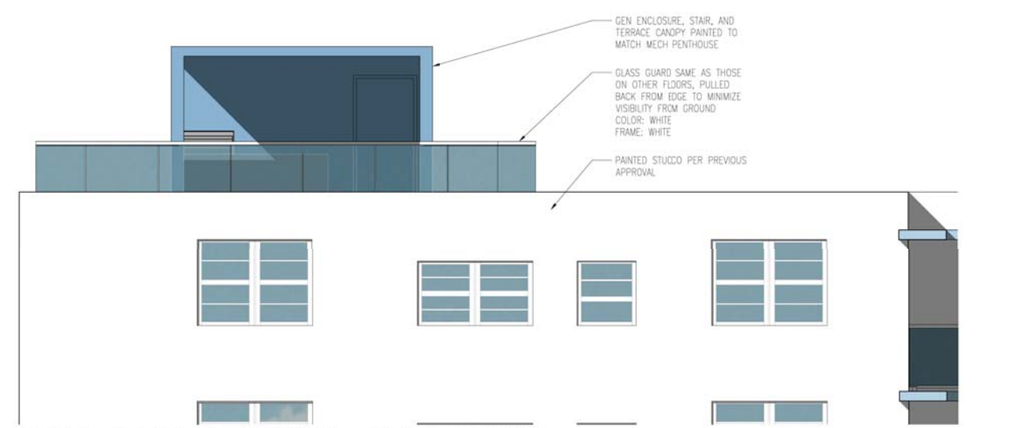
C-1

1 WEST ELEVATION NORTH TOWER – PROPOSED TERRACE
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION NORTH TOWER – PROPOSED TERRACE
SCALE: 1/4" = 1'-0"

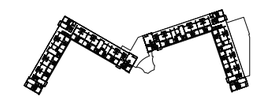
0' 4' 8'

PROJECT # 11119.04

Southgate Towers

FOR

Gumenick PROPERTIES



PROPOSED MODIFICATIONS ELEVATIONS

11.02.2013

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C-2

D-0 GROUND FLOOR MODIFICATION

D-1: Proposed Restaurant Outdoor Awning
D-2: Proposed Restaurant Outdoor Awning Plan
D-3: North Tower Existing & Proposed Elevations
D-4: North Tower Existing & Proposed Elevations

PROJECT # 11119.04

Southgate Towers

FOR

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GROUND FLOOR MODIFICATIONS

11.02.2013

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D-0

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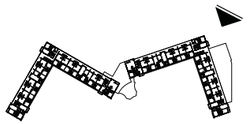

PROPOSED
RESTAURANT
OUTDOOR AWNING

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION

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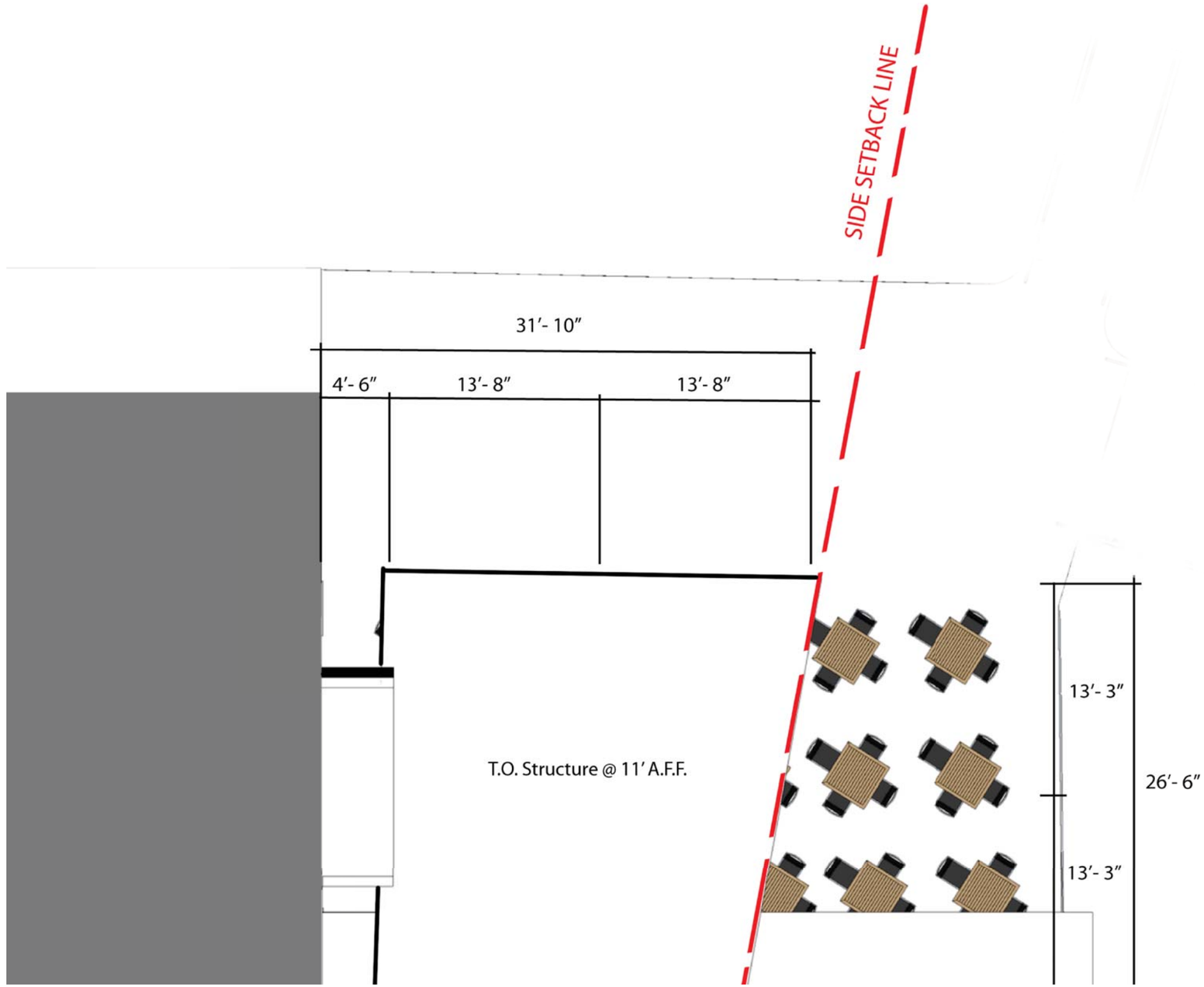
D-1

PROJECT # 11119.04



Southgate Towers

FOR

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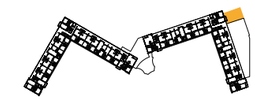

PROPOSED RESTAURANT OUTDOOR AWNING PLAN

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION

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D-2

PROJECT # 11119.04

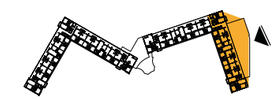
NORTH TOWER - EXISTING PARTIAL NORTH ELEVATION

NORTH TOWER - PROPOSED PARTIAL NORTH ELEVATION

Southgate Towers

FOR

Gumenick PROPERTIES



NORTH TOWER
EXISTING & PROPOSED
ELEVATIONS

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION

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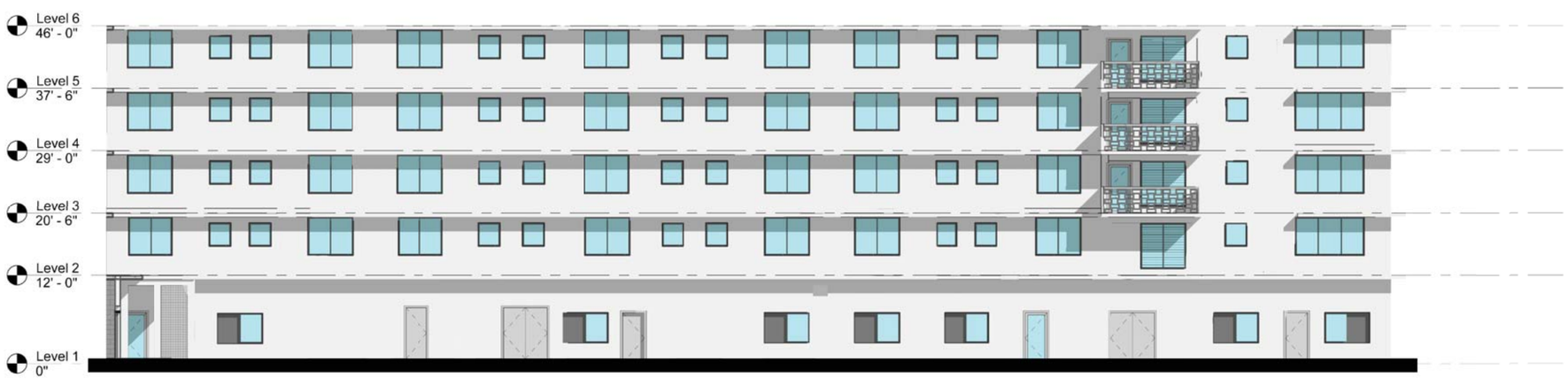
D-3

PROJECT # 11119.04



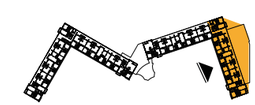
NORTH TOWER - EXISTING SOUTH PARTIAL ELEVATION

NORTH TOWER - PROPOSED SOUTH PARTIAL ELEVATION

Southgate Towers

FOR

Gumenick PROPERTIES



NORTH TOWER
EXISTING & PROPOSED
ELEVATIONS

11.02.2013

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D-4

PROJECT # 11119.04

L-0 LANDSCAPE

L-100: Overall Site Tree / Palm Disposition Plan
L-101: Tree / Palm Disposition Plan
L-102: Tree / Palm Disposition Plan
L-103: Tree / Palm Disposition Plan
L-104: Tree / Palm Disposition Plan
L-105: Tree / Palm Disposition Plan
L-106: Tree / Palm Disposition Plan
L-107: Tree / Palm Disposition List
L-200: Illustravtive Site Plan
L-201: Section Key Plan
L-202: Site Sections
L-203: Detail Site Plan
L-300: Overall Site Planting Plan
L-301: Planting Plan
L-302: Planting Plan
L-303: Planting Plan
L-304: Planting Plan
L-305: Planting Plan
L-306: Planting Plan
L-400: Overall Lighting Plan
L-401: Lighting Plan
L-402: Lighting Plan
L-403: Lighting Plan
L-404: Lighting Plan
L-405: Lighting Plan
L-406: Lighting Plan
L-410: Lighting Details

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LANDSCAPE

11.02.2013

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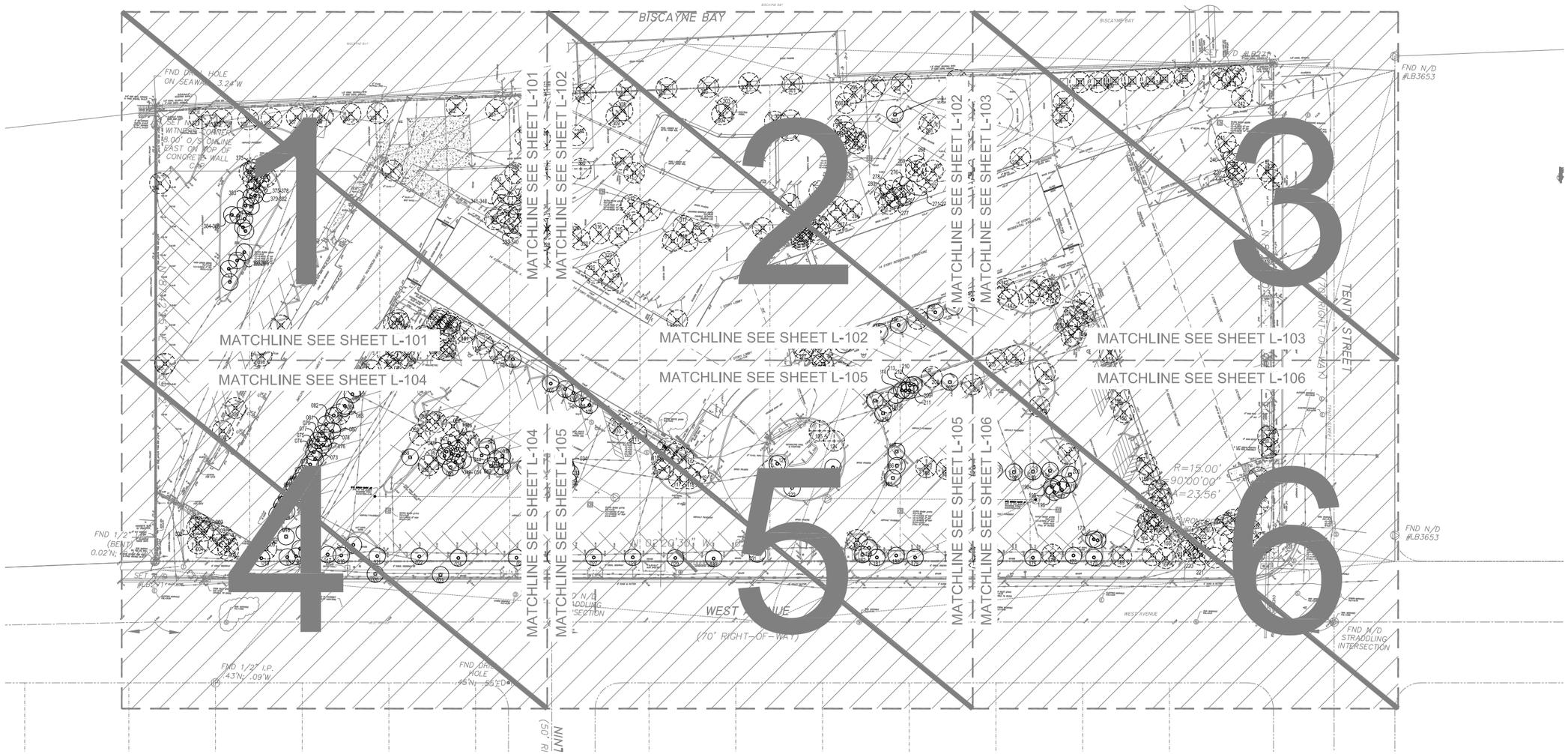

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LC0000001
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OVERALL SITE TREE/PALM DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 30'-0"

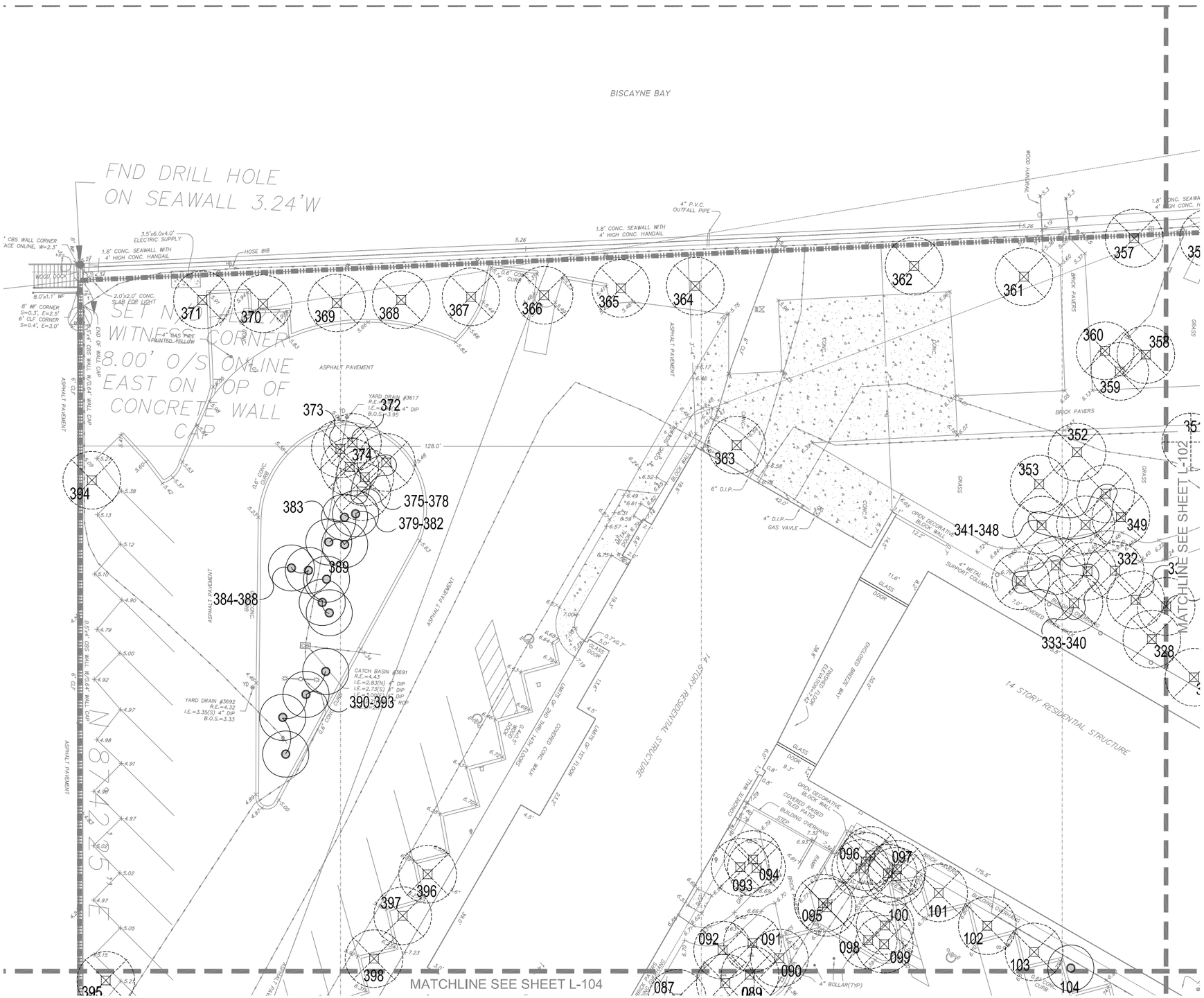
0 30' 60'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-100



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TREE/PALM DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 10'-0"

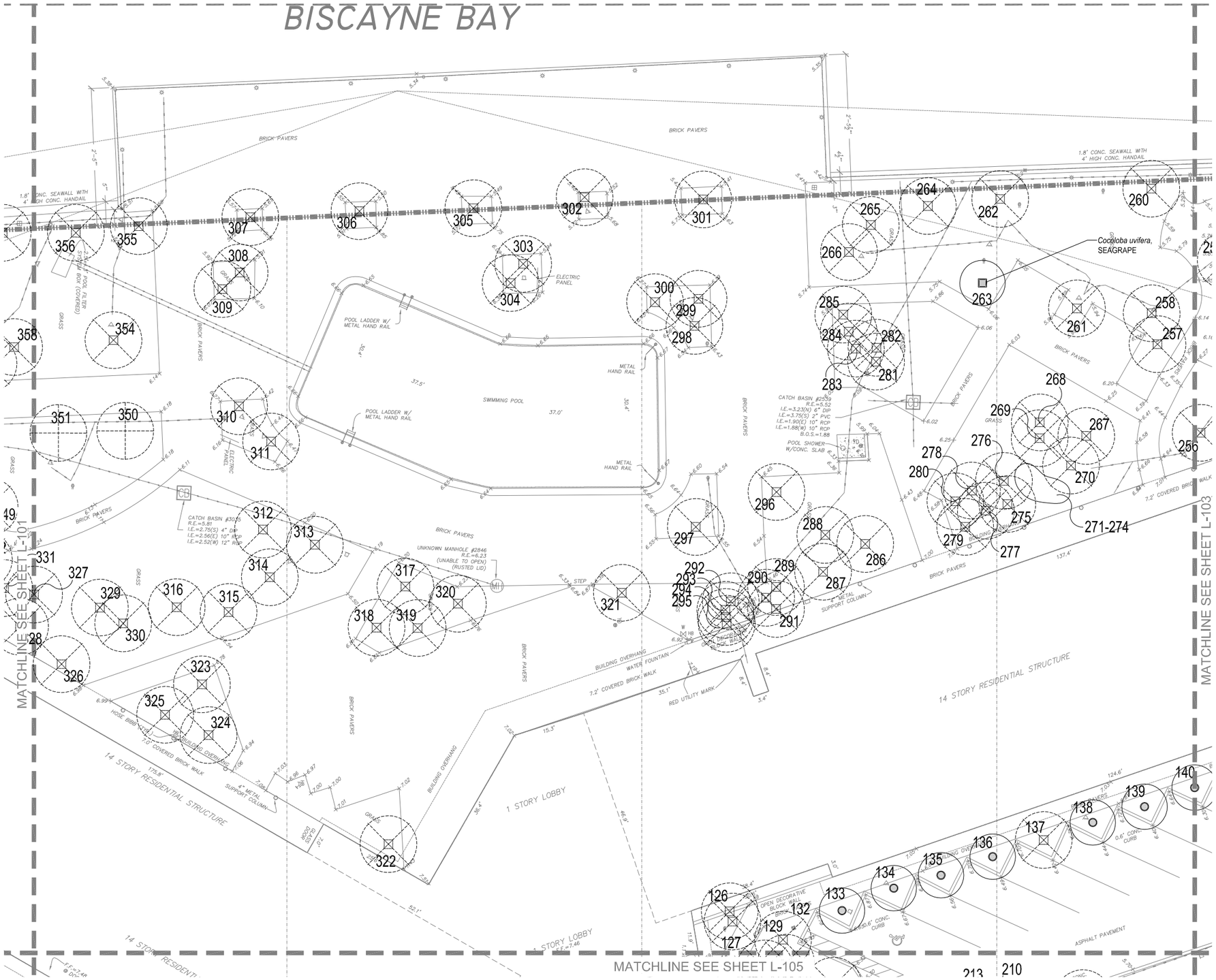
0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-101



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FOR

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TREE/PALM
DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

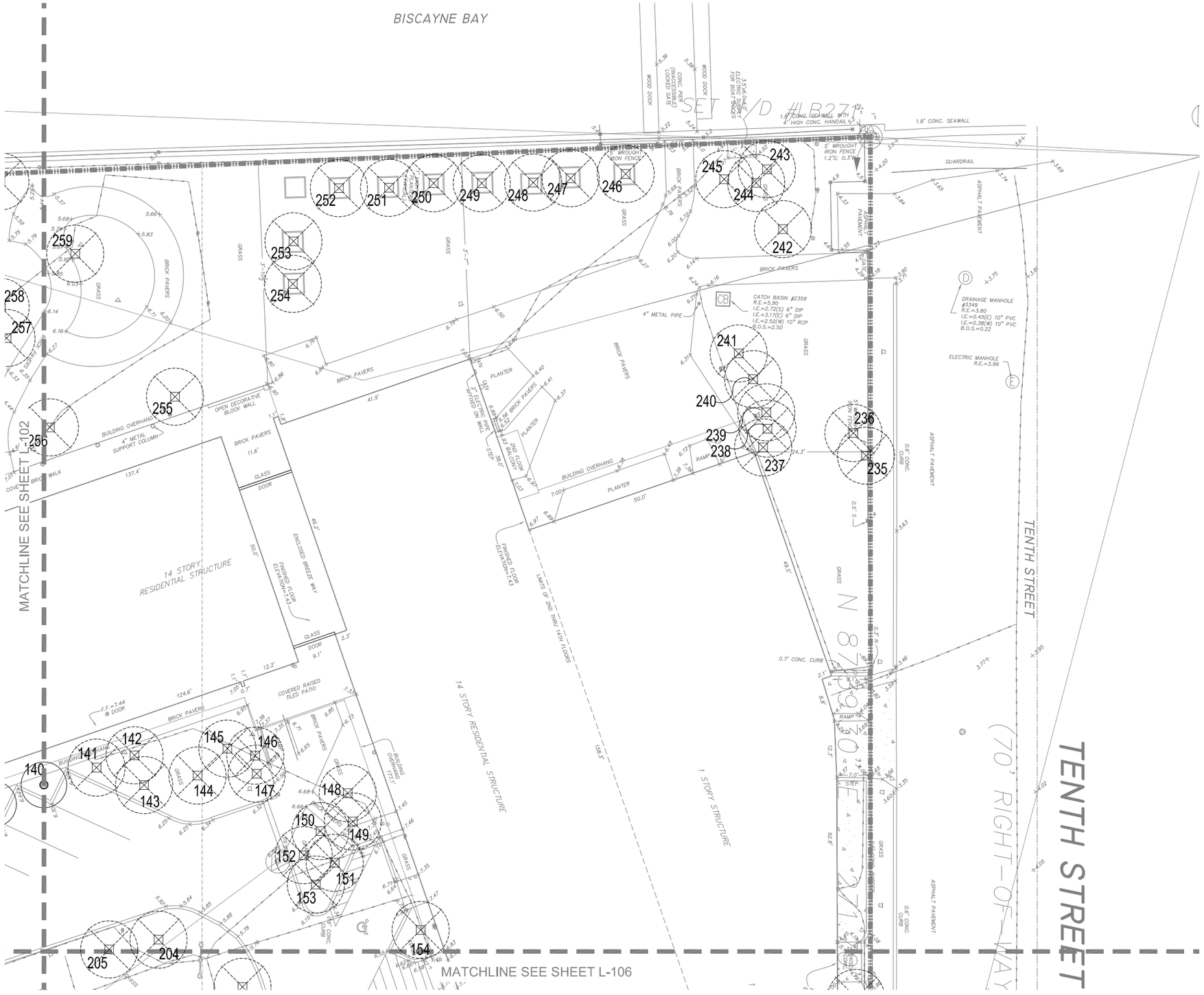
1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-102



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TREE/PALM DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 10'-0"

0 10 20

NORTH

DRB SUBMITTAL

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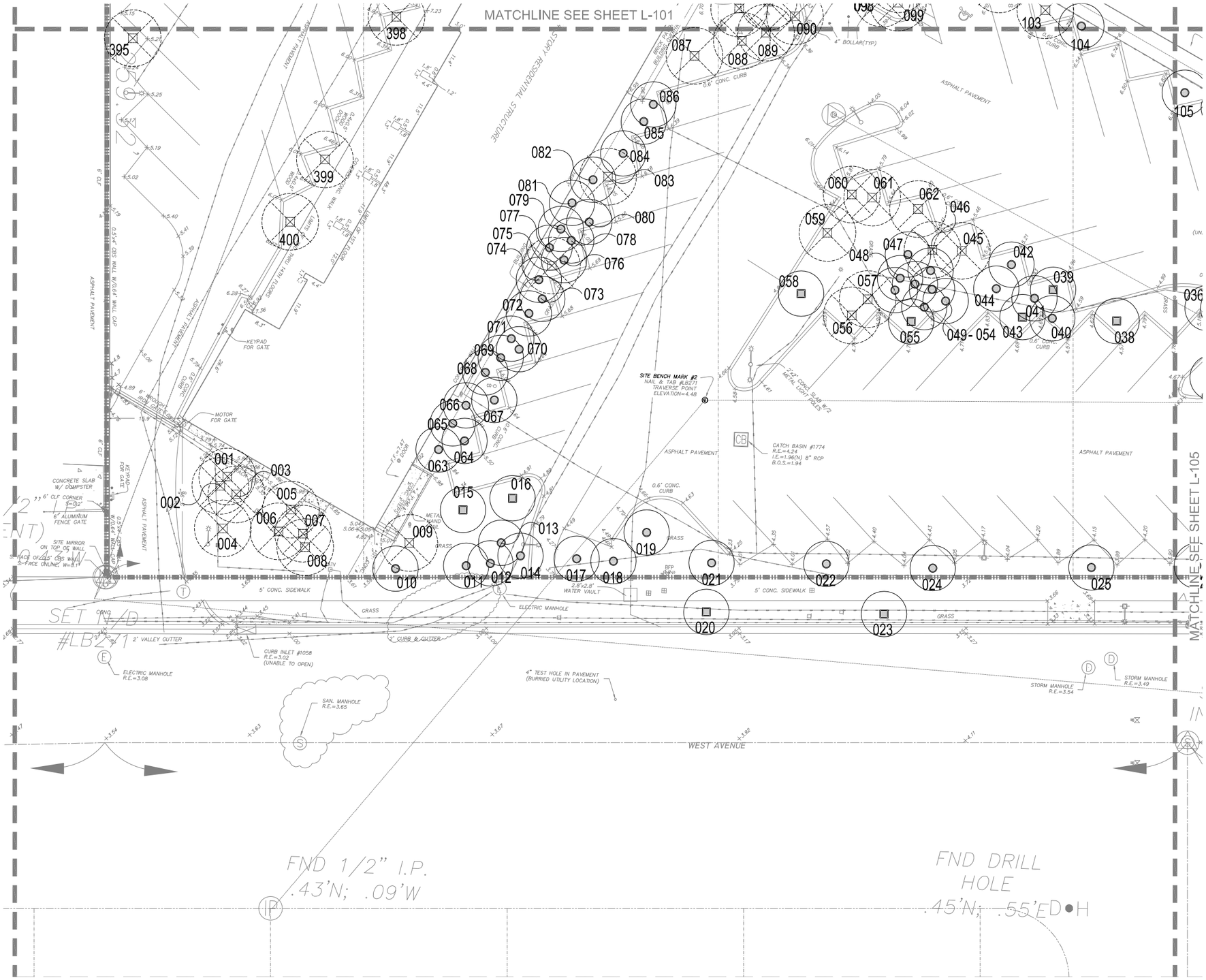
L-103



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TREE/PALM DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 10'-0"

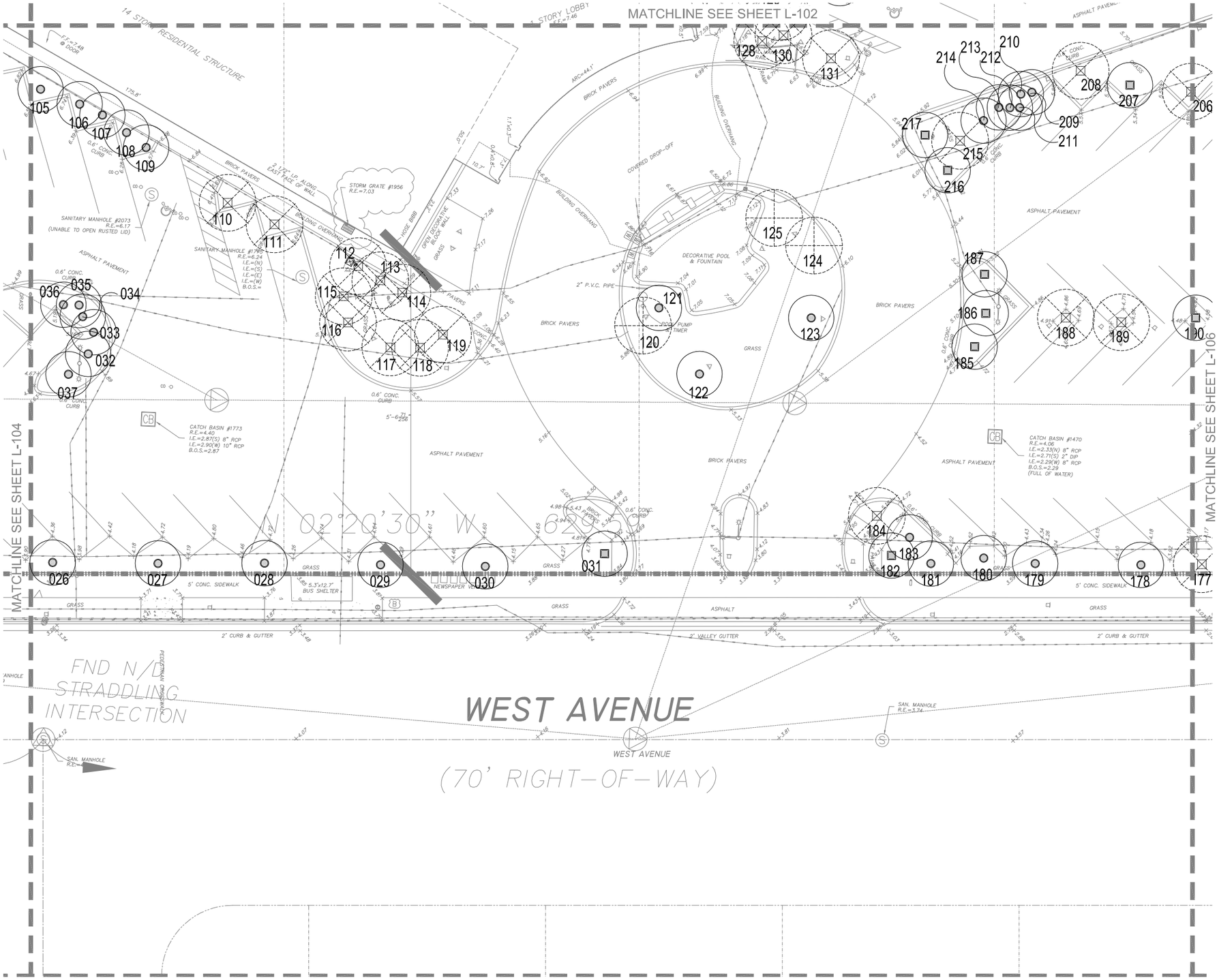
0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-104



Southgate Towers

FOR

Gumenick Properties

EDSA

1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330
www.edsa@jan.com
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PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

ARCHITECTURE DESIGN ADD Inc

TREE/PALM DISPOSITION PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-105

Southgate Towers

FOR

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LEGEND

- TREE TO REMAIN
- PALM TO REMAIN
- TREE / PALM TO BE RELOCATED
- TREE / PALM TO BE REMOVED

1" = 10'-0"

0 10 20

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-106

NUMBER	BOTANICAL NAME	COMMON NAME	D.B.H. IN INCHES	SIZE - (PALMS = C.T.) IN FT.	CANOPY SIZE	CONDITION	DISPOSITION
1	*Sabal palmetto*	Sabal Palm		35'		fair	DEMO
2	*Sabal palmetto*	Sabal Palm		18'		good	DEMO
3	*Sabal palmetto*	Sabal Palm		22'		good	DEMO
4	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
5	*Sabal palmetto*	Sabal Palm		35'		fair	DEMO
6	*Sabal palmetto*	Sabal Palm		20'		good	DEMO
7	*Sabal palmetto*	Sabal Palm		25'		good	DEMO
8	*Sabal palmetto*	Sabal Palm		35'		fair	DEMO
9	*Schefflera actinophylla*	Umbrella Tree	26'		12'	poor	DEMO
10	*Roystonea spp.*	Royal Palm		50'		good	PROTECT IN PLACE
11	*Roystonea spp.*	Royal Palm		45'		good	PROTECT IN PLACE
12	*Phoenix roebelenii*	Pygmy Date Palm		8'		fair	PROTECT IN PLACE
13	*Phoenix roebelenii*	Pygmy Date Palm		8'		fair	PROTECT IN PLACE
14	*Phoenix roebelenii*	Pygmy Date Palm		8'		fair	PROTECT IN PLACE
15	*Pongamia pinnata*	Pongamia	7"		15'	fair	PROTECT IN PLACE
16	*Pongamia pinnata*	Pongamia	6'		12'	good	PROTECT IN PLACE
17	*Sabal palmetto*	Sabal Palm		30'		fair	PROTECT IN PLACE
18	*Roystonea spp.*	Royal Palm		45'		good	PROTECT IN PLACE
19	*Pheonix dactylifera*	Date Palm		40'		good	PROTECT IN PLACE
20	*Tabebuia impetiginosa*	Pink Trumpet Tree	10"		15'	good	PROTECT IN PLACE
21	*Roystonea spp.*	Royal Palm		45'		good	PROTECT IN PLACE
22	*Roystonea spp.*	Royal Palm		35'		fair	PROTECT IN PLACE
23	*Tabebuia impetiginosa*	Pink Trumpet Tree	14"		12'	fair	PROTECT IN PLACE
24	*Roystonea spp.*	Royal Palm		40'		good	PROTECT IN PLACE
25	*Roystonea spp.*	Royal Palm		45'		fair	PROTECT IN PLACE
26	*Roystonea spp.*	Royal Palm		35'		good	PROTECT IN PLACE
27	*Roystonea spp.*	Royal Palm		40'		good	PROTECT IN PLACE
28	*Roystonea spp.*	Royal Palm		35'		good	PROTECT IN PLACE
29	*Roystonea spp.*	Royal Palm		30'		fair	PROTECT IN PLACE
30	*Roystonea spp.*	Royal Palm		40'		poor	PROTECT IN PLACE
31	*Quercus virginiana*	Live Oak	18"		32'	poor	PROTECT IN PLACE
32	*Phoenix roebelenii*	Pygmy Date Palm		5'		fair	PROTECT IN PLACE
33	*Phoenix roebelenii*	Pygmy Date Palm		5'		fair	PROTECT IN PLACE
34	*Phoenix roebelenii*	Pygmy Date Palm		8'		fair	PROTECT IN PLACE
35	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	PROTECT IN PLACE
36	*Phoenix roebelenii*	Pygmy Date Palm		7'		fair	PROTECT IN PLACE
37	*Dypsis lutescens*	Areca Palm		20'		fair	PROTECT IN PLACE
38	*Pongamia pinnata*	Pongamia	24"		30'	fair	PROTECT IN PLACE
39	*Pongamia pinnata*	Pongamia	16"		28'	fair	PROTECT IN PLACE
40	*Thrinax radiata*	Florida Thatch Palm		6'		good	PROTECT IN PLACE
41	*Thrinax radiata*	Florida Thatch Palm		2'		good	PROTECT IN PLACE
42	*Thrinax radiata*	Florida Thatch Palm		8'		good	PROTECT IN PLACE
43	*Pongamia pinnata*	Pongamia	22"		28'	fair	PROTECT IN PLACE
44	*Sabal palmetto*	Sabal Palm		2'		fair	PROTECT IN PLACE
45	*Thrinax radiata*	Florida Thatch Palm		25'		poor	DEMO
46	*Cocoloba unifera*	Seagrape	24"		12'	poor	DEMO
47	*Veitchia montogomeryana*	Montgomery Palm		25'		good	PROTECT IN PLACE
48	*Veitchia montogomeryana*	Montgomery Palm		40'		good	PROTECT IN PLACE
49	*Thrinax radiata*	Florida Thatch Palm		2'		good	PROTECT IN PLACE
50	*Thrinax radiata*	Florida Thatch Palm		2'		fair	PROTECT IN PLACE
51	*Thrinax radiata*	Florida Thatch Palm		4'		good	PROTECT IN PLACE
52	*Thrinax radiata*	Florida Thatch Palm		2'		good	PROTECT IN PLACE
53	*Thrinax radiata*	Florida Thatch Palm		2'		fair	PROTECT IN PLACE
54	*Thrinax radiata*	Florida Thatch Palm		3'		good	PROTECT IN PLACE
55	*Pongamia pinnata*	Pongamia	24"		30'	fair	PROTECT IN PLACE
56	*Phoenix roebelenii*	Pygmy Date Palm		4'		fair	DEMO
57	*Phoenix roebelenii*	Pygmy Date Palm		5'		fair	DEMO
58	*Cocoloba diversifolia*	Pigeon Plum	30"		30'	fair	PROTECT IN PLACE
59	*Cocoloba diversifolia*	Pigeon Plum	16"		22'	poor	PROTECT IN PLACE
60	*Phoenix roebelenii*	Pygmy Date Palm		4'		poor	DEMO
61	*Phoenix roebelenii*	Pygmy Date Palm		3'		poor	DEMO
62	*Phoenix roebelenii*	Pygmy Date Palm		3'		fair	DEMO
63	*Thrinax radiata*	Florida Thatch Palm		12'		good	PROTECT IN PLACE
64	*Sabal palmetto*	Sabal Palm		20'		fair	PROTECT IN PLACE
65	*Thrinax radiata*	Florida Thatch Palm		3'		good	PROTECT IN PLACE
66	*Thrinax radiata*	Florida Thatch Palm		2'		fair	PROTECT IN PLACE
67	*Thrinax radiata*	Florida Thatch Palm		6'		good	PROTECT IN PLACE
68	*Thrinax radiata*	Florida Thatch Palm		3'		good	PROTECT IN PLACE
69	*Sabal palmetto*	Sabal Palm		35'		fair	PROTECT IN PLACE
70	*Sabal palmetto*	Sabal Palm		15'		good	PROTECT IN PLACE
71	*Veitchia montogomeryana*	Montgomery Palm		25'		good	PROTECT IN PLACE
72	*Thrinax radiata*	Florida Thatch Palm		3'		good	PROTECT IN PLACE
73	*Thrinax radiata*	Florida Thatch Palm		12'		good	PROTECT IN PLACE
74	*Thrinax radiata*	Florida Thatch Palm		3'		fair	PROTECT IN PLACE
75	*Sabal palmetto*	Sabal Palm		30'		poor	DEMO
76	*Thrinax radiata*	Florida Thatch Palm		8'		good	PROTECT IN PLACE
77	*Thrinax radiata*	Florida Thatch Palm		2'		fair	PROTECT IN PLACE
78	*Sabal palmetto*	Sabal Palm		25'		good	PROTECT IN PLACE
79	*Thrinax radiata*	Florida Thatch Palm		5'		fair	PROTECT IN PLACE
80	*Thrinax radiata*	Florida Thatch Palm		15'		good	PROTECT IN PLACE
81	*Thrinax radiata*	Florida Thatch Palm		4'		good	PROTECT IN PLACE
82	*Thrinax radiata*	Florida Thatch Palm		15'		good	PROTECT IN PLACE
83	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
84	*Sabal palmetto*	Sabal Palm		40'		fair	PROTECT IN PLACE
85	*Sabal palmetto*	Sabal Palm		18'		fair	PROTECT IN PLACE
86	*Sabal palmetto*	Sabal Palm		30'		good	PROTECT IN PLACE
87	*Dypsis lutescens*	Areca Palm		20'		poor	DEMO
88	*Sabal palmetto*	Sabal Palm		15'		fair	DEMO
89	*Sabal palmetto*	Sabal Palm		20'		fair	DEMO
90	*Sabal palmetto*	Sabal Palm		20'		fair	DEMO
91	*Sabal palmetto*	Sabal Palm		18'		good	DEMO
92	*Sabal palmetto*	Sabal Palm		15'		fair	DEMO
93	*Veitchia montogomeryana*	Montgomery Palm		35'		fair	DEMO
94	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
95	*Veitchia montogomeryana*	Montgomery Palm		18'		fair	DEMO
96	*Thrinax radiata*	Florida Thatch Palm		25'		fair	DEMO
97	*Veitchia montogomeryana*	Montgomery Palm		25'		good	DEMO
98	*Sabal palmetto*	Sabal Palm		18'		fair	DEMO
99	*Sabal palmetto*	Sabal Palm		35'		fair	DEMO
100	*Sabal palmetto*	Sabal Palm		25'		fair	DEMO
101	*Sabal palmetto*	Sabal Palm		20'		good	DEMO
102	*Schefflera actinophylla*	Umbrella Tree	12"		12'	poor	DEMO
103	*Schefflera actinophylla*	Umbrella Tree	24"		15'	poor	DEMO
104	*Sabal palmetto*	Sabal Palm		30'		good	PROTECT IN PLACE
105	*Sabal palmetto*	Sabal Palm		35'		fair	PROTECT IN PLACE
106	*Sabal palmetto*	Sabal Palm		25'		fair	PROTECT IN PLACE
107	*Sabal palmetto*	Sabal Palm		30'		good	PROTECT IN PLACE
108	*Sabal palmetto*	Sabal Palm		25'		good	PROTECT IN PLACE
109	*Sabal palmetto*	Sabal Palm		30'		fair	PROTECT IN PLACE
110	*Thrinax radiata*	Florida Thatch Palm		20'		fair	DEMO
111	*Thrinax radiata*	Florida Thatch Palm		30'		fair	DEMO
112	*Calophyllum brasiliense*	Brazilian Beauty Leaf	22"		20'	poor	DEMO
113	*Calophyllum brasiliense*	Brazilian Beauty Leaf	20"		20'	poor	DEMO
114	*Calophyllum brasiliense*	Brazilian Beauty Leaf	22"		20'	poor	DEMO
115	*Phoenix roebelenii*	Pygmy Date Palm		5'		fair	DEMO
116	*Sabal palmetto*	Sabal Palm		30'		poor	DEMO
117	*Pandanus spp.*	Screw Pine	24"		30'	fair	DEMO
118	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
119	*Phoenix roebelenii*	Pygmy Date Palm		4'		fair	DEMO
120	*Ligustrum japonicum*	Japanese Privet	16"		14'	good	RELOCATE
121	*Phoenix canariensis*	Canary Island Date Palm		25'		good	PROTECT IN PLACE
122	*Phoenix canariensis*	Canary Island Date Palm		25'		fair	PROTECT IN PLACE
123	*Phoenix canariensis*	Canary Island Date Palm		25'		fair	PROTECT IN PLACE
124	*Ligustrum japonicum*	Japanese Privet	18"		15'	good	RELOCATE
125	*Ligustrum japonicum*	Japanese Privet	18"		14'	good	RELOCATE
126	*Thrinax radiata*	Florida Thatch Palm		4'		good	DEMO
127	*Thrinax radiata*	Florida Thatch Palm		3'		fair	DEMO
128	*Schefflera actinophylla*	Umbrella Tree	22"			fair	DEMO
129	*Thrinax radiata*	Florida Thatch Palm		8'		fair	DEMO
130	*Thrinax radiata*	Florida Thatch Palm		4'		good	DEMO
131	*Cocoloba diversifolia*	Pigeon Plum	8"		12'	good	DEMO
132	*Livistonia chinensis*	Chinese Fan Palm		40'		fair	DEMO
133	*Sabal palmetto*	Sabal Palm		15'		good	PROTECT IN PLACE
134	*Sabal palmetto*	Sabal Palm		25'		good	PROTECT IN PLACE

NUMBER	BOTANICAL NAME	COMMON NAME	D.B.H. IN INCHES	SIZE - (PALMS = C.T.) IN FT.	CANOPY SIZE	CONDITION	DISPOSITION
135	*Sabal palmetto*	Sabal Palm		20'		good	PROTECT IN PLACE
136	*Sabal palmetto*	Sabal Palm		20'		good	PROTECT IN PLACE
137	*Dypsis lutescens*	Areca Palm		20'		fair	DEMO
138	*Sabal palmetto*	Sabal Palm		25'		good	PROTECT IN PLACE
139	*Sabal palmetto*	Sabal Palm		30'		good	PROTECT IN PLACE
140	*Sabal palmetto*	Sabal Palm		35'		good	PROTECT IN PLACE
141	*Sabal palmetto*	Sabal Palm		15'		good	DEMO
142	*Sabal palmetto*	Sabal Palm		20'		good	DEMO
143	*Sabal palmetto*	Sabal Palm		20'		good	DEMO
144	*Dypsis lutescens*	Areca Palm		35'		fair	DEMO
145	*Sabal palmetto*	Sabal Palm		55'		fair	DEMO
146	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
147	*Sabal palmetto*	Sabal Palm		45'		good	DEMO
148	*Veitchia merrillii*	Christmas Palm		35'		good	DEMO
149	*Thrinax radiata*	Florida Thatch Palm		15'		fair	DEMO
150	*Sabal palmetto*	Sabal Palm		40'		poor	DEMO
151	*Sabal palmetto*	Sabal Palm		20'		good	DEMO
152	*Sabal palmetto*	Sabal Palm		10'		good	DEMO
153	*Sabal palmetto*	Sabal Palm		25'		fair	DEMO
154	*Dypsis lutescens*	Areca Palm		30'		fair	DEMO
155	*Dypsis lutescens*	Areca Palm		25'		fair	DEMO
156	*Schefflera actinophylla*	Umbrella Tree	24"		12'	poor	DEMO
157	*Schefflera actinophylla*	Umbrella Tree	24"		12'	poor	DEMO
158	*Dypsis lutescens*	Areca Palm		12'		poor	DEMO
159	*Dypsis lutescens*	Areca Palm		30'		poor	DEMO
160	*Dypsis lutescens*	Areca Palm		25'		fair	DEMO
161	*Sabal palmetto*	Sabal Palm		10'		fair	DEMO
162	*Sabal palmetto*	Sabal Palm		30'		fair	DEMO
163	*Sabal palmetto*	Sabal Palm		25'		fair	DEMO
164	*Sabal palmetto*	Sabal Palm		15'		fair	DEMO
165	*Sabal palmetto*	Sabal Palm		20'		fair	DEMO
166	*Schefflera actinophylla*	Umbrella Tree	24"		15'	poor	DEMO
167	*Roystonea spp.*	Royal Palm		50'		good	DEMO
168	*Dypsis lutescens*	Areca Palm		5'		poor	DEMO
169	*Roystonea spp.*	Royal Palm		45'		good	DEMO
170	*Roystonea spp.*	Royal Palm		45'		good	PROTECT IN PLACE
171	*Livistonia chinensis*	Chinese Fan Palm		10'		fair	PROTECT IN PLACE
172	*Livistonia chinensis*	Chinese Fan Palm		6'		fair	PROTECT IN PLACE
173	*Roystonea spp.*	Royal Palm		40'		good	PROTECT IN PLACE
174	*Roystonea spp.*	Solitare Palm		15'		fair	DEMO
175	*Roystonea spp.*	Royal Palm		40'		good	PROTECT IN PLACE
176	*Roystonea spp.*	Royal Palm		35'		good	PROTECT IN PLACE
177	*Thrinax radiata*	Florida Thatch Palm		20'		fair	DEMO
178	*Roystonea spp.*	Royal Palm		40'		good	PROTECT IN PLACE
179	*Roystonea spp.*	Royal Palm		35'		good	PROTECT IN PLACE
180	*Sabal palmetto*	Sabal Palm		12'		good	PROTECT IN PLACE
181	*Roystonea spp.*	Royal Palm		45'		good	PROTECT IN PLACE
182	*Quercus virginiana*	Live Oak	16"		28'	fair	PROTECT IN PLACE
183	*Sabal palmetto*	Sabal Palm		10'		good	PROTECT IN PLACE
184	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
185	*Cocoloba diversifolia*	Pigeon Plum	12"		10'	fair	PROTECT IN PLACE
186	*Cocoloba diversifolia*	Pigeon Plum		6'		fair	PROTECT IN PLACE
187	*Cocoloba diversifolia*	Pigeon Plum	26"		26'	fair	PROTECT IN PLACE
188	*Pongamia pinnata*	Pongamia	12"		24'	fair	DEMO
189	*Pongamia pinnata*	Pongamia	12"		24'	fair	DEMO
190	*Pongamia pinnata*	Pongamia	12"		24'	fair	PROTECT IN PLACE
191	*Pongamia pinnata*	Pongamia	14"		24'	poor	PROTECT IN PLACE
192	*Pongamia pinnata*	Pongamia	16"		24'	fair	PROTECT IN PLACE
193	*Pongamia pinnata*	Pongamia	16"		24'	poor	PROTECT IN PLACE
194	*Pongamia pinnata*	Pongamia	16"		24'	poor	PROTECT IN PLACE
195	*Veitchia montogomeryana*	Montgomery Palm		14'		fair	PROTECT IN PLACE
196	*Livistonia chinensis*	Chinese Fan Palm		10'		fair	PROTECT IN PLACE
197	*Livistonia chinensis*	Chinese Fan Palm		6'		good	PROTECT IN PLACE
198	*Livistonia chinensis*	Chinese Fan Palm		2'		fair	PROTECT IN PLACE
199	*Veitchia montogomeryana*	Montgomery Palm		12'		fair	PROTECT IN PLACE
200	*Pandanus spp.*	Screw Pine	24"		22'	good	PROTECT IN PLACE
201	*Veitchia montogomeryana*	Montgomery Palm		30'		poor	DEMO
202	*Dypsis lutescens*	Areca Palm		15'		poor	DEMO
203	*Dypsis lutescens*	Areca Palm		20'		poor	DEMO
204	*Dypsis lutescens*	Areca Palm		15'		poor	DEMO
205	*Thrinax radiata*	Florida Thatch Palm		30'		poor	DEMO
206	*Pongamia pinnata*	Pongamia	14"		15'	poor	DEMO
207	*Pongamia pinnata*	Pongamia	30"		30'	fair	PROTECT IN PLACE
208	*Syagrus romanzoffiana*	Queen Palm		8'		poor	DEMO
209	*Veitchia montogomeryana*	Montgomery Palm		15'		fair	PROTECT IN PLACE
210	*Ptychosperma elegans*	Solitare Palm		40'		fair/poor	PROTECT IN PLACE
211	*Livistonia chinensis*	Chinese Fan Palm		5'		fair	PROTECT IN PLACE
212	*Livistonia chinensis*	Chinese Fan Palm		8'		fair	PROTECT IN PLACE
213	*Ptychosperma elegans*	Solitare Palm		15'		fair	PROTECT IN PLACE
214	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	PROTECT IN PLACE
215	*Veitchia montogomeryana*	Montgomery Palm		40'		poor	DEMO
216	*Cocoloba diversifolia*	Pigeon Plum	10"		12'	fair	PROTECT IN PLACE
217	*Cocoloba diversifolia*	Pigeon Plum	10"		12'	fair	PROTECT IN PLACE
218	*Sabal palmetto*	Sabal Palm		25'		fair	DEMO
219	*Phoenix roebelenii*	Pygmy Date Palm		4'		fair	DEMO
220	*Sabal palmetto*	Sabal Palm		30'		fair/poor	DEMO
221	*Phoenix roebelenii*	Pygmy Date Palm		4'		fair	DEMO
222	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
223	*Roystonea spp.*	Royal Palm		35'		fair	DEMO
224	*Ptychosperma macarthurii*	Macarthur Palm		12'		poor	DEMO
225	*Roystonea spp.*	Royal Palm		35'		poor	DEMO
226	*Schefflera actinophylla*	Umbrella Tree	16"		12'	poor	DEMO
227	*Veitchia merrillii*	Christmas Palm		20'		fair	DEMO
228	*Roystonea spp.*	Royal Palm		45'		poor	DEMO
229	*Roystonea spp.*	Royal Palm		30'		fair	DEMO
230	*Veitchia merrillii*	Christmas Palm		15'		poor	DEMO
231	*Veitchia merrillii*	Christmas Palm		15'		poor	DEMO
232	*Schefflera actinophylla*	Umbrella Tree	14"		12'	fair	DEMO
233	*Schefflera actinophylla*	Umbrella Tree	14"		15'	fair	DEMO
234	*Schefflera actinophylla*	Umbrella Tree	22"		12'	poor	DEMO
235	*Ficus spp.*	Ficus Tree	30"		30'	fair	DEMO
236	*Sabal palmetto*	Sabal Palm		10'		fair/poor	DEMO
237	*Ptychosperma elegans*	Solitare Palm		20'		fair	DEMO
238	*Ptychosperma elegans*	Solitare Palm		25'		fair	DEMO
239	*Schefflera actinophylla*	Umbrella Tree	6"		12'	poor	DEMO
240	*Ptychosperma elegans*	Solitare Palm		15'		fair	DEMO
241	*Ptychosperma elegans*	Solitare Palm		12'		poor	DEMO
242	*Sabal palmetto*	Sabal Palm		12'		good	DEMO
243	*Dypsis lutescens*	Areca Palm		8'		poor	DEMO
244	*Dypsis lutescens*	Areca Palm		10'		poor	DEMO
245	*Dypsis lutescens*	Areca Palm		6'		poor	DEMO
246	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
247	*Cocos nucifera*	Coconut Tree		35'		fair	DEMO
248	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
249	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
250	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
251	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
252	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
253	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
254	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
255	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
256	*Pandanus spp.*	Screw Pine	30"		30'	fair	DEMO
257	*Phoenix roebelenii*	Pygmy Date Palm		8'		fair	DEMO
258	*Phoenix roebelenii*	Pygmy Date Palm		10'		fair	DEMO
259	*Phoenix reclinata*	Senegal Date Palm		25'		poor	DEMO
260	*Veitchia merrillii*	Christmas Palm		15'		fair	DEMO
261	*Acoelorrhaphe wrightii*	Paurotis Palm		8'		fair	DEMO
262	*Cocoloba diversifolia*	Pigeon Plum	16"		10'	poor	DEMO
263	*Cocoloba unifera*	Seagrape	48"		40'	fair	PROTECT IN PLACE
264	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
265	*Cocos nucifera*	Coconut Tree		35'		fair	DEMO
266	*Cocos nucifera*	Coconut Tree		40'		fair	DEMO
267	*Thrinax radiata*	Florida Thatch Palm		35'		fair	DEMO
268	*Sabal palmetto*	Sabal Palm		20'		good	DEMO

NUMBER	BOTANICAL NAME	COMMON NAME	D.B.H. IN INCHES	SIZE - (PALMS = C.T.) IN FT.	CANOPY SIZE	CONDITION	DISPOSITION
269	*Sabal palmetto*	Sabal Palm		25'		poor	DEMO
270	*Sabal palmetto*	Sabal Palm		35'		poor	DEMO
271	*Veitchia merrillii*	Christmas Palm		12'		good	DEMO
272	*Veitchia merrillii*	Christmas Palm		8'		good	DEMO
273	*Veitchia merrillii*	Christmas Palm		6'		good	DEMO
274	*Veitchia merrillii*	Christmas Palm		6'		fair	DEMO
275	*Sabal palmetto*	Sabal Palm		3'		fair	DEMO
276	*Sabal palmetto*	Sabal Palm		4'		fair	DEMO
277	*Veitchia montogomeryana*	Montgomery Palm		20'		fair	DEMO
278	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
279	*Livistonia chinensis*	Chinese Fan Palm		5'		fair	DEMO
280	*Livistonia chinensis*	Chinese Fan Palm		3'		fair	DEMO
281	*Veitchia montogomeryana*	Montgomery Palm		30'		fair	DEMO
282	*Phoenix roebelenii*	Pygmy Date Palm		20'		fair	DEMO
283	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	DEMO
284	*Phoenix roebelenii*	Pygmy Date Palm		8'		poor	DEMO
285	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	DEMO
286	*Veitchia montogomeryana*	Montgomery Palm		20'		poor	DEMO
287	*Thrinax radiata*	Florida Thatch Palm		6'		poor	DEMO
288	*Pandanus spp.*	Screw Pine	48"		20'	poor	DEMO
289	*Thrinax radiata*	Florida Thatch Palm		6'		fair	DEMO
290	*Thrinax radiata*	Florida Thatch Palm		15'		poor	DEMO
291	*Thrinax radiata*	Florida Thatch Palm		2'		poor	DEMO
292	*Thrinax radiata*	Florida Thatch Palm		10'-20'		fair	DEMO
293	*Thrinax radiata*	Florida Thatch Palm		10'-20'		fair	DEMO
294	*Thrinax radiata*	Florida Thatch Palm		10'-20'		fair/poor	DEMO
295	*Thrinax radiata*	Florida Thatch Palm		10'-20'		fair/poor	DEMO
296	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
297	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
298	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
299	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
300	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
301	*Cocos nucifera*	Coconut Tree		12'		good	DEMO
302	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
303	*Cocos nucifera*	Coconut Tree		30'		good	DEMO
304	*Cocos nucifera*	Coconut Tree		15'		good	DEMO
305	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
306	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
307	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
308	*Cocos nucifera*	Coconut Tree		25'		good	DEMO
309	*Cocos nucifera*	Coconut Tree		20'		good	DEMO
310	*Cocos nucifera*	Coconut Tree		35'		fair	DEMO
311	*Cocos nucifera*	Coconut Tree		20'		fair	DEMO
312	*Cocos nucifera*	Coconut Tree		30'		good	DEMO
313	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
314	*Cocos nucifera*	Coconut Tree		30'		fair	DEMO
315	*Cocos nucifera*	Coconut Tree		35'		good	DEMO
316	*Cocos nucifera*	Coconut Tree		35'		fair	DEMO
317	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
318	*Cocos nucifera*	Coconut Tree		40'		fair	DEMO
319	*Cocos nucifera*	Coconut Tree		35'		fair	DEMO
320	*Phoenix roebelenii*	Pygmy Date Palm		5'		fair	DEMO
321	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	DEMO
322	*Sabal palmetto*	Sabal Palm		30'		fair	DEMO
323	*Pandanus spp.*	Screw Pine	24"		30'	fair	DEMO
324	*Veitchia montogomeryana*	Montgomery Palm		20'		poor	DEMO
325	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
326	*Veitchia montogomeryana*	Montgomery Palm		15'		fair	DEMO
327	*Veitchia montogomeryana*	Montgomery Palm		15'		fair	DEMO
328	*Sabal palmetto*	Sabal Palm		30'		fair	DEMO
329	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
330	*Veitchia montogomeryana*	Montgomery Palm		30'		poor	DEMO
331	*Sabal palmetto*	Sabal Palm		35'		fair	DEMO
332	*Sabal palmetto*	Sabal Palm		15'		fair	DEMO
333	*Thrinax radiata*	Florida Thatch Palm		30'		fair/good	DEMO
334	*Thrinax radiata*	Florida Thatch Palm		30'		fair/good	DEMO
335	*Thrinax radiata*	Florida Thatch Palm		35'		fair/good	DEMO
336	*Thrinax radiata*	Florida Thatch Palm		30'		fair/good	DEMO
337	*Thrinax radiata*	Florida Thatch Palm		35'		fair/good	DEMO
338	*Thrinax radiata*	Florida Thatch Palm		35'		fair/good	DEMO
339	*Thrinax radiata*	Florida Thatch Palm		30'		fair/good	DEMO
340	*Thrinax radiata*	Florida Thatch Palm		30'		fair/good	DEMO
341	*Veitchia montogomeryana*	Montgomery Palm		12'		fair	DEMO
342	*Veitchia montogomeryana*	Montgomery Palm		20'		fair	DEMO
343	*Veitchia montogomeryana*	Montgomery Palm		30'		fair	DEMO
344	*Veitchia montogomeryana*	Montgomery Palm		25'		fair	DEMO
345	*Veitchia montogomeryana*	Montgomery Palm		35'		fair	DEMO
346	*Veitchia montogomeryana*	Montgomery Palm		15'		fair	DEMO
347	*Veitchia montogomeryana*	Montgomery Palm		20'		fair	DEMO
348	*Veitchia montogomeryana*	Montgomery Palm		35'		fair	DEMO
349	*Veitchia montogomeryana*	Montgomery Palm		35'		poor	DEMO
350	*Ligustrum japonicum*	Japanese Privet	20"		25'	fair	RELOCATE
351	*Ligustrum japonicum*	Japanese Privet	22"		25'	fair	RELOCATE
352	*Ligustrum japonicum*	Japanese Privet	20"		20'	poor	DEMO
353	*Colocoba uvitera*	Seagrape	48"		30'	fair	DEMO
354	*Phoenix reclinata*	Senegal Date Palm		15'		fair	DEMO
355	*Cocos nucifera*	Coconut Tree		25'		fair	DEMO
356	*Calophyllum brasiliense*	Brazilian Beauty Leaf	24"		14'	poor	DEMO
357	*Calophyllum brasiliense*	Brazilian Beauty Leaf	36"		25'	poor	DEMO
358	*Phoenix roebelenii*	Pygmy Date Palm		7'		fair	DEMO
359	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	DEMO
360	*Phoenix roebelenii*	Pygmy Date Palm		6'		fair	DEMO
361	*Ficus spp.*	Ficus Tree	48"		40'	fair	DEMO
362	*Cocos nucifera*

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FOR

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ILLUSTRATIVE SITE PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 25'-0"

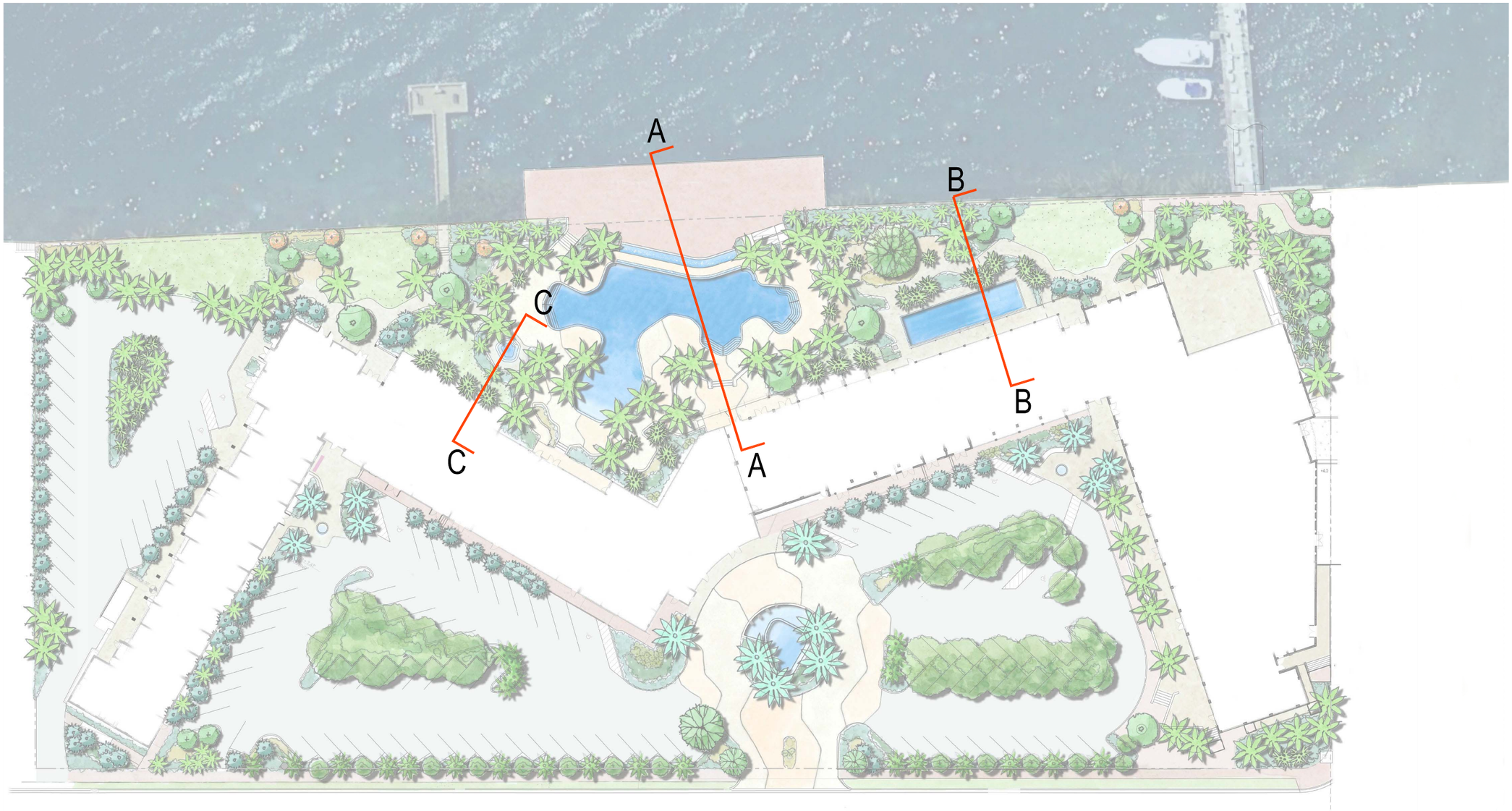
0 25' 50'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-200



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SECTION KEY PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 25'-0"

0 25' 50'

NORTH

DRB SUBMITTAL

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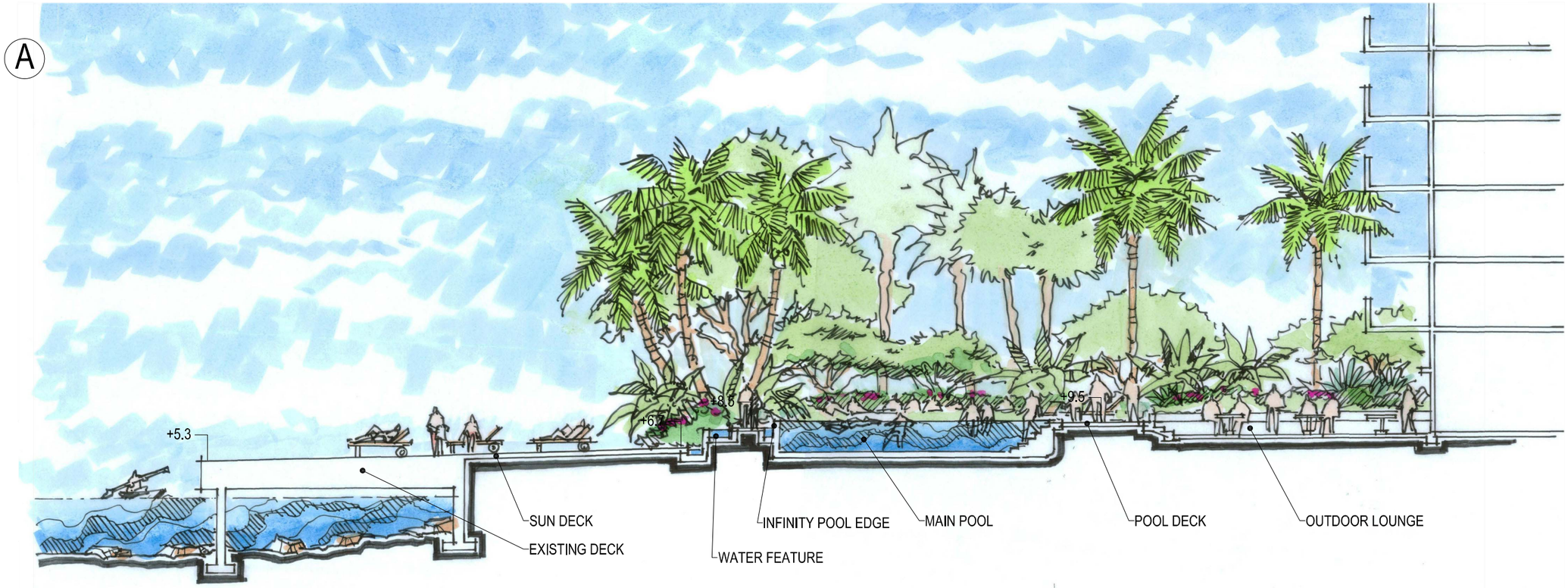
L-201

A



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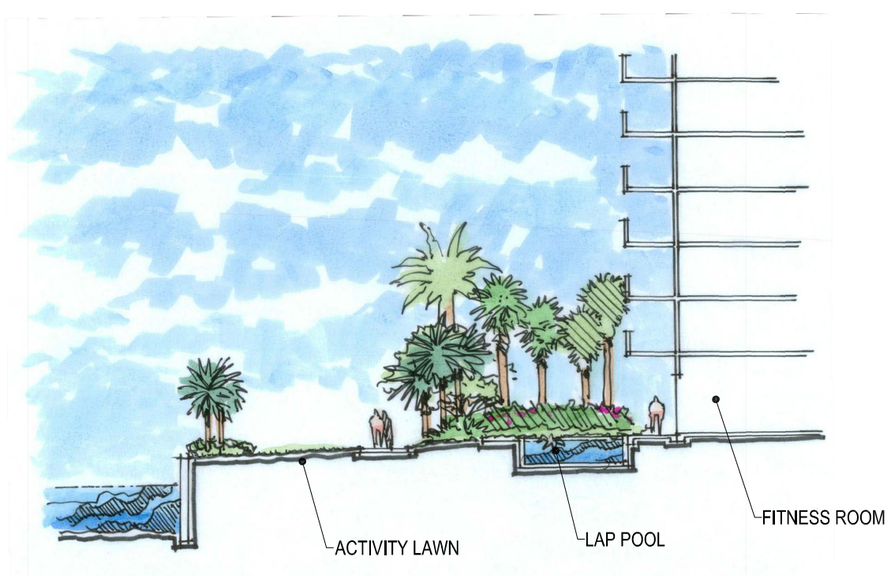

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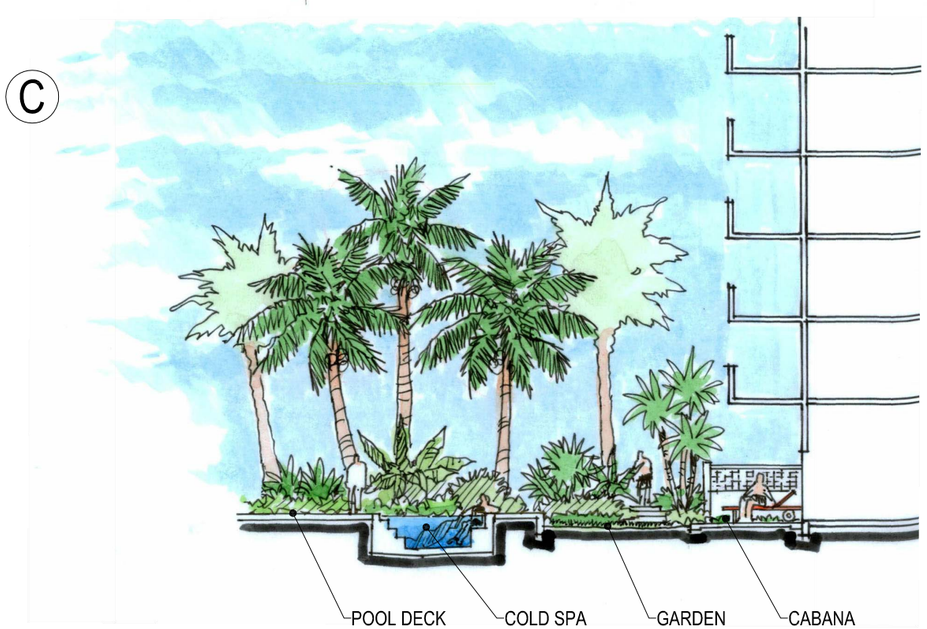

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SITE SECTIONS

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 8'-0"

NORTH

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DETAIL SITE PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 25'-0"

NORTH

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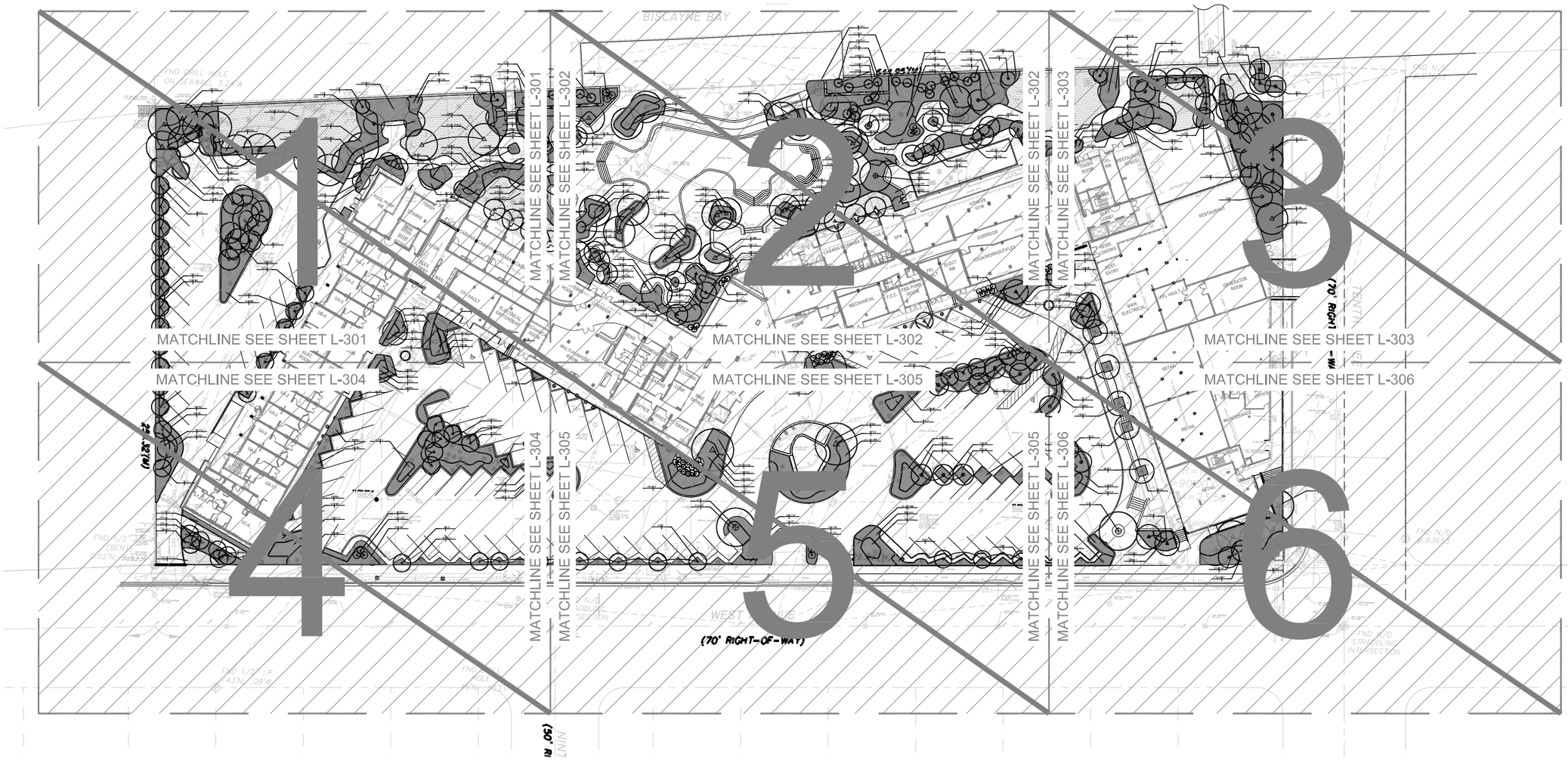
L-203



PLANT SCHEDULE

TREES

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DBH.	REMARKS
BS	3	Bursera simaruba	Gumbo Limbo	18' O.A. - Matched		
CD	15	Coccoloba diversifolia	Pigeon Plum	12' HT		
CU	1	Coccoloba uvifera	Sea Grape	14' HT		
CE	28	Conocarpus erectus	Buttonwood	16'-18' HT	4"	
CS	7	Cordia sebestena	Orange Geiger Tree	10' HT	2"	
LJ-R	5	Ligustrum japonicum	Japanese Privet			
QV	2	Quercus virginiana	Southern Live Oak	20' HT	6"	

PALMS

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DBH.	REMARKS
ARX-3	15	Archontophoenix alexandrae	Alexandra Palm	8' G.W. TRIPLE		
ARX	25	Archontophoenix alexandrae	Alexandra Palm	8' GW		
CNX	53	Cocos nucifera 'Green Malayan'	Coconut Palm	8' C.T.		
PDX	3	Phoenix dactylifera 'Medjool'	Date Palm	25' CT matching		
PSX	15	Phoenix sylvestris	Sylvester Date Palm	10' C.T.		
REX	57	Rhapis excelsa	Lady Palm	4' Ht.		
SPX	50	Sabal palmetto	Cabbage Palmetto	SEE PLAN FOR C.T, HT		
TRX	35	Thrinax radiata	Florida Thatch Palm	4' O.A.		
VMX	9	Veitchia montgomeryana	Montgomery Palm	12' C.T.		

SHRUBS

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
	CRQ	21	Crinum augustum 'Queen Emma'	'Queen Emma' Crinum	7 gal@ 4" oc	3'-4'
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	
ALP	68	Alpinia purpurata	Red Ginger	3 gal@ 24" oc	3' O.A.	
AZV	148	Alpinia zerumbet 'Variegata'	Variegated Shell Ginger	3 gal@ 36" oc	3' O.A.	
CAM	315	Carissa macrocarpa	Natal Plum	3 gal@ 24" oc	18" O.A.	
CLR	288	Clusia rosea 'Nana'	Dwarf Pitch Apple	7 gal@ 36" oc	3' O.A.	
COU	21	Coccoloba uvifera	Sea Grape	7 gal@ 48" oc	4' O.A.	
COV	111	Codiaeum variegatum 'Mammey'	Mammey Croton	3 gal@ 24" oc	18" O.A.	
FIM	2,651	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal@ 18" oc	12" O.A.	
IKN	196	Ixora coccinea 'Nora Grant'	Red Ixora	3 gal@ 24" oc	20" O.A.	
PHH	766	Philodendron x 'Hope'	Philodendron	3 gal@ 20" oc	20" O.A.	
POM	60	Podocarpus macrophyllus	Yew Pine	3 gal@ 36" oc	30" x 30"	
SCA	212	Schefflera arboricola 'Dwarf'	Dwarf Schefflera	3 gal@ 30" oc	20" O.A.	
TRD	302	Trifpsacum dactyloides	Fakahatchee Grass	3 gal@ 36" oc	24" ht. x 18" spr.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	
CMB	527	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Carissa	flat @ 24" oc		
MIS	2,134	Microsorum scolopendrium	Wart Fern	1 gal@ 18" oc	6" O.A.	
SPB	1,736	Spartina bakeri	Sand Cord Grass	1 gal@ 12" oc	24" Hgt.	
SPP	527	Spartina patens	Salt Meadow Cord Grass	1 gal@ 18" oc	18" Ht.	
ANNUALS	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	
ANN	725 sf	ANN	ANN	seed		
SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	
PAV	7,535 sf	Paspalum vaginatum	Seashore Paspalum	sod		

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OVERALL SITE PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 30'-0"

0 30' 60'

NORTH

DRB SUBMITTAL
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L-300

Southgate Towers

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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

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L-301

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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL

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L-302

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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

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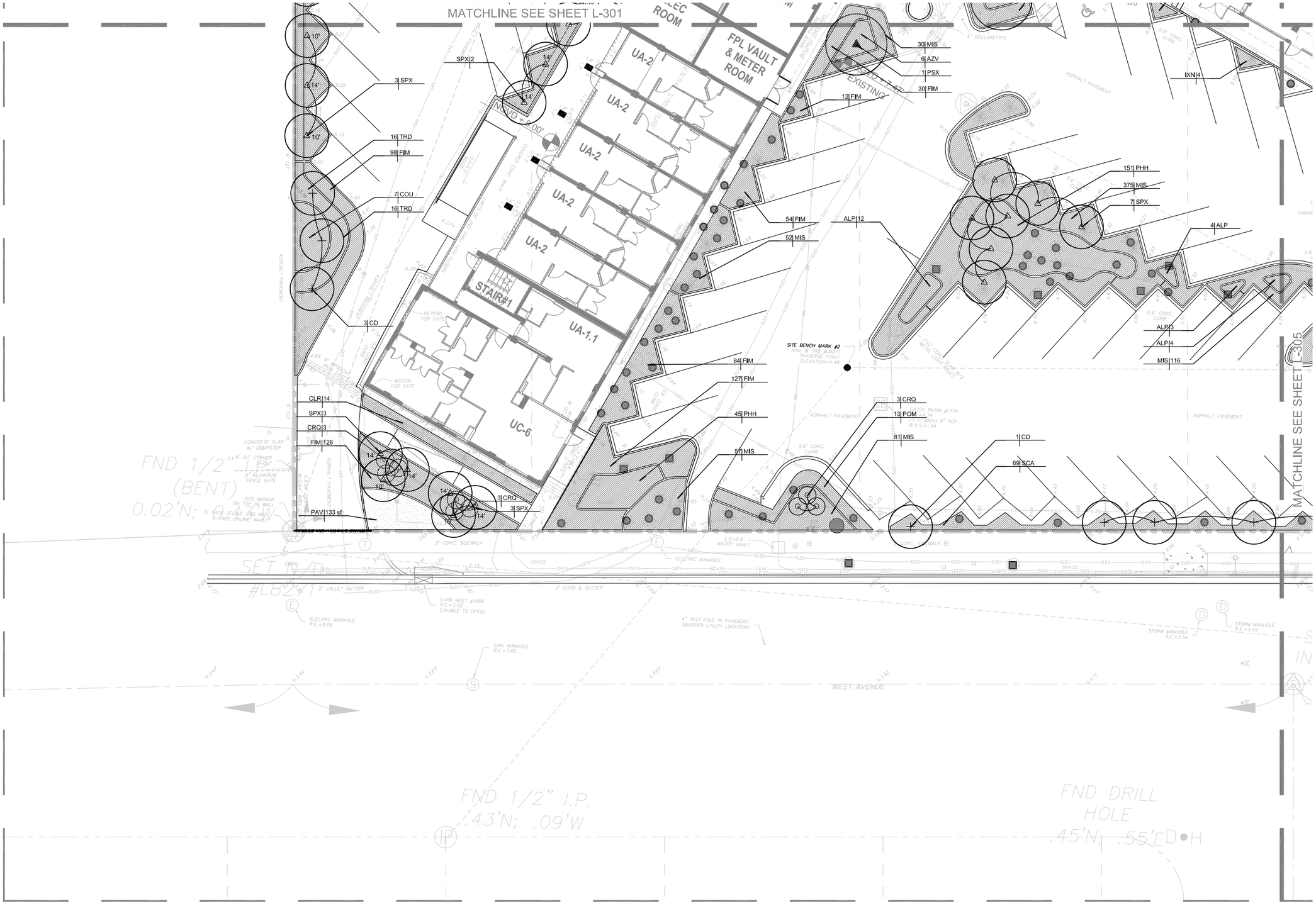
L-303



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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

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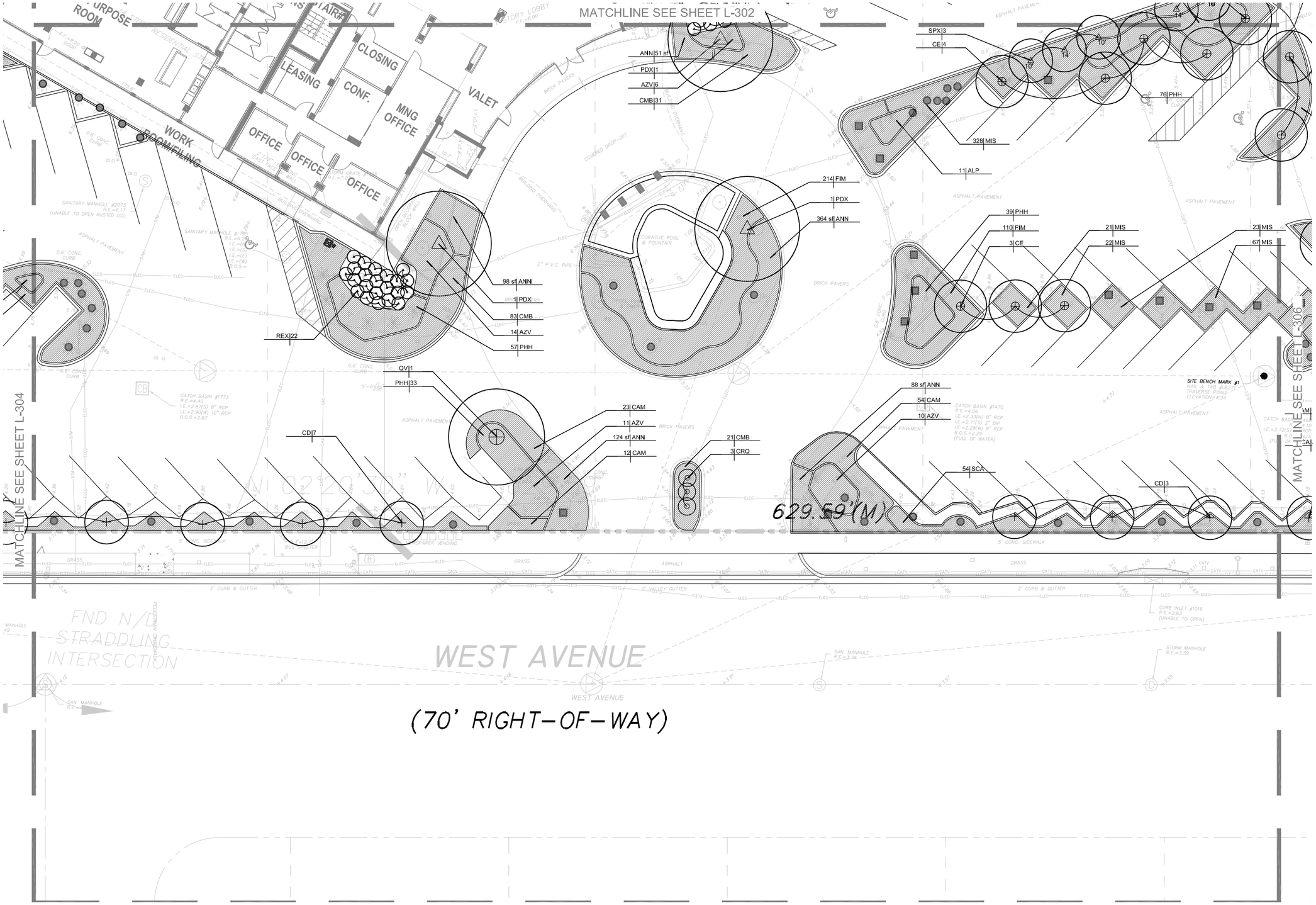
NOT FOR CONSTRUCTION

L-304



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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-305

Southgate Towers

FOR

Gumenick PROPERTIES

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PLANTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

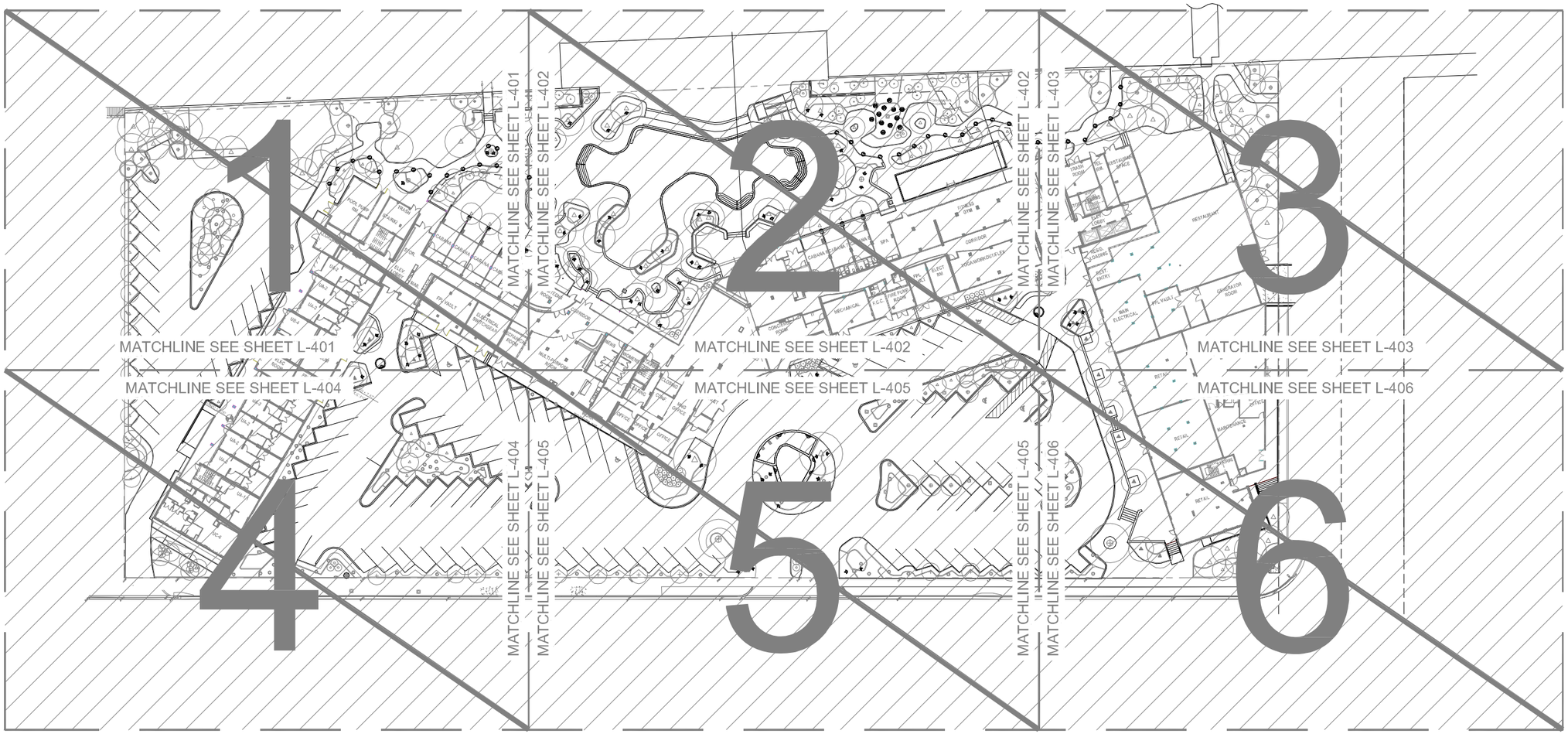
0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-306



Lighting Schedule							
Detail	Symbol	Qty	Description	Catalog Number	Bulb Wattage and Type	Mounting	Manufacturer
1		40	AT GRADE PATH LIGHT	810 7304 - GR - RIH5732	3W LED	FLUSH WITH GROUND	GHIDINI
2		11	UNDERWATER FOUNTAIN LIGHT	SAVI-NOTE100 - M4-DMX	HIGH DENSITY LED/RGB ARRAY	UNDERWATER	SV LIGHTING
3		84	LANDSCAPE UPLIGHT	AR - LED - TR - 8WLED - BLP - 12 - A - 120 - PP	8W LED	GROUND	BK LIGHTING
4		12	HANGING PENDANT/LANTERN	TM - LED - 3WLED- SP - BLP - 12 - 11 - C	3W LED	HANGING PENDANT	BK LIGHTING

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FOR

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OVERALL SITE LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 30'-0"

0 30' 60'

NORTH

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NOT FOR CONSTRUCTION

L-400

Southgate Towers

FOR

Gumenick Properties

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PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

ARCHITECTURE DESIGN ADD Inc

LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10 20

NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-401

Southgate Towers

FOR

Gumenick PROPERTIES

EDSA
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330
www.edsa@an.com
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LIGHTING PLAN

11 FEBRUARY 2013

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MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-402

Southgate Towers

FOR

Gumenick Properties

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LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10 20

NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-403

Southgate Towers

FOR

Gumenick PROPERTIES

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LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

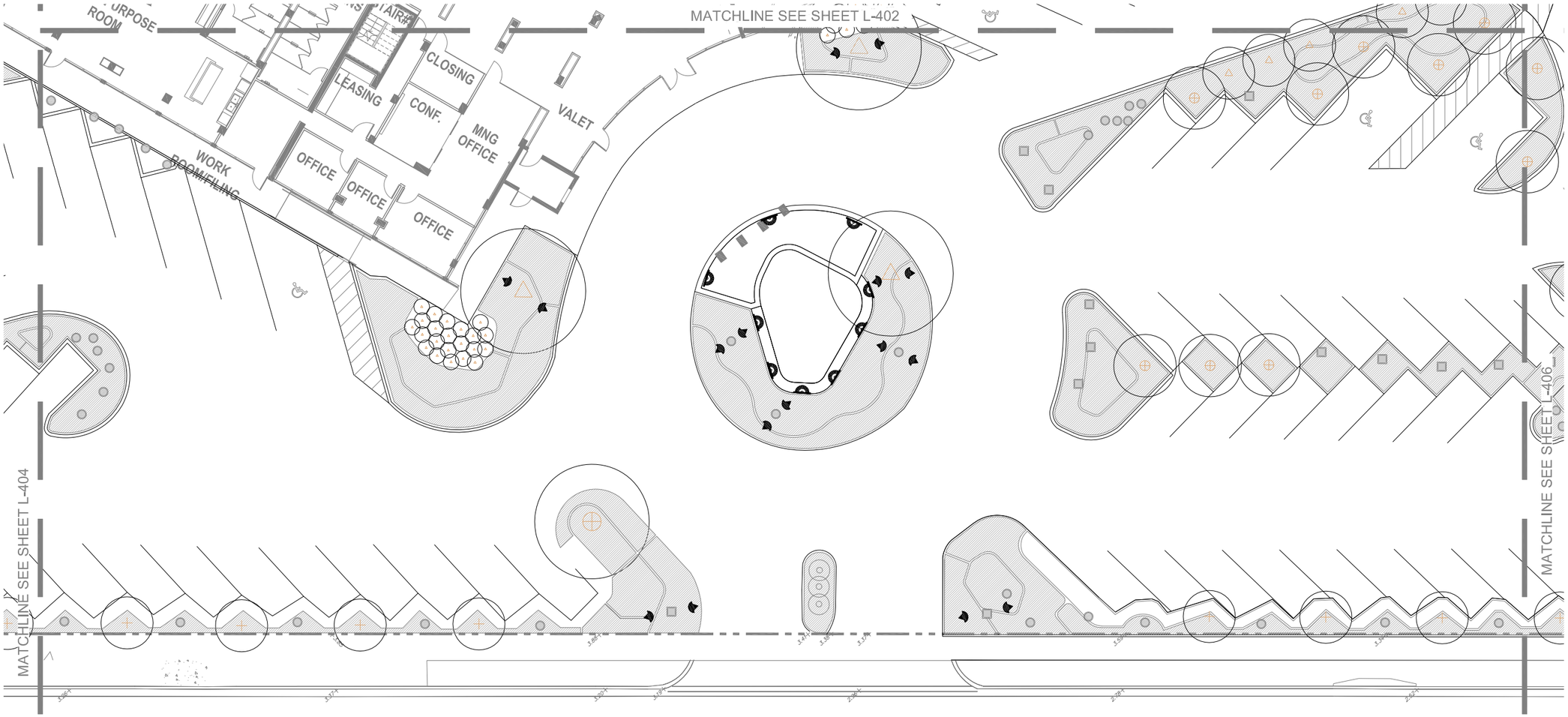
1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-404



Southgate Towers

FOR

Gumenick PROPERTIES

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ARCHITECTURE DESIGN ADD Inc

LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION

900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

NORTH

DRB SUBMITTAL

NOT FOR CONSTRUCTION

L-405

MATCHLINE SEE SHEET L-403

Southgate Towers

FOR

Gumenick PROPERTIES

EDSA
1512 E. BROWARD BOULEVARD, SUITE 110
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ARCHITECTURE DESIGN ADD Inc

LIGHTING PLAN

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"

0 10' 20'

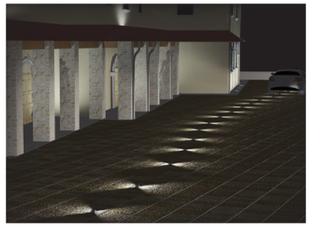
NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-406

GEO

Geo is a compact, drive-over, in-ground recessed luminaire ideal for lighting pathways and driveways. Light is emitted from 1, 2, or 3 apertures in the raised aluminum trim, creating light patterns at ground level.



GENERAL SPECIFICATION

Body and trim: Low copper, die-cast aluminum highly resistant to oxidation.
Diffuser: 10mm/0.98" tempered glass. IK 10 Mechanical resistant 20 Joule.
Gasket: Silicone.
Finish: Powder coated.
External screws: A4 stainless steel treated with highly antioxidant water-repellent lubricating solution to ensure easy opening.
Cable entry: PG13.5 gland for DIA 6-12mm/0.24-0.47" cables.
Drivers: Integral. HPF electronic 120-277V.
Walk over: Static pressure load 8000Kg/18000lbs.
Rough-in housing: Thermoplastic.
Mechanical: For in-ground or wall installation in poured concrete.
Approvals: ETL. Wet location, IP67.

484

GEO

A SPECIFY LAMP/LUMINAIRE TYPE

Code:	Lamp:	Color CCT:	Lumens:	Max Surface Temp:	Photometry:
810 7300	1W LED single aperture	3000K	10lm	17°C/63°F	File# 8107300
810 7301	1W LED single aperture	4000K	13lm	17°C/63°F	File# 8107301
810 7302	2W LED twin aperture	3000K	20lm	17°C/63°F	File# 8107302
810 7303	2W LED twin aperture	4000K	26lm	17°C/63°F	File# 8107303
810 7304	3W LED triple aperture	3000K	30lm	17°C/63°F	File# 8107304
810 7305	3W LED triple aperture	4000K	39lm	17°C/63°F	File# 8107305

B SPECIFY FINISH

BL Black
GR Gray RAL 9006
AG Anthracite gray
RB Rust brown

C SPECIFY ROUGH-IN HOUSING (REQUIRED)

RIH 5732 Rough-in housing for all Geo luminaires

Example Specification Code: 810 7300 • BL • RIH 5732

Note: *Due to constant changes in LEDs, please check our website for current product specifications.*

MANUFACTURER: GHIDINI - GEO
-SEE PLAN FOR LIGHT PLACEMENT
CATALOG NUMBER: 810 7304-GR-RIH5732
LAMP: 3W LED
INSTALLED PER MANUFACTURER'S RECOMMENDATION

EXTERIOR
IN-GROUND

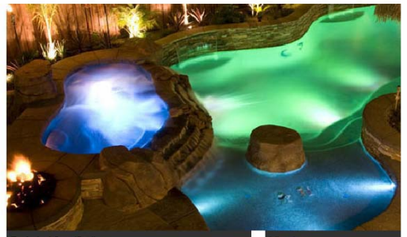
GHIDINI
WWW.BETACALCO.COM | © 2011 BETA-CALCO INC.

485

1 IN GROUND PATH LIGHT
DETAIL N.T.S.

Savi Note

color changing nicheless underwater LED light fixture



Features and Benefits

- No Niche
- No Grounding
- No Bonding
- Installs into 1½" fittings*
- Complete Coverage. - Evenly distribute light with multiple Savi Note locations.
- Auto Memory
- Easy Installation

MANUFACTURER: SV4LIGHTING
-SEE PLAN FOR LIGHT PLACEMENT
CATALOG NUMBER: SAVI-NOTE100 • M4-DMX
LAMP: HIGH DENSITY 14W LED - RGB
INSTALLED PER MANUFACTURER'S RECOMMENDATION
COLOR: RGB COLOR CHANGING

Technical Specifications

- TRUE-COLOR Mix Technology
- 14 Watts
- 1.2 Amps
- 180° Beam Spread

Installation Requirements

Requires M4 Controller.
(see pg. 7 for description)
Connect up to 4 Savi Notes to one M4 Controller.
4" Minimum below waterline
*12" minimum length of 1.5" diameter PVC behind wall fitting. Reduce to a 1" diameter conduit for the cable run to the M4 Controller.

Literature

Note Brochure
Note Install Manual

Listings

Ordering

Part Number	Description
SAVI-NOTE100	12V Pool Light, Note with 100' cord (M4 Control required)
SAVI-NOTE150	12V Pool Light, Note with 150' cord (M4 Control required)
RECOMMENDED WALL FITTINGS	1022S, 1023S, 1408

Home | Terms and Conditions | Warranty | Contact
SAVI Pool and Spa | 9400 Southridge Park Court Suite 200 | Orlando | Florida | 32819 | USA | T. 407.855.5630

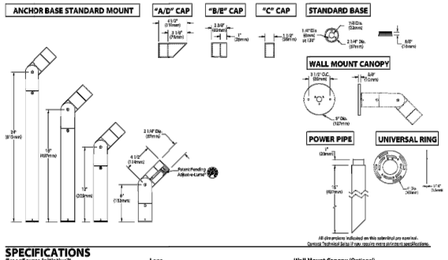
2 FOUNTAIN LIGHT
DETAIL N.T.S.

INTEGRAL ARTISTAR™

Arti\Star™ — Integral Transformer

PROJECT:
TYPE:

ANCHOR BASE STANDARD MOUNT | "A/D" CAP | "B/E" CAP | "C" CAP | STANDARD BASE | WALL MOUNT CANOPY | POWER PIPE | UNIVERSAL RING



SPECIFICATIONS

GreenSource Initiative™
Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced onsite. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebates. Consult www.bklighting.com/greensource for program requirements.

Materials
Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360) or Stainless Steel (Type 304).

Body
Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. Integral knuckle for maximum structural strength. High temperature, silicone 'O' Ring provides water-tight seal.

Knuckle
'Alex and Lock' knuckle is comprised of two components. The first is integral to the body and features an intricate, machined taper. The second is machined from solid billet and features a second, reverse angle taper. The resultant mechanical taper-lock allows a full 180° vertical adjustment without the use of tools. Stainless steel hardware, locking washer and compressive, silicone 'O' Ring provides water-tight seal and compressive resistance to maintain fixture position. Design withstands 78 lb. static load prior to movement to ensure decades of optical alignment. Barrel source control with 360° horizontal rotation in addition to vertical adjustment.

Cap
Fully machined. Accommodates (1) lens or louver media. Choose from 60° cutoff (10°), 1" deep beam with 90° cutoff (9° or 8°), or flush lens (C) cap styles. 10° and 9° caps include weepholes for water and debris drainage. 10° and 9° caps exclude weepholes and are for interior use only.

Lens
Shock resistant, tempered, glass lens is factory adhered to fixture cap and provided hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

BICSS™
Integrated solid state system with 'e' technology is scalable for field upgrade. Modular design with electrical quick disconnects permit field maintenance. High power, forward throw source complies with ANSI C78.377 binning requirements. Exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components.

Integral non-dimming driver. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BICSS technology provides long life, significant energy reduction and exceptional thermal management.

Optics
Interchangeable OPTIKIT™ modules permit field changes to optical distribution. Color-coded for easy reference. Narrow Spot (NSP) = Red, Spot (SP) = Green, Medium Flood (MFL) = Yellow, Wide Flood = Blue.

Adjust-a-Lume® (Pat. Pending)
Integral aluminum, micro dimple lumes response at the source of light to provide 100% to 20% norm. lumen output. Maintains output at desired level or may be changed as conditions require. Specify factory preset output intensity.

Installation
Suitable for installation in three distinct mounting conditions:

Anchor Base (Standard)
Hardened anchor base with 7/16" dia. slip conduit hole and (3) 3/16" dia. anchor bolt holes (hardware by others).

Power Pipe™ (Optional)
Provides a clean transition from swing system to fixture. Schedule 80, 1/2" PVC housing for direct burial into soil or concrete. Machined 3-1/4" dia. cap for fixture mounting. Stainless steel hardware. Optional 6" diameter, molded stability flange, which simplifies installation and projects into substrate to reinforce hooks ability.

Wall Mount Canopy (Optional)
Optional 9" dia. machined canopy permits mounting to junction box (gasket by others). 8" maximum base height for canopy-mounted brass or stainless steel fixture.

Transformer
Integral, low voltage, magnetic transformer. 120, or 277VAC primary voltage, 50/60Hz. 12VAC secondary voltage.

Hardware
Tamper-resistant, stainless steel hardware. Knuckle vertical stirring screw is additionally black-oxide treated for additional corrosion resistance.

Finish
StarGuard®, our exclusive finish compliant, 13 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class A TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. Brushed finish for interior use only).

Warranty
3 year limited warranty.

Certification and Listing
Tested to ANSI/UL1598 Luminaires, Lighting Fixture Registration per USDOE (www.lightingfacts.com). ETL Listed to ANSI/UL Standard 1598 and UL Standard 8750. Certified to CAN/CSA Standard C22.2 No. 250. RoHs compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. Suitable for installation within 4' of the ground. IP68 Rated. Made in USA.

MANUFACTURER: BK-LIGHTING
-SEE PLAN FOR LIGHT PLACEMENT
CATALOG NUMBER:
AR-LED-TR-SWLED-BLP-1-2-A-120-PP
LAMP: 3W LED
INSTALLED PER MANUFACTURER'S RECOMMENDATION

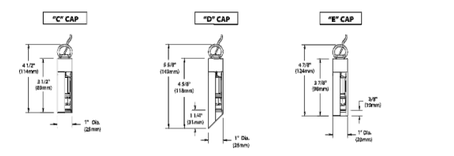
B-K LIGHTING	40489 Brickyard Drive • Madera, CA 93636 • USA 866-488-5600 • FAX 559-488-8900 www.bklighting.com • info@bklighting.com	SUBMITTAL DATE 6-27-12	DRAWING NUMBER SUB001108

3 LANDSCAPE UP LIGHT
DETAIL N.T.S.

MINI-MICRO™ RING MOUNT

PROJECT:
TYPE:

"C" CAP | "D" CAP | "E" CAP



Accessories (Configure separately)
Remote Transformers:
TR Series | Power Pipe™ | UNIRing™

MANUFACTURER: BK-LIGHTING
-SEE PLAN FOR LIGHT PLACEMENT
CATALOG NUMBER:
TM-LED-3WLED-SP-BLP-12-1-1-C
LAMP: 3W LED
INSTALLED PER MANUFACTURER'S RECOMMENDATION

SPECIFICATIONS

GreenSource Initiative™
Metal and packaging components are made from recycled materials. Manufactured using renewable solar energy, produced onsite. Returnable to manufacturer at end of life to ensure cradle-to-cradle handling. Packaging contains no chlorofluorocarbons (CFC's). Use of this product may qualify for GreenSource efficacy and recycling rebates. Consult www.bklighting.com/greensource for program requirements.

Materials
Furnished in Copper-Free Aluminum (Type 6061-T6), Brass (Type 360) or Stainless Steel (Type 304).

Body
Fully machined from solid billet. Unibody design provides enclosed, water-proof wireway and integral heat sink for maximum component life. High temperature, silicone 'O' Ring provides water-tight seal.

Ring
1" dia. brass mounting ring allows for cable or hook mounting (hardware by others). External wire leads extend approximately 14" beyond ring.

Cap
Fully machined. Accommodates (1) lens or louver media. Choose from 60° cutoff (10°), 3/8" deep beam with 90° cutoff (9°), or flush lens (C) cap styles.

Lens
Shock resistant, tempered, glass lens is factory adhered to fixture cap and provided hermetically sealed optical compartment. Specify soft focus (#12) or rectilinear (#13) lens.

BICSS™
Integrated solid state system with 'e' technology. High power, forward throw source complies with ANSI C78.377 binning requirements. Exceeds ENERGY STAR® lumen maintenance requirements. LM-80 certified components.

Integral non-dimming driver. Minimum 50,000 hour rated life at 70% of initial lumens (L70). BICSS technology provides long life, significant energy reduction and exceptional thermal management.

Optics
OPTIKIT™ modules are color-coded for easy reference: Spot (SP) = Green, Flood (FL) = Blue.

Remote Transformer
For use with 120VAC TM-LED-3WLED-SP-BLP-12-1-1-C remote transformer.

Wiring
Teflon® coated, 18 AWG, 600V, 250° C rated and certified to UL 1559 standard.

Hardware
Tamper-resistant, stainless steel hardware.

Finish
StarGuard®, our exclusive finish compliant, 13 stage chromate-free process cleans and conversion coats aluminum components prior to application of Class A TGIC polyester powder coating. Brass components are available in powder coat or handcrafted metal finish. Stainless steel components are available in handcrafted metal finish. Brushed finish for interior use only).

Warranty
3 year limited warranty.

Certification and Listing
Tested to ANSI/UL1598 Luminaires, Lighting Fixture Registration per USDOE (www.lightingfacts.com). ETL Listed to ANSI/UL Standard 1598 and UL Standard 8750. Certified to CAN/CSA Standard C22.2 No. 9, CSA No. 8-M86. RoHs compliant. Suitable for indoor or outdoor use. Suitable for use in wet locations. IP68 Rated. Made in USA.

*Refer to manufacturer's warranty for full details.
Lighting Facts is a registered trademark of Solid State Lighting Resource Alliance Agency.

B-K LIGHTING	40489 Brickyard Drive • Madera, CA 93636 • USA 866-488-5600 • FAX 559-488-8900 www.bklighting.com • info@bklighting.com	SUBMITTAL DATE 6-27-12	DRAWING NUMBER SUB000963

4 HANGING PENDANT LIGHT
DETAIL N.T.S.

Southgate Towers
FOR
Gumenick Properties

EDSA
1512 E. BROWARD BOULEVARD, SUITE 110
FORT LAUDERDALE, FLORIDA 33301 USA
TEL: 954.524.3330
www.edsaplan.com
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ARCHITECTURE DESIGN ADD Inc

LIGHTING DETAILS

11 FEBRUARY 2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

1" = 10'-0"
0 10' 20'
NORTH

DRB SUBMITTAL
NOT FOR CONSTRUCTION

L-410

X-0 PREVIOUSLY APPROVED, FOR REFERENCE ONLY

X-1: Demoltion East Elevation - South Tower
X-2: Demoltion West Elevation - South Tower
X-3: Demoltion South Elevation - South Tower
X-4: Demoltion North Elevation - South Tower
X-5: Proposed East Elevation - South Tower
X-6: Proposed West Elevation - South Tower
X-7: Proposed South Elevation - South Tower
X-8: Proposed North Elevation - South Tower
X-9: Proposed Window Elevations
X-10: Proposed Perspective from Northwest

PROJECT # 11119.04

Southgate Towers
FOR
Gumenick PROPERTIES

PREVIOUSLY APPROVED, FOR REFERNCE ONLY

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

ADD Inc
ARCHITECTURE + DESIGN
One Biscayne Tower
Suite 1670
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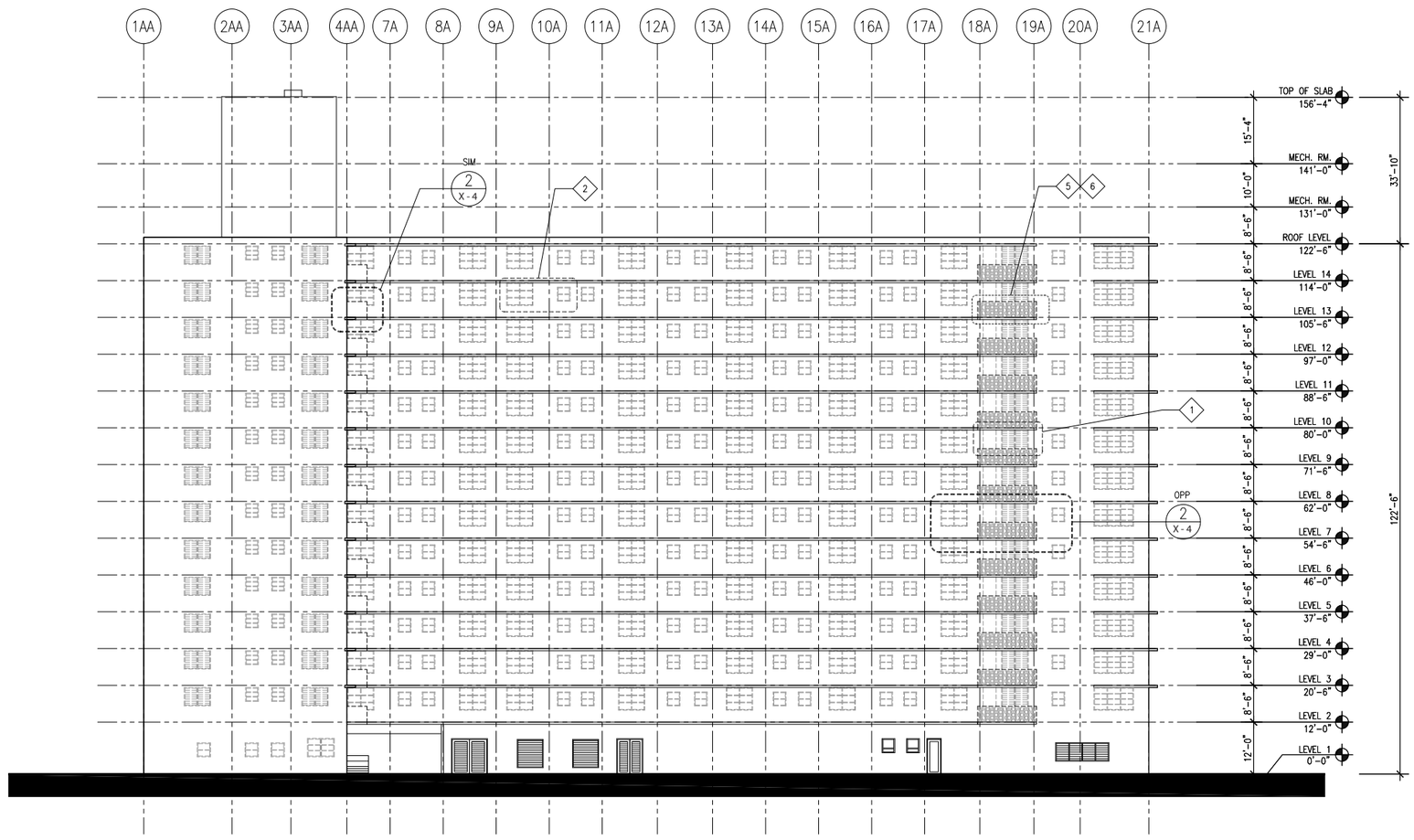
Miami, Fl 33131
T. 305.482.8700
F. 305.482.8770
www.addinc.com
Lic#: AA26001507
Jonathan Cardello
Lic#: AR93391

X-0

LEGEND:

1. REMOVE EXISTING DOOR, WINDOW & WALL. TYPICAL FOR ALL UNIT ENTRIES. TO BE REPLACED WITH NEW WINDOW WALL SYSTEM REFER TO SHEET A-192 FOR DETAILS.
2. REMOVE AND REPLACE ALL UNIT WINDOWS, TYPICAL FOR ALL UNITS. ADDITIONAL REINF. MAY BE REQUIRED AT WINDOW OPENINGS, REFER TO STRUCT. DWGS.
3. REMOVE AND REPLACE EXISTING ELEVATOR CABS, REFER TO SHEET A-601 FOR NEW CAB DETAILS.
4. REMOVE KITCHEN EGRESS DOOR AND REPLACE WITH NEW WINDOW. BLOCK AND STUCCO TO MATCH EXISTING.
5. REMOVE AND REPLACE ALL EXISTING BALCONY HANDRAILS. REFER TO SHEET A-401 FOR REPLACEMENT HANDRAIL DETAILS.
6. REMOVE AND REPLACE ALL EXISTING BALCONY SCREENS. REFER TO SHEET A-401 FOR REPLACEMENT SCREEN DETAILS.
7. REMOVE EXISTING PARTITION. PATCH AND FINISH REMAINING WALL TO MATCH EXISTING.



0' 16' 32'

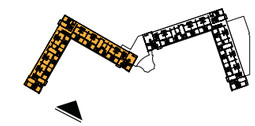
PROJECT # 11119.04

PREVIOUSLY APPROVED, FOR REFERENCE ONLY

Southgate Towers

FOR

Gumenick PROPERTIES



DEMOLITION
EAST ELEVATION
SOUTH TOWER

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

One Biscayne Tower
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www.addinc.com
Lic#: AA26001507

Jonathan Cardello
Lic#: AR93391

ADD Inc
ARCHITECTURE + DESIGN

X-1

LEGEND:

1. REMOVE EXISTING DOOR, WINDOW & WALL. TYPICAL FOR ALL UNIT ENTRIES. TO BE REPLACED WITH NEW WINDOW WALL SYSTEM REFER TO SHEET A-192 FOR DETAILS.
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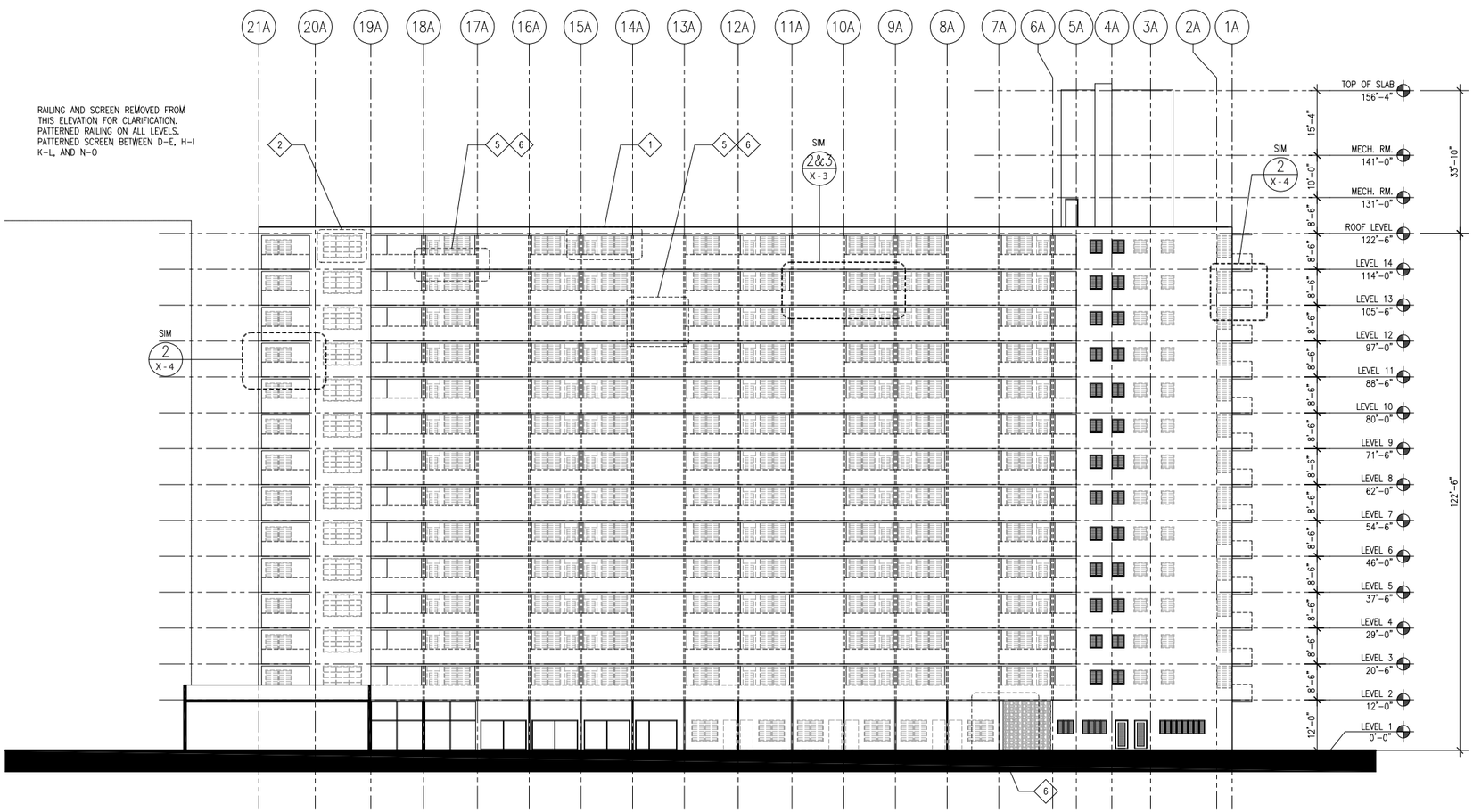
3. REMOVE AND REPLACE EXISTING ELEVATOR CABS, REFER TO SHEET A-601 FOR NEW CAB DETAILS.
4. REMOVE KITCHEN EGRESS DOOR AND REPLACE WITH NEW WINDOW. BLOCK AND STUCCO TO MATCH EXISTING.
5. REMOVE AND REPLACE ALL EXISTING BALCONY HANDRAILS. REFER TO SHEET A-401 FOR REPLACEMENT HANDRAIL DETAILS.
6. REMOVE AND REPLACE ALL EXISTING BALCONY SCREENS. REFER TO SHEET A-401 FOR REPLACEMENT SCREEN DETAILS.
7. REMOVE EXISTING PARTITION. PATCH AND FINISH REMAINING WALL TO MATCH EXISTING.

NOTE: THE PATTERN OF THE SCREEN AND RAIL HAS BEEN REMOVED FOR CLARITY IN THE MAIN ELEVATION.



0' 16' 32'

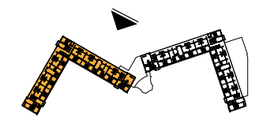
PROJECT # 11119.04

PREVIOUSLY APPROVED, FOR REFERENCE ONLY

Southgate Towers

FOR

Gumenick PROPERTIES



DEMOLITION
WEST ELEVATION
SOUTH TOWER

11.02.2013

SOUTHGATE TOWERS SITE RENOVATION
900 & 910 WEST AVENUE
MIAMI BEACH, FL 33139

One Biscayne Tower
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www.addinc.com
Lic#: AA26001507

Jonathan Cardello
Lic#: AR93391

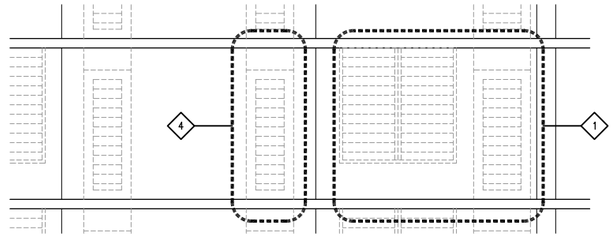
ADD Inc
ARCHITECTURE + DESIGN

X-2

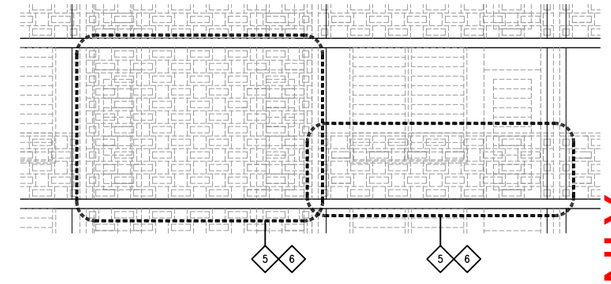
LEGEND:

1. REMOVE EXISTING DOOR, WINDOW & WALL. TYPICAL FOR ALL UNIT ENTRIES. TO BE REPLACED WITH NEW WINDOW WALL SYSTEM
2. REMOVE AND REPLACE ALL UNIT WINDOWS, TYPICAL FOR ALL UNITS.
3. REMOVE AND REPLACE EXISTING ELEVATOR CABS.
4. REMOVE KITCHEN EGRESS DOOR AND REPLACE WITH NEW WINDOW. BLOCK AND STUCCO TO MATCH EXISTING.
5. REMOVE AND REPLACE ALL EXISTING BALCONY HANDRAILS.
6. REMOVE AND REPLACE ALL EXISTING BALCONY SCREENS.
7. REMOVE EXISTING PARTITION. PATCH AND FINISH REMAINING WALL TO MATCH EXISTING.

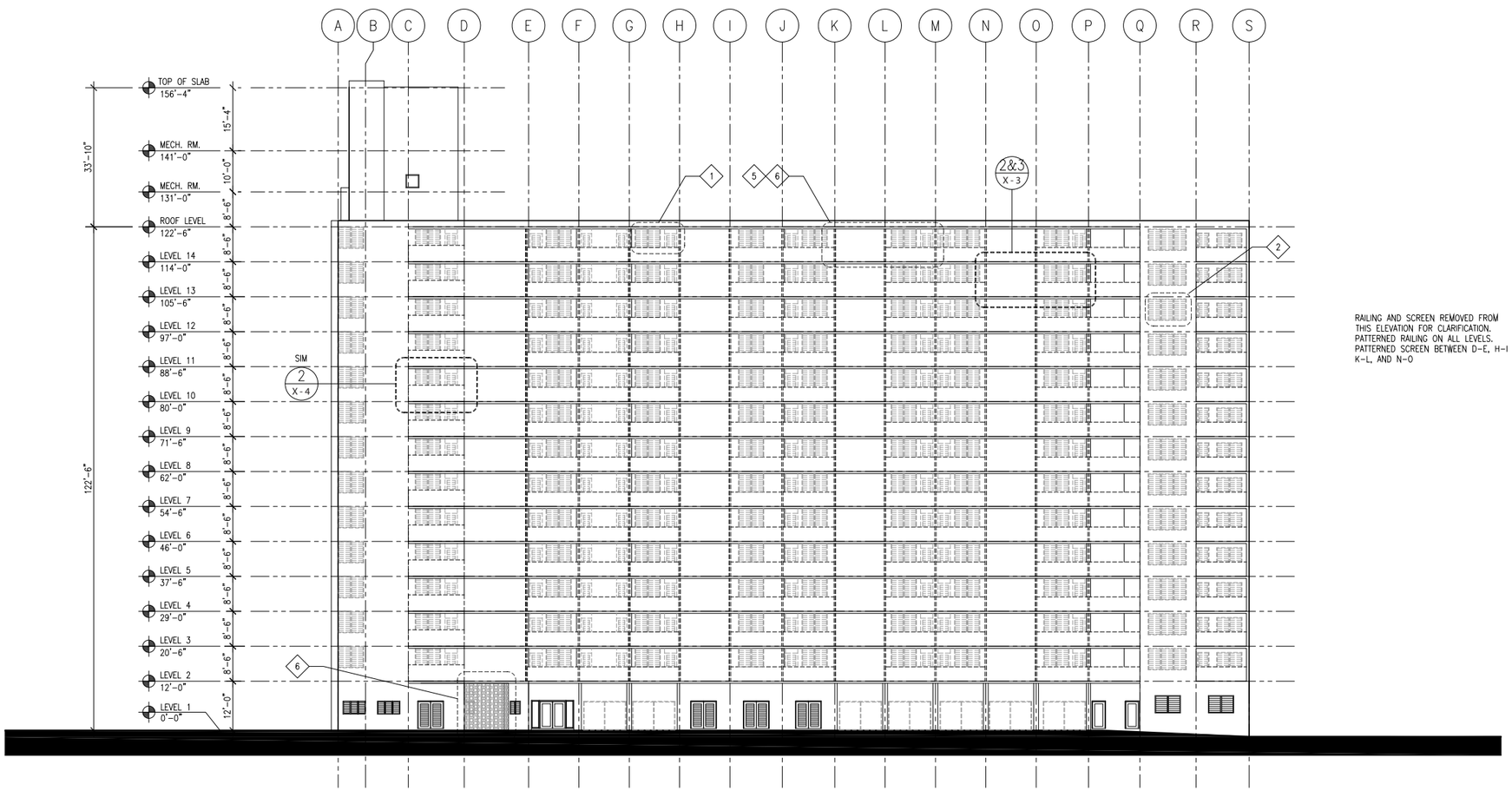
NOTE: THE PATTERN OF THE SCREEN AND RAIL HAS BEEN REMOVED FOR CLARITY IN THE MAIN ELEVATION.



2 ENLARGED ELEVATION – SCREEN AND RAILING REMOVED
SCALE: 1/4" = 1'-0"



3 ENLARGED ELEVATION
SCALE: 1/4" = 1'-0"



RAILING AND SCREEN REMOVED FROM THIS ELEVATION FOR CLARIFICATION. PATTERNED RAILING ON ALL LEVELS. PATTERNED SCREEN BETWEEN D–E, H–I K–L, AND N–O

1 SOUTH ELEVATION – SOUTH BLDG.
SCALE: 1/16" = 1'-0"

0' 16' 32'

PROJECT # 11119.04

PREVIOUSLY APPROVED, FOR REFERENCE ONLY

Southgate Towers
FOR
Gumenick PROPERTIES

DEMOLITION
SOUTH ELEVATION
SOUTH TOWER

11.02.2013

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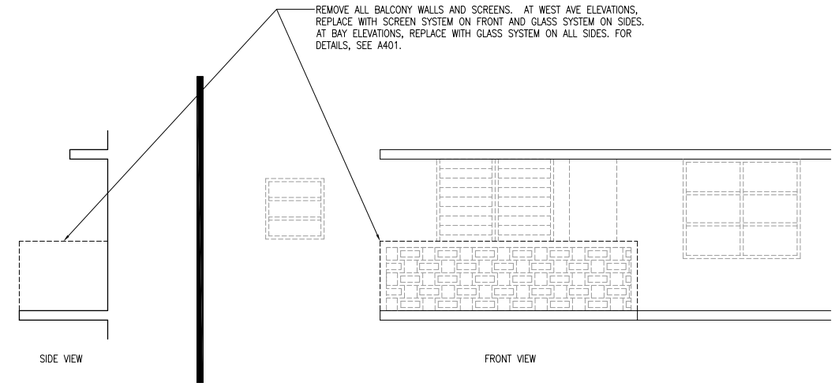
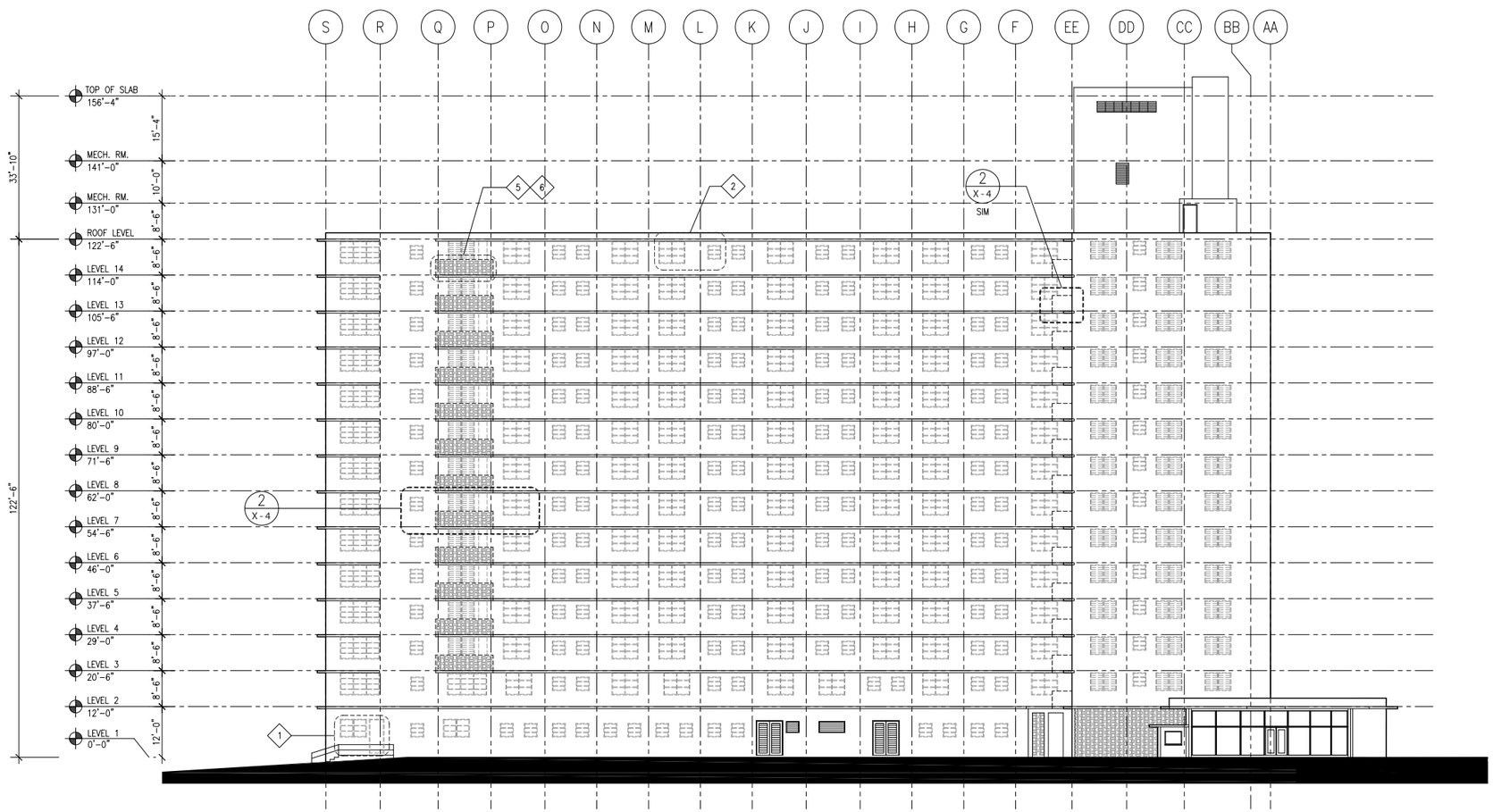
LEGEND:

1. REMOVE EXISTING DOOR, WINDOW & WALL. TYPICAL FOR ALL UNIT ENTRIES. TO BE REPLACED WITH NEW WINDOW WALL SYSTEM REFER TO SHEET A-192 FOR DETAILS.
2. REMOVE AND REPLACE ALL UNIT WINDOWS, TYPICAL FOR ALL UNITS. ADDITIONAL REINF. MAY BE REQUIRED AT WINDOW OPENINGS, REFER TO STRUCT. DWGS.
3. REMOVE AND REPLACE EXISTING ELEVATOR CABS, REFER TO SHEET A-601 FOR NEW CAB DETAILS.
4. REMOVE KITCHEN EGRESS DOOR AND REPLACE WITH NEW WINDOW. BLOCK AND STUCCO TO MATCH EXISTING.
5. REMOVE AND REPLACE ALL EXISTING BALCONY HANDRAILS. REFER TO SHEET A-401 FOR REPLACEMENT HANDRAIL DETAILS.
6. REMOVE AND REPLACE ALL EXISTING BALCONY SCREENS. REFER TO SHEET A-401 FOR REPLACEMENT SCREEN DETAILS.
7. REMOVE EXISTING PARTITION. PATCH AND FINISH REMAINING WALL TO MATCH EXISTING.



2 ENLARGED ELEVATIONS – PRIVATE BALCONIES (SIDE & FRONT)
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION – SOUTH BLDG.
SCALE: 1/16" = 1'-0"

0' 16' 32'

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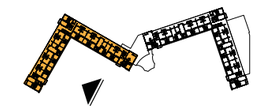

DEMOLITION
NORTH ELEVATION
SOUTH TOWER

11.02.2013

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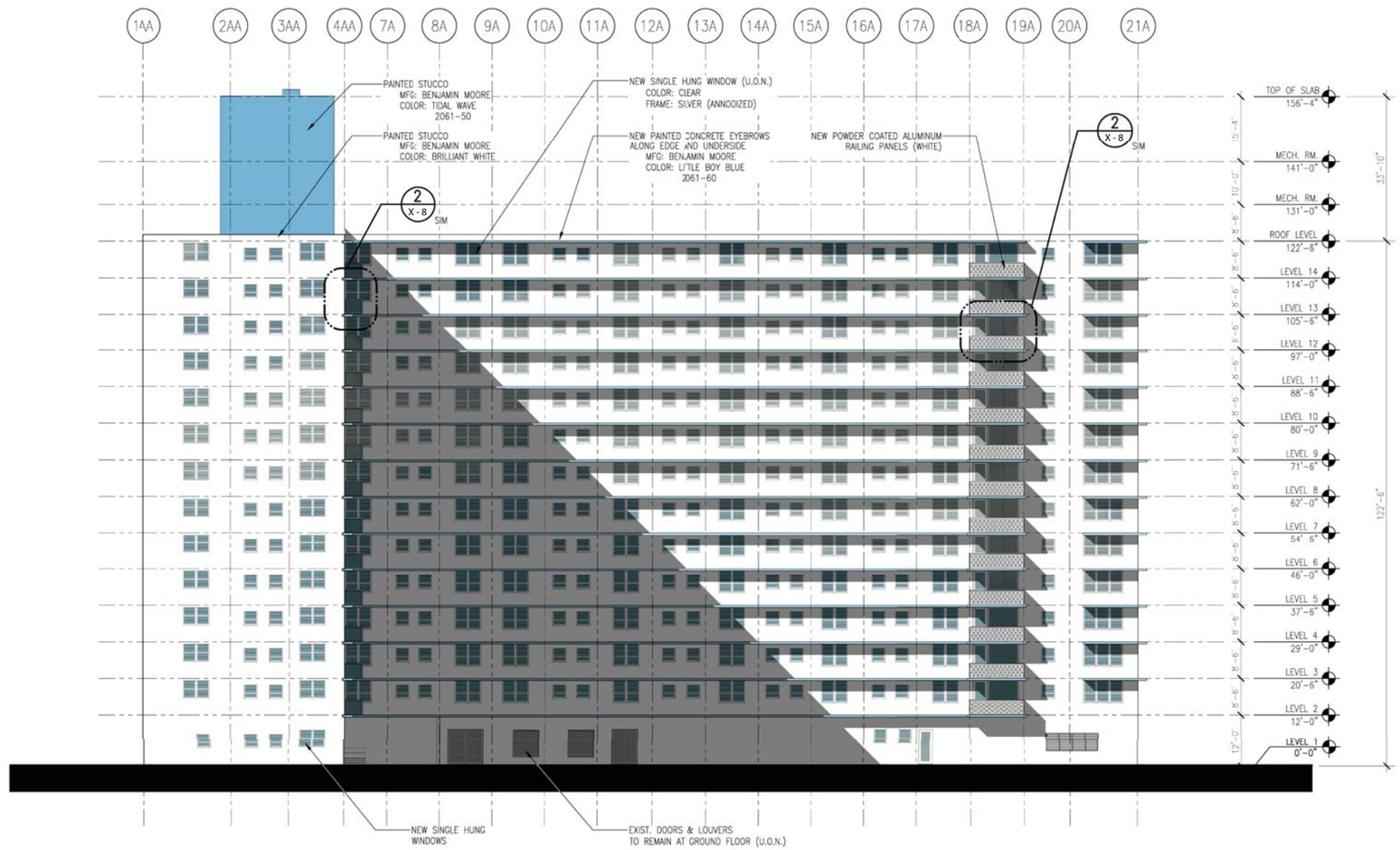

0' 16' 32'

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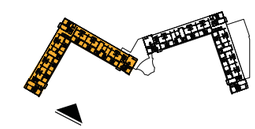

PROPOSED
EAST ELEVATION
SOUTH TOWER

11.02.2013

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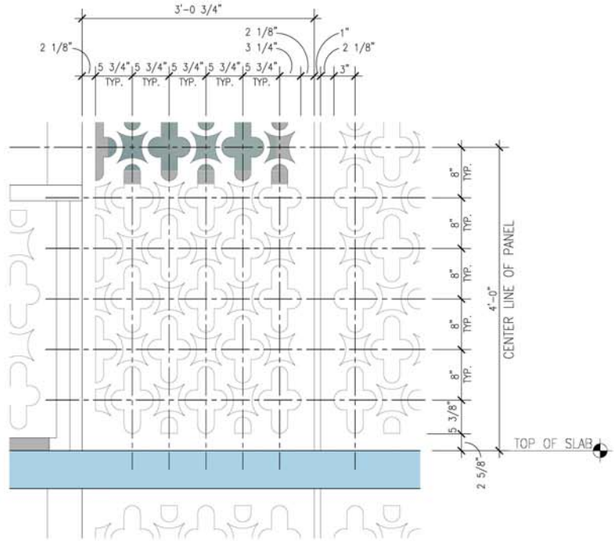
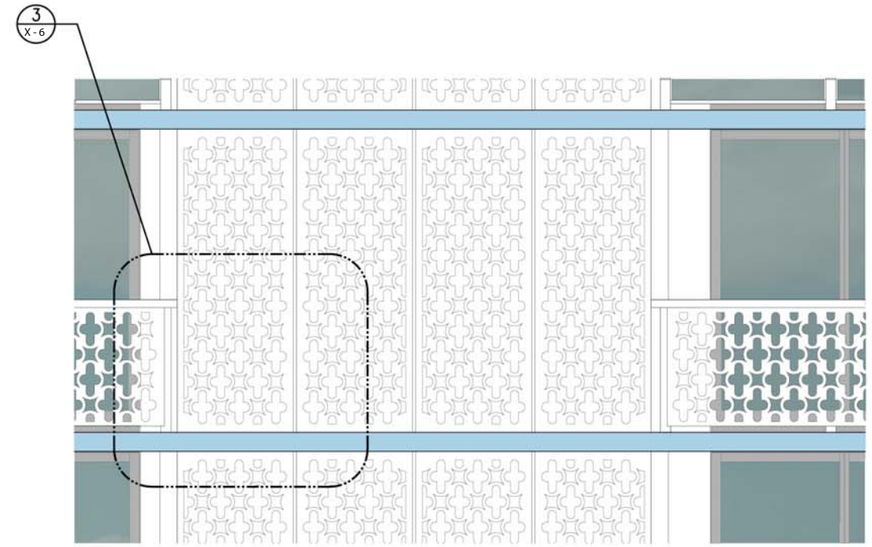
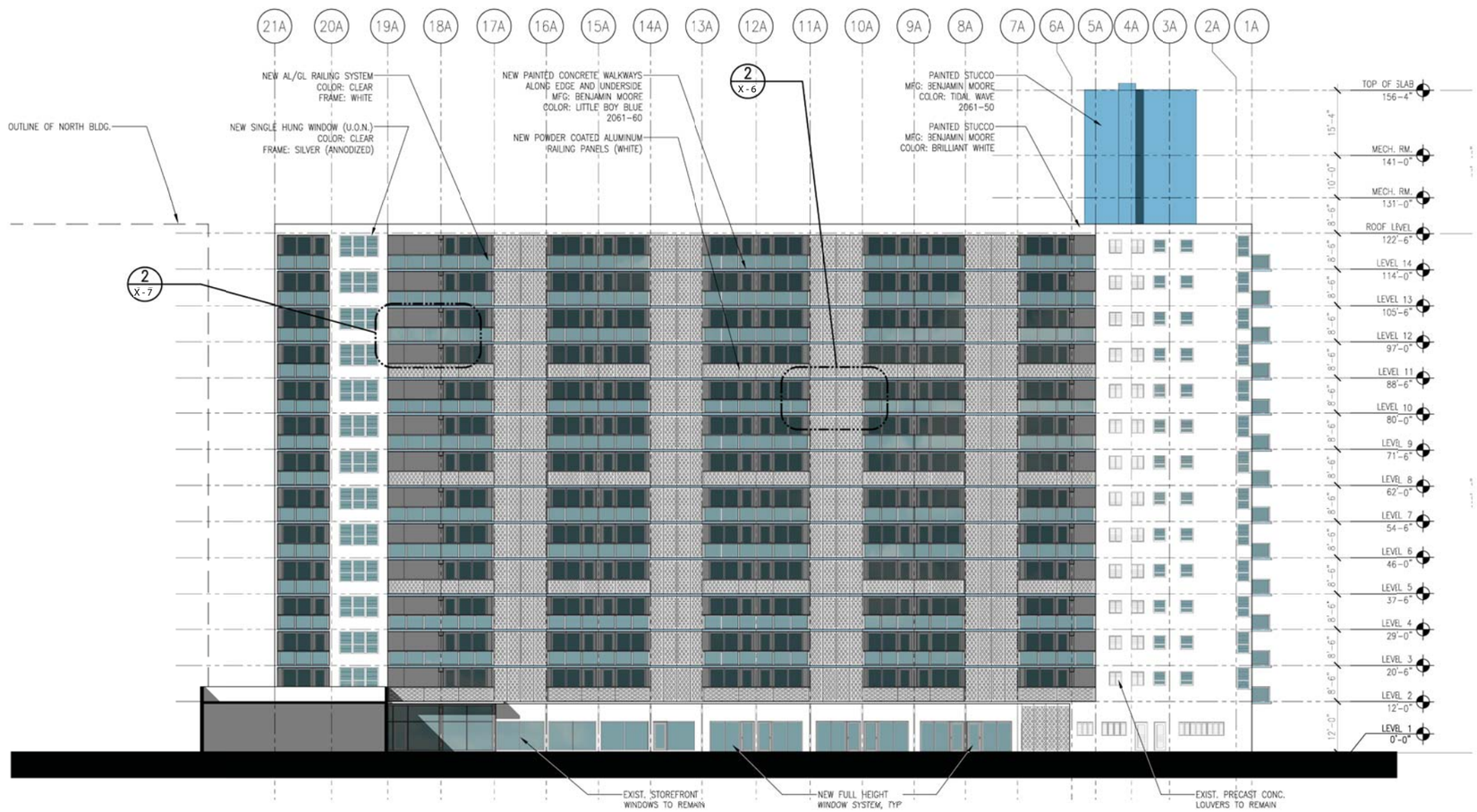


3 ELEVATION DETAIL
SCALE: 1" = 1'-0"



2 ENLARGED ELEVATION
SCALE: 1/2" = 1'-0"



1 WEST ELEVATION – SOUTH BLDG.
SCALE: 1/16" = 1'-0"

0' 16' 32'

PROJECT # 11119.04

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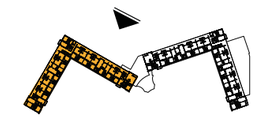

PROPOSED
WEST ELEVATION
SOUTH TOWER

11.02.2013

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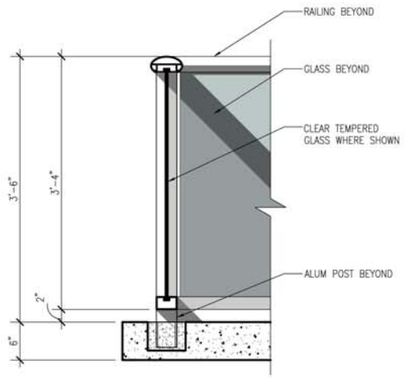
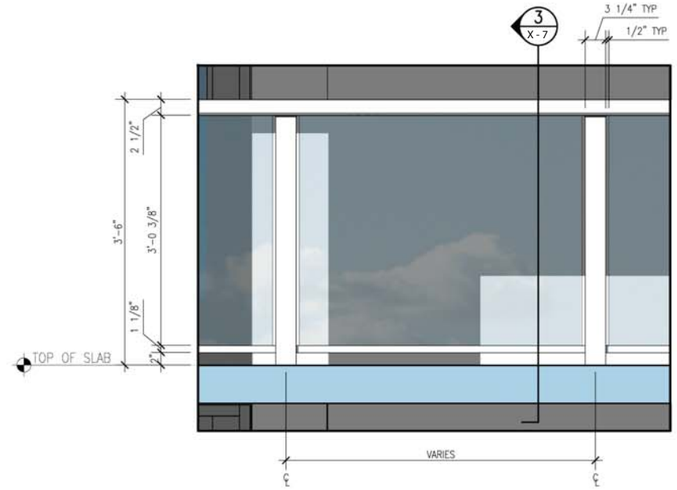
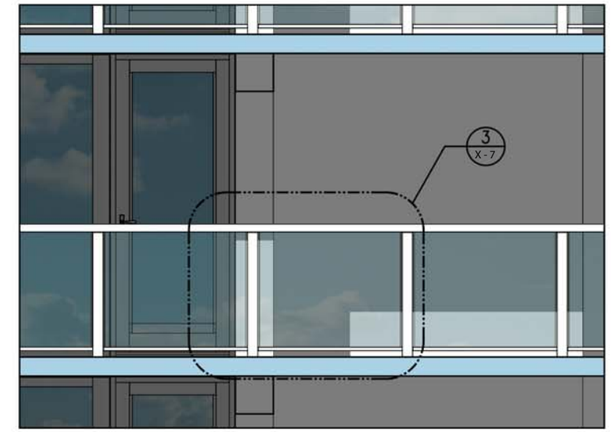


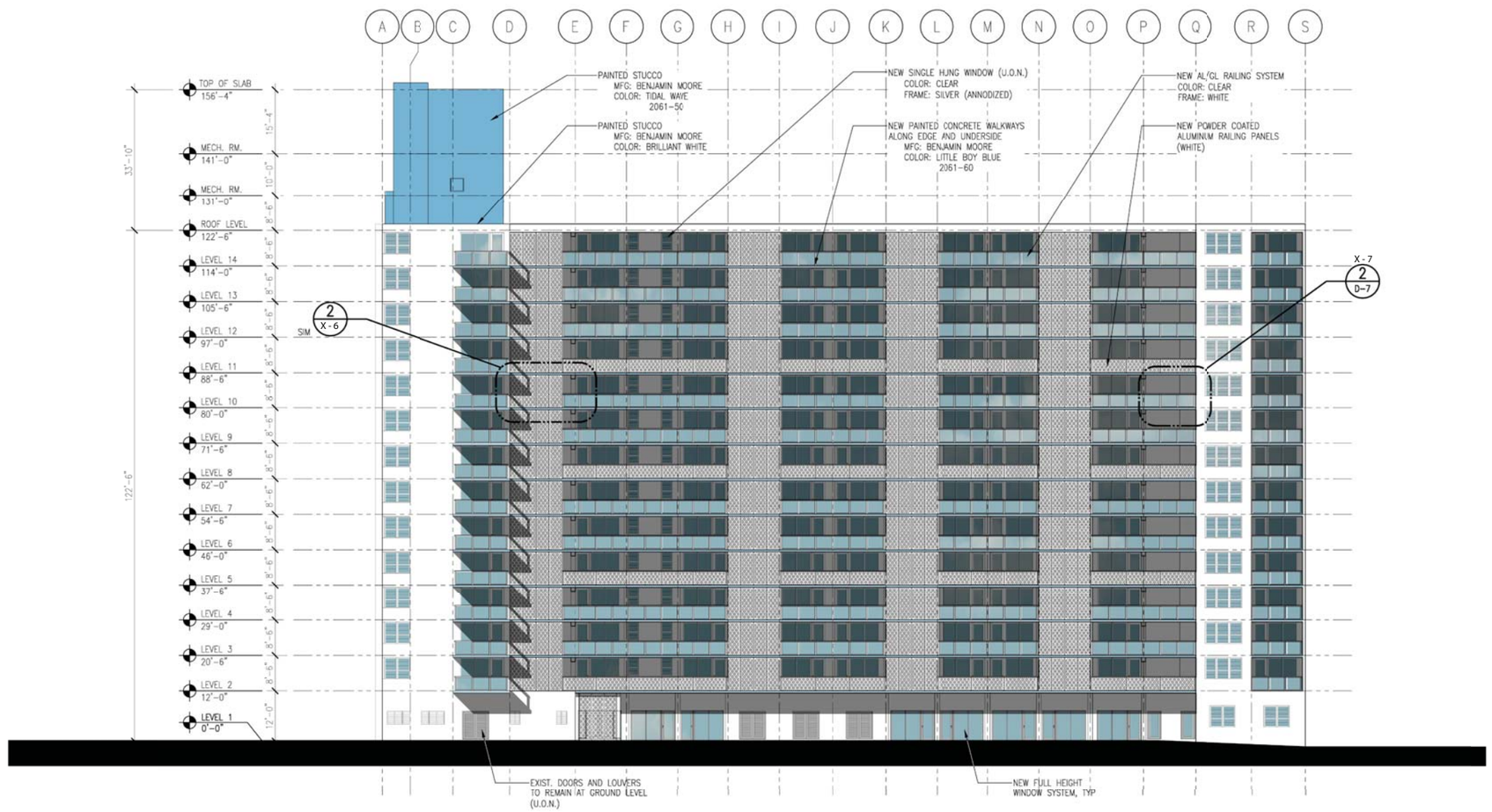
4 ALUMINUM RAILING DETAIL
SCALE: 1" = 1'-0"



3 ENLARGED ELEVATION
SCALE: 1" = 1'-0"



2 ENLARGED ELEVATION
SCALE: 1/2" = 1'-0"



0' 16' 32'

PROJECT # 11119.04

1 SOUTH ELEVATION – SOUTH BLDG.
SCALE: 1/16" = 1'-0"

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PROPOSED
SOUTH ELEVATION
SOUTH TOWER

11.02.2013

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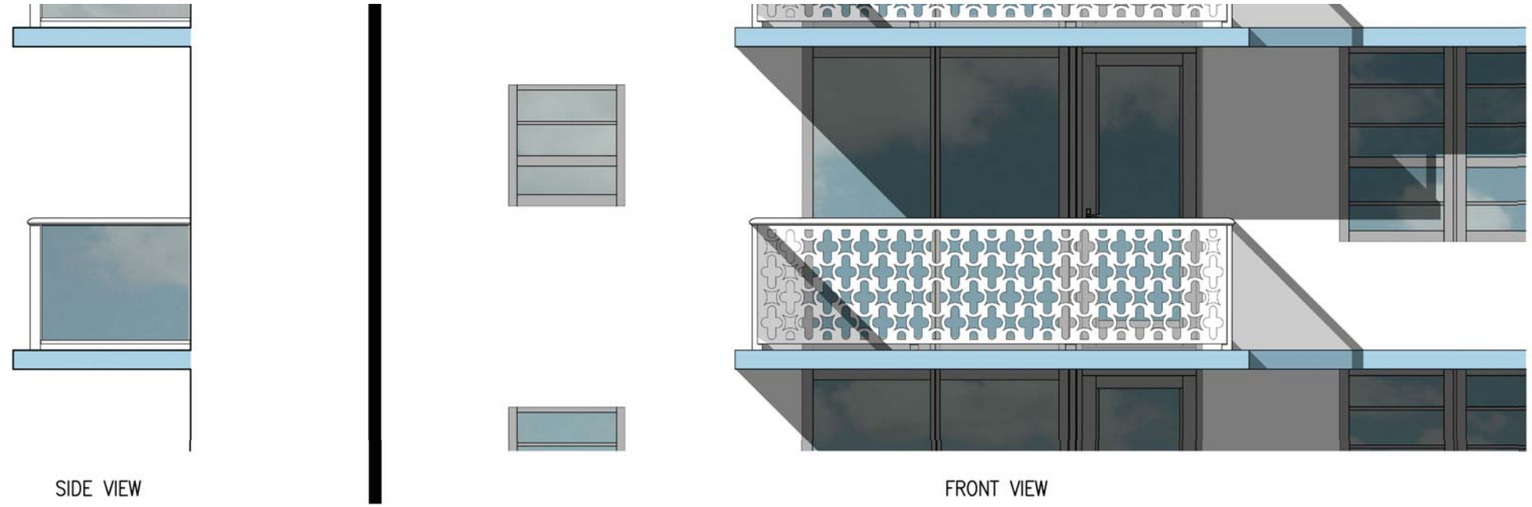
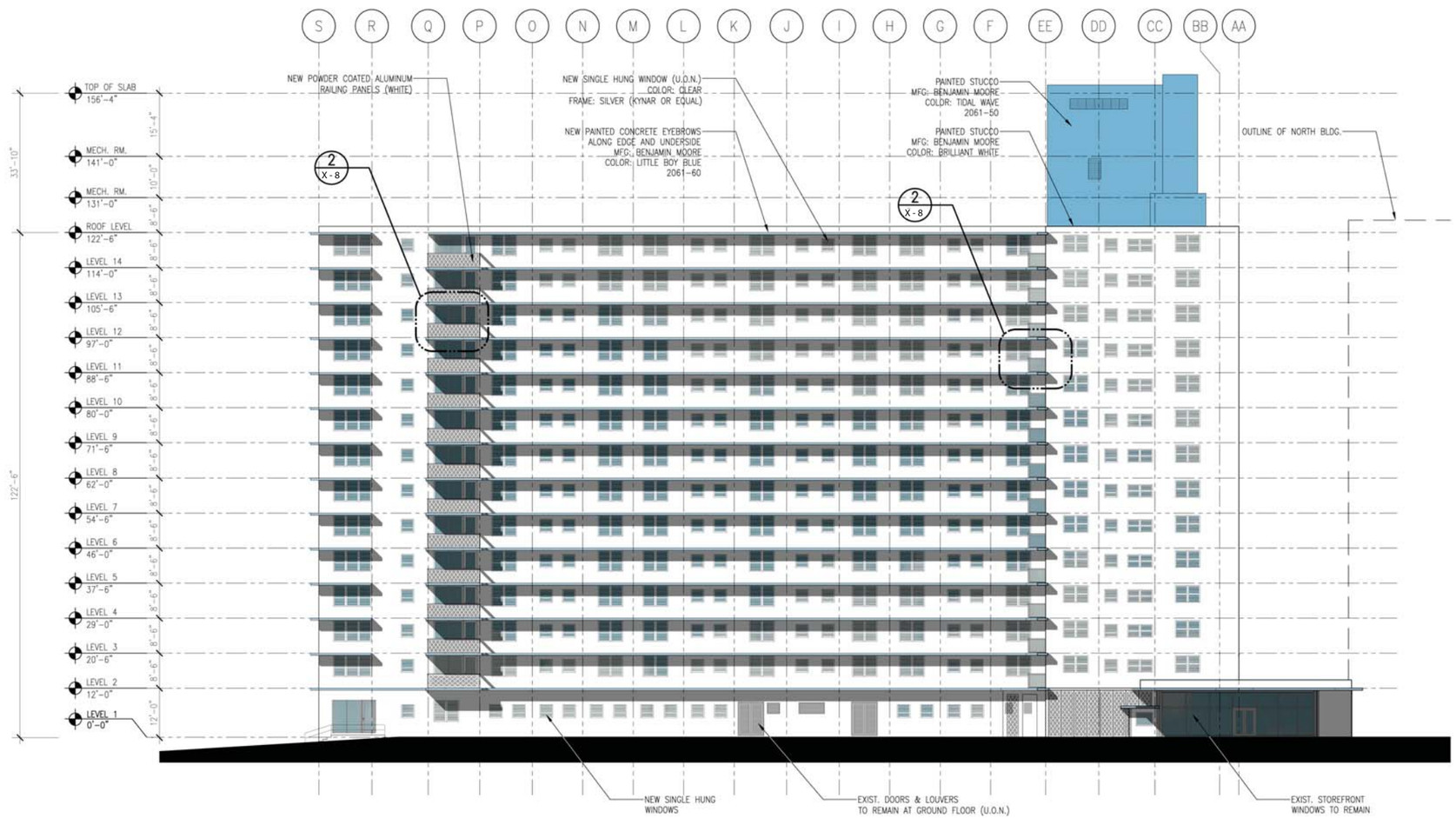


2 ENLARGED ELEVATIONS – PRIVATE BALCONIES (SIDE AND FRONT)
SCALE: 1/2" = 1'-0"



0' 16' 32'

1 NORTH ELEVATION – SOUTH BLDG.
SCALE: 1/16" = 1'-0"

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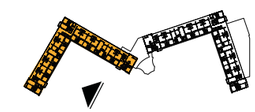

PROPOSED
NORTH ELEVATION
SOUTH TOWER

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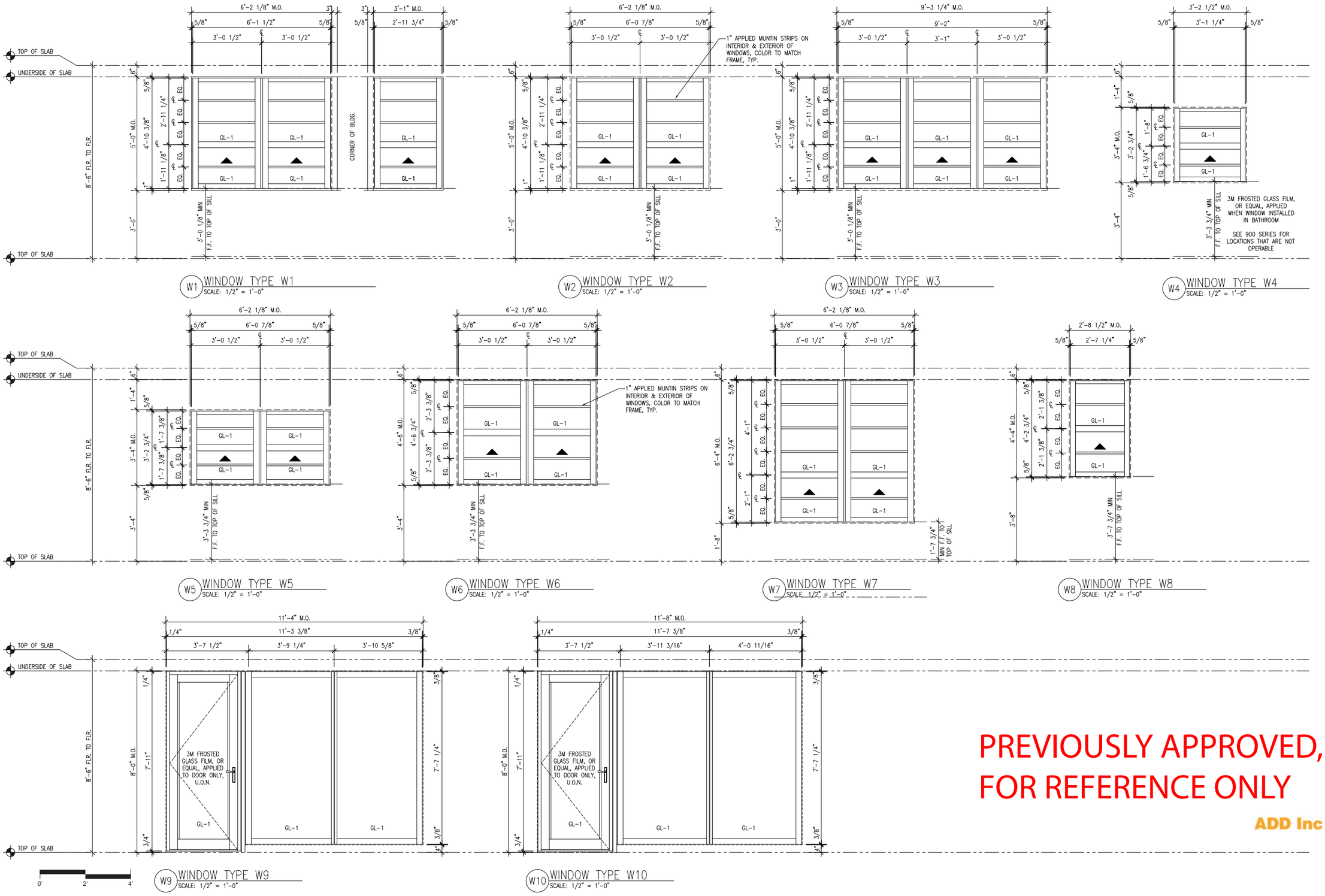

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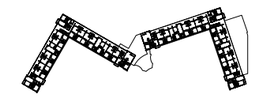

PROPOSED WINDOW ELEVATIONS

11.02.2013

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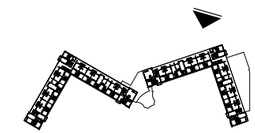

PROPOSED FROM NORTHWEST

11.02.2013

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