

# MIAMI BEACH

City of Miami Beach, 1700 Convention Center Drive, Miami Beach, Florida 33139, [www.miamibeachfl.gov](http://www.miamibeachfl.gov)

## COMMITTEE MEMORANDUM

TO: Members of the Land Use and Sustainability Committee  
Commissioner Mark Samuelian, Chair  
Commissioner Michael Gongora, Vice-Chair  
Commissioner Ricky Arriola, Member  
Commissioner, Micky Steinberg, Alternate

FROM: Jimmy L. Morales, City Manager

DATE: December 15, 2020

SUBJECT: **ADDENDUM NO. 1 TO THE LAND USE AND SUSTAINABILITY COMMITTEE  
MEETING AGENDA**

Link to join the webinar: <https://miamibeachfl-gov.zoom.us/j/86096558980>

Dial-in Telephone: 1.929.205.6099 or 888.475.4499 (Toll Free)

Webinar ID: 860 9655 8980

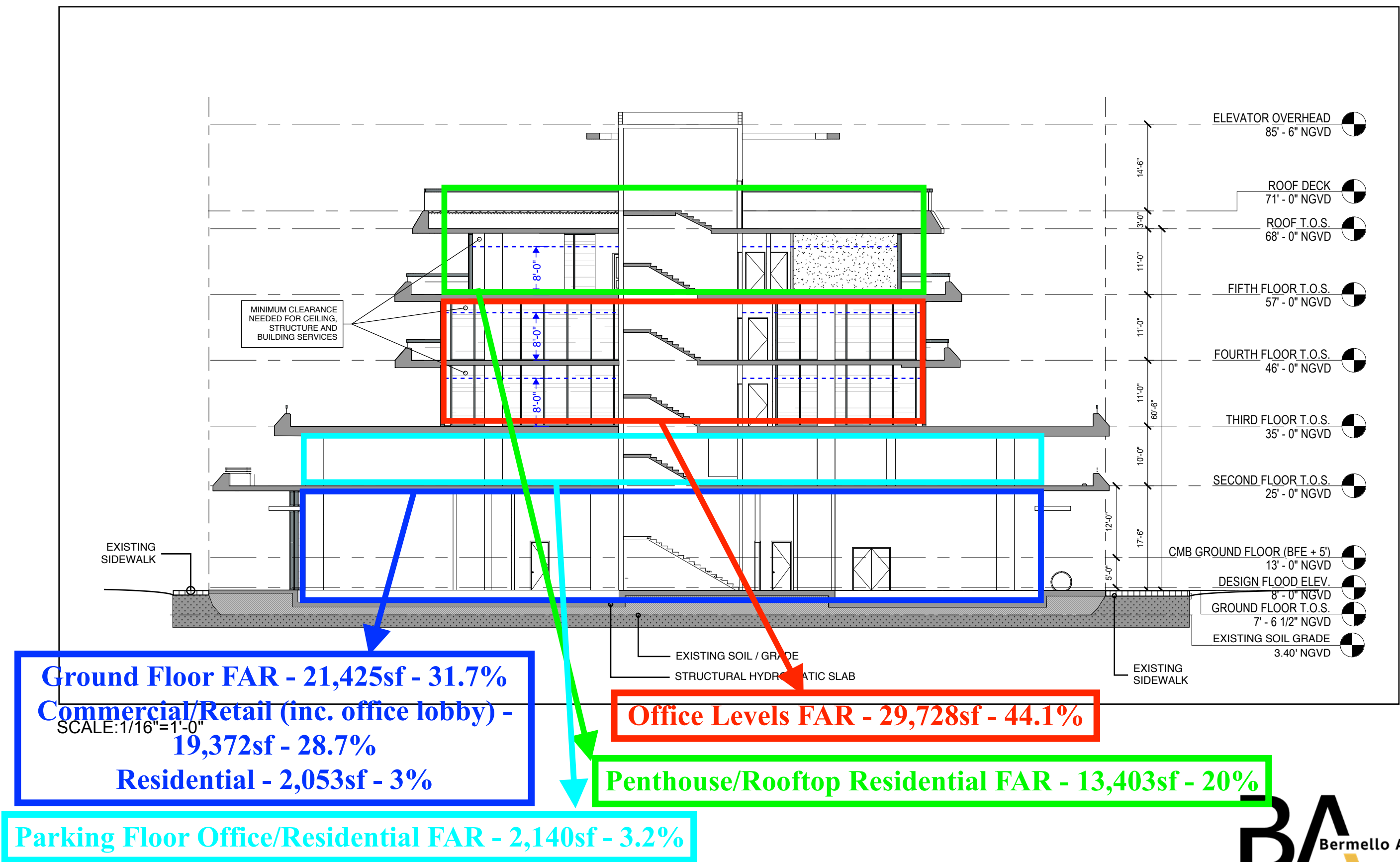
### **ADDENDUM**

10. Discussion Regarding An Ordinance Amendment Pertaining To A Building Height Increase In Strategic Commercial Areas To Incentivize Office Uses.

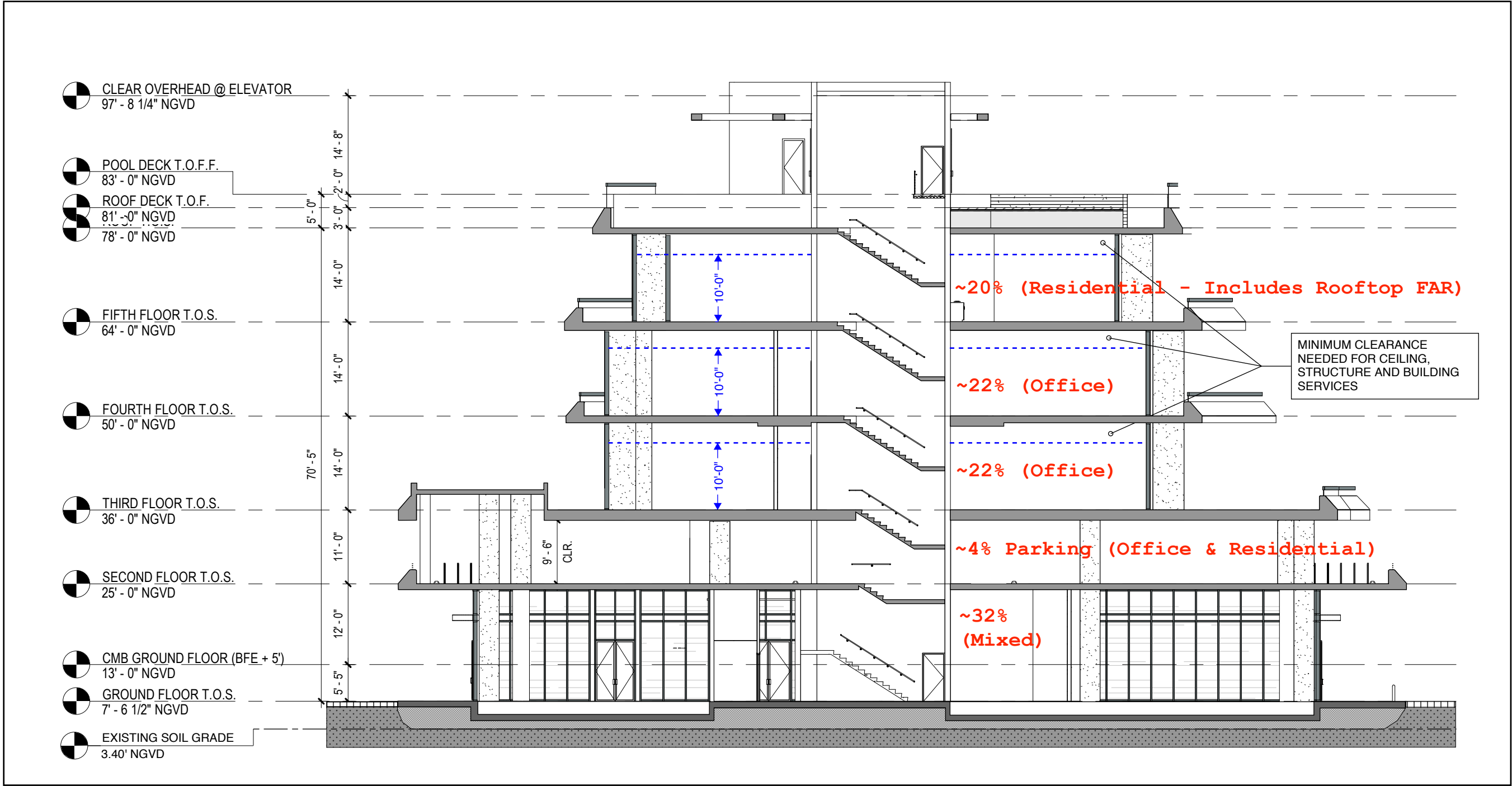
Planning  
Mayor Dan Gelber & Commissioner David Richardson  
December 9, 2020 R9 L

Updated December 10, 2020

CROSS SECTION - NO HEIGHT CHANGE



CROSS SECTION - 10'-0" HEIGHT INCREASE



SCALE: 1/16" = 1'-0"

ZONING DATA SHEET PROPOSED

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

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CD-2 - ZONING DATA SHEET					
ITEM #	Zoning Information				
1	Address:	1759 PURDY AVENUE, MIAMI BEACH FLORIDA			
2	Board and file numbers :	PB17-0168 DRB17-0198			
3		02-3233-012-0550 (1752 BAY RD Miami Beach, FL 33139-1423) 02-3233-012-0540 (1759 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0530 (1738 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0520 (1747 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0500 (1743 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0490 (1724 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33139-1423) 02-3233-012-0510 (91730 BAY RD Miami Beach, FL 33139-1414)			
	Folio number(s):	02-3233-012-0510 (91730 BAY RD Miami Beach, FL 33139-1414)			
4	Year constructed:	1957	Zoning District:	CD-2	
5	Based Flood Elevation:	+8'-0" NGVD	Grade value in NGVD:	+5.42' NGVD	
6	Adjusted grade (Flood+Grade/2):	+6.71' NGVD	Lot Area:	33,750 SQ. FT.	
7	Lot width:	250'-0"	Lot Depth:	150'-0"	
8	Minimum Unit Size	SQ. FT.	Average Unit Size	SQ.FT.	
9	Existing use:	COMMERCIAL	Proposed use:	MIXED-USE (RETAIL, OFFICE, & RESIDENTIAL)	
		Maximum	Existing	Proposed	Deficiencies
10	Height	50'-0" - MAXIMUM HEIGHT IN CD-2 ZONING DISTRICT	15.8' NGVD	55'-0" ** TO BE APPROVED BY THE DESIGN REVIEW BOARD - NO VARIANCE REQUIRED	
11	Number of Stories	5	1	5	
12	FAR	2	0.25	1.92186	
13	Gross square footage	67,500 SQ. FT.			
14	Square Footage by use	67,500 SQ.FT.	7500	67,500 SQ.FT.	
15	Number of units Residential	N/A	0	2	
16	Office Square Footage	N/A	0	29,728 SQ. FT.	
17	Number of seats	N/A	0		
18	Occupancy load	N/A	0	2	
	CD-2 Commercial Setbacks	Required	Existing	Proposed	Deficiencies
	Commercial Pedestal:				
29	Front Setback:	0'-0"		0'-0"	
30	Side Setback:	0'-0"		0'-0"	
31	Side Setback facing street:	N/A	N/A	N/A	
32	Rear Setback:	5'-0"		5'-0"	
	RM-2 Residential Setbacks	Required	Existing	Proposed	Deficiencies
	Residential Pedestal:				
33	Front Setback:	20'-0"	N/A	PURDY ROAD: 34'10" BAY ROAD: 27'-9"	0
34	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH  BAY ROAD: 16-20'-0" - 16% OF TOTAL WIDTH		PURDY AVE: 27'-0"  BAY ROAD: 24'-2" / 31'-10"	
			N/A		0
35	Side Setback facing street:	N/A	N/A	N/A	0
36	Rear Setback:	7'-6"	N/A	7'-6"	0

	Residential Tower:				
37	Front Setback:	20'-0" + 1' per 1' above 50' bldg height=25'-0"	N/A	BAY AVE: 29'-8" PURDY ROAD: 27'-0"	
	Side Setback:	PURDY AVE: 20'-6" - 16% OF TOTAL WITDH + 6"(SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 16'-6"-20'-6" 16% OF TOTAL WITDH + 6"(SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION)		PURDY AVE: 27'-0" - (SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 24'-2" / 31'-10" (SEE SHEET A-2.8C FOR ADDITIONAL DIAGRAM INFORMATION)	0
38			N/A		0
39	Side Setback facing street:	N/A	N/A	N/A	0
40	Rear Setback:	11'-3"	N/A	16'-2"	0
	Parking	Required	Existing	Proposed	Deficiencies
41	Parking district				
42	Total # of parking spaces	78	0	78	
43	# of parking spaces per use (Provide a separate chart for a breakdown calculation)		0		
44	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	SEE SHEET A-1.1	0	SEE SHEET A-1.1	
45	Parking Space Dimensions	8.5' X18'	N/A	8.5' X 18'	
46	Parking Space configuration (45o,60o, 90o,Parallel)		N/A	90	
47	ADA Spaces				
48	Tandem Spaces		N/A	n/a	
49	Drive aisle width		N/A	22'	
50	Valet drop off and pick up		NO		
51	Loading zones and Trash collection areas	2	N/A	2	
52	Bicycle parking, location and Number of racks		N/A	20 Short Term	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
53	Type of use		N/A		
54	Number of seats located outside on private property			30 SEATS	
55	Number of seats inside			208 SEATS	
56	Total number of seats			238 SEATS	
57	Total number of seats per venue (Provide a separate chart for a breakdown calculation)			238 SEATS SEE REVISED SHEET A1.1_P	
58	Total occupant content			327	
59	Occupant content per venue (Provide a separate chart for a breakdown calculation)			SEE SHEET A-1.1_P	
60	Proposed hours of operation	N/A			
61	Is this an NIE? (Neighboot Impact stablishment, see CMB 141-1361)	NO			
62	Is dancing and/or entertainment proposed ? (see CMB 141-1361)	NO			
63	Is this a contributing building?		Yes or No		
64	Located within a Local Historic District?		No		

Current Allowable Height



Future Allowable Height



Whether in CD-2 or Sunset Harbour Overlay district under the development regulations section:

**Properties bounded by Dade Boulevard on the south, Purdy Avenue on the west, 18th Street on the north, and Bay Road on the east shall be subject to the following development regulations:**

- (1) **Maximum building height.** Office and commercial buildings situated on properties with a minimum size of 7,500 square feet, shall have a maximum height of 65 feet. The foregoing shall not prohibit residential or hotel uses above an FAR of 1.5. All other buildings shall comply with the maximum height as set forth by Sec. 142-306.

- (2) **Setback.**

	<u>Front</u>	<u>Side, Interior</u>	<u>Side, Facing a Street</u>	<u>Rear</u>
<u>Pedestal</u>	Residential: 25 Feet	Residential: 20 Feet	N/A	5 feet
<u>Tower</u>	25 feet	Purdy Avenue: 20 feet Bay Road: 15 feet	N/A	10 feet

- (3) **Expiration.** A building permit for vertical construction in connection with this Section must be obtained no later than December 31, 2022.