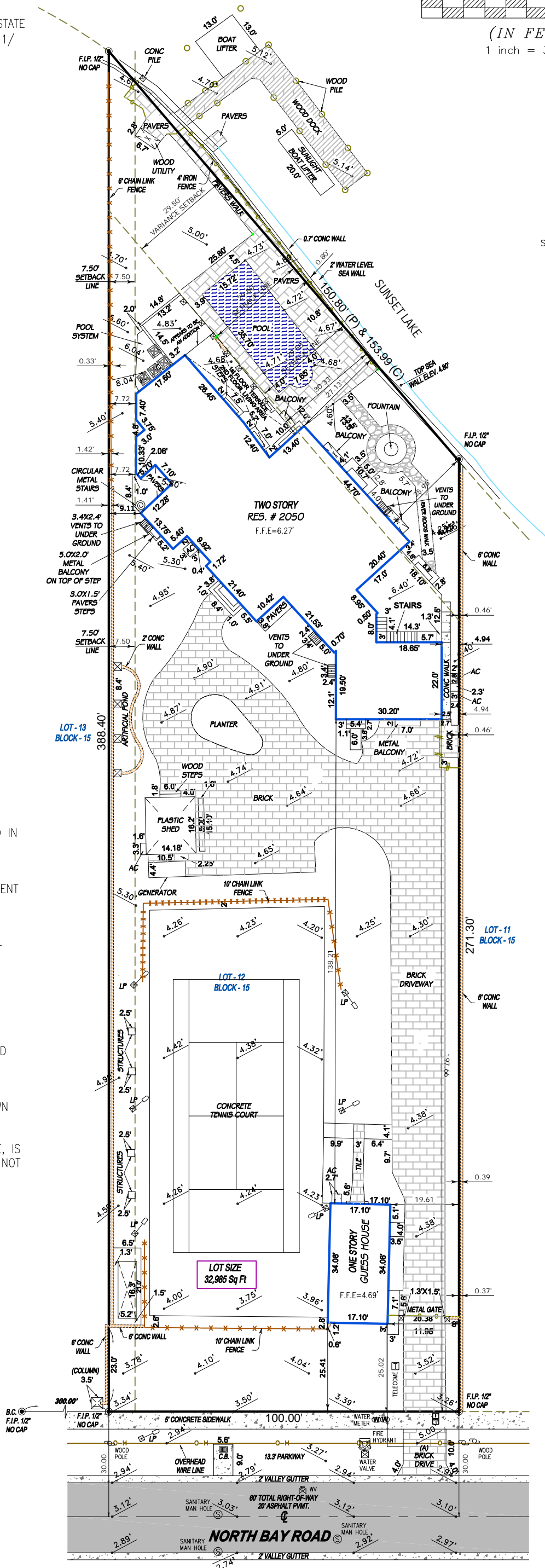
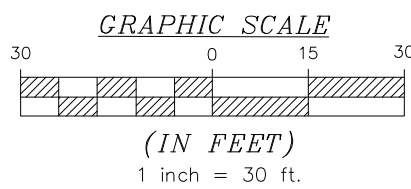


BOUNDARY SURVEY

NOTE:

IN A NEW CONSTRUCTION PROJECT THE SEAWALL MUST HAVE A MINIMUM ELEVATION OF 5.70' NAVD (7.26' NGVD); THE ELEVATION WILL NEED TO BE VERIFIED BY A PROFESSIONAL SURVEYOR AND MAPPER LICENSED IN THE STATE OF FLORIDA (PUBLIC WORKS MANUAL PART 1/ SECTION 1/ A.2/ 5)*



TITLE EXCEPTIONS

THE FOLLOWING EXCEPTIONS ARE LISTED IN SCHEDULE B, SECTION 2, OF A COMMITMENT FOR TITLE INSURANCE COMPANY, AS PREPARED BY CHICAGO TITLE INSURANCE CO, COMMITMENT ORDER NO.8300356 EFFECTIVE DATE 03/03/2020 AT 11:00AM

ITEMS 1 THROUGH 4, NOT MATTERS OF SURVEY

ITEM 5. ANY MATTERS DESCRIBED THEREIN, IF ANY, HAVE BEEN PLOTTED AND SHOWN HEREON.

ITEM 6. THE SETBACK LINES DESCRIBED THEREIN HAVE BEEN PLOTTED HEREON.

ITEM 7. THE RIGHT OF WAY DESCRIBED THEREIN HAS BEEN PLOTTED AND SHOWN HEREON.

ITEM 8. MATTER IS BLANKET IN NATURE, IS NOT SPECIFICALLY PLOTTABLE AND ARE NOT SHOWN HEREON.

ITEMS 9 THROUGH 11 NOT MATTERS OF SURVEY.

ABBREVIATIONS AND LEGEND

A	ARC	F.I.P./F.I.R.	FOUND IRON PIPE/ROD
A/C	AIR CONDITIONER	F.N.	FOUND NAIL
BM	BENCHMARK	F.N&D.	FOUND NAIL AND DISC
BRG	BEARING	F.P.K.N.	FOUND PARKER KALON NAIL
(C)	CALCULATED	GAR.	GARAGE
C.O.	CONCRETE GUTTER OR VALLEY GUTTER	L.D.	SURVEYOR'S IDENTIFICATION
C&G	CURB & GUTTER	L	LENGTH
CH	CHORD	L.A.E.	LIMITED ACCESS EASEMENT
CHRG	CHORD BEARING	L.M.E.	LAKE MAINTENANCE EASEMENT
C.M.E.	CANAL MAINTENANCE EASEMENT	(M)	MEASURED
C.N.A.	CORNER NOT ACCESSIBLE	O/S	OFFSET
CONC.	CONCRETE	(P)	PLATTED
Δ	DELTA	P.C.	POINT OF CURVATURE
D.E.	DRAINAGE EASEMENT	P.C.C.	POINT OF COMPOUND CURVATURE
E.O.P.	EDGE OF PAVEMENT	P.O.B.	POINT OF BEGINNING
F.C.	FENCE CORNER	P.O.C.	POINT OF COMMENCEMENT
F.D.H.	FOUND DRILL HOLE	P.R.C.	POINT OF REVERSE CURVATURE
F.E.	FENCE ENDS	P.R.M.	PERMANENT REFERENCE MONUMENT
F.F.E.	FINISHED FLOOR ELEVATION	P.T.	POINT OF TANGENCY
AC	AIR CONDITIONER		
CB	CABLE BOX		
CB	CATCH BASIN		
CD	COLUMN		
CP	CONCRETE POLE		
CV	CONTROL VALVE BOX		
EB	ELECTRIC BOX		
EM	ELECTRIC METER		
ESB	ELECTRIC SERVICE BOX		
EX	EXISTING ELEVATIONS		
FH	FIRE HYDRANT		
FLPL	FLORIDA POWER & LIGHT BOX		
ML	METAL LIGHT POLE		
SM	SANITARY MANHOLE		
WM	WATER METER		
WV	WATER VALVE		
WP	WOOD POLE		

ENCROACHMENT NOTES

A) BRICK DRIVE ENCROACHES ONTO THE STREET RIGHT OF WAY OF N. BAY ROAD.
B) PAVERS WALKWAY, FENCE, SEAWALL, WOOD DECK, BOAT LIFTER AND WOOD PILE ENCROACHES OVER THE NORTHERLY BOUNDARY ONTO SUNSET LAKE.

AC	AIR CONDITIONER	FLPL	FLORIDA POWER & LIGHT BOX
CB	CABLE BOX	ML	METAL LIGHT POLE
CB	CATCH BASIN	SM	SANITARY MANHOLE
CD	COLUMN	WM	WATER METER
CP	CONCRETE POLE	WV	WATER VALVE
CV	CONTROL VALVE BOX	WP	WOOD POLE
EB	ELECTRIC BOX		
EM	ELECTRIC METER		
ESB	ELECTRIC SERVICE BOX		
EX	EXISTING ELEVATIONS		
FH	FIRE HYDRANT		
FLPL	FLORIDA POWER & LIGHT BOX		
ML	METAL LIGHT POLE		
SM	SANITARY MANHOLE		
WM	WATER METER		
WV	WATER VALVE		
WP	WOOD POLE		

info@authenticsurveyors.com

Authentic Surveyors, Inc.
11605 SW 84th Avenue
Miami, Florida 33156
off: 305-970-6200
fax: 305-514-0087

LAND SURVEYORS' LAND PLANNERS' MAPPERS' LB# 7555

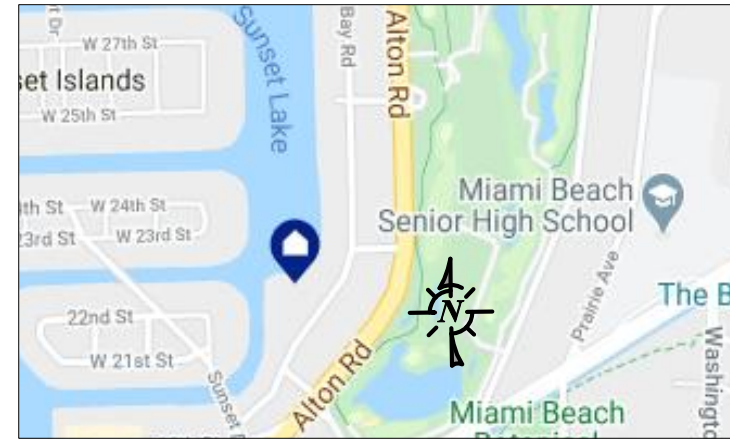
UNDERWRITER:



Fidelity National Title
Insurance Company

DATE: 03/28/2020	REVISED/UPDATE: 05/01/2020	SCALE: 1" = 30"	SHEET: 1
DRAWN BY: JOHN C.	N/A	PROJECT NO: ASI 6519-20	OF 1 SHEETS
TYPE OF PROJECT: BOUNDARY SURVEY			
PROJECT LOCATION: 2050 N. Bay Road			
CITY, STATE & ZIP CODE: Miami Beach, FL 33140			

VICINITY MAP



FRONT VIEW



CERTIFIED TO:

- DAVID S. GRUTMAN
- DREAM 2050 North Bay, LLC, a Florida limited liability company
- BANK OF AMERICA, N.A., ISAOA
- FIDELITY NATIONAL TITLE INSURANCE COMPANY
- CHICAGO TITLE INSURANCE COMPANY
- SAFE HARBOR EQUITY DISTRESSED DEBT FUN 3 L.P., A DELAWARE LIMITED PARTNERSHIP, ISAOA
- BERGER SINGERMAN LLP

FOLIO NUMBER: 02-3227-008-1390

LEGAL DESCRIPTION:

LOT 12 BLOCK 15, AMENDED PLAT OF SUNSET LAKE SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FLOOD ELEVATION INFORMATION

The property appears to be located in Flood Zone AE Base Flood Elevation 8.00' as per Federal Emergency Management Agency (FEMA) Community-Panel Number 120651 (CITY OF MIAMI BEACH), Map No.12086 C 0317 Suffix L, Effective Date: SEPTEMBER 11, 2009

BENCH MARK:

Elevations shown are based on the national geodetic vertical datum of 1929.

Miami-Dade Engineering Division Benchmarks.

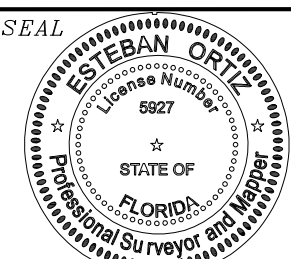
Benchmark: A-36 Elevation: 7.34' Locator: 32355

SURVEYOR'S NOTES:

- The above captioned property was surveyed and based on the above legal description provided by the client.
- Foundations and/or footings that may cross the boundary line of the parcel herein described are not shown. Underground utilities are not depicted hereon.
- The lands shown hereon were not abstracted for easement or other recorded encumbrances not shown on the plat and the same if any may not be shown on this section
- Wall ties are to face to the wall
- Ownership subject to opinion of the Title.
- Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
- Elevations shown hereon are based on a closed level loop using third order procedures and are relative to the National Geodetic Vertical Datum 1929.
- Survey map and report copies thereof are not valid without the signature and raised seal of the Florida Licensed Surveyor.
- The surveyor does not determine Ownership of fences or/and walls.
- This survey has been prepared for the exclusive use of entities named hereon this Certification does not extend to any unnamed party or parties.
- Professional Liability only insures/covers for the total value paid to Authentic Surveyors, Inc. for the services provided for the Map or Boundary Survey depicted hereon.
- The purpose of this survey is for use in obtaining Title Insurance and Financing and should not be used for Construction.
- Bearings shown hereon are based on an assumed meridian and are relative to the NORTH line of Lot 3, Block 2 Bearings North 85°52'18" West.
- The Surveyor was unable to determine which part of the house was an addition therefore setback may not be in compliance with variance setback recorded in O.R.B. 22473 Page 2619 in Miami-Dade County.

SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY SURVEY OF THE ABOVE DESCRIBED PROPERTY IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED UNDER MY DIRECTION, ALSO THAT THERE ARE NO VISIBLE ENCROACHMENTS UNLESS SHOWN, AND THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET BY THE FLORIDA BOARD OF LAND SURVEYORS, AS SET FORTH IN CHAPTER 472.027 (F.S) AND CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.



Esteban Ortiz
Digitally signed by Esteban Ortiz
DN: cn=Esteban Ortiz, o=United States I-US, email=info@authenticsurveyors.com
Reason: I am the author of this document
Location
Date: 2020-10-10 16:06-04:00
NOTE: NOT VALID UNLESS SIGNED AND SEALED

ESTEBAN ORTIZ
PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA
NO. 5927